

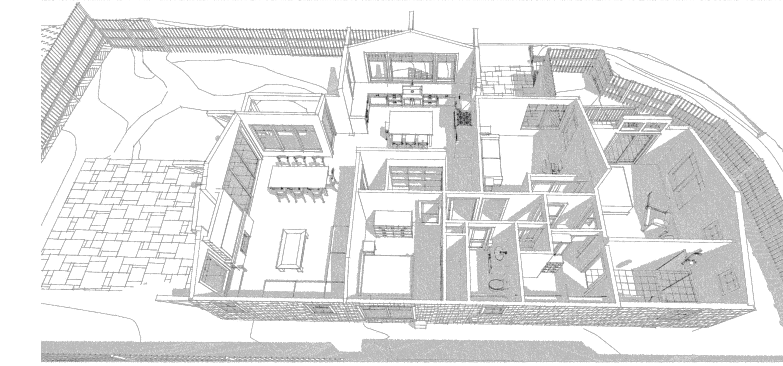
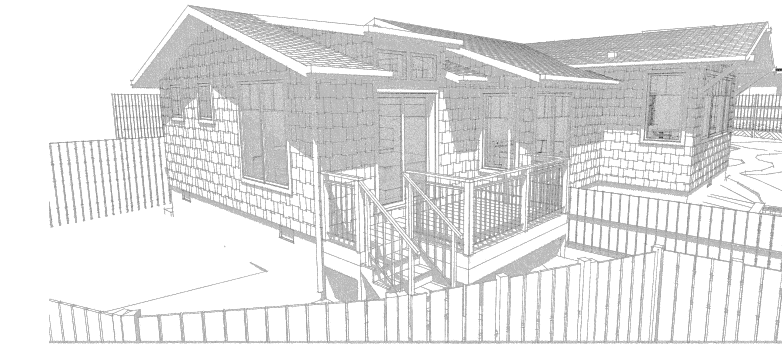
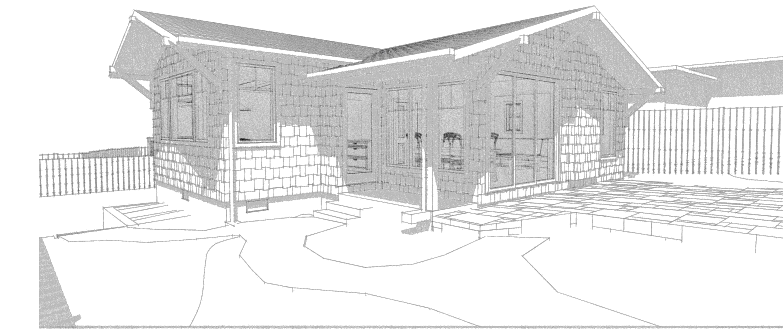
Janz Residence

ABBREVIATIONS

ARCH.	ARCHITECTURAL	INT.	INTERIOR
BTWN.	BETWEEN	MAX.	MAXIMUM
BLDG.	BUILDING	MIN.	MINIMUM
BLK.	BLOCK	MECH.	MECHANICAL
BM.	BEAM	MFRG.	MANUFACTURER
CSMT.	CASEMENT	MICRO.	MICROWAVE
CLR.	CLEAR	MTL.	METAL
CL'G.	CEILING	NAT.	NATURAL
C.J.	CEILING JOIST	(N)	NEW
COL.	COLUMN	NO.	NUMBER
CONC.	CONCRETE	O.C.	ON CENTER
CONT.	CONTINUOUS	PLYWD.	PLYWOOD
DRY.	DRYER	RIS.	RISERS
DIA.	DIAMETER	R.O.	ROUGH OPENING
DIM.	DIMENSION(S)	R.R.	ROOF RAFTERS
D.W.	DISHWASHER	REV.	REVISION
DWGS.	DRAWINGS	REFR.	REFRIGERATOR
ELEV.	ELEVATION	REOD.	REQUIRED
EQ.	EQUAL	SHT.	SHEET
(E)	EXISTING	SL.	SLIDER
EXT.	EXTERIOR	SIM.	SIMILAR
F.A.U.	FORCED AIR UNIT	STL.	STEEL
FIN.	FINISH, FINISHED	STRUCT.	STRUCTURAL
FLR.	FLOOR	TEMP.	TEMPERATURE
F.J.	FLOOR JOIST	TR.	TREADS
FTG.	FOOTING	T&G.	TONGUE & GROOVE
FRZ.	FREEZER	T.O.	TOP OF
G.A.	GAUGE	TYP.	TYPICAL
GALV.	GALVANIZED	U.N.O	UNLESS NOTED OTHERWISE
G.D.	GARBAGE DISPOSAL	V.I.F.	VERIFY IN FIELD
GRD.	GRADE	WASH.	WASHER
GYP. BD.	GYP. BOARD	W.H.	WATER HEATER
HDR.	HEADER	WD.	WOOD
HGT.	HEIGHT		



NorthEast Corner of 4th & Carpenter



NorthEast Corner of 4th & Carpenter

CONTACTS

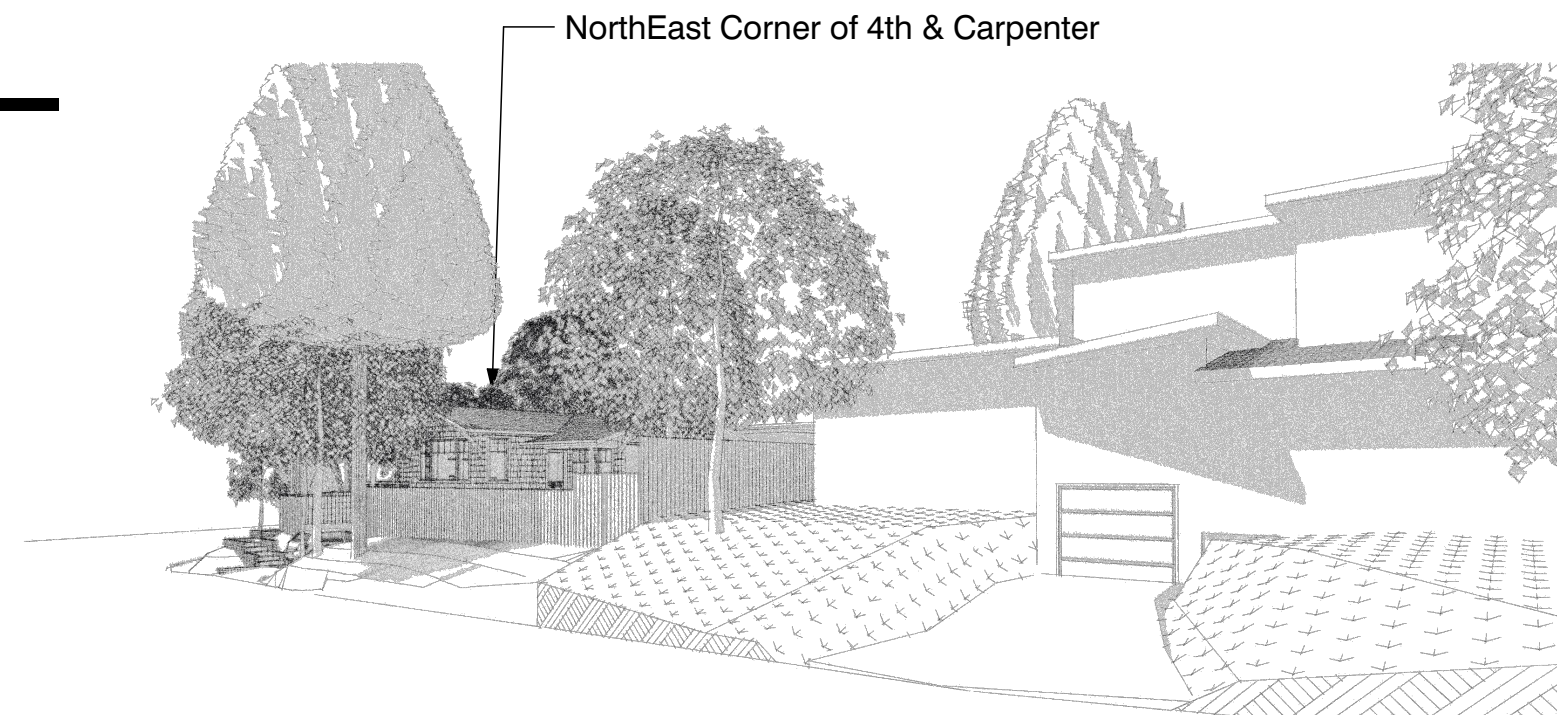
CLIENT:	Jim and Kathy Janz Northeast Corner of 4th and Carpenter Carmel, CA 93923
ARCHITECT:	Beckstrom Architecture + Interiors PO Box 1317, Los Gatos, CA 95030 650 847-8351, eric@beckstromarchitecture.com
STRUCTURAL ENGINEER:	Efe Sozkesen MS. PE. 4x Engineering, Inc., 4340 Stevens Creek Blvd. Suite # 240 San Jose, CA 95129 408 642-5464
CONTRACTOR:	Acosta Builders 24215 Pheasant Ct Salinas, CA 93908 831-484-5899
TITLE 24/ GREENPOINT RATER:	Title 24 Data Corp Monika Taylor CEA R13-14-10017 633 Monterey Trail, POB 2199, Frazier Park, CA 93225-2199 800-237-8824; title24@frazmtn.com

CONTENTS

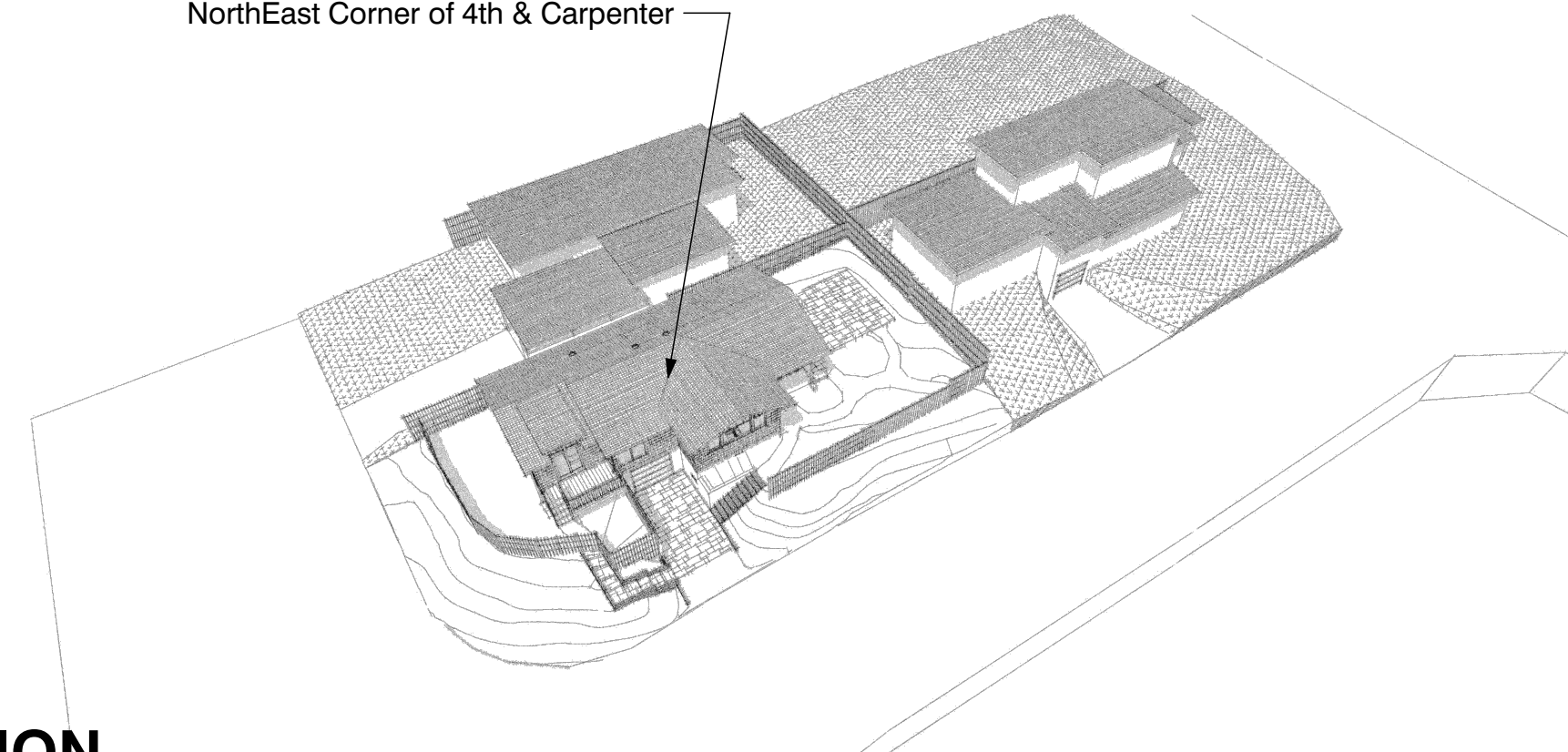
ARCHITECTURAL	
A0.0	COVER SHEET
A1.0	SITE PLAN
A1.1	SITE PLAN-LARGE
A1.2	SURVEY
A1.3	TREE SURVEY
A1.4	TREE EVALUATION
A2.0E	LOWER LEVEL/CRAWLSPACE-EXISTING
A2.1E	MAIN FLOOR- EXISTING
A2.2D	MAIN FLOOR-DEMO PLAN
A2.3	LOWER LEVEL/CRAWLSPACE PLAN-PROPOSED
A2.4	MAIN FLOOR PLAN-PROPOSED
A2.5	ROOF PLAN/MATERIALS-PROPOSED
A3.0E	EXISTING ELEVATIONS
A3.1E	EXISTING ELEVATIONS
A3.2	ELEVATIONS-PROPOSED
A3.3	ELEVATIONS-PROPOSED
A4.0	BUILDING SECTIONS
A9.0	WINDOW & DOOR SCHEDULES & MATERIAL INFO
ELECTRICAL	
EM1.0	ELECTRICAL/MECH PLAN-FIRST FLOOR

APPLICABLE CODES

2019 California Building Code - CCR Title 24 Part 2
 2019 California Residential Code - CCR Title 24 Part 2.5
 2019 California Electrical Code - CCR Title 24 Part 3
 2019 California Mechanical Code - CCR Title 24 Part 4
 2019 California Plumbing Code - CCR Title 24 Part 5
 2019 California Building Energy Efficiency Standards - CCR Title 24 Part 6
 2019 California Historical Building Code - CCR Title 24 Part 8
 2019 California Existing Building Code - CCR Title 24 Part 10
 2019 California Green Building Standards Code - CCR Title 24 Part 11



NorthEast Corner of 4th & Carpenter

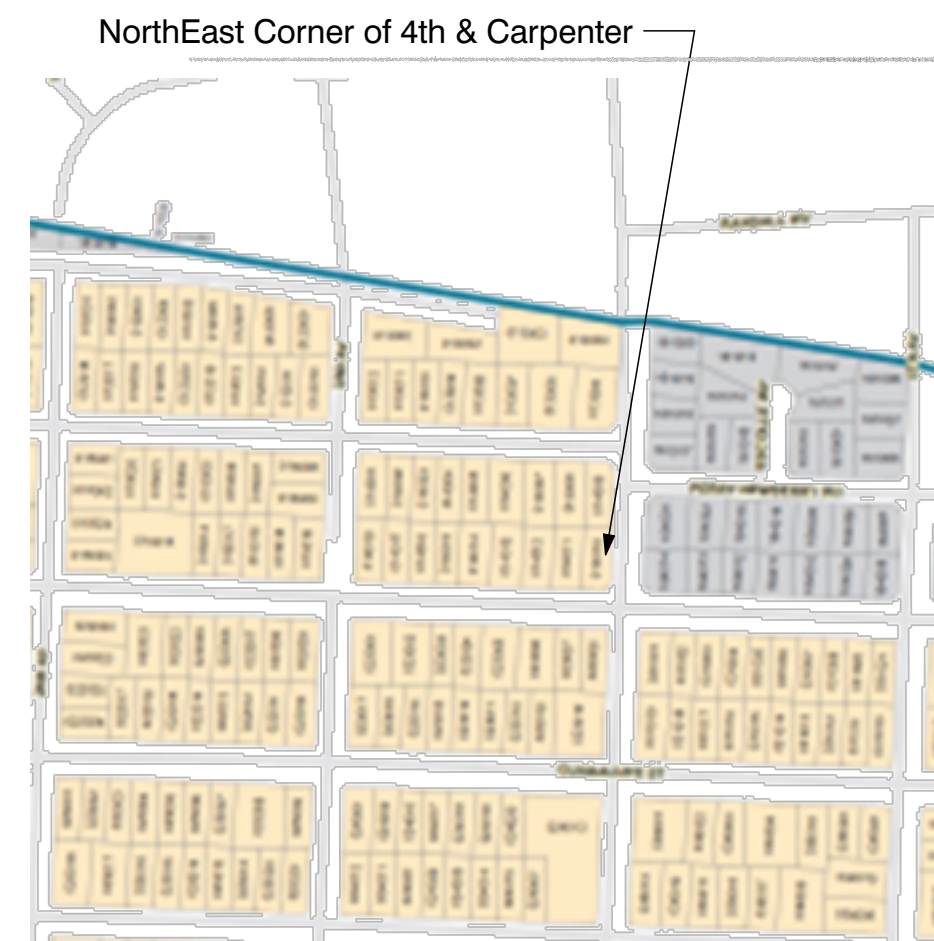


NorthEast Corner of 4th & Carpenter

LEGEND

#	DOOR
◇	WINDOW
X A-XX	Detail # Sheet #
X A-XX	INTERIOR ELEVATIONS
X A-XX	Sect. # Sheet #
X A-XX	Sect. # Sheet #
X-X"	(UNLESS NOTED OTHERWISE)
X	SLOPE
X-X"	ELEVATION HEIGHTS

ASSESSOR MAP



NorthEast Corner of 4th & Carpenter

PROJECT DATA & DESCRIPTION

Assessor's Parcel Number (APN): 010-014-010-000.
 MAP OF PARADISE PARK TR LOT 8 BLK 1A

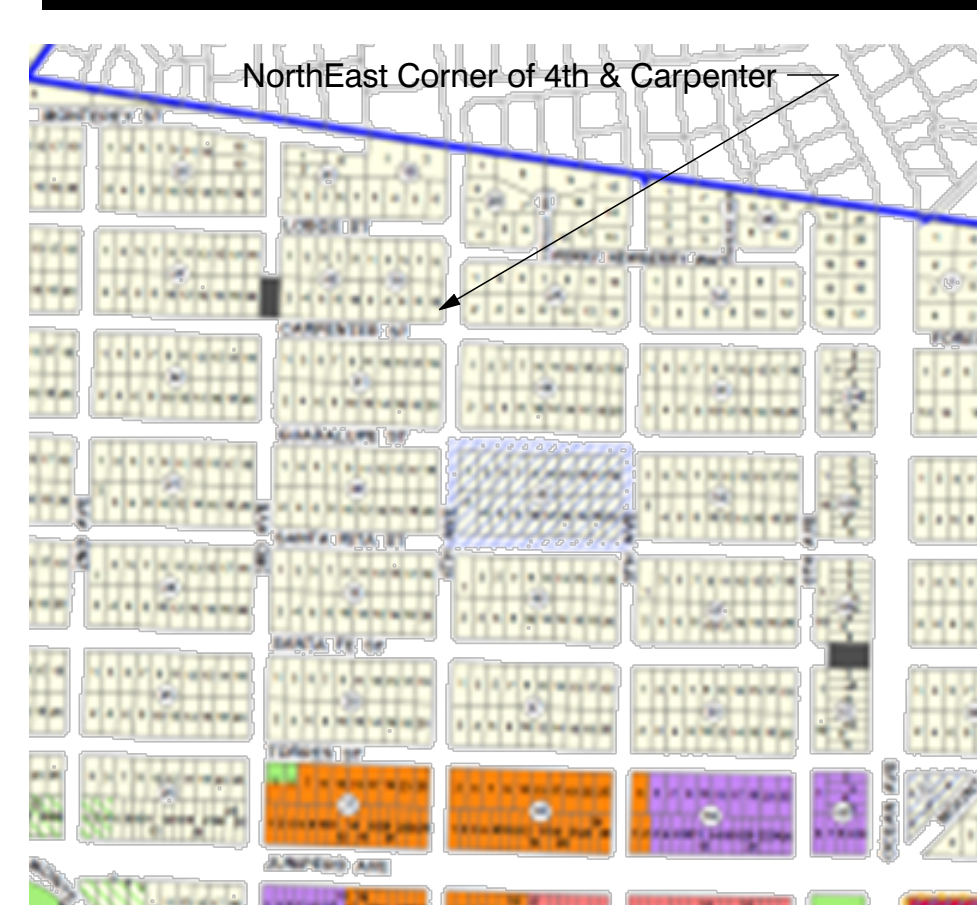
ZONING:	R-1
LOT SIZE:	4,680 sf
CONSTRUCTION TYPE:	TYPE V-B
OCCUPANCY GROUP:	R3/U1 SINGLE FAMILY DWELLING / 1-STORY, LOWER LEVEL ATTACHED GARAGE-NO INTERNAL STAIR

PROJECT DESCRIPTION
 BACKGROUND: EXISTING 1950, 1-STORY, SINGLE FAMILY RESIDENCE WITH LOWER LEVEL GARAGE BAY ACCESSIBLE ONLY FROM OUTSIDE STAIRS, MEDIUM QUALITY AND DETAIL, TYPICAL FOR THE TIME PERIOD.
 PROJECT: CONSTRUCT SIDE ENTRY PATIO ADDITION ON TOP OF EXISTING STONE PATIO ON SLAB. THE SIDE ENTRY IS A CONSERVATORY STYLE W/ INTEGRATED SKYLIGHTS, WINDOWS/DOORS W/ S/DL'S AND TRIM REMINISCENT OF THE EARLY 20TH CENTURY IE. TO LOOK AS IF IT HAD ALWAYS BEEN THERE.
 FIRST FLOOR: RENOVATE KITCHEN/DEN AREA

PROJECT CALCULATIONS

JANZ RESIDENCE, CARMEL	
LOT AREA	4,680.0 SF
LOWER LEVEL-GARAGE	333.0 SF
MAIN LEVEL	1,071.0 SF
EXISTING SUBTOTAL	1,404.0 SF
FAR-BASE FLOOR AREA: 4680(.45-680(.02)/1000) or 2049 sf	2,042.0 SF
LOWER LEVEL-GARAGE	333.0 SF
MAIN LEVEL	1,071.0 SF
EXISTING SUBTOTAL	1,404.0 SF
(N) KITCHEN ADDITION	123.0 SF
(N) BEDROOM ADDITION	286.0 SF
(N) ADDITION SUBTOTAL	409.0 SF
NEW TOTAL FAR	1,813.0 SF
AREA BELOW ALLOWABLE FAR	229.0 SF
SITE COVERAGE	
ALLOWABLE: BASE .22 X 2042 =	449.2 SF
BONUS: .04 X 4680 =	187.2 SF
TOTAL	636.4 SF
EXISTING COVERAGE	
DRIVEWAY-CONCRETE	190.0 SF
SIDE STEPS	20.0 SF
FRONT STEPS	37.0 SF
ENTRY PORCH	50.0 SF
SIDE PATIO	453 SF
EXISTING COVERAGE TOTAL	750.0 SF
COVERAGE AMOUNT OVER ALLOWABLE	-113.6 SF
PROPOSED COVERAGE	
DRIVEWAY-CONCRETE REMOVE	0.0 SF
SIDE STEPS	20.0 SF
FRONT STEPS	37.0 SF
ENTRY PORCH	50.0 SF
SIDE PATIO	453 SF
PROPOSED COVERAGE TOTAL	560.0 SF
ALLOWABLE COVERAGE	636.4 SF
COVERAGE AMOUNT UNDER ALLOWABLE	-76.4 SF
PROPOSED PERMEABLE COVERAGE	
DRIVEWAY PAVERS	102.5 SF
PRIMARY BEDRM DECK (spaced decking)	91.0 SF
PROPOSED PERMEABLE COVERAGE TOTAL	193.5 SF

ZONING MAP



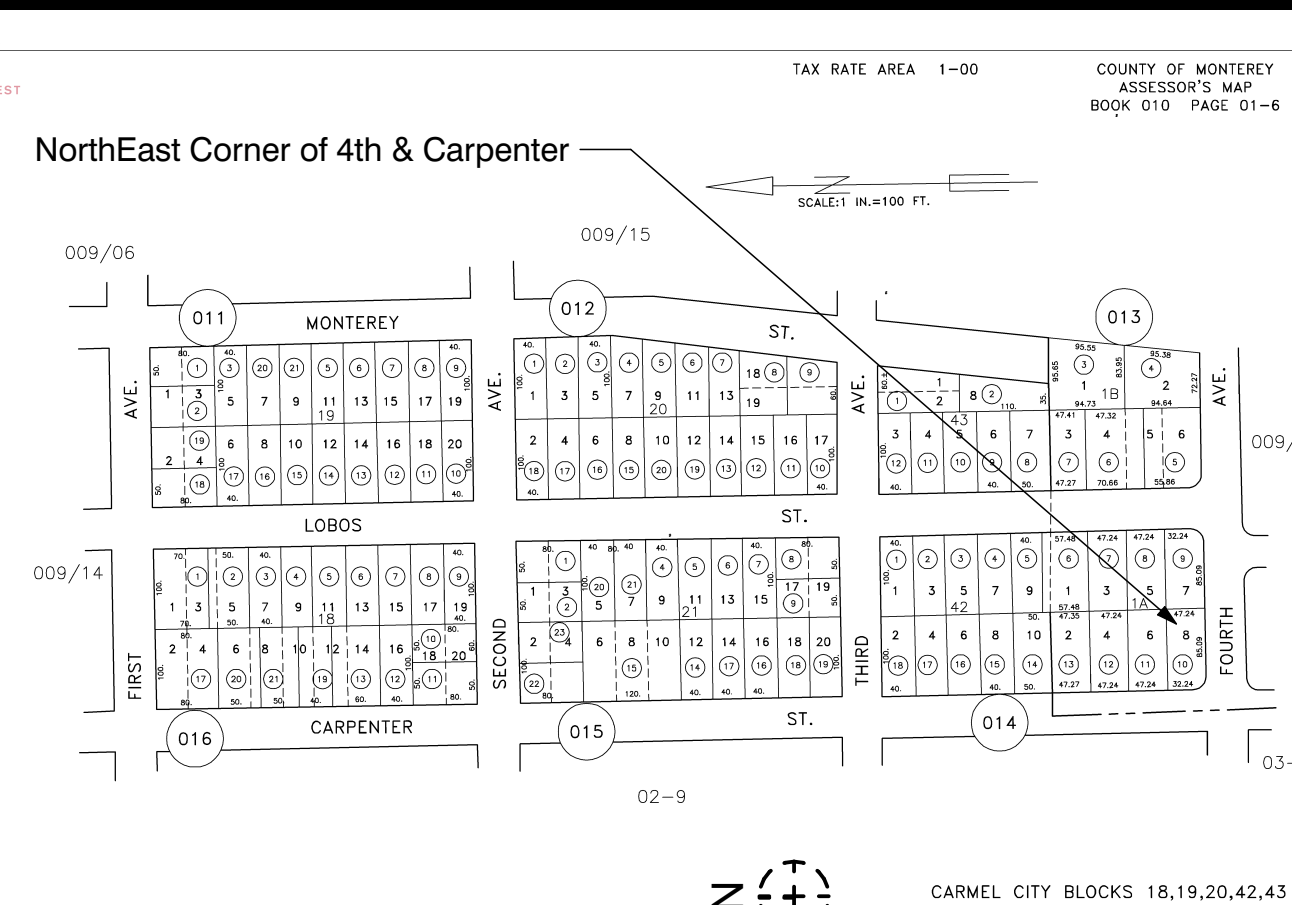
NorthEast Corner of 4th & Carpenter

VICINITY MAP



NorthEast Corner of 4th & Carpenter

TAX MAP



NorthEast Corner of 4th & Carpenter

SURVEYOR NOTE-REQUIREMENT

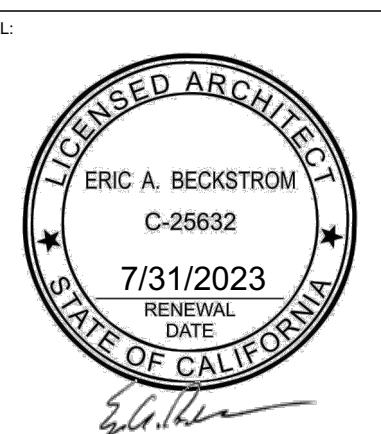
A state licensed surveyor shall certify in writing that the footings/foundation are located in accordance with the approved plans prior to the footing/foundation inspection; and shall certify the roof height is in accordance with the approved plans prior to roof sheathing inspection. Certification shall be provided to the inspector at the time of the referenced inspections."

REVISIONS	BY
8/22/2022	EB

BECKSTROM
 ARCHITECTURE + INTERIORS

Janz Residence
 Additions and Remodel
 NE Corner 4th and Carpenter
 Carmel, CA 93923
 APN:010-014-010-000

Planning
 Permit
 Revision 1
 8/22/2022



DRAWING TITLE:
 COVER SHEET

DRAWN	EB
DATE	8/22/2022
SCALE	1' = 1'-0", 1:3.02
JOB NO.	6
FILENAME	2242 Janz CD3.1.pln
SHEET	A0.0

NOTES

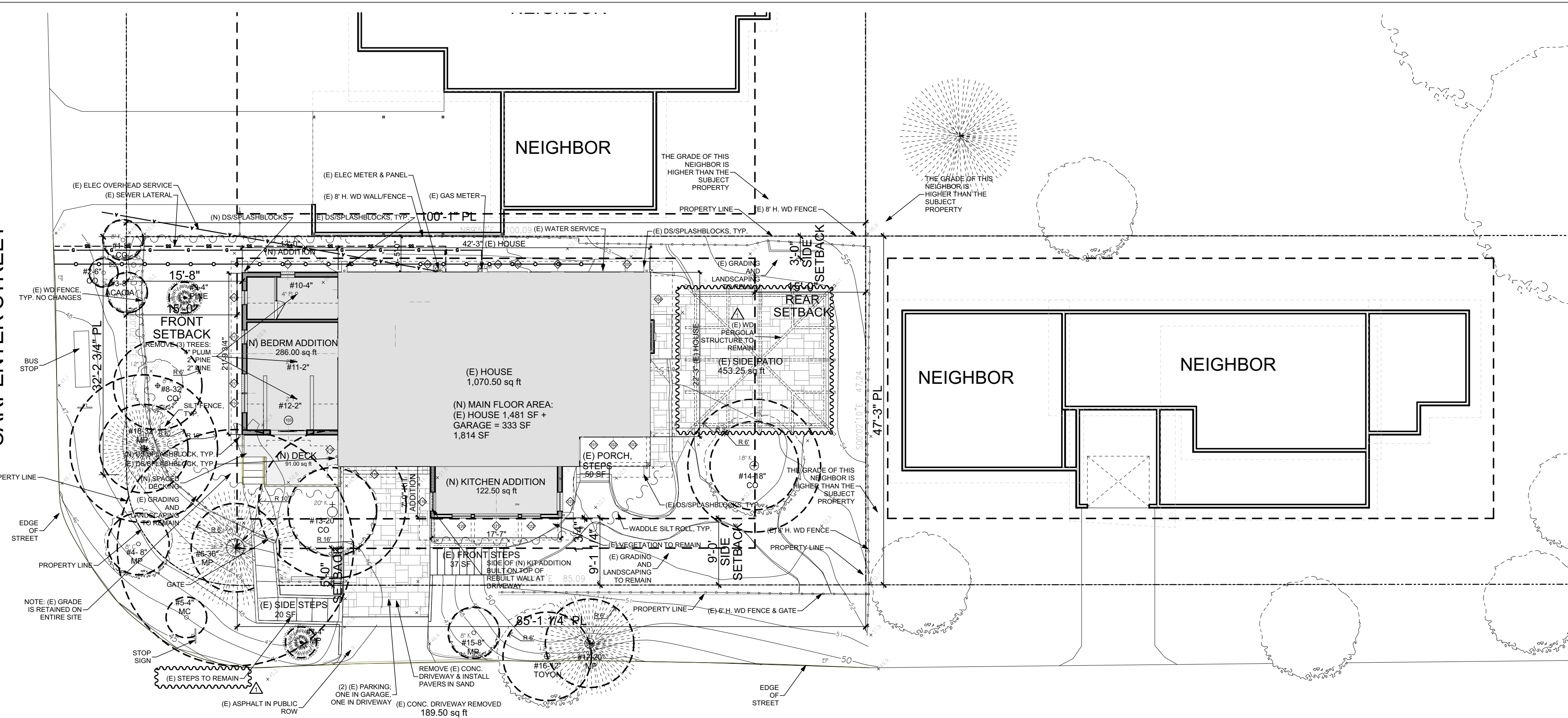
- ALL DIMENSIONS FROM FACE OF STRUCTURE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION, TYP.
- SEE STRUCTURAL DRAWINGS FOR EXTENT OF BRACED AND SHEAR WALLS.
- EXTERIOR WALLS TO BE 2X4 STUD, U.O.N.
- INTERIOR WALLS TO BE 2X4 STUD, U.O.N.
- PROVIDE MIN. 1-HR FIRE SEPARATION CONSTRUCTION BETWEEN R-3 AND U OCCUPANCIES AND MECH. RMS, TYP. 5/8" TYPE X GYP. BD. TO BE APPLIED TO THE GARAGE SIDE WALLS.
- SHOWER WALLS TO HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE OVER MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72" ABOVE THE DRAIN INLET, PER CRC R307.2.
- 3/8" (MIN.) THICK TEMPERED GLASS DOOR AT ALL BATH/SHOWER ENCLOSURES, TYP.
- PROVIDE 36" MIN. DEEP LANDING (7.75" MAX. BELOW THRESHOLD FOR IN-SWING/ SLIDER DOORS, 11/2" MAX. AT OUT-SWING DOORS) AT ALL EXTERIOR DOORS.
- THEMATIC INSULATION:
R-15 FACTOR THERMAL INSULATION TYPICAL IN EXTERIOR 2X4 WALLS
R-19 or R-30 FACTOR THERMAL (FOAM) INSULATION TYPICAL AT ROOFS.
R-13 FACTOR THERMAL INSULATION AT INTERIOR FOR NOISE REDUCTION
- EGRESS WINDOW MIN. NET CLEAR OPENING 5.7 SQ. FT. MIN. NET CLEAR WIDTH 20" MIN. NET CLEAR HT. 24". FINISHED SILL NOT MORE THAN 44" ABOVE FINISHED FLOOR.
1/2" THK. GYP. BD. LEVEL 4 FOR ALL INTERIOR WALLS, U.O.N.
- ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE NOTCHED TO A DEPTH OF 25% MAX. OF ITS WIDTH. ANY NONBEARING PARTITION MAY BE NOTCHED TO A DEPTH OF 40%, PER CRC 602.6.1.
- ANY STUD MAY BE BORED OR DRILLED PROVIDED THAT THE DIA. OF THE RESULTING TING HOLE IS NO MORE THAN 60% OF THE STUD WIDTH AND THE EDGE OF THE HOLE IS NO MORE THAN 5/8" FROM THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH OR USE OF AN APPROVED STUD SHOE IS PERMITTED WHEN THEY ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, PER CRC 602.6.2.
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLEBOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.
- AT THE TIME OF FINAL INSPECTION, A MANUAL, CD, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH COMPLIES WITH THE SPECIFICATIONS IN CALGREEN 4.410.1.
- ADHESIVES, SEALANTS, AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF SCAQMD RULE 1168 VOC LIMITS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY.
- ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE AIR RESOURCES BOARD ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN CALGREEN 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY.
- AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(a)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTION 94522 (c)(2) AND (d)(2) OF THE CA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAAQMD SHALL ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.
- HARDWOOD PLYWOOD, PARTICLEBOARD AND MDF COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS OF FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD CA CODE OF REGULATIONS, TITLE 17, SECTION 93120.1(a).
- WHERE CONCRETE SLAB FOUNDATIONS OR CONCRETE SLAB-ON-GROUND FLOORS ARE REQUIRED TO HAVE A VAPOR RETARDER, A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH ONE OF THE FOLLOWING:
A) A 4-INCH THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING SHALL BE USED
B) OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY
C) A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.
- INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUF. DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.
- WHEN REQUIRED BY THE ENFORCING AGENCY, SPECIAL INSPECTORS SHALL PROVIDE INSPECTIONS OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH APPLICABLE CODES. SPECIAL INSPECTORS MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE TO THE ENFORCING AGENCY IN THE DISCIPLINE IN WHICH THEY ARE INSPECTING.
- DOCUMENTATION OF COMPLIANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE LOCAL ENFORCING AGENCY.

SURVEYOR NOTE REQUIREMENT

A state licensed surveyor shall certify in writing that the footings/foundation are located in accordance with the approved plans prior to the footing/foundation inspection; and shall certify the roof height is in accordance with the approved plans prior to roof sheathing inspection. Certification shall be provided to the inspector at the time of the referenced inspections."

DEMOLITION NOTES

- ALL DEMOLITION WORK SHALL AT ALL TIMES BE UNDER THE IMMEDIATE SUPERVISION OF A PERSON WITH THE PROPER EXPERIENCE, TRAINING, AND AUTHORITY.
- ALL REMOVED BUILDING MATERIALS, APPLIANCES, AND FIXTURES MAY BE SALVAGED AT THE OWNER'S DISCRETION. VERIFY WITH OWNER PRIOR TO DEMOLITION WHAT IS TO BE REMOVED WITH CARE, SALVAGED, AND STORED AT A LOCATION DESCRIBED BY THE OWNER.
- DEMOLITION CONTRACTOR TO REDIRECT / RECONNECT ANY ACTIVE EXISTING UTILITY, DRAINAGE, AND SPRINKLER LINES WHICH ARE DISTURBED BY DEMOLITION. CAP ALL ABANDONED LINES.
- CONTRACTOR IS TO BE FAMILIAR WITH DEMOLITION AND FIELD VERIFY ALL DEMOLITION PRIOR TO BEGINNING WORK, REPORT ANY DISCREPANCIES TO ARCHITECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SELECTIVE DEMOLITION AS REQUIRED FOR IMPROVEMENTS PROPOSED, RENOVATIONS, AND ALTERATIONS TO (E) GARAGE AND (E) RESIDENCE.
- OWNER AND ARCHITECT TO WALK JOB WITH CONTRACTOR PRIOR TO COMMENCEMENT OF DEMOLITION.
- RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% (BY WEIGHT) OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CALGREEN 4.408.2.
- SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN:
A) IDENTIFYING THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE
B) SPECIFYING IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE OR BULK MIXED
C) IDENTIFYING DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE TAKEN
D) IDENTIFYING CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED
E) SPECIFYING THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME BUT NOT BY BOTH
- DOCUMENTATION WILL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH CALGREEN 4.408.2.
- A PLAN MUST BE DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.
- CALGREEN RESIDENTIAL MANDATORY MEASURES



SETBACK CHART

SCALE: 1" = 10'

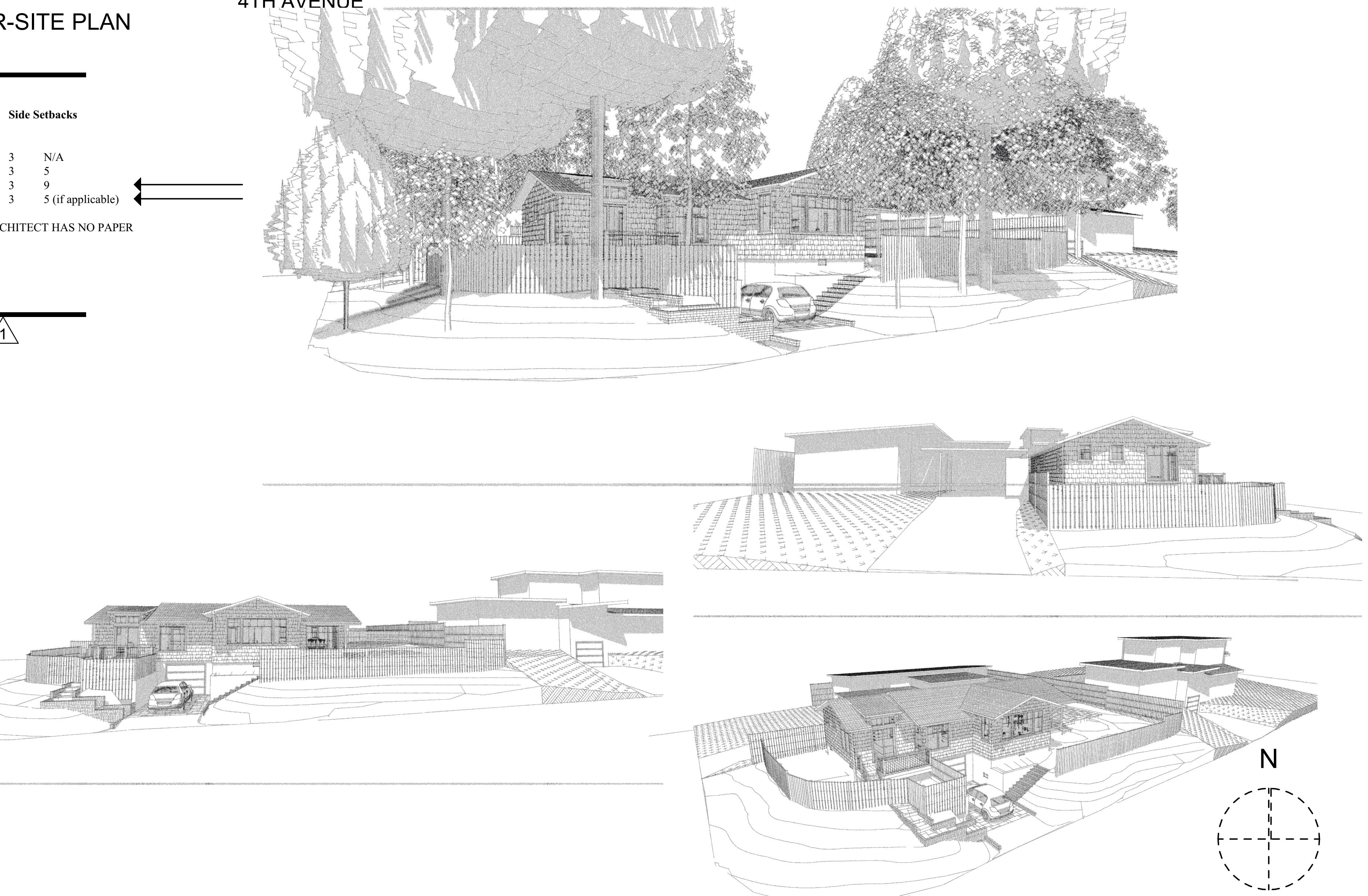
Table 17.10-A: Setback Standards for R-1 District

Lot Type	Front Setback (in feet)	Rear Setback* (in feet)		Side Setbacks	
		Composite** (both sides)	Minimum Setbacks (in feet)	Street Side	Interior Side
Interior Site	15	15	25% of site width	3	N/A
Corner Site	15	15	25% of site width	3	5
Resubdivided Corner Site	10	15	25% of site width	3	9
Double-Frontage Site	15	N/A	25% of site width	3	5 (if applicable)

UNCLEAR IF THE LOT IS A TYPICAL CORNER LOT OR 'RESUBDIVIDED CORNER LOT', ARCHITECT HAS NO PAPER DOCUMENT DATA/NOT THAT CONFIRMS IF THE SITE HAS BEEN RESUBDIVIDED

PROJECT CALCULATIONS

JANZ RESIDENCE, CARMEL	
LOT AREA	4,680.0 SF
LOWER LEVEL-GARAGE	333.0 SF
MAIN LEVEL	1,071.0 SF
EXISTING SUBTOTAL	1,404.0 SF
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NEW TOTAL FAR	1,813.0 SF
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SITE COVERAGE	
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BONUS: .04 X 4680 =	187.2 SF
TOTAL	636.4 SF
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SIDE STEPS	20.0 SF
FRONT STEPS	37.0 SF
ENTRY PORCH	50.0 SF
SIDE PATIO	453.0 SF
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DRIVEWAY PAVERS	102.5 SF
PRIMARY BEDRM DECK (spaced decking)	91.0 SF
PROPOSED PERMEABLE COVERAGE TOTAL	193.5 SF



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8/22/2022	EB
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eric@beckstromarchitecture.com
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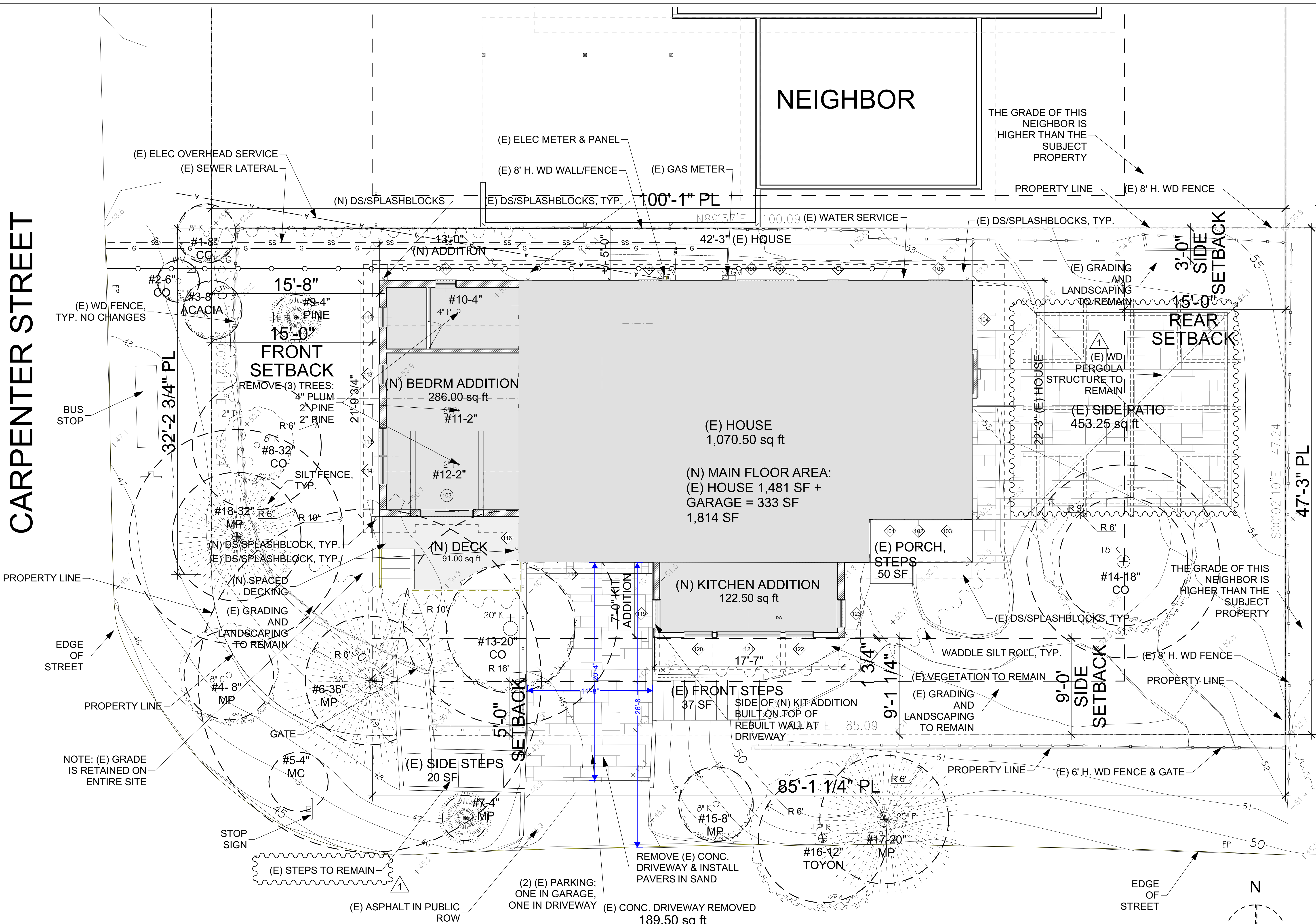
Planning Permit
Revision 1
8/22/2022

SEAL:
LICENSED ARCHITECT
ERIC A. BECKSTROM
C-25632
7/31/2023
RENEWAL DATE
Eric A. Beckstrom
STATE OF CALIFORNIA

DRAWING TITLE:
SITE PLAN

DRAWN: EB
DATE: 8/22/2022
SCALE: 1" = 10', 1" = 1'-0"
JOB NO.: 6
FILENAME: 2242 Janz CD3.1.pln
SHEET: A1.0

CARPENTER STREET



4TH AVENUE

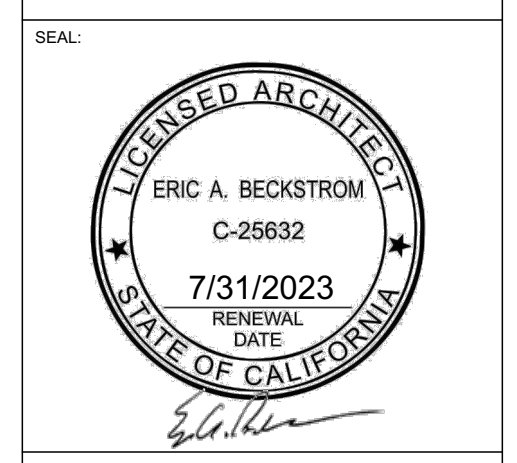
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Planning Permit
Revision 1
8/22/2022



DRAWING TITLE:	SITE PLAN-LARGE
DRAWN:	EB
DATE:	8/22/2022
SCALE:	1/4" = 1'-0"
JOB NO.:	6
FILENAME:	2242 Janz CD3.1.pln
SHEET:	A1.1

FIRST FLOOR-SITE PLAN
SCALE: 1/4" = 1'-0"
THESE DRAWINGS HAVE BEEN DEVELOPED BY BECKSTROM ARCHITECTURE + INTERIORS FOR THE TITLE SET ONLY. THE DRAWINGS ARE THE SOLE PROPERTY OF BECKSTROM ARCHITECTURE + INTERIORS AND THEY SHALL NOT BE USED, IN ANY MANNER OR FOR ANY PURPOSE, WITHOUT THE WRITTEN CONSENT OF BECKSTROM ARCHITECTURE + INTERIORS.

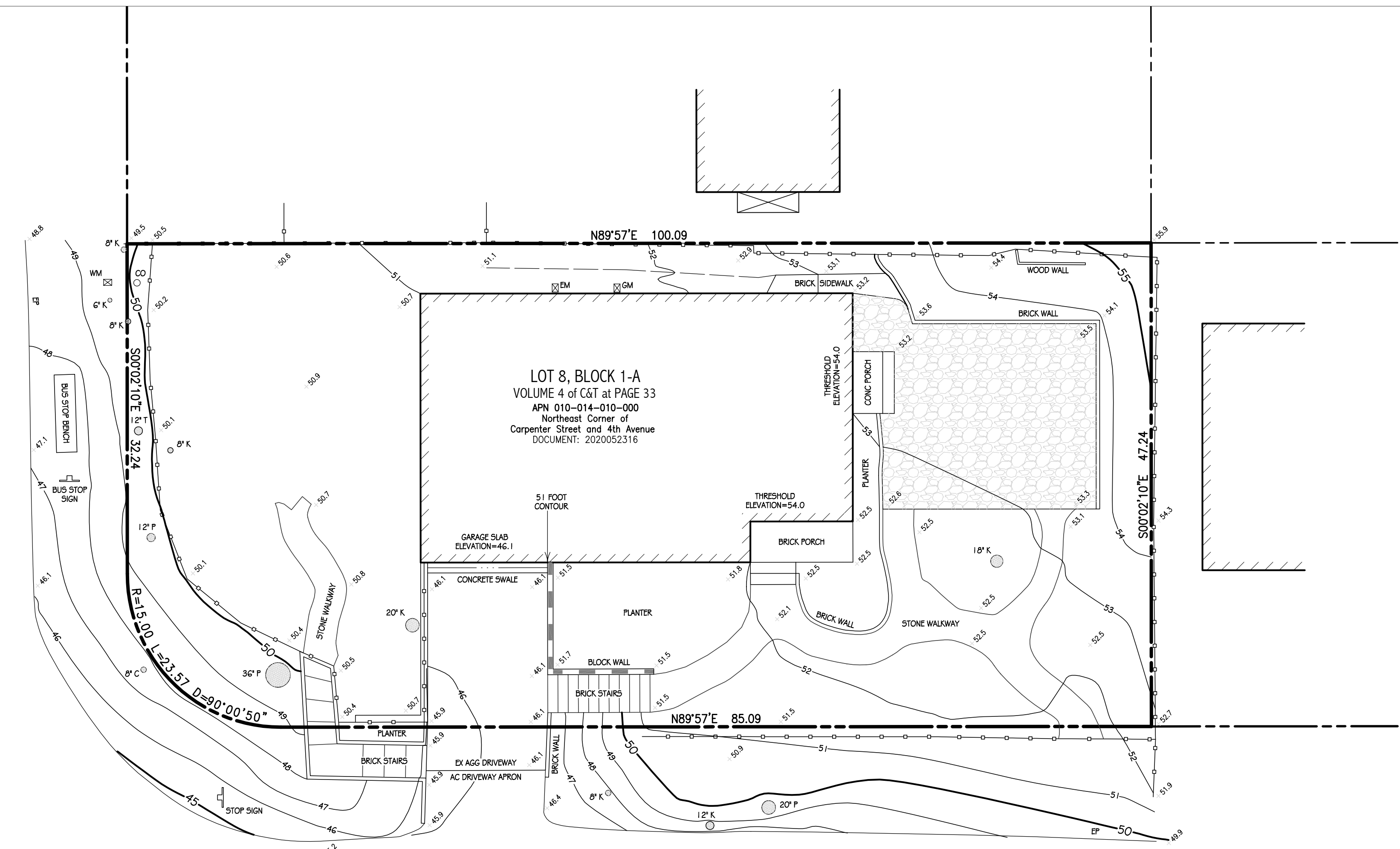
LEGEND:

- RECORD BOUNDARY
- RECORD RIGHT OF WAY
- RECORD LOT LINE
- RECORD CENTERLINE
- RECORD EASEMENT LINE
- RECORD SETBACK
- OLD RECORD LINE
- ◆ PROJECT BENCHMARK
- 50 CONTOUR (MAJOR)
- 49 CONTOUR (MINOR)
- EP EDGE OF PAVEMENT
- SIDEWALK
- DRIVEWAY
- FLOWLINE
- BUILDING
- CHIMNEY
- THRESHOLD ELEVATION
- DECK
- CONC PAD
- STEP
- PLANTER
- WV WATER VALVE
- WM WATER METER
- FH FIRE HYDRANT
- MI SANITARY SEWER MANHOLE
- CO SANITARY SEWER CLEAN-OUT
- SD STORM DRAIN
- MD STORM DRAIN MANHOLE
- AD AREA DRAIN
- CD STORM DRAIN CATCH BASIN
- UP UTILITY POLE
- GW GUY WIRE
- EV ELECTRIC VAULT
- UV UTILITY VAULT
- EM ELECTRIC METER
- SL STREET LIGHT
- LP LAMP POST
- GM GAS METER
- WOOD FENCE
- WIRE FENCE
- CHAIN LINK FENCE
- ST SIGN
- SP SIGN POST
- MB MAIL BOX
- B BOLLARD
- P PORCH POST
- PCC PCC RETAINING WALL
- ROCK RETAINING WALL
- STACKED BLOCK WALL
- BRICK WALKWAY/PATIO
- STONE PATIO
- PCC WALKWAY/PATIO
- EDGE OF FOLIAGE
- 12" T TREE WITH SIZE AND TYPE
- A ACACIA
- C CYPRESS
- K OAK
- P PINE
- R REDWOOD
- T TREE
- SP SPOT ELEVATION

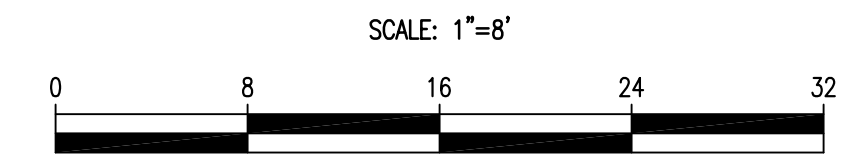
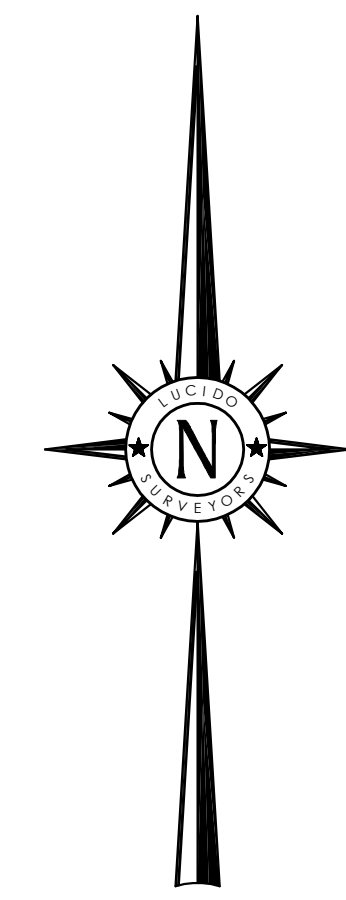
ABBREVIATIONS:

- AC ASPHALT CONCRETE
- CS CARMEL STONE
- CMP CORRUGATED METAL PIPE
- CONC CONCRETE SLAB
- DG DECOMPOSED GRANITE
- EX AGG EXPOSED AGGREGATE
- HDPE HIGH DENSITY POLY ETHYLENE
- PCC PORTLAND CEMENT CONCRETE
- PS PAVER STONE
- FP FIRE PIT
- WL WOOD LID
- TE TRASH ENCLOSURE

CARPENTER STREET



4th AVENUE



BENCHMARK:
 ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A SURVEY MARK SPIKE & DISC STAMPED "LUCIDO SURVEYORS CONTROL DISC" SET IN THE PAVEMENT NEAR THE SOUTHEASTERLY CORNER OF THE SUBJECT PROPERTY AS SHOWN HEREON.

- NOTES:**
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 - CONTOUR INTERVAL = ONE FOOT.
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TOPOGRAPHIC SITE SURVEY

OF
 Northeast Corner of
 Carpenter Street and 4th Avenue

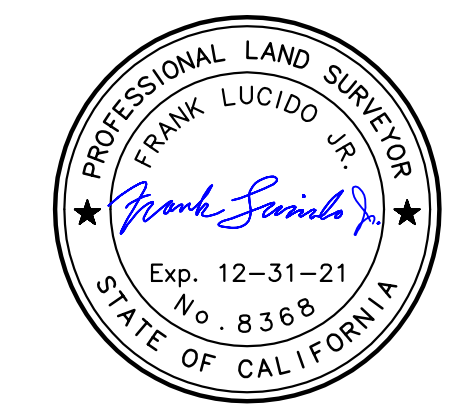
per
 DOCUMENT: 2020052316

Records of Monterey County

PREPARED FOR
 Jim and Kathy Janz

BY
LUCIDO SURVEYORS
 Boundary and Construction Surveys · Topographic and Planimetric Mapping
 ALTA Surveys and GIS Database Management · Land Planning and Consulting

2 Saucito Avenue DEL REY OAKS, CALIFORNIA 93940 info@lucidosurveyors.com (831) 420-5032



SCALE: 1"=8' PROJECT No. 2589 DECEMBER 2020
 CARMEL BY THE SEA COUNTY OF MONTEREY STATE OF CALIFORNIA

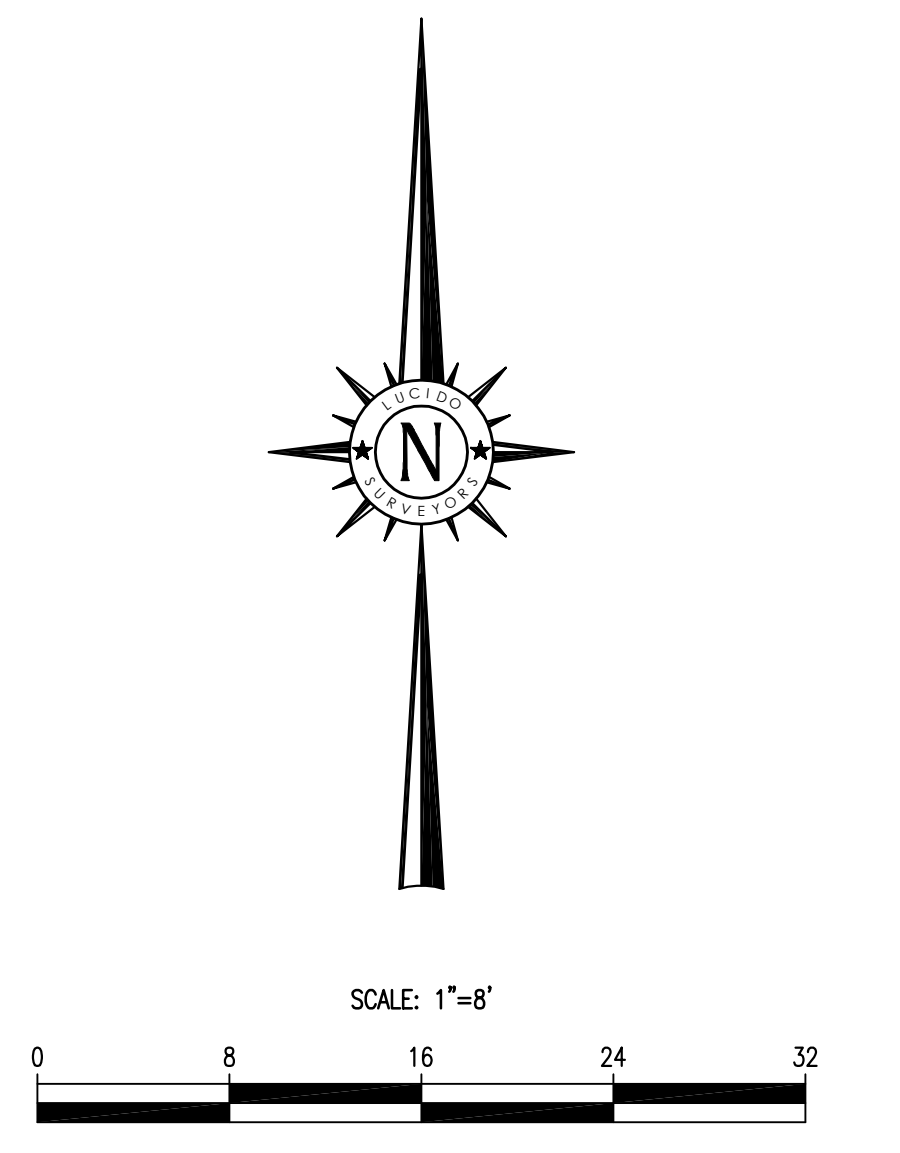
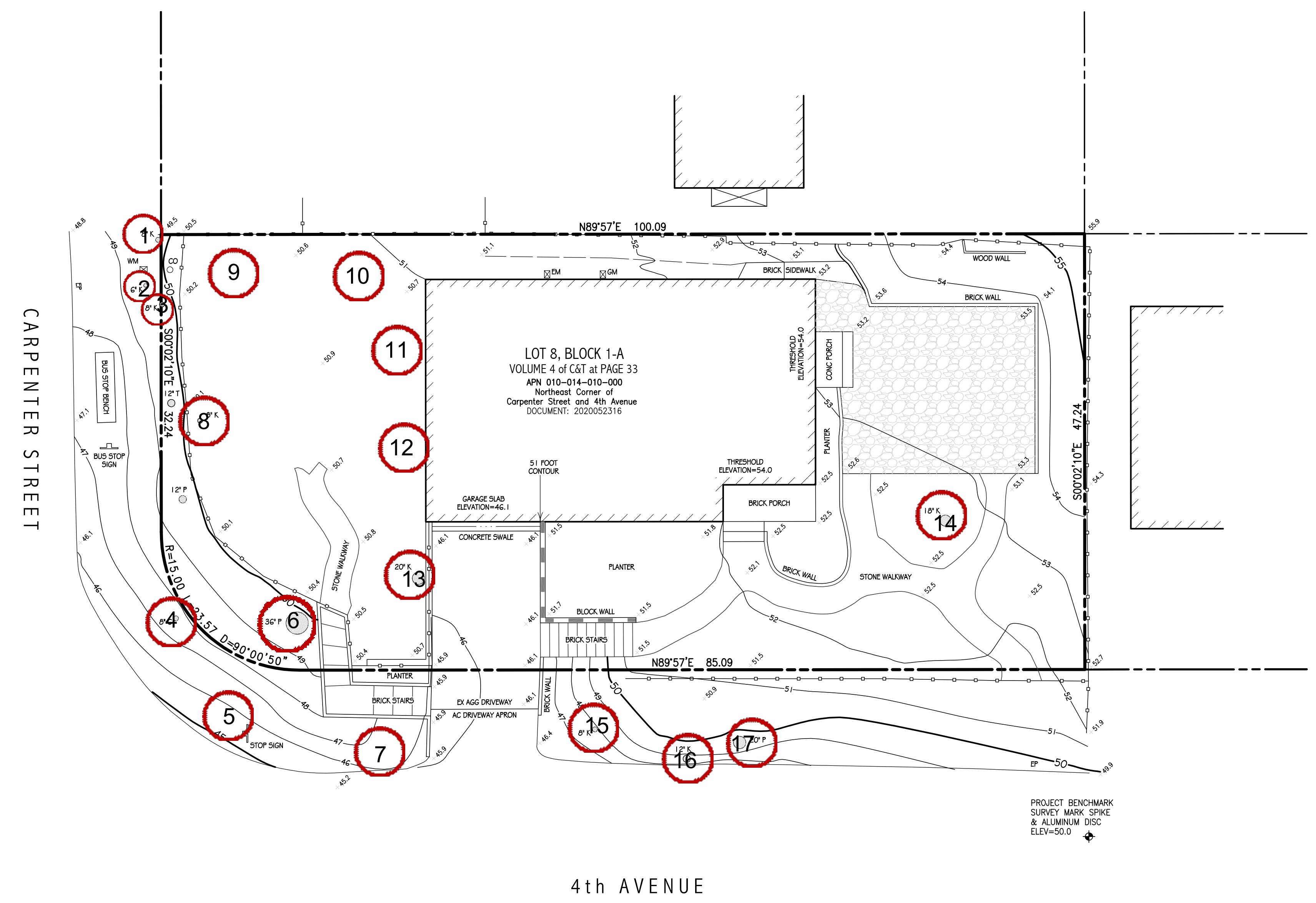
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- LEGEND:**
- RECORD BOUNDARY
 - - - RECORD RIGHT OF WAY
 - - - RECORD LOT LINE
 - - - RECORD CENTERLINE
 - - - RECORD EASEMENT LINE
 - - - RECORD SETBACK
 - - - OLD RECORD LINE
 - ⊕ PROJECT BENCHMARK
 - 50 CONTOUR (MAJOR)
 - 49 CONTOUR (MINOR)
 - EP EDGE OF PAVEMENT
 - SIDEWALK BACK OF SIDEWALK
 - DRIVEWAY EDGE OF DRIVEWAY
 - FLOWLINE FLOWLINE
 - BUILDING APPROXIMATE BUILDING OUTLINE
 - CHIMNEY
 - THRESHOLD ELEVATION APPROXIMATE FLOOR ELEVATION
 - DECK
 - CONC PAD CONCRETE PAD
 - STEP
 - PLANTER
 - ⊕ WV WATER VALVE
 - ⊕ WM WATER METER
 - ⊕ FH FIRE HYDRANT
 - ⊕ MH SANITARY SEWER MANHOLE
 - ⊕ CO SANITARY SEWER CLEAN-OUT
 - 50 STORM DRAIN
 - ⊕ MH1 STORM DRAIN MANHOLE
 - AD AREA DRAIN
 - ⊕ CB STORM DRAIN CATCH BASIN
 - ⊕ UP UTILITY POLE
 - GW GUY WIRE
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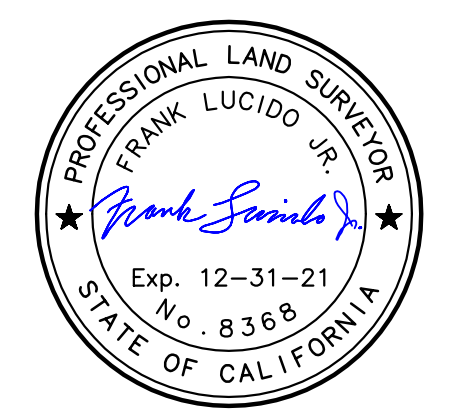
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TOPOGRAPHIC SITE SURVEY
OF
**Northeast Corner of
Carpenter Street and 4th Avenue**
per
DOCUMENT: 2020052316
Records of Monterey County
PREPARED FOR
Jim and Kathy Janz



BY
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2 Saucito Avenue
DEL REY OAKS, CALIFORNIA 93940

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(831) 620-5032

SCALE: 1"=8' PROJECT No. 2589 DECEMBER 2020
CARMEL BY THE SEA COUNTY OF MONTEREY STATE OF CALIFORNIA

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Significant Tree Evaluation Worksheet

APN: 010-014-011-000
 Street Location: Northeast corner of Carpenter and 4th Ave
 Planner: Marni Waffel
 City Forester: Sara Davis
 Property Owner: Janz

Part One: Initial Screening:

Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

A. Does the tree pose an above-normal potential risk to life and property?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	
YES																			
NO	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	
Species	CO	CO	Acacia	MP	MC	MP	MP	CO	Prunus	Prunus	MP	MP	CO	CO	CO	Toyon	MP	CO	
YES	X	X		X	X	X	X	X			X	X	X	X	X	X	X	X	X
NO			X						X	X									

MP-Monterey pine MC- Monterey cypress BP-Bishop pine CR-coast redwood CO-coast live oak
 CI - Catalina ironwood CS - California sycamore BL - big leaf maple OT - other

(Note: Other species on the recommended tree list may be determined to be Significant. Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. Does the tree meet the minimum size criteria for significance?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	
YES	11	4			7	32		6					7	16	8	16	24	11	
NO			3	5			3	3	3	2	2								

Monterey pine, Monterey cypress, Bishop pine, Coast redwood: 6" DBH
 Coast live oak - single trunk tree: 6" DBH
 Coast live oak - multi-trunk tree measured per industry standard: 6" DBH
 California sycamore, Big leaf maple, Catalina ironwood, other: 10" DBH
 dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

G. Are environmental conditions favorable to the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
score			X	X			X	X	X	X	X	X	1	1	1	1	1	1

0 points: The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.
 1 point: The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.
 2 points: The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

Part Three: Final Assessment

Record the total points scored on D - G for each tree.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Total Score	6	6	X	X	7	5	X	7	X	X	X	X	7	7	3	6	6	6

A. Did all assessment categories in Part Two achieve a minimum score of 1-point?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
YES	X	X			X	X		X					X	X		X	X	X
NO			X	X			X		X	X	X	X			X			

B. Are there any other factors that would disqualify a tree from a determination of significance?

(Explain any 'yes' answer)

Yes _____

Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of 6 or more points or shall be classified as Moderately Significant if it achieves a score of 4 or 5 points. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score at least 7 points, or as Moderately Significant if they score at least 4 points. All other trees are classified as non-significant.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
SIGNIF	X	X			X			X					X	X				
MOD SIGNIF						X									X	X	X	X
NOT SIGNIF			X	X			X		X	X	X	X						

Part Two: Assessment For Tree Significance

For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

D. What is the health and condition of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
score	2	2	X	X	2	2	X	2	X	X	X	X	2	2	1	2	2	2

0 points: The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.
 1 point: The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.
 2 points: The tree appears healthy and in good condition.
 3 points: The tree shows excellent health, is free of pests and disease and is in very strong condition.

E. What is the overall form and structure of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
score	2	2	X	X	2	2	X	2	X	X	X	X	2	2	1	2	2	2

0 points: Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.
 1 point: The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.
 2 points: The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.
 3 points: The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each branch.

F. What is the age and vigor of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
score	2	2	X	X	3	1	X	3	X	X	X	X	2	2	0	1	1	1

0 points: The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.
 1 point: The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.
 2 points: The tree is young to middle age and shows normal vigor.
 3 points: The tree is young to middle age and shows exceptional vigor.

Items to note:

- Requirements for tree preservation shall adhere to the following tree protection measures on construction site.
 - Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
 - Excavation within 6 feet of a tree trunk is not permitted.
 - No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
 - Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.
 - Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing.
 - The Structural Root Zone -- Structural Root Zone shall by 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots.
 - If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
 - If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.

REVISIONS	BY
8/22/2022	EB

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 www.beckstromarchitecture.com

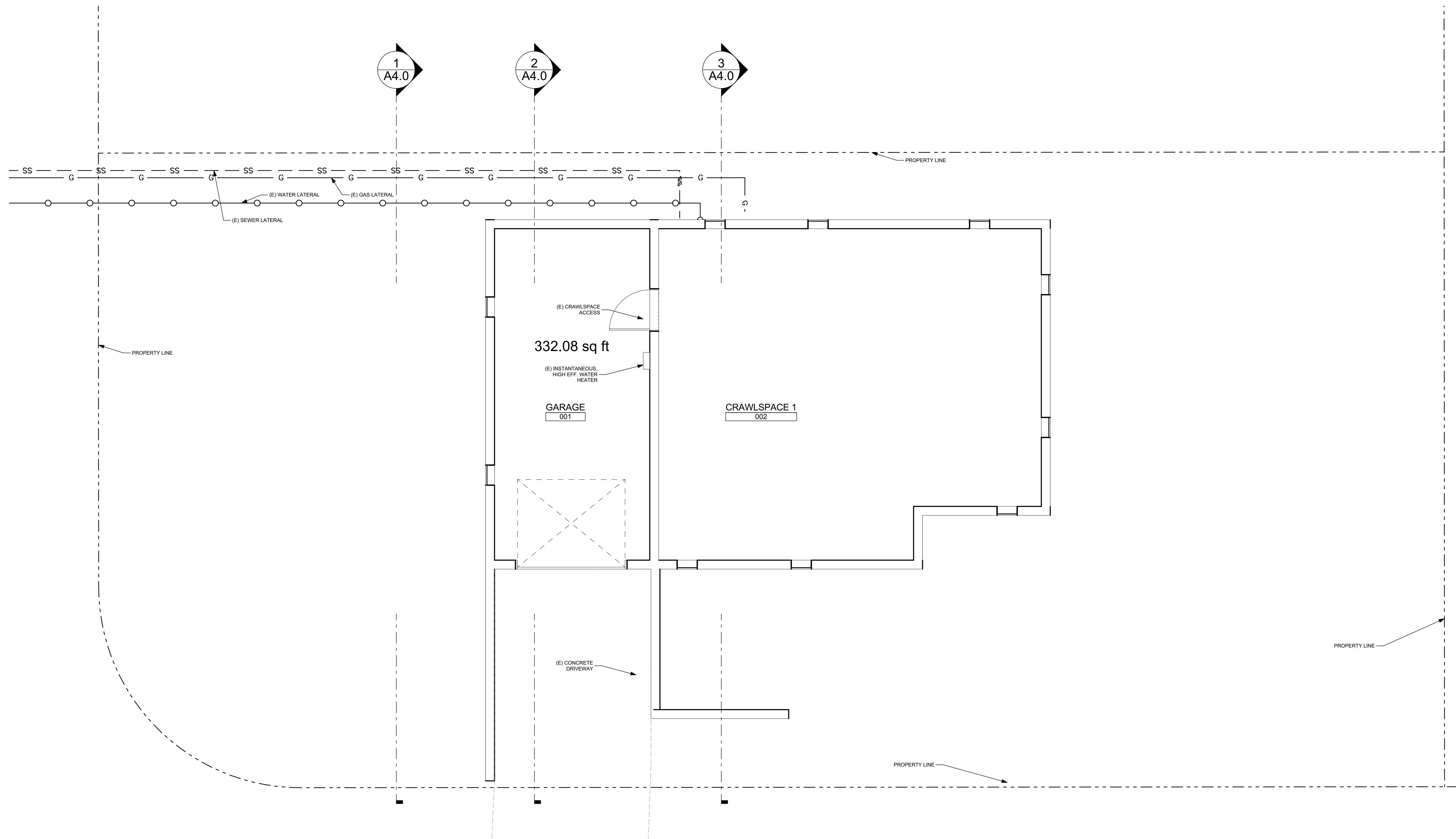
Janz Residence
Additions and Remodel
 NE Corner 4th and Carpenter
 Carmel, CA 93923
 APN:010-014-010-000

 Planning
 Permit
 Revision 1
 8/22/2022

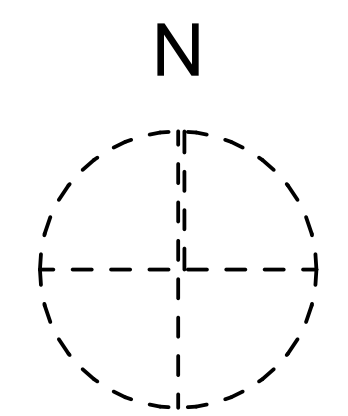


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LOWER LEVEL/CRAWLSPACE-EXISTING
 SCALE: 1/4" = 1'-0"

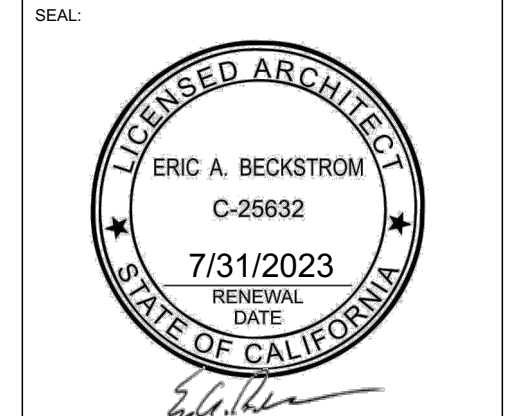


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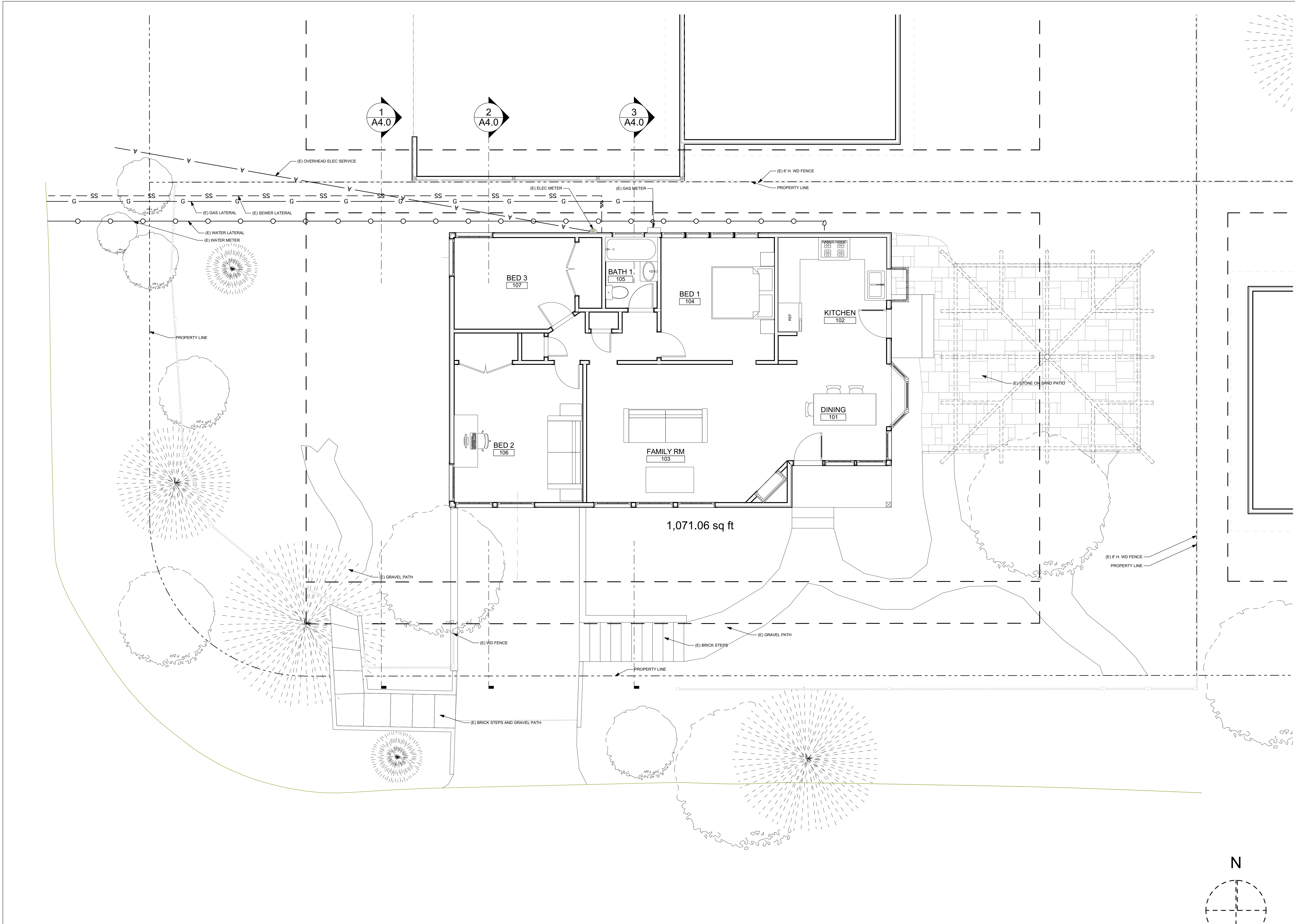
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DRAWN:	EB
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MAIN FLOOR PLAN-EXISTING

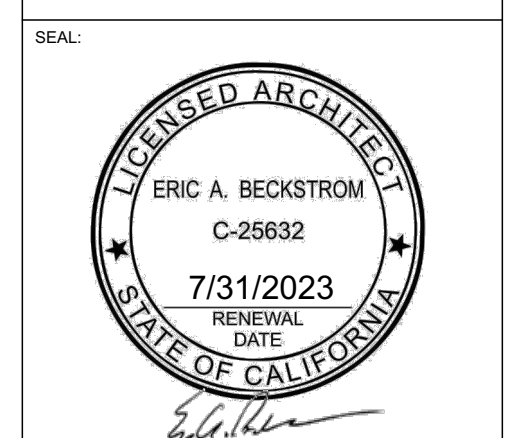
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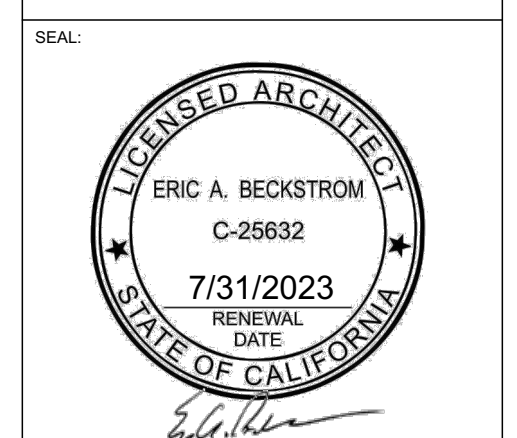
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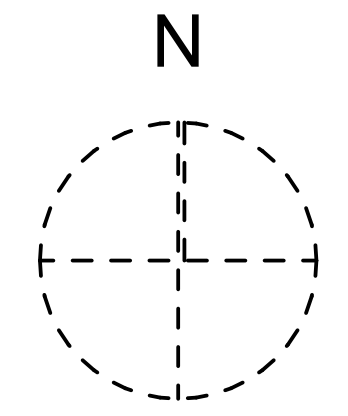
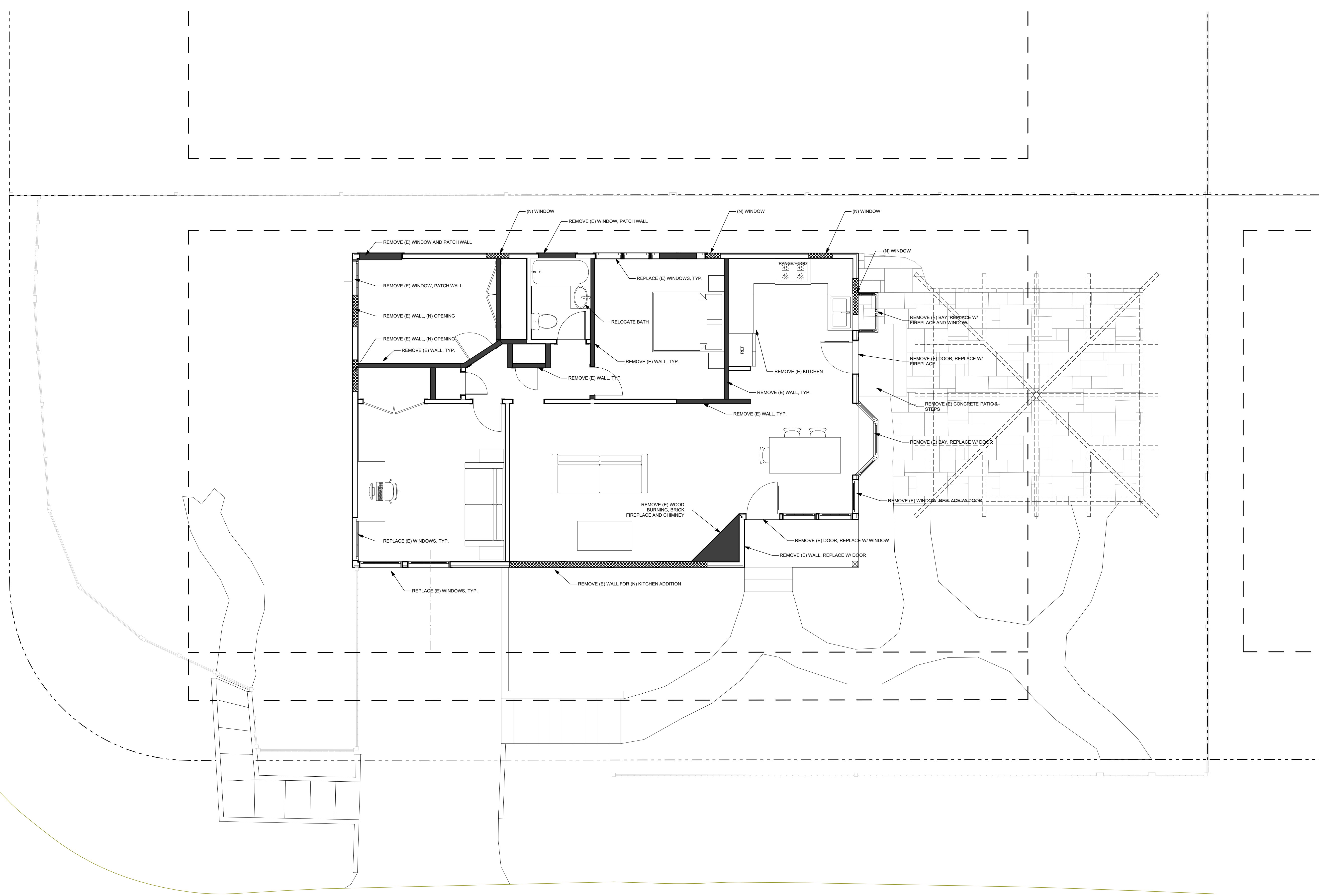
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Planning
Permit
Revision 1
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DRAWING TITLE:	MAIN FLOOR-DEMO PLAN
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JOB NO.:	6
FILENAME:	2242 Janz CD3.1.pln
SHEET:	A2.2D



MAIN FLOOR-DEMO
SCALE: 1/4" = 1'-0"

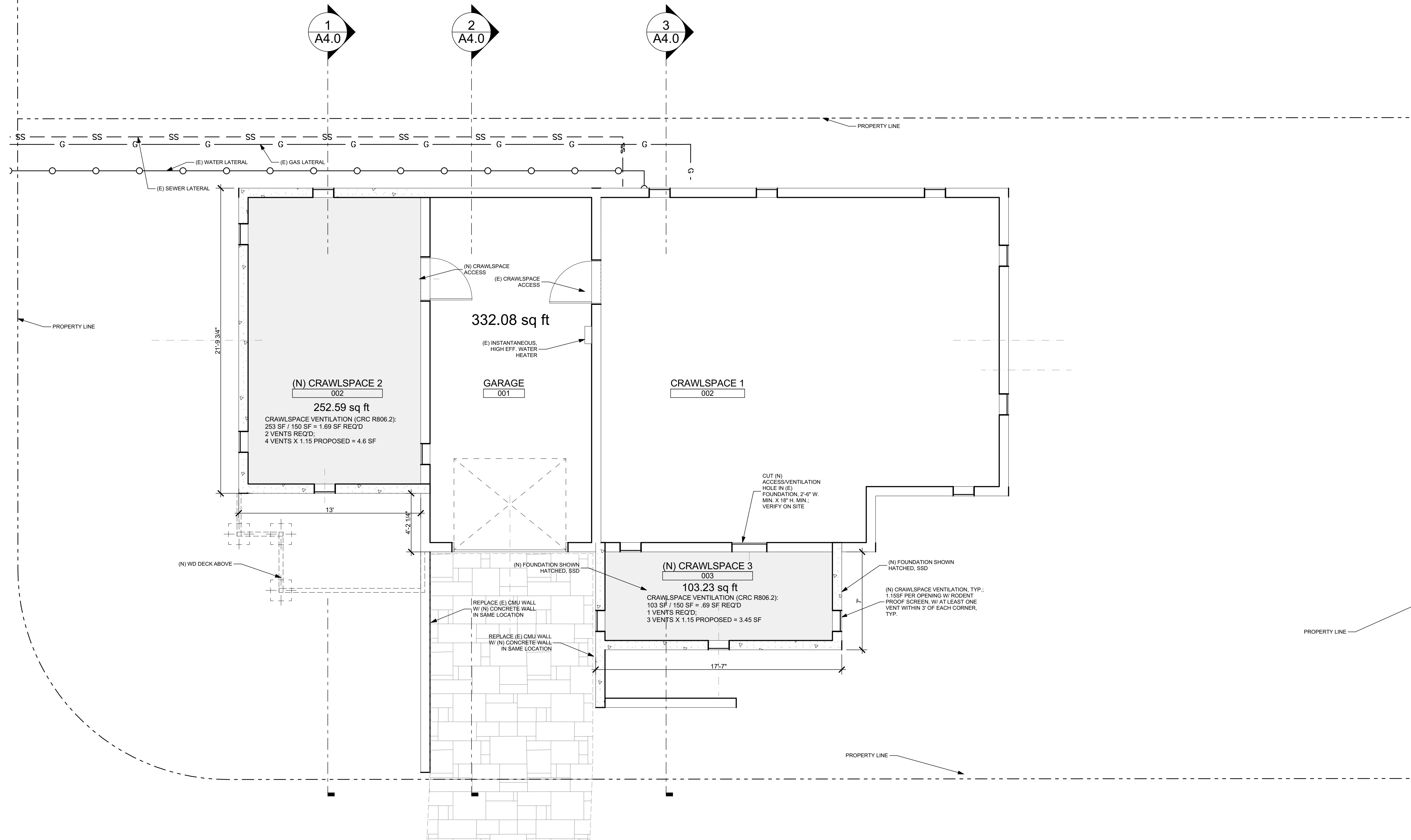
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DEMOLITION NOTES

- ALL DEMOLITION WORK SHALL AT ALL TIMES BE UNDER THE IMMEDIATE SUPERVISION OF A PERSON WITH THE PROPER EXPERIENCE, TRAINING, AND AUTHORITY.
 - ALL REMOVED BUILDING MATERIALS, APPLIANCES, AND FIXTURES MAY BE SALVAGED AT THE OWNER'S DISCRETION. VERIFY WITH OWNER PRIOR TO DEMOLITION WHAT IS TO BE REMOVED WITH CARE, SALVAGED, AND STORED AT A LOCATION DESCRIBED BY THE OWNER.
 - DEMOLITION CONTRACTOR TO REDIRECT / RECONNECT ANY ACTIVE EXISTING UTILITY, DRAINAGE, AND SPRINKLER LINES WHICH ARE DISTURBED BY DEMOLITION. CAP ALL ABANDONED LINES.
 - CONTRACTOR IS TO BE FAMILIAR WITH DEMOLITION AND FIELD VERIFY ALL DEMOLITION PRIOR TO BEGINNING WORK, REPORT ANY DISCREPANCIES TO ARCHITECT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SELECTIVE DEMOLITION AS REQUIRED FOR IMPROVEMENTS PROPOSED, RENOVATIONS, AND ALTERATIONS TO (E) GARAGE AND (E) RESIDENCE.
 - OWNER AND ARCHITECT TO WALK JOB WITH CONTRACTOR PRIOR TO COMMENCEMENT OF DEMOLITION.
 - RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% (BY WEIGHT) OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CALGREEN 4.408.2.
 - SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN:
 - IDENTIFYING THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE
 - SPECIFYING IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE OR BULK MIXED
 - IDENTIFYING DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE TAKEN
 - IDENTIFYING CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED
 - SPECIFYING THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME BUT NOT BY BOTH
 - DOCUMENTATION WILL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH CALGREEN 4.408.2.
 - A PLAN MUST BE DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.
- *CALGREEN RESIDENTIAL MANDATORY MEASURES

NOTES

- ALL DIMENSIONS FROM FACE OF STRUCTURE UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. TYP. SEE STRUCTURAL DRAWINGS FOR EXTENT OF BRACED AND SHEAR WALLS.
- EXTERIOR WALLS TO BE 2X4 STUD, U.O.N.
- INTERIOR WALLS TO BE 2X4 STUD, U.O.N.
- PROVIDE MIN. 1-HR FIRE SEPARATION CONSTRUCTION BETWEEN R-3 AND U OCCUPANCIES, TYP. 1/2" MIN. GYP. BD. TO BE APPLIED TO THE GARAGE SIDE WALLS.
- SHOWER WALLS TO HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE OVER MOISTURE RESISTANT UNDERLAYMENT AT A HEIGHT OF 72" ABOVE THE DRAIN INLET, PER CRC R307.2.
- 3/8" (MIN.) THICK TEMPERED GLASS DOOR AT ALL BATH SHOWER ENCLOSURES, TYP.
- PROVIDE 36" MIN. DEEP LANDING (7.75" MAX. BELOW THRESHOLD FOR IN-SWING/ SLIDER DOORS, 11/2" MAX. AT OUT-SWING DOORS) AT ALL EXTERIOR DOORS.
- THERMAL INSULATION:
 - R-15 FACTOR THERMAL INSULATION TYPICAL IN EXTERIOR 2X4 WALLS
 - R-19 OR R-30 FACTOR THERMAL (FOAM) INSULATION TYPICAL AT ROOFS.
 - R-13 FACTOR THERMAL INSULATION AT INTERIOR FOR NOISE REDUCTION.
- EGRESS WINDOW MIN. NET CLEAR OPENINGS 5.7 SQ. FT. MIN. NET CLEAR WIDTH 20" MIN. NET CLEAR HT. 24". FINISHED SILL NOT MORE THAN 44" ABOVE FINISHED FLOOR.
- 1/2" THK. GYP. BD. LEVEL 4 FOR ALL INTERIOR WALLS, U.O.N.
- ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE NOTCHED TO A DEPTH OF 25% MAX. OF ITS WIDTH. ANY NONBEARING PARTITION MAY BE NOTCHED TO A DEPTH OF 40%, PER CRC 602.6.1.
- ANY STUD MAY BE BORED OR DRILLED PROVIDED THAT THE DIA. OF THE RESULTING HOLE IS NO MORE THAN 60% OF THE STUD WIDTH AND THE EDGE OF THE HOLE IS NO MORE THAN 5/8" FROM THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH OR USE OF AN APPROVED STUD SHOE IS PERMITTED WHEN THEY ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, PER CRC 602.6.2.
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.
- AT THE TIME OF FINAL INSPECTION, A MANUAL, CD, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH COMPLIES WITH THE SPECIFICATIONS IN CALGREEN 4.410.1.
- ADHESIVES, SEALANTS, AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF SCAQMD RULE 1168 VOC LIMITS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY.
- ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE AIR RESOURCES BOARD ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN CALGREEN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY.
- AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(a)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTION 94522(c)(2) AND (c)(2) OF THE CA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520, AND IN AREAS UNDER THE JURISDICTION OF THE BAAQMD SHALL ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.
- HARDWOOD PLYWOOD, PARTICLEBOARD AND MDF COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS OF FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD CA CODE OF REGULATIONS, TITLE 17, SECTION 95120.1(a).
- WHERE CONCRETE SLAB FOUNDATIONS OR CONCRETE SLAB-ON-GROUND FLOORS ARE REQUIRED TO HAVE A VAPOR RETARDER, A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH ONE OF THE FOLLOWING:
 - A 4-INCH THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING SHALL BE USED
 - OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY
 - A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.
- INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUF. DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.
- WHEN REQUIRED BY THE ENFORCING AGENCY, SPECIAL INSPECTORS SHALL PROVIDE INSPECTIONS OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH APPLICABLE CODES. SPECIAL INSPECTORS MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE TO THE ENFORCING AGENCY IN THE DISCIPLINE IN WHICH THEY ARE INSPECTING.
- DOCUMENTATION OF COMPLIANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE LOCAL ENFORCING AGENCY.
- DUCT SYSTEMS ARE SIZED AND DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING:
 - ESTABLISHED HEAT LOSS AND GAIN ACCORDING TO ANSI/ACCA MANUAL J
 - DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA MANUAL D-2009
 - SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA MANUAL S-2004
- AUTOMATIC IRRIGATION CONTROLLERS - SHALL BE WEATHER R SOIL MOISTURE BASED



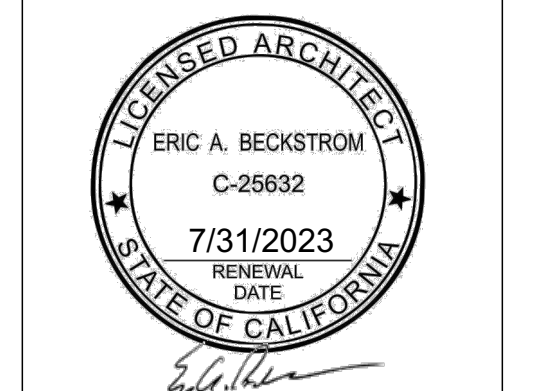
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DRAWING TITLE: LOWER LEVEL/CRAWLSPACE PLAN-PROPOSED

DRAWN: EB

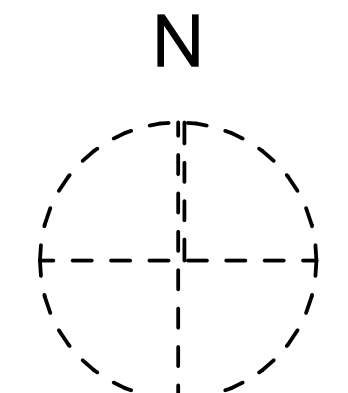
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JOB NO.: 6

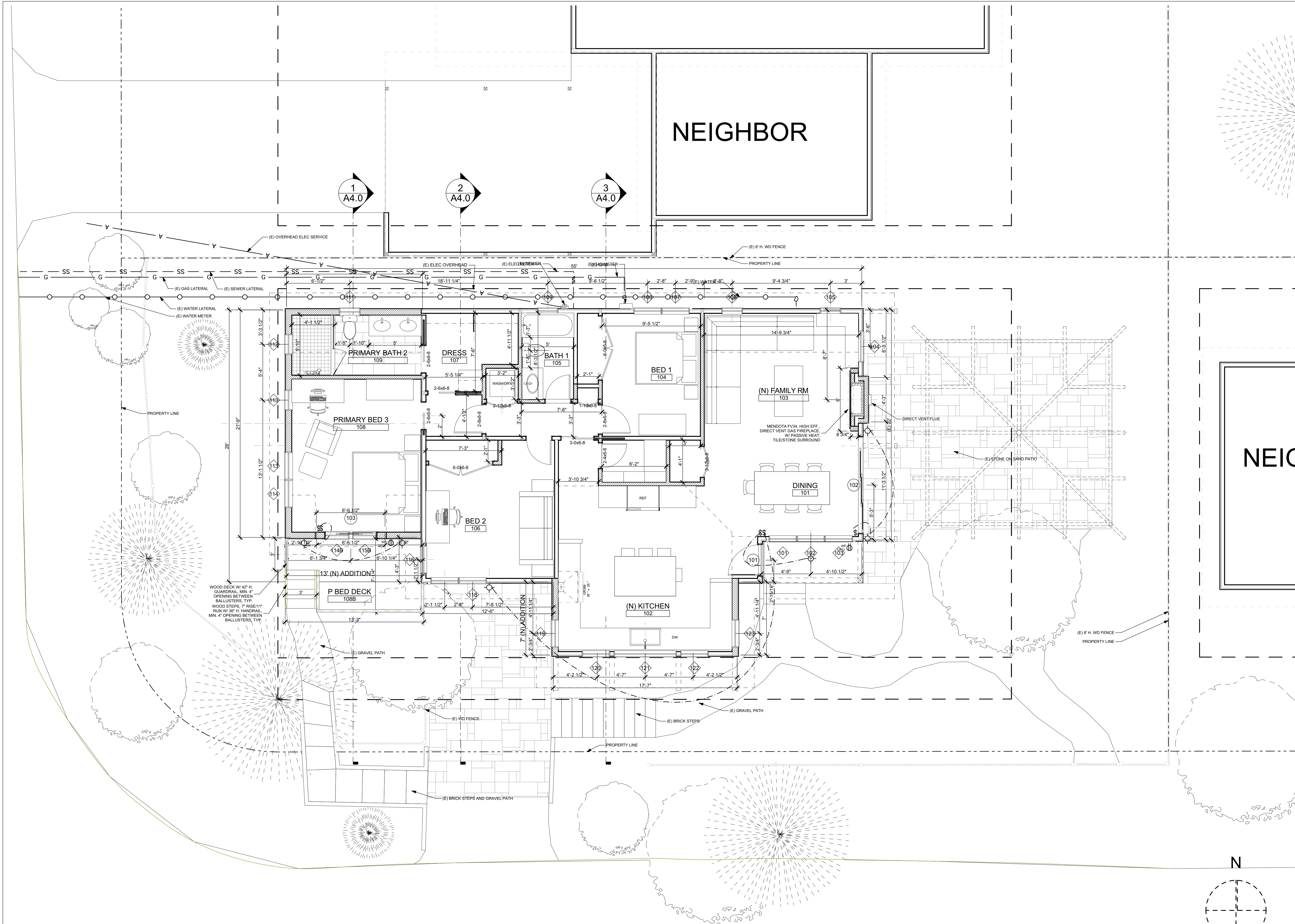
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SHEET: A2.3



LOWER LEVEL/CRAWLSPACE-PROPOSED
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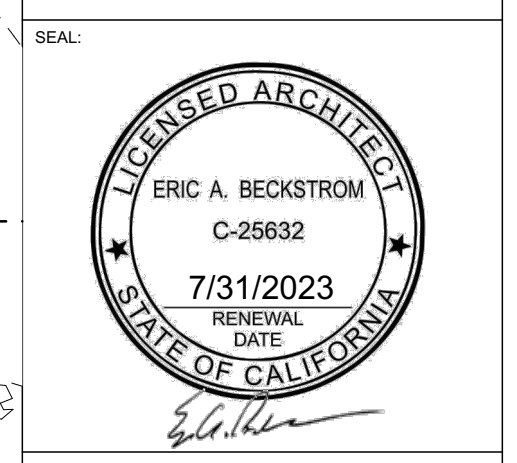
MAIN FLOOR PLAN-PROPOSED

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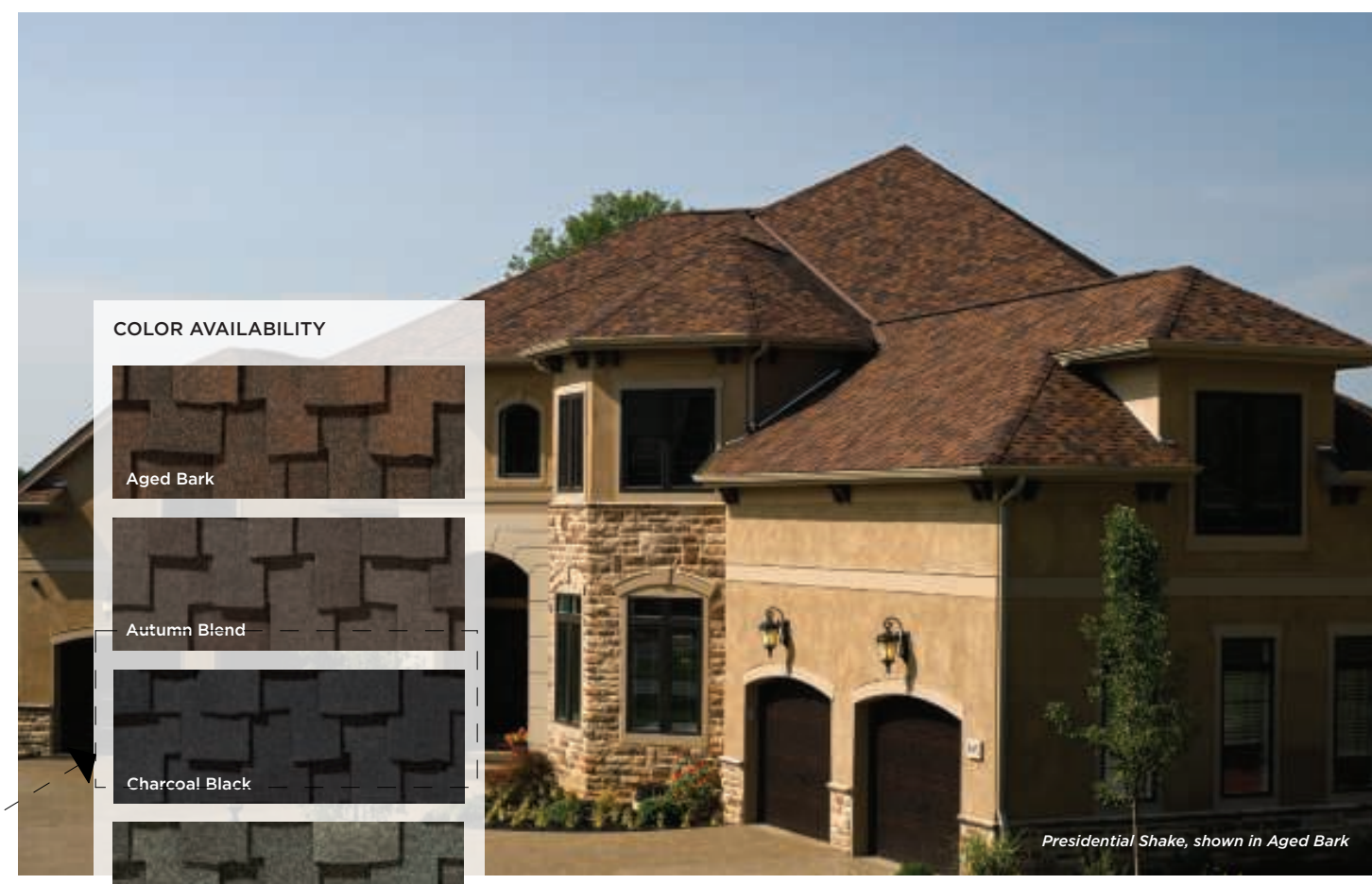


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MAIN FLOOR PLAN-PROPOSED

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DATE	8/22/2022
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CLASS 'A', ARCHITECTURAL ASPHAL SHINGLE ROOF



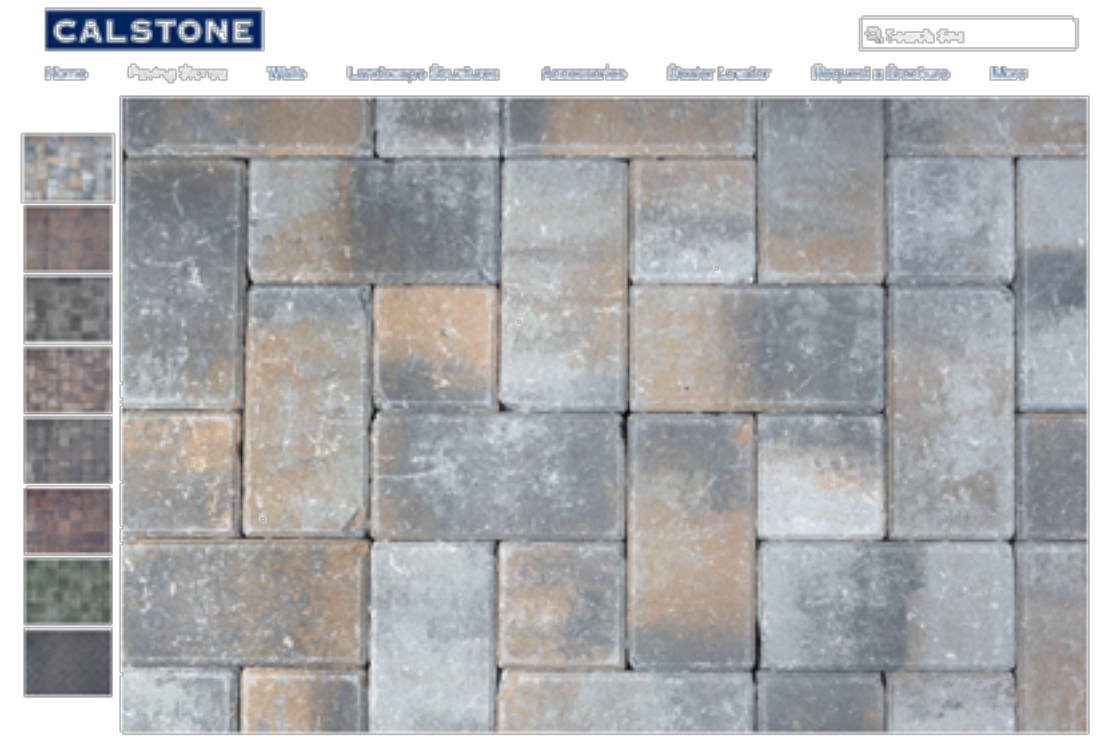
- COLOR AVAILABILITY**
- Aged Bark
 - Autumn Blend
 - Charcoal Black
 - Country Gray
 - Shadow Gray
 - Solaris Autumn Blend CRAC Product ID 0668-0127
 - Solaris Charcoal Black CRAC Product ID 0668-0122
 - Solaris Country Gray CRAC Product ID 0668-0128
 - Solaris Shadow Gray CRAC Product ID 0668-0124

PRESIDENTIAL SHAKE®

- Two-piece laminated fiberglass construction
 - Distinctive sculpted, rustic look
 - Lifetime limited transferable warranty - residential*
 - 50-year limited transferable warranty - group-owned or commercial*
 - 15-year **StreakFighter** algae-resistance warranty (where available)
 - 10-year SunStart™ protection
 - 15-year 110 mph wind-resistance warranty
 - Wind warranty upgrade to 130 mph available. CertainTeed starter and CertainTeed hip and ridge required
 - Presidential Starter (required) and hip and ridge accessory available (see details in back of brochure)
 - Select colors can be used to comply with the 2019 California Title 24 Part 6 Cool Roof Requirements
 - Select colors can be used to comply with Los Angeles County, California Title 31 cool roof requirements for steep-sloped residential construction.
- CertainTeed products are tested to ensure the highest quality and comply with the following industry standards:**
- Fire Resistance:**
- UL Class A
 - UL, certified to meet ASTM D3018 Type 1
- Wind Resistance:**
- UL, certified to meet ASTM D3018 Type 1
 - ASTM D3161 Class F
- Tear Resistance:**
- UL, certified to meet ASTM D3462
 - CSA standard AT23.5
- Wind Driven Rain Resistance:**
- Miami-Dade Product Control Acceptance: Please reference www.certainteed.com to determine approved products by manufacturing location.
- Quality Standards:**
- ICC-ES ESR-1389 & ESR-3537
- Scan code for more Presidential Shake information



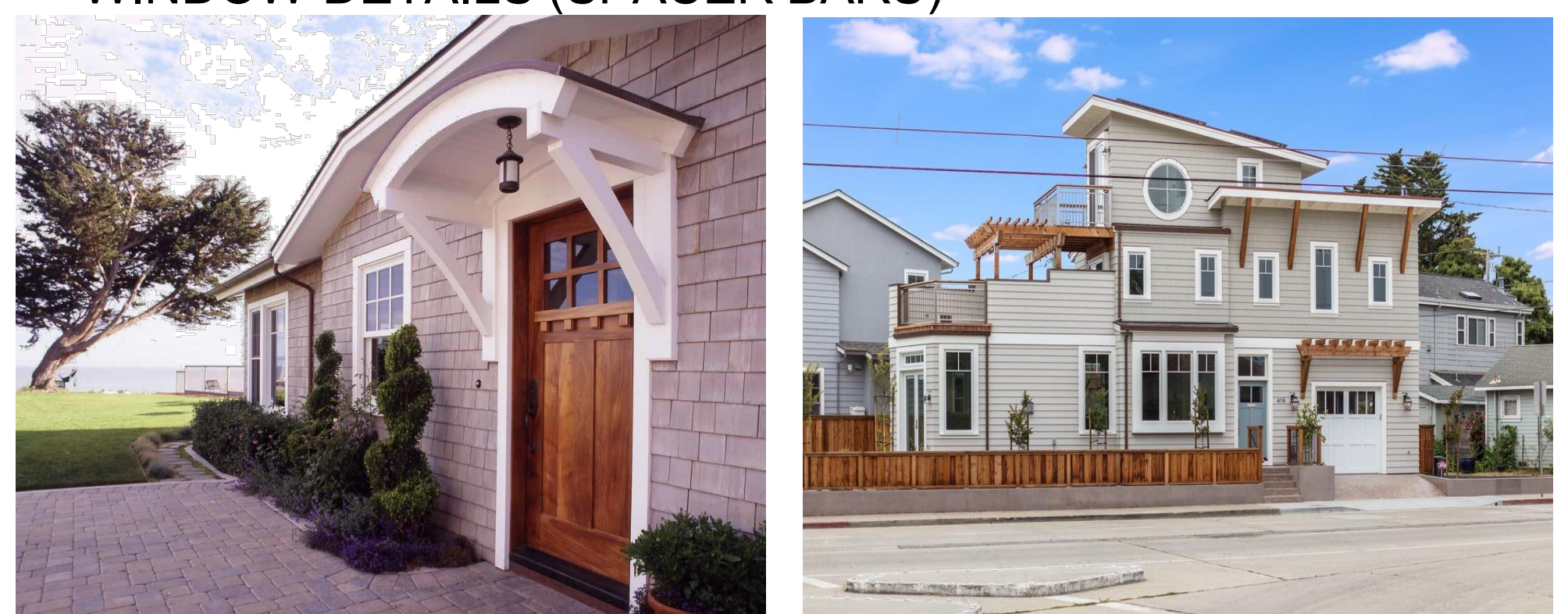
DRIVEWAY PAVERS: CALSTONE, ANTIQUE MISSION, 6X8, PERMEABLE



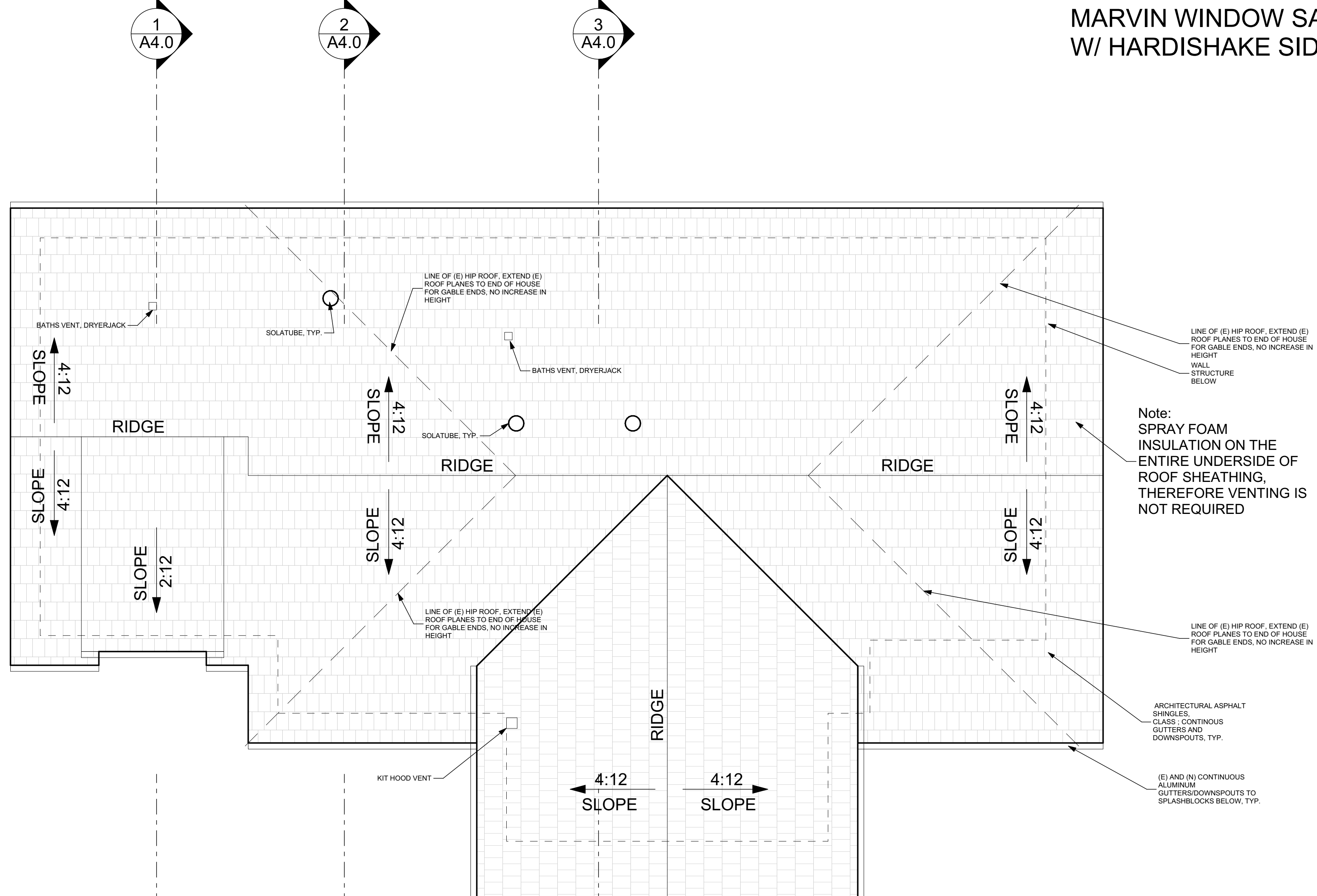
CEMENTITIOUS WOOD SHINGLE SIDING: HARDISHAKE, PEARL GRAY



MARVIN ULTIMATE, ALUMINUM CLAD WOOD WINDOW DETAILS (SPACER BARS)



MARVIN WINDOW SAMPLE W/ HARDISHAKE SIDING



Note: SPRAY FOAM INSULATION ON THE ENTIRE UNDERSIDE OF ROOF SHEATHING, THEREFORE VENTING IS NOT REQUIRED

ARCHITECTURAL ASPHALT SHINGLES - CLASS 1 CONTINUOUS GUTTERS AND DOWNSPOUTS, TYP.

(E) AND (N) CONTINUOUS ALUMINUM GUTTERS/DOWNSPOUTS TO SPLASHBLOCKS BELOW, TYP.

DryerJack

Technical Product Specifications

DryerJack Model 466

Model	Applications
DJK466	Low profile, efficient ventilation for safely venting the dryer through the roof.
DJK486	Extra clearance model for high profile fits or heavy snowfall areas.

Performance Data

For Use:

- Non-restrictive dryer roof vent termination
- Complies with IRC 304.4 & IRC 1502.3

Materials:

- 20 gauge Galvalume®
- Weight each: DJK466 / 3 lbs. — DJK486 4 lbs.

General Information

Benefits:

- Venting through the roof can shorten duct length
- Zero back pressure lengthens appliance life
- Improved efficiency shortens cycles, saves energy
- Compact design saves load and reduces entry
- Access features ease duct cleaning & maintenance

Features:

- Support 36 gauge Galvalume
- Beveled corner fitting fits snug and is not hollow
- Equally suitable for new and retrofit construction
- Weathering exterior collar for secure ducting

Manufactured By:

In-D-Vite Technologies, Inc.
 810 Saturn Street, Suite 20
 Jupiter FL 33477
 Telephone: 561-743-8090
 Facsimile: 561-745-9723
www.DryerJack.com

Made in the USA

Airflow Restriction Comparison (Back Pressure Measured in Water Column Inches)

Product	Restriction
DryerJack Model 466	0.001
DryerJack Model 486	0.02
Low Profile Plastic	.35
Low Profile Metal	.30
Four Inch Chimneycap	.45

ROOF PLAN-PROPOSED

SCALE: 1/4" = 1'-0"

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SEAL:

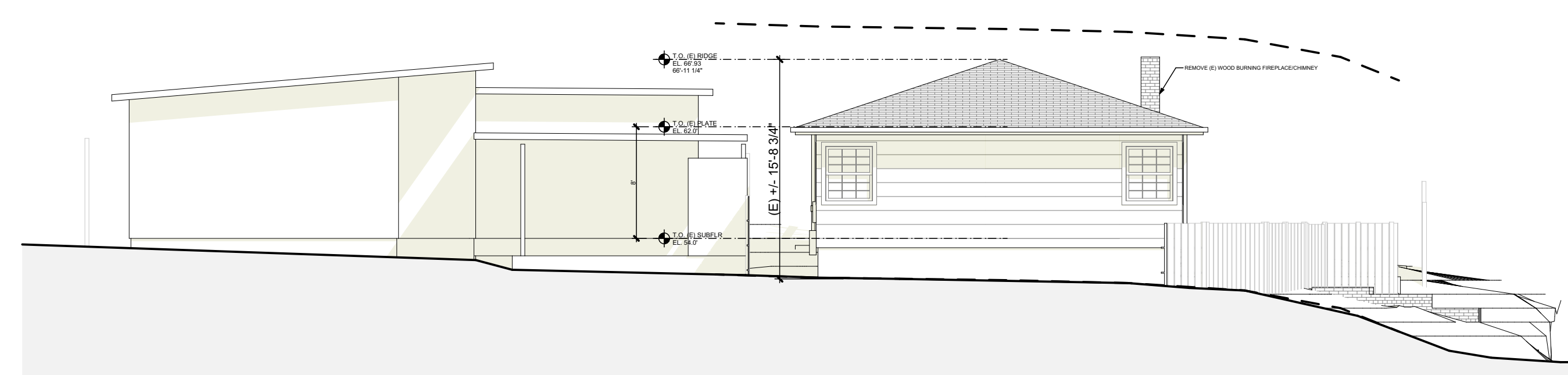
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 ROOF PLAN/MATERIALS-PROPOSED

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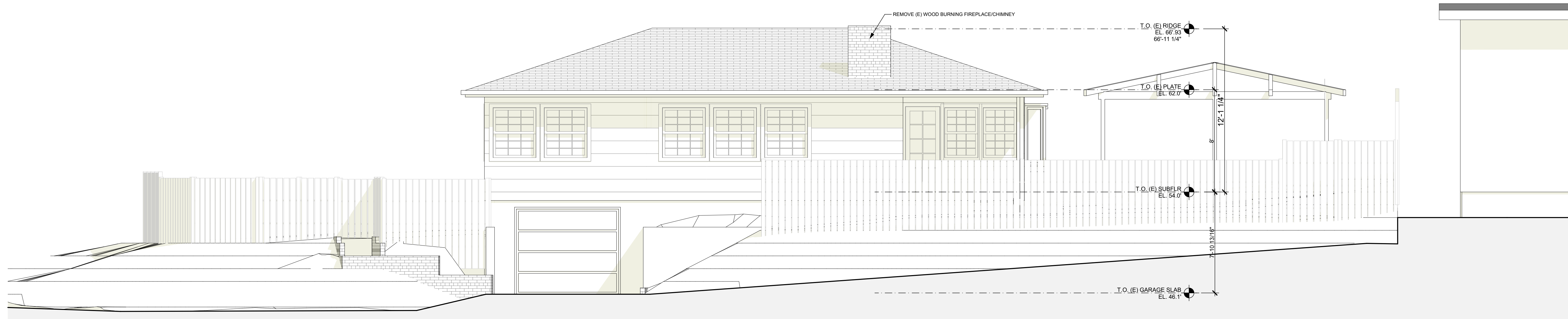
SOUTH/CARPENTER RD ELEVATION

SCALE: 1/8" = 1'-0"



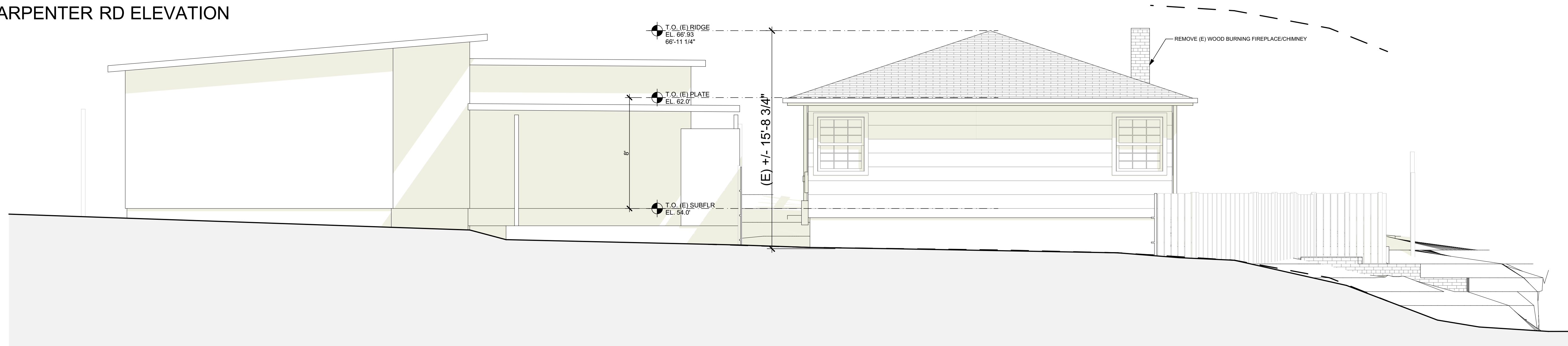
WEST/4TH AVE ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH/CARPENTER RD ELEVATION

SCALE: 1/4" = 1'-0"



WEST/4TH AVE ELEVATION

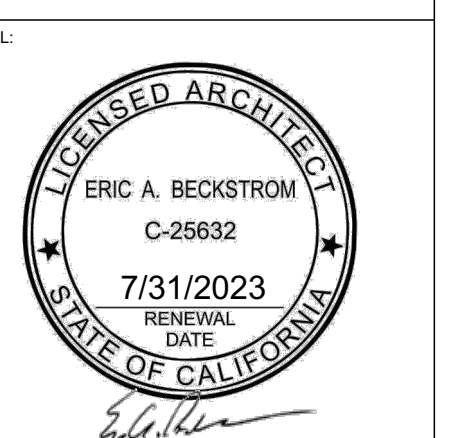
SCALE: 1/4" = 1'-0"

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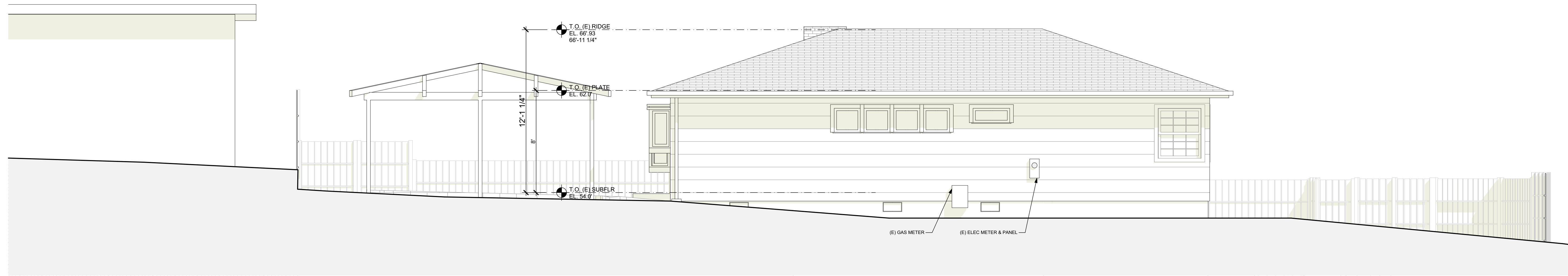
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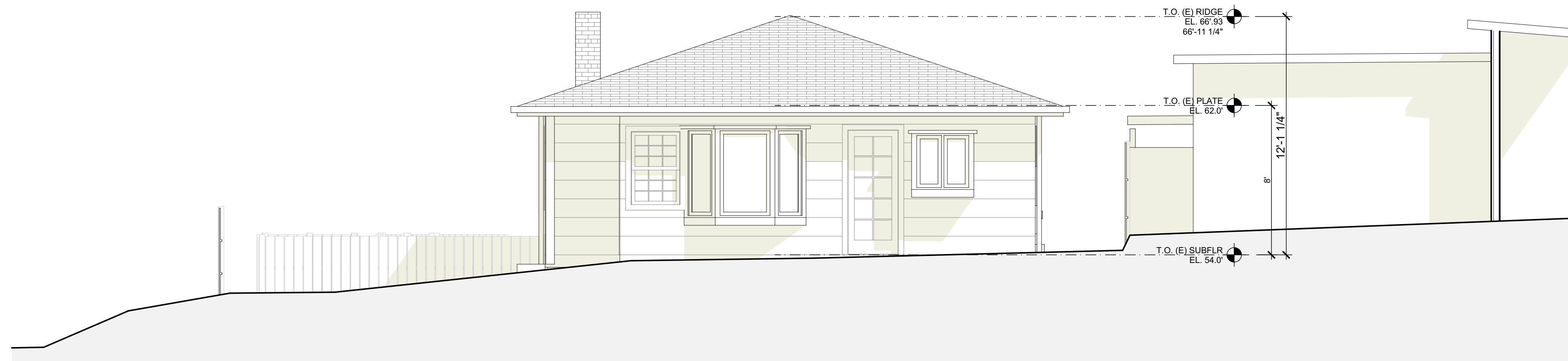
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NORTH/SIDE YARD ELEVATION

SCALE: 1/4" = 1'-0"



EAST/BACKYARD ELEVATION

SCALE: 1/4" = 1'-0"

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EXISTING ELEVATIONS

DRAWN: EB
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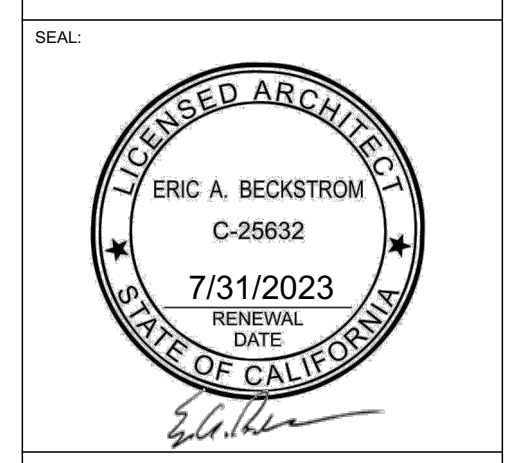
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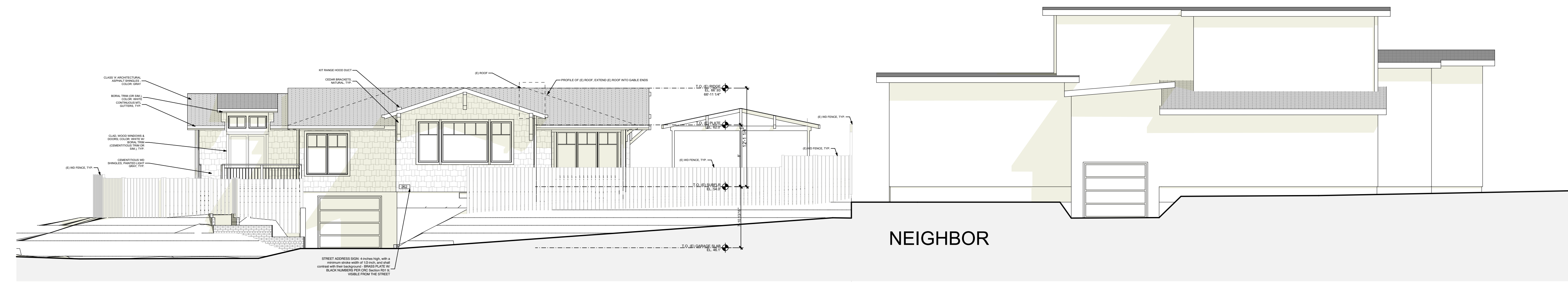
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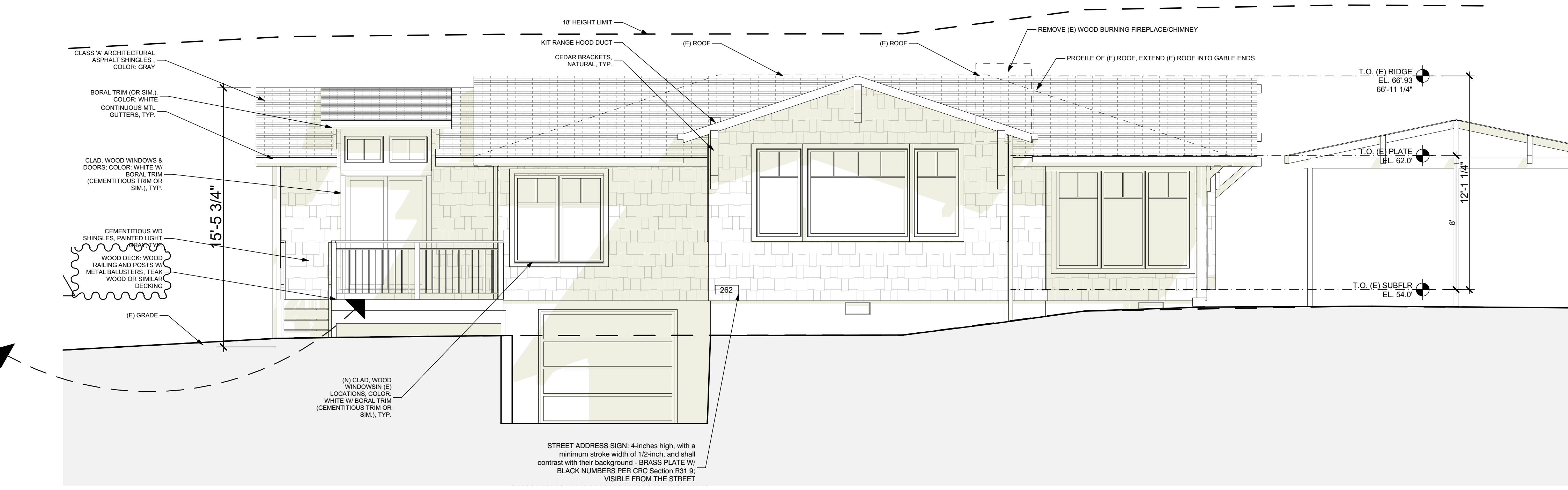
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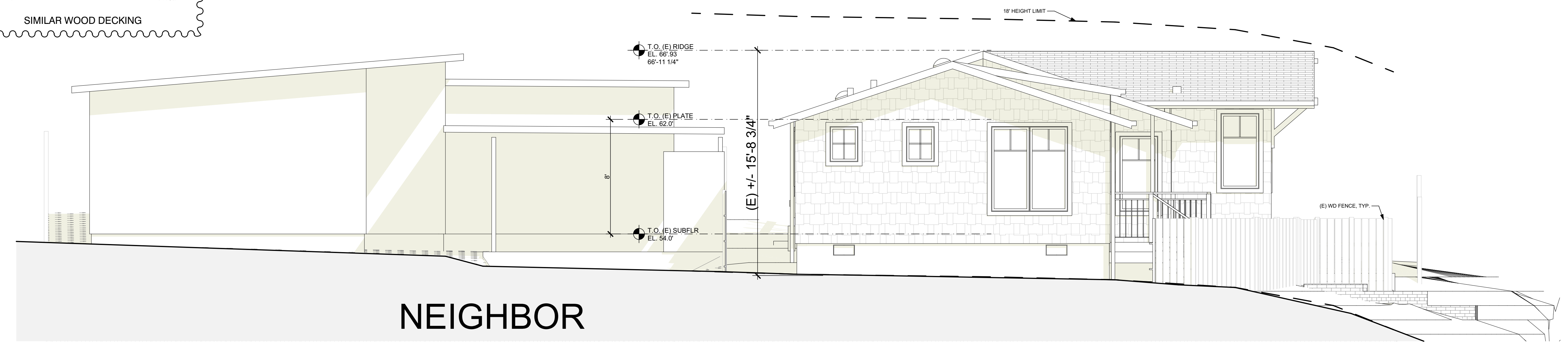
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SOUTH/CARPENTER RD ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST/4TH AVE ELEVATION
SCALE: 1/4" = 1'-0"

1

Somerset Level Rail Kit By Vista

Similar Railing System, Wood and Metal Balusters

\$207.99

TYPE: Square Balusters

RAIL HEIGHT: 42 in

1 x 6 Teak - Plantation Wood Decking

\$5.65

SKU: DT010601 - Warehouse Lumber

Similar Wood Decking

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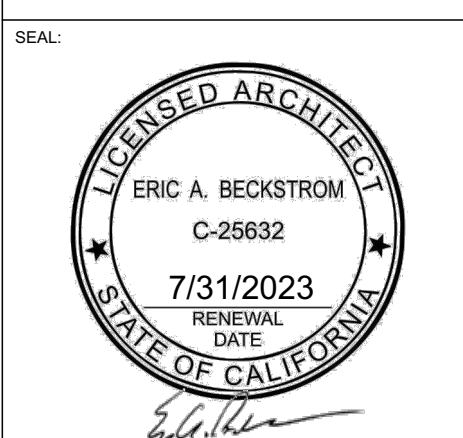
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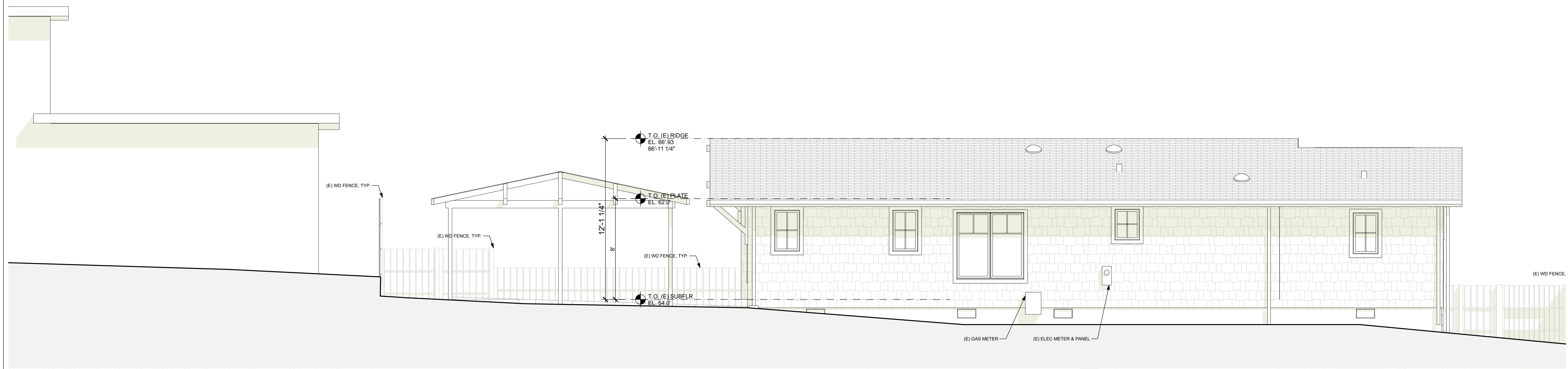
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Revision 1
8/22/2022

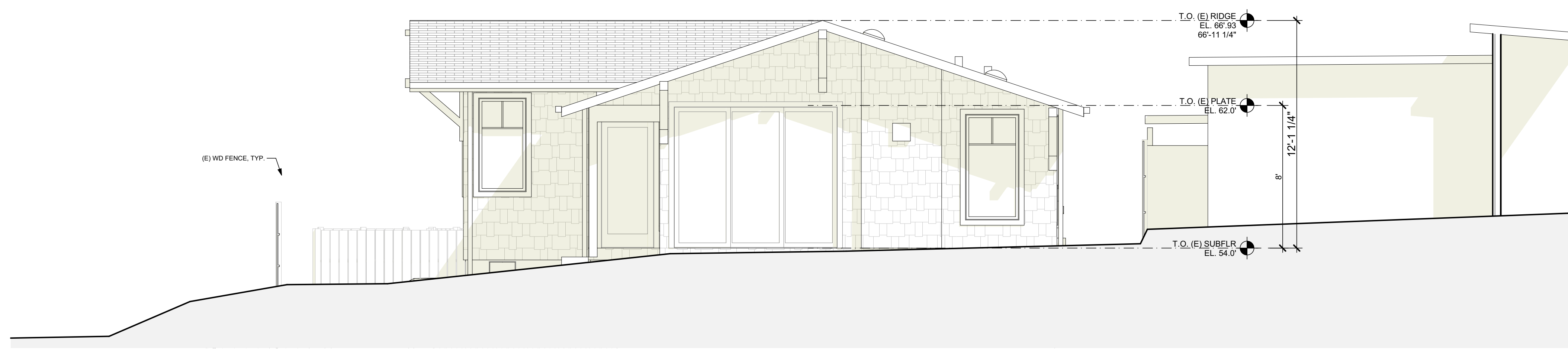


DRAWING TITLE:
ELEVATIONS-PROPOSED

DRAWN	EB
DATE	8/22/2022
SCALE	1/4" = 1'-0"
JOB NO.	6
FILENAME	2242 Janz CD3.1.pln
SHEET	A3.3

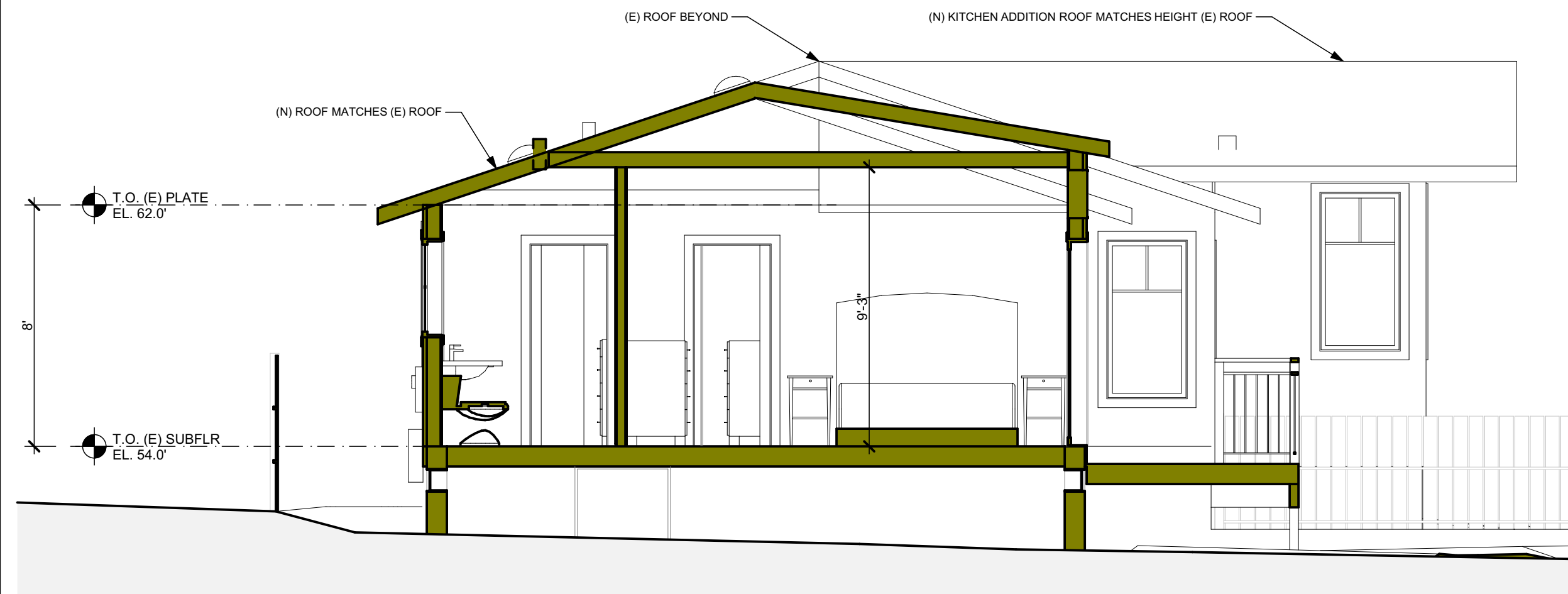


NORTH/SIDE YARD ELEVATION
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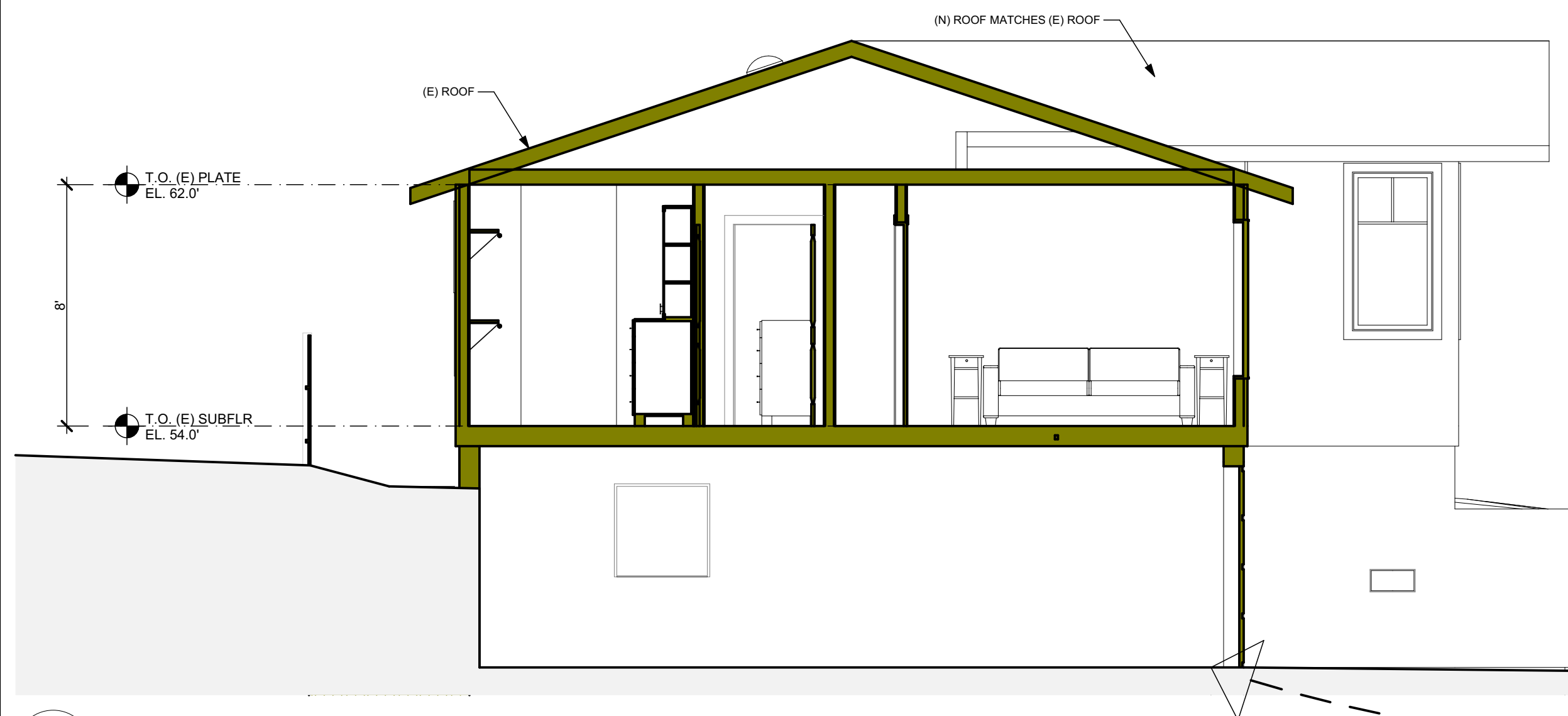


EAST/BACKYARD ELEVATION
SCALE: 1/4" = 1'-0"

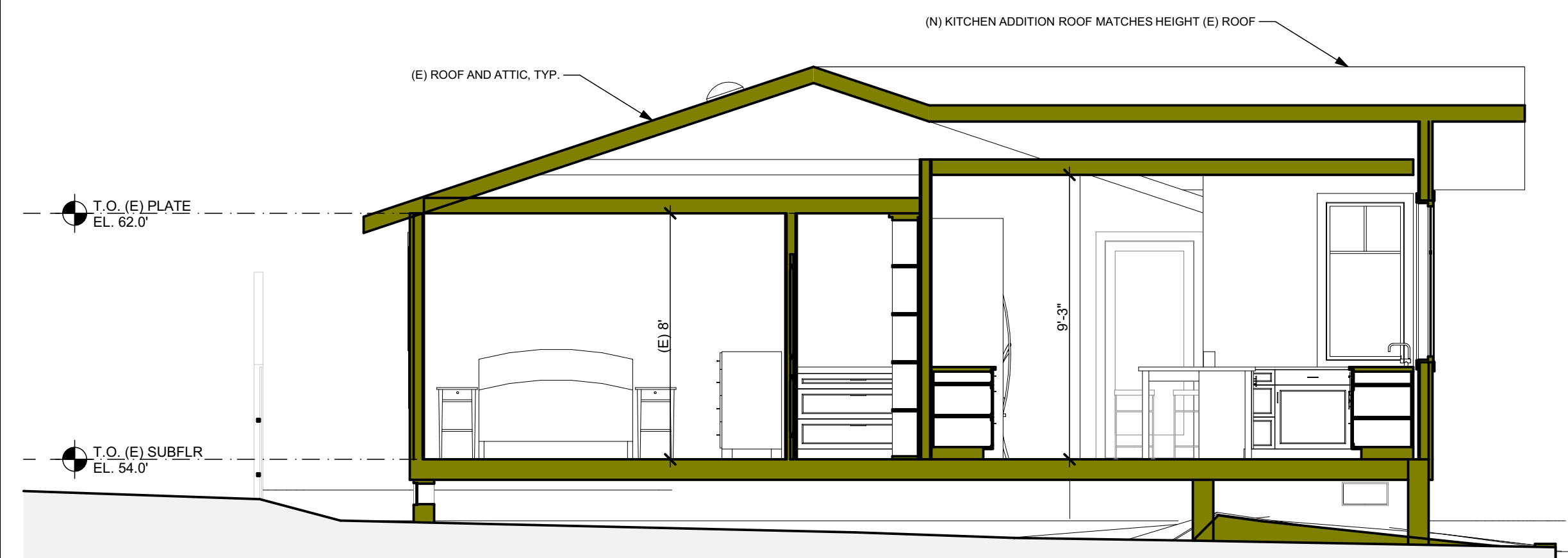
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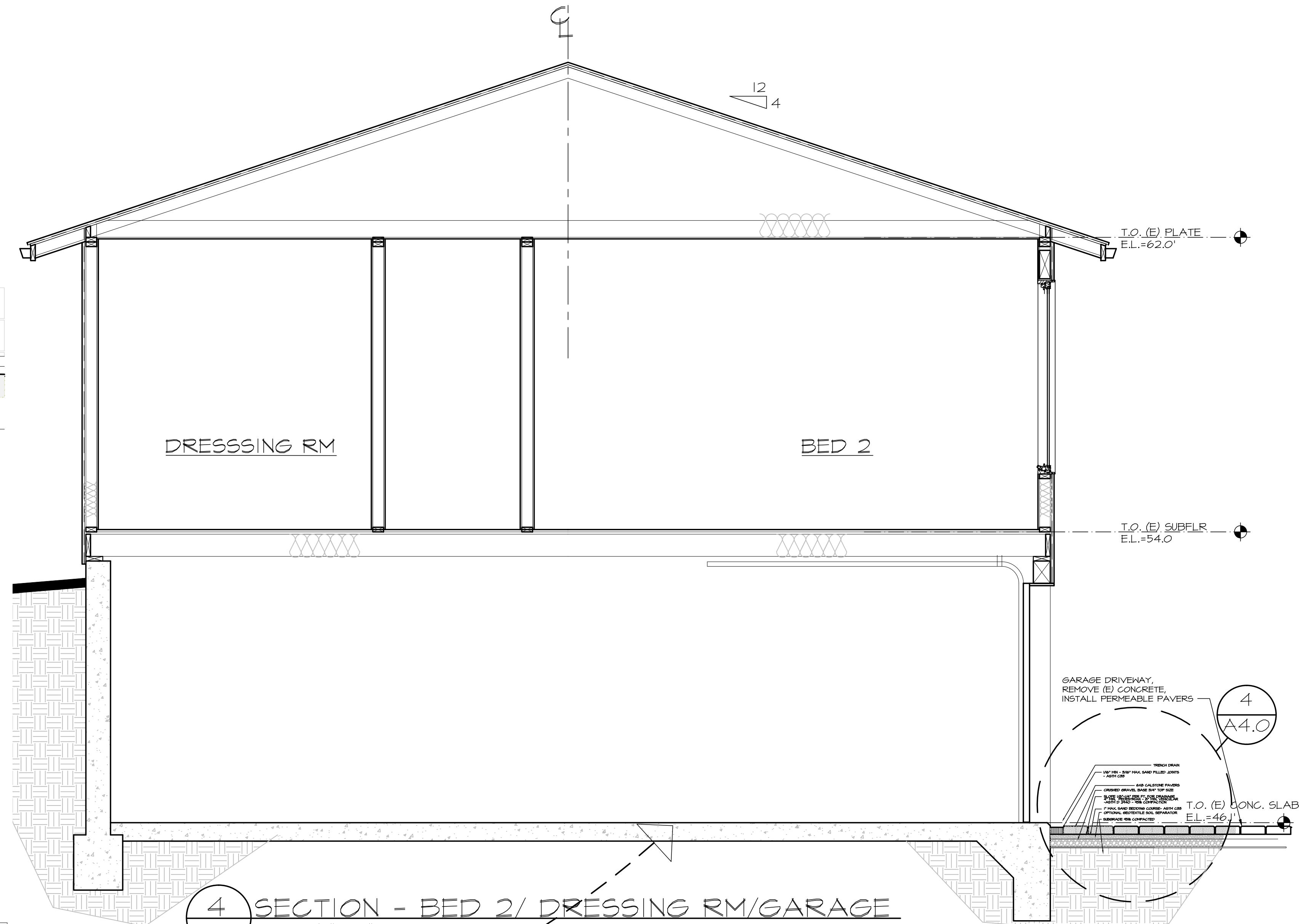
1 SECTION-PBEDRM
A4.0 SCALE: 1/4" = 1'-0"



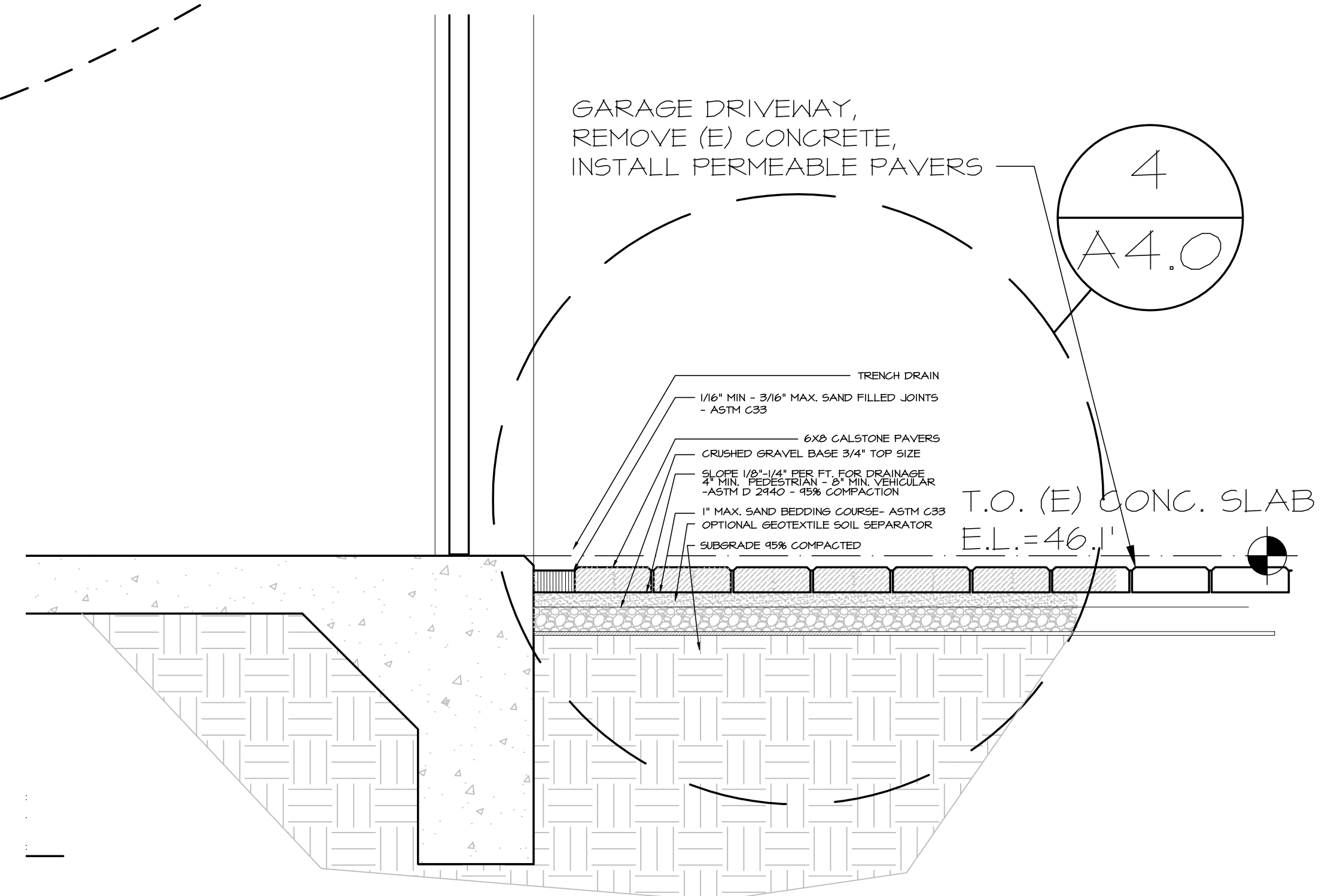
2 SECTION-DRESS, BED 2/GARAGE
A4.0 SCALE: 1/4" = 1'-0"



3 SECTION-BED 1, KIT
A4.0 SCALE: 1/4" = 1'-0"



4 SECTION - BED 2/ DRESSING RM/GARAGE
SCALE 1/2"=1'-0"



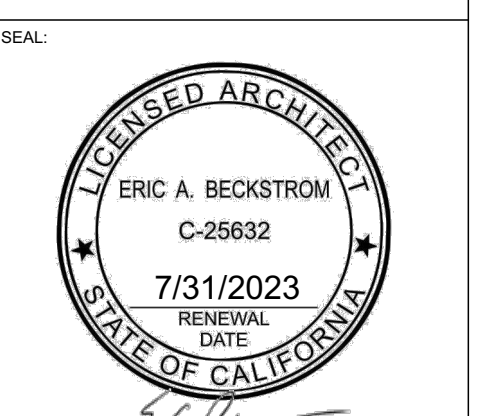
5 DETAIL
SCALE 1"=1'-0"

REVISIONS	BY
8/22/2022	EB

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Additions and Remodel
NE Corner 4th and Carpenter
Carmel, CA 93923
APN:010-014-010-000

Planning
Permit
Revision 1
8/22/2022



DRAWING TITLE:	BUILDING SECTIONS
DRAWN:	EB
DATE:	8/22/2022
SCALE:	1/4" = 1'-0", 1" = 1'-0"
JOB NO.:	6
FILENAME:	2242 Janz CD3.1.pln
SHEET:	A4.0

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◇ WINDOW SCHEDULE

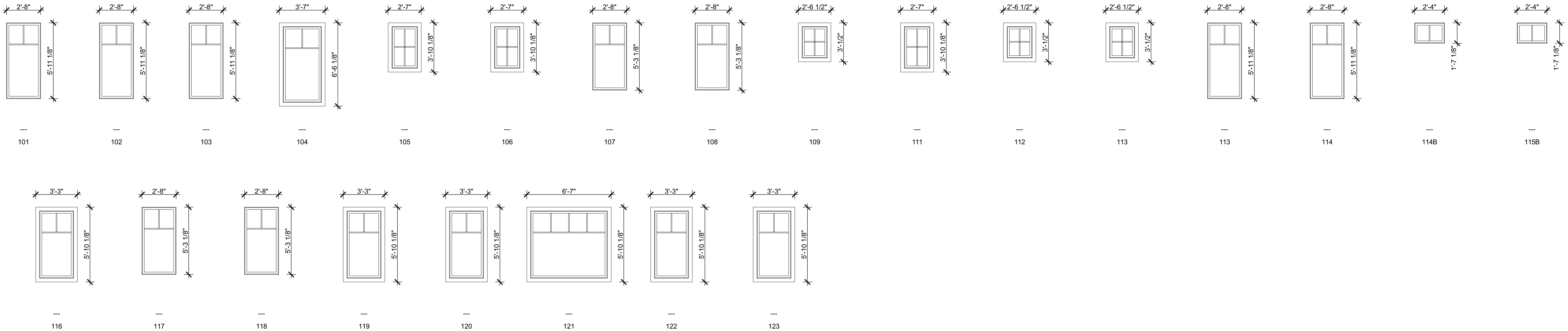
WDW NO	RM NO	RM NAME	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SAFETY GLAZING	REMARKS
101			2'-8"	5'-11 1/8"	7'-2"	---	---
102			2'-8"	5'-11 1/8"	7'-2"	---	---
103			2'-8"	5'-11 1/8"	7'-2"	---	---
104	103	(N) FAMILY RM	3'	5'-11 1/8"	7'-6"	---	---
105	103	(N) FAMILY RM	2'	3'-3 1/8"	7'-1"	---	---
106	103	(N) FAMILY RM	2'	3'-3 1/8"	7'-1"	---	---
107			2'-8"	5'-3 1/8"	6'-11"	---	---
108			2'-8"	5'-3 1/8"	6'-11"	---	---
109	105	BATH 1	1'-11 1/2"	2'-5 1/2"	7'-2"	---	---
111	109	PRIMARY BATH 2	2'	3'-3 1/8"	6'-10 1/2"	---	---
112	109	PRIMARY BATH 2	1'-11 1/2"	2'-5 1/2"	7'-6"	---	---
113	108	PRIMARY BED 3	1'-11 1/2"	2'-5 1/2"	7'-6"	---	---
113	108	PRIMARY BED 3	2'-8"	5'-11 1/8"	7'-6"	---	---
114	108	PRIMARY BED 3	2'-8"	5'-11 1/8"	7'-6"	---	---
114B	108	PRIMARY BED 3	2'-4"	1'-7 1/8"	9'-1 7/8"	---	---
115B	108	PRIMARY BED 3	2'-4"	1'-7 1/8"	9'-1 7/8"	---	---
116			2'-8"	5'-3 1/8"	6'-10"	---	---
117			2'-8"	5'-3 1/8"	6'-10"	---	---
118			2'-8"	5'-3 1/8"	6'-10"	---	---
119	102	(N) KITCHEN	2'-8"	5'-3 1/8"	8'-5"	---	---
120	102	(N) KITCHEN	2'-8"	5'-3 1/8"	8'-5"	---	---
121	102	(N) KITCHEN	6'	5'-3 1/8"	8'-5"	---	---
122	102	(N) KITCHEN	2'-8"	5'-3 1/8"	8'-5"	---	---
123	102	(N) KITCHEN	2'-8"	5'-3 1/8"	8'-5"	---	---

WINDOW NOTES:

- CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND DETAILS PRIOR TO PROCEEDING WITH ANY WORK, TYP.
- ALL DIMENSIONS INDICATED ON THIS SHEET REPRESENT WINDOW UNIT DIMENSIONS, AS REFERENCED IN DETAILS.
- WINDOWS INDICATED ON THIS SHEET REPRESENT THE EXTERIOR VIEW OF THE WINDOW.
- ALL GLAZING TO BE INSULATED (DOUBLE) WITH LOW-E COATING, U.O.N.
- HEAD HEIGHTS ARE MEASURED FROM FINISHED FLOOR.
- ALL WINDOWS IDENTIFIED AS 'EGRESS WINDOWS' SHALL MEET THE FOLLOWING CRITERIA:
 - 5.7 SQUARE FEET MIN. NET CLEAR OPENABLE AREA
 - 24" MIN. NET CLEAR OPENABLE HEIGHT
 - 20" MIN. NET CLEAR OPENABLE WIDTH
 - 44" MAX. SILL HEIGHT ABOVE FINISH FLOOR
- GLAZING WITHIN 60" OF TUB OR SHOWER BOTTOM SHALL BE FULLY TEMPERED.
- SCREENS TO BE PROVIDED AT ALL WINDOWS.
- HARDWARE T.B.D.

WINDOW SPECS:

- MARVIN ULTIMATE, CLAD WOOD, WHITE EXT., PRE-PRIMED INT.
- INSULATED, LOW E, ARGON
- PROVIDE SCREENS FOR ALL WINDOWS
- 5/8" SDL'S, SIMULATED DIVIDED LITES**
- OIL RUBBED BRONZE HARDWARE
- CASEMENT WINDOWS



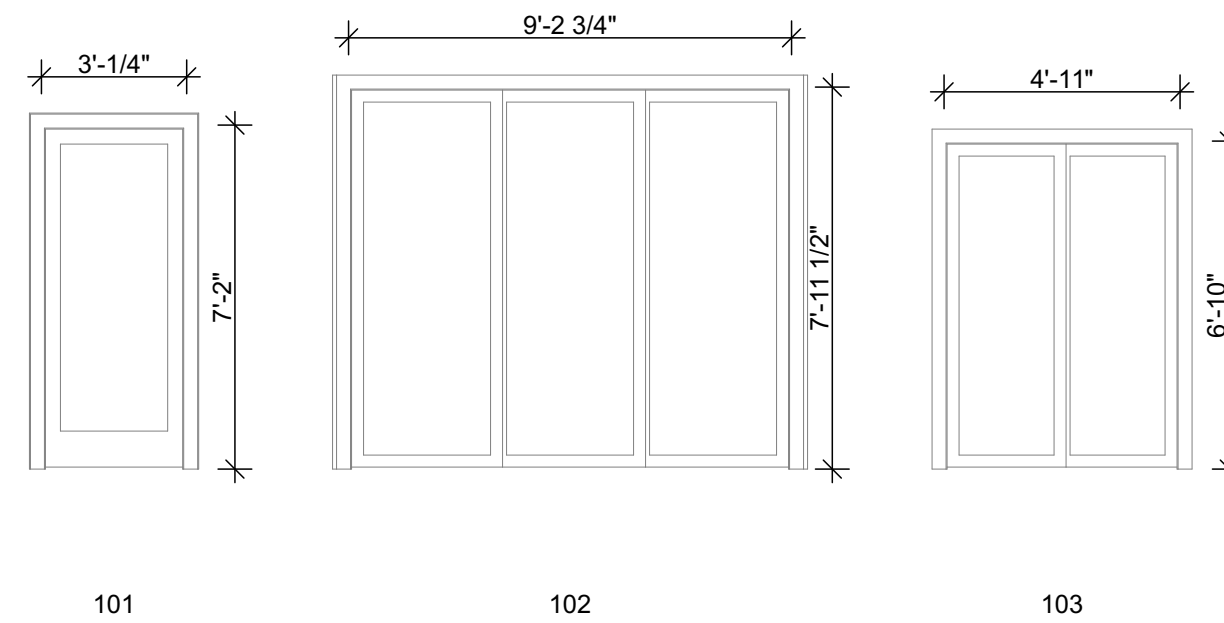
○ DOOR SCHEDULE

DOOR NO	ROOM NAME	ROOM NO	WIDTH	HEIGHT	REMARKS
101			3'-5/16"	7'-2"	
102			9'-2 3/4"	7'-11 1/2"	
103	PRIMARY BED 3	108	4'-11"	6'-10"	PROFILE TO MATCH MULTISLIDE DOOR

- CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND DETAILS PRIOR TO PROCEEDING WITH ANY WORK, TYP.
- ALL DIMENSIONS INDICATED ON THIS SHEET REPRESENT WINDOW UNIT DIMENSIONS, AS REFERENCED IN DETAILS.
- DOORS INDICATED ON THIS SHEET REPRESENT THE EXTERIOR VIEW OF THE DOOR.
- ALL GLAZING TO BE INSULATED (DOUBLE) WITH LOW-E COATING, U.O.N.
- HEAD HEIGHTS ARE MEASURED FROM FINISHED FLOOR.
- HARDWARE T.B.D.

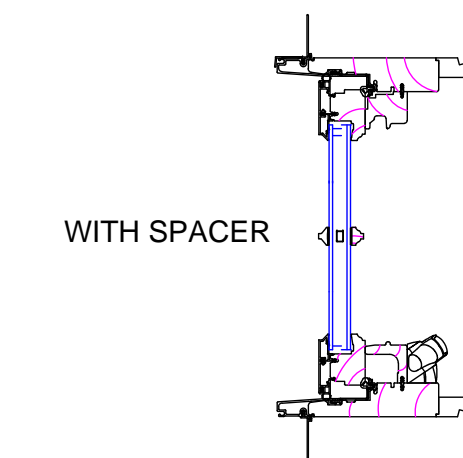
DOOR SPECS:

- MARVIN ULTIMATE, CLAD WOOD, WHITE EXT., PRE-PRIMED INT.
- INSULATED, LOW E, ARGON, TEMPERED GLAZING
- PROVIDE SCREENS FOR ALL OPERABLE DOORS
- 5/8" SDL'S, SIMULATED DIVIDED LITES**
- OIL RUBBED BRONZE HARDWARE



MARVIN ULTIMATE, ALUMINUM CLAD WOOD WINDOW DETAILS (SPACER BARS)

SECTION DETAILS - STANDARD SIMULATED DIVIDED LITES (SDL)



DXF/DWG Library 12/15 Warroad, Minnesota



MARVIN WINDOW SAMPLES W/ HARDISHAKE SIDING

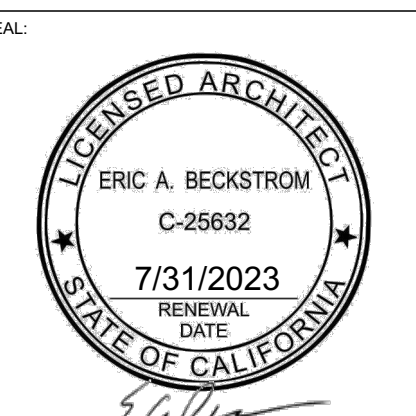
REVISIONS	BY
8/22/2022	EB

BECKSTROM
 ARCHITECTURE + INTERIORS

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Additions and Remodel
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 Carmel, CA 93923
 APN:010-014-010-000

Planning Permit
 Revision 1
 8/22/2022



DRAWING TITLE:
WINDOW & DOOR SCHEDULES & MATERIAL INFO

DRAWN	EB
DATE	8/22/2022
SCALE	1' = 1'-0", 1:1.38
JOB NO.	6
FILENAME	2242 Janz CD3.1.pln
SHEET	

A9.0

- ### ELECTRICAL NOTES
- ELECTRICAL DEVICES ARE SHOWN SCHEMATICALLY. INSTALLATIONS SHALL BE PER CODE AND SHALL BE REVIEWED FOR COMPLIANCE BY THE BUILDING INSPECTOR IN THE FIELD.
 - PROVIDE SEPARATE 20 AMP CIRCUIT REOD. FOR LAUNDRY.
 - PROVIDE ONE (1) 20 AMP CIRCUIT FOR BATH RECEPTACLES, MIN..
 - PROVIDE TWO (2) 20 AMP DEDICATED SMALL APPLIANCE CIRCUITS SERVING COUNTER SURFACES.
 - GFCI RECEPTACLE OUTLETS ARE REQUIRED WITHIN 3' OF THE OUTSIDE EDGE OF EACH BASIN AND SHALL BE LOCATED ON THE WALL OR PARTITION ADJACENT TO THE BASIN.
 - VERIFY POWER AND COMMUNICATION DEVICE SPECIFICATION W/ OWNER/ ARCHITECT PRIOR TO INSTALLATION.
 - CONTRACTOR TO DETERMINE WHERE IC AND NON-IC HOUSING ARE TO BE USED.
 - TEL/ DATA/ND RECEPTACLE OUTLETS TO BE INSTALLED 12" A.F.F., U.O.N.
 - EXHAUST FANS SHALL BE INSTALLED IN EACH BATHROOM AND TO BE ON TIMERS. EXHAUST FANS TO BE CAPABLE OF PROVIDING FIVE (5) COMPLETE AIR CHANGES PER HOUR. VENT EXHAUST FANS TO OUTSIDE AIR.
 - ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE 2010 IRC AND THE HOUSING FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
 - CARBON MONOXIDE ALARMS TO BE INSTALLED IN ALL BEDROOMS, AREAS LEADING TO BEDROOMS AND ONE EVERY LEVEL INCLUDING BASEMENTS, AND SHALL BE INTERCONNECTED.
 - ALL WIRING AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE 2010 CEC AND LOCAL ORDINANCES.
 - ALL 125 VOLT, SINGLE PHASE, 15 & 20-AMP RECEPTACLES INSTALLED IN BATHROOMS, AT KITCHEN COUNTERTOPS, AT LAUNDRY, UTILITY OR WET BAR SINKS WITHIN 6' OF EDGE OF SINK AND ALL OUTDOOR RECEPTACLES, TO BE GFCI PROTECTED, PER CEC ARTICLE 210.8.
 - ALL 120-VOLT, SINGLE PHASE, 15 & 20-AMP BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOM/ AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT INTERRUPTER, PER CEC ARTICLE 210.12(B).
 - ADDITIONAL RECEPTACLE OUTLETS TO BE PLACED AT THE FOLLOWING LOCATIONS:
 - TWELVE (12) FEET O.C. MAX. AND WITHIN 6' OF THE END OF WALLS. WALL SPACES INCLUDED FIXED PANELS IN EXTERIOR WALLS, EXCLUDING SLIDING PANELS AND ALSO FIXED ROOM DIVIDERS SUCH AS BAR TYPE COUNTERS OR RAILINGS, PER CEC ARTICLE 210.52(A)(1) & 210.52(A)(2)(2), (3).
 - ANY WALL SPACE 2' OR MORE WIDE, PER CEC ARTICLE 210.52(E).
 - AN EXTERIOR RECEPTACLE AT THE FRONT AND REAR OF THE HOME. RECEPTACLES TO BE WITHIN 6'-6" OF GRADE AND WATERPROOFED, PER CEC ARTICLE 210.52(E).
 - AT LEAST ONE RECEPTACLE FOR THE LAUNDRY, PER CEC ARTICLE 210.52(F).
 - ALL REQUIRED KITCHEN COUNTERTOP RECEPTACLES SHALL BE LOCATED ABOVE THE COUNTERTOP NOT MORE THAN 20" ABOVE THE COUNTER AND MAY NOT BE INSTALLED FACE-UP IN THE COUNTER. RECEPTACLES CAN BE INSTALLED NO MORE THAN 12" BELOW THE COUNTERTOP WHERE THE COUNTERTOP EXTENDS MORE THAN 6" BEYOND ITS SUPPORT, PER CEC ARTICLE 210.52 (C)(5).
 - ALL 15 & 20-AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.11.
 - When more than one smoke detector or carbon monoxide alarm is required to be installed within an individual dwelling unit, the smoke detector and carbon monoxide alarms shall be interconnected in such manner that the activation of one alarm will activate all of the alarms

- ### LIGHTING NOTES
- LIGHTING FIXTURES DRAWN ARE INTENDED TO CONVEY THE TYPE AND LOCATIONS OF LIGHT FIXTURES AND ALL OTHER CEILING MOUNTED DEVICES. ALL DIMENSIONS ARE FROM FACE OF FINISH SURFACES.
 - ALL DIMENSIONS SHOWN FROM FINISH FLOOR OR FINISH WALL. VERIFY LOCATION AND SPACING OF ALL LIGHT FIXTURES AND OTHER CEILING MOUNTED DEVICES WITH OWNER/ ARCHITECT PRIOR TO INSTALLATION.
 - PROVIDE ALL NECESSARY FRAMING AND BLOCKING TO ACCOMMODATE CEILING MOUNTED FIXTURES & DEVICES. LIGHT SWITCHES WILL BE INSTALLED 48" A.F.F., U.O.N.
 - LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES OR OTHER WET/ DAMP LOCATIONS SHALL BE LABELED 'SUITABLE FOR DAMP LOCATIONS.'
 - KITCHEN LIGHTING: AT LEAST 50% OF INSTALLED WATTAGE MUST BE HIGH EFFICACY.
 - BATH ROOM, LAUNDRY, UTILITY ROOM AND GARAGE LIGHTING SHALL BE HIGH EFFICACY OR SHALL BE CONTROLLED BY A MANUAL-ON OCCUPANT SENSOR.
 - ALL OTHER ROOMS (HALLWAYS, STAIRS, DINING, LIVING, BEDROOMS, ETC. LIGHTING SHALL BE HIGH EFFICACY OR SHALL BE CONTROLLED BY A DIMMER SWITCH. EXCEPTION: CLOSETS LESS THAN 70 SF.
 - ALL OUTDOOR LIGHTING ATTACHED TO THE BUILDING SHALL BE HIGH EFFICACY OR CONTROLLED BY BOTH A MOTION SENSOR AND PHOTOCONTROL.

ADDITIONAL EXTERIOR LIGHTING NOTE:
Residential Buildings/Zones.1. All exterior lighting attached to the main building or any accessory building shall be no higher than 10 feet above the ground and not exceed 25 watts (incandescent equivalent) in power per fixture.2. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property.3. No exterior lighting is permitted on City property and may not be directed toward City property.4. Flood-type lighting is prohibited at all times.

- ### MECHANICAL NOTES
- PLUMBING FIXTURES, ELECTRICAL EQUIPMENT/ PANELS AND MECHANICAL EQUIPMENT ARE SHOWN SCHEMATICALLY. INSTALLATIONS SHALL BE REVIEWED FOR CODE COMPLIANCE BY THE BUILDING INSPECTOR IN THE FIELD.
 - PROVIDE ALL NECESSARY FUEL GAS SUPPLY LINES WITH SHUTOFF VALVES TO ALL GAS FIRED OPERATED APPLIANCES. HYDRONIC (RADIANT) HEAT AND (N) TANKLESS DOMESTIC HOT WATER HEATER IN MAIN HOUSE. MINI-SPLIT HEAT PUMP IN (N) MUSIC STUDIO.
 - ALL WATER CLOSETS ≤ 1.28 GAL./FLUSH, W/ MIN. 15" CLEAR FROM CENTERLINE OF FIXTURE TO SIDE WALL AND 24" CLEAR IN FRONT OF FIXTURE.
 - SINGLE SHOWER HEADS ≤ 1.8 GPM @ 80 PSI; COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE ≤ 1.8 GPM @ 80 PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME.
 - LAVATORY FAUCETS ≤ 1.5 GPM @ 60 PSI AND MAY NOT BE LESS THAN 0.8 GPM @ 20 PSI.
 - KITCHEN FAUCETS ≤ 1.5 GPM @ 60 PSI.
 - ALL EXTERIOR HOSE BIBBS SHALL HAVE AN APPROVED NON-REMOVABLE BACKFLOW PREVENTION DEVICE.
 - ALL HOT WATER PIPES TO BE INSULATED.
 - WATER HAMMER ARRESTER TO BE INSTALLED ON WATER LINES TO ABSORB HIGH PRESSURES RESULTING FROM QUICK CLOSING OF QUICK-ACTING VALVES AND SHALL BE LOCATED AS CLOSE AS POSSIBLE TO THE QUICK ACTING VALVES.
 - PROVIDE RECESSED HOT AND COLD WATER AND DRAIN STANDPIPE AT WASHER.
 - SHOWER COMPARTMENTS SHALL HAVE MIN. FINISHED INTERIOR OF 1,024 SQ. INCHES AND SHALL BE CAPABLE OF ENCOMPASSING A 30" CIRCLE, PER CFC 411.7.
 - PLUMBING FIXTURES, ELECTRICAL EQUIPMENT/ PANELS AND MECHANICAL EQUIPMENT ARE SHOWN SCHEMATICALLY. INSTALLATIONS SHALL BE REVIEWED FOR CODE COMPLIANCE BY THE BUILDING INSPECTOR IN THE FIELD.
 - HVAC SYSTEMS SHALL BE DESIGNED, AND EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
 - HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J - 2004 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS
 - DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D - 2009 (RESIDENTIAL DUCT SYSTEM), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS
 - SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL 2 - 2004 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS
 - HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS AND EQUIPMENT BY A RECOGNIZED TRAINING OR CERTIFICATION PROGRAM.
 - ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES.
 - DRYER VENT: PROVIDE SMOOTH METAL EXHAUST DUCT TO VENT OUTSIDE WITH A MAX. LENGTH OF 14' EQUIPPED W/ A BACK DRAFT DAMPER INCLUDING TWO 90-DEGREE ELBOWS AND A MIN. DIA. OF 4". THE VENT DISCHARGE LOCATION SHALL BE MIN. 3 FEET AWAY FROM ANY OPENING INTO THE BUILDING, PER CMC 504.5.
 - TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS EXHAUST SHALL BE A MIN. OF 3' FROM PROPERTY LINE AND ANY OPENINGS INTO THE BUILDING.
 - ENVIRONMENTAL AIR DUCTS (VENTILATION FOR HUMAN USAGE, KITCHEN RANGE EXHAUST, BATHROOM EXHAUST AND CLOTHES DRYER) SHALL BE EQUIPPED WITH BACK-DRAFT DAMPER.
 - WHOLE HOUSE FAN IAQ - 46.7 CFM, MIN. (TOTAL HABITABLE SF/100) + 7.5x (# OF BEDROOMS+1) = (1670/ 100) + 7.5(4) = 46.7 CFM, FAN TO BE ON AT ALL TIMES W/ A MAX. SOUND RATING OF 1 SONE
 - ALL BATHROOMS REQUIRE MECHANICAL VENTILATION TO THE OUTSIDE WITH A MIN. OF 50CFM. IF THE FAN INCLUDES A LIGHT, THEY MUST BE SWITCHED SEPARATELY, PER CBC 1203.4.2.1, CMC 403.7 & TABLE 4-4, CEC 150(O), AND ASHRAE 62.2.
 - AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE, AND UNTIL FINAL STARTUP OF HVAC EQUIPMENT, ALL DUCT AND OTHER RELATED AIR INTAKE AND DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED.
 - EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:
 - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING
 - UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 - HUMIDITY CONTROLS SHALL BE CAPABLE OF MANUAL OR AUTOMATIC ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF LESS THAN 50% TO A MAXIMUM OF 80%
 - A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL OR BUILT-IN
 - MAXIMUM ALLOWABLE FLOW RATES FOR EXISTING PLUMBING FIXTURES REQUIRED TO COMPLY WITH CIVIL CODE SECTION 1101.1-1101.8, AS FOLLOWS:
 - 1.6 GALLONS PER FLUSH FOR TOILETS
 - 1.0 GALLONS PER FLUSH FOR URINALS
 - 2.5 GPM FOR SHOWERHEAD
 - 2.2 GPM FOR ANY INTERIOR FAUCETS
 THIS COMMENT APPLIES TO EXISTING TO REMAIN PLUMBING FIXTURES ONLY. ALL NEW PLUMBING FIXTURES MUST COMPLY WITH THE REDUCED FLOW RATES SPECIFIED BELOW ARE UNDER CALGREEN COMMENTS.

- ### MECHANICAL NOTES (CONT.)
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 - SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL 2 - 2004 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS
 - HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS AND EQUIPMENT BY A RECOGNIZED TRAINING OR CERTIFICATION PROGRAM.
 - ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES.
 - DRYER VENT: PROVIDE SMOOTH METAL EXHAUST DUCT TO VENT OUTSIDE WITH A MAX. LENGTH OF 14' EQUIPPED W/ A BACK DRAFT DAMPER INCLUDING TWO 90-DEGREE ELBOWS AND A MIN. DIA. OF 4". THE VENT DISCHARGE LOCATION SHALL BE MIN. 3 FEET AWAY FROM ANY OPENING INTO THE BUILDING, PER CMC 504.5.
 - TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS EXHAUST SHALL BE A MIN. OF 3' FROM PROPERTY LINE AND ANY OPENINGS INTO THE BUILDING.
 - ENVIRONMENTAL AIR DUCTS (VENTILATION FOR HUMAN USAGE, KITCHEN RANGE EXHAUST, BATHROOM EXHAUST AND CLOTHES DRYER) SHALL BE EQUIPPED WITH BACK-DRAFT DAMPER.
 - WHOLE HOUSE FAN IAQ - 46.7 CFM, MIN. (TOTAL HABITABLE SF/100) + 7.5x (# OF BEDROOMS+1) = (1670/ 100) + 7.5(4) = 46.7 CFM, FAN TO BE ON AT ALL TIMES W/ A MAX. SOUND RATING OF 1 SONE
 - ALL BATHROOMS REQUIRE MECHANICAL VENTILATION TO THE OUTSIDE WITH A MIN. OF 50CFM. IF THE FAN INCLUDES A LIGHT, THEY MUST BE SWITCHED SEPARATELY, PER CBC 1203.4.2.1, CMC 403.7 & TABLE 4-4, CEC 150(O), AND ASHRAE 62.2.
 - AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE, AND UNTIL FINAL STARTUP OF HVAC EQUIPMENT, ALL DUCT AND OTHER RELATED AIR INTAKE AND DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED.
 - EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:
 - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING
 - UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 - HUMIDITY CONTROLS SHALL BE CAPABLE OF MANUAL OR AUTOMATIC ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF LESS THAN 50% TO A MAXIMUM OF 80%
 - A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL OR BUILT-IN
 - MAXIMUM ALLOWABLE FLOW RATES FOR EXISTING PLUMBING FIXTURES REQUIRED TO COMPLY WITH CIVIL CODE SECTION 1101.1-1101.8, AS FOLLOWS:
 - 1.6 GALLONS PER FLUSH FOR TOILETS
 - 1.0 GALLONS PER FLUSH FOR URINALS
 - 2.5 GPM FOR SHOWERHEAD
 - 2.2 GPM FOR ANY INTERIOR FAUCETS
 THIS COMMENT APPLIES TO EXISTING TO REMAIN PLUMBING FIXTURES ONLY. ALL NEW PLUMBING FIXTURES MUST COMPLY WITH THE REDUCED FLOW RATES SPECIFIED BELOW ARE UNDER CALGREEN COMMENTS.

'DARK SKY' EXTERIOR SCONCES

Bayport Collection Dark Sky 7 3/4"
High Outdoor Porch Wall Light

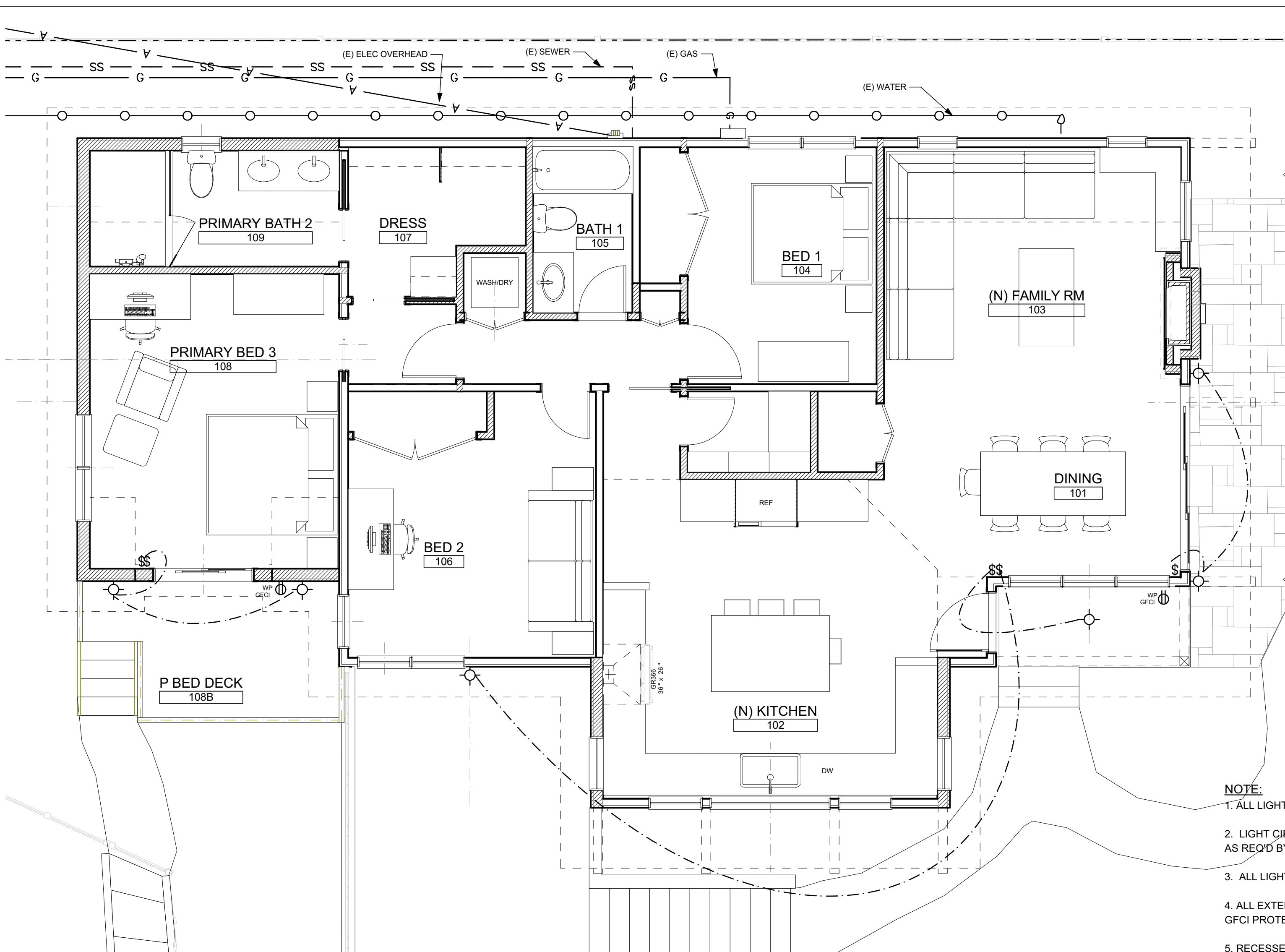
★★★★★ 4 Reviews

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1 ADD TO CART SAVE

Max. 25 watts or 200 Lumens (incandescent equivalent); 2w LED Dimmable light bulb, typical



MAIN FLOOR ELECTRICAL/MECH.

SCALE: 1/4" = 1'-0"

- NOTE:**
- ALL LIGHTS ARE LED, HIGH EFF., PER CEC 150.0(K)1C, UNLESS OTHERWISE NOTED
 - LIGHT CIRCUITS W/ MULTIPLE SWITCHES SHALL BE 3, 4 WAY ETC., AS REQ'D BY CODE
 - ALL LIGHT CIRCUITS TO HAVE ONE DIMMER, REVIEW IN FIELD
 - ALL EXTERIOR RECEPTACLES TO BE WEATHER-PROTECTED AND GFCI PROTECTED, TYP.
 - RECESSED FIXTURES: ICAT RATED PER CEC 150.0(K)1C

- ### ELECTRICAL LEGEND
- STANDARD DUPLEX OUTLET (110 V)
 - GFCI STANDARD DUPLEX OUTLET-GROUND FAULT INTERRUPTER
 - DED DEDICATED CIRCUIT
 - SWITCHED OUTLET
 - WP WATERPROOF STANDARD DUPLEX OUTLET W/G.F.C.I.
 - DUPLEX FLOOR OUTLET
 - S SINGLE POLE SWITCH @ 48", U.O.N.
 - S₃ 3-WAY SWITCH @ 48", U.O.N.
 - S_D DIMMER SWITCH
 - S_{OS} 3-WAY DIMMER SWITCH
 - S_{OS} MANUAL ON WITH OCCUPANCY SENSOR (VACANCY SENSOR)
 - H.EFF HIGH EFFICACY-LED
 - TELEPHONE OUTLET/DATALINE
 - NETWORK-COAX OR CAT6
 - HDMI CABLE
 - DOORBELL
 - SPRINKLER - LOCATION PER CODE
 - TRACK LIGHTING- LED
 - CEILING HUNG PENDANT OR CHANDELIER (BY OWNER)
 - WALL MOUNTED LIGHT FIXTURE
 - SURFACE MOUNTED LIGHT FIXTURE
 - RECESSED DOWN LIGHT, ICAT RATED PER CEC 150.0(K)1C
 - UNDER CABINET FIXTURE - FLOURESCENT
 - STRIP CLOSET FIXTURE-MOUNTED ABOVE DOOR
 - EXHAUST FAN - 50 CFM MIN., ENERGY STAR RATED
 - STATE FIRE MARSHALL APPROVED SMOKE DETECTOR
 - CARBON MONOXIDE DETECTOR/ALARM
 - CARBON MONOXIDE ALARM
 - CEILING MOUNTED FAN
 - SPEAKER-CONFIRM LOCATION W/ ARCH/OWNER

REVISIONS	BY
8/22/2022	EB

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Carmel, CA 93923
APN:010-014-010-000

Planning Permit
Revision 1
8/22/2022

SEAL:

DRAWING TITLE:
ELECTRICAL/MECH PLAN- FIRST FLOOR

DRAWN: EB

DATE: 8/22/2022

SCALE: 1/4" = 1'-0"

JOB NO.: 6

FILENAME: 2242 Janz CD3.1.pln

SHEET: **EM1.0**

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