



## NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

**Planning Case #:** Design Study 21330

**Owner Name:** HOFFMAN JUDSON A & KRISTA M TRS

**Case Planner:** Evan Kort, Associate Planner

**Date Posted:** \_\_\_\_\_

**Date Approved:** 05/16/2022

**Project Location:** Camino Del Monte 4 NW of San Carlos

**APN #:** 010122004000      **BLOCK/LOT:** 28/ALL LOT 9

**Applicant:** Harlan Bradley

**Project Description:** This approval of Design Study (DS 21-330, Hoffman) authorizes a alterations to an existing single-family residence located on Camino Del Monte 4 NW San Carlos in the Single Family Residential (R-1) District with an active building permit (BP 21-138) for a residential remodel. The proposed additional modifications approved under this Design Study include: a 14 square foot closet addition adjacent to the entry to the residence, changes to window locations and openings, and the removal (417 sf total to be removed) and re-organization of non-conforming site coverage to include the addition of a new 200 square foot wood deck with integrated hot tub to replace an existing stone patio behind the residence. The deck will be accessed from ground level and will be approximately 6' above the ground at the highest point as the lot slopes downhill away from the residence. The project shall be consistent with the plans prepared by Masterworks Building and Development dated approved by Community Planning & Building Department on May 16, 2022, unless modified by the conditions of approval.

**Can this project be appealed to the Coastal Commission?** Yes  No

*Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.*

<b>CONDITIONS OF APPROVAL</b>		
<b>No.</b>	<b>Standard Conditions</b>	
1.	<b>Authorization.</b> This approval of Design Study (DS 21-330, Hoffman) authorizes a alterations to an existing single-family residence located on Camino Del Monte 4 NW San Carlos in the Single Family Residential (R-1) District with an active building permit (BP 21-138) for a residential remodel. The proposed additional modifications approved under this Design Study include: a 14 square foot closet addition adjacent to the entry to the residence, changes to window locations and openings, and the removal (417 sf total to be removed) and re-organization of non-conforming site coverage to include the addition of a new 200 square foot wood deck with integrated hot tub to replace an existing stone patio behind the residence. The deck will be accessed from ground level and will be approximately 6' above the ground at the highest point as the lot slopes downhill away from the residence. The project shall be consistent with the plans prepared by Masterworks Building and Development dated approved by Community Planning & Building Department on May 16, 2022, unless modified by the conditions of approval contained herein.	✓
2.	<b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	<b>Permit Validity.</b> This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	<b>Water Use.</b> Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.	✓
5.	<b>Service Laterals.</b> All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).	✓
6.	<b>Fire Sprinklers - Residential.</b> Additions, alterations or repairs to existing structures that involve the addition, removal or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135)	✓
7.	<b>Modifications.</b> The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
8.	<b>Landscape Plan.</b> Any new landscaping shall be shown on a landscape plan and shall be submitted to the Community Planning & Building Department and to the City Forester <u>prior to installation.</u> The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75%	✓

	drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City’s recommended tree density standards, unless otherwise approved by the City based on-site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	
9.	<b>Tree Removal.</b> Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
10.	<b>Significant Trees.</b> All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2”) are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2”) in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12”) of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
11.	<b>Erosion Control in the Right-of-Way.</b> Projects with a natural slope within the right-of-way immediately adjacent to the property where parking is not practical shall install jute netting and a drought tolerant ground cover to manage post-construction erosion control. Plants installed within the drip line of trees shall be selected from the City’s “List of Compatible Plants Under and Around Native Trees” located in the Forest Management Plan.	✓
12.	<b>Tree Planting Requirements.</b> Prior to issuance of a building permit, the applicant shall submit for review and approval by the Community Planning & Building Department and the City Forester, a final landscape and irrigation plan that shows the location, size and species of required tree plantings. All new trees shall be installed prior to final inspection. Trees shall be recorded and monitored for at least five years to ensure their establishment and growth to maturity. Trees that do not survive or are removed shall be replaced with new trees that are equivalent in size to the measured or projected growth of the original trees and shall be planted in the same location unless otherwise directed by the City Forester and/or Forest & Beach Commission.	✓
13.	<b>Tree Protection Measures.</b> Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. <ul style="list-style-type: none"> <li>● Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.</li> <li>● Excavation within 6 feet of a tree trunk is not permitted.</li> <li>● No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.</li> <li>● Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.</li> <li>● Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.</li> <li>● The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches</li> </ul>	✓

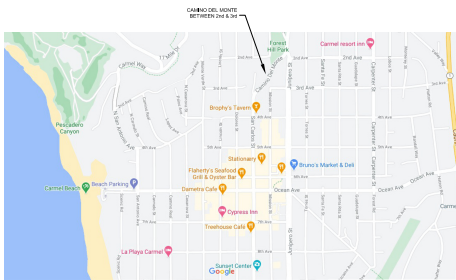
	<p>radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.</p> <ul style="list-style-type: none"> <li>● If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.</li> <li>● If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.</li> </ul>	
14.	<p><b>Exterior Lighting.</b> Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.</p>	✓
15.	<p><b>Indemnification.</b> The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.</p>	✓
16.	<p><b>Hazardous Materials Waste Survey.</b> A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.</p>	✓
17.	<p><b>Cultural Resources.</b> All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning &amp; Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.</p>	✓
18.	<p><b>Truck Haul Route.</b> Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.</p>	✓

19.	<b>USA North 811.</b> Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
20.	<b>Conditions of Approval.</b> All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
<b>ENVIRONMENTAL COMPLIANCE CONDITIONS</b>		
21.	<b>Drainage Plan.</b> Prior to issuance of a building permit, the applicant shall provide a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused into one corner of the property, infiltration features must be sized appropriately and must be located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas.	✓
22.	<b>BMP Tracking Form.</b> Prior to issuance of a building permit, the applicant shall submit a completed BMP Tracking form for review and approval by the City of Carmel.	✓
23.	<b>Semi-Permeable Surfaces.</b> Prior to issuance of a building permit, the applicant shall provide cross-section details for semi-permeable surfaces.	✓
24.	<b>Erosion and Sediment Control Plan.</b> Prior to issuance of a building permit, the applicant shall provide an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access for review and approval by the City of Carmel.	✓
<b>SPECIAL CONDITIONS</b>		
25.	<b>Building Permit Revision.</b> A revision to BP 21-138 shall be obtained prior to commencement of work.	✓
26.	<b>Work in the Right-of-Way (Encroachments).</b> This approval does not authorize work or authorize new encroachments in the right-of-way. Any work, or encroachments proposed for the right-of-way are subject to approval of an encroachment permit (EN 22-069).	✓
27.	<b>Spa Equipment.</b> The fixed installation of any electrical or mechanical equipment such as generators for electrical power, pumps for hot tubs, swimming pools, fountains or wells, heating or air conditioning systems and similar equipment shall be located, shrouded, muffled or otherwise treated to control noise to protect the use and enjoyment of neighboring properties and the public. All such installations shall be limited to a noise emission standard of 60 db or three db above ambient whichever is greater, as measured at the property boundary.	✓

\*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature	Printed Name	Date

*Once signed, please email to ekort@ci.carmel.ca.us.*



VICINITY MAP  
Scale: None

**APPROVED**

05/16/2022

City of Carmel-by-the-Sea  
Planning & Building Dept.

**Toldbod 6.1 Outdoor Wall Sconce**  
By Louis Poulsen



**Product Options**

Fields: Black, Natural Painted Aluminum

**Details**

- reaction-molded clear polycarbonate bottom shield diffuser
- 100% down light
- designed in 2012
- Interior Color: Matte White
- Material: Die-cast Aluminum shade and wall plate
- US Listed Item
- Made in Denmark

**Dimensions**

Fixture: Depth 10.5", Weight 3.5 Lbs.  
Shade: Height 6.2", Diameter 6.1"  
Wall Plate: Diameter 4.5"

**Lighting**

- One 40 Watt (865 Lumens) 120 Volt E12 Candelabra Base Incandescent Lamp(s) (Not Included)

**Additional Details**

Product URL: <https://www.lumens.com/toldbod-6.1-outdoor-wall-sconce-by-louis-poulsen-LPLP90104.html>  
Rating: UL Listed Item

Product ID: LPLP90104

Prepared by: \_\_\_\_\_  
Prepared for: \_\_\_\_\_  
Project: \_\_\_\_\_  
Reason: \_\_\_\_\_  
Placement: \_\_\_\_\_  
Approval: \_\_\_\_\_



Notes:

\_\_\_\_\_

OUTDOOR LIGHT FIXTURE SPEC.

**PROJECT DESCRIPTION**

- RESTORE RESIDENCE FROM TWO DWELLING UNITS TO A SINGLE DWELLING UNIT. RE-FURNISH KITCHEN AND BATHROOMS. INSTALL NEW CABINETS, FIXTURES, STONE COUNTERTOPS, AND APPLIANCES. UPDATE ELECTRICAL AS REQUIRED.

MINOR MODIFICATIONS TO THE BUILDING FOOTPRINT AND DECKS. WINDOWS REPLACE OR REVEAS AS NOTED.

**PROJECT DATA**

- A.P.N.: 010 122 004
- PROJECT ADDRESS - W/S CAMINO DEL MONTE BETWEEN 25th AND 3rd, CARMEL, CA, 93921
- OWNER - JUD AND KRISTA HOFFMAN
- LOT AREA: 6,116.0 S.F.
- FLOOR AREA ALLOWED: 2,485.0 S.F.

FLOOR AREA	EXISTING		PROPOSED	
	UPPER FLOOR	LOWER FLOOR	UPPER FLOOR	LOWER FLOOR
	1,527 S.F.	924 S.F.	1,541 S.F.	924 S.F.
<b>TOTAL</b>	<b>2,451 S.F.</b>	<b>2,451 S.F.</b>	<b>2,465 S.F.</b>	<b>2,465 S.F.</b>

- SITE COVERAGE ALLOWED: 783.0 S.F. W/ BONUS > 50% PERMEABLE

- SITE COVERAGE: EXISTING - 1,210 S.F.
- SITE COVERAGE: PROPOSED - 783.0 S.F.

- APPLICABLE CODES - 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- TITLE 24

- TYPE OF CONSTRUCTION - TYPE VB CONSTRUCTION

- ZONING: RD1

- OCCUPANCY: R-3

- LAND USE: RESIDENTIAL

**SHEET INDEX**

A100 - PROJECT DATA / PROPOSED SITE PLAN / SPECS  
E100 - EXISTING SITE PLAN

A101 - TOPOGRAPHIC SURVEY  
A102 - PROPOSED FLOOR PLANS  
A103 - PROPOSED EAST & SOUTH ELEVATIONS  
A104 - PROPOSED WEST & NORTH ELEVATIONS

A105 - PROPOSED ELECTRICAL PLANS

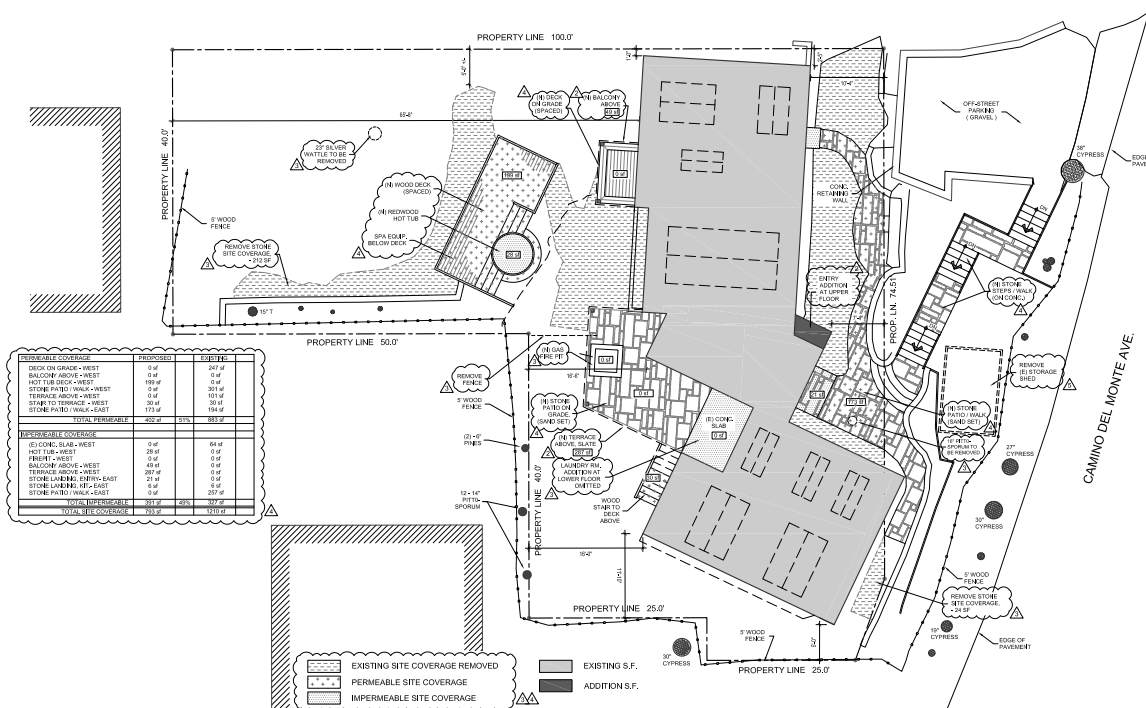
A106 - WINDOW / EXT. DOOR SCHEDULE

E101 - EXISTING FLOOR PLANS

E102 - EXISTING EAST & SOUTH ELEVATIONS  
E103 - EXISTING WEST & NORTH ELEVATIONS

S100 - FRAMING PLAN

S101 - SPA DECK FRAMING PLAN, SECTIONS



MASTERWORK  
BUILDING AND DEVELOPMENT

LICENSE NO. 972132  
P.O. BOX 23  
CARMEL, CA 93921  
831.229.8002

DESIGN BY:  
HARLAN BRADLEY  
*Harlan Bradley*  
831-229-8628  
harlan@masterworkbuilders.com

HOFFMAN RESIDENCE  
W/S CAMINO DEL MONTE BETWEEN 2nd & 3rd  
CARMEL, CALIFORNIA 93923

DRAWINGS BY:  
STUDIO VII  
WEST  
P.O. BOX 4255  
CARMEL, CA 93921  
720.519.3363  
GARY HERR

FINAL REVISION DATE  
REVISION 6: FEBRUARY 02, 2022  
REVISION 7: JANUARY 11, 2022  
REVISION 8: DECEMBER 06, 2021  
REVISION 9: NOVEMBER 10, 2021  
REVISION 4: SEPTEMBER 15, 2021  
REVISION 3: MAY 04, 2021  
REVISION 2: APRIL 05, 2021  
REVISION 1: MARCH 16, 2021

PROJECT NO.:  
DATE: APRIL 13, 2022

OWNER:  
JUD & KRISTA  
HOFFMAN

PERMIT SET

**A100**

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Masterwork Builders Inc.  
2021



MASTERWORK  
BUILDING AND DEVELOPMENT

LICENSE NO. 972132  
P.O. BOX 23  
CARMEL, CA 93921  
831.229.8002

DESIGN BY:

HARLAN BRADLEY  
*Harlan Bradley*  
831-229-8628  
harlan@masterworkbuilders.com

HOFFMAN RESIDENCE  
11/5 Camino del Monte between 2nd & 3rd  
CARMEL, CALIFORNIA 93923

DRAWINGS BY:

STUDIO VII  
WEST  
P.O. BOX 4255  
CARMEL, CA 93921  
720.519.3363

GARY KERR

FINAL REVISION DATE
REVISION 6: FEBRUARY 02, 2022
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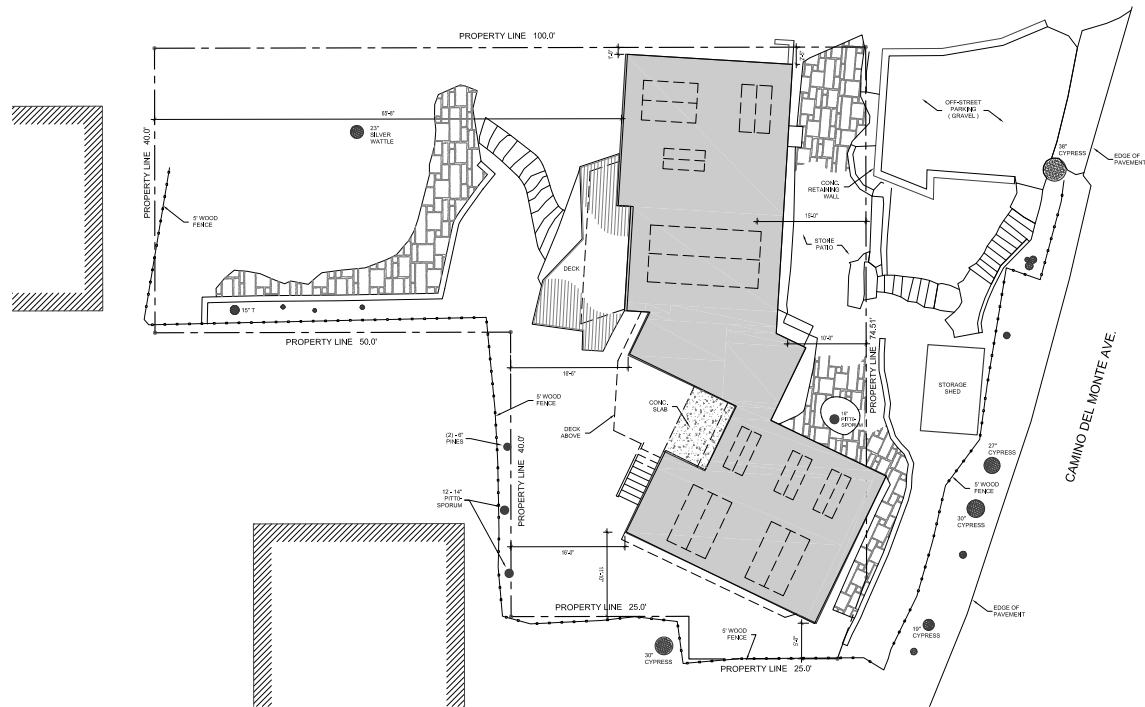
PROJECT No.:  
DATE: APRIL 13, 2022

OWNER:  
JUD & KRISTA  
HOFFMAN

PHASE:  
PERMIT SET

E100

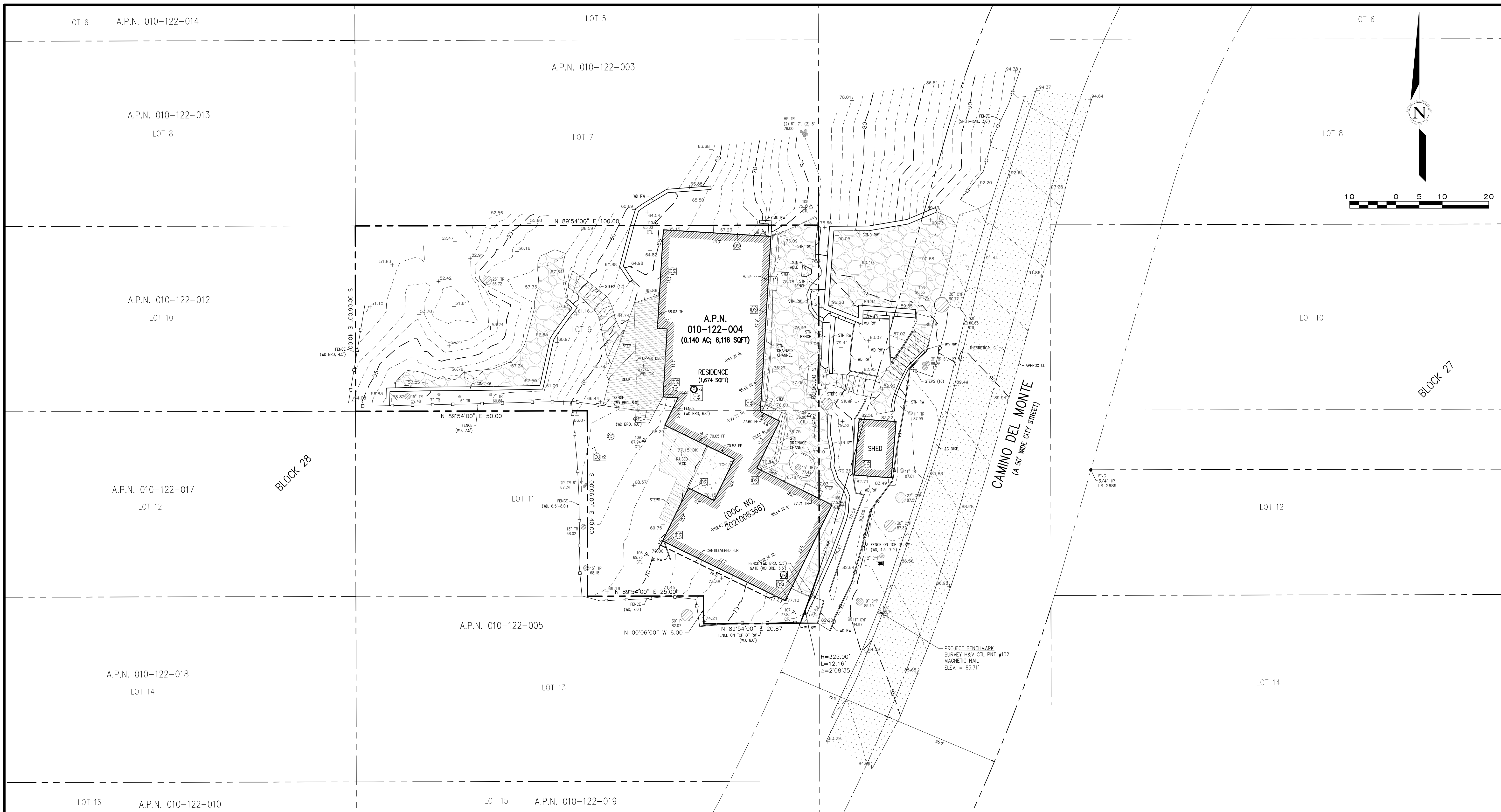
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Masterwork Builders Inc.  
2021



E EXISTING SITE PLAN  
Scale: 1/8" = 1'-0"

2' 4' 8' 16'





APPROVED BY:  
  
 GUY R. GIRARDO  
 P.L.S. No. 87703

**LANDSET**  
 ENGINEERS, INC.  
 520-B Crazy Horse Canyon Road  
 Salinas, California 95067  
 Office (831) 443-0970 Fax (831) 443-3801  
 www.landseteng.com

**TOPOGRAPHIC MAP**  
 OF  
**THAT CERTAIN PARCEL DESCRIBED IN DOCUMENT NO. 2021008366**  
 OFFICIAL RECORDS OF MONTEREY COUNTY  
 CARMEL-BY-THE-SEA, CALIFORNIA  
 FOR  
 MASTERWORK BUILDERS

**LEGEND:**

	PROPERTY BOUNDARY		CONDUIT		GAS LINE		GAS METER		FOUND MONUMENT - TYPE NOTED
	ADJACENT PROPERTY BOUNDARY		PIPE		TELEPHONE SERVICE		WATER METER		SURVEY H&V CONTROL POINT
	ORIGINAL PROPERTY BOUNDARY		CLEANOUT		UNKNOWN UTILITY		PG&E BOX		SPOT ELEVATION
	EASEMENT (TYPE AS SHOWN)		DOWNSPOUT		FUSE BOX		UTILITY HUB		RIDGELINE
	ROADWAY CENTERLINE		ELECTRICAL OUTLET		ELECTRICAL HUB		ELECTRICAL HUB		FINISHED FLOOR
	MAJOR CONTOUR LINE (5' INTERVAL)		WATER SERVICE		UTILITY POLE		ELECTRICAL PANEL		THRESHOLD
	MINOR CONTOUR LINE (1' INTERVAL)		IRRIGATION BOX		GUY WIRE		ELECTRICAL METER		TREE (TYPE AND SIZE AS MARKED)
	FENCE (TYPE AS MARKED)		IRRIGATION CONTROL VALVE		TELEPHONE BOX		SANITARY SEWER MANHOLE		CENTER OF SYMBOL IS APPROX. CENTER OF TREE
	ASPHALT CONCRETE		WATER VALVE		AREA DRAIN		STORM DRAIN MANHOLE		TWO-PRONGED TREE (2P)
	PORTLAND CEMENT CONCRETE		DRAIN LINE		HYDRANT		PGE GAS MANHOLE		THREE-PRONGED TREE (3P)
	STONE		STREET LIGHT		SIGN		ELECTRICAL MANHOLE		MULTIPRONGED TREE (MP)
	WOOD								
	NATURAL GROUND SURFACE/ LANDSCAPED AREA								

**GENERAL NOTES:**

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #102, A MAGNETIC NAIL LOCATED APPROXIMATELY 18' EASTERLY AND 3' NORTHERLY OF THE MOST SOUTHEASTERLY CORNER OF THAT CERTAIN PARCEL DESCRIBED IN DOCUMENT NO. 2021008366, ELEVATION = 85.71' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3" ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (06/24/21) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

**CONTACT INFORMATION:**  
 CLIENT:  
 ATTN: HARLAN BRADLEY  
 MASTERWORK BUILDERS  
 P.O. BOX 23  
 CARMEL, CA 93921

**OWNER:**  
 MR. & MRS. JUDSON & KRISTA HOFFMAN  
 30 LA LOMA DR  
 MENLO PARK, CA 94025

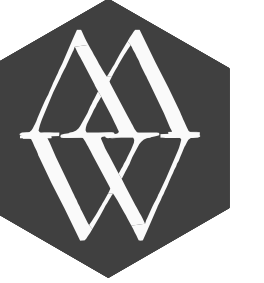
**SITE LOCATION:**  
 CAMINO DEL MONTE, 4 NW OF SAN CARLOS ST  
 CARMEL-BY-THE-SEA, CA 93921

SCALE: 1" = 10'  
 DATE: JULY 2021  
 JOB NO. 2311-01

No.	DATE	BY	REVISION
	07/08/21	JAN	RELEASED TO CLIENT

SHEET **1**  
 OF 1 SHEETS





MASTERWORK  
BUILDING AND DEVELOPMENT

LICENSE NO. 972132  
P.O. BOX 23  
CARMEL, CA 93921  
831.229.8002

DESIGN BY:

HARLAN BRADLEY

*Harlan Bradley*

831-229-8628

harfan@masterworkbuilders.com

HOFFMAN RESIDENCE

W/s CAMINO DEL MONTE between 2nd & 3rd  
CARMEL, CALIFORNIA 93923

DRAWINGS BY:

STUDIO VII  
WEST

P.O. BOX 4255  
CARMEL, CA 93921  
720.519.3363

*Gary Kerr*

GARY KERR

FINAL REVISION DATE

REVISION 8: FEBRUARY 02, 2022 <sup>4</sup>

REVISION 7: JANUARY 11, 2022

REVISION 6: DECEMBER 06, 2021

REVISION 5: NOVEMBER 10, 2021 <sup>3</sup>

REVISION 4: SEPTEMBER 15, 2021 <sup>2</sup>

REVISION 3: MAY 04, 2021 <sup>1</sup>

REVISION 2: APRIL 05, 2021

REVISION 1: MARCH 16, 2021

PROJECT NO.:

DATE: APRIL 13, 2022 <sup>5</sup>

OWNER:

JUD & KRISTA  
HOFFMAN

PHASE:

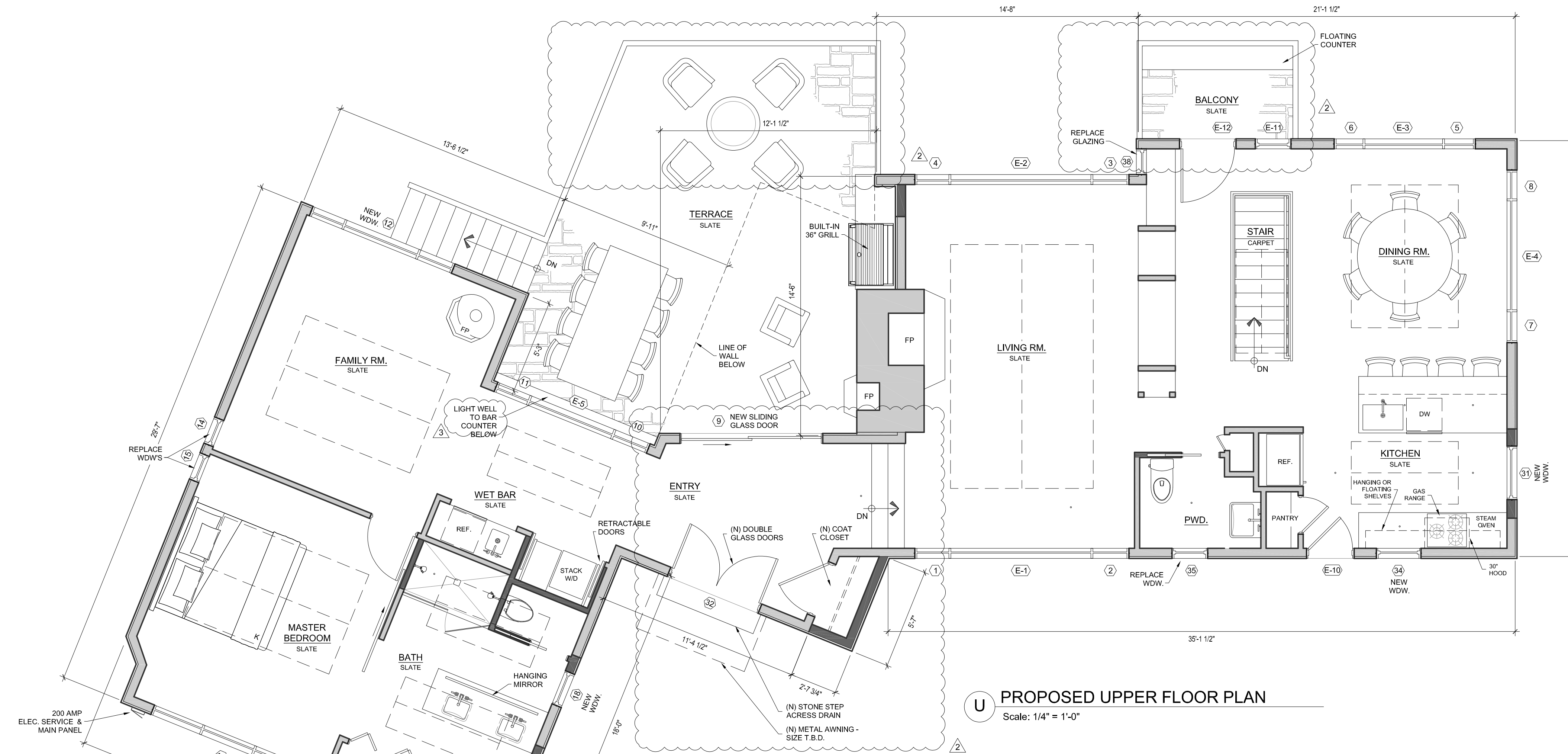
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PLUMBING AND MECHANICAL NOTES:

- Contractor shall have a completed form CF2R-MCH-27-H on-site at the time of inspection.
- Plumbing fixture water consumption rates:
  - Kitchen Faucets: 1.8 GPM @ 60 psi, kitchen faucets may temporarily increase the max. flow rate, but not to exceed 2.2 GPM @ 60 psi.
  - Lavatory Faucets: 1.2 GPM @ 60 psi max., 0.8 GPM @ 20 psi min.
- Showerhead: 1.8 GPM @ 80 psi, 1.8 GPM cumulative for multiple heads in a single shower.
- Water Closet: 1.28 GPF
- Showers and tub/shower combinations shall be provided with individual control valves of the pressure balance, thermostatic, or combination pressure balance and thermostatic types that provide scald and thermal shock protection.
- Control valves and shower heads shall be located on the sidewall of shower compartments, arranged so that the shower head does not discharge directly at the entrance to the compartment so that the bather can adjust the valves prior to stepping into the shower spray.
- Bathtub and shower floors and walls above bathtubs with shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than six feet above the floor.
- Shower compartments: 1,024 square inches and capable of encompassing a 30-inch diameter circle and a 22-inch clear opening/door.
- Water pressure in the building shall be limited to 50 psi or less.
- Provide an access panel (12" x 12") or a utility space for all plumbing fixtures having concealed slip-joint connections.
- All exhaust outlets shall maintain a min. 3 ft. clearance from any operable opening.
- Range hood shall vent to the outside per manufacturer's requirements. The kitchen exhaust system shall be ducted with a smooth metal interior duct, have a minimum exhaust rate of 100 cfm and be provided with a back-draft damper.
- If open combustion appliance or fireplace is present, make-up air may be required. Confirm range hood specification.
- Clothes dryer moisture exhaust ducts shall terminate outside the building and have a back-draft damper. Exhaust duct is limited to 14" with two elbows, this shall be reduced by 2" for every elbow over two. Duct shall be minimum 4" diameter, smooth, and metal. Show the exhaust duct on the plan.
- A bathroom which does not contain a source of moisture shall have a window to the exterior or a mechanical ventilation system capable of providing 50 cfm.
- A "bathroom" which contains a bathtub, shower or tub/shower combination, shall be mechanically ventilated with an exhaust fan that complies with CGBS 4.506 and shall include the following: Have a minimum ventilation rate of 50 cfm and be Energy Star compliant and must be controlled by a humidistat which shall be readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity of 50% to 80%. The control may be a separate component or integral to the exhaust fan. All lighting shall be switched separately from exhaust fans or, if fan is integral with the lighting it shall be possible for the lighting to be manually turned on and off while allowing the fan to continue to operate for an extended period.
- Bathroom exhaust fan controls must comply with one of the following:
  - All lighting shall be switched separately from exhaust fans.
  - For an exhaust fan with an integral lighting system, it shall be possible for the lighting system to be manually turned on and off while allowing the fan to continue to operate for an extended period.
- Bathroom exhaust fans shall be provided with backdraft protection in accordance with CMCS 504.1.1.

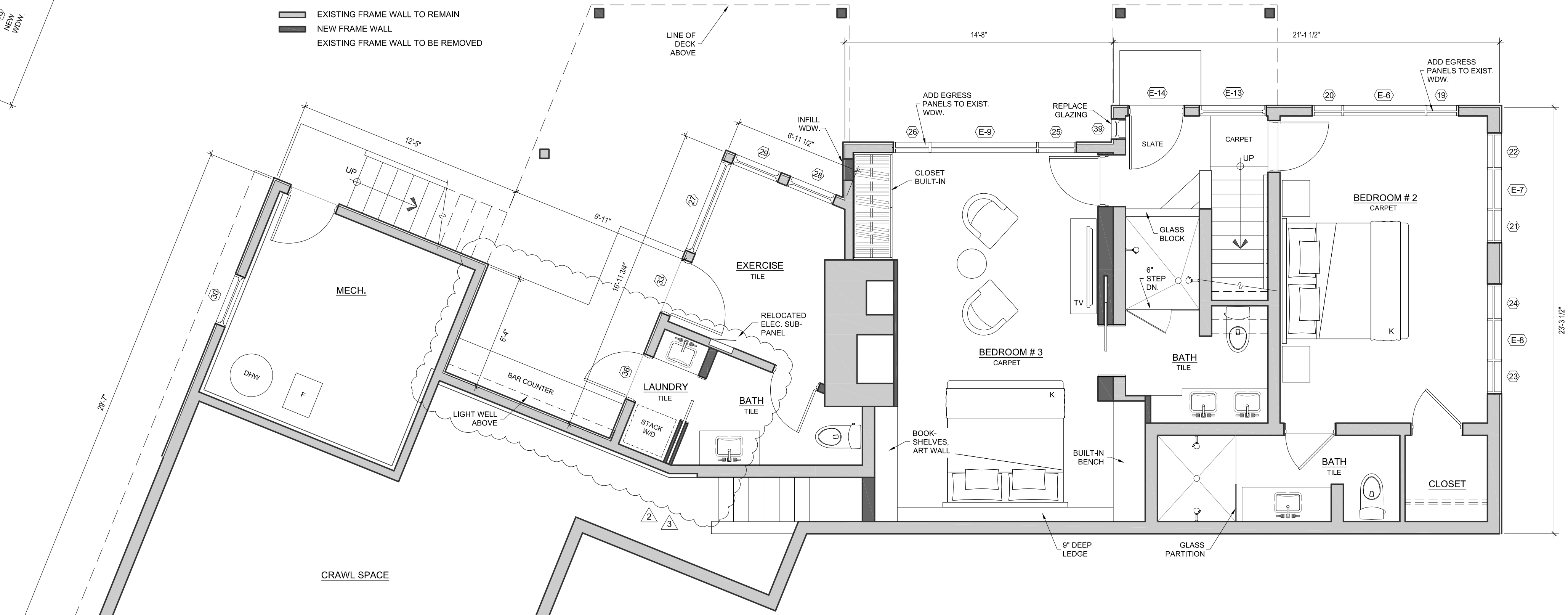


U PROPOSED UPPER FLOOR PLAN  
Scale: 1/4" = 1'-0"

EXISTING FRAME WALL TO REMAIN  
NEW FRAME WALL  
EXISTING FRAME WALL TO BE REMOVED

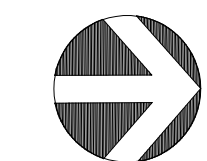
NEW WINDOW AND DOOR GLAZING NOTES:

- All new exterior windows and new doors to meet the requirements set forth in CBC chapter 7A. They shall be constructed of multi-pane glazing with a minimum of one tempered pane meeting the requirements of Section 2406 safety glass.
- Each pane of glazing installed in hazardous locations shall be tempered glass; the following locations shall be hazardous locations for glazing:
- Glazing in doors.
  - Glazing in a fixed or operable panel adjacent to a door where the bottom of the glazing is less than 60 inches above the floor or walking surface and its either within 24 inches of either side of the door in the plane of the door OR where the glazing is on a wall perpendicular to the plane of the door within 24 inches of the hinge side of an in-swinging door.
  - Glazing in windows that meet all the following conditions:
    - The exposed area of an individual pane is larger than 9 square feet.
    - The bottom edge of the glazing is less than 18 inches above the floor.
    - The top edge of the glazing is more than 36 inches above the floor; and
    - One or more walking surfaces are within 36 inches, measured horizontally and in a straight of the glazing.
  - Glazing in guards and railings.
  - Glazing in walls containing or facing tubs, showers and other wet surfaces where the bottom edge of the glazing is less than 60 inches measured vertically above any standing or walking surfaces and within 60 inches measured horizontally and within a straight line of the waters edge, including shower doors and surrounds.
  - Glazing adjacent to stairs and ramps

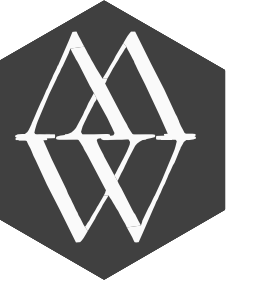


L PROPOSED LOWER FLOOR PLAN  
Scale: 1/4" = 1'-0"

1" 2" 4" 8"







MASTERWORK  
BUILDING AND DEVELOPMENT

LICENSE NO. 972132  
P.O. BOX 23  
CARMEL, CA 93921  
831.229.8002

DESIGN BY:

HARLAN BRADLEY

*Harlan Bradley*

831-229-8628  
harlan@masterworkbuilders.com

HOFFMAN RESIDENCE  
W/s CAMINO DEL MONTE between 2nd & 3rd  
CARMEL, CALIFORNIA 93923

DRAWINGS BY:

STUDIO VII  
WEST

P.O. BOX 4255  
CARMEL, CA 93921  
720.519.3363

*Gary Kerr*  
GARY KERR

FINAL REVISION DATE

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PROJECT No.:

DATE: FEBRUARY 02, 2022 <sup>4</sup>

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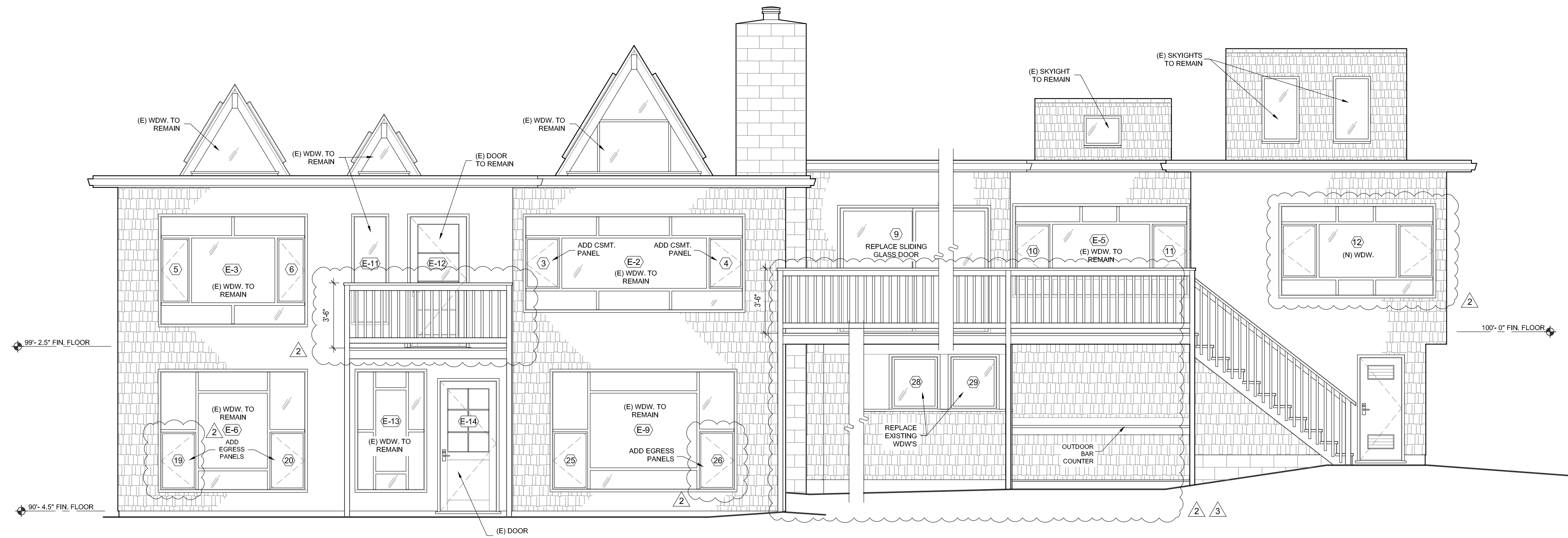
JUD & KRISTA  
HOFFMAN

PHASE:

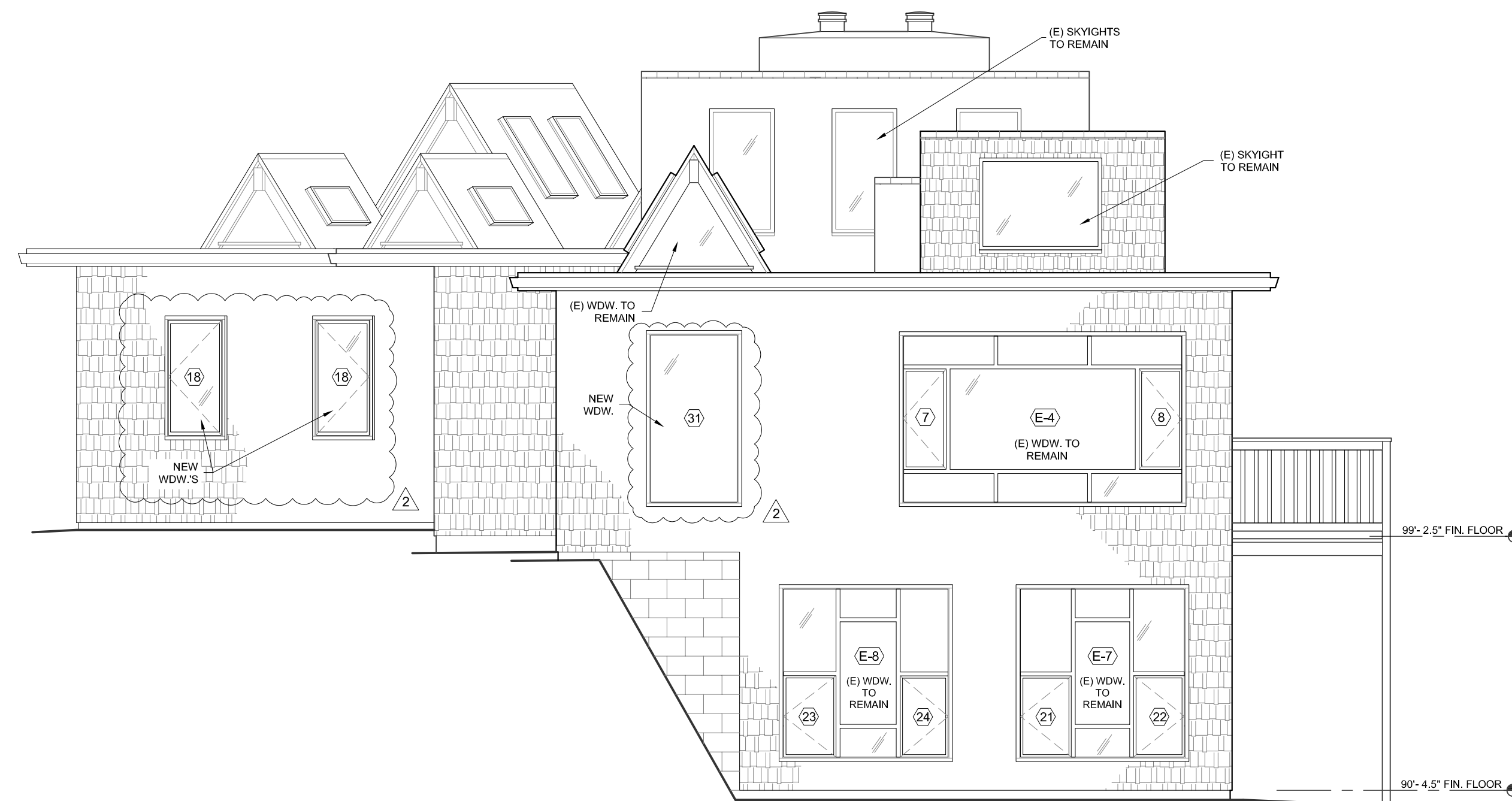
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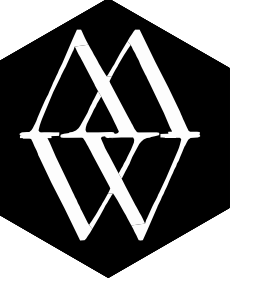
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W PROPOSED WEST ELEVATION  
Scale: 1/4" = 1'-0"



N PROPOSED NORTH ELEVATION  
Scale: 1/4" = 1'-0"



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OWNER:

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PHASE:

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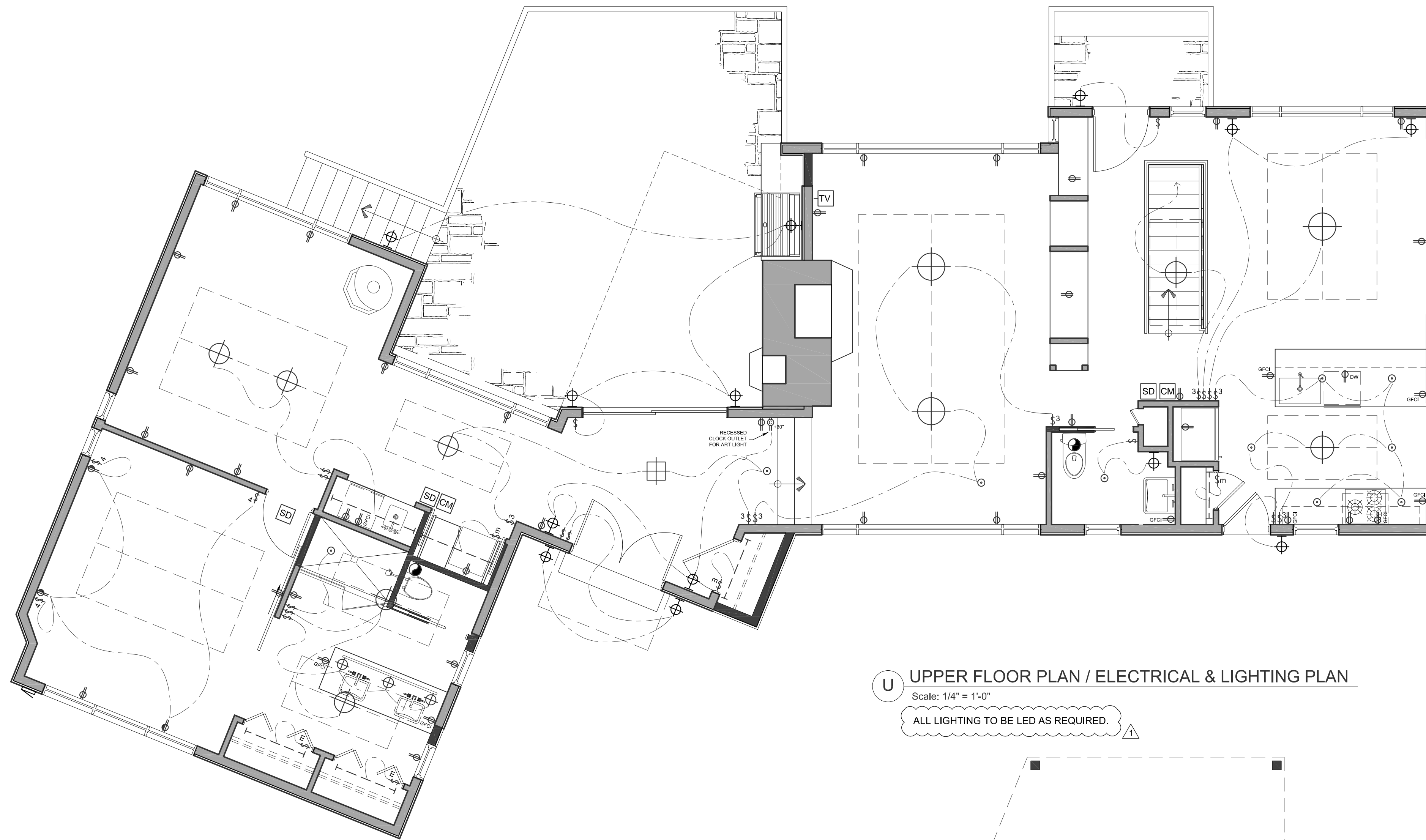
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SYMBOL KEY

	OUTLET		FAN ONLY
	GFCI OUTLET		RECESSED DOWN LIGHT
	HALF SWITCHED OUTLET		RECESSED STEP LIGHT
	ELECTRICAL OUTLET FLOOR DUPLEX		WALL SCONCE PLAN
	SWITCH		SURFACE MOUNTED DECORATIVE LIGHT FIXTURE
	3 - WAY SWITCH		CHANDELIER OR PENDANT LIGHT FIXTURE
	4 - WAY SWITCH		LED STRIP LIGHTING
	MOTION / JAMB SWITCH		MONOPOINT LIGHT FIXTURE
	SMOKE DETECTOR		USB PORT
	CARBON MONOXIDE DETECTOR		RECESSED CLOCK OUTLET

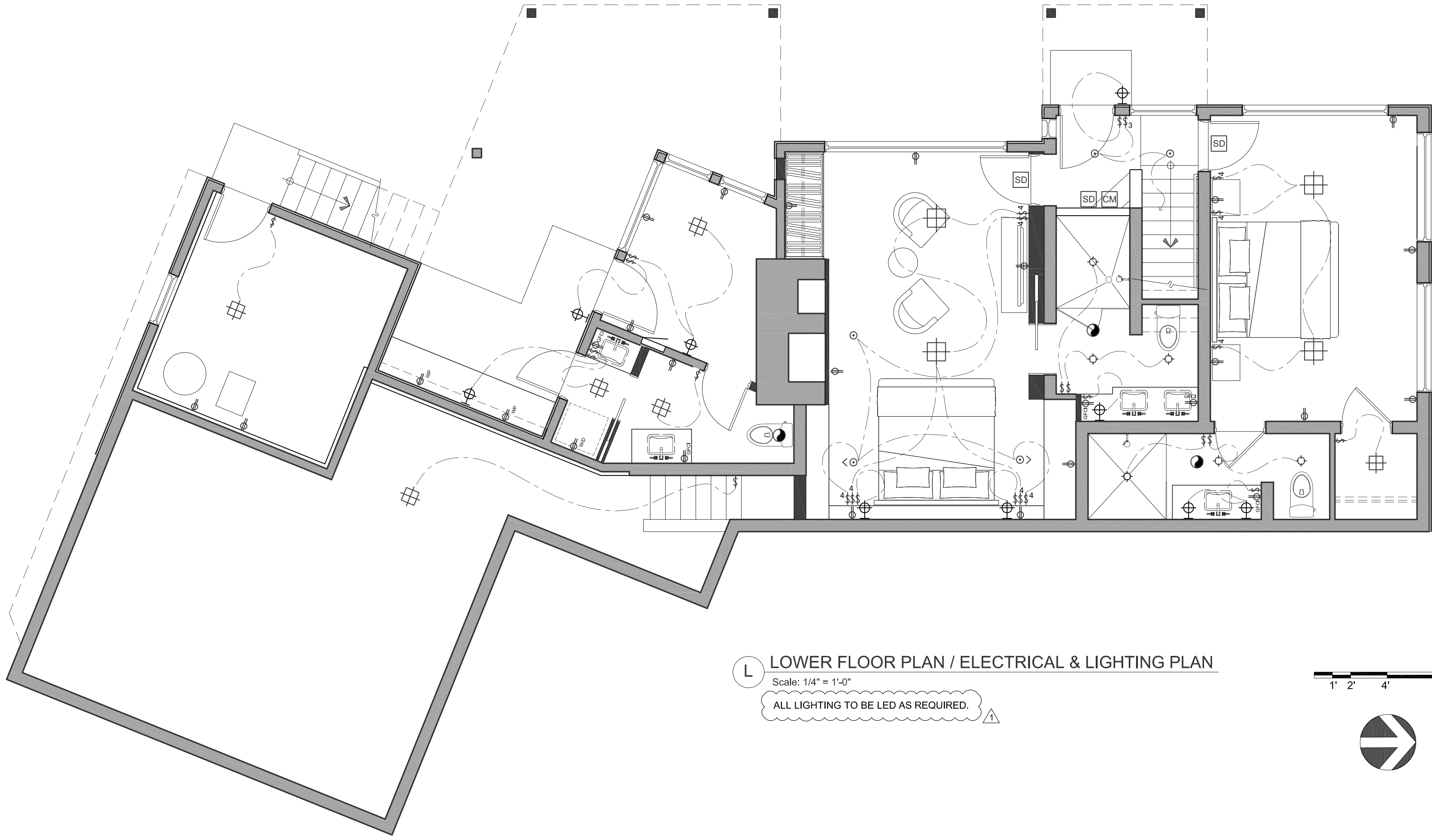
ELECTRICAL NOTES:

- Bathroom exhaust fans to be occupant activated as required. Unless serving as part of a whole-house ventilation system, bathroom exhaust fans serving rooms with tubs, shower, or combinations, shall be provided with humidity controls in accordance with the CGBSC.
- Luminaires recessed into ceilings must meet all the requirements for: insulation contact (IC) labeling; sealed with a gasket or caulked between housing and ceiling, and shall be certified to comply with Section 110.9 and allow ballast maintenance and replacement to be readily accessible to building occupants from below. JA8-2016-E certified and marked light source, rated for elevated temperature, must be installed by final inspection.
- At least one light in bathrooms, garages, laundry and utility rooms shall be controlled by a vacancy sensor certified to comply with section 119(d) that does not turn on automatically or have an always on option. (150)(k)3
- Luminaires installed in wet or damp locations must be marked 'suitable for wet / damp locations'.
- No parts of cord-connected, chain, cable, cord-suspended luminaires, lighting track, pendants, or ceiling-suspended fans shall be located with 3' horizontally and 8' vertically from the top of a bathtub rim or shower stall threshold and includes the space directly over the tub or shower stall. Luminaires located within the actual outside dimension of the bathtub or shower to a height of 8' vertically from the top of the bathtub rim or shower threshold shall be marked for damp/wet location.
- Provide at least one 20-amp circuit at bathroom; circuit shall have no other outlets.
- Two small appliance outlet circuits, 20-amp each, are required in kitchen; circuits shall be balanced and have no other outlets.
- Provide separate 20-amp branch circuits for fixed appliances such as food waste grinders, dishwashers, washing machines, dryers, built-in refrigerators or freezers, furnaces, AC units, or any other fixed appliance with a motor of 1/4 h.p. or larger.
- Kitchen receptacle outlets serving countertops shall:
  - Have GFCI and AFCI protection.
  - Be installed in each counter wall 12 inches or wider so no point along the wall is more than 24 inches.
  - Shall be installed in each wall space separated by range tops, refrigerators or sinks.
  - Shall be installed not more than 20 inches above the countertop.
- At least one receptacle outlet shall be installed at each island and each peninsula counter space with a long dimension of 24 inches minimum and a short dimension of 12 inches or greater; peninsula counter tops are measured from the connecting edge.
- General 120-volt, 15 and 20-amp receptacle notes:



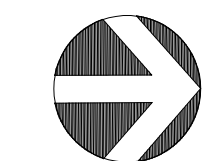
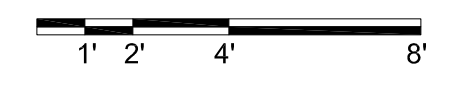
U UPPER FLOOR PLAN / ELECTRICAL & LIGHTING PLAN

Scale: 1/4" = 1'-0"  
ALL LIGHTING TO BE LED AS REQUIRED.



L LOWER FLOOR PLAN / ELECTRICAL & LIGHTING PLAN

Scale: 1/4" = 1'-0"  
ALL LIGHTING TO BE LED AS REQUIRED.



**Panasonic** Integrated Solutions Industries Products & Services Sales & Support Trends

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**WhisperGreen® Select™ Fan, 50-80-110 CFM**

FV-0511VK2





CONTACT SALES FIND A DEALER

**PRODUCT DETAILS**

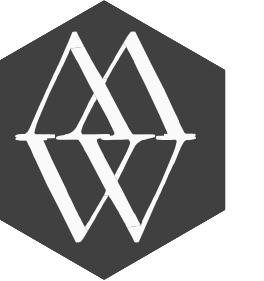
Reintroducing WhisperGreen® Select™, our whole house IAQ solution with enhancements that will provide greater value to our customers. First, our improved single-hinged Flex-Z Fast™ bracket for more flexible, fast and easy installation. Other enhancements include a new elegant grille design, an environmentally friendly 26 gauge Zinc-Aluminum-Magnesium (ZAM) housing design and dual access junction box that helps simplify wiring in tight spaces.

**KEY FEATURES**

- Customizable, all-in-one whole house precision ventilation solution ideal for use in the bathroom, laundry room, sun room, basement or garage

BATHROOM EXHAUST FAN SPEC.



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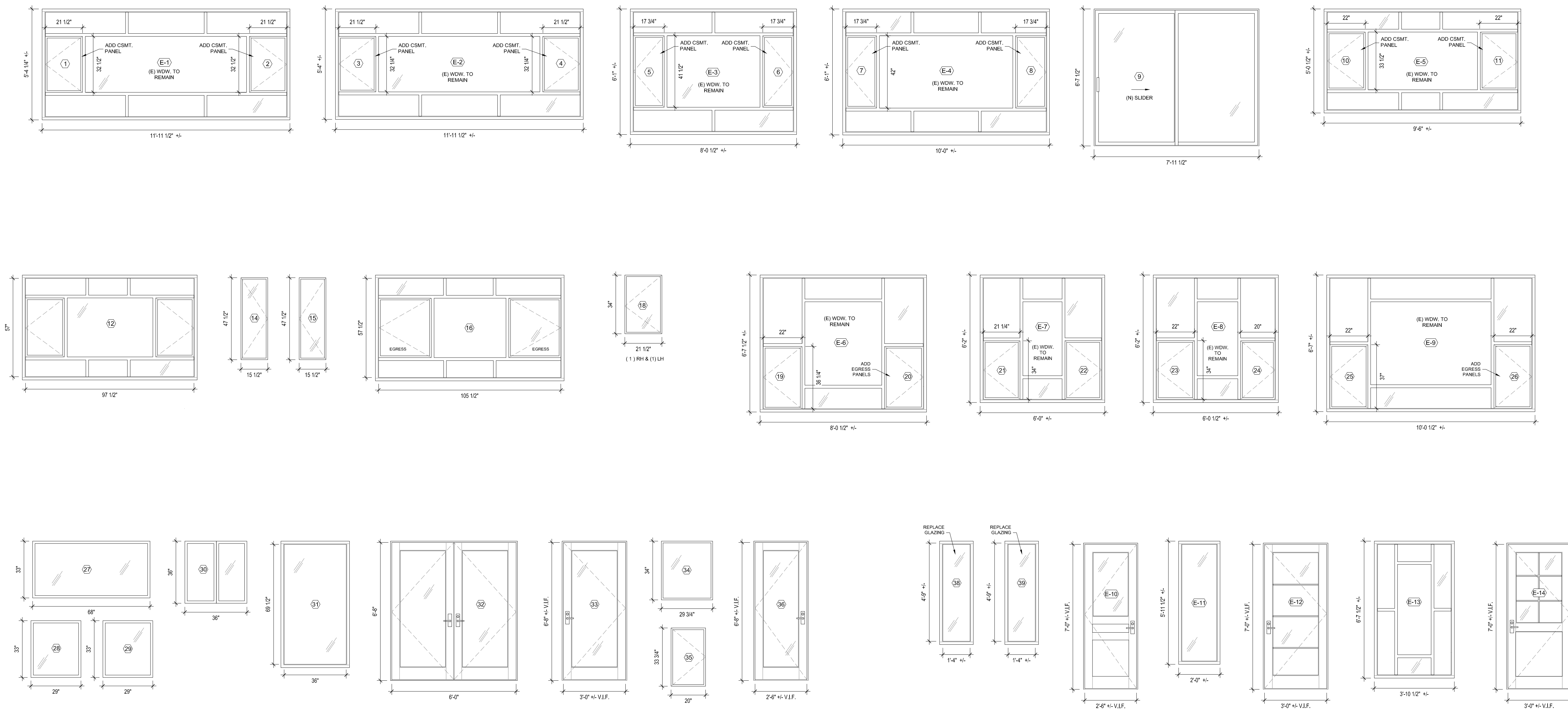
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HOFFMAN

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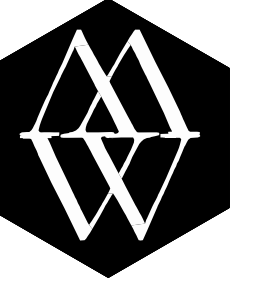


**W WINDOW / EXTERIOR DOOR SCHEDULE**  
Scale: 3/8" = 1'-0"

(E-#) DENOTES EXISTING WINDOW / DOOR TO REMAIN  
# DENOTES NEW WINDOW / DOOR, NEW OPERABLE PANEL WITHIN AN EXISTING WDW. ASSEMBLY, OR GLAZING REPLACEMENT AS NOTED.

NEW WINDOW AND DOOR GLAZING NOTES :

- All new exterior windows and new doors to meet the requirements set forth in CBC chapter 7A. They shall be constructed of multipane glazing with a minimum of one tempered pane meeting the requirements of Section 2406 safety glass.
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- a) Glazing in doors.
  - b) Glazing in a fixed or operable panel adjacent to a door where the bottom of the glazing is less than 60 inches above the floor or walking surface and its either within 24 inches of either side of the door in the plane of the door OR where the glazing is on a wall perpendicular to the plane of the door within 24 inches of the hinge side of an in-swinging door.
  - c) Glazing in windows that meet all the following conditions:
    1. The exposed area of an individual pane is larger than 9 square feet.
    2. The bottom edge of the glazing is less than 18 inches above the floor.
    3. The top edge of the glazing is more than 36 inches above the floor; and
    4. One or more walking surfaces are within 36 inches, measured horizontally and in a straight of the glazing.
  - d) Glazing in guards and railings.
  - e) Glazing in walls containing or facing tubs, showers and other wet surfaces where the bottom edge of the glazing is less than 60 inches measured vertically above any standing or walking surfaces and within 60 inches measured horizontally and within a straight line of the waters edge, including shower doors and surrounds.
  - f) Glazing adjacent to stairs and ramps



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PROJECT No.:

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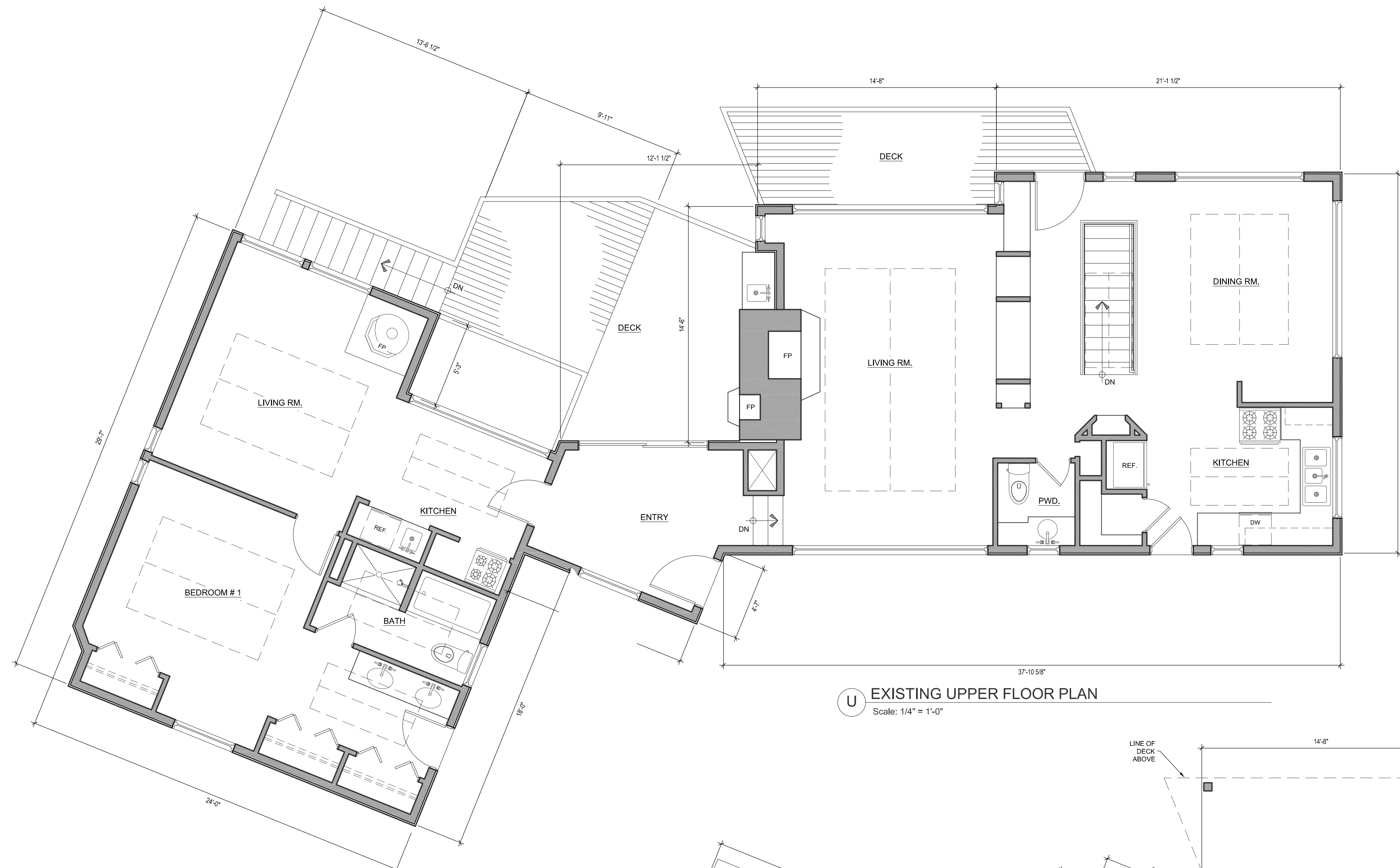
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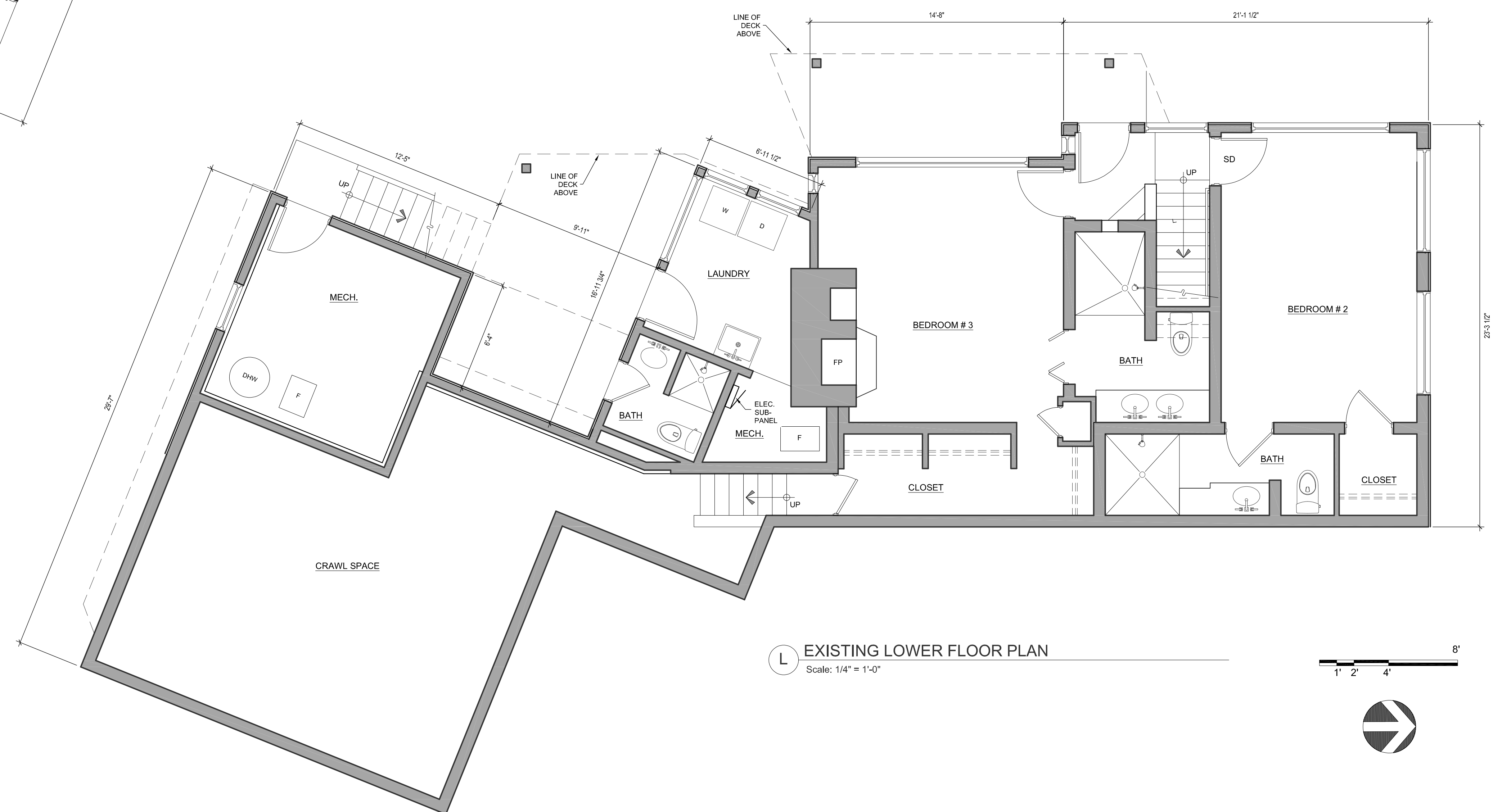
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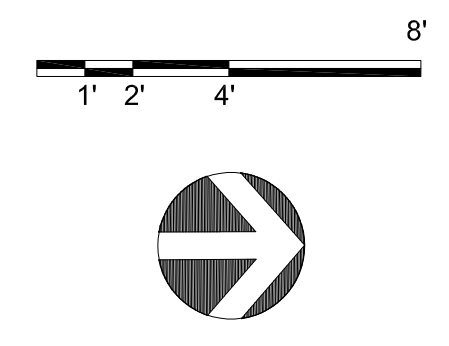
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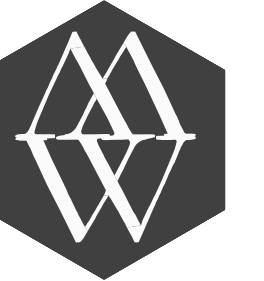


U EXISTING UPPER FLOOR PLAN  
Scale: 1/4" = 1'-0"



L EXISTING LOWER FLOOR PLAN  
Scale: 1/4" = 1'-0"





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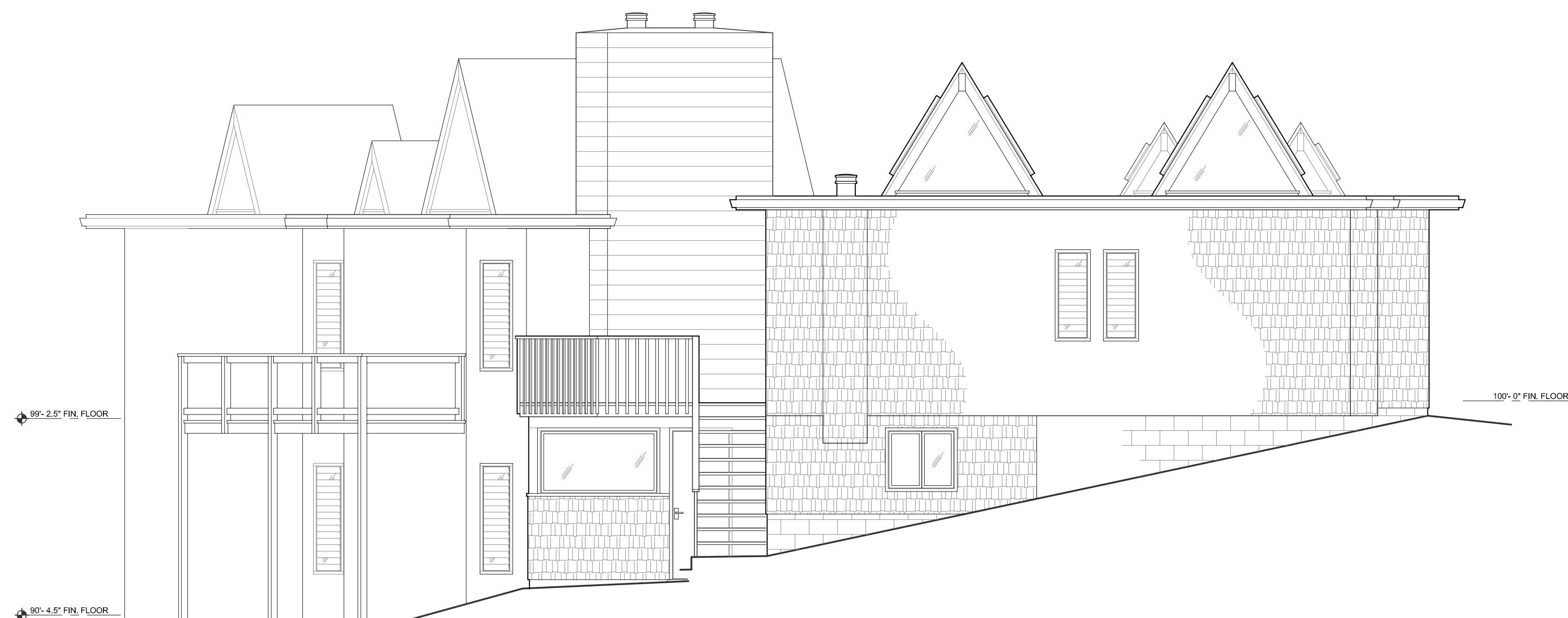
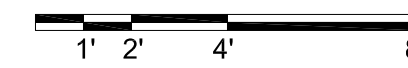
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E EXISTING EAST (STREET) ELEVATION  
Scale: 1/4" = 1'-0"



S EXISTING SOUTH ELEVATION  
Scale: 1/4" = 1'-0"



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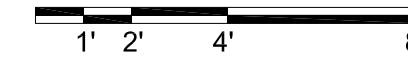
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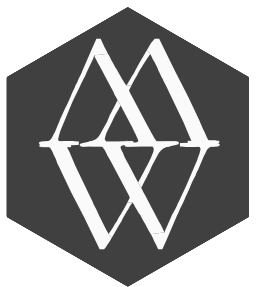
W EXISTING WEST ELEVATION  
Scale: 1/4" = 1'-0"



N EXISTING NORTH ELEVATION  
Scale: 1/4" = 1'-0"







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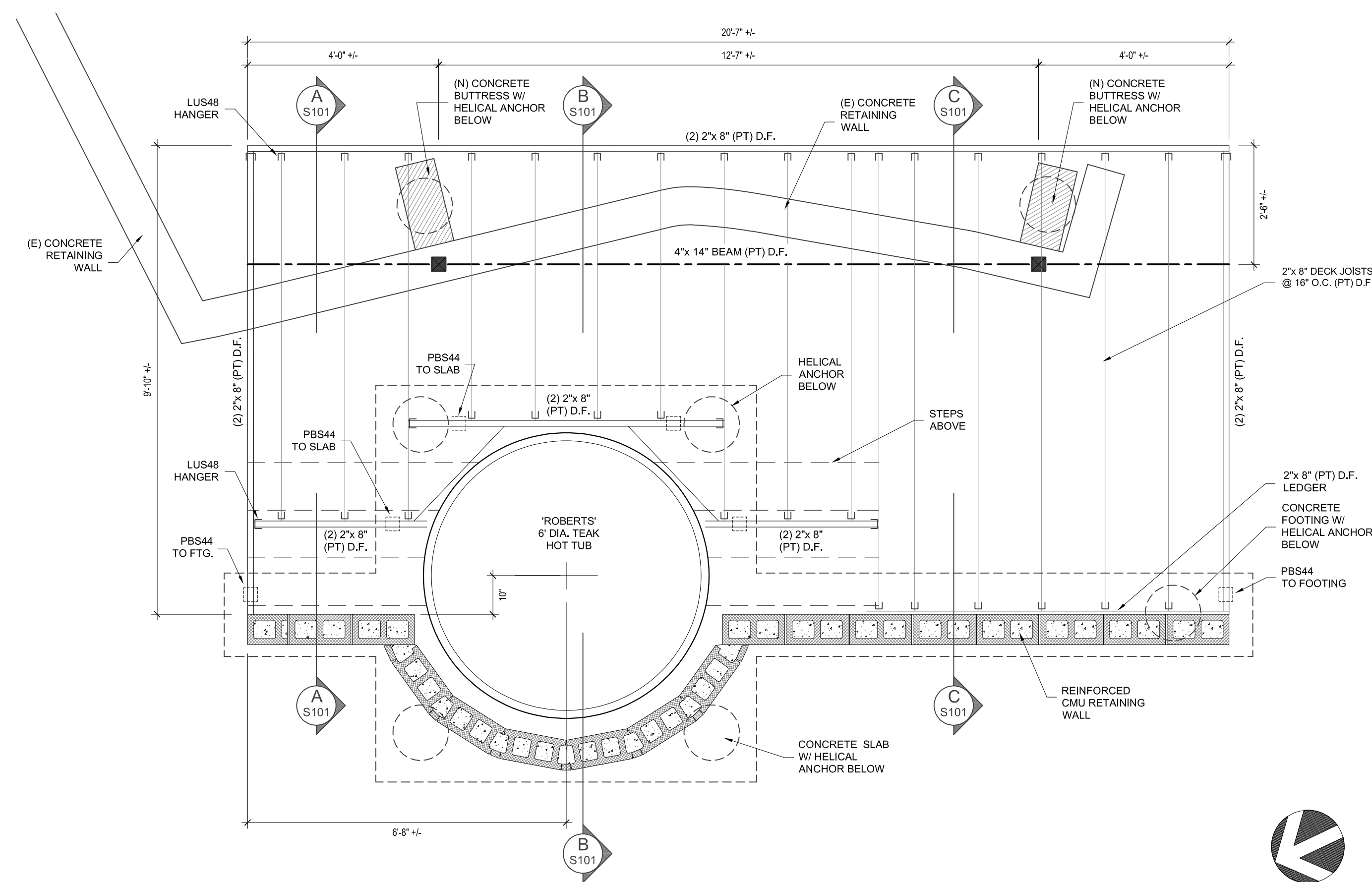
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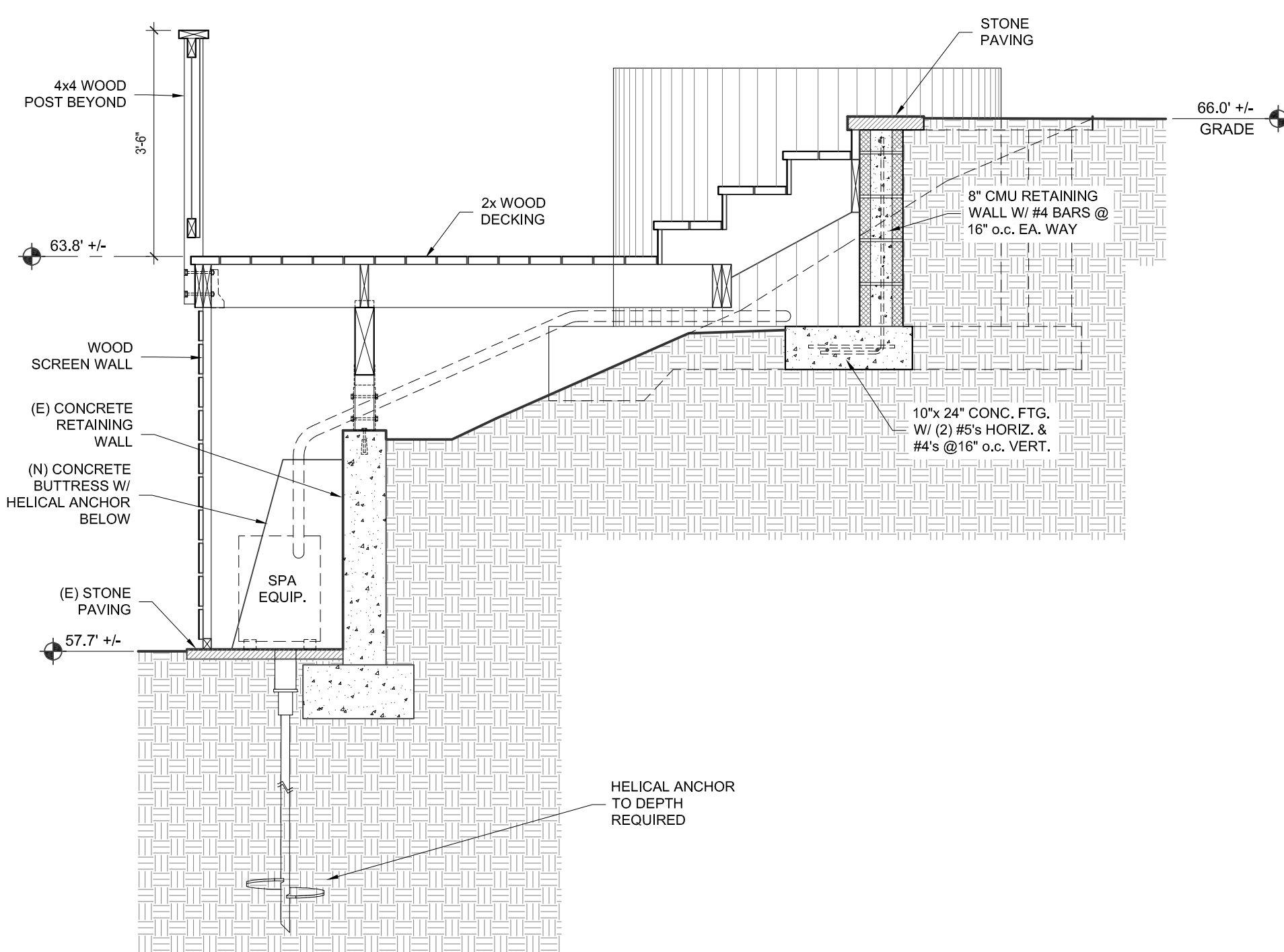
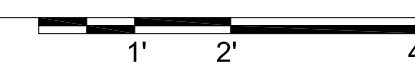
DESIGN CRITERIA :

<b>GRAVITY LOADS:</b>	Roof Dead Load: Roof + Ceiling Ceiling	14.0 psf 7.0 psf
	Roof Live Load:	20.0 psf
	Framed 1st Floor/2nd Floor Dead Load: Carpet Hardwood Ceramic Tile	9.0/13.0 psf 11.0/15.0 psf 18.0/22.0 psf
	Garage: Concrete Slab-on-Grade	40.0 psf
<b>WIND DESIGN:</b>	Envelope Procedure for: Occupancy Category = II Exposure Category = C Importance Factor = 1.0 Basic Wind Speed = 110.0 mph	
	<b>SEISMIC DESIGN:</b> Equivalent Lateral Force Procedure where: Seismic Category = D Site Class = D Occupancy Category = II Importance Factor = 1.0 Response Modification Factor = 6.5 System Overstrength Factor = 3 Deflection Amplification = 4 Spectral Response Accelerations S <sub>s</sub> and S <sub>1</sub> = 1.609, 0.607 Adjusted Max. Spectral Response Accelerations S <sub>MS</sub> and S <sub>M1</sub> = 1.609, 0.910 Design Spectral Response Coefficients S <sub>DS</sub> and S <sub>D1</sub> = 1.072, 0.657 Seismic Response Coefficient, C <sub>s</sub> = 0.17	
	<b>FOUNDATION:</b> All foundation and related site work shall comply with the requirements of chapter 18 of the 2019 California Building Code (CBC) or 2019 California Residential Code (CRC) for SFD	



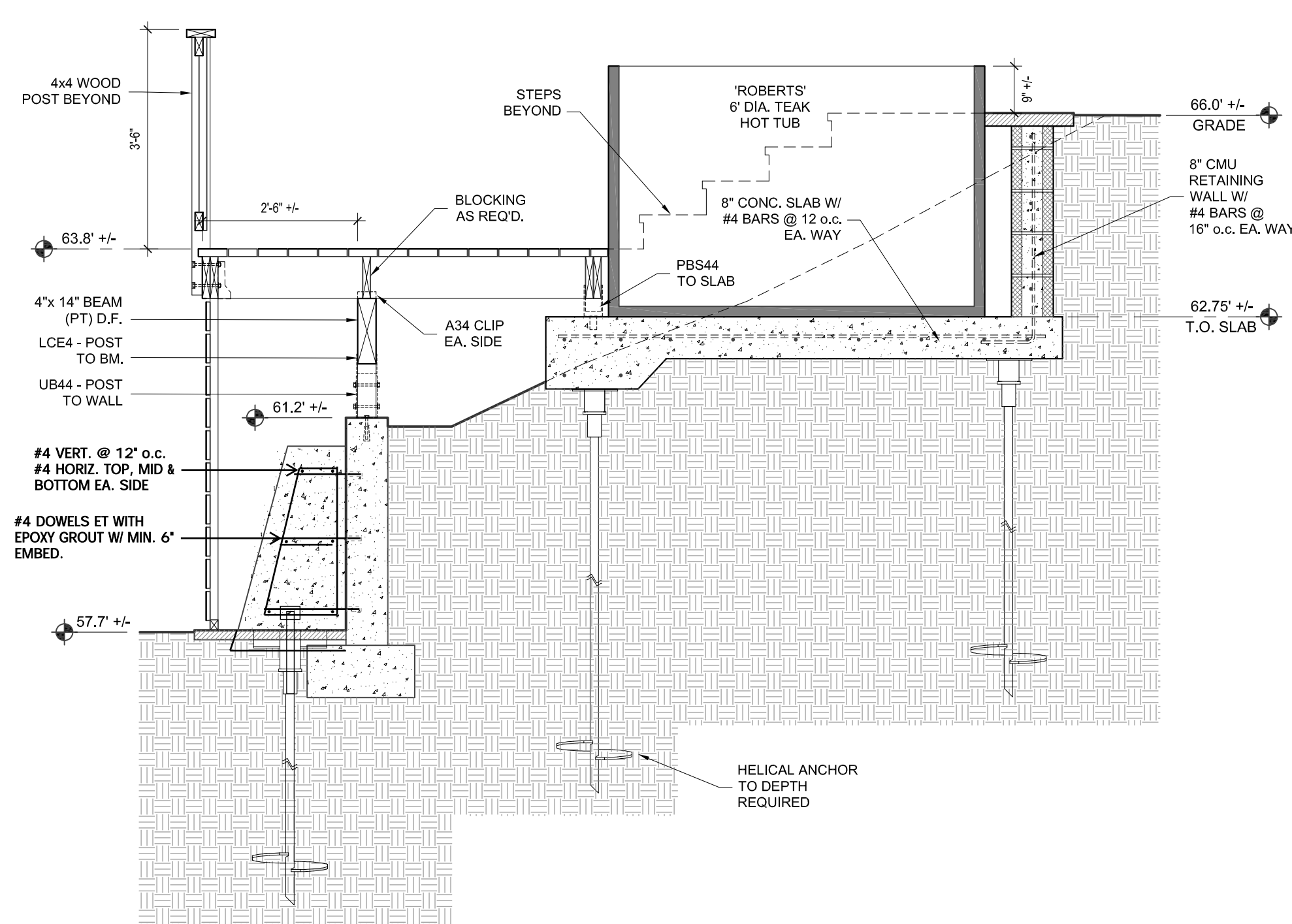
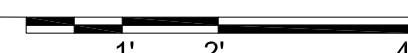
S SPA DECK FRAMING PLAN

Scale: 1/2" = 1'-0"



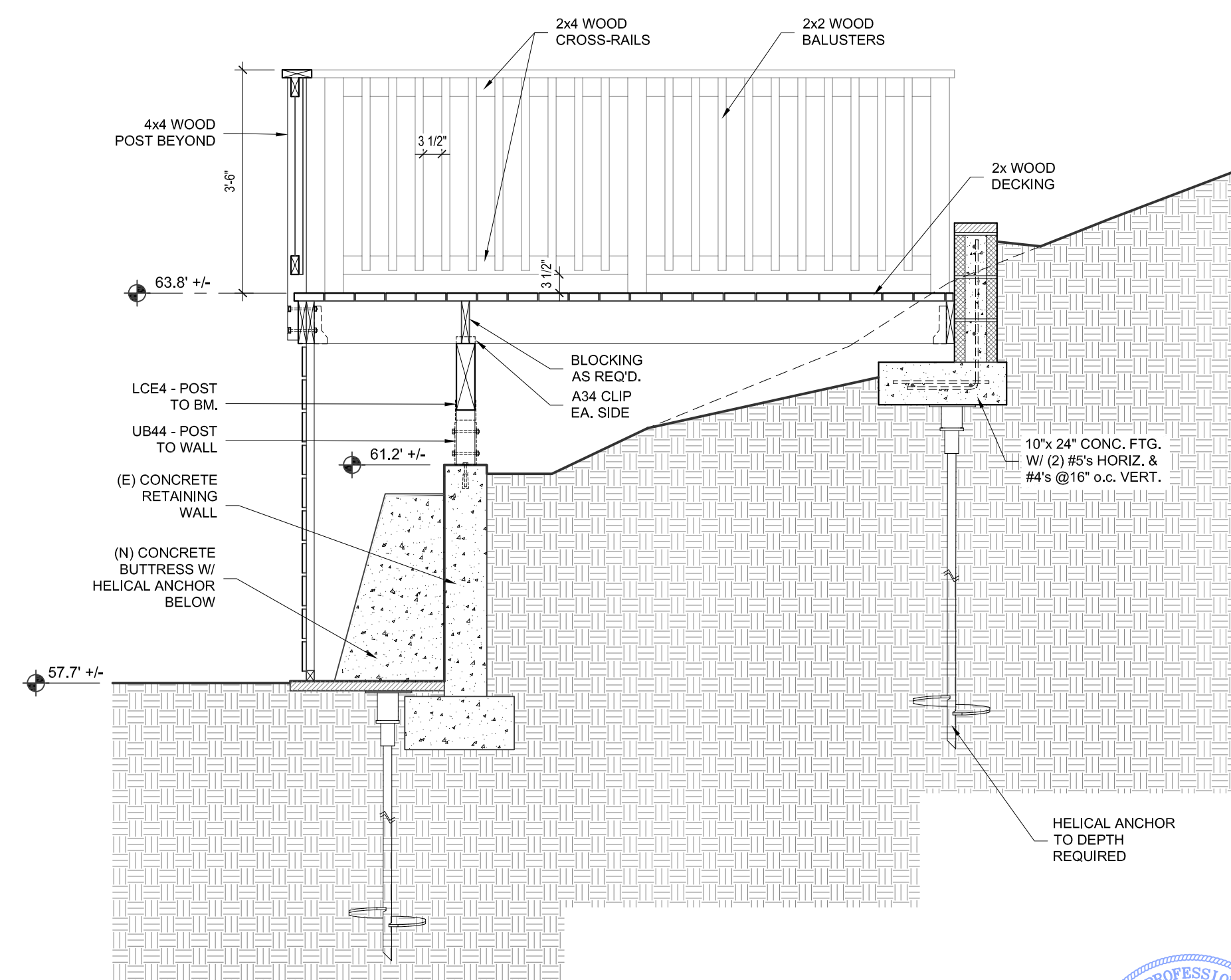
A SPA DECK - SECTION 'A'

Scale: 1/2" = 1'-0"



B SPA DECK - SECTION 'B'

Scale: 1/2" = 1'-0"



C SPA DECK - SECTION 'C'

Scale: 1/2" = 1'-0"

