



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 21408

Owner Name: LOWRY PATRICK S & HEATHER S TRS

Case Planner: Suray Nathan, Assistant Planner

Date Posted: _____

Date Approved: 05/24/2022

Project Location: Casanova 4 SE of 12th

APN #: 010175017000 **BLOCK/LOT:** 134/ALL LOT 8

Applicant: Kathy Anderson

Project Description: Build a detached accessory structure (approximately 120 Square feet) on concrete blocks, Board & Batten siding, two wood windows, one French door (wood), and asphalt shingles to match the house as a home office and reduce site coverage to by approximately 345 square feet, located on Casanova 4 SE of 12th Avenue in the Single-Family Residential (R-1) District.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	Authorization. Approval of Design Study DS 21-408 (Lowry) authorizes to build a detached accessory structure (approximately 120 Square feet) on concrete blocks, Board & Batten siding, two wood windows, one French door (wood), and asphalt shingles to match the house as a home office and reduce site coverage to by approximately 345 square feet, located on Casanova 4 SE of 12 th Avenue in the Single-Family Residential (R-1) District as depicted in the plans prepared by Kathy Anderson stamped approved and on file in the Community Planning & Building Department, unless modified by the conditions of approval contained herein.	✓
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.	✓
5.	Service Laterals. All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).	✓
6.	Fire Sprinklers - Residential. Additions, alterations or repairs to existing structures that involve the addition, removal or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135.	✓
7.	Modifications. The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A	✓

	<p>cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.</p>	
	Landscape Conditions	
8.	<p>Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.</p>	✓
9.	<p>Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.</p>	✓
10.	<p>Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> ● Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. ● Excavation within 6 feet of a tree trunk is not permitted. ● No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree. ● Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels. ● Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. ● The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to 	✓

	<p>the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.</p> <ul style="list-style-type: none"> ● If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. ● If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place. 	
11.	<p>Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer’s specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.</p>	✓
12.	<p>Unclad Wood Frame Windows. The applicant shall install unclad wood windows. Windows that have been approved with divided lights shall be constructed with true divided lights. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted. The manufacturer’s specifications for the windows shall be included in the construction drawings submitted with the building permit application.</p>	✓
13.	<p>Asphalt Shingle Roofing. The applicant shall submit product information for the asphalt shingle roofing prior to issuance of a building permit. The material shall convey a color and texture similar to that of wood shingles.</p>	✓
14.	<p>Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this</p>	✓

	project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	
15.	Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
16.	USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
17.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
SPECIAL CONDITIONS		
18.	Site Coverage. The applicant shall reduce site coverage by approximately 345 square feet from the front stone path walkway and the rear patio before the final inspection.	✓

Acknowledgement and acceptance of conditions of approval:

 Property Owner Signature

 Printed Name

 Date

Once signed, please email to snathan@ci.carmel.ca.us.

PERVIOUS & IMPERVIOUS SITE COVERAGE TABLE

PERVIOUS COVERAGE	PROPOSED SF	EXISTING SF
STONE PATH		215.25
DECK		168.63
TOTAL PERVIOUS COVERAGE		383.88 (9.59%)
IMPERVIOUS COVERAGE		
	(N)	(E)
SHED OVERHANG	36	
LANDING	17.5	
RESIDENCE OVERHANG		359.51
GARAGE OVERHANG		69.71
PATIO		109.79
TOTAL IMPERVIOUS COVERAGE	53.5 (1.34%)	539.01 (13.47%)
TOTAL GROSS COVERAGE		
	1.34%	922.89 (23.07%)

CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED

SCOPE OF WORK:

- NEW ELECTRICAL SERVICE FOR 10' X 12' SHED STRUCTURE
- NEW ELECTRICAL CONNECTION AS REQUIRED. ALL WORK CONNECTED TO EXISTING ELECTRICAL PANEL ON SITE - NO ENCROACHMENT PERMIT REQUIRED (UNLESS OTHERWISE STATED ELSEWHERE IN PLANS).
- NEW INFILTRATION DRAINAGE SYSTEM. NO PERMIT REQUIRED.

DESIGN BUILD SYSTEMS:

- ELECTRICAL - CONNECT NEW SHED TO (E) SERVICE PANEL @ METER OF EXISTING RESIDENCE TO MFR'D HOME PANEL.

LOCAL PLAN REVIEW / INSPECTION NOTE:

- FIELD WORK, ELECTRICAL CONNECTIONS, ARE TO BE PER LOCAL CODES TO EXISTING RESIDENCE.

CONTRACTOR NOTES:

- CAUTION UNDERGROUND & OVERHEAD: CALL BEFORE YOU DIG - UNDERGROUND SERVICE ALERT - CALL 811

CONTACT INFO

OWNER:
PATRICK & HEATHER LOWRY

MAILING ADDRESS
131 MARSHA PLACE
LAFAYETTE CA 94549

PROJECT ADDRESS:
4 SE OF 12TH AVE
CASANOVA ST
CARMEL BY THE SEA, CA

KATHERINE ANDERSEN / PERPETUAL HOMES
EMAIL: perpetualhomesadu@gmail.com
PHONE: 925-980-2351
WEB: www.perpetualhomesadu.com

PALADIN PERMIT SERVICES
TOM LYNCH
PHONE: 707-529-1890
EMAIL: tlynch@sonic.net

WHITEHORSE DRAFTING
RUSSELL SHERMAN
PHONE: 415-509-8425
EMAIL: whitehorsedrafting116@gmail.com

INDEX TO DRAWINGS

- T1 - COVER PAGE, PROJECT DATA, ABBREVIATIONS & NOTES
- A0 - SITE PLAN, DRAINAGE PLAN
- A1 - FLOOR PLAN, ELEVATIONS
- A1.1 - PIER BLOCK FOUNDATION, MATERIALS, LIGHTING
- A2 - DRAINAGE PLAN REQUIREMENTS
- A2.1 USDA SOILS MAP & REPORT

PROJECT

NEW ELECTRICAL SERVICE FOR 120 SF SHED UNDER THIS PERMIT.

NEW INFILTRATION DRAINAGE FOR 120 SF SHED
NO PERMIT REQUIRED

SHED DIMENSIONS: 12' x 10'
NO PERMIT REQUIRED

PARCEL SIZE: 0.090 ACRES (4000 SF)

ZONE DESIGNATION: R-1
SINGLE-FAMILY RESIDENTIAL

JURISDICTION: CITY OF CARMEL-BY-THE-SEA

OCCUPANCY GROUP U
CONSTRUCTION TYPE V B
2019 CRC, 2019 CBC BASED ON 2018 IBC,
2019 CMC BASED ON 2018 UMC,
2019 CPC BASED ON 2018 UPC,
2019 CEC BASED ON 2017 NEC,
ALL STATE AND LOCAL CODES

FLOOR AREA TABLE

LOT SIZE:	4000SF
EXISTING FLOOR AREA:	1406
DWELLING	1163
GARAGE	243
TOTAL	28.44%
NEW 10'X12' SHED	120
PROPOSED TOTAL FLOOR AREA:	1283
TOTAL PROPOSED FLOOR AREA	32.07%

PALADIN PERMIT SERVICES

TOM LYNCH
PO BOX 1452
GUERNEVILLE, CA 95446
PHONE: 707-529-1890
LICENSE # 467751
EMAIL: submittals@paladinpermits.com

WHITEHORSE
Plans Prepared By:
Whitehorse Drafting
7105 Baker Ln
Sebastopol, CA 95472
415-509-8425

4 SE OF 12 AVE CASANOVA ST
CARMEL BY THE SEA, CA
(N) ELECTRICAL SERVICE FOR 10' X 12' SHED

COVER PAGE, PROJECT DATA, ABBREVIATIONS, NOTES
OWNER: PATRICK & HEATHER LOWRY APN: 010-175-017

Permit #: DS 21- 408 (Lowry)
Date Approved: 05/24/2022
Planner: Suray Nathan.

ABBREVIATIONS

&	AND	L	DISHWASHER
@	AT	lbs.	POUNDS
Ø	DIAMETER	M.A.	MAKE-UP AIR (GRAVITY VENT)
°	DEGREE	MAX	MAXIMUM
+	PLUS or MINUS	M.B.	MACHINE BOLT
#	POUND or NUMBER	M.E.C.H.	MECHANICAL
A.B.	ANCHOR BOLT	MFR'D	MANUFACTURED
A.C.	ACOUSTIC	MFR'R	MANUFACTURER
A.F.F.	ABOVE FINISH FLOOR	M.O.	MASONRY OPENING
ALUM.	ALUMINUM	MIN.	MINIMUM
A.V.	ATTIC VENT (GRAVITY STYLE)	MTL.	METAL
BD.	BOARD	(N)	NEW
BLK.	BLOCK	N.I.C.	NOT IN CONTRACT
BLK'G	BLOCKING	NO.	NUMBER
BM	BEAM	NOM	NOMINAL
BOT	BOTTOM	N.T.S.	NOT TO SCALE
BUR	BUILT-UP ROOFING	O.C.	OVER
¢	CENTERLINE	O.C.	ON CENTER
C.A.	COMBUSTION AIR (MAKE-UP VENT)	OD	OUTSIDE DIAMETER
CLG.	CEILING	OFF.	OFFICE
COL.	COLUMN	PH	PANIC HARDWARE
COMP.	COMPOSITION	P.D.P.	POWDER DRIVEN PIN
CONC.	CONCRETE	PL.	PLATE
CONN.	CONNECTION	PLM	PLASTER
CT	CERAMIC TILE	PLAST.	PLASTIC LAMINATE
CPT	CARPET	PLY.	PLYWOOD
C.V.	COMBUSTION VENT ('B' or 'BW')	PWD	PLYWOOD
DW	DISHWASHER	PL.F.	PER LINEAR FOOT
DBL	DOUBLE	PROD.	PRODUCTION
D.S.	DOWNSPOUT	PSF	POUNDS PER SQUARE FOOT
dia.	DIAMETER	(R)	RELUCATE
DR.	DOOR	REF	REFRIGERATOR
DWG.	DRAWING	REQ'D	REQUIRED
EA	EACH	RHWIS	ROUND HEAD WOOD SCREW
E.F.	EXHAUST FAN	RO	ROUGH OPENING
E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM	R.W.L.	RAIN WATER LEADER
ELECT.	ELECTRICAL	SC	SOLID CORE
EQ.	EQUAL	S.C.D.	SEE CIVIL DRAWING
ETC.	ETCETERAS	S.E.D.	SEE ELECTRICAL DRAWINGS
(E)	EXISTING	S.F.S.D.	SEE FOOD SERVICE DRAWINGS
EXT.	EXTERIOR	SIM.	SIMILAR
F.D.	FLOOR DRAIN	S.L.D.	SEE LANDSCAPE DRAWINGS
F.E.	FIRE EXTINGUISHER	S.M.D.	SEE MECHANICAL DRAWINGS
FEC	FIRE EXTINGUISHER CABINET	S.M.S.	SHEET METAL SCREW
F.F.	FINISHED FLOOR	S.P.D.	SEE PLUMBING DRAWINGS
FHW	FINISHED FLOOR	SO	SQUARE
F.O.C.	FACE OF CONCRETE	S.Q. FT.	SQUARE FEET
F.O.M.	FACE OF MASONRY	S.R.D.	SEE REFRIGERATION DRAWINGS
F.O.S.	FACE OF STEEL	SS	STAINLESS STEEL
F.O.STL.	FACE OF STEEL	S.S.B.M.D.	SEE STEEL BUILDING MANUFACTURER DRAWINGS
F.R.P.	FIBERGLASS REINFORCED PANEL	S.S.D.	SEE STRUCTURAL DRAWINGS
FT.	FEET	ST.	STREET
G2	1/2" GYPSUM BOARD	STL.	STEEL
G8	5/8" GYPSUM BOARD	S.T.S.	SELF TAPPING SCREW
GA	GUAGE	S.V.	SHEET VINYL
GALV.	GALVANIZED	T.	TEMPERED
GL	GLASS	T.C.	TOP OF CONCRETE
GSM	GALVANIZED SHEET METAL	T.F.	TOP OF FOOTING
GSSB	5/8" GYPSUM SOFFIT BOARD	T.P.	TOP OF PAVING
GX	5/8" TYPE "X" GYPSUM BOARD	TEMP	TEMPERED
GWB	5/8" WATER RESISTIVE GYPSUM BOARD	T&G	TONGUE AND GROOVE
GWX	5/8" TYPE "X" WATER RESISTIVE GYPSUM BOARD	T.S.R.	TOPSET RUBBER BASE
GYP.	GYPSUM BOARD	TYP.	TYPICAL
h	HEIGHT	UBC	UNIFORM BUILDING CODE
HDWR.	HARDWARE	U.C.	UNDER COUNTER
HWY.	HIGHWAY	UF	UNFINISHED - TAPE ONLY
ID	INSIDE DIAMETER	U.G.	UNDERGROUND
IN.	INCHES	U.O.N.	UNLESS OTHERWISE NOTED
INT.	INTERIOR	V	VOLTAGE
INTER.	INTERMEDIATE	VCT	VINYL COMPOSITION TILE
		VERT.	VERTICAL
		V.T.R.	VENT THRU ROOF
		w	WIDTH
		wd	WITH
		WD	WOOD

AERIAL PHOTO



LOCATION MAP

RESULTS

Parcels

APN: 010175017000
Property Files: [Click to View File\(s\)](#)
Lot Size (SqFt): 3951
Legal: CARMEL BY THE SEA ADD 2 LOT 8 BLK
Description: 134

Zoning: R-1

Carmel Soils

Soil Map Unit Symbol: BbC
Soil Map Unit Name: Baywood sand, 2 to 15 percent slopes

Drainage Class - Dry Condition: Somewhat excessively drained

Drainage Class - Wet Condition: Somewhat excessively drained

Hydrologic Soil Group: A
Runoff: Very low

City Limit

Sphere of Influence

Flood Hazard Areas 2016

Document Date:
November 19, 2021

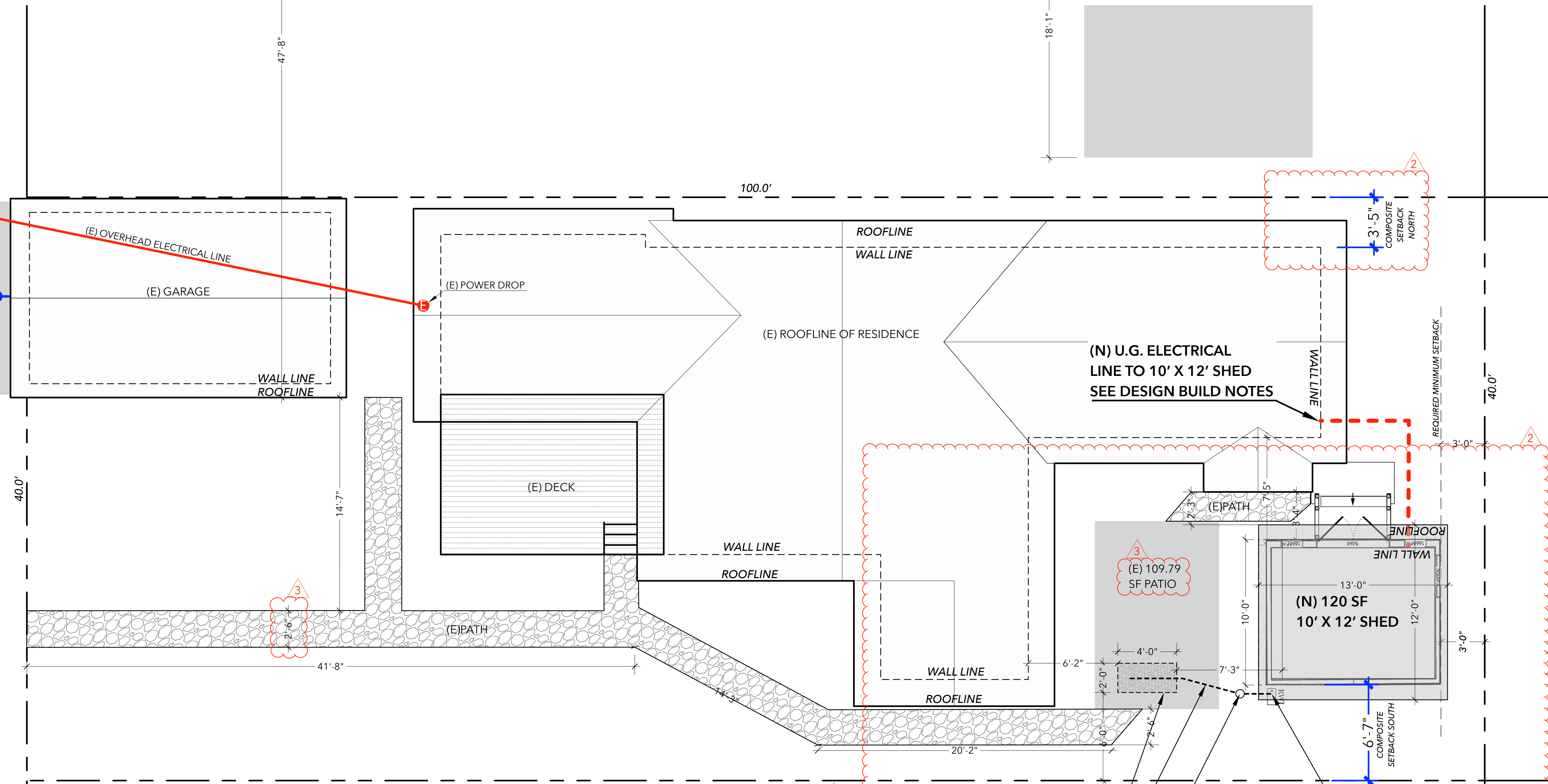
rev. 1 date: 4-7-22
remark: PC#1
rev. 2 date: 5-11-22
remark: PC#2
rev. 3 date: 5-20-22
remark: PC#3

COVER PAGE
PROJECT DATA
ABBREVIATIONS
NOTES

T1

CASANOVA ST

(E) OVERHEAD ELECTRICAL LINE
(E) OVERHEAD ELECTRICAL LINE



PALADIN
PERMIT SERVICES

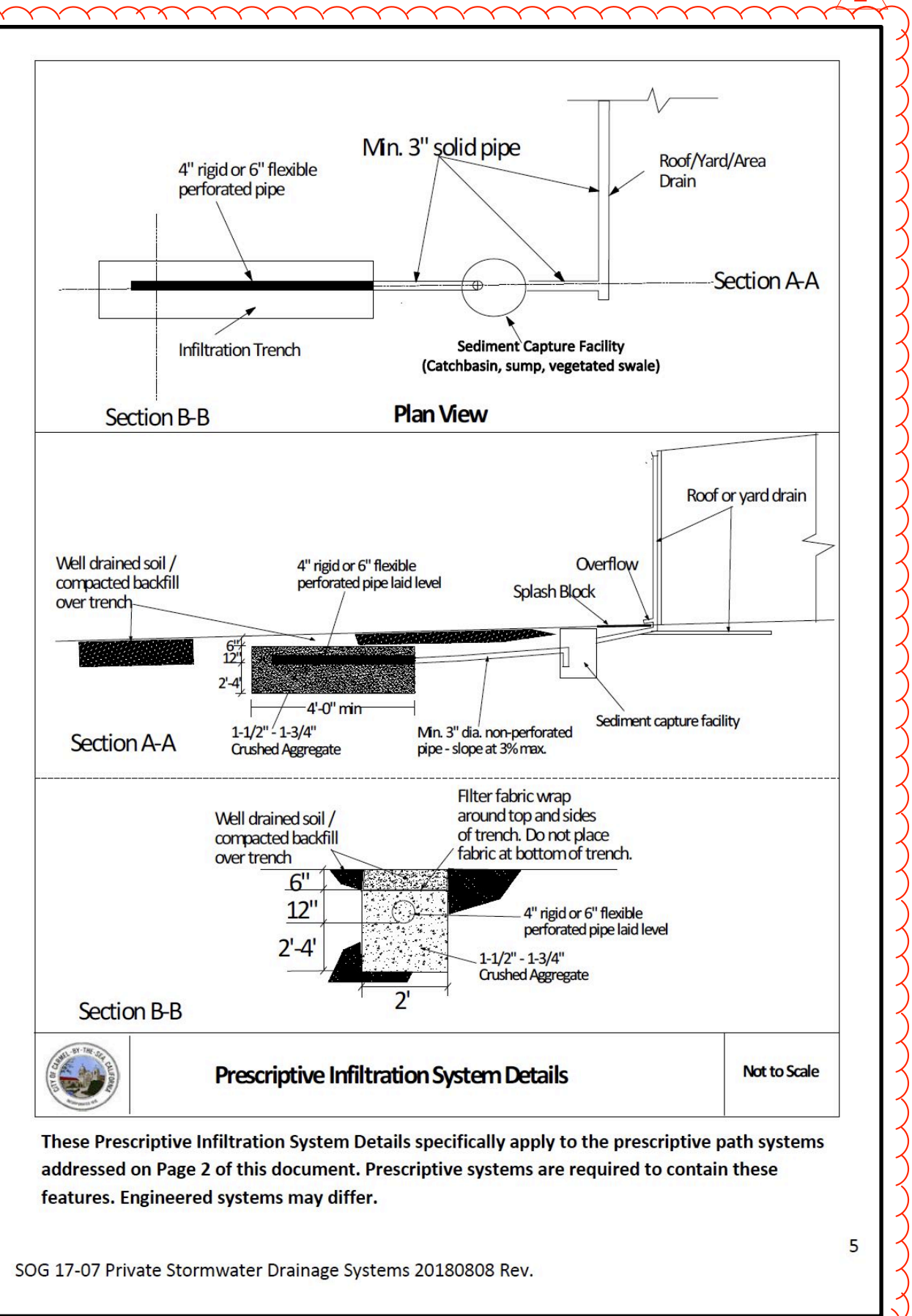
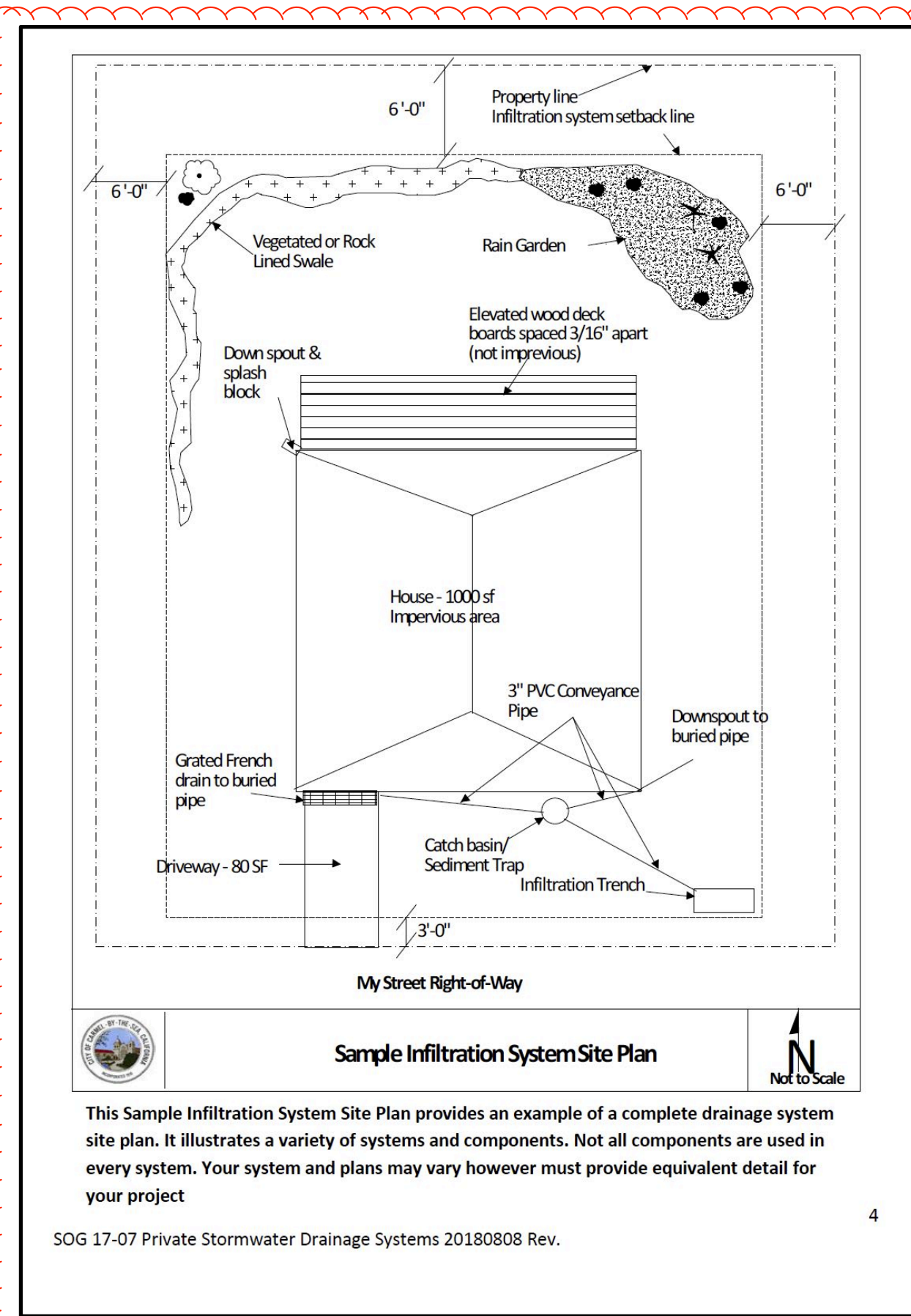
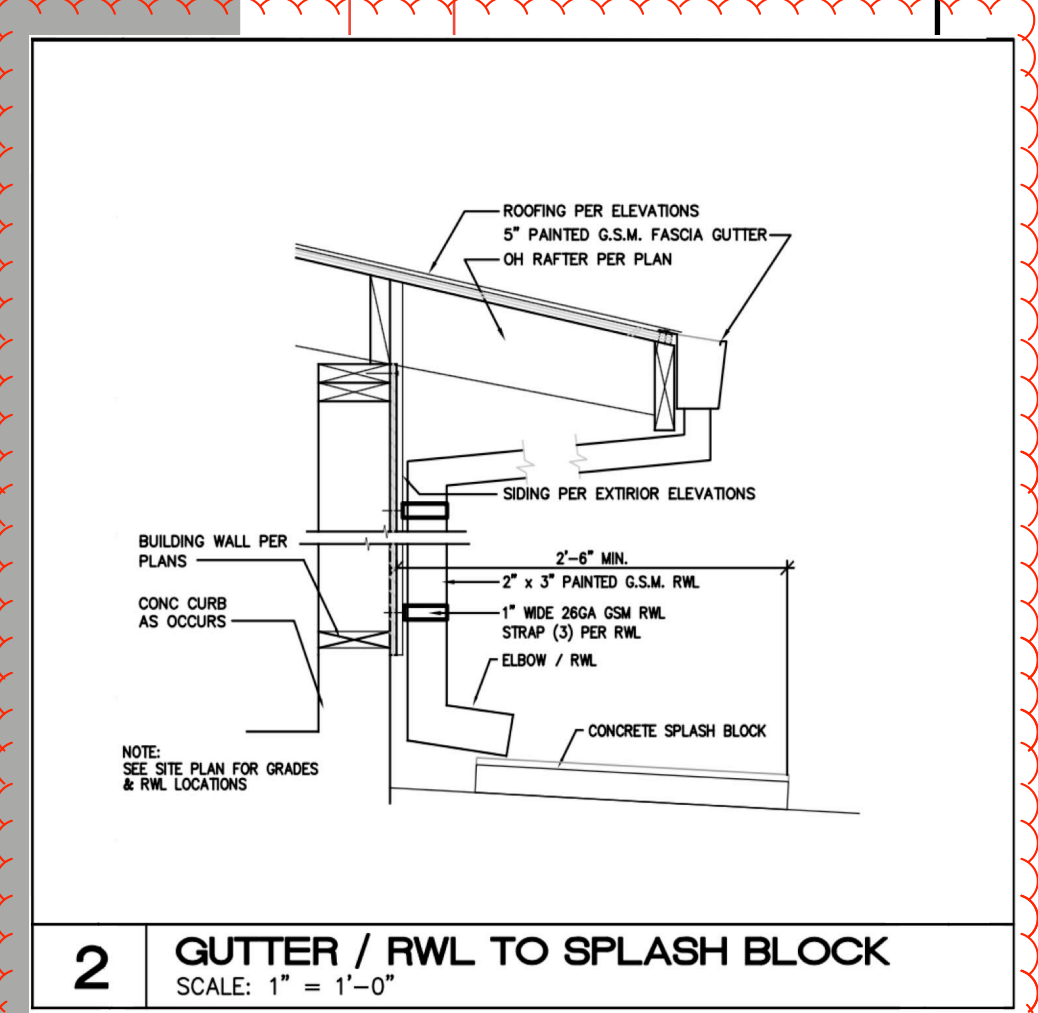
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4 SE OF 12 AVE CASANOVA ST CARMEL BY THE SEA, CA (N) ELECTRICAL SERVICE FOR 10' X 12' SHED SITE PLAN, DRAINAGE PLAN

OWNER: PATRICK & HEATHER LOWRY APN: 010-175-017

- (N) INFILTRATION TRENCH. SEE PRESCRIPTIVE INFILTRATION SYSTEM DETAILS/A0 SEE DRAINAGE REQUIREMENTS/A2
- (N) 3" CONVEYANCE PIPE. SEE PRESCRIPTIVE INFILTRATION SYSTEM DETAILS/A0
- (N) SEDIMENT CAPTURE FACILITY. SEE PRESCRIPTIVE INFILTRATION SYSTEM DETAILS/A0
- (N) ALUMINUM GUTTER & DOWNSPOUT TO BURIED PIPE. SEE PRESCRIPTIVE INFILTRATION SYSTEM DETAILS/A0



N

SITE PLAN SCALE 1/4" = 1'
PLAN DRAWN WITHOUT BENEFIT OF SURVEY
BASED ON CARMEL BY THE SEA GIS DATA

Document Date:
November 19, 2021

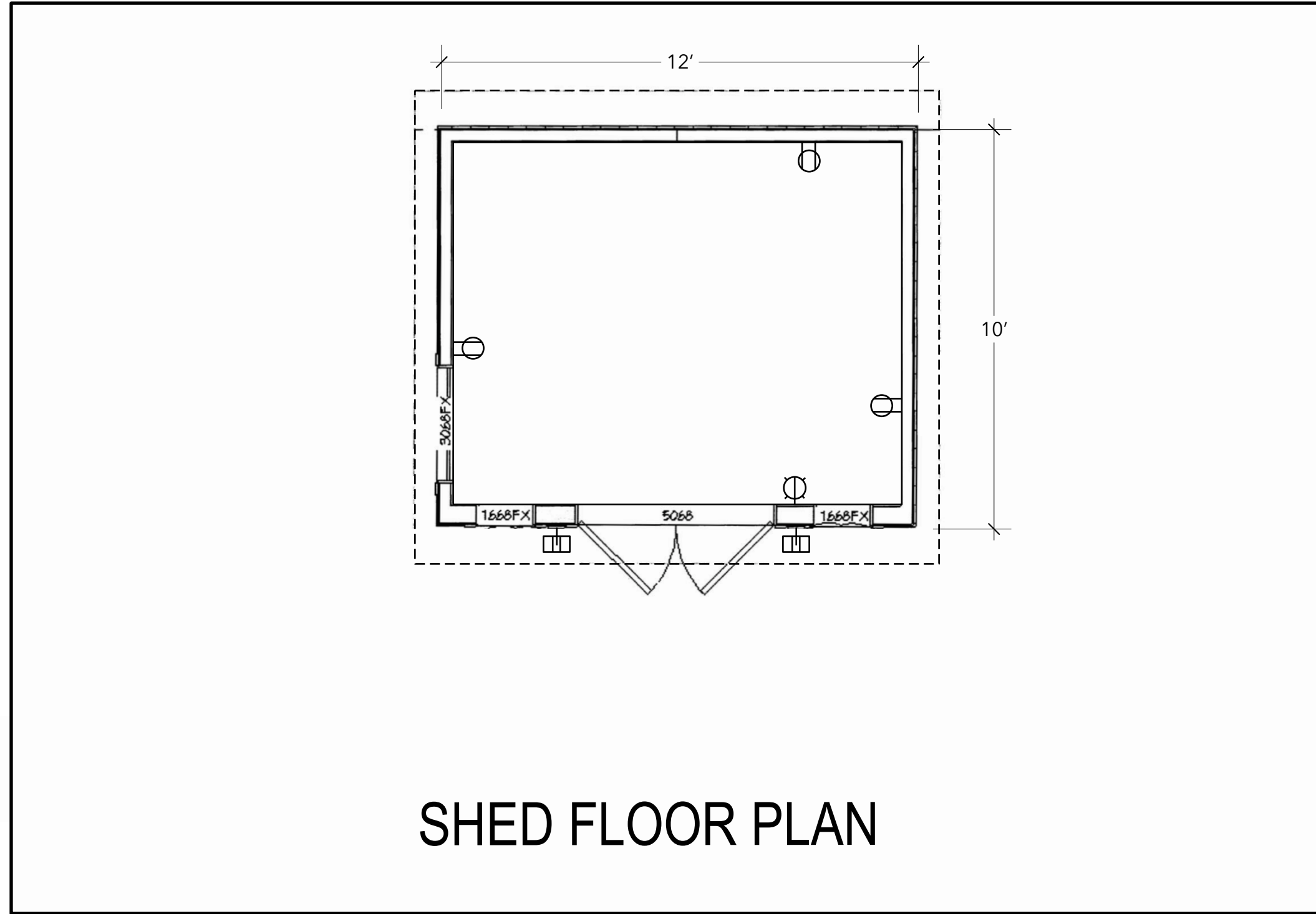
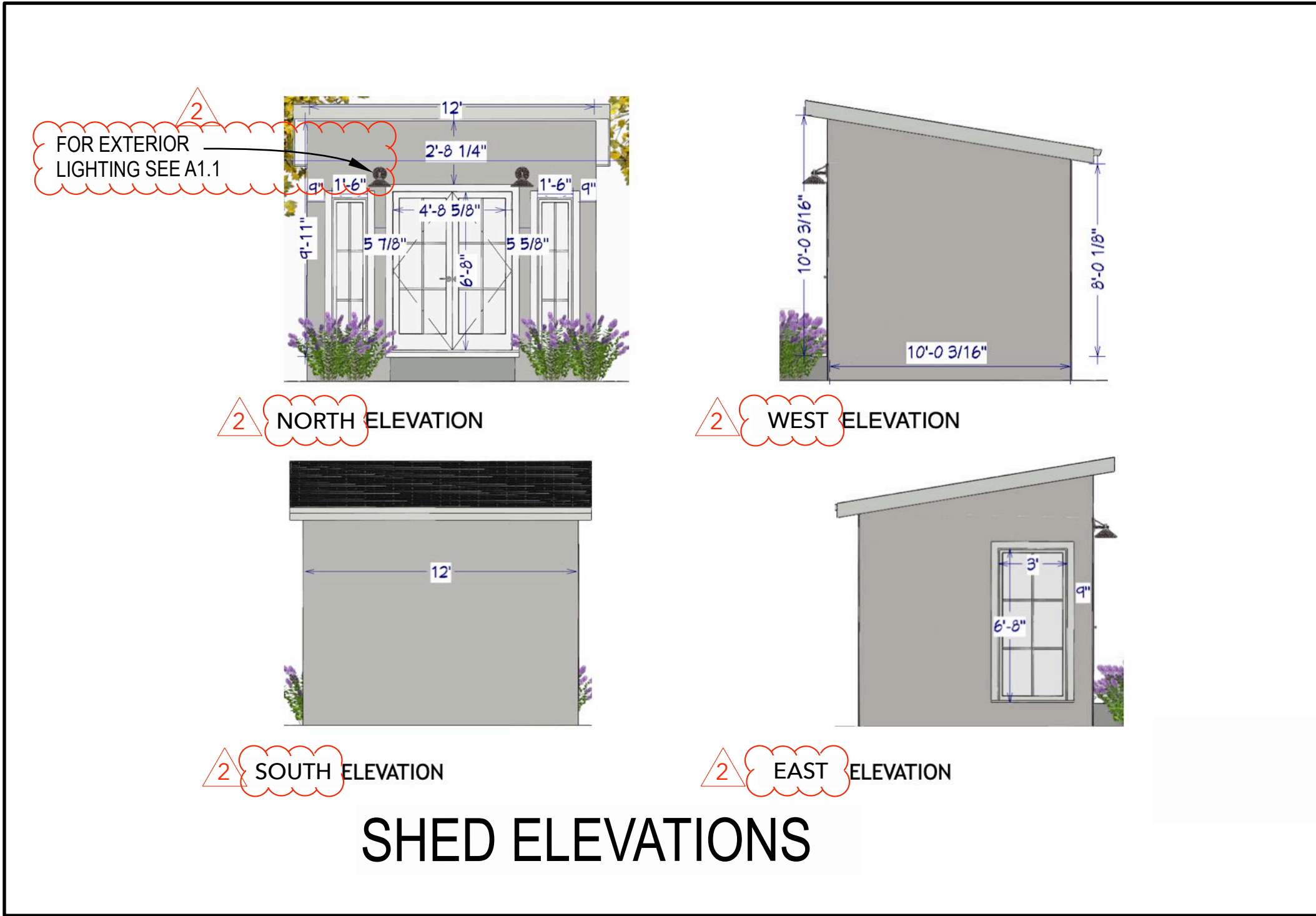
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rev. 3 date: 5-20-22
remark: PC#3

SITE PLAN,
FLOOR PLAN
ELEVATIONS

A0



4 SE OF 12 AVE CASANOVA ST
CARMEL BY THE SEA, CA
(N) ELECTRICAL SERVICE FOR 10' X 12' SHED
FLOOR PLAN, ELEVATIONS
OWNER: PATRICK & HEATHER LOWRY APN: 010-175-017

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FLOOR PLAN
ELEVATIONS



**EXTERIOR
DOWNWARD-FACING LIGHTING**

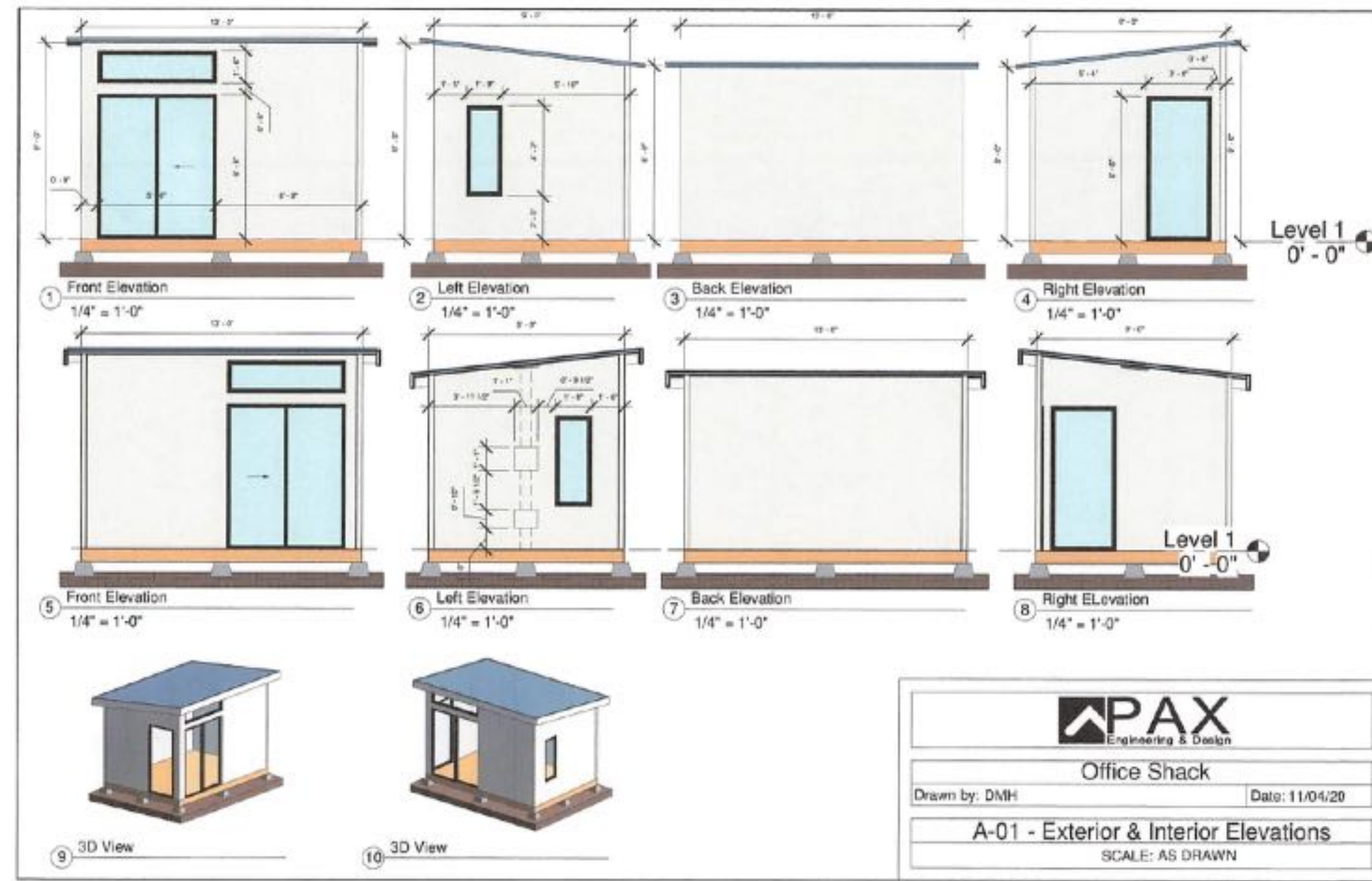
1
2
DARK SKY FRIENDLY
DESIGNATED TO EMIT NO LIGHT ABOVE
THE 90° HORIZONTAL PLANE

SHALL BE NO HIGHER THAN 10' ABOVE
THE GROUND AND NOT TO EXCEED 375
LUMENS IN LED AND 25 WATTS IF
INCANDESCENT IN POWER PER FIXTURE

4 Casanova



**SIDING: STYLE & COLOR TO
MATCH EXISTING RESIDENCE**



SHED FOUNDATION: CONCRETE PIER BLOCK LAYOUT

NOTE: OFFICE SHACK STRUCTURE ELEVATIONS NOT SPECIFIC TO THIS PROJECT. DRAWING INCLUDED TO SHOW FOUNDATION LAYOUT.

GAF Timberline HDZ Weathered Wood Algae Resistant Laminated High Definition Shingles (33.33 sq. ft. per Bundle) (21-Pieces)

★★★★★ (6,340)



ROOFING: STYLE & COLOR TO MATCH EXISTING RESIDENCE

**4 SE OF 12 AVE CASANOVA ST
CARMEL BY THE SEA, CA**
(N) ELECTRICAL SERVICE FOR 10' X 12' SHED
PIER BLOCK FOUNDATION, MATERIALS, LIGHTING
OWNER: PATRICK & HEATHER LOWRY APN: 010-175-017

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PIER BLOCK
FOUNDATION,
MATERIALS,
LIGHTING



17-07 Private Stormwater Drainage Systems

Background

The City of Carmel-by-the-Sea is situated uphill from Carmel Bay, a designated Area of Special Biological Significance which increases the need to manage stormwater discharges. The City, through its Environmental Compliance program, regulates stormwater discharges through the Carmel Municipal Code (CMC) in addition to regional, State and federal regulations.

CMC Chapter 15.08.230 states "Every person must take reasonable care in using her/his property to avoid injury or damage to adjacent property through the flow of surface water runoff or runoff from roof drainage systems. Roof water drainage shall drain into an approved drain system or drain to the public way via a noncorrosive device as approved by the Director of Public Works and/or the Building Official. Cross lot drainage should be avoided whenever possible as determined by the Building Official."

CMC Chapter 15.18.010 states "All site and roof runoff shall be directed onto private property of its origin and filtered through seepage pits, French drains, and/or leach fields where possible and may not cross lot lines to adjoining properties. Any runoff waters from the site that may be directed onto the public right-of-way or City storm drain system must be done with prior approval of the Building Official and/or Public Works Superintendent."

CMC Chapter 17.43.010 states "The purpose of this chapter is to protect and enhance coastal waters within the City of Carmel in accordance with the policies of the City's Local Coastal Plan (Sections 05-45 and 05-46), Sections 30230, 30231, 30232 and 30240 of the California Coastal Act, and the City's Phase II NPDES permit requirements. To implement the certified land use plan, application submittal requirements, development standards, and other measures are provided to ensure that permitted development shall be sited and designed to conserve natural drainage features and vegetation, minimize the introduction of pollutants into coastal waters to the maximum extent practicable, limit the discharge of stormwater runoff, and protect the overall quality of coastal waters and resources. All new development and redevelopment within the City shall comply with the requirements in this Chapter and in the City's Low Impact Development Guidance Manual (LID Guidance Manual) in Appendix I to this chapter. (See Chapter 17.42 CMC and CMC 17.42.020(D)(1)(b).)"

In consideration of these requirements, and in an effort to define the permitting requirements for stormwater management systems on private property, the following guidance has been developed.

Citations

Carmel Municipal Code Chapter 15.08, Building Code
Carmel Municipal Code Chapter 15.18, Site Drainage
Carmel Municipal Code Chapter 17.43, Water Quality Protection Ordinance

Guidance

Permits are required for certain drainage systems installed on private property in accordance with the following:

Exempt Drainage Improvement Projects – No permit required if project meets ALL requirements below. – See drawings beginning Page 3 and Rain Garden resource that follows.

Site Requirements:

- The maximum impervious area handled by the system is 500 SF or less
- The site slopes less than 7%
- Site soils are well-drained; Hydrologic Soil Group A or B as determined by the USDA Web Soil Survey or by site-specific infiltration data (See soil type map on P. 10)

Drainage Requirements:

- Drainage from downspouts and paved areas is directed to landscaped areas.
- Downspouts drain via splash blocks or pop-up emitters
- Runoff is dispersed throughout the site rather than concentrated in one location
- The landscaped area size is at least 50% of the size of the contributing impervious surface
- Runoff is directed away from building foundations
- Swales and dry creeks are used to convey runoff to rain garden(s) for infiltration
- Rain gardens are designed in accordance with the Bay Area Stormwater Management Agencies Association (BASMAA) publication *Rain Gardens, Stormwater Control for Small Projects*.
- Swales and rain gardens shall be located a minimum of 6 feet away from neighboring property lines and a minimum of 3 feet away from the public right-of-way.
- No runoff may enter onto the street right-of-way.

Drainage Improvement Projects Requiring a Building Permit – See drawings beginning Page 3

Prescriptive Projects - Do not require engineered design if the project meets ALL requirements below.

Site Requirements:

- The maximum impervious area managed by the proposed system is 1,200 square feet or less
- The site slopes less than 7%
- Site soils are well-drained; Hydrologic Soil Group A, or B as determined by the USDA web soil survey or by site-specific infiltration data (See soil type map on P. 10)
- The on-site groundwater level is greater than 5' below the finished grade

Drainage Requirements:

**EXEMPT DRAINAGE IMPROVEMENT PLAN:
NO PERMIT REQUIRED**

PROJECT: 120 SF SHED

SLOPE: 5% (5' RISE IN 100' RUN)
SEE CARMEL GIS 5' CONTOUR LINES BELOW

PROJECT SITE: SOIL TYPE "A" ON CARMEL PRIVATE STORMWATER
DRAINAGE SYSTEMS MAP PAGE 10 (SEE A2)

SOILS MAP UNIT: BbC
SOIL MAP UNIT NAME: BAYWOOD SAND
SEE CARMEL PARCEL REPORT ON A2 & USDA SOILS MAP ON A3

- Drainage from downspouts and paved areas is directed to landscaped areas, or collected in French drains or subgrade perforated pipe collectors, and conveyed to infiltration Best Management Practices (BMP) such as rain gardens or infiltration trenches.
- The landscaped area used for infiltration is at least 50% of the size of the contributing impervious surface
- Runoff is directed away from building foundations
- Runoff is dispersed throughout the site, or directed to two or more infiltration BMP's
- When not dispersed throughout the site, swales, dry creeks or piping systems with a minimum pipe diameter of 3" shall be used to convey runoff to an approved infiltration BMP
- Rain gardens are designed in accordance with the Bay Area Stormwater Management Agencies Association (BASMAA) publication *Rain Gardens, Stormwater Control for Small Projects*
- Infiltration trenches must have a sediment capture facility (sediment trap, vegetated swale) ahead of the trench
- Infiltration trenches shall be a minimum of 24 inches wide, 4' long and 3 to 5 feet deep and shall be designed in accordance with Attachment 2, Typical Infiltration Trench Design
- Trench aggregate shall have a minimum void volume of 30%
- The longitudinal slope of the trench shall not exceed 3%
- Drainage and infiltration features shall be located at least 6 feet away from neighboring properties and the top of steep slopes; and 3 feet away from any public street right-of-way.
- Overflow must be directed away from neighboring properties. Overflow to the street requires an Encroachment Permit approved by the Public Works Director

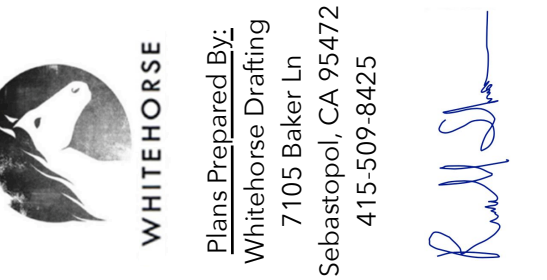
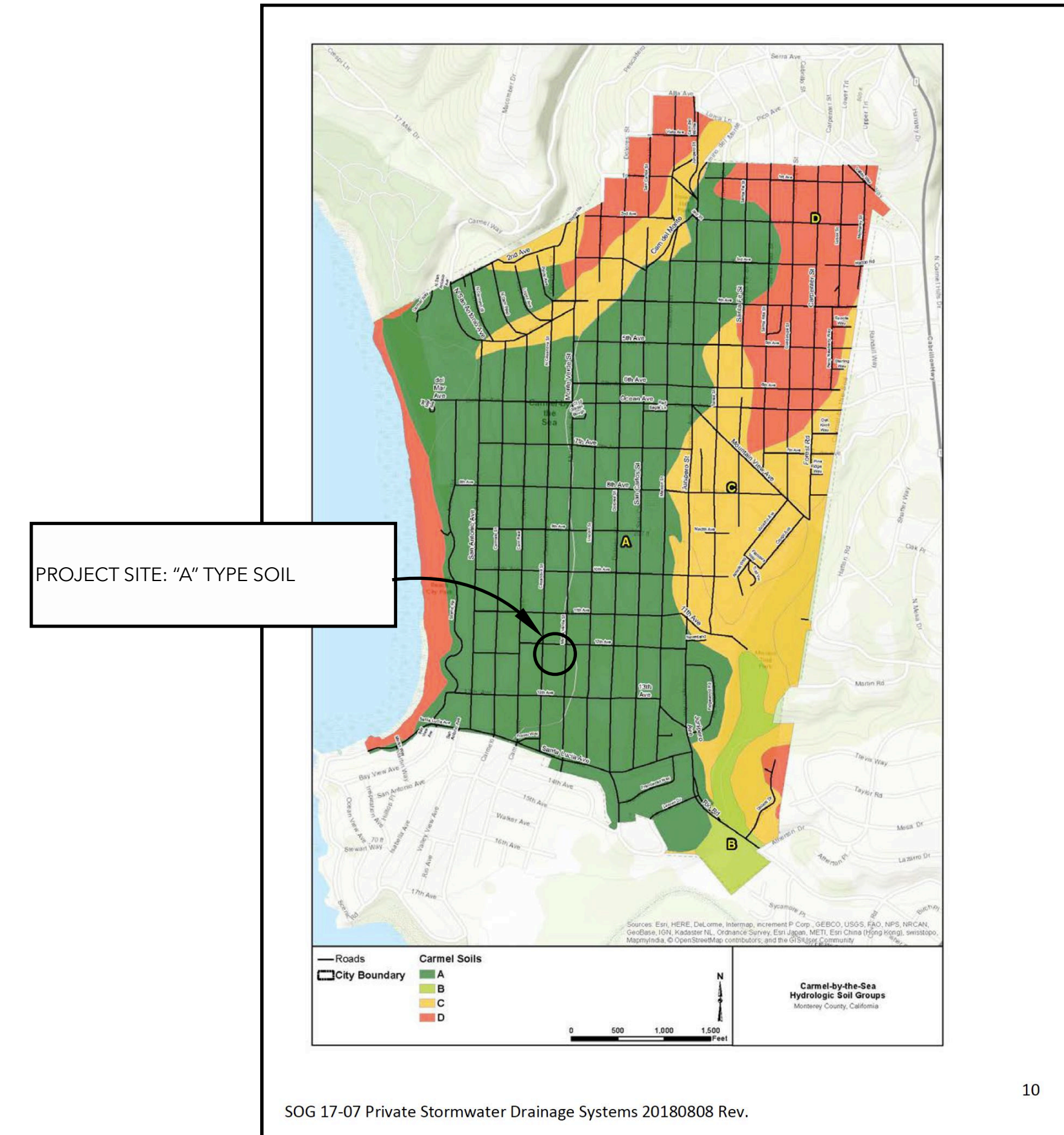
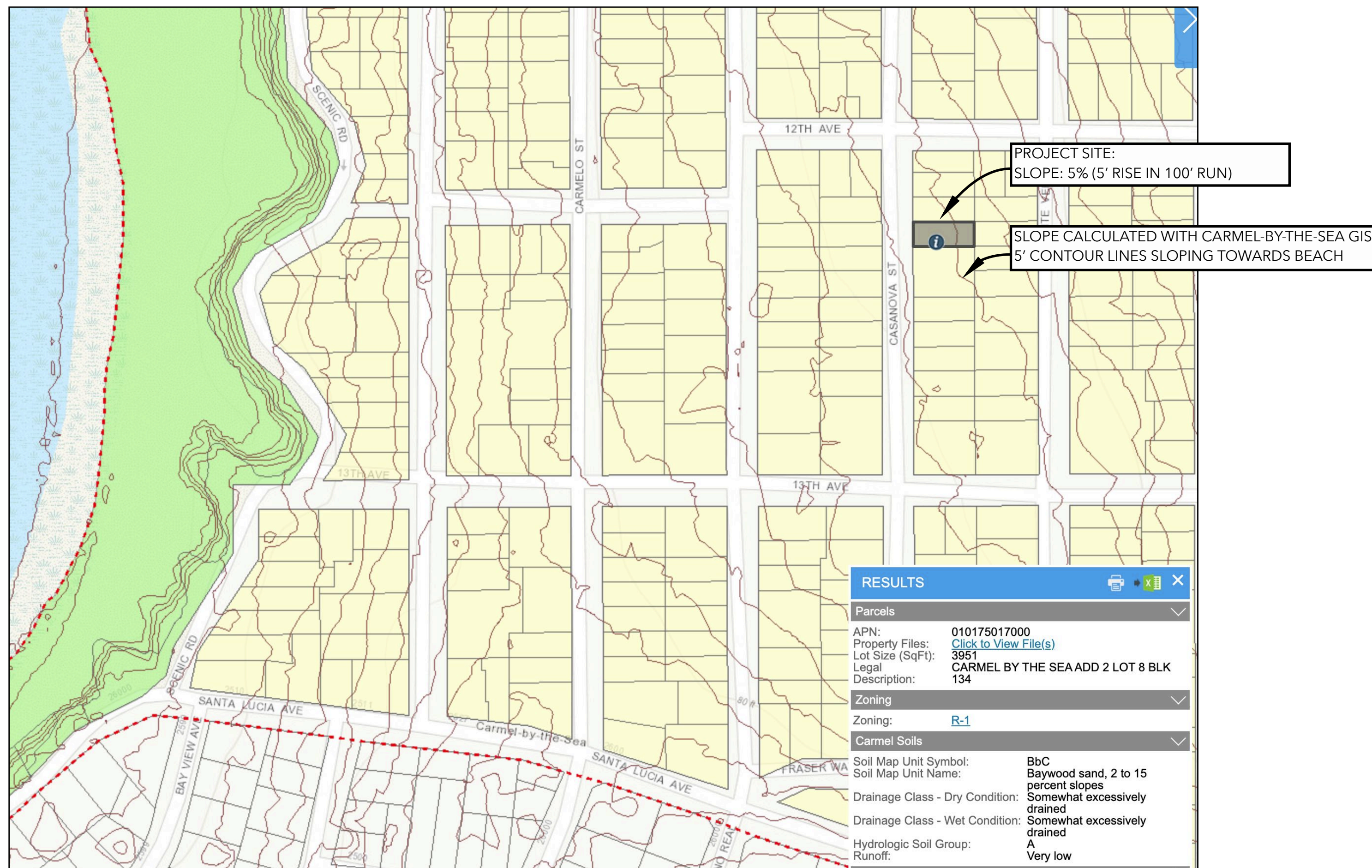
Complex projects (Engineered Design Required)

Drainage systems related to projects that involve the construction or alteration of building(s) and requiring a building permit; or other construction of site features that increase the impervious area on the site to exceed the limits specified above, shall be of engineered design.

Projects that fail to meet ANY of the criteria described above for non-engineered systems shall be designed by a civil engineer licensed in the State of California.

Maintaining drainage on private property is strongly encouraged. New flows into the public right-of-way (where the existing condition does not flow into the public right-of-way) may be approved by the Public Works Director only when it can be sufficiently demonstrated that maintaining drainage on private property creates a significant hardship to the property owner. In order to determine whether a 10-year storm can be properly conveyed through the City's storm drain system, the Public Works Director may require a drainage report identifying anticipated runoff volumes from the property.

17-07 CITY OF CARMEL-BY-THE-SEA PRIVATE STORMWATER DRAINAGE SYSTEMS



**4 SE OF 12 AVE CASANOVA ST
CARMEL BY THE SEA, CA
(N) ELECTRICAL SERVICE FOR 10' X 12' SHED**
DRAINAGE PLAN REQUIREMENTS, 5' PARCEL CONTOURS
OWNER: PATRICK & HEATHER LOWRY APN: 010-175-017

Document Date:
November 19, 2021

rev. 1 date: 4-7-22
remark: PC#1
rev. 2 date: 5-11-22
remark: PC#2
rev. 3 date: 5-20-22
remark: PC#3

**DRAINAGE PLAN
REQUIREMENTS,
5' PARCEL
CONTOURS**

A2

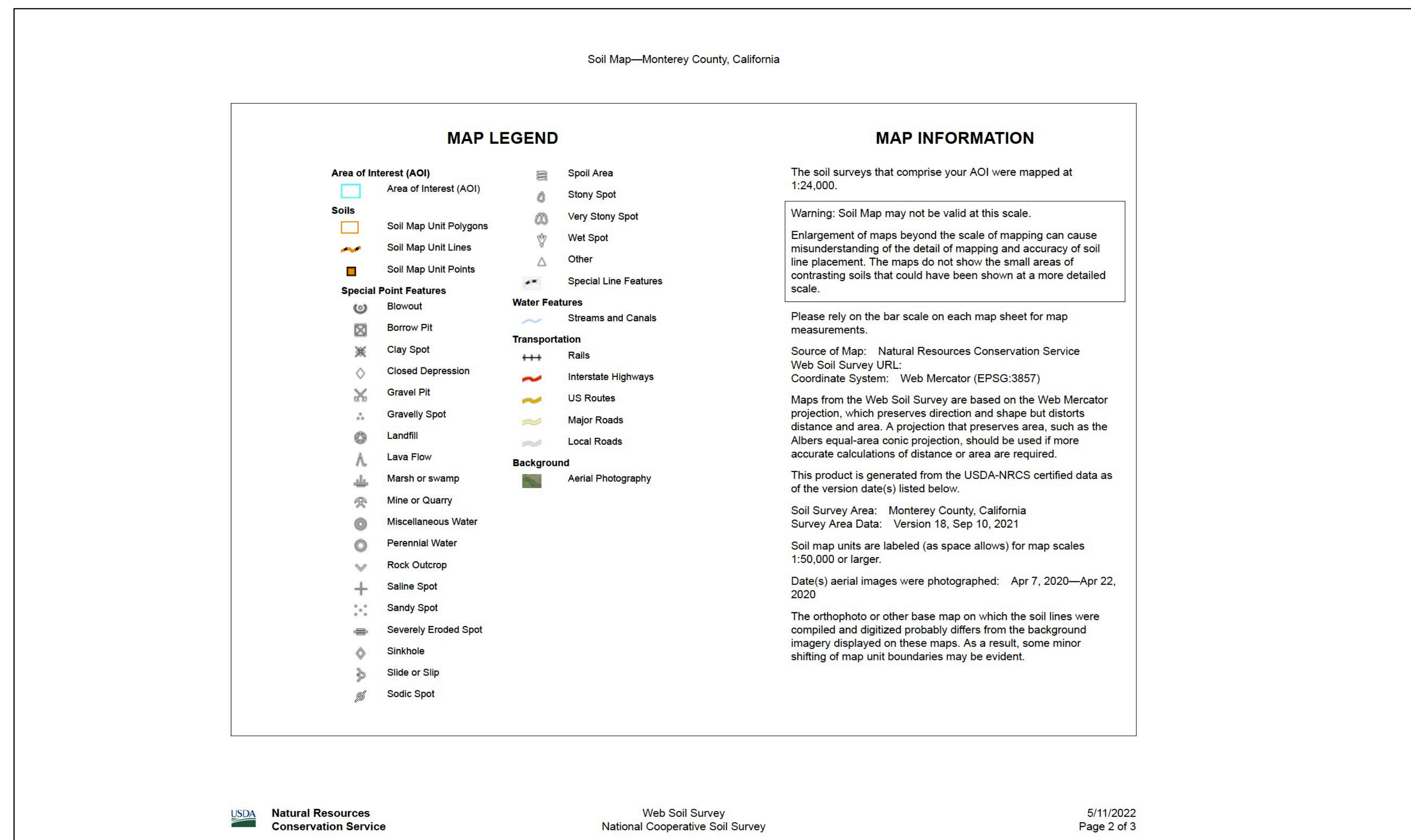


Soil Map—Monterey County, California

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
BbC	Baywood sand, 2 to 15 percent slopes	1.6	100.0%
Totals for Area of Interest		1.6	100.0%

USDA Natural Resources Conservation Service Web Soil Survey National Cooperative Soil Survey 5/11/2022 Page 3 of 3



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**4 SE OF 12 AVE CASANOVA ST
CARMEL BY THE SEA, CA
(N) ELECTRICAL SERVICE FOR 10' X 12' SHED**

USDA SOILS MAP & REPORT

OWNER: PATRICK & HEATHER LOWRY APN: 010-175-017

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USDA SOILS MAP &
REPORT

A2.1