



## PLANNING APPLICATION FOR NEW GARAGE

### PROJECT INFORMATION

OWNERS : ANDREW AND MARGARET PAUL

ADDRESS : 10 CARMEL WAY  
CARMEL BY THE SEA, CA 93923

CONSTRUCTION TYPE: V-B

OCCUPANCY : MAIN HOUSE R3, GARAGE AND ACCESSORY DWELLING UNIT U/R/S

PROPOSED PARKING : TWO COVERED SPACES  
FIVE UNCOVERED SPACES

LEGAL DESCRIPTION : ASSRS MP WM CRAWFORD PROP  
EL PISCADERO RD & SEC11 T16S R1W DESC  
R119-332 EXC SCENIC EASMT & EXC POR DEEDED TO CRML CTY R1697-46 & EXC POR OUTSIDE CITY.

APN : 010-321-037-000

ZONING : R-1 - P  
LOT SIZE : 1.9969 ACRES / 86,984 SQ. FT.

UTILITY INFORMATION: WATER SERVICE PROVIDED BY CAL-AM WATER COMPANY. SEWER SERVICE PROVIDED BY PG&E AND CARMEL AREA WASTEWATER DISTRICT

TREE REMOVAL : NONE

EARTHWORK : MINOR CUT AND COMPACTED FILL REQUIRED

HOUSE BUILDING PERMIT # : BP17-228

### SCOPE OF WORK :

REMOVE ROOF AND TRELLIS FROM EXISTING MECHANICAL BUILDING TO FREE UP FLOOR AREA FOR CONSTRUCTION OF A NEW 518SF, 2 CAR GARAGE. WORK REQUIRED MINOR DEMOLITION OF STUCCO WALLS AND TRELLIS ROOF AT MECHANICAL BUILDING, REPLACEMENT OF OLD BACKUP GENERATOR, AND CONSTRUCT WOOD GATE TO MATCH GARAGE DOORS TO SCREEN MECHANICAL SPACE. NEW GARAGE OF CARMEL STONE AND LIMESTONE TRIM TO MATCH EXISTING HOUSE. WOOD TRELLIS DETAILED AND PAINTED PALE GRAY TO MATCH EXISTING HOUSE. FLAT MEMBRANE ROOF OF DARK GREEN TO MATCH SURROUNDING FOLIAGE.

THE GARAGE IS BUILT INTO THE GRADE SUCH THAT ONLY THE NORTH ELEVATION 12' TO 14' IS VISIBLE TO 10 CARMEL WAY ONLY. THE SOUTH ELEVATION IS ONLY 30" ABOVE-GRADE BELOW EXISTING 5' HEDGES AND PAINTED DARK GREEN. THE EAST ELEVATION IS COMPLETELY CONCEALED BY THE EXISTING MECHANICAL BUILDING STUCCO WALLS AND TALL HEDGES.

THE GARAGE AND THE ADJACENT COURTYARD EXPANSION RESULTED IN AN ADDITIONAL 608 SF IMPERMEABLE SURFACE.

MULTIPLE AREAS OF EXISTING STONE ON CONCRETE DRIVE AND COURTYARD ARE PROPOSED TO BE DEMOLISHED AND REPLACED WITH LANDSCAPE PERMEABLE AREAS WITH A TOTAL OF 608 SF TO OFFSET THE PROPOSED EQUAL 608 SF OF NEW IMPERMEABLE AREAS.

MINOR LANDSCAPE IMPROVEMENTS AT EAST END OF COURTYARD INCLUDE ADDING DECORATIVE STONE BORDER AND ADJUSTING LOW WALLS TO ALLOW FOR ENTRANCE INTO GARAGE.

### EXISTING FLOOR AREA CALC.

(E) MAIN HOUSE:  
GROUND FLOOR: 6,598 SF + SECOND FLOOR: 3,106 SF = 9,704 SF

(E) GUEST HOUSE:  
GROUND FLOOR: 811 SF + SECOND FLOOR: 626 SF = 1,437 SF

(E) ATTACHED GARAGE: 701 SF

(E) MECHANICAL / STORAGE BUILDING. 518 SF

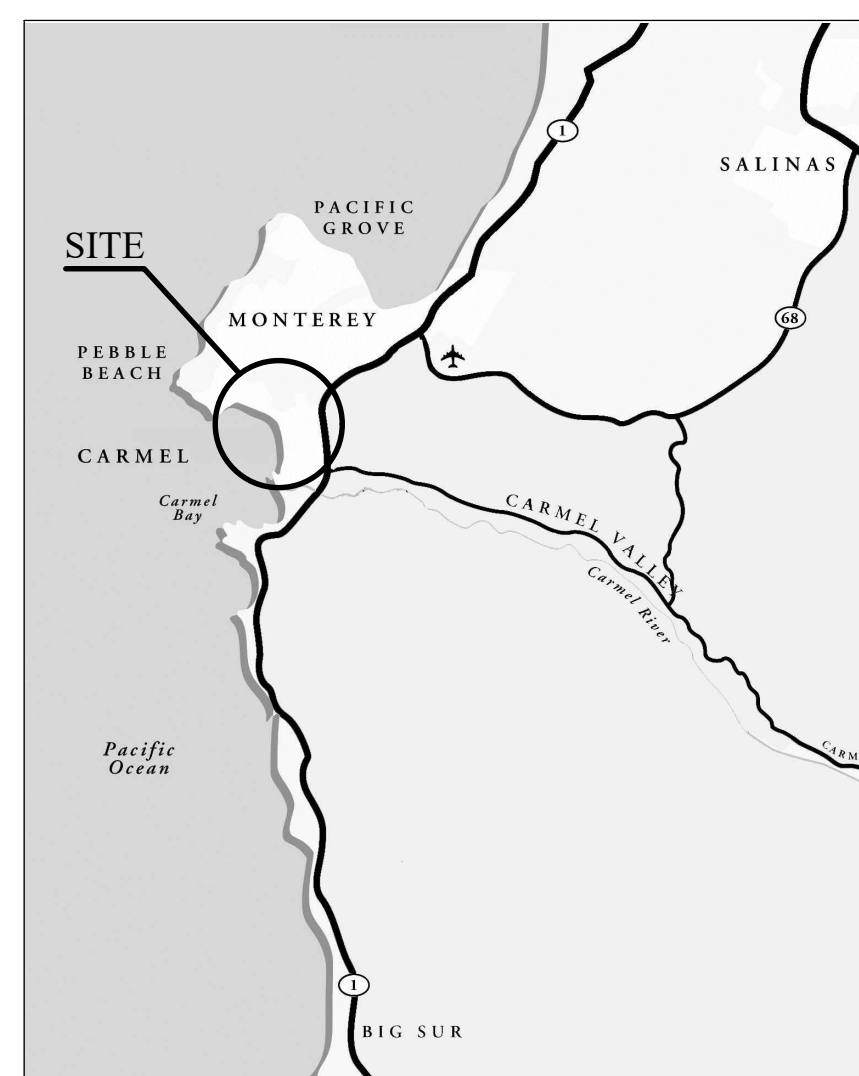
TOTAL EXISTING FLOOR AREA: 12,360 SF

### PROPOSED ADDITIONS AND REDUCTIONS CALCS.

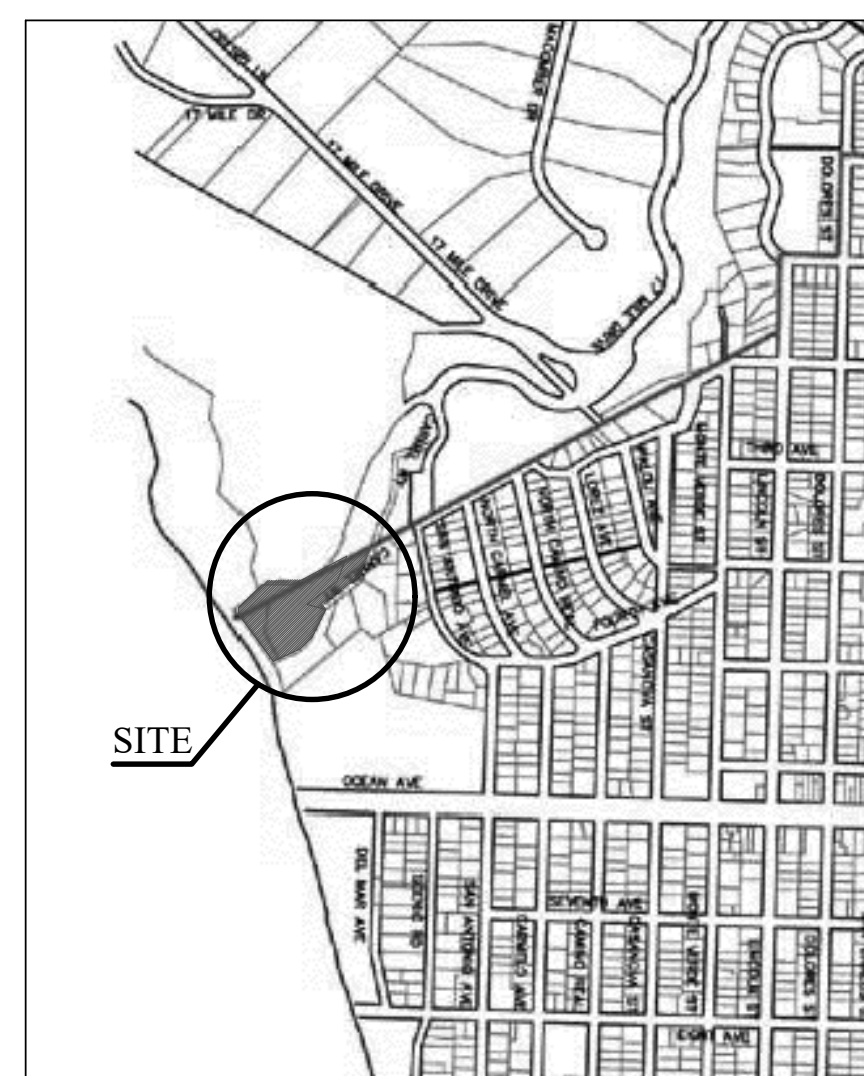
NEW 2 CAR GARAGE 518 SF

REMOVE ROOF FROM EXISTING MECHANICAL / STORAGE BUILDING (518 SF)

TOTAL PROPOSED MAIN HOUSE, GUEST HOUSE, ATTACHED GARAGE AND NEW 2 CAR GARAGE 12,360 SF



VICINITY MAP



LOCATION MAP CARMEL

### BUILDING AND SITE COVERAGE

ITEM	EXISTING	PROPOSED	CHANGE
TOTAL FLOOR AREA SF	12,360	12,360	0
FLOOR AREA RATIO (FA/SITE)	14.2%	14.2%	0%
BUILDING FOOTPRINT SF	9,796	9,796	0
BUILDING COVERAGE (BF/SITE)	10.0%	10.0%	0%
IMPERVIOUS COVERAGE	10,196	10,196	0
SEMI IMPERVIOUS COVERAGE	2,346	2,346	0
TOTAL COVERAGE	12,542	12,542	0

NOTES:  
SEE PLANNING FILE #DS17-065 & BUILDING PERMIT #BP17-228 REGARDING APPROVAL OF EXISTING COVERAGE AND FAR

IN THE CURRENT PLAN THERE IS NO CHANGE TO FLOOR AREA OR FAR. WE REMOVED THE ROOF FROM EXISTING MECHANICAL BUILDING (-518 SF) AND APPLIED IT TO THE NEW ROOFED 2 BAY GARAGE BUILDING. THE PROPOSED 608 SF OF IMPERVIOUS AREA (HARDSCAPE) IS BEING OFFSET BY 608 SF OF NEW PERVIOUS AREA (LANDSCAPED)

### LIST OF DRAWINGS

- A 0.0 COVER SHEET
- A 0.1 SURVEY
- A 1.0 SITE PLAN - EXISTING
- A 1.1 SITE PLAN - PROPOSED
- A 1.2 DETAIL SITE PLAN - EXISTING MECHANICAL AREA
- A 1.3 DETAIL SITE PLAN - PROPOSED GARAGE
- A 1.5 GROUND FLOOR AREA CALCULATIONS
- A 1.6 SECOND FLOOR AREA CALCULATIONS
- A 2.0 PLANS AND ELEVATIONS - EXISTING MECHANICAL
- A 2.1 PLANS AND ELEVATIONS - PROPOSED GARAGE
- C1.1 GRADING AND DRAINAGE PLAN
- L1.0 LANDSCAPE PLAN

### CONSULTANTS:

STRUCTURAL:  
CSILLA M. FOSS, SE  
HOWARD CARTER ASSOCIATES, INC.  
831.373.3119 X224  
CFOSS@REDSHIFT.COM

CIVIL ENGINEER  
RICHARD WEBER, PE, LS, QSD  
WHITSON ENGINEERS  
9699 BLUE LARKSPUR LANE, SUITE 105, MONTEREY,  
CALIFORNIA 93940  
831.649.5225  
831.373.5065

CERTIFIED ARBORIST:  
MAUREEN HAMB  
849 ALMAR AVE  
SUITE C#319  
SANTA CRUZ CA 95060  
831.234.7735  
MAUREENAH@SBCGLOBAL.NET

GEOTECHNICAL ENGINEER:  
HARO KUSUNICH & ASSOCIATES  
116 EAST LAKE AVENUE  
WATSONVILLE, CA  
95076  
831 722 4175

ROBERT JOYCE ARCHITECTURE  
& LANDSCAPE DESIGN  
  
www.robertjoycearchitecture.com

### DRAWING ISSUE

NO.	DATE
1	8/10/21

TEN CARMEL WAY - NEW GARAGE  
CARMEL, CALIFORNIA 93921  
PLANNING APPLICATION SET

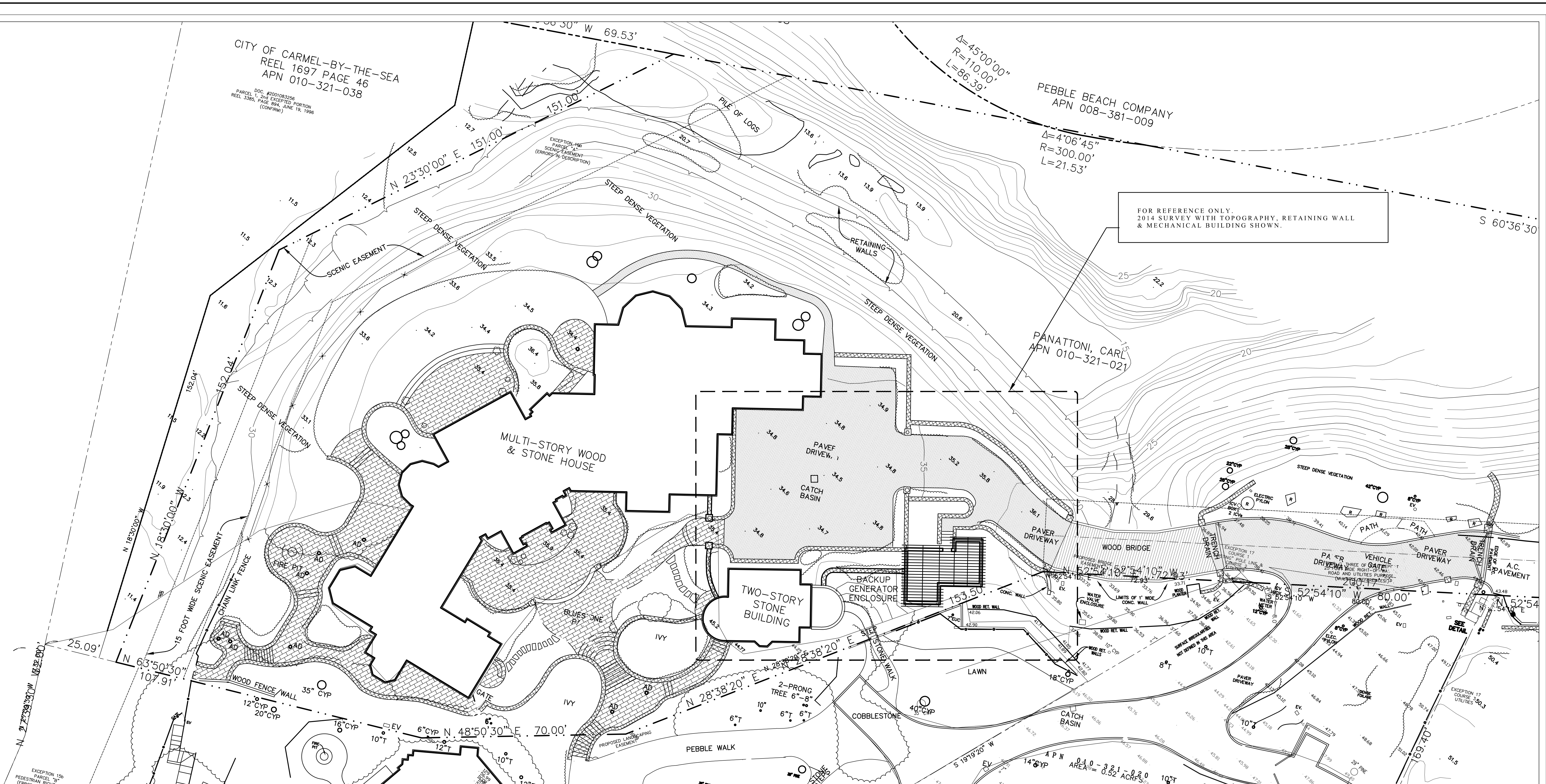
### DRAWING ISSUE

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COVER SHEET BUILDING INFORMATION  
AND STATISTICS

A 0.0





CITY OF CARMEL-BY-THE-SEA  
 REEL 1697 PAGE 46  
 APN 010-321-038

PEBBLE BEACH COMPANY  
 APN 008-381-009

PANATTONI, CARL  
 APN 010-321-021

FOR REFERENCE ONLY.  
 2014 SURVEY WITH TOPOGRAPHY,  
 RETAINING WALL &  
 MECHANICAL BUILDING SHOWN.

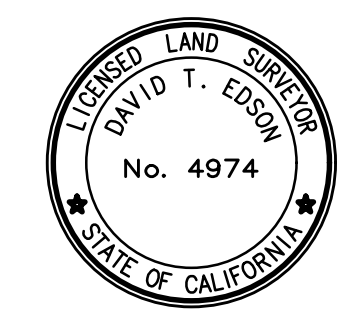
- LEGEND:**
- = WOOD FENCE
  - = WOOD RETAINING WALL
  - = CHAIN LINK FENCE
  - = STONE RETAINING WALL LOCATED BY FIELD SURVEY
  - = WALLS LOCATED BY AERIAL MAPPING IN 2002
  - = STONE PAVING
  - AD = AREA DRAIN
  - CATV = CABLE TELEVISION VAULT
  - EV = ELECTRIC VAULT
  - PG&E = PG&E VAULT
  - R = LARGE ROCK
  - SSCO = SANITARY SEWER CLEANOUT

- NOTES:**
1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
  2. THIS MAP IS A COMPILATION OF AERIAL PHOTOGRAMMETRY AND FIELD SURVEY DATA FROM SEPTEMBER 2013 THROUGH JUNE 2014.
  3. ELEVATIONS SHOWN ARE BASED ON APPROXIMATE MEAN SEA LEVEL DATUM. PROJECT BENCHMARK IS THE FINISHED FLOOR OF CROWS NEST HOUSE.  
 ELEVATION = 47.8 FEET (APPROX. MSL)
  4. CONTOUR INTERVAL = ONE FOOT.
  5. TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. MULTI-PRONGED TREES LABELED "x-p".  
 EUC DENOTES A EUCALYPTUS TREE  
 CYP DENOTES A CYPRESS TREE  
 T DENOTES A TREE

**TOPOGRAPHIC MAP**  
 OF A PORTION OF  
**PARCEL FOUR IN DOCUMENT #2008073450**

CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA

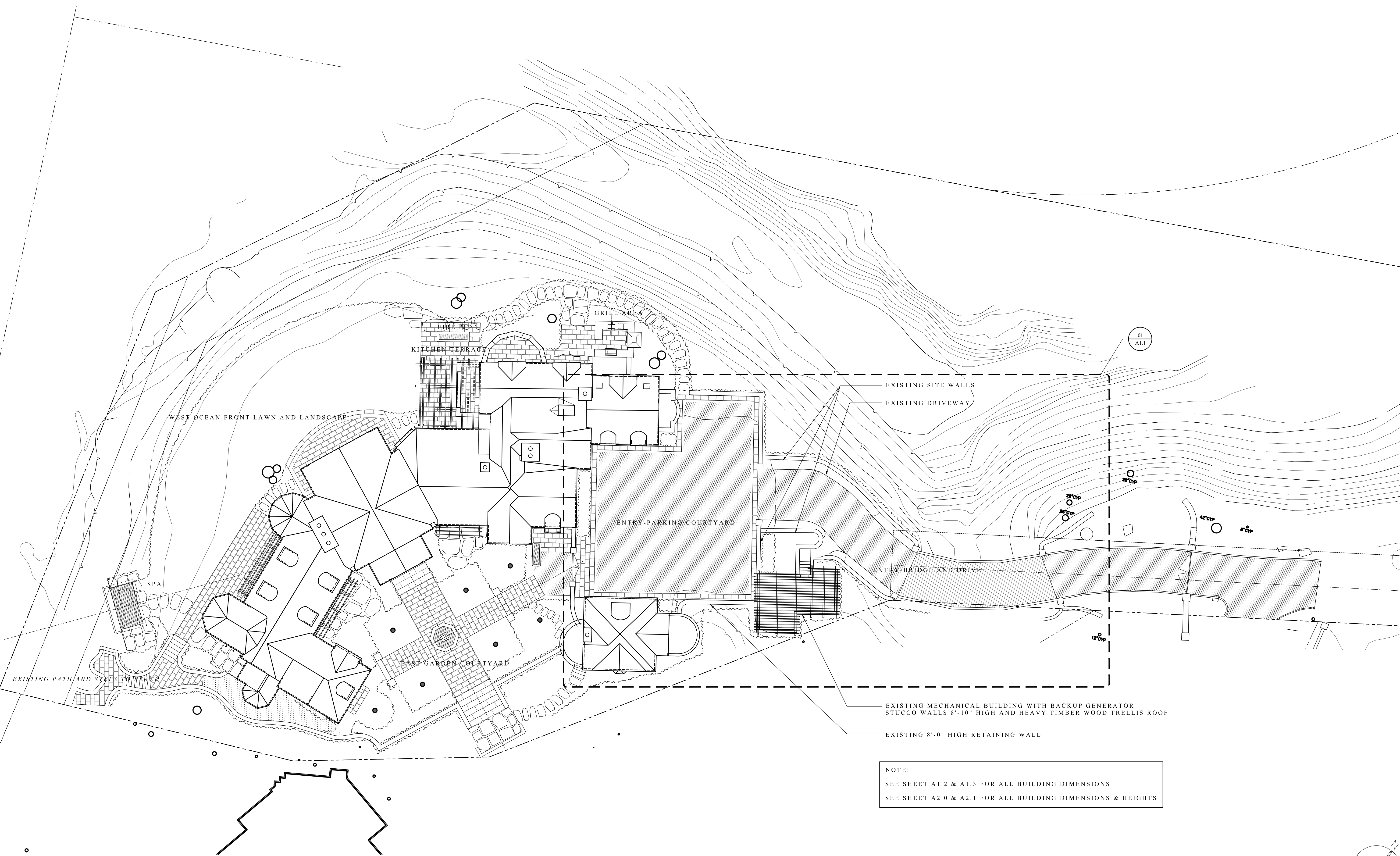
PREPARED FOR  
**Stocker & Allaire**



BY  
**CENTRAL COAST SURVEYORS**  
 5 HARRIS COURT, SUITE N-11 MONTEREY, CALIFORNIA 93940  
 Phone: (831) 394-4930  
 Fax: (831) 394-4931

SCALE: 1" = 20' JOB No. 02-129 DECEMBER 2014  
 PREPARER: DRZ





- EXISTING SITE WALLS
- EXISTING DRIVEWAY
- EXISTING MECHANICAL BUILDING WITH BACKUP GENERATOR  
STUCCO WALLS 8'-10" HIGH AND HEAVY TIMBER WOOD TRELLIS ROOF
- EXISTING 8'-0" HIGH RETAINING WALL

NOTE:  
 SEE SHEET A1.2 & A1.3 FOR ALL BUILDING DIMENSIONS  
 SEE SHEET A2.0 & A2.1 FOR ALL BUILDING DIMENSIONS & HEIGHTS

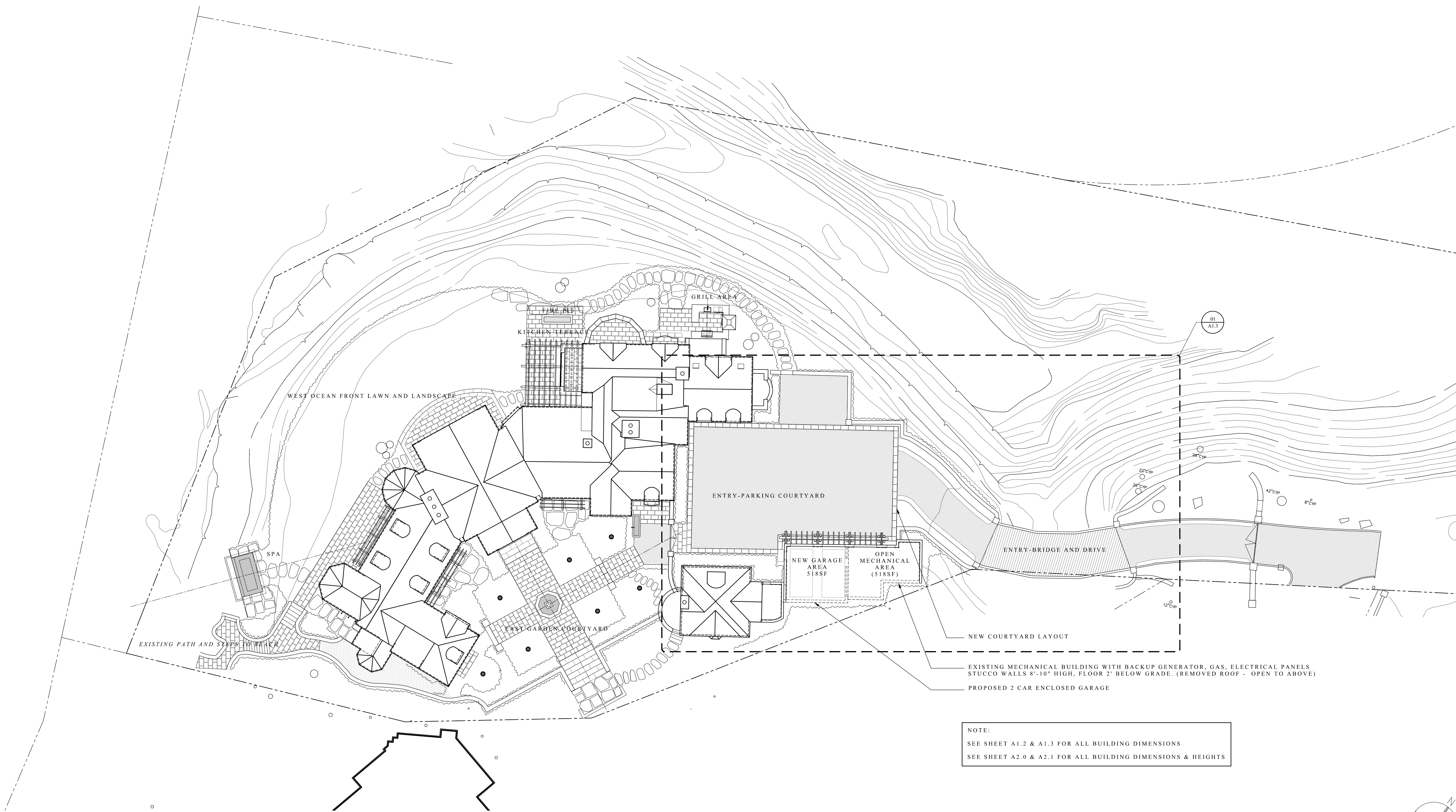
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 & LANDSCAPE DESIGN  
 www.robertjoycearchitecture.com

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NO.	DATE

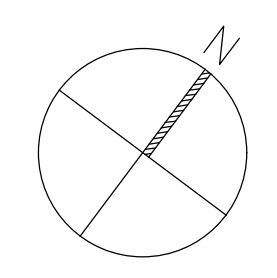
TEN CARMEL WAY - NEW GARAGE  
 CARMEL, CALIFORNIA 93921  
 PLANNING APPLICATION SET

DRAWING ISSUE	
NO.	DATE
1	8/10/21

EXISTING HOUSE SITE PLAN  
 SCALE 1"=20'-0"  
A 1.0



NOTE:  
 SEE SHEET A1.2 & A1.3 FOR ALL BUILDING DIMENSIONS  
 SEE SHEET A2.0 & A2.1 FOR ALL BUILDING DIMENSIONS & HEIGHTS



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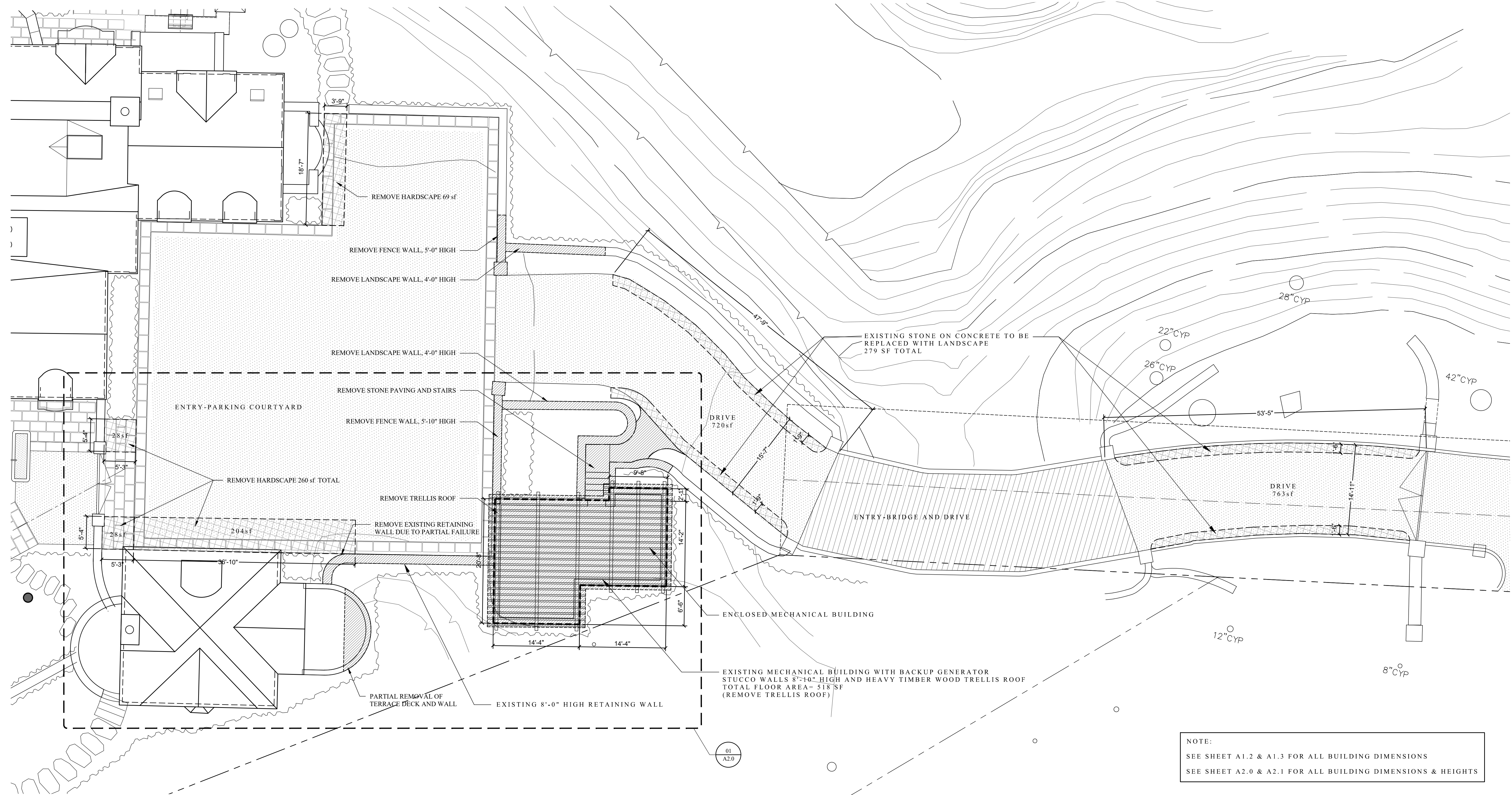
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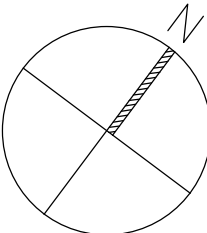
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PROPOSED GARAGE SITE PLAN  
 SCALE 1"=20'-0"  
**A 1.1**





NOTE:  
SEE SHEET A1.2 & A1.3 FOR ALL BUILDING DIMENSIONS  
SEE SHEET A2.0 & A2.1 FOR ALL BUILDING DIMENSIONS & HEIGHTS



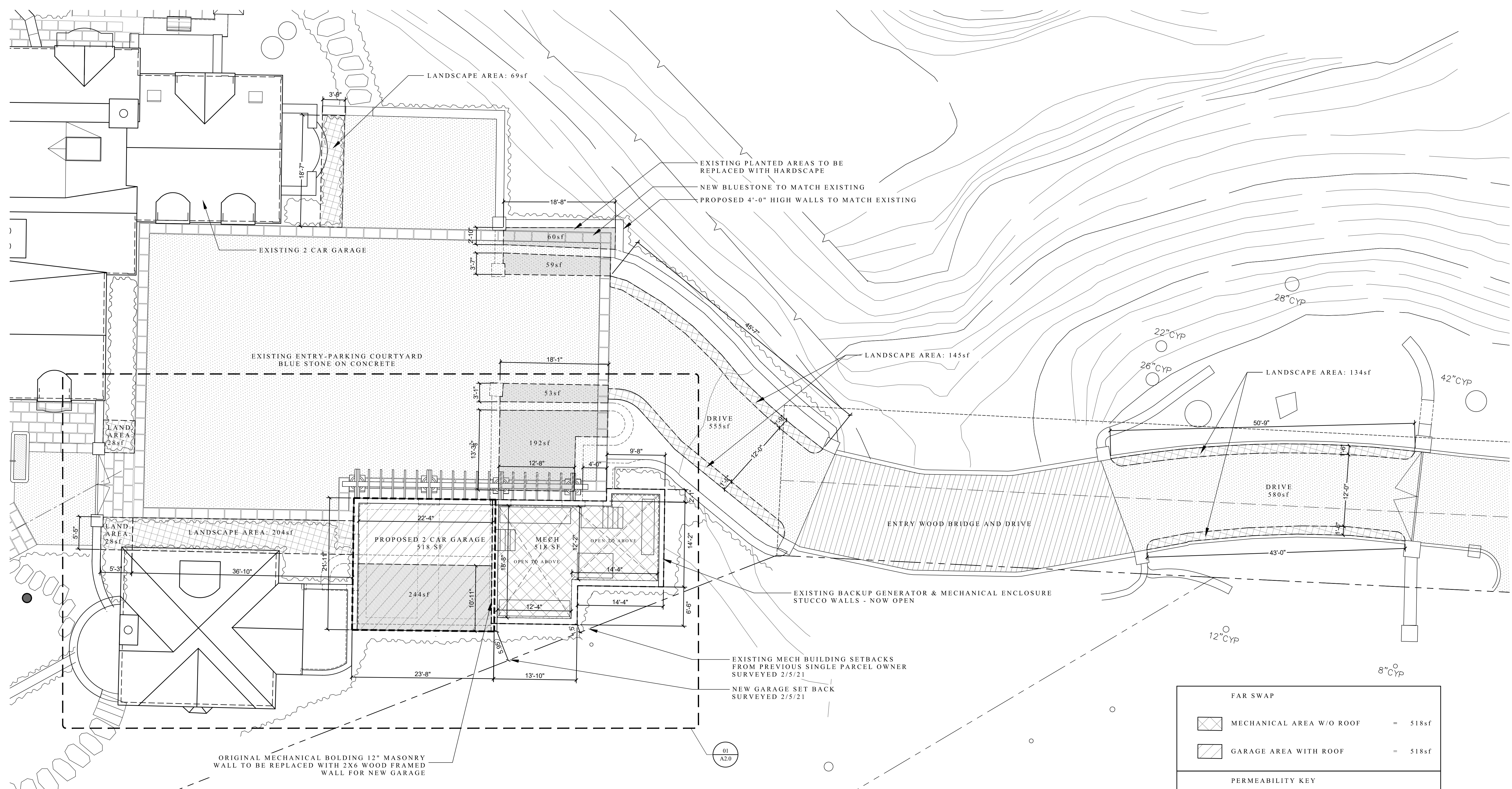
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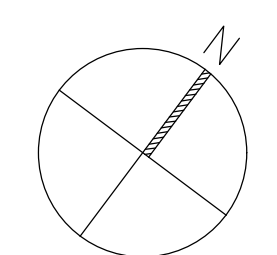
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EXISTING HOUSE SITE PLAN DETAIL  
WITH AREAS OF DEMOLITION  
SCALE 1/8" = 1'-0"  
**A 1.2**



NOTE:  
SEE SHEET A1.2 & A1.3 FOR ALL BUILDING DIMENSIONS  
SEE SHEET A2.0 & A2.1 FOR ALL BUILDING DIMENSIONS & HEIGHTS

FAR SWAP	
	MECHANICAL AREA W/O ROOF = 518sf
	GARAGE AREA WITH ROOF = 518sf
PERMEABILITY KEY	
	ADDED IMPERMEABLE AREAS = 608sf
	ADDED PERMEABLE AREAS = 608sf
TOTAL IMPERMEABLE AREA - PERMEABLE AREA = 0sf	



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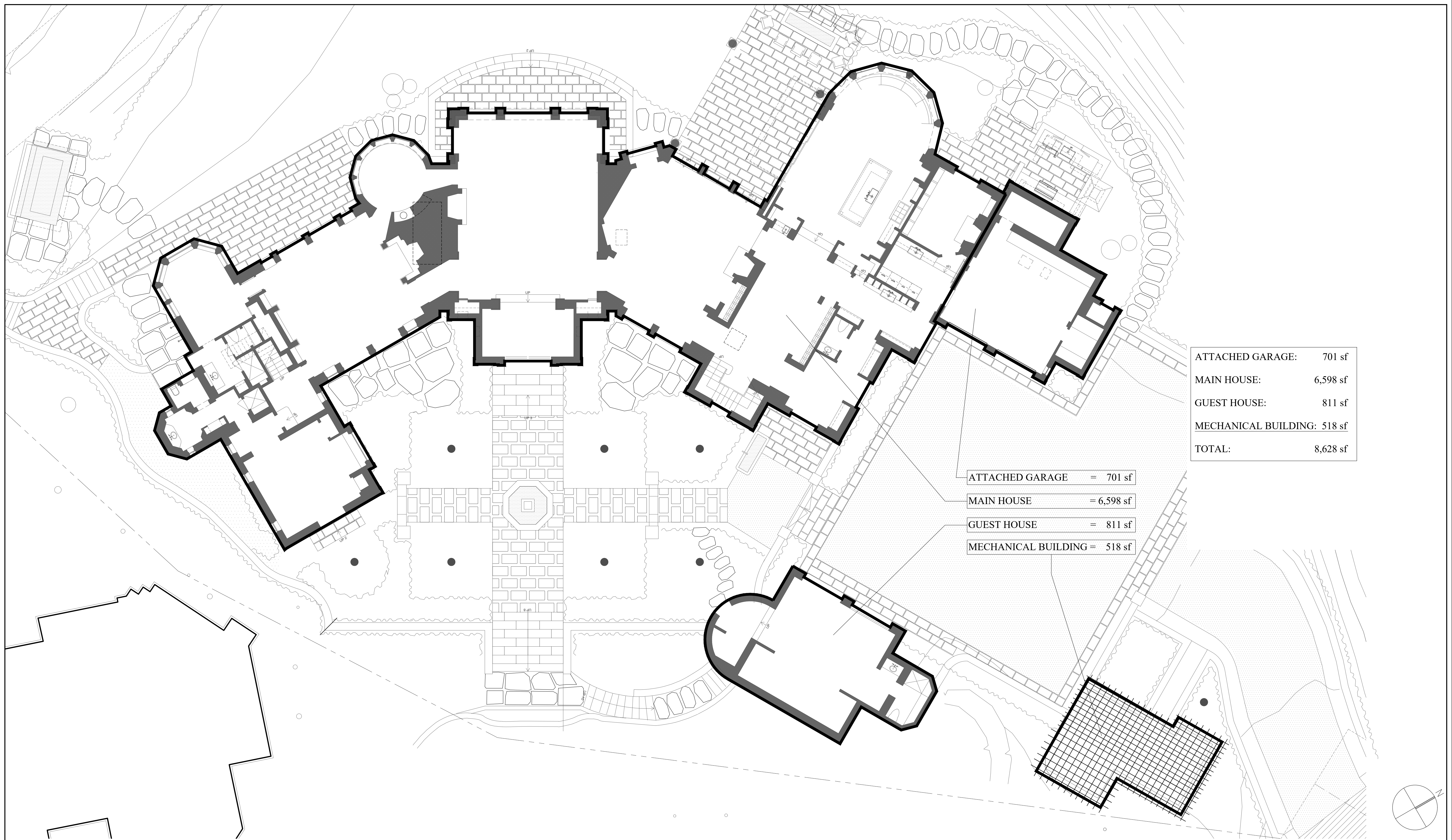
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PROPOSED HOUSE SITE PLAN  
DETAIL  
SCALE 1/8" = 1'-0"

**A 1.3**





ATTACHED GARAGE:	701 sf
MAIN HOUSE:	6,598 sf
GUEST HOUSE:	811 sf
MECHANICAL BUILDING:	518 sf
TOTAL:	8,628 sf

ATTACHED GARAGE	=	701 sf
MAIN HOUSE	=	6,598 sf
GUEST HOUSE	=	811 sf
MECHANICAL BUILDING	=	518 sf

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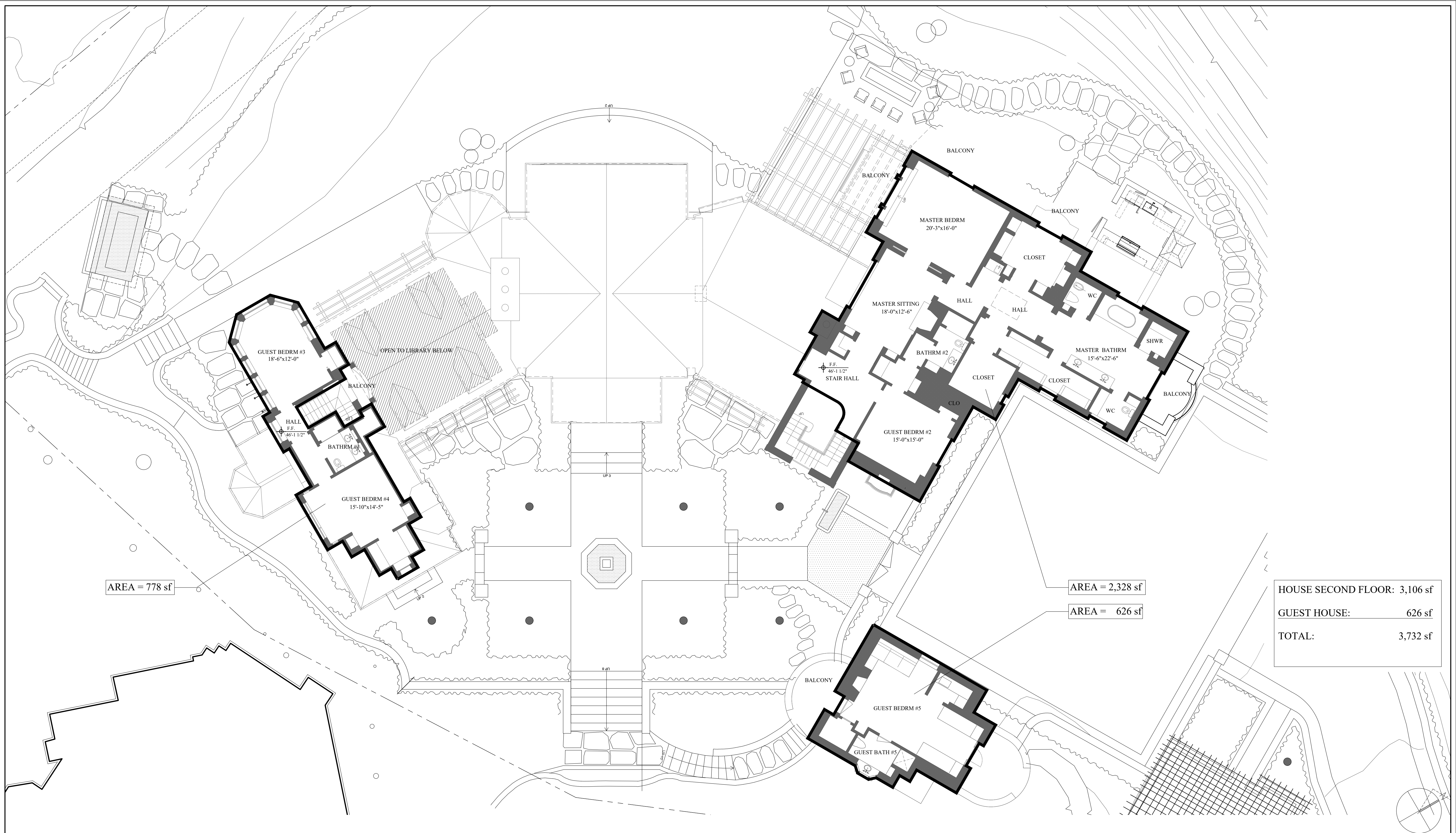
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EXISTING HOUSE GROUND FLOOR PLAN  
AREA CALCULATIONS  
SCALE 1/8" = 1'-0"  
**A 1.5**





HOUSE SECOND FLOOR:	3,106 sf
GUEST HOUSE:	626 sf
TOTAL:	3,732 sf

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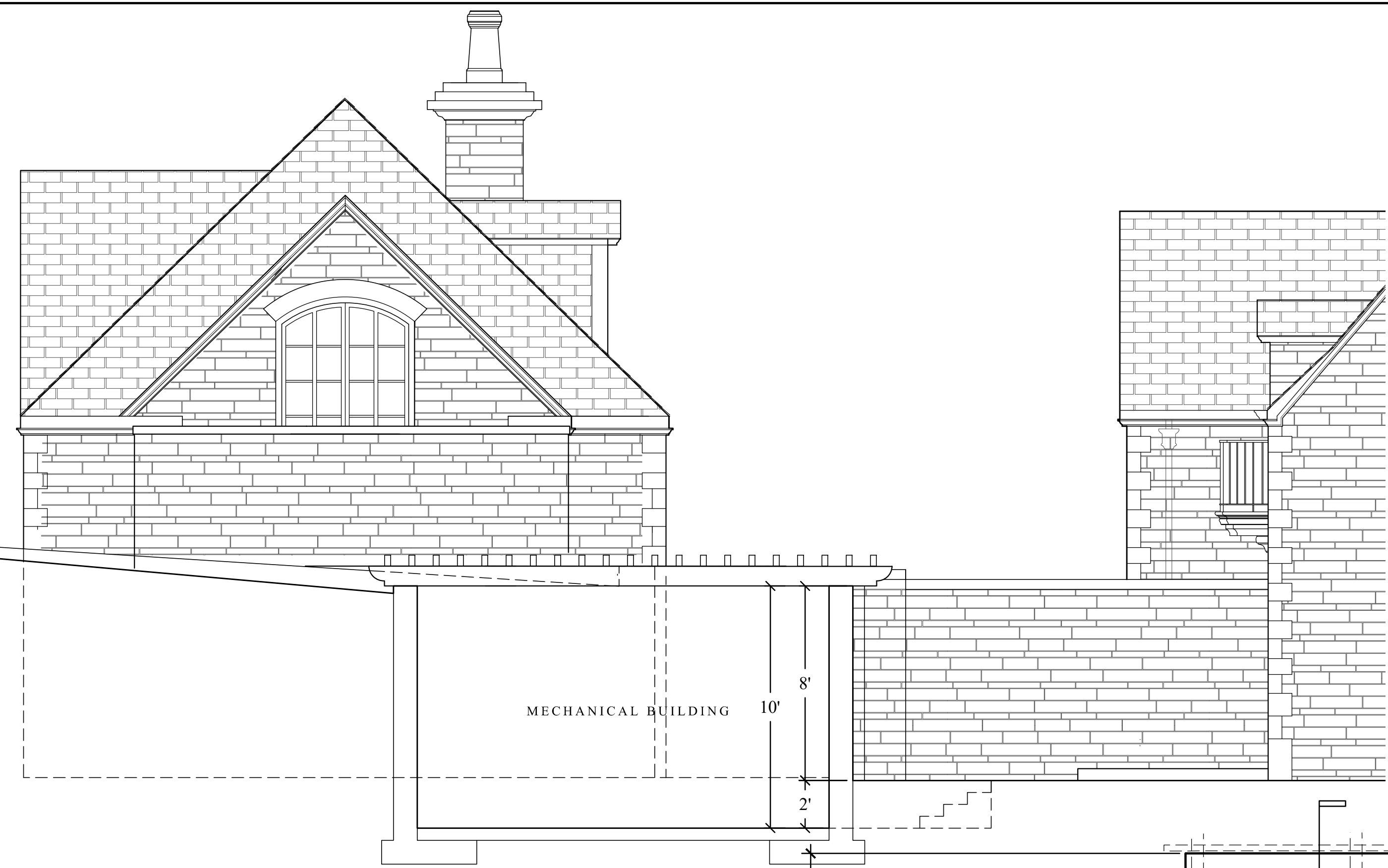
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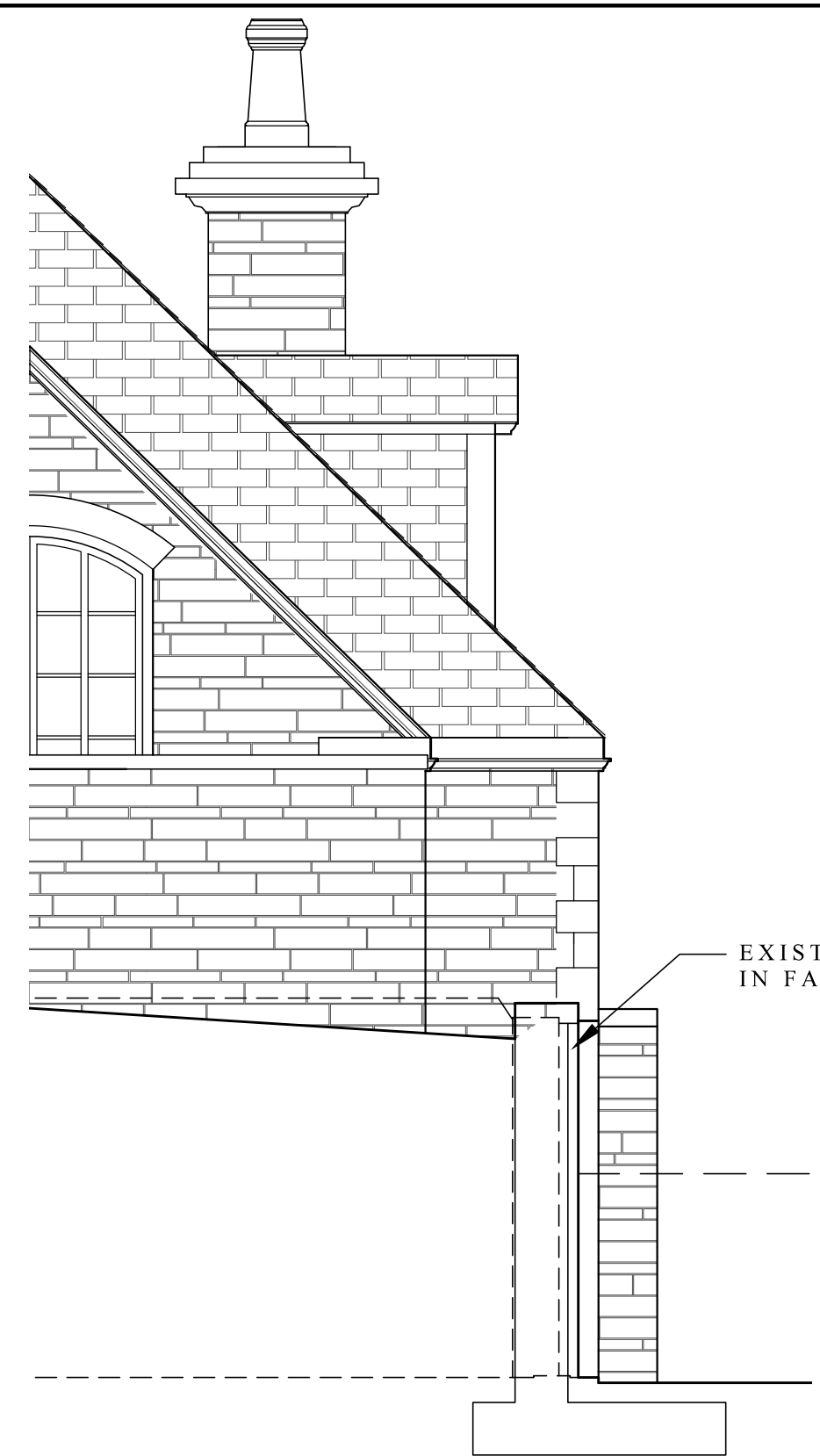
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EXISTING HOUSE SECOND FLOOR PLAN  
AREA CALCULATIONS  
SCALE 1/8" = 1'-0"  
**A 1.6**

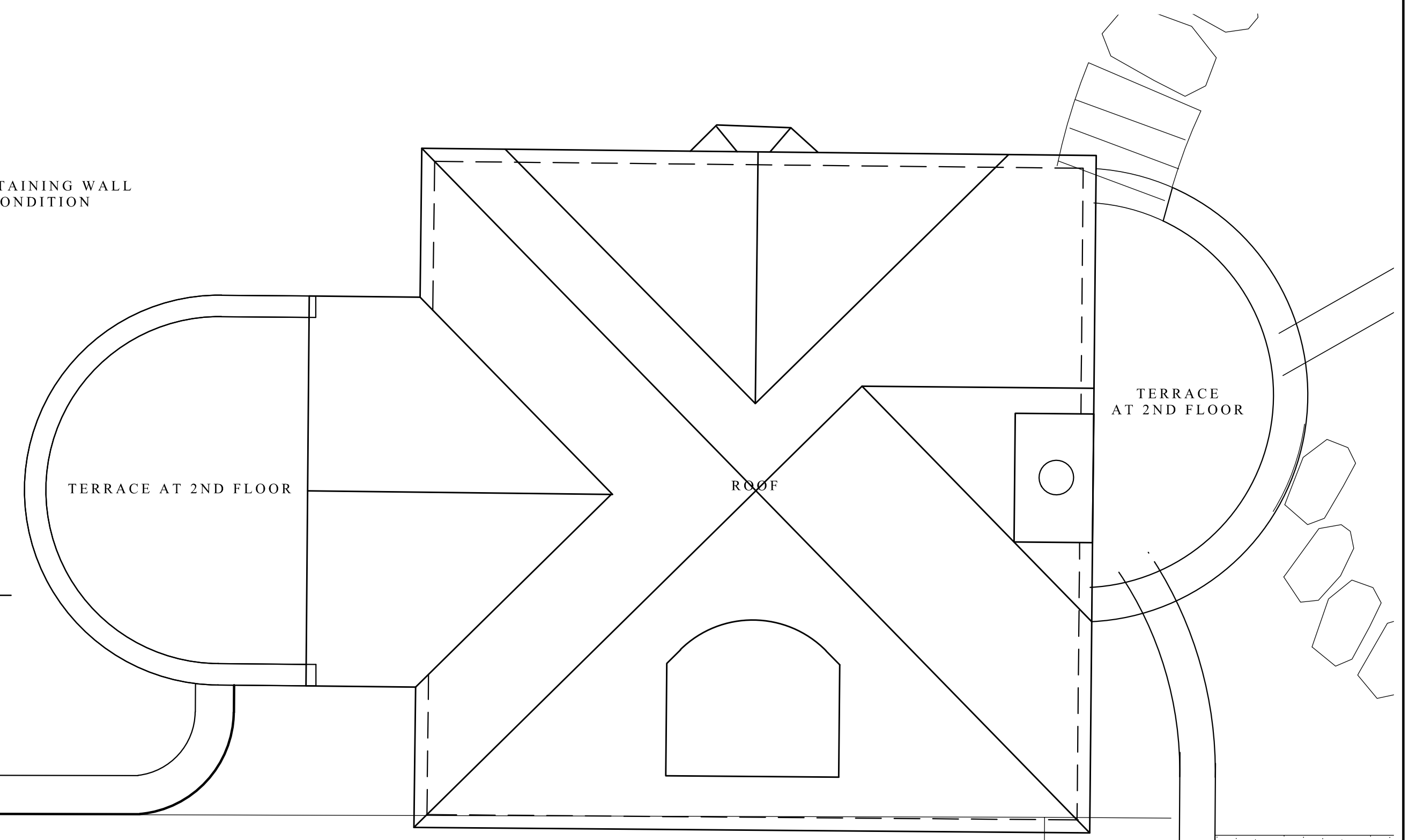




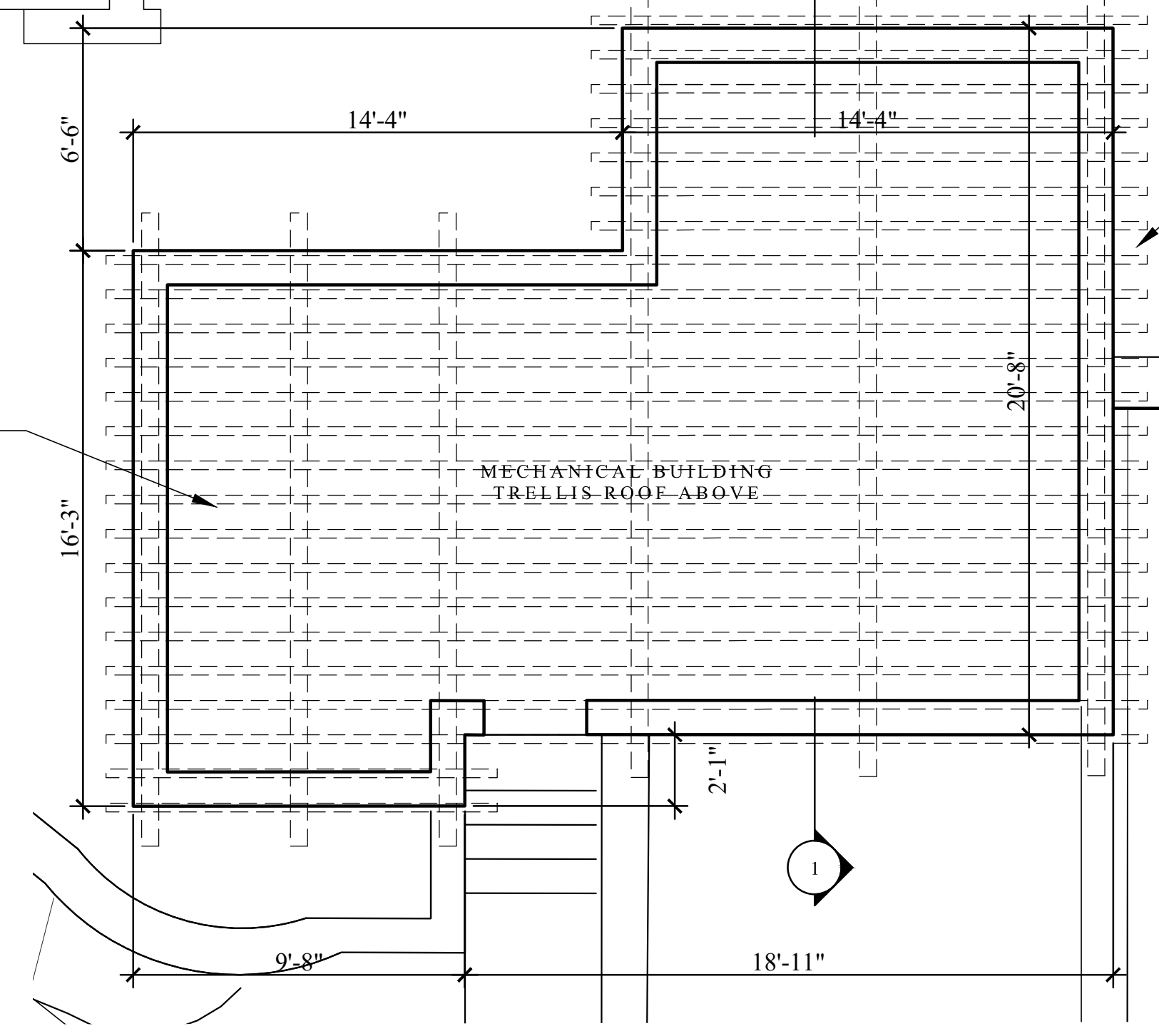
01 NORTH - SOUTH CROSS SECTION AT MECHANICAL BUILDING  
SCALE: 1/4"=1'-0"



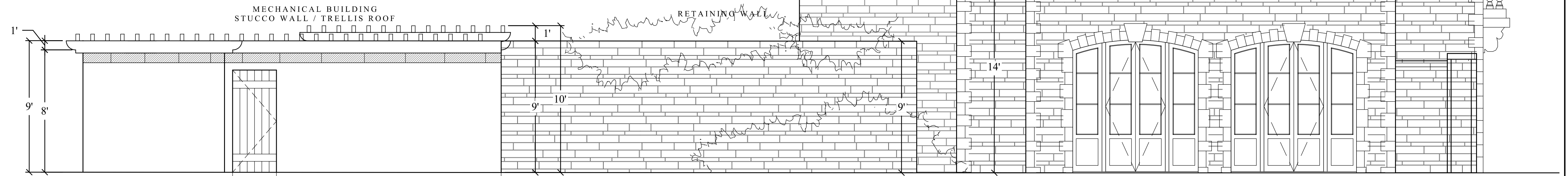
04 SECTION AT RETAINING WALL  
SCALE: 1/4"=1'-0"



EXISTING MECHANICAL BUILDING IS 516sf OF ENCLOSED SPACE



02 MECHANICAL BUILDING & RET. WALL PLAN  
SCALE: 1/4"=1'-0"



03 NORTH ELEVATION  
SCALE: 1/4"=1'-0"

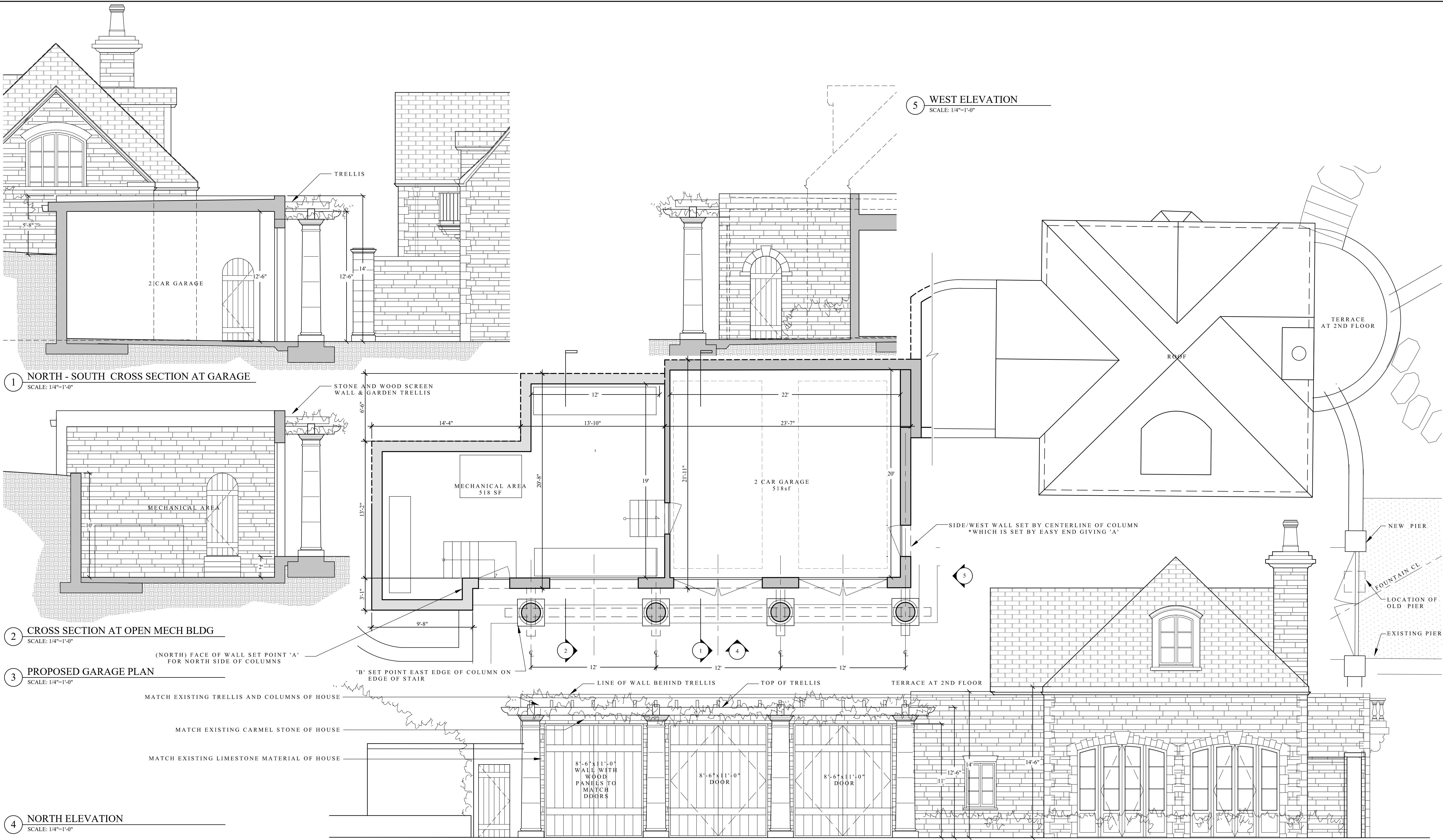
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EXISTING MECHANICAL BUILDING  
& RETAINING WALL  
PLANS & ELEVATIONS  
SCALE 1/4"=1'-0"  
A 2.0



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PROPOSED GARAGE PLANS & ELEVATIONS  
SCALE 1/4"=1'-0"  
**A 2.1**



**GENERAL**

- CONSTRUCTION CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL(S) HARMLESS FROM ANY AND ALL LIABILITY, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL(S).
- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH:
  - ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, ORDINANCES, AND RULES, INCLUDING WITHOUT LIMITATION: CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIVE CODE (CAL-OSHA)  
CALIFORNIA CODE 4216 - PROTECTION OF UNDERGROUND INFRASTRUCTURE
  - THE 2019 CALIFORNIA BUILDING STANDARDS CODE (CCR TITLE 24), WITH AMENDMENTS ADOPTED BY THE CITY OF CARMEL
  - CALIFORNIA EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
  - THE PROJECT PLANS AND SPECIFICATIONS
  - THE 2010 EDITION OF "STANDARD SPECIFICATIONS," STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION (CALTRANS)
  - THE 2010 EDITION OF "STANDARD PLANS," STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION (CALTRANS)
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL CURRENTLY APPLICABLE SAFETY LAWS OF ALL APPLICABLE JURISDICTIONAL BODIES. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, SALINAS, CALIFORNIA AT PHONE (831) 443-3050.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES AND CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA.
- PROPERTY IS NOT SUBJECT TO INUNDATION OR 100 YEAR FLOOD LEVELS.
- ESTIMATED START: TBD , ESTIMATED COMPLETION: TBD.
- SEE ARCHITECTURAL/LANDSCAPE PLANS AND/OR THE PROJECT ARBORIST'S REPORT FOR TREE PROTECTION AND REMOVAL REQUIREMENTS.
- IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A

QUALIFIED PROFESSIONAL ARCHEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAEOLOGIST (I.E. AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.

**SURVEY AND EXISTING CONDITIONS**

- TOPOGRAPHIC SURVEY WAS PROVIDED BY OTHERS, AND THE ENGINEER MAKES NO CLAIM AS TO ITS ACCURACY.
- ALL EXISTING GRADE CALLOUTS ON THE PLANS SHALL BE FIELD VERIFIED FOR EXACT LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER IN THE CASE OF ANY FIELD DISCREPANCY.
- THE CONSTRUCTION CONTRACTOR SHALL MAINTAIN A CURRENT, COMPLETE, AND ACCURATE RECORD OF ALL DEVIATIONS FROM THE WORK PROPOSED IN THESE PLANS AND SPECIFICATIONS, AND A RECORD DRAWING SET SHALL BE PREPARED AND PROVIDED TO THE ENGINEER AT THE COMPLETION OF WORK. CHANGES SHALL NOT BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE DESIGN ENGINEER.
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND FACILITIES ARE SHOWN ON THESE PLANS IN A GENERAL WAY ONLY. NOT ALL UTILITIES MAY BE SHOWN. IT IS MANDATORY THAT THE CONTRACTOR EXPOSE AND VERIFY THE TOP AND BOTTOM OF ALL UTILITIES PRIOR TO ANY WORK ON SYSTEMS WHICH MAY BE AFFECTED BY THE EXISTING UTILITY'S LOCATION. IT IS THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE THE FINAL DETERMINATION AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND TO BRING ANY DISCREPANCY TO THE ATTENTION OF THE ARCHITECT.
- BOUNDARY INFORMATION SHOWN IS FROM RECORD DATA. A BOUNDARY SURVEY WAS NOT PERFORMED AS A PART OF THIS WORK. THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.

**GRADING AND DRAINAGE**

- ONSITE GRADING AND EARTHWORK, SITE PREPARATION, EXCAVATION, TRENCHING AND COMPACTION SHALL BE OBSERVED AND TESTED BY THE GEOTECHNICAL ENGINEER DESIGNATED BY THE OWNER. ALL GRADING AND EARTHWORK SHALL BE DONE TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- SPECIAL INSPECTIONS BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.

- SHOULD THE RESULTS OF ANY COMPACTION TEST FAIL TO MEET THE MINIMUM REQUIRED DENSITY AS SPECIFIED ON THESE PLANS OR IN THE GEOTECHNICAL REPORT, THE DEFICIENCY SHALL BE CORRECTED TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER AT THE CONTRACTOR'S EXPENSE. THE EXPENSE OF RETESTING SUCH AREAS SHALL ALSO BE BORNE BY THE CONTRACTOR, AT NO COST TO THE OWNER.
- NOTIFY THE GEOTECHNICAL ENGINEER AT LEAST FOUR (4) WORKING DAYS PRIOR TO ANY GRADING OR FOUNDATION EXCAVATION.
- ALL SOILS UTILIZED FOR FILL PURPOSES SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE COMMENCEMENT OF GRADING OPERATIONS. IMPORTED SOILS SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE BEING BROUGHT TO THE SITE.
- EXCAVATION FOR ANY PURPOSE SHALL NOT REMOVE LATERAL SUPPORT FROM ANY FOUNDATION WITHOUT FIRST UNDERPINNING OR PROTECTING THE FOUNDATION AGAINST SETTLEMENT OR LATERAL TRANSLATION. THE EXCAVATION OUTSIDE THE FOUNDATION SHALL BE BACKFILLED WITH SOIL THAT IS FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS, COBBLES AND BOULDERS OR WITH A CONTROLLED LOW-STRENGTH MATERIAL (CLSM). THE BACKFILL SHALL BE PLACED IN LIFTS AND COMPACTED IN A MANNER THAT DOES NOT DAMAGE THE FOUNDATION OR THE WATERPROOFING OR DAMPPROOFING MATERIAL. EXCEPTION: CLSM NEED NOT BE COMPACTED (REF. 2013 CBC 1804.1-1804.2)
- IMPERVIOUS SURFACES ADJACENT TO STRUCTURES SHALL SLOPE A MINIMUM OF 2% AWAY FROM THE STRUCTURE FOR A MINIMUM DISTANCE OF 10 FEET, UNLESS OTHERWISE SHOWN. LANDSCAPE AREAS ADJACENT TO STRUCTURES SHALL SLOPE A MINIMUM OF 5% AWAY FROM THE STRUCTURE FOR A MINIMUM DISTANCE OF 10 FEET, UNLESS OTHERWISE SHOWN. (REF. 2013 CBC 1804.3)
- RELATIVE COMPACTION SHALL BE EXPRESSED AS A PERCENTAGE OF THE MAXIMUM DRY DENSITY OF THE MATERIAL AS DETERMINED BY ASTM TEST D-1557. IN-PLACE DENSITY TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM TESTS D-1556 AND D-6938.
- GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING STRUCTURES, OBSTRUCTIONS, TREES SHOWN TO BE REMOVED, VEGETATION, ORGANIC-LADEN TOPSOIL, LARGE ROOTS, DEBRIS, AND OTHER DELETERIOUS MATERIALS. BURIED SUBSURFACE OBJECTS ENCOUNTERED, OR VOIDS CREATED DURING SITE PREPARATION SHALL BE CALLED TO THE ATTENTION OF THE GEOTECHNICAL ENGINEER.
- SURPLUS EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE SITE IN A LEGAL MANNER.
- SUBGRADE PREPARATION AND ENGINEERED FILL THAT SUPPORTS FOOTINGS, SLABS, PAVEMENTS, AND FLATWORK SHALL EXTEND AT LEAST 1 FOOT BEYOND THE LIMITS OF PROPOSED IMPROVEMENTS.
- FOOTINGS LOCATED ADJACENT TO OTHER FOOTINGS OR RETAINING WALLS SHALL HAVE THEIR BEARING SURFACES FOUNDED BELOW A 2:1 (H:V) LINE PROJECTED UPWARD FROM THE BOTTOM EDGE OF THE ADJACENT FOOTING, WALL, OR UTILITY TRENCH.

- FOLLOWING CLEARING AND STRIPPING, EXPOSED SUBGRADES IN AREAS TO RECEIVE ENGINEERED FILL, STRUCTURES, PAVEMENTS, CONCRETE SLABS, OR OTHER IMPROVEMENTS SHALL BE SCARIFIED TO A DEPTH OF 6 INCHES, MOISTURE CONDITIONED, AND UNIFORMLY COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
- THE GEOTECHNICAL ENGINEER SHALL INSPECT ALL SURFACES TO RECEIVE FILL PRIOR TO THE PLACEMENT OF ANY FILL.
- ENGINEERED FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8 INCHES IN LOOSE THICKNESS, MOISTURE CONDITIONED, AND COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION.
- CUT/FILL SLOPES SHALL BE NO STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2H:1V) UNLESS OTHERWISE APPROVED AT THE TIME OF GRADING BY THE GEOTECHNICAL ENGINEER.
- WHERE EXISTING GRADE IS AT A SLOPE OF 5H:1V (20%) OR STEEPER AND THE DEPTH OF THE FILL EXCEEDS 5 FEET, BENCHING SHALL BE PROVIDED. A TOE KEY SHALL BE CUT A MINIMUM DEPTH OF 2 FEET INTO UNDISTURBED SOILS TO THE INSIDE OF THE FILL'S TOE. THIS KEY SHALL BE A MINIMUM OF 10 FEET WIDE AND SLOPE AT NO LESS THAN 5% INTO THE SLOPE. AS THE FILL ADVANCES UP-SLOPE, BENCHES AT LEAST 3 FEET WIDE, OR TWICE THE WIDTH OF THE COMPACTION EQUIPMENT, WHICHEVER IS WIDER, SHALL BE SCARIFIED INTO THE FILL/UNDISTURBED SOIL INTERFACE.
- ENGINEERED FILL IN BUILDING AREAS, STRUCTURAL BACKFILL, AND THE UPPER 6" BELOW FLATWORK AND PAVEMENT SHALL BE COMPACTED TO A MINIMUM OF 95% OF ITS MAXIMUM DRY DENSITY.
- ALL RE-COMPACTED AND ENGINEERED FILL SOILS SHALL BE COMPACTED WITHIN 2 PERCENT OF THE LABORATORY OPTIMUM MOISTURE CONTENT FOR THE SOIL.
- ON-SITE NON-ORGANIC SOIL IS GENERALLY ACCEPTABLE FOR USE AS ENGINEERED FILL. NATIVE SOIL USED AS ENGINEERED FILL SHALL MEET THE FOLLOWING REQUIREMENTS:
  - SOIL SHALL BE FREE OF ORGANICS, DEBRIS, AND OTHER DELETERIOUS MATERIALS.
  - ROCK OVER 6 INCHES IN ITS MAXIMUM DIMENSION MAY NOT BE USED IN AN ENGINEERED FILL.
  - IMPORTED SOIL USED AS GENERAL ENGINEERED FILL SHALL MEET THE FOLLOWING REQUIREMENTS:
    - SOIL SHALL BE FREE OF ORGANIC AND DELETERIOUS MATERIALS, OR RECYCLED MATERIALS SUCH AS ASPHALTIC CONCRETE, CONCRETE, BRICK, ETC.
    - SOIL SHALL NOT CONTAIN ANY ROCKS OR CLODS OVER 4 INCHES IN MAXIMUM DIMENSION, AND SHALL NOT CONTAIN OVER 15 PERCENT BY WEIGHT ROCKS LARGER THAN 2 INCHES.
    - SOIL SHALL BE GRANULAR, HAVING A PLASTICITY INDEX OF LESS THAN 15, AND NOT MORE THAN 20 PERCENT BY WEIGHT PASSING

THE #200 SEIVE

- SOIL SHALL HAVE SUFFICIENT BINDER TO ALLOW EXCAVATIONS TO STAND WITHOUT CAVING
- THE PORTION FINER THAN THE NO. 200 SIEVE SHALL NOT CONTAIN ANY EXPANSIVE CLAYS.

22. IN THE EVENT THAT ANY UNUSUAL CONDITIONS ARE ENCOUNTERED DURING GRADING OPERATIONS WHICH ARE NOT COVERED BY THE SOIL INVESTIGATION OR SPECIFICATIONS, THE SOILS ENGINEER SHALL BE IMMEDIATELY NOTIFIED SUCH THAT ADDITIONAL RECOMMENDATIONS MAY BE MADE.

**POST CONSTRUCTION REQUIREMENTS SUMMARY**

APPLICABLE POST CONSTRUCTION REQUIREMENTS: NONE  
SINGLE FAMILY HOME THAT CREATES OR REPLACES < 2,500 SF IMPERVIOUS AREA

NEW IMPERVIOUS AREA 608 SF  
REPLACED IMPERVIOUS AREA 1,036 SF (MECHANICAL AREA AND GARAGE AREA)  
TOTAL NEW AND REPLACED IMPERVIOUS AREA 1,644 SF

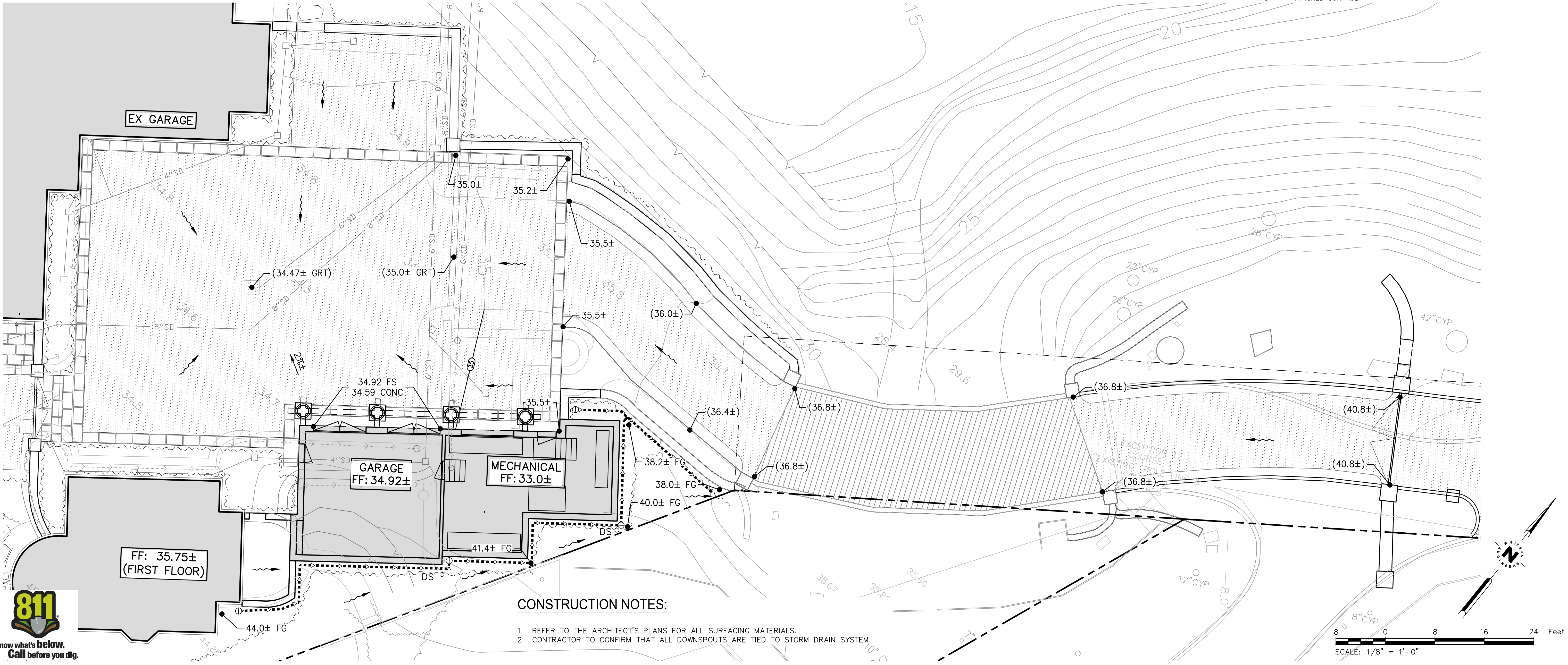
SEE SHEET A1.3 FOR AREA BREAKDOWN

**LEGEND**

- 100 GROUND CONTOUR
- SUBJECT PROPERTY LINE
- EASEMENT LINE
- 35.2± SPOT GRADE
- ⊙ CLEANOUT
- WALL DRAIN
- GRADE TO DRAIN

**ABBREVIATIONS**

- ± PLUS OR MINUS; APPROX
- DS DOWNSPOUT
- EX EXISTING
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FS FINISHED SURFACE



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**Whitson ENGINEERS**

REGISTERED PROFESSIONAL ENGINEER  
RICHARD P. WEBER  
No. 82919  
CIVIL  
STATE OF CALIFORNIA

SUBMITTAL / REVISION	PLANNING SUBMITTAL
1/31/22	

10 CARMEL WAY  
Carmel, California  
GRADING AND DRAINAGE PLAN  
SCALE: 1/8" = 1'-0"  
DRAWN: KCL  
JOB No.: 3626  
SHEET C1.1 OF

NOT FOR CONSTRUCTION  
APN 010-321-037

811 Know what's below. Call before you dig.





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Landscape Architecture  
CALic #5806

Project:

Andrew Paul  
10 Carmel Way  
Carmel-By-The-Sea, CA

Revisions:



Drawing Title:

Landscape Plan

Date: 01/31/22

Scale: 1"=8'0"

Drawn By: PW

Page Number:

L1.0

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**SCOPE OF WORK:**  
THIS IS THE ADDITION OF PLANT MATERIAL AROUND THE GARAGE PROJECT. ALL PLANTS WILL BE CONNECTED TO THE EXISTING DRIP IRRIGATIONS SYSTEM.

**PROJECT INFORMATION:**

OWNER: ANDREW PAUL  
SITE: 10 CARMEL WAY, CARMEL-BY-THE-SEA, CA 93921.  
APN: 010-321-037  
TOPOGRAPHY: SLOPING  
TREE REMOVAL: NO  
GRADING: SEE CIVIL SHEET

**XERISCAPE PRACTICES:**

1. LOW WATER USE, DROUGHT TOLERANT PLANTS
2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS
3. DRIP IRRIGATE ALL PLANT MATERIAL
4. INSTALLATION OF RAIN SENSOR

**LANDSCAPING STATEMENT:**

I PATRICK WILSON CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL CITY OF CARMEL-BY-THE-SEA LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

*Patrick Wilson*

**BUILDING DEPARTMENT NOTES:**

**PERMITS & INSPECTIONS:**

THE CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS FOR THE WORK AND GIVE THE OWNER TIMELY NOTICE OF INTENT TO EACH INSPECTION.

**CODES:**

ALL MATERIAL, WORKMANSHIP AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE UBC AND LOCAL BUILDING CODES.

NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED WATER.

CONTRACTOR TO USE AUTO SHUT-OFF NOZZLES ON ANY WATER HOSES USED ON THE PROJECT.

**LAYOUT NOTES:**

ANNOTATED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DRAWINGS.

**FIRE SAFETY NOTES:**

ALL NON IRRIGATED BRUSH TO BE KEPT AT GROUND LEVEL FOR AN AREA OF 50' SURROUNDING THE PROPOSED RESIDENCE.

TREES TO BE CLEARED OF DEAD LIMBS WITHIN A 50' RADIUS OF THE PROPOSED RESIDENCE. ANY TREE LIMBS WITHIN 10' OF A CHIMNEY WILL BE REMOVED.

**PLANTING NOTES:**

ALL LANDSCAPE AREAS SHALL BE CONTINUOUSLY MAINTAINED IN A LITTER FREE, WEED FREE CONDITION AND ALL PLANT MATERIAL SHALL BE CONTINUOUSLY MAINTAINED IN A HEALTHY GROWING CONDITION.

**STAKING:**  
STAKING SHALL BE PROVIDED FOR TREES AND SHRUBS AS NEEDED. TIES TO BE LOCATED AND SIZED TO ALLOW FOR EXPANSION AND GROWTH.

**MULCHING:**  
SPREAD 3" OF MULCH OVER ALL EXPOSED PLANTING AREAS

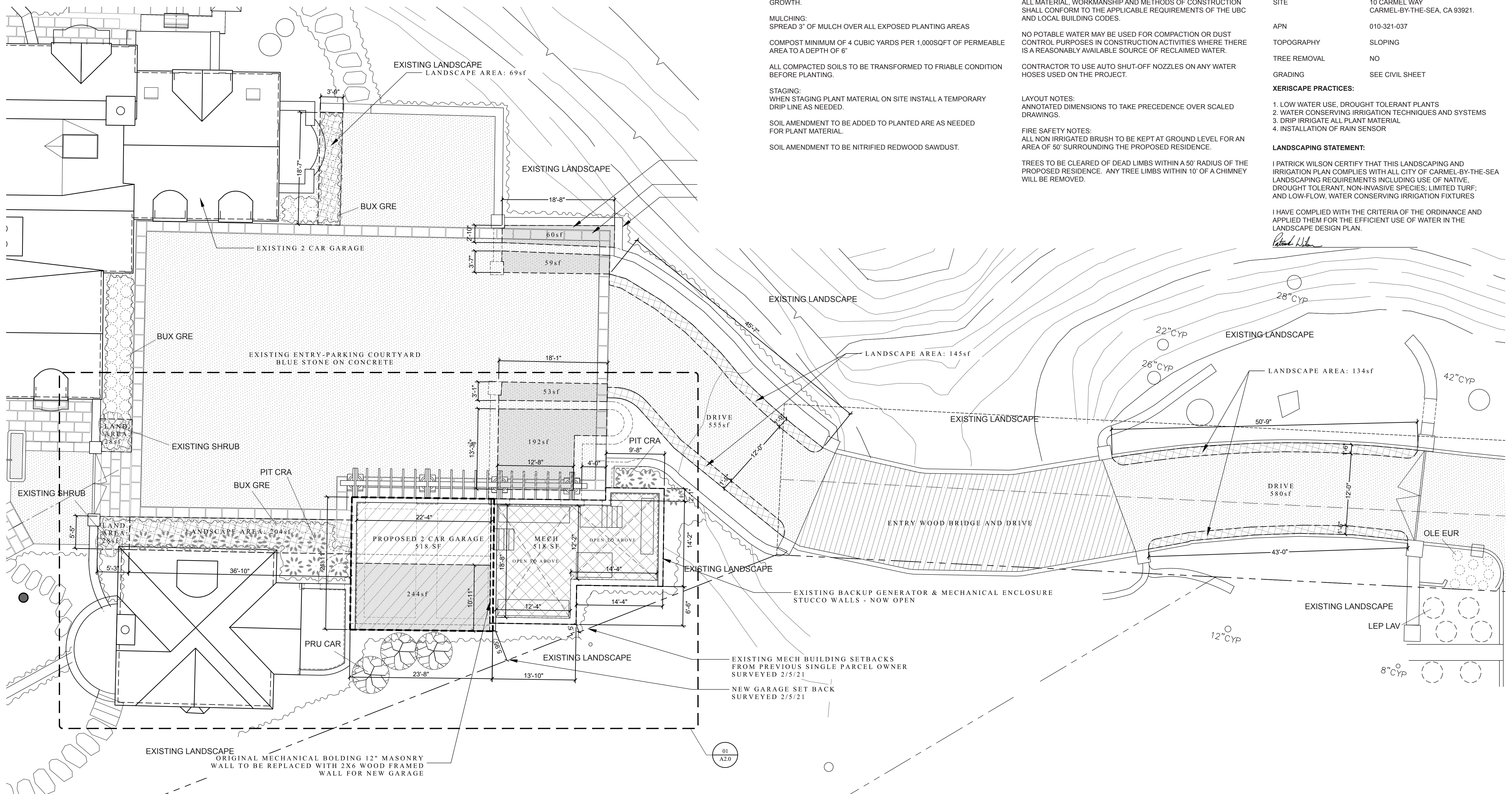
COMPOST MINIMUM OF 4 CUBIC YARDS PER 1,000SQFT OF PERMEABLE AREA TO A DEPTH OF 6"

ALL COMPACTED SOILS TO BE TRANSFORMED TO FRIABLE CONDITION BEFORE PLANTING.

**STAGING:**  
WHEN STAGING PLANT MATERIAL ON SITE INSTALL A TEMPORARY DRIP LINE AS NEEDED.

SOIL AMENDMENT TO BE ADDED TO PLANTED ARE AS NEEDED FOR PLANT MATERIAL.

SOIL AMENDMENT TO BE NITRIFIED REDWOOD SAWDUST.



SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	WUCOLS
BUX GRE	<i>Buxus 'Green Beauty'</i>	Green Beauty Boxwood	70	5 gal	Low
LEP LAV	<i>Leptospermum laevigatum</i>	Australian Tea Tree	6	24" Box	Low
OLE EUR	<i>Olea europea 'Montra'</i>	Little Ollie	8	5 gal	Low
PIT CRA	<i>Pittosporum crassifolium</i>	Karo	15	5 gal	Low
PRU CAR	<i>Prunus caroliniana</i>	Carolina Cherry	3	48" Box	Low

BASE PLANS BY ROBERT JOYCE ARCHITECTURE AND LANDSCAPE DESIGN