

AZADEH MARDANI RESIDENCE

APN: 010-033-011-000

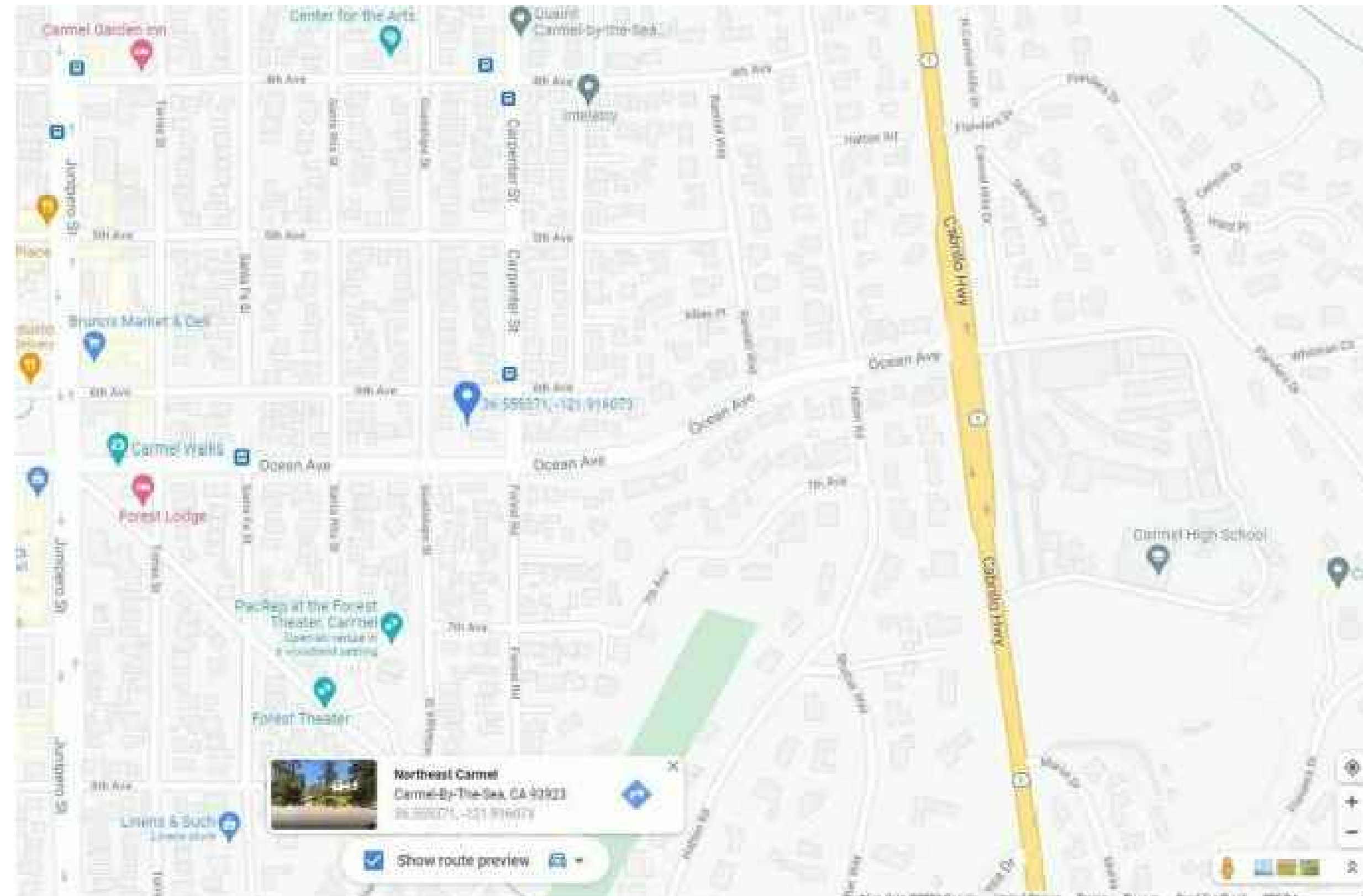
SINGLE-FAMILY HOME REMODEL/ADDITION

OWNER: AZADEH MARDANI

4 NE GUADALUPE CARMEL, CA 93923

Phone: (408) 826-9046

Email: azadehmardani1@yahoo.com



SCOPE OF WORK:

1. FIRST FLOOR - 272 SQFT REAR ADDITION, 219 SQFT FRONT ADDITION, AND ADD 200 SQFT ATTACHED GARAGE
2. SECOND FLOOR - ADD A NEW 800 SQFT ADU ON THE SECOND FLOOR AND 235.5 SQFT BALCONY IN THE FRONT, REAR, AND LEFT SIDE.

BUILDING CODE:

ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LAWS, CODES AND REGULATORY AGENCIES HAVING JURISDICTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CAL GREEN

BUILDING DATA:

OCCUPANCY CLASSIFICATION: R-3/U
 CONSTRUCTION CLASSIFICATION: V-B
 FIRE SPRINKLERS: N
 NUMBER OF STORIES: 2
 MAX. EXIST BUILDING HEIGHT: 22'-0"
 GROSS AREA OF LOT: 2,500 SQFT
 GROSS AREA OF EXISTING RESIDENCE: 562 SQFT

AREA ADDITION:
 FIRST FLOOR: 1,089 SQFT
 SECOND FLOOR - ADU: 800 SQFT
 ATTACHED GARAGE: 200 SQFT

INDEX OF DRAWINGS:

- G.0 PROJECT DATA, PARCEL MAP, SITE PHOTOS
- G.1 SITE PLAN
- G.2 PRELIMINARY SITE ASSESSMENT REPORT
- G.3 TREE EVALUATION
- A.1 EXIST AND PROPOSED FLOOR PLAN
- A.2 EXIST AND PROPOSED ROOF PLAN
- A.3 EXIST AND PROPOSED ELEVATIONS
- A.4 ELECTRICAL PLAN
- A.5 MATERIALS AND COLORS

Owner:
 AZADEH MARDANI
 408-826-9046
 AZADEHMARDANI1@YAHOO.COM

Coordinating Professional:
ARCHITECT
 NES CONSULTANTS
 1659 BRANHAM LN
 SUITE F, PMB 109
 SAN JOSE, CA 95118
 (510) 962-2008
 nhpham.structural@gmail.com

STRUCTURAL ENGINEER
 NES CONSULTANTS, INC.
 1659 BRANHAM LN
 SUITE F, PMB 109
 SAN JOSE, CA 95118
 (510) 962-2008
 nhpham.structural@gmail.com

CIVIL ENGINEER

SPECIAL SYSTEMS

CODES: 2019 IBC

USE AND OCCUPANCY: R3/U
 CONSTRUCTION TYPE: VB

ZONING:

Issue: Permit Set
 Date: 10/22/2021
 Dwg File: 4 NE
 Drawn By: NP
 Checked By: NP

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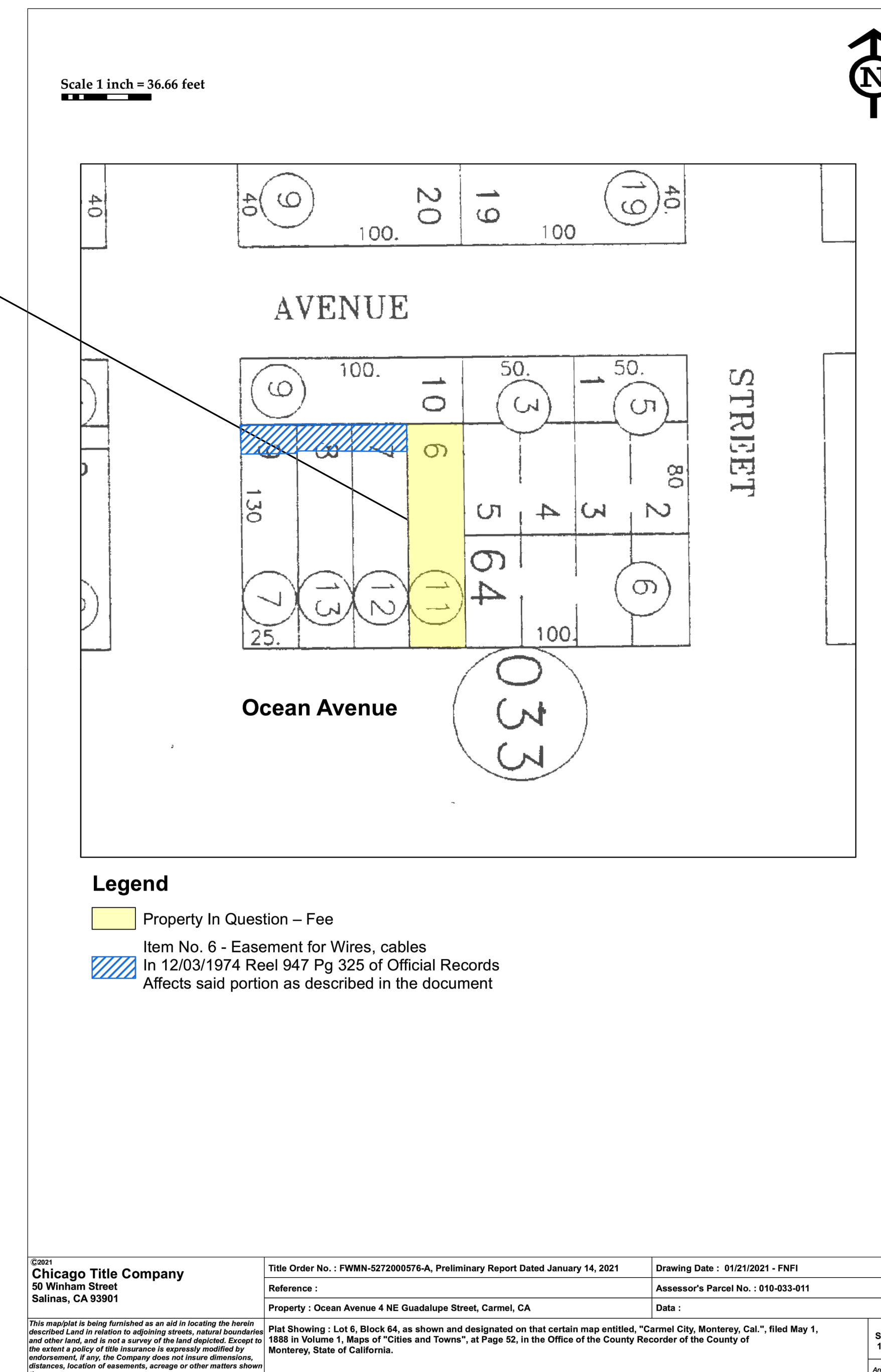
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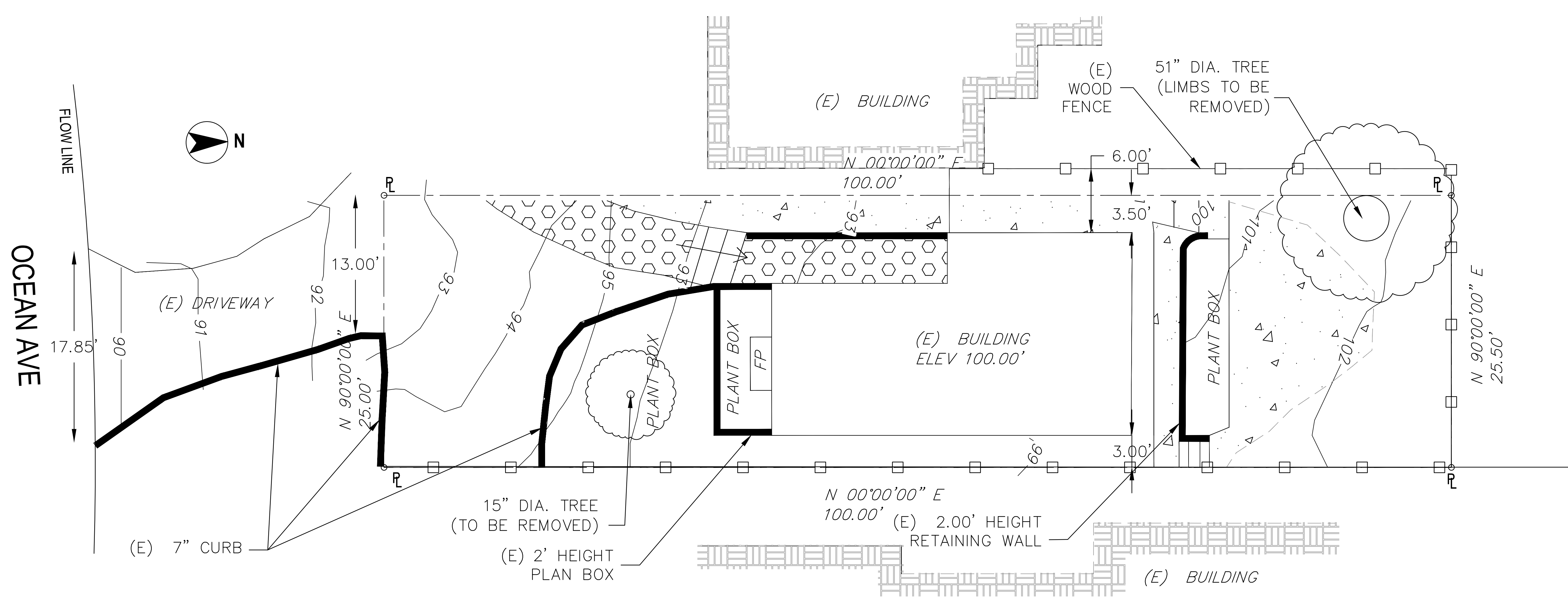
COVER SHEET

Sheet Number:

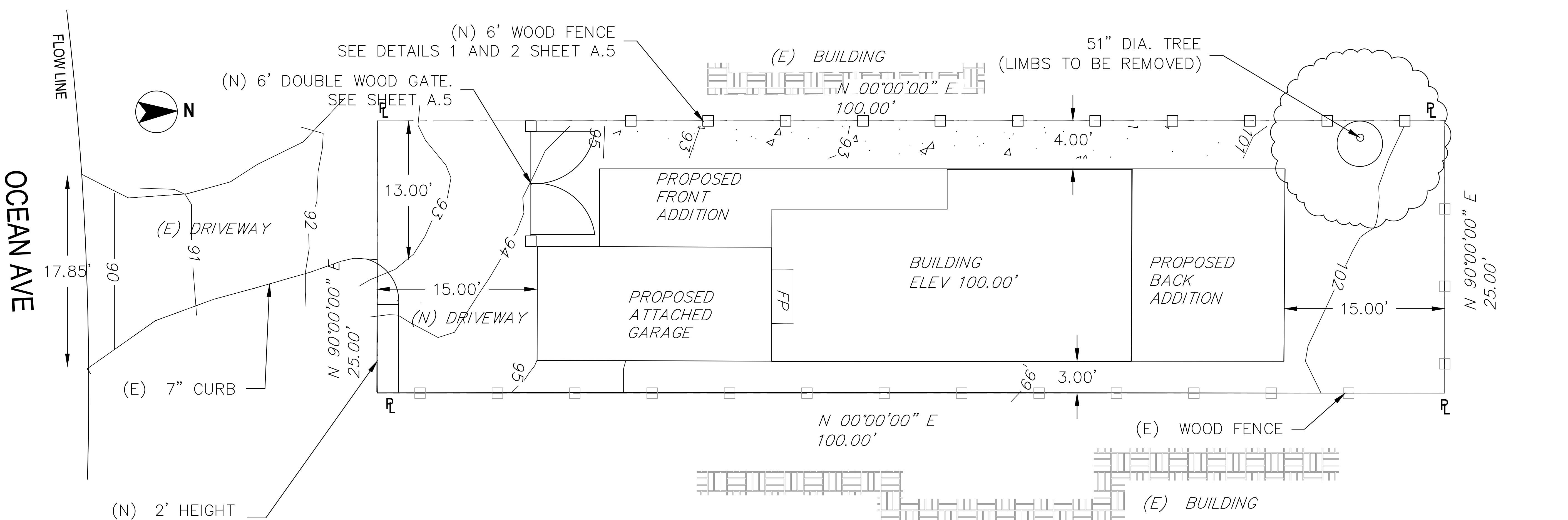
G.0

PROJECT SITE





EXISTING SITE PLAN



PROPOSED SITE PLAN

AREA	OWNER
PARCEL #1 EXISTING AREA 2,550 SQFT.	AZADEH MARDANI APN 010-033-011-000 SITE ADDRESS: OCEAN 4NE GUADALUPE CARMEL BY THE SEA, CA

LEGEND:

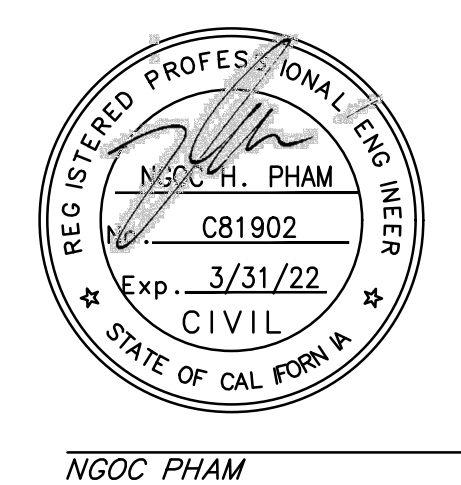
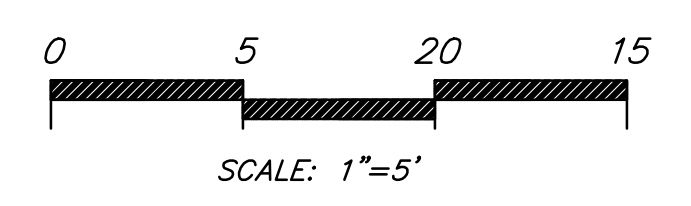
EXISTING (Symbol Size May Vary)	PROPOSED
—	—
●	●
○	○
—x—	—x—
—w—	—w—
△	△
□P	□P
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←	←
—	—

ABBREVIATION:

AS	ASPHALT	CS	GARAGE SLAB
BLDG	BUILDING	HP	HIGH POINT
CL	CENTER LINE	LP	LOW POINT
CONC	CONCRETE	MAX.	MAXIMUM
CS	CONCRETE SURFACE	MIN.	MINIMUM
DECID.	DECIDUOUS TREE	(N)	NEW
DS	DOWN SPOUT	PL	PROPERTY LINE
(E)	EXISTING	R/W	RIGHT OF WAY
EG	EXISTING GRADE	SSCO	SANTA CLARA COUNTY
FF	FINISHED FLOOR	SD	STORM DRAIN
FG	FINISHED GRADE	SDMH	STORM DRAIN MAINHOLD
FL	FLOW LINE	TYP	TYPICAL
GB	GRADE BREAK	TP	TOP PAVEMENT

BENCHMARK:
ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM.

NOTES:
1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS AND PER THE BOUNDARY SURVEY STAKES OF THE PROPERTY AT 3NE GUADALUPE, CARMEL BY THE SEA, CA.



04/7/2021
DATE

NES CONSULTANTS LLC.
SAN JOSE, CA
CELL: (910) 962-2008
NH@PHAM.STRUCTURAL@GMAIL.COM

SITE PLAN
OCEAN 4NE GUADALUPE
CARMEL BY THE SEA, CA

Drawn By: MP
Date: 05/11/2022
Scale: 1"=5'
Job No.: 21025
Checked:

NO.	DATE	REVISIONS		SHEET
		ISSUED	FOR BY	
				1
				OF 1

PRELIMINARY SITE ASSESSMENT REPORT

Date of Site Visit: May 11, 2021
Planner: Marnie R. Waffle
Forester: Sara Davis
Block/Lot: 64 / 6
APN: 010-033-011
Property Owner: MARDANI SEYEDH & MOSTAFAZADEH SHAHRAM
Street Location: Ocean 4 NE of Guadalupe

Purpose: The information contained in this Preliminary Site Assessment is meant to provide input to the applicant on potential project issues prior to project submittal.

Location:

Table with 2 columns: Zoning District, Coastal Commission Appeal/Jurisdiction Overlay, Archaeological Significance Overlay, Park Overlay, Beach and Riparian Overlay, Environmentally Sensitive Habitat Area, Very High Fire Hazard Severity Zone.

Street and Neighborhood Character:

- Style and materials of the existing residence:



Front (South & West) Elevation (left) Rear (North) Elevation (right)

studio. Studios shall be a maximum size of 400 square feet and shall not exceed the allowed floor area ratio for the lot.

Accessory Dwelling Units (ADUs): One accessory dwelling unit and one junior accessory dwelling unit are permitted pursuant to CA State Law. For more information, please refer to the Accessory Dwelling Unit Handbook.

- Topography and drainage features: The Residential Design Guidelines encourage designs that follow the natural contours of the site and that avoid abrupt changes in grade on the site and between properties.

Following design approval, plans that are submitted for a building permit must include a storm water drainage plan. The drainage plan shall include applicable Best Management Practices and all drainage shall be retained on-site through the use of semi-permeable paving materials, French drains, seepage pits, etc.

- Site Coverage: The permitted impermeable site coverage is 22% of the allowable floor area. Based on a maximum allowed base floor area of 1,125 square feet, the allowed impermeable site coverage would be 247 square feet. The City recognizes the following materials as permeable or semi-permeable: gravel, spaced decking, exterior stairs, sand-set bricks or pavers, garden walkways of small paving stones, and arbors.

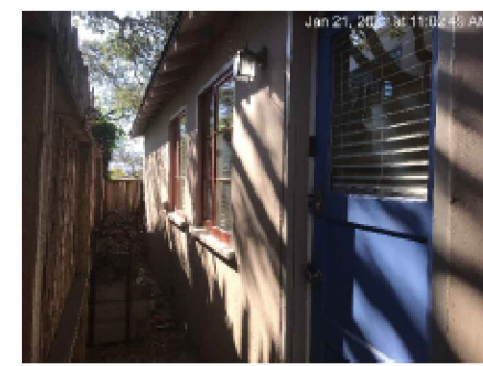
- Fences: Fences located within the front setback are limited to 4 feet in height. This limit cannot be increased through a Design Study. Side and/or rear yard fences are permitted a height of 6 feet and may be taller with approval by the Planning Commission. The heights should be clearly noted on the project plans.

Table 17.10-G: Maximum Track One Fence and Wall Heights. Columns: Design Element, Front Setback, Side Setback, Side Setback Facing Street, Rear Setback.

* These limits shall not be altered through Design Review by the Planning Commission.
** Up to six feet may be allowed for retaining walls that are not visible from the street. See CMC 17.10.030(E)(4).

Potential Neighbor Impacts:

- Privacy Concerns: The Residential Design Guidelines encourage preserving reasonable privacy for adjacent properties and locating windows such that they avoid overlooking



Side (East) Elevation

- Style and materials of the neighboring residences: The Residential Design Guidelines encourage diversity of architectural styles while maintaining compatibility with the character of the neighborhood. A new building should be different in style from buildings on nearby and abutting properties.
Right-of-way characteristics: The project site fronts on Ocean Avenue but maintains a significant setback from the street as well as the front property line. On/about 1965, two driveways were installed to provide a semi-circular access to five cottages which were being used for short-term lodging known as Buena Vista Cottages. By 1974, all five cottages had been converted back to single-family use but the semi-circular driveway remained in use as it currently exists today providing access and parking for three of the five original cottages. The front yard of the project site serves as the entrance to the parking area with the exit located two lots west of the project site.

Site Conditions & Development Standards:

- Building Site Area: The lot is 2,500 square feet (25'x100'). The maximum base floor area is 45% of the building site, or 1,125 square feet. A minimum of 200 square feet of the base floor area, and 2,200 cubic feet of exterior volume, shall be reserved for required parking whether provided by a garage, carport or parking pad.

Floor Area is defined as, "...the total gross square footage included within the surrounding exterior walls of all floors contained within all enclosed buildings on a building site whether finished or unfinished. In above-ground spaces, floor area is measured at the exterior of the enclosing walls. In basement spaces, floor area is measured at the interior of the enclosing walls. Floor area shall include, but shall not be limited to, all floors of all enclosed spaces within all building, basements, mezzanines, guesthouses, studios, garages and carports. All attic, basement and storage shed spaces with five or more feet of clearance between the floor or walking surface and the ceiling or roof surface shall be counted as floor area. All required parking shall be counted as floor area, whether supplied by garage, carport or other means."

active indoor and outdoor use areas of adjacent properties. Additionally, the Guidelines recommend screening patios and terraces.

- View Concerns: The Residential Design Guidelines encourage maintaining view opportunities to natural features that lie outside the property. The Carmel Municipal Code states, "Designs should respect views enjoyed by neighboring parcels. This objective is intended to balance the private rights to views from all parcels that will be affected by proposed building or addition. No single parcel should enjoy a greater right than other parcels except the natural advantages of each site's topography. Buildings which substantially eliminate an existing significant view enjoyed on another parcel should be avoided."

- Neighborhood Input: Staff strongly recommends reaching out to the adjacent property owners prior to any public hearings to explain the proposed project and address any concerns. Most project delays occur when applicants have not reached out to neighbors early in the process.

Forest/Trees: The Significant Tree Evaluation Worksheet and annotated tree survey will be provided under separate cover.

Historic Status: The property was reviewed for historical significance and on February 5, 2021, it was determined that the property is not historic. This determination is valid for five (5) years after which time the property becomes eligible to be reviewed again.

Story Pole Policy: Story-poles and netting are required in Carmel-By-The-Sea. Enclosed is a copy of the City's Story-Pole Policy which was adopted by the City Council in 2017. All story-poles, netting and ribbons must be installed, and certified, in accordance with the Story-Pole Policy a minimum of 10 calendar days prior to a public hearing. Failure to comply with the Policy could result in the project being continued to a later hearing date.

Additional Resources: For more information on the Design Review Process, Residential Design Guidelines, Carmel Municipal Code, Green Building Ordinance and Title 7A of the Building Code, please visit our website at:

https://ci.carmel.ca.us/community-planning-and-building

- Setbacks: The minimum front and rear setbacks are 15 feet. The composite side yard setback is 25% of the lot width with a 3-foot minimum on one side. Fractions are rounded up to the next whole number.

Table 17.10-A: Setback Standards for R-1 District. Columns: Lot Type, Front Setback (in feet), Rear Setback (in feet), Composite* (both sides), Minimum Setbacks (in feet), Street Side.

* The rear setback is three feet for those portions of structures less than 15 feet in height.
** See CMC 17.10.030(A)(1) and 17.06.020, Rules of Measurement.

- Building Height:

Table 17.10-C: Maximum Height Standards. Columns: R-1 District, R-1-BR District, R-1-PO District. Rows: Number of Stories Allowed, Roof Height of First Story (in feet), Plate Height of First Story (in feet), Roof Height of Second Story (in feet), Plate Height of Second Story (in feet).

- Exterior Volume: The maximum allowable exterior volume is the total allowed base floor area for the site multiplied by the volume factors in Table 17.10-E (refer to table below). It is recognized that existing homes built prior to 2003 may not have been designed to comply with volume standards. For these homes, the Code allows the exterior volume to be calculated for additions only.

Table 17.10-E: Exterior Volume Factors for R-1 District. Columns: One-Story Elements of the Building, Two-Story Elements of the Building. Rows: Located under a pitched or sloping roof greater than 3:12 pitch, Located under a flat roofed area of the building 3:12 or less pitch.

- Parking: One parking space per primary dwelling is required on sites 8,000 square feet or less. Required parking shall be provided by a garage, carport or parking pad measuring at least 10 feet by 20 feet having practical ingress and egress for a vehicle (CMC 517.10.030.F). All required parking shall be provided on-site and shall be counted as floor area and exterior volume. On each site, a minimum of 200 square feet of base floor area and 2,200 cubic feet of exterior volume shall be reserved for each required parking space whether provided by means of a garage, carport or parking pad.

- Garage: To encourage variety and diversity in neighborhood design, detached garages and carports may be authorized by the Planning Commission within the front setback and/or side yard setback facing a street (CMC 517.10.030.A.1). Garages permitted to be located within a setback are limited to a single-car, detached structure not exceeding 12 feet in width, 250 square feet in floor area and 15 feet in height. Detached garages may encroach into an interior side yard setback, rear yard setbacks, or both, if limited to 15 feet in height, the setback encroachment would not impact significant or moderately significant trees, and the garage location/design complies with design guidelines.

- Accessory Structures: Up to two accessory structures may be constructed on the property. Accessory structures cannot exceed 400 square feet in floor area (unless an exception applies) and count towards the total base floor area allowed for the site. Sheds that exceed 5 feet in height also count as floor area.

Studio: A studio is defined as, "An attached or detached residential dwelling unit without kitchen or cooking facilities, designed for accessory uses by occupants of the dwelling to which it is accessory, and not designed or intended for living, sleeping and/or cooking. Studios are permitted to have a bathroom with a sink and toilet. Studios that are attached to the primary dwelling are not required to have inter-accessibility with the primary dwelling."

One studio is permitted so long as it does not contain any living, sleeping, bathing or food preparation facilities of any kind. Studios may have a bathroom with a sink and toilet. Studios that are attached to the primary dwelling are not required to have inter-accessibility with the primary dwelling. No additional parking is required for a

active indoor and outdoor use areas of adjacent properties. Additionally, the Guidelines recommend screening patios and terraces.

- View Concerns: The Residential Design Guidelines encourage maintaining view opportunities to natural features that lie outside the property. The Carmel Municipal Code states, "Designs should respect views enjoyed by neighboring parcels. This objective is intended to balance the private rights to views from all parcels that will be affected by proposed building or addition. No single parcel should enjoy a greater right than other parcels except the natural advantages of each site's topography. Buildings which substantially eliminate an existing significant view enjoyed on another parcel should be avoided."

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Vertical sidebar containing: SUBMITTAL table, REVISIONS table, Professional Engineer Seal for NGOC PHAM (C81902), Signature of NGOC PHAM, NES CONSULTANTS LLC logo and address, PRELIMINARY SITE ASSESSMENT REPORT title, AZADEH MARDANI RESIDENCE title and address, Scale AS NOTED, Date 4/22/21, REF. NO., DWG. NO. G.2, 2 of 10 Sheets, JOB NO. 21021, and USER/DATE/SCALE/PLANS/INCHES/PLANS FOR REDUCED PLANS.

Significant Tree Evaluation Worksheet

APN: 010-033-011-000
Street Location: Ocean 4 NE of Guadalupe
Planner: Marnie Waffle
City Forester: Sara Davis
Property Owner: Mardani
Recommended Tree Planting: 1 upper canopy tree

Part One: Initial Screening:

Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

A. Does the tree pose an above-normal potential risk to life and property?

Table with 15 columns for Tree # (1-15) and rows for YES/NO.

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?

Table with 15 columns for Tree # (1-15) and rows for Species (MC, MP, CO) and YES/NO.

MP-Monterey pine MC-Monterey cypress BP-Bishop pine CR-coast redwood CO-coast live oak
CI - Catalina ironwood CS - California sycamore BL - big leaf maple OT - other
(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. Does the tree meet the minimum size criteria for significance?

Table with 15 columns for Tree # (1-15) and rows for YES/NO.

Monterey pine, Monterey cypress, Bishop pine, Coast redwood: 6" DBH
Coast live oak - single trunk tree: 6" DBH
Coast live oak - multi-trunk tree measured per industry standard: 6" DBH
California sycamore, Big leaf maple, Catalina ironwood, other: 10" DBH
dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

Part Two: Assessment For Tree Significance

For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

D. What is the health and condition of the tree?

Table with 15 columns for Tree # (1-15) and rows for score.

0 points: The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.
1 point: The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.
2 points: The tree appears healthy and in good condition.
3 points: The tree shows excellent health, is free of pests and disease and is in very strong condition.

E. What is the overall form and structure of the tree?

Table with 15 columns for Tree # (1-15) and rows for score.

0 points: Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.
1 point: The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.
2 points: The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.
3 points: The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each

F. What is the age and vigor of the tree?

Table with 15 columns for Tree # (1-15) and rows for score.

0 points: The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.
1 point: The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.
2 points: The tree is young to middle age and shows normal vigor.
3 points: The tree is young to middle age and shows exceptional vigor.

G. Are environmental conditions favorable to the tree?

Table with 15 columns for Tree # (1-15) and rows for score.

0 points: The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.
1 point: The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.
2 points: The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

Part Three: Final Assessment

Record the total points scored on D - G for each tree.

Table with 15 columns for Tree # (1-15) and rows for Total Score.

A. Did all assessment categories in Part Two achieve a minimum score of 1-point?

Table with 15 columns for Tree # (1-15) and rows for YES/NO.

B. Are there any other factors that would disqualify a tree from a determination of significance? (Explain any 'yes' answer)

Yes _____

Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of 6 or more points or shall be classified as Moderately Significant if it achieves a score of 4 or 5 points. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score at least 7 points, or as Moderately Significant if they score at least 4 points. All other trees are classified as non-significant.

Table with 15 columns for Tree # (1-15) and rows for SIGNIF/NOT SIGNIF.

Items to note:

Required Structural Root Zone

Table with 15 columns for Tree # (1-15) and rows for Feet.

Required Tree Protection Zone

Table with 15 columns for Tree # (1-15) and rows for YES.

Requirements for tree preservation shall adhere to the following tree protection measures on construction site.

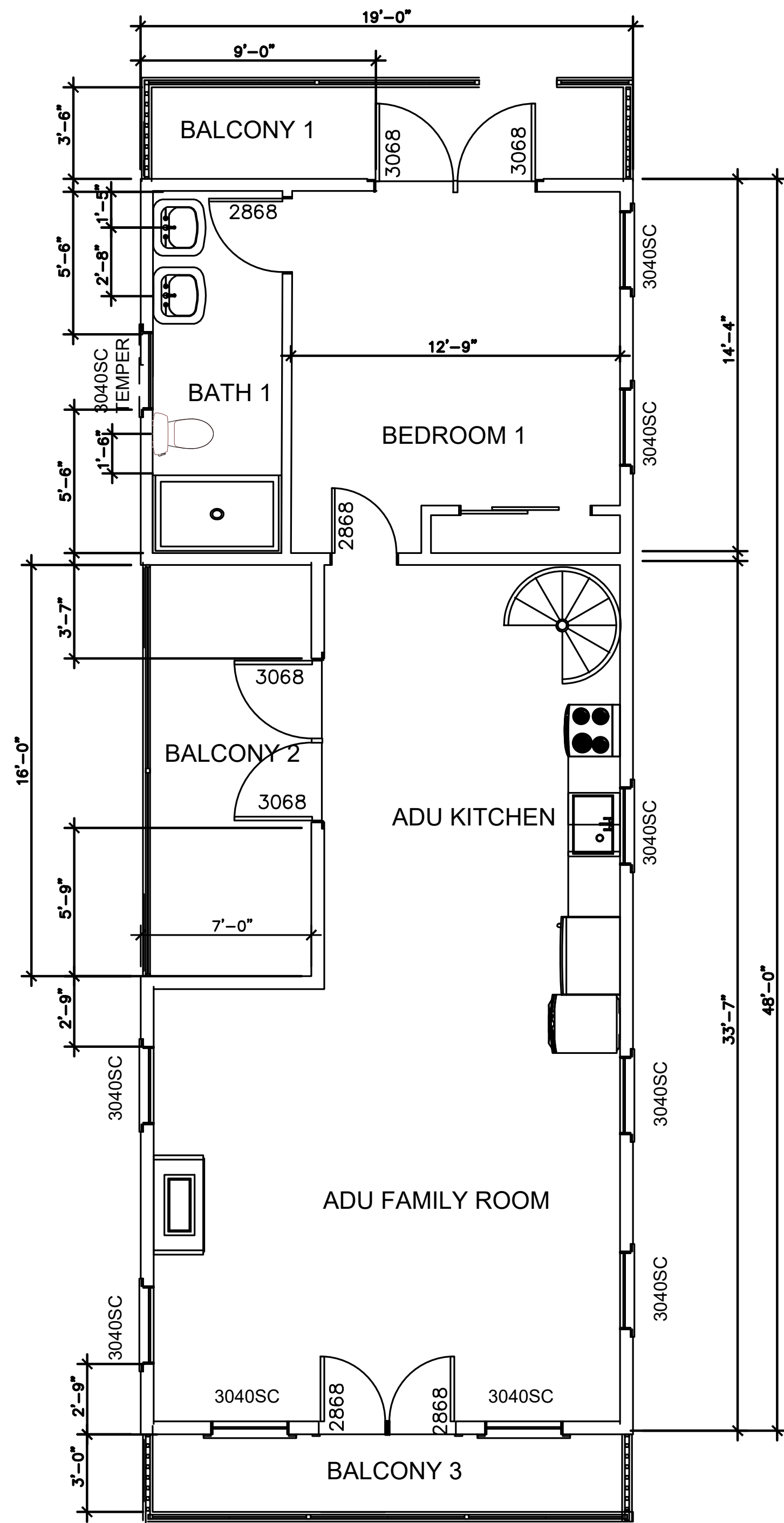
- Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
• Excavation within 6 feet of a tree trunk is not permitted.
• No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
• Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.
• Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater.
• The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater.
• If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
• If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.

Professional Engineer Seal for NGOC PHAM (CB1902) REGISTERED CIVIL ENGINEER

NES CONSULTANTS LLC CIVIL & STRUCTURAL ENGINEERING 1659 BRANHAM LN, SUITE F, PHB180 SAN JOSE, CA 95118 (415) 962-2008

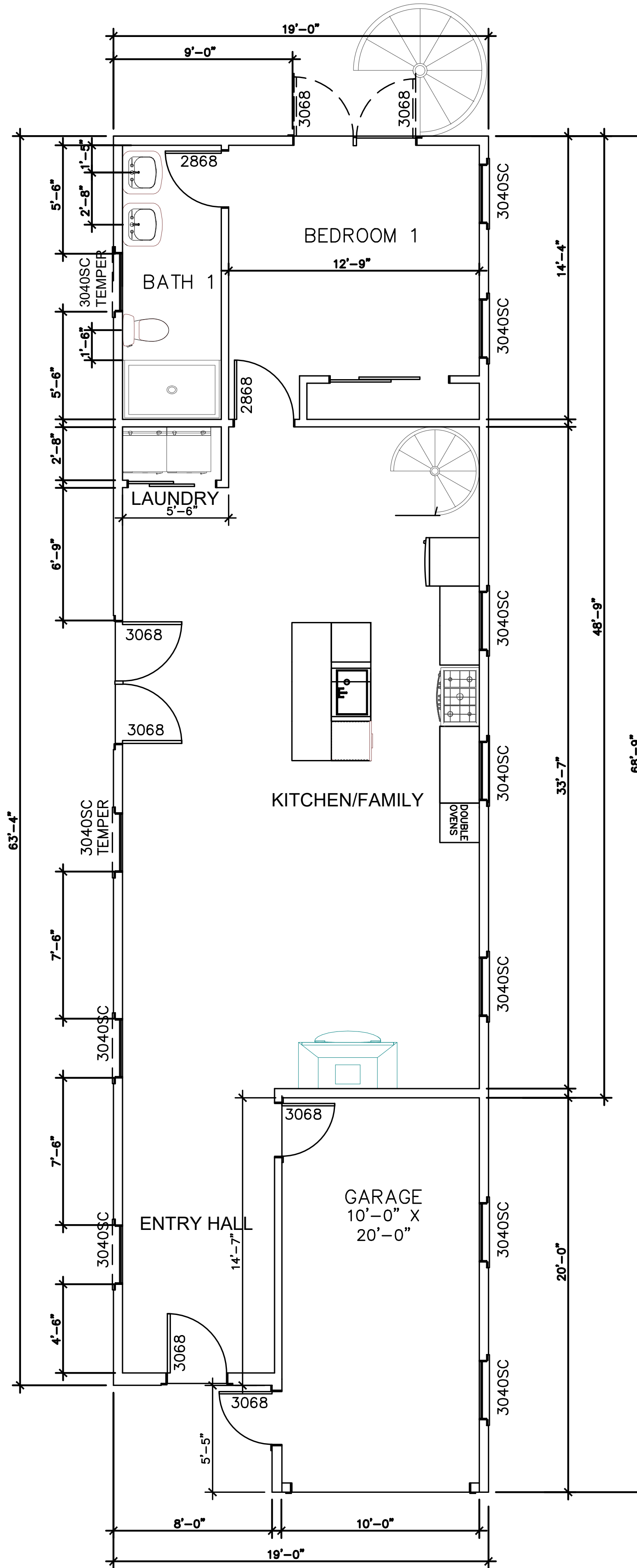
Signature line for NGOC PHAM (CB1902) REGISTERED CIVIL ENGINEER

Scale A&S NOTED
Date 4/22/21
REF. NO.
DWG. NO. G.3
of 10 Sheets
JOB NO. 21021



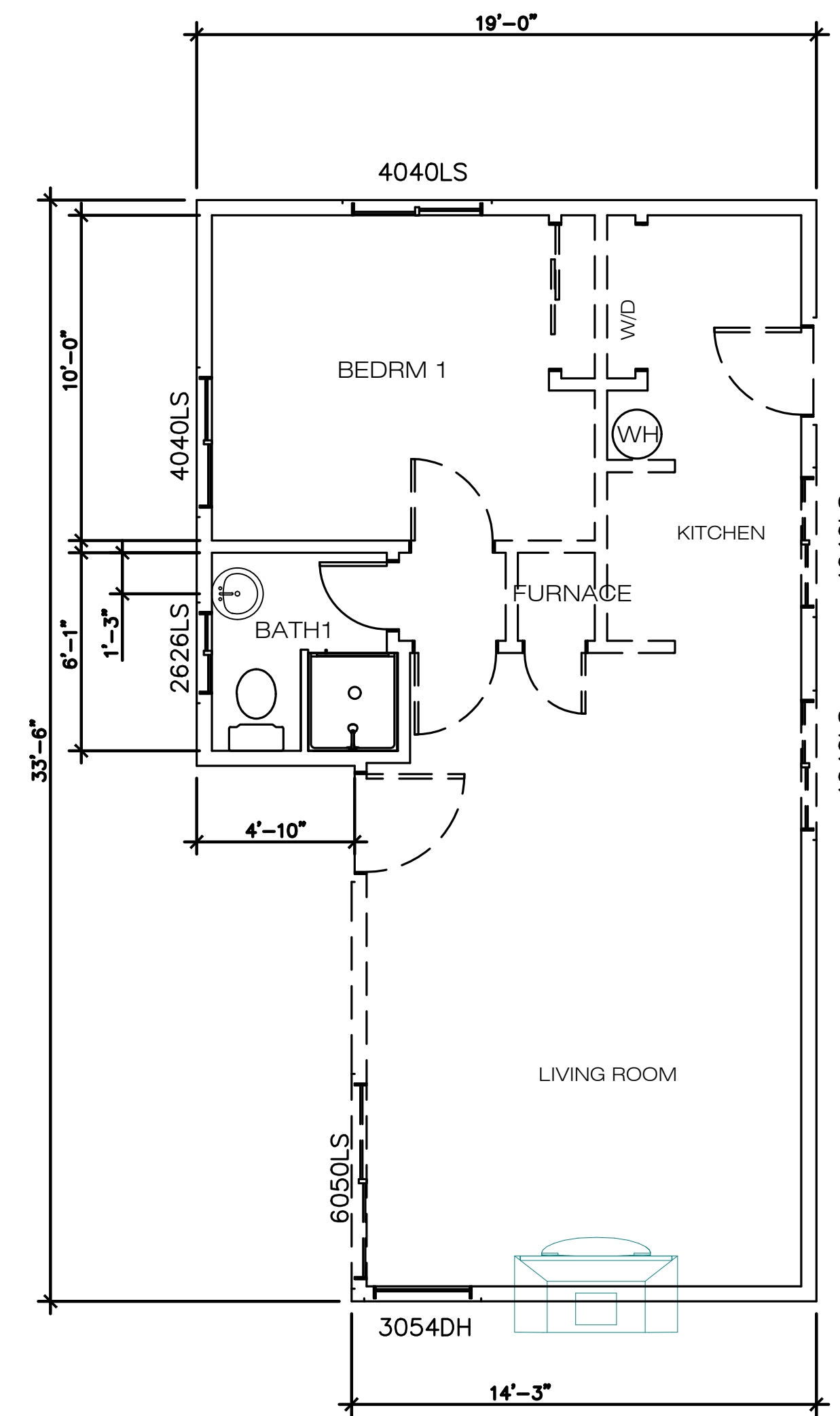
PROPOSED FLOOR PLAN – ADU

scale: 1/4" = 1'-0"



PROPOSED FLOOR PLAN – MAIN HOUSE

scale: 1/4" = 1'-0"



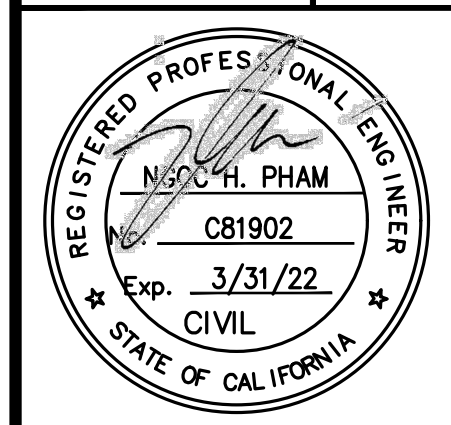
EXISTING FLOOR PLAN – MAIN HOUSE

scale: 1/4" = 1'-0"

- WALL LEGEND**
- EXISTING TO REMAIN
 - ▬ NEW 2x6 @16" STUD WALL AT EXTERIOR WALL
 - ▬ NEW 2x4 @16" STUD WALL AT INTERIOR WALL
 - - - TO BE DEMOLISH
 - ▨ 1-HOUR FIRE RATE WALL
- INSTALL 5/8" TYPE "X" GYPSUM BOARD AT ALL WALLS LOCATED WITHIN 5FT OF THE PROPERTY LINE. SEE DETAIL 1

DATE	BY	MARK	DESCRIPTION
4/22/21			

VL	Designed	VL	Drawn	NP	Checked
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NGOC PHAM (C81902)
REGISTERED CIVIL ENGINEER

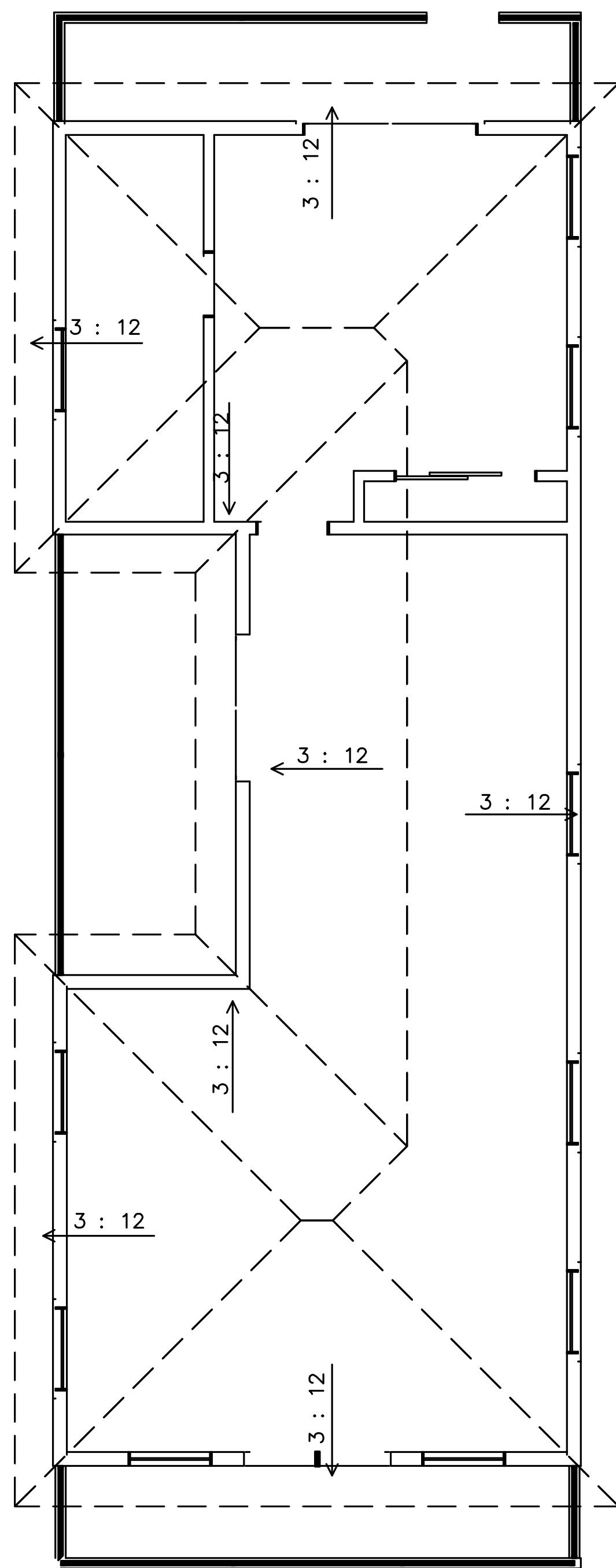
SIGNATURE

NES CONSULTANTS LLC
CIVIL & STRUCTURAL ENGINEERING
1659 BRANHAM LN, SUITE F, FARMERS
SAN JOSE, CA 95118
(510) 962-2008

EXISTING AND PROPOSED FLOOR PLAN

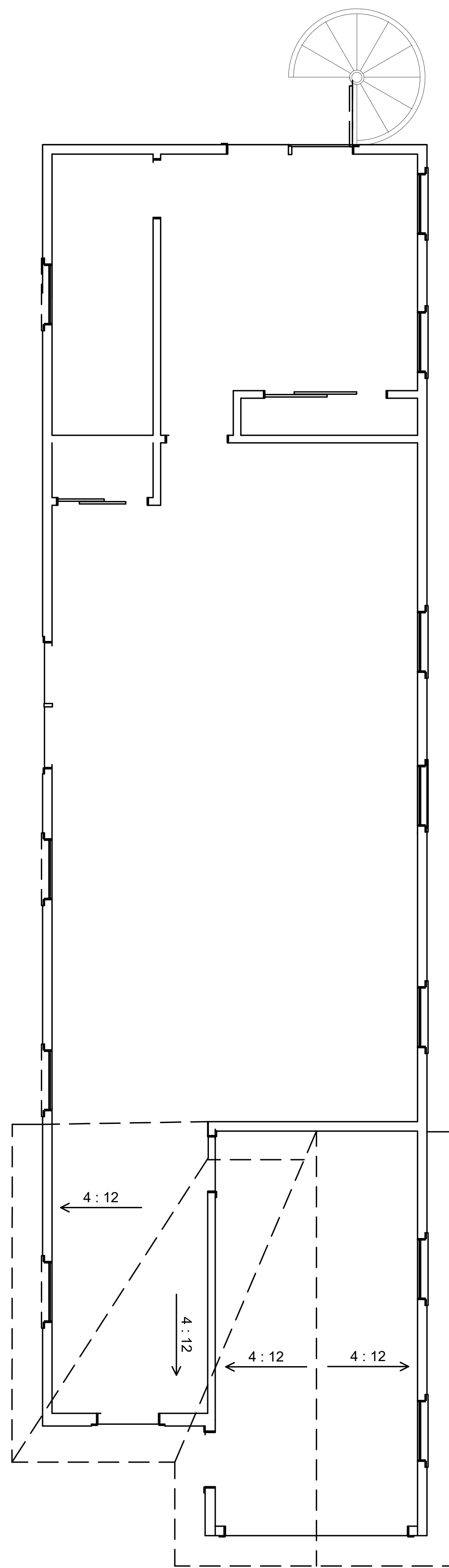
AZADEH MARDANI RESIDENCE
OCEAN 4NE GUADALUPE
CARMEL-BY-TH-SEA, CA

Scale	AS NOTED
Date	4/22/21
REF. NO.	
DWG. NO.	A.1
3 of 10 Sheets	
JOB NO.	21021



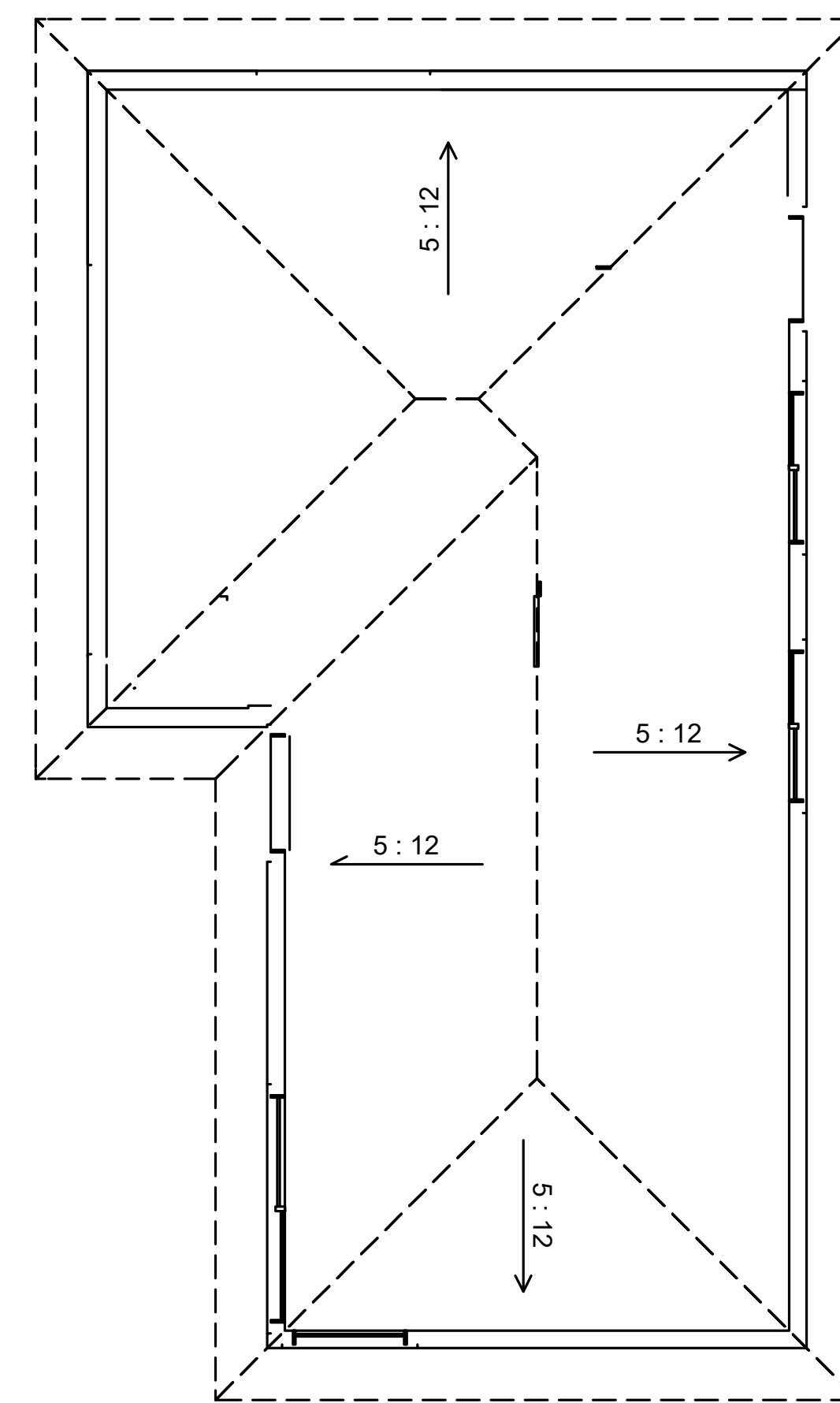
PROPOSED 2ND FLOOR ADU ROOF PLAN

scale: 1/4" = 1'-0"



PROPOSED 1ST FLOOR ROOF PLAN

scale: 1/4" = 1'-0"

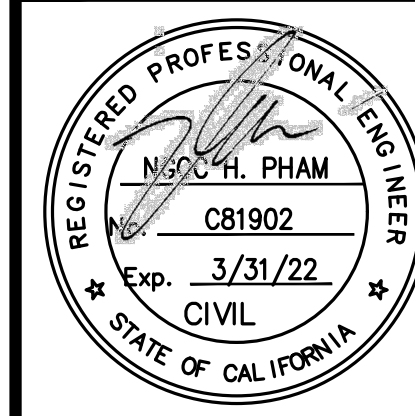


EXIST ROOF PLAN

scale: 1/4" = 1'-0"

DATE	BY	DESCRIPTION	MARK
4/22/21		SUBMITTAL	

VL Designed	
VL Drawn	
NP Checked	



NGOC PHAM (C81902)
 REGISTERED CIVIL ENGINEER
 SIGNATURE
NES CONSULTANTS LLC
 CIVIL & STRUCTURAL ENGINEERING
 1659 BRANHAM LN, SUITE F, PMB180
 SAN JOSE, CA 95118
 (510) 962-2008

**EXISTING AND PROPOSED
 ROOF PLAN**
AZADEH MARDANI RESIDENCE
 OCEAN 4NE GUADALUPE
 CARMEL-BY-TH-SEA, CA

Scale AS NOTED

Date 4/22/21

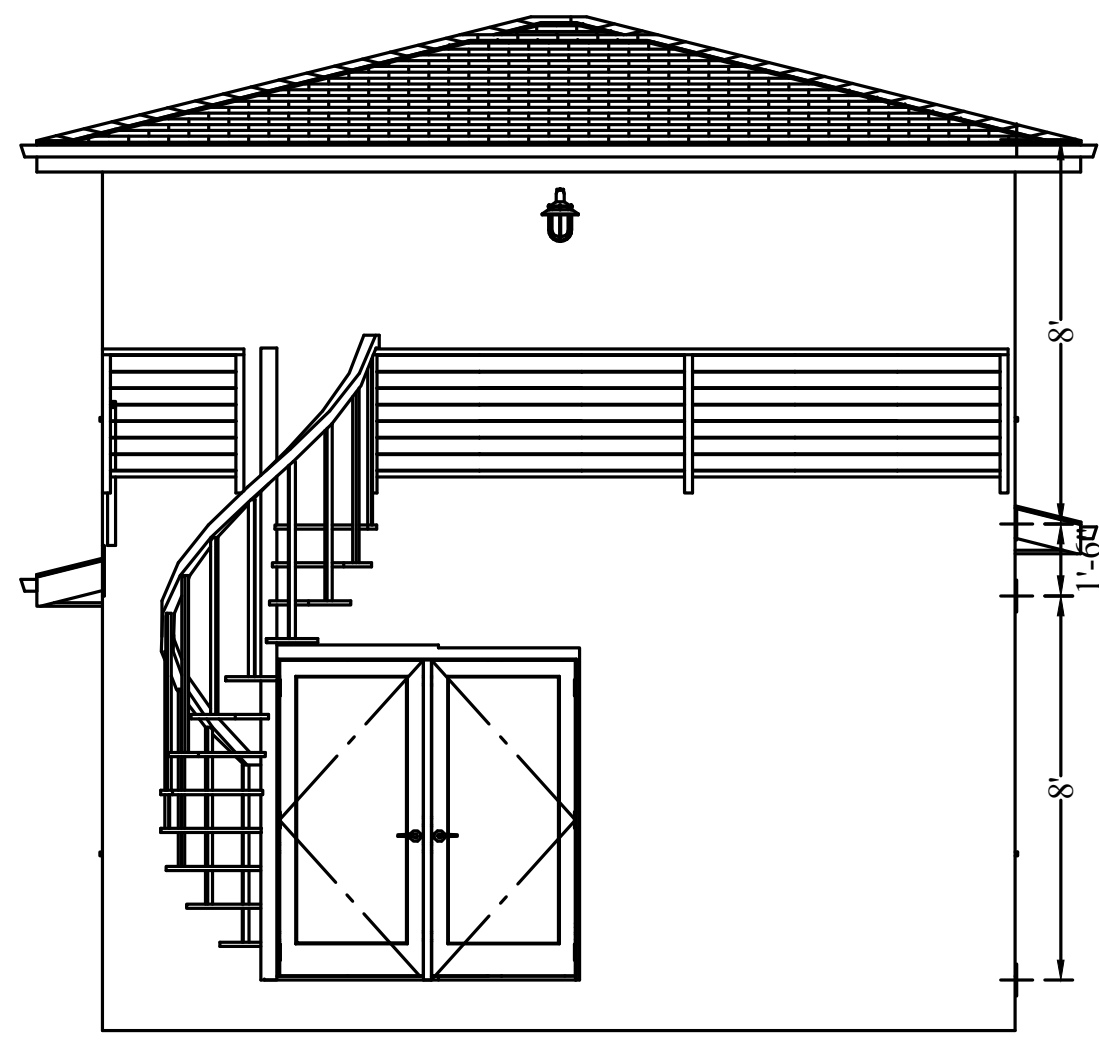
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DWG. NO.

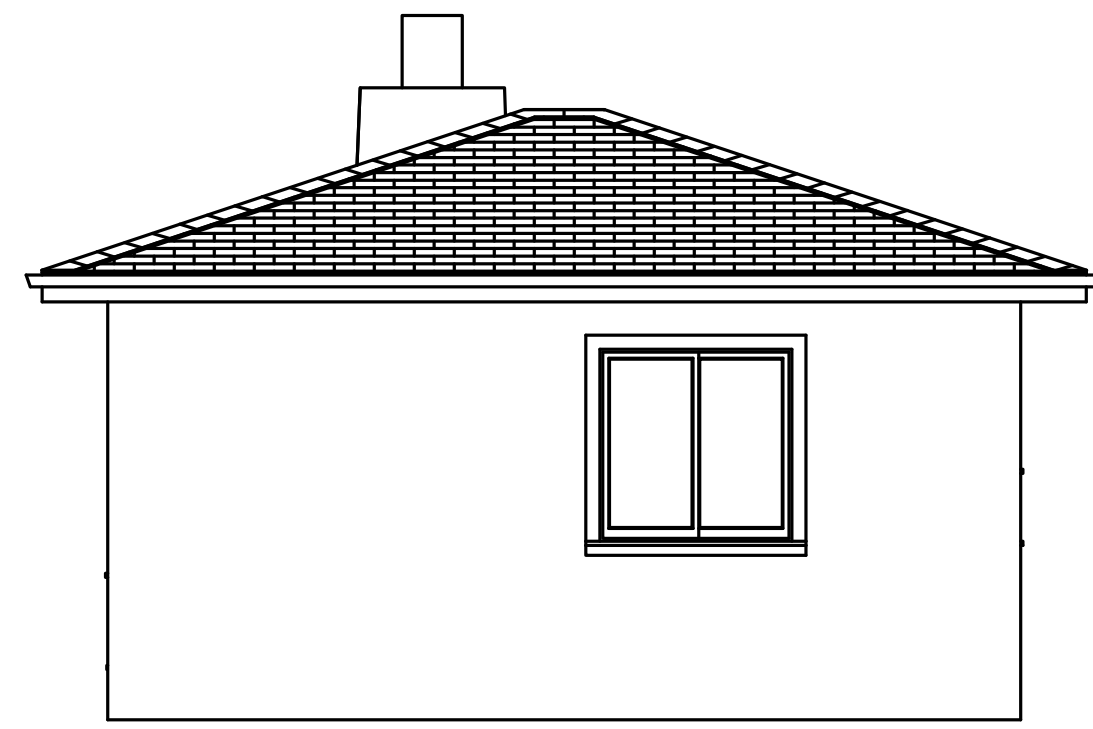
A.2

3 of 10 Sheets

JOB NO. 21021



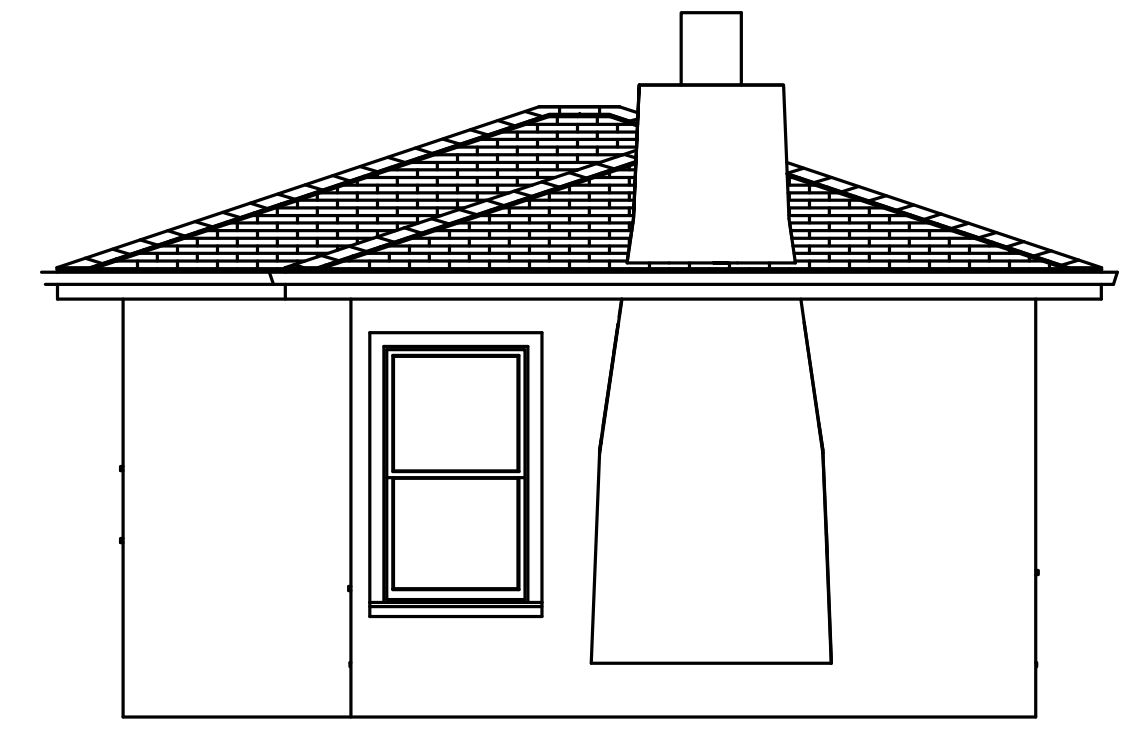
(N) BACK ELEVATION – NORTH



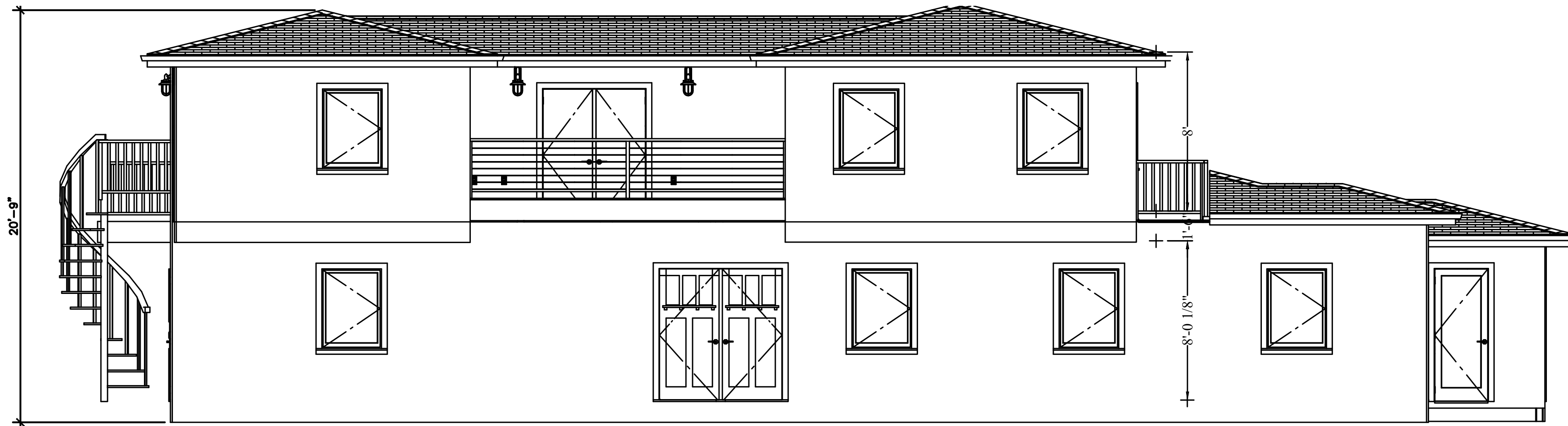
(E) BACK ELEVATION – NORTH



(N) FRONT ELEVATION – SOUTH

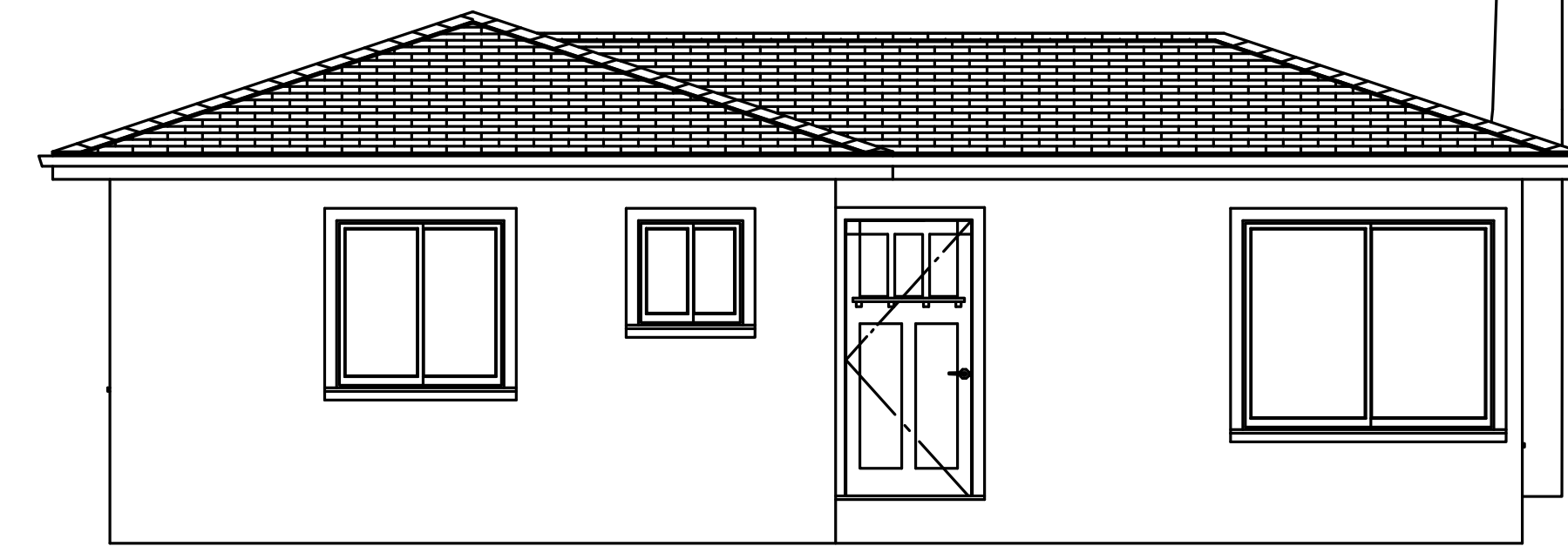


(E) FRONT ELEVATION – SOUTH



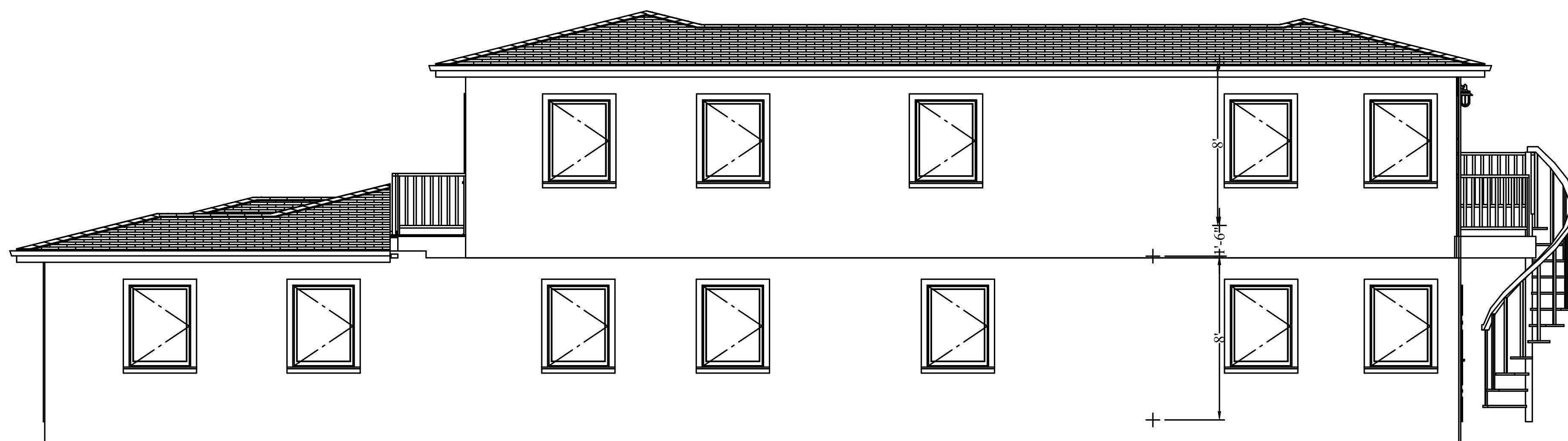
(N) RIGHT REAR ELEVATION – EAST

scale: 1/4" = 1'-0"



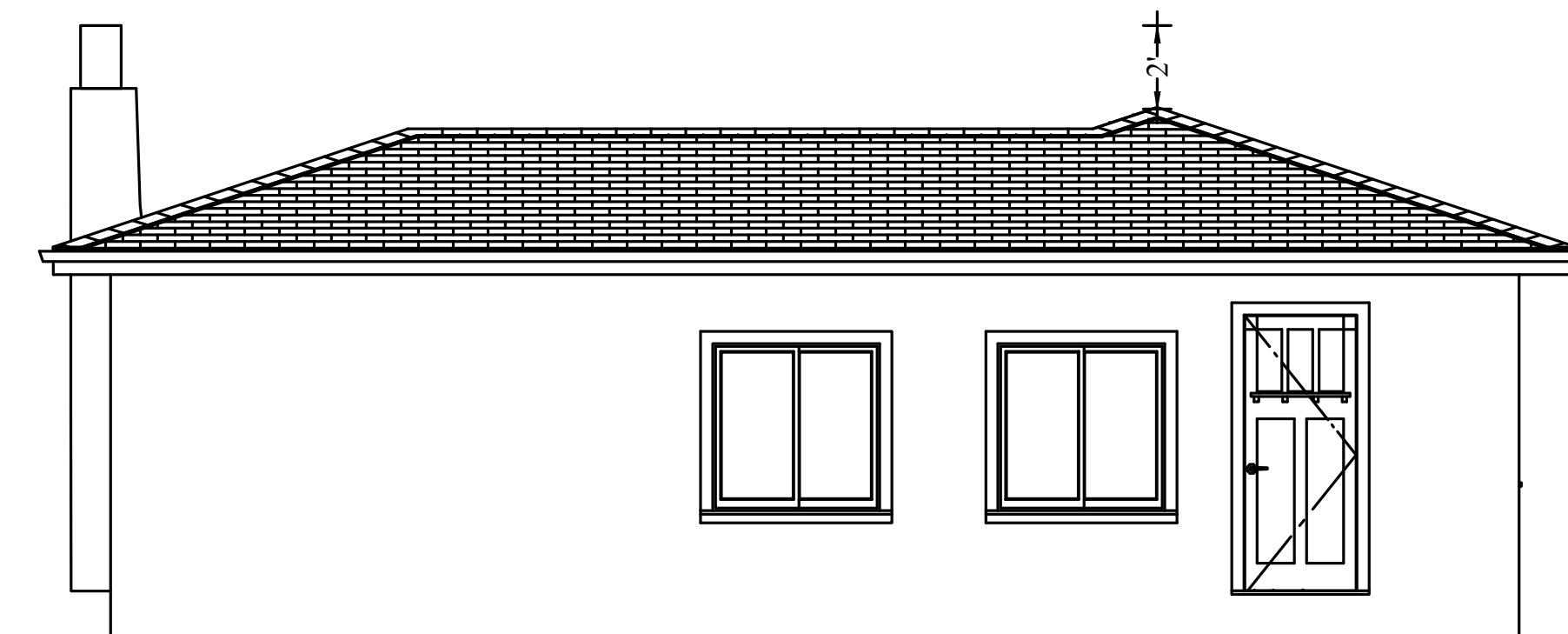
(E) RIGHT REAR ELEVATION – EAST

scale: 1/4" = 1'-0"



(N) LEFT REAR ELEVATION – WEST

scale: 1/4" = 1'-0"

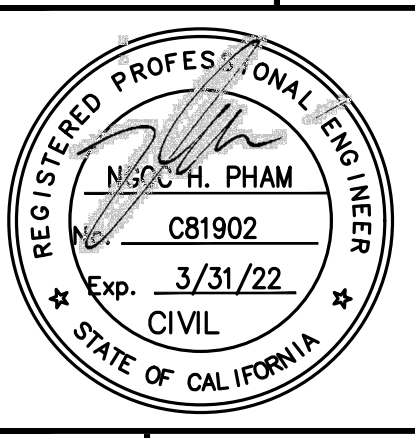


(E) LEFT REAR ELEVATION – WEST

scale: 1/4" = 1'-0"

DATE	BY	REVISIONS
4/22/21		

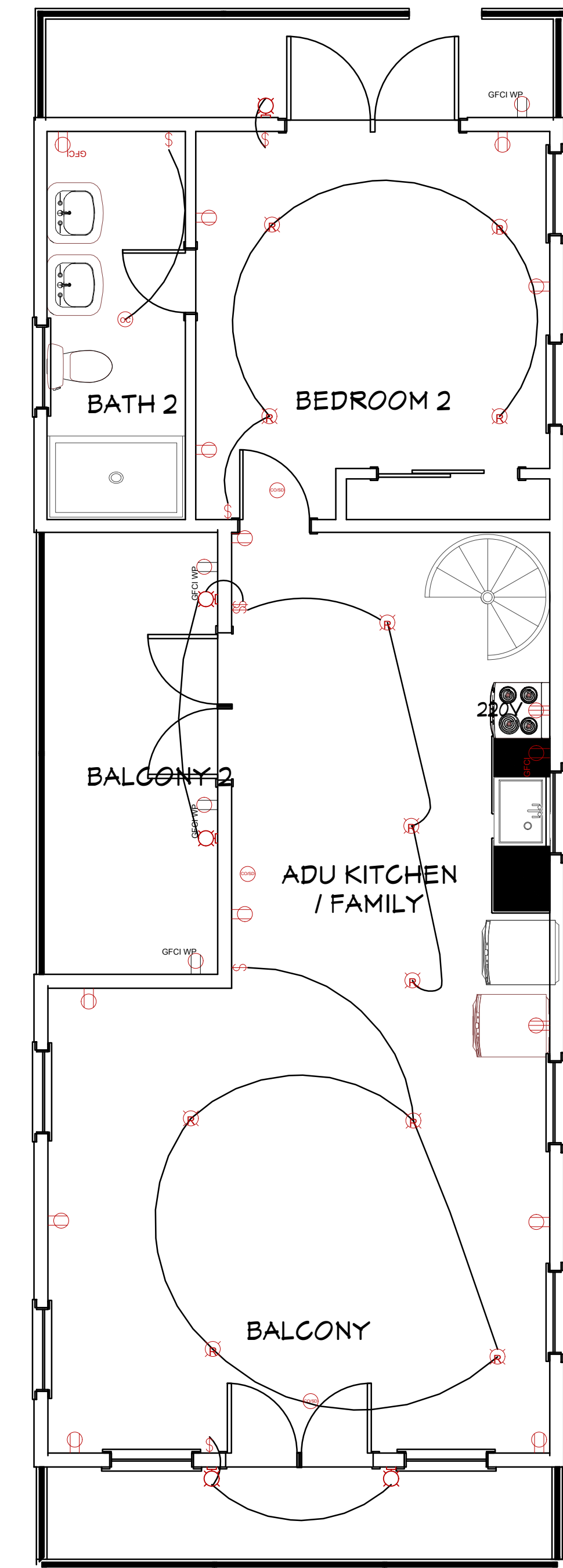
VL	NP	MARK	DATE	BY
Designed	Drawn	Checked		



NGOC PHAM (C81902)
 REGISTERED CIVIL ENGINEER
 SIGNATURE
NES CONSULTANTS LLC
 CIVIL & STRUCTURAL ENGINEERING
 1659 BRANHAM LN, SUITE F, FARMERS
 SAN JOSE, CA 95118
 (415) 962-2008

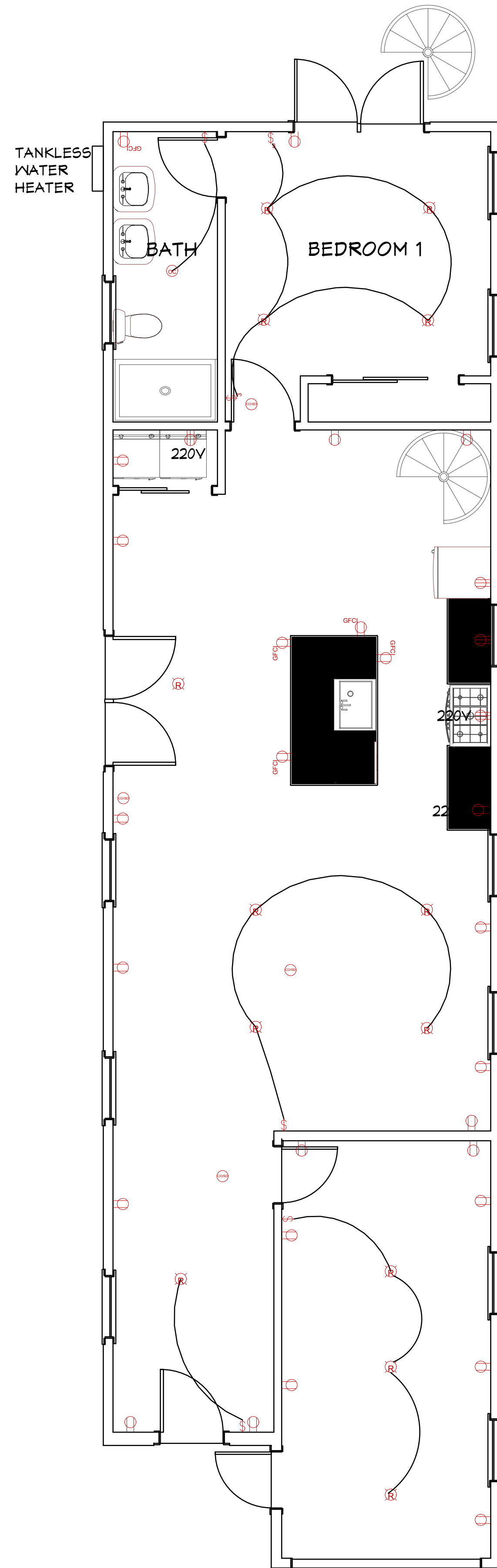
ELEVATIONS
AZADEH MARDANI RESIDENCE
 OCEAN 4NE GUADALUPE
 CARMEL-BY-THE-SEA, CA

Scale	AS NOTED
Date	4/22/21
REF. NO.	
DWG. NO.	A.3
5 of 10 Sheets	
JOB NO.	21021



ELECTRICAL PLAN - ADU

scale: 1/4" = 1'-0"



ELECTRICAL PLAN - MAIN HOUSE

scale: 1/4" = 1'-0"

GENERAL NOTES & SPECIFICATIONS:

The Contractor shall inspect the site and familiarize himself with all local conditions. It is the intention of these plans to provide a long lasting, weather tight and waterproof building. If the contractor finds any area in conflict with, or any detail too vague to accomplish this requirement, he shall not proceed but shall immediately so inform the owner, and request corrections or further detailing.

The Contractor shall check and verify drawings as to scale and dimensions. If any errors appear in the drawings or conflicts in these specifications, the contractor shall bring them to the attention of the owner. Contractor to have building and fire permits on-site during inspections.

All construction shall meet the requirements of chapter 4, California Green Building Standards. Recycle 65% of construction and demolition waste. Provide operations & maintenance manuals for all equipment, appliances, HVAC, filters, and water heater, roof gutters and yard drainage. All adhesives, caulks, primers and sealants shall comply with local air pollution rules. All paints and coatings shall comply with VOC standards. All adhesives, sealants, caulks, paints, coatings and aerosol paint shall remain on the site for field verification by the Building Inspector. Carpets, carpet cushions and adhesives shall comply with the Carpet and Rug Institute's Green Label plus program.

The contractor shall provide the Building Inspector (prior to enclosing the wall and floor framing) confirmation showing that framing members do not exceed 19% of moisture content.

FIRE NOTES:
R-3 & U TYPE V-B construction with automatic sprinkler system complying with Chapter 35 of the 2016 CBC. The designer/installer shall submit two sets of plans, calculations, and cut sheets for the underground and overhead Residential Automatic Sprinkler system for approval. Cut sheets shall include, but not limited to piping, valves, gauges, and sprinkler heads.

A. FIRE PROTECTION
1. Provide 5/8" type "X" ggp. bd. at house/ garage walls and at utility closet walls. Provide 2x4 min. galvanized steel ducting through the wall.
2. Min. 4" stud numbers of contrasting color, visible from street.
3. Closet features to be surface mounted at 18" min. to shelves.

B. SMOKE/ CARBON MONOXIDE DETECTOR
115 V inter-connected detectors with battery back up at each bedroom, laundry, and halls, as shown.

MECHANICAL NOTES:
The MECHANICAL CONTRACTOR shall design and install a complete system, meeting all applicable codes, providing for quiet operation and even heating. The drawings show only the location and type of equipment. Specific details shall be submitted to the building department, contractor and owner for approval before installation. Termination of all environmental air ducts shall be a minimum of 3' from any openings into the building. Provide instructions for hot water heater & FAU to inspector at time of inspection. Duct openings shall be covered and sealed during construction for all new and existing ductwork. All annular spaces around pipes, electric cables or other openings in sole/ bottom plates at exterior walls shall be protected against the passage of rodents by closing them. Heating systems shall be designed in accordance with the requirements of CGS&C Section 4.5.01.2.

C. WATER HEATER: TANKLESS WATER HEATER

D. HEATING
1. Install Thermocore 60000 Btu Ductless Mini Split Air conditioner Heat.

E. THERMOSTAT Provide double setback thermostat for FAU.

F. DRYER VENT Vent dryer to exterior of building with smooth metal duct with inline mechanical fan, routed through attic to backdraft damper at eave soffit.

G. TUB & SHOWER
1. Limestone tile shower to 6' height, with chloro-ly WATER CONSERVATION waterproof shower base, or approved equal. See GB req.
2. Acrylic spa with limestone tile surround.
3. Acrylic tub & tile to 6' high.
4. Provide individual control valves of the pressure balance or thermostatic mixing valve type, at showers and tub/shower combinations. Low-flow shower heads to have a maximum 2.0 GPM; water closets shall have a maximum of 1.20 gallons per flush; kitchen faucet aerator shall have a maximum 1.0 GPM; residential lavatory aerators shall have a maximum 1.5 GPM; and a high pressure reducing valve between meter and first point of use (60 PSI maximum).

LEGEND

- 110V DUPLEX CONVENIENCE DUPLEX OUTLET
- 220V DUPLEX CONVENIENCE DUPLEX OUTLET
- GFI OUTLET
- WEATHERPROOF OUTLET
- 120V DUPLEX CONVENIENCE RECEPTACLE, 1/2 HOT
- SWITCH
- VACANCY SENSOR SWITCH
- 3-WAY SWITCH
- INCANDESCENT WALL MOUNTED FIXTURE
- INCANDESCENT BAR LIGHT FIXTURE
- RECESSED COMBINATION OF EXHAUST FAN & LIGHT (FLUORESCENT OR OTHER HIGH EFFICACY LIGHT)
- RECESSED CAN LIGHT (FLUORESCENT OR OTHER HIGH EFFICACY LIGHT)
- HANGING FIXTURE - FLUORESCENT (OR OTHER HIGH EFFICACY)
- SURFACE MTD. FIXTURE - FLUORESCENT (OR OTHER HIGH EFFICACY)
- RECESSED VACANCY SENSOR LIGHT (FLUORESCENT OR OTHER HIGH EFFICACY LIGHT)
- CEILING MTD. CO2 DETECTOR, I.C.B.O. APPROVED (ALL SMOKE DETECTORS SHALL BE INTERCONNECTED)
- SMOKE DETECTOR, I.C.B.O. APPROVED, C.L.G. MOUNTED

ELECTRICAL NOTES:

The ELECTRICAL CONTRACTOR shall design and install a complete system, meeting all applicable codes. The drawings show only the location and type of outlets. Wiring and Circuit Breakers shall be sized adequately to accommodate the fixtures served. Separate circuits shall be provided for appliances as required by codes. Provide tamper resistant receptacles at all locations. All new utilities shall be placed underground with no exception. All recessed luminaires shall be IC rated, electronic ballast and air-tight (AT).

R. ELECTRIC CIRCUITS GFI-OUTDOOR RECEPTACLES
1. All receptacles at kitchen countertops to have 2 GFI appliance circuits. These circuits shall only serve the kitchen walls & countertops.
2. Provide a dedicated 20 Amp circuit for bathroom GFIs. No other receptacle or loads for this circuit.
3. All receptacles in garage & exterior be GFI protected. Exterior receptacles to have waterproof covers.
4. Provide a four prong outlet with an insulated neutral conductor wire at dryer and cooking unit.
5. Provide separate laundry circuit.
6. All recessed elect. fixtures in insulation to be IC rated. Provide damp rated light fixtures in baths or showers.

7. Provide an arc-fault interrupter circuit for receptacles in all rooms except kitchen and garage.
8. Provide undercounter fluorescent fixtures at entire kitchen.
9. All exterior fixtures to be high efficacy or on motion sensors with photocontrol. See mandatory features for required lighting at kitchen and bath.
10. Provide 1 receptacle at the islands. Receptacles may not be more than 12" below the counter surface or be below a counter that extend more than 6" beyond a cabinets end.
11. The maximum length for a garbage disposal cord is 36" and a dishwasher is 48". Attachment plug and receptacle shall be accessible.
12. Multi-wire duplex receptacles for garbage disposals and dishwashers require a common trip breaker in the service panels.

S. FANS
1. Range hood.
2. Ceiling exhaust fans in the kitchen and bathroom exhaust fans to be ceiling mounted in the ceiling.

U. STRUCTURED WIRING
1. Provide structured wiring for the telephone, data, and video.
2. Provide tech ports as shown on plans. Provide individual jacks as determined by owners, for phone, data, & cable service. Provide Cat 5e & RG 6 wiring with all connectors. All wiring to be in home runs. Maintain 1" clearance of wiring to electrical circuits, cross wiring at right angles, and avoid circuits with motors or fans. Do not over pull or kink wiring, & provide wide loops at turns. Do not crush wiring with insulated staples.

V. LIGHTING
1. All lighting shall be high efficacy and meet the requirements of Section 150.0(k) and Joint Appendix JA8.
2. A single bathroom light shall be high efficacy as shown on plans. All other lights shall be high efficacy or controlled by vacancy sensor and shall not have a control that allows luminaires to be turned on automatically or that has an override allowing the luminaires to be always on.
3. All garage and laundry luminaires shall be high efficacy and controlled by a vacancy sensor. Said sensor shall not have a control that allows luminaires to be turned on automatically or that has an override allowing the luminaires to be always on.
4. All light fixtures shall contain bulbs that are labeled as JA8-2019 (JA8-2019-E for sealed lens or recessed fixture). Screw base bulbs are permitted, except in recessed lighting fixtures.
5. All lighting fixtures shall be controlled by either a dimmer switch or by a vacancy sensor switch that requires a manual on activation (does not automatically turn on) and automatically turns off within 30 minutes after the room is vacated.
6. Recessed lighting shall be listed as IC (zero clearance to insulation) and AT (air tight), be sealed/caulked between the fixture housing and ceiling, shall not contain a screw base socket, and contain bulbs marked with JA8-2019-E efficiency label.
7. AC & DC UNITS: Install as per manufacturer's instructions.

4/22/21							
SUBMITTAL							
VL	Designed	VL	Drawn	NP	Checked		
							REVISIONS
NES CONSULTANTS LLC CIVIL & STRUCTURAL ENGINEERING 1659 BRANHAM LN, SUITE F, FARMHUSO SAN JOSE, CA 95118 (510) 962-2008							
ELECTRICAL PLAN							
AZADEH MARDANI RESIDENCE							
OCEAN 4NE GUADALUPE							
CARMEL-BY-THE-SEA, CA							
Scale	AS NOTED						
Date	4/22/21						
	REF. NO.						
	DWG. NO.						
	A.4						
	6 of 10 Sheets						
JOB NO.	21021						



STANDING METAL SEAM ROOF

MANUFACTURE: TAYLOR METAL PRODUCTS
 PANEL: EASY-LOCK
 FINISH: CHARCOAL GREY SRI-25
 GAUGE: 24
 RV: 12
 WIDTH: 12-INCH



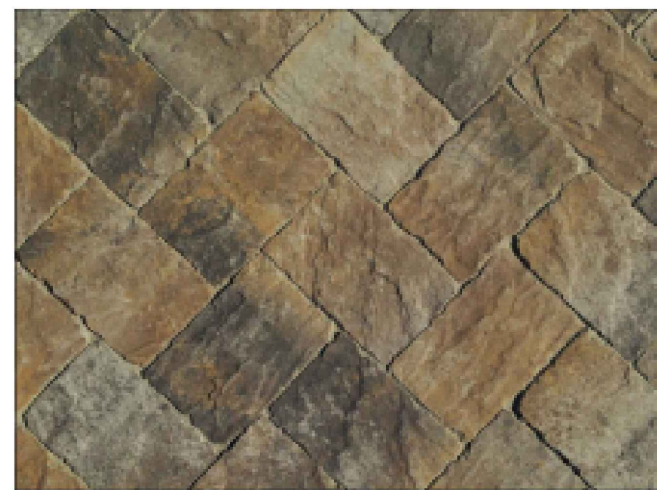
GARAGE DOOR
NO SCALE

SW 7043
Worldly Gray
 Interior / Exterior
 Location Number: 245-C1

MANUFACTURE: SHERWIN-WILLIAMS
DOOR-WINDOW FRAME EXTERIOR COLOR
NO SCALE



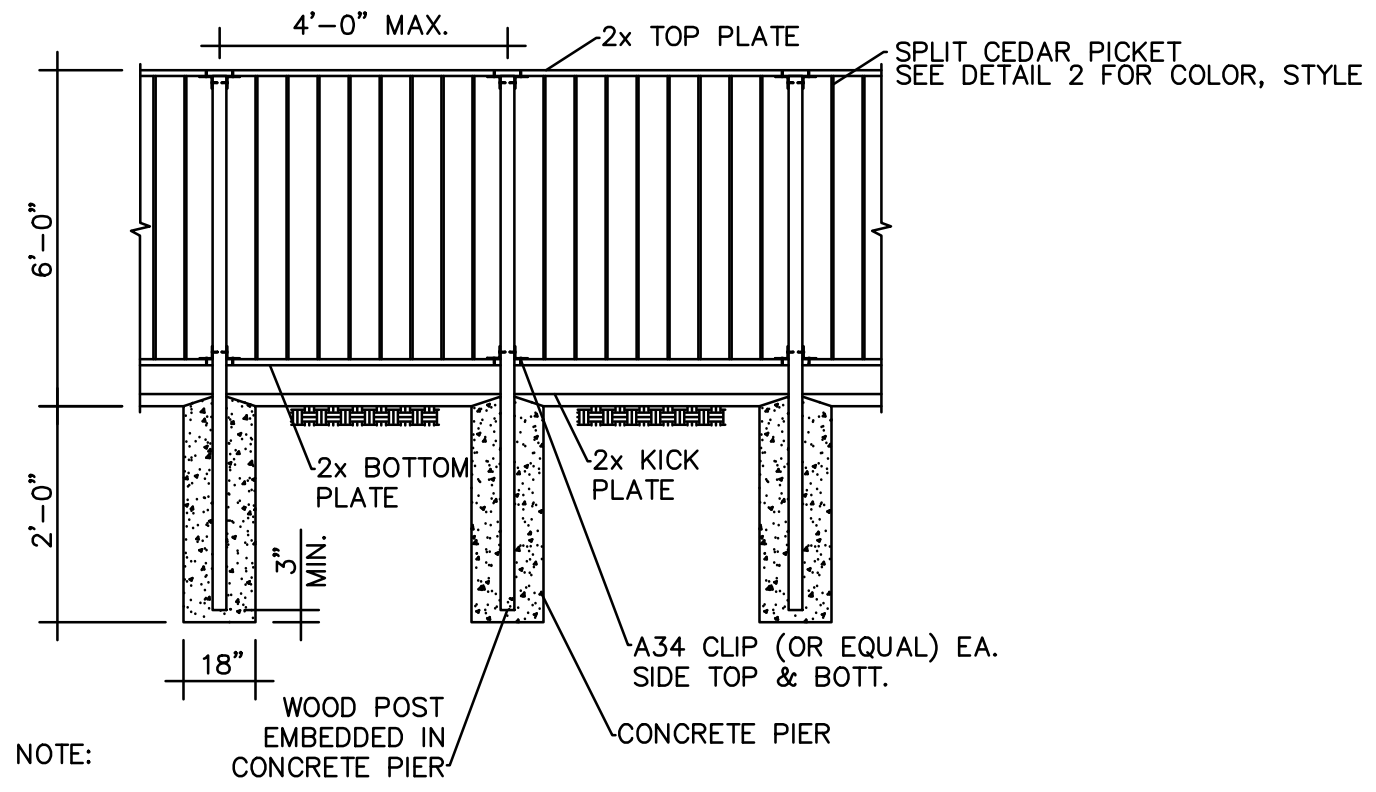
CARMEL STONE EXTERIOR WALLS
FOR MAIN HOUSE AND GARAGE
EXTERIOR WALL
NO SCALE



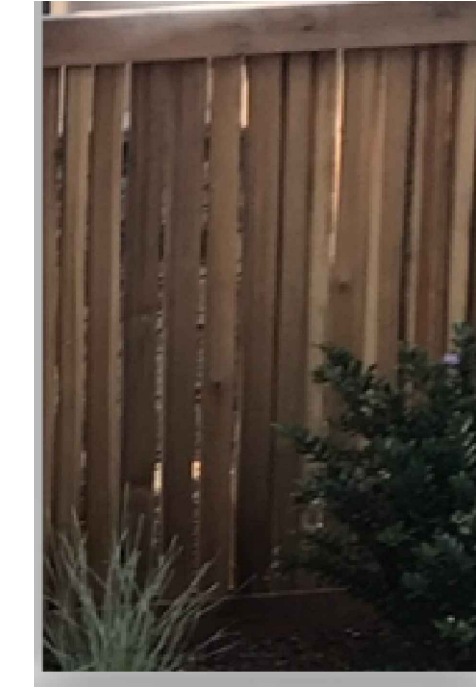
DRIVEWAY
 MANUFACTURE: CALSTONE
 COLOR: OAK BARREL GRAY
 INSTALLATION: SET ON SAND



MANUFACTURE: MINKA LAVERY
OUTDOOR LIGHT
NO SCALE



FENCE DETAIL 1
NO SCALE



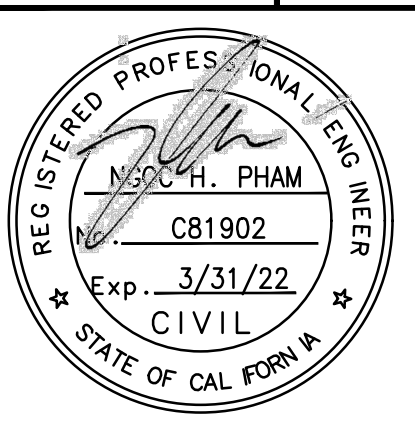
FENCE DETAIL 2
NO SCALE



FRONT GATE WITH PEDESTALS
NO SCALE

DATE	DESCRIPTION	MARK	DATE	BY
4/22/21				

VL	Designed	VL	Drawn	NP	Checked
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NGOC PHAM (C81902)
 REGISTERED CIVIL ENGINEER

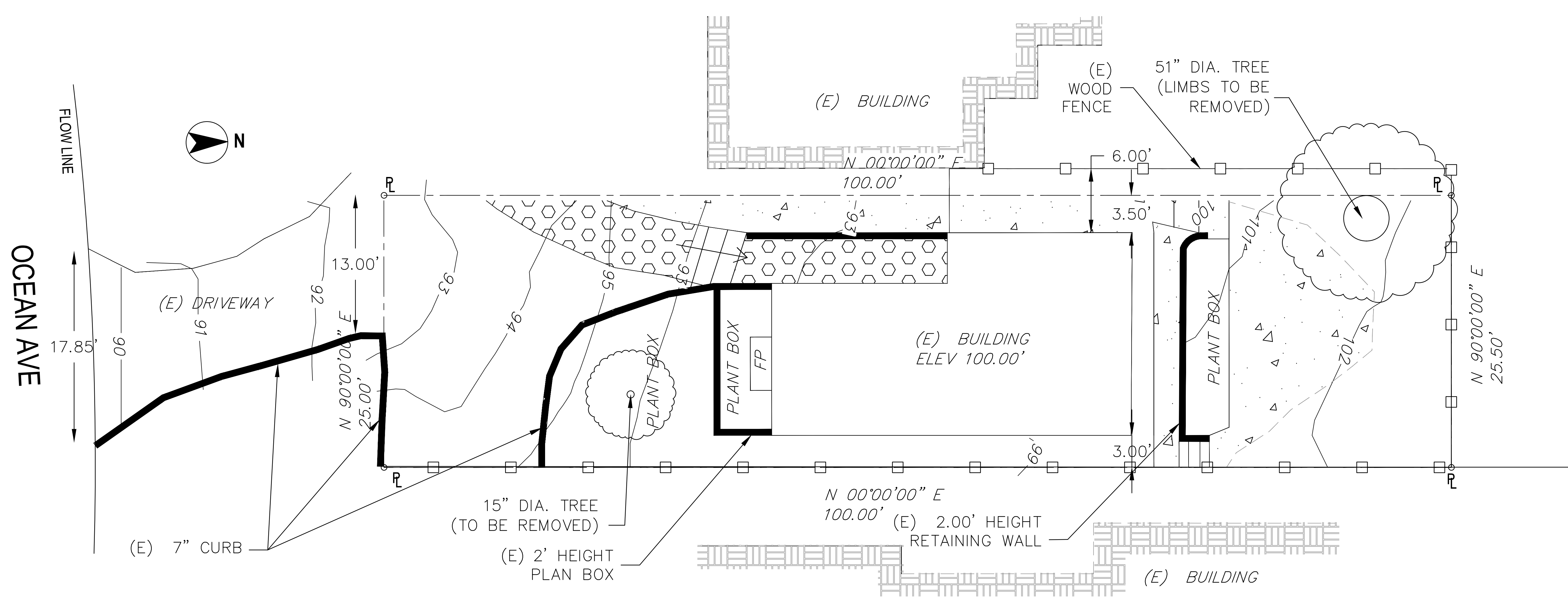
SIGNATURE

NES CONSULTANTS LLC
 CIVIL & STRUCTURAL ENGINEERING
 1659 BRANHAM LN, SUITE F, PMB180
 SAN JOSE, CA 95118
 (510) 962-2008

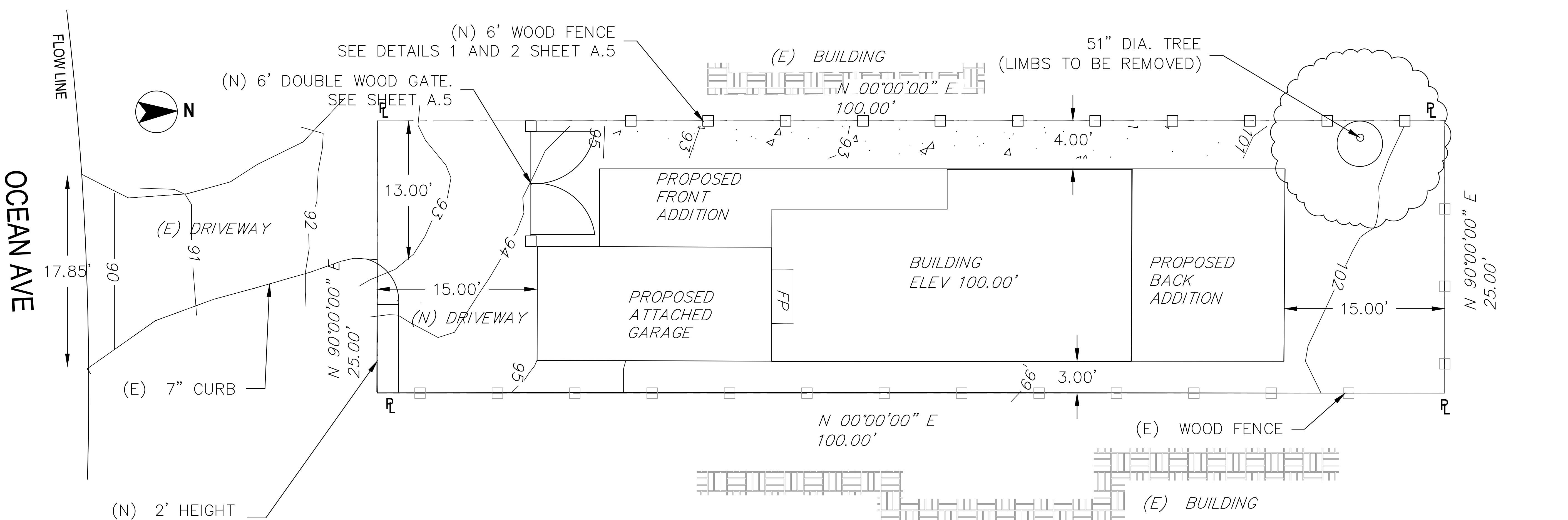
MATERIALS

AZADEH MARDANI RESIDENCE
 OCEAN 4NE GUADALUPE
 CARMEL-BY-THE-SEA, CA

Scale	AS NOTED
Date	4/22/21
REF. NO.	
DWG. NO.	A.7
	of 10 Sheets
JOB NO.	21021



EXISTING SITE PLAN



PROPOSED SITE PLAN

AREA	OWNER
PARCEL #1 EXISTING AREA 2,550 SQFT.	AZADEH MARDANI APN 010-033-011-000 SITE ADDRESS: OCEAN 4NE GUADALUPE CARMEL BY THE SEA, CA

LEGEND:

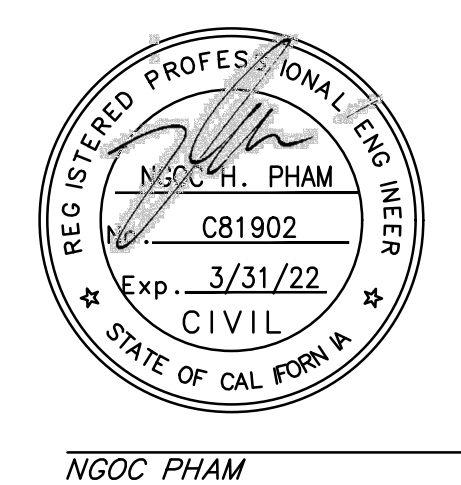
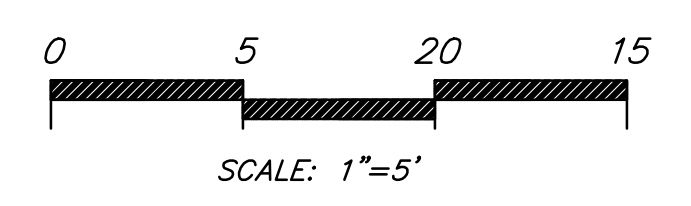
EXISTING (Symbol Size May Vary)	PROPOSED
—	—
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○	○
—x—	—x—
—w—	—w—
△	△
□P	□P
---	---
←	←
~	~

ABBREVIATION:

AS	ASPHALT	CS	GARAGE SLAB
BLDG	BUILDING	HP	HIGH POINT
CL	CENTER LINE	LP	LOW POINT
CONC	CONCRETE	MAX.	MAXIMUM
CS	CONCRETE SURFACE	MIN.	MINIMUM
DECID.	DECIDUOUS TREE	(N)	NEW
DS	DOWN SPOUT	PL	PROPERTY LINE
(E)	EXISTING	R/W	RIGHT OF WAY
EG	EXISTING GRADE	SSCO	SANTA CLARA COUNTY
FF	FINISHED FLOOR	SD	STORM DRAIN
FG	FINISHED GRADE	SDMH	STORM DRAIN MAINHOLD
FL	FLOW LINE	TYP	TYPICAL
GB	GRADE BREAK	TP	TOP PAVEMENT

BENCHMARK:
ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM.

NOTES:
1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS AND PER THE BOUNDARY SURVEY STAKES OF THE PROPERTY AT 3NE GUADALUPE, CARMEL BY THE SEA, CA.



04/7/2021
DATE

NES CONSULTANTS LLC.
SAN JOSE, CA
CELL: (910) 962-2008
NH@PHAM.STRUCTURAL@GMAIL.COM

SITE PLAN
OCEAN 4NE GUADALUPE
CARMEL BY THE SEA, CA

Drawn By: MP
Date: 05/11/2022
Scale: 1"=5'
Job No.: 21025
Checked:

NO.	DATE	REVISIONS		SHEET
		ISSUED	FOR BY	
				1
				OF 1