



## NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

**Planning Case #:** Design Study 21079

**Owner Name:** HOTVET JILL B TR

**Case Planner:** Evan Kort, Associate Planner

**Date Posted:** \_\_\_\_\_

**Date Approved:** 08/25/2023

**Project Location:** Torres Ave 5 SE of 8th

**APN #:** 010053006000      **BLOCK/LOT:** 100/ALL LOT 12

**Applicant:** Jill Hotvet

**Project Description:** This approval of Design Study (DS 21-079, Hotvet) authorizes an interior remodel, removal and replacement of windows throughout, reconstruction and expansion of the upper rear deck and removal of existing non-conforming site coverage. A wood frame open trellis with integrated retractable awning is also proposed to be constructed over the deck. No increase in floor area is proposed and all existing materials and finishes shall match the existing site condition. The project shall be constructed as depicted in the plans dated approved by Community Planning & Building Department on August 25, 2023 unless modified by the Conditions of Approval.

**Can this project be appealed to the Coastal Commission?** Yes ☐ No ☒

*Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.*

CITY OF CARMEL-BY-THE-SEA  
DEPARTMENT OF COMMUNITY PLANNING AND BUILDING  
FINDINGS AND CONDITIONS FOR DESIGN STUDY APPROVAL

DS 21-079 (Hotvet)  
Torres Street, 5 NE of 8th Avenue  
Block: 100, Lot: 12  
APN: 010-053-006

**PROJECT DESCRIPTION**

Design Study (DS 21-079, Hotvet) for an interior remodel, as well as exterior window and door replacements placements throughout and replacement of the existing rear second floor deck with a new 216 square foot deck as well as the construction of a new trellis constructed above the rear of the deck to include a retractable fabric awning.

**FINDINGS OF FACT:**

1. The project site is located at Torres Street, 5 NE of 8th Avenue in the Single Family (R-1) Zoning District. The lot is currently developed with a single family residence.
2. On March 30, 2021, a Design Study application was submitted for the subject site.
3. Pursuant to CMC Section 17.08.010 (Purpose), the purpose of the R-1 Zoning District is to maintain the residential village character of the City and encourage originality, flexibility and diversity in residential design that respects the forest setting, the constraints of each site and the surrounding neighborhood.
4. Pursuant to 17.58.040 (Residential Design Review), the project qualifies as a staff-level track one discretionary review. Pursuant to CMC 17.58.040, Applications eligible for track one review are limited to the following projects, subject to the restrictions in subsection (A)(2) of this section: Exterior alterations and additions that do not increase existing floor area by more than 10 percent; Changes in exterior materials of structures; Changes in site coverage and/or landscaping; Changes in windows, doors, chimneys and skylights; Fences and walls; and Minor alterations to historic resources per CMC 17.32.150. No restrictions listed in section (A)(2) are applicable to this application.
5. The project qualifies for a Class 1 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines. Class 1 exemptions include, minor alterations to private structures involving negligible or no expansion of the existing or former use. The remodel and deck expansion qualifies as a minor alteration, does not increase the existing floor area of the building, and does not alter the use of the building as a single family residence.

**FINDINGS FOR DESIGN REVIEW APPROVAL (CMC 17.58.060.B):**

Before approving an application for design review in any district, the Director, Historic Preservation Board, or the Planning Commission shall find that the final design plans:

1. *Conform to the applicable policies of the General Plan and the Local Coastal Program;*
2. *Comply with all applicable provisions of this code; and*
3. *Are consistent with applicable adopted design review guidelines.*

The project consists of an interior remodel, window and door replacement, and deck and trellis addition to an existing single family home located in the R-1 Zoning District. The existing and proposed use is compatible with the land use designation in which the use is located and is in conformance with the goals and policies of the General Plan and the Coastal Land Use Plan and the intent thereof.

As conditioned, the project complies with the applicable provisions of the zoning code in respect to the applicable development standards. Additionally, the designs preserves the rights to reasonable solar access on neighboring parcels through the construction of an open trellis with retractable awning in lieu of a solid structure (CMC 17.10.010.L). The design respects the privacy of neighbors and physical improvements, such as privacy screens have been included in the project (and Conditions of Approval) or is screened by existing landscaping to minimize impacts to privacy (CMC 17.10.010.G).

The new doors and window throughout are proposed to be aluminum and will be consistent with the architecture of the building. The new deck is proposed to be constructed of wood with wood supports and a wood trellis. A stucco railing is proposed painted to match the existing residence with mesh inserters placed throughout. The addition of the trellis and deck is not visible from the public right of way, provide reasonable assess to light by being constructed from primarily open materials, and preserve reasonable privacy as it the deck replaces an existing second floor deck and the new deck includes a privacy screen on the north elevation of the deck, as encouraged by the Residential Design Guidelines.

#### CONDITIONS OF APPROVAL:

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	<b>Authorization.</b> This approval of Design Study (DS 21-079, Hotvet) authorizes an interior remodel, removal and replacement of windows throughout, reconstruction and expansion of the upper rear deck and removal of existing non-conforming site coverage. A wood frame open trellis with integrated retractable awning is also proposed to be constructed over the deck. No increase in floor area is proposed and all existing materials and finishes shall match the existing site condition. The project shall be constructed as depicted in the plans dated approved by Community Planning & Building Department on August 25, 2023 unless modified by the conditions of approval contained herein.	✓
2.	<b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design	✓

	elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	
3.	<b>Permit Validity.</b> This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	<b>Water Use.</b> Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration, and appropriate findings prepared for review and adoption by the Planning Commission.	✓
5.	<p><b>Setback and Height Certifications.</b> A State licensed surveyor shall survey and certify the following in writing:</p> <ul style="list-style-type: none"> <li>• The footing locations are in conformance with the approved plans prior to footing/foundation inspection;</li> <li>• The roof height and plate height are in conformance with the approved plans. The height survey shall also certify the height of the new trellis does not exceed 24' tall measured using the plumb vertical distance from existing or finished grade to the top of the framing members of the trellis at the most restrictive point of measurement.</li> </ul> <p>Written certifications prepared, sealed, and signed by the surveyor shall be provided prior to footing/foundation inspection and rough framing inspection. In the event that multiple footing/foundation pours are required, a survey letter shall be submitted for each separate section.</p>	✓
6.	<b>Height and Setback Modifications.</b> Should the setback and height certification find the setback and/or height to not be in compliance with any of the zoning standards for the R-1 District (see Condition #2), a building permit revision shall be required and the project shall be required to be re-constructed in compliance with the applicable zoning standards.	✓
7.	<b>Service Laterals.</b> All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).	✓
8.	<b>Fire Sprinklers - Residential.</b> Additions, alterations, or repairs to existing structures that involve the addition, removal, or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require the installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135)	✓
9.	<b>Modifications.</b> The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either	✓

	the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	
10.	<b>Exterior Revisions to Planning Approval Form.</b> All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the “Revisions to Planning Approval” form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that is not listed on this form, shall not be deemed approved upon issuance of a building permit.	✓
11.	<p><b>Conflicts Between Planning Approvals and Construction Plans.</b> It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern, unless otherwise approved in writing by the Community Planning &amp; Building Director, or their designee.</p> <p>When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City’s attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p>	✓
12.	<b>Exterior Lighting.</b> Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer’s specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.	✓
13.	<b>Aluminum-Clad Wood Frame Windows and Doors.</b> The Applicant shall submit product information for the aluminum-clad wood windows and doors prior to the issuance of a building permit. The window style shall be consistent with authentic wood windows and doors with divided lights that appear to be true divided light including the use of internal and external mullions and muntins on insulated windows. The painted finish shall be matte or low gloss. Removable, snap-in, or internal only mullions and muntins are prohibited.	✓
14.	<b>Indemnification.</b> The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal	✓

	proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	
15.	<b>Hazardous Materials Waste Survey.</b> A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to the issuance of a demolition permit.	✓
16.	<b>Truck Haul Route.</b> Prior to Building Permit issuance, the Applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route, and any necessary temporary traffic control measures for the grading activities. The Applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
17.	<b>USA North 811.</b> Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
18.	<b>Conditions of Approval.</b> A copy of these signed conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
<b>Landscape Conditions</b>		
19.	<b>Tree Removal.</b> Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
20.	<b>Significant Trees.</b> All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Six inches (6") of mulch shall be evenly spread across the inside the dripline of all trees prior to the issuance of a building permit.	✓
21.	<b>Tree Protection Measures.</b> Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. <ul style="list-style-type: none"> <li>• Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.</li> <li>• Excavation within 6 feet of a tree trunk is not permitted.</li> <li>• No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.</li> </ul>	✓

	<ul style="list-style-type: none"> <li>Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree including the drip lines of trees on neighboring parcels.</li> <li>Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.</li> <li>The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.</li> <li>If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.</li> </ul> <p>If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.</p>	
<b>ENVIRONMENTAL COMPLIANCE CONDITIONS</b>		
22.	<b>Drainage Plan.</b> If required by the Building Official, prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused on one corner of the property, infiltration features must be sized appropriately, and must be located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas.	✓
23.	<b>BMP Tracking Form.</b> Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a completed BMP Tracking form.	✓
24.	<b>Erosion and Sediment Control Plan.</b> Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access.	✓
<b>SPECIAL CONDITIONS</b>		

25.	<b>Condition of Approval Acknowledgement.</b> The Condition of Approval Acknowledgement form, available from the Community Planning and Building Department, shall be signed by the appropriate parties prior to the issuance of a building permit. A signed copy of the acknowledgement shall also be printed in the building plan set.	✓
26.	<b>Non-Conforming Site Coverage.</b> Prior to building permit issuance, the site plan and project data table shall be revised to clarify show areas of site coverage to be removed to bring the site into conformance with the site coverage limits to off-set the area from the increase in coverage area from the deck expansion.	
27.	<b>Rear Deck Screening.</b> A privacy screen shall be maintained on the north elevation of the rear deck, as depicted in the approved project plans. At a minimum, the top screen shall reach a height of 6' above the walking surface of the deck. Details of the screen wall shall be maintained in the plan set submitted to the building division. The screen wall shall be maintained for the life of the structure unless written approval is granted to remove the screen by the Community Planning and Building Department.	✓
28.	<b>Light Fixtures.</b> If proposed, the manufactures specifications for all proposed outdoor light fixtures shall be print in the plans submitted to the building division prior to building permit issuance in accordance with Condition of Approval #11.	✓
29.	<b>Site Plan Revision.</b> Prior to building permit issuance, the site plan (sheet A1) shall be revised so the deck area is consistent with the new deck area represented on the proposed floor plan (sheet A2). Also see Condition of Approval #26, above.	✓
30.	<b>Awning Color and Material.</b> Prior to building permit issuance, the proposed awning color shall be clearly identified in the building permit plan set and the manufacturer's information for the awning shall be submitted with the application materials for the building permit. The awning material shall be listed and labeled (contact the building division for additional information).	✓

\*Acknowledgement and acceptance of conditions of approval.

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

*Once signed, please email to [ekort@ci.carmel.ca.us](mailto:ekort@ci.carmel.ca.us).*





## AFFIDAVIT OF POSTING

### DECLARATION UNDER PENALTY OF PERJURY

APPLICATION#: Design Study 21079 Jill Hotvet

APPLICANT: Jill Hotvet

PROJECT LOCATION: Torres Ave 5 SE of 8th

CASE PLANNER: Evan Kort, Associate Planner

BLOCK 100 LOT(s) 12 APN 010053006000

I, \_\_\_\_\_, declare: I am a resident of the City of \_\_\_\_\_  
\_\_\_\_\_, County of \_\_\_\_\_, State of \_\_\_\_\_. I am over the age of eighteen  
(18) years. On the \_\_\_\_\_ day of \_\_\_\_\_ 2023, I posted the attached Public Notice in a conspicuous,  
publicly-accessible location at the subject property.

**I DECLARE UNDER PENALTY OF PERJURY THAT THE FOREGOING IS TRUE AND CORRECT.**

\_\_\_\_\_  
**Declarant Print Name**

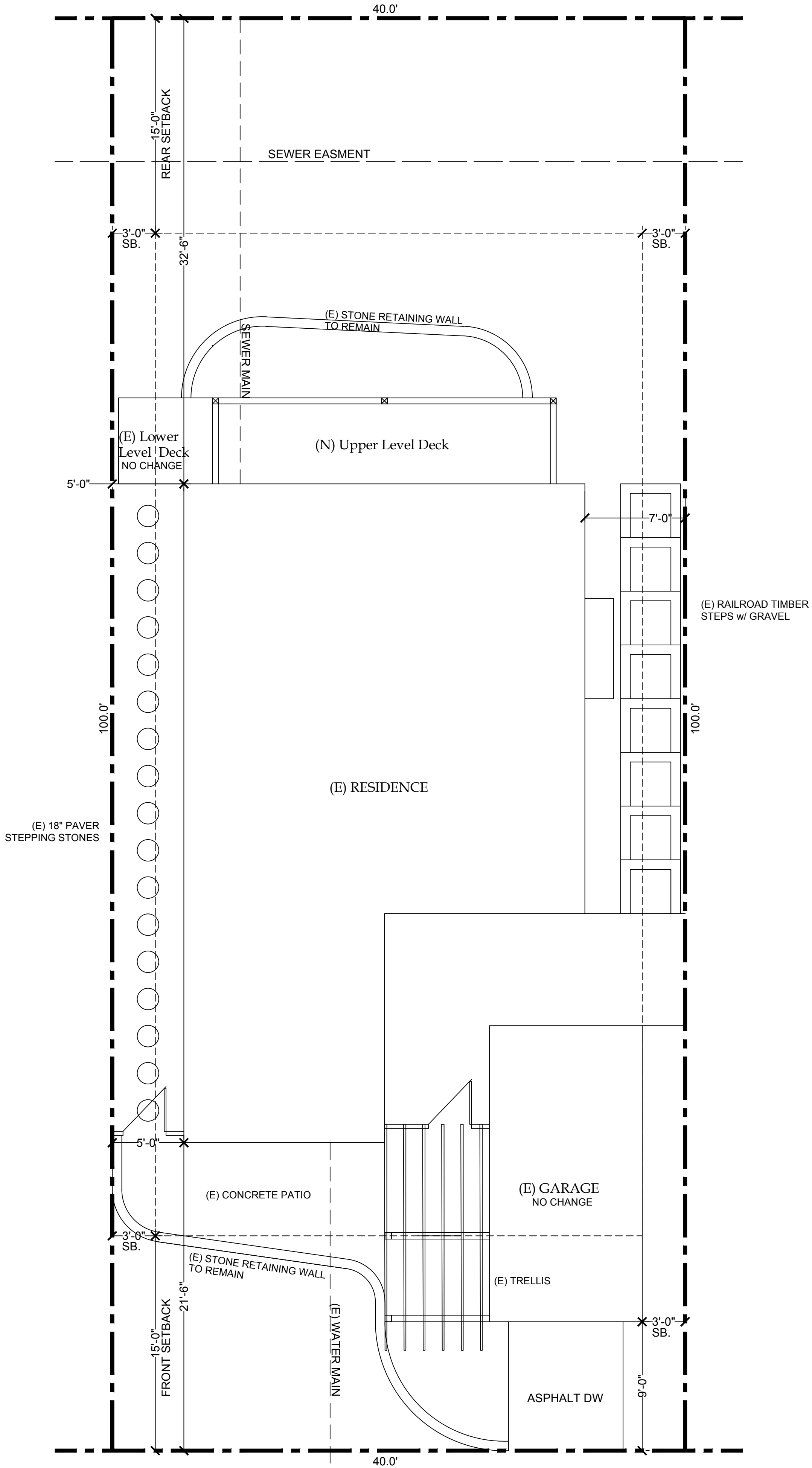
\_\_\_\_\_  
**Declarant Signature**

\_\_\_\_\_  
**Date**

*Upon completion of the 10 - day appeal period, please return this form,  
along with the Notice of Approval, to the case planner noted above.*

ABBREVIATIONS:		
@ AT	FIN. FINISH	PT. POINT
Ø DIAMETER	FLR. FLOOR	PTDF PRESSURE TREATED DOUGLAS FIR
# POUND OR NUMBER	FLASH. FLASHING	RAD RADIUS
A.B. ANCHOR BOLT	FLUOR. FLUORESCENT	REF REFERENCE OR REFRIGERATOR
A.C. ASPHALT CONCRETE	F.O.C. FACE OF CONCRETE	REINF. REINFORCED
ACOUS. ACOUSTICAL	F.O.F. FACE OF FINISH	REQ. REQUIRED
ADJ. ADJUSTABLE	F.O.S. FACE OF STUD	RESIL RESILIENT
AGG. AGGREGATE	FT. FOOT OR FEET	RET RETAINING
APPROX. APPROXIMATE	FTG. FOOTING	RM. ROOM
ARCH. ARCHITECTURAL	FURR. FURRING	
A.S. ASPHALT SURFACE	GA. GAUGE	R.O. ROUGH OPENING
BD. BOARD	GALV. GALVANIZED	RWD REDWOOD
BLDG. BUILDING	G.B. GRAB BAR	S SOUTH
BLK BLOCK	GFI GROUND FAULT INTERRUPTER	S.B. SOLID BLOCKING
BLOCK'G BLOCKING	GL GLASS	SC SOLID CORE
BM BEAM	GLB GLUE LAMINATED BEAM	SCHED. SCHEDULE
CEM CEMENT	GND GROUND	SECT SECTION
CLG. CEILING	GR. GRADE	SHT. SHEET
CL CLOSET	GYP GYPSUM	SPEC SPECIFICATION
CLR. CLEAR	H.B. HOSE BIB	SQ. SQUARE
C.O. CLEAN OUT	HC HOLLOW CORE	STD. STANDARD
COL. COLUMN	H/C HANDICAPPED	STL. STEEL
CONC. CONCRETE	HDR. HEADER	STOR. STORAGE
CTR. CENTER	H.M. HOLLOW METAL	STRL. STRUCTURAL
d PENNY	HORIZ. HORIZONTAL	SUSP. SUSPENDED
DBL. DOUBLE	HTR. HEATER	T & G TOUNGE AND GROOVE
DET DETAIL	HT. HEIGHT	T.O.C. TOP OF CONCRETE
D.F. DOUGLAS FIR	INSUL. INSULATION	T.O.F. TOP OF FOOTING
DIA. DIAMETER	INT. INTERIOR	T.O.P. TOP OF PAVEMENT
DIM. DIMENSION	J.H. JOIST HANGER	T.O.W. TOP OF WALL
DN. DOWN	MAX. MAXIMUM	TYP. TYPICAL
DR. DOOR	MECH. MECHANICAL	U.O.N. UNLESS OTHERWISE NOTED
DWG. DRAWING	MIN. MINIMUM	VERT. VERTICAL
(E) EXISTING	MISC. MISCELLANEOUS	W WEST
E EAST	MTD. MOUNTED	W/ WITH
EA. EACH	N NORTH	W/ IN WITHIN
ELEC. ELECTRICAL	N.I.C. NOT IN CONTRACT	W.C. WATER CLOSET
E.N. EDGE NAILING	N.T.S. NOT TO SCALE	WD. WOOD
EQ. EQUAL	O/ OVER	WDW WINDOW
EQPT. EQUIPMENT	O.C. ON CENTER	W/O WITHOUT
EXT. EXTERIOR	OPP. OPPOSITE	WP. WATERPROOF
FDN. FOUNDATION	PLAS. PLASTER	WT. WEIGHT
F.G. FINISH GRADE	PLYWD. PLYWOOD	W.W.M. WELDED WIRE MESH
	PR. PAIR	

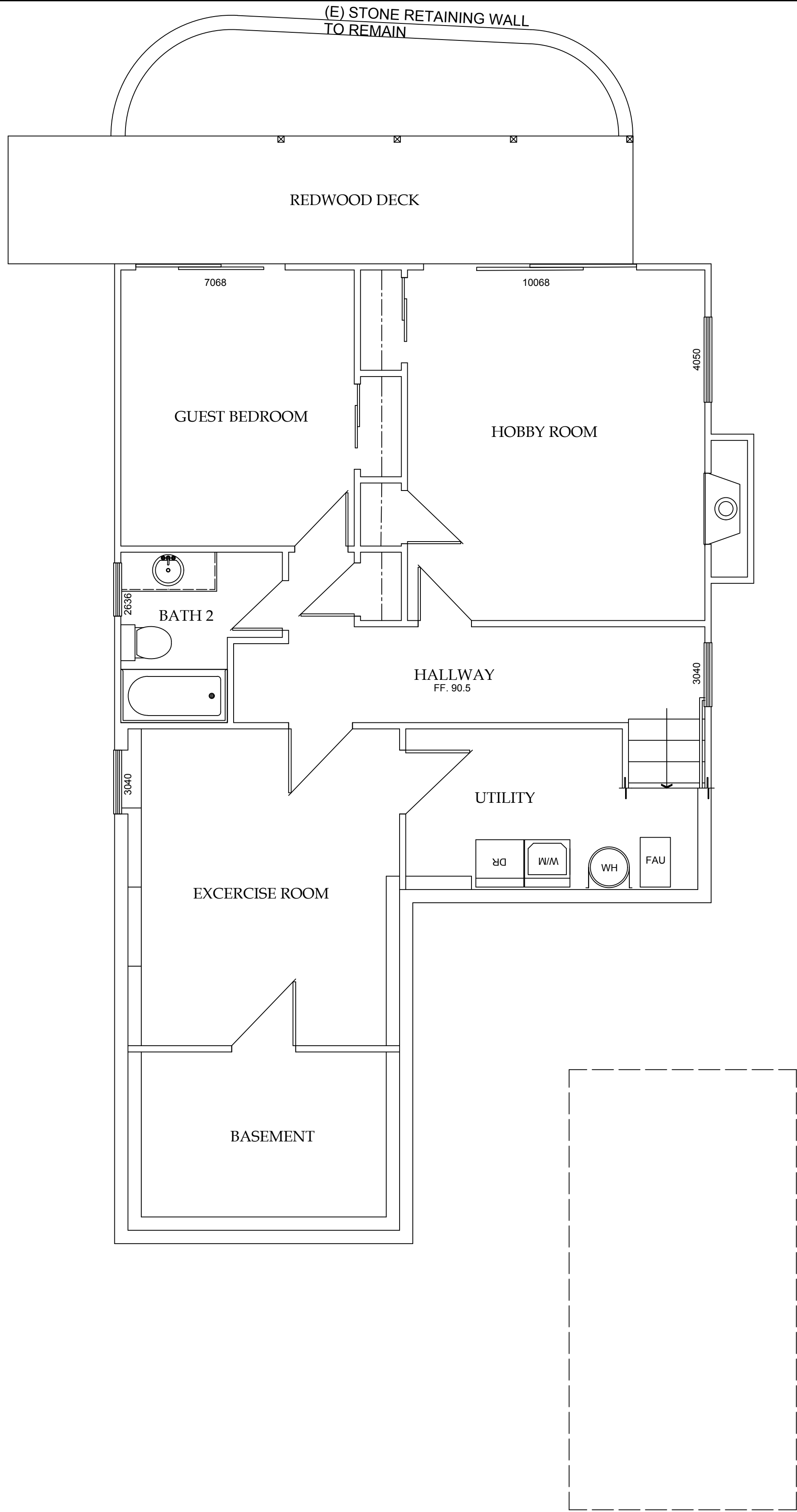
GENERAL NOTES:		
1.	DRAINAGE TO BE A MINIMUM OF 5 % AWAY FROM HOUSE FOR A MINIMUM OF 10 FEET.	
2.	ALL CUT/FILL SLOPES SHALL BE 2:1 OR FLATTER. COMPACTION SHALL BE A MINIMUM OF 90	
4.	ALL GRADING SHALL CONFORM WITH MONTEREY COUNTY GRADING ORDINANCE #2535 AND EROSION CONTROL ORDINANCE #2808.	
5.	EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY BETWEEN OCTOBER 15 AND APRIL 15.  DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/ OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.  RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/ OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.  DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.	
9.	NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER SURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT. (SECTION 6(L), ORD. 3522).	
10.	ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUTOFF NOZZLE. WHEN AN AUTOMATIC SHUTOFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUTOFF NOZZLE. (SECTION 6(K), ORD. 3522).	
11.	NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE. (SECTION 6(K), ORD. 3522).	
12.	THE USE OF SOLDER CONTAINING MORE THAN TWO-TENTHS OF 1 PERCENT LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED. (SB 164).	
13.	IN ALL NEW CONSTRUCTION (INCLUDING ADDITIONS AND REMODELS) Water Closets, either flush tank, flushometer tank, or flushometer valve operated, shall have an average consumption of not more than 1.28 gpf. Shower heads to have a max. flow of 2.0 gpm. Lavatory faucets 1.5 gpm, and kitchen faucets 1.8 gpm. ALL HOT WATER FAUCETS THAT HAVE MORE THAN TEN FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM. (SECTION 6(Q), ORD. 3522).	
14.	THE USE OF PLUMBING PIPELINES AS AN ELECTRICAL GROUND IS PROHIBITED. (SB 164)	
15.	PROVIDE AN ACCESS PANEL (MIN. 12"X12") OR UTILITY SPACE FOR ALL PLUMBING FIXTURES HAVING SLIP JOINT CONNECTIONS. (CPC 405.2)	
16.	GAS LINE SIZING PLANS TO BE PROVIDED BY THE CONTRACTOR PRIOR TO INSPECTION.	
17.	Construction Waste Management: Recycle and/ or salvage for re-use a minimum of 50% of the non-hazardous construction and demolition waste in accordance with the California Green Building Standards, Section 4.408.1	
18.	In accordance with the California Green Building Standards, Section 4.504.2, the following pollutant control measures shall be implemented. a) Paint, stains and other coatings shall be compliant with VOC limits. b) Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds. Documentation shall be provided to verify compliant VOC limit finish materials have been used. c) Carpet and carpet systems shall be compliant with VOC limits. d) 50% of the floor area receiving resilient floorings shall comply with the VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) low-emitting materials list or be certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. e) Particleboard, Medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards.	



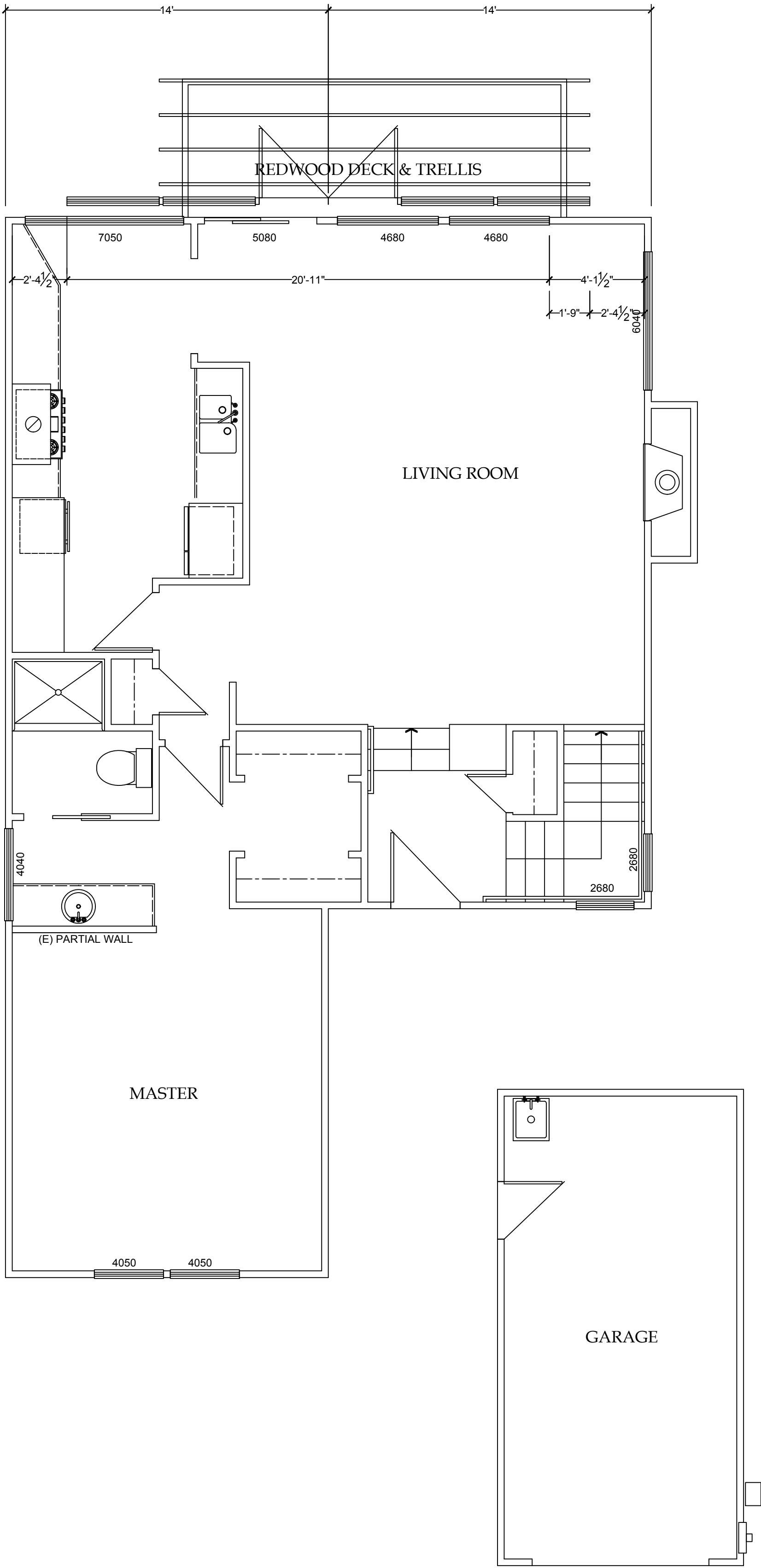
**SITE PLAN**  
SCALE: 3/16" to 1'-0"

VICINITY MAP: NTS		REVISION	BY
PROJECT SCOPE:			
LOT SIZE: 4,000 sq'			
EXISTING: 1,064 sq'		(E) Lower floor deck: 176 sq'	
Main Floor: 868 sq'		(E) Upper floor deck: 100 sq'	
Lower Floor: 86 sq'		Upper floor deck ADDITION: +116 sq'	
Basement: (bonus floor area) 86 sq'			
GARAGE: 220 sq'			
TOTAL FLOOR AREA: 2,152 sq'			
Maximum Floor Area 45%: 1800 sq'			
Existing Floor Area: 54% NO CHANGE			
SCOPE OF WORK:			
Main floor kitchen and bathroom remodel. Remove and replace existing aluminum windows. Replace downstairs east doors. Existing opening width to remain. Replace upper level deck, add +116 sq ft. for a total of 216 sq ft. decking. Replace upper level deck trellis with a retractable awning roof. All exterior finishes and colors to match existing			
COMPLIANCE:			
THIS PROJECT TO COMPLY WITH THE FOLLOWING CODES:  Carmel Municipal Code Sec. 15.04.070 Carmel Municipal Code Sec. 15.08.010 2019 California Residential Code (CRC) Sec. R106 2019 California Building Code (CBC) Sec. 107 2019 California Electrical Code 2019 California Mechanical Code 2019 California Fire Code 2019 California Green Building Code 2019 California Energy Code			
GRADING:			
GRADING: NONE			
NO GRADING FOR THIS PROJECT			
TREE REMOVAL:			
NO TREE REMOVAL FOR THIS PROJECT			
BUILDING CODE DATA:			
OCCUPANCY: R-3/U			
DESCRIPTION OF USE: RESIDENTIAL SINGLE FAMILY DWELLING			
TYPE OF CONST: V-B			
FIRE SPRINKLERS: NO			
STORIES: 2			
APN: 010-053-006			
DEFERRED SUBMITTALS:			
NONE			
CONSULTANTS			
<b>OWNER:</b> Jill Hotvet Torres Ave 5 SE of 8TH Carmel, Ca 93920		<b>DESIGN:</b> Jill Hotvet Torres Ave 5 SE of 8TH Carmel, Ca 93920	<b>SURVEYOR:</b> N/A
<b>PROJECT ADDRESS:</b> Torres Ave 5 SE of 8TH Carmel, Ca 93920 APN: 139-032-020		<b>ENGINEER:</b> Keller Engineering, PLLC P.O. Box 25624 Fresno, Ca 93729 805 704 4199	<b>ROOF TRUSSES:</b> To Be Determined
<b>APPLICANT:</b> . . .		<b>SOILS ENGINEER:</b> N/A	<b>TITLE 24:</b> Title24ez.com 411 N. Harbor St. #205 San Pedro, Ca 90731 424 247 7658
SHEET INDEX:			
A-1.0 TITLE PAGE/ SITE PLAN		CG1 CAL-GREEN 2019 MEASURES	
A-1.1 EXISTING FLOOR PLAN, DEMO		CG2 CAL-GREEN 2019 MEASURES	
A-2.0 PROPOSED FLOOR PLAN, ELECTRICAL INFO		T1 TITLE 24 ENERGY CALC'S	
A-3.0 PROPOSED ELEVATIONS		T2 MANDATORY MEASURES	
S-1.0 STRUCTURAL PLANS		BM BEST MANAGEMENT PRACTICES	
S-2.0 STRUCTURAL DETAILS, NOTES & SCHEDULES			
S-3.0 STRUCTURAL SECTIONS			
Master Bath & Deck Remodel for:			
Jill Hotvet			
Torres Ave 5 SE of 8th			
Carmel, Ca.			
DATE 05/31/23			
SCALE AS NOTED			
DRAWN			
JOB			
SHEET			
A-1.0			
OF SHEETS			

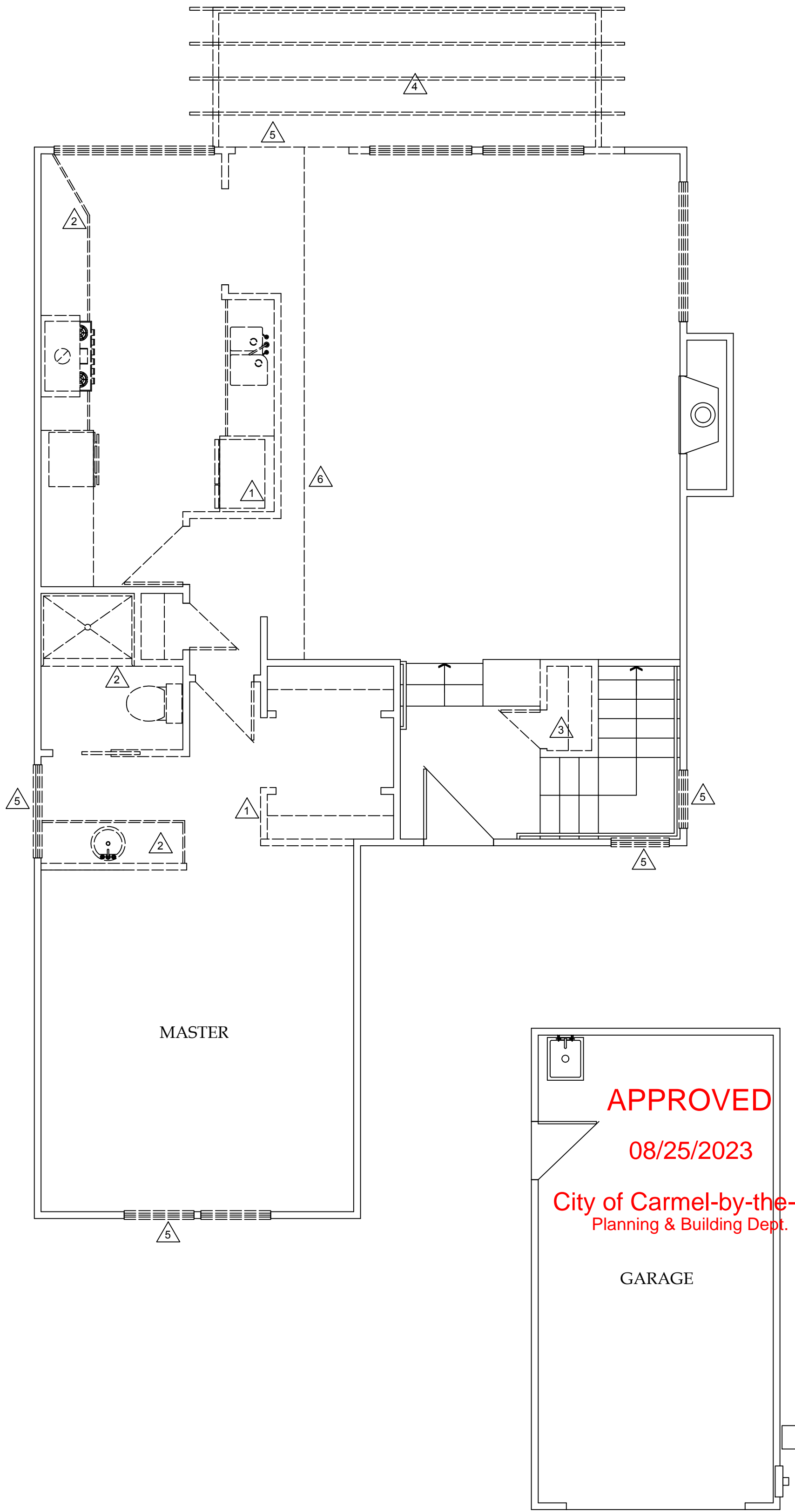




(E) LOWER LEVEL FLOOR PLAN  
SCALE: 1/4" to 1'-0"

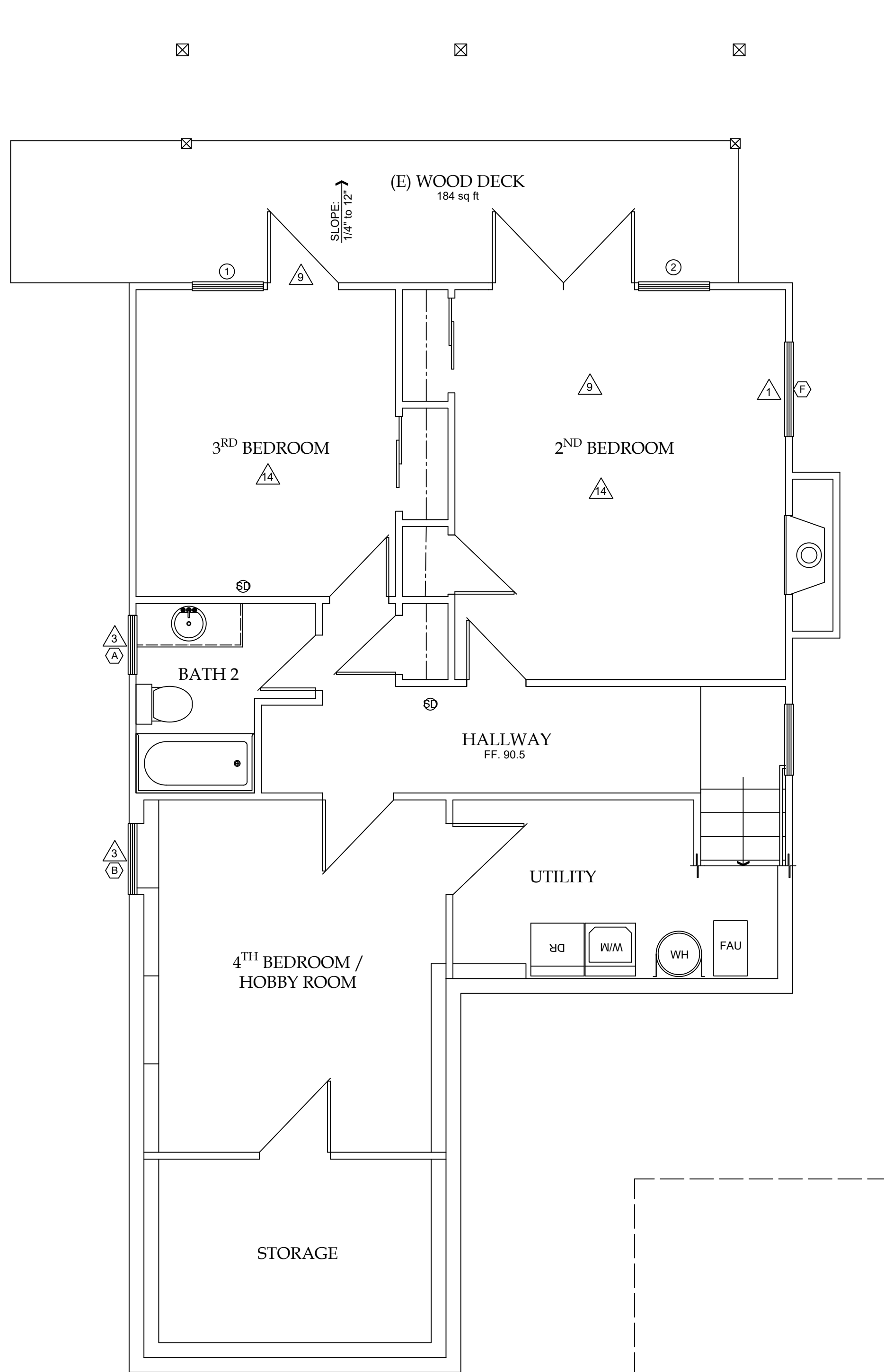


(E) MAIN LEVEL FLOOR PLAN  
SCALE: 1/4" to 1'-0"

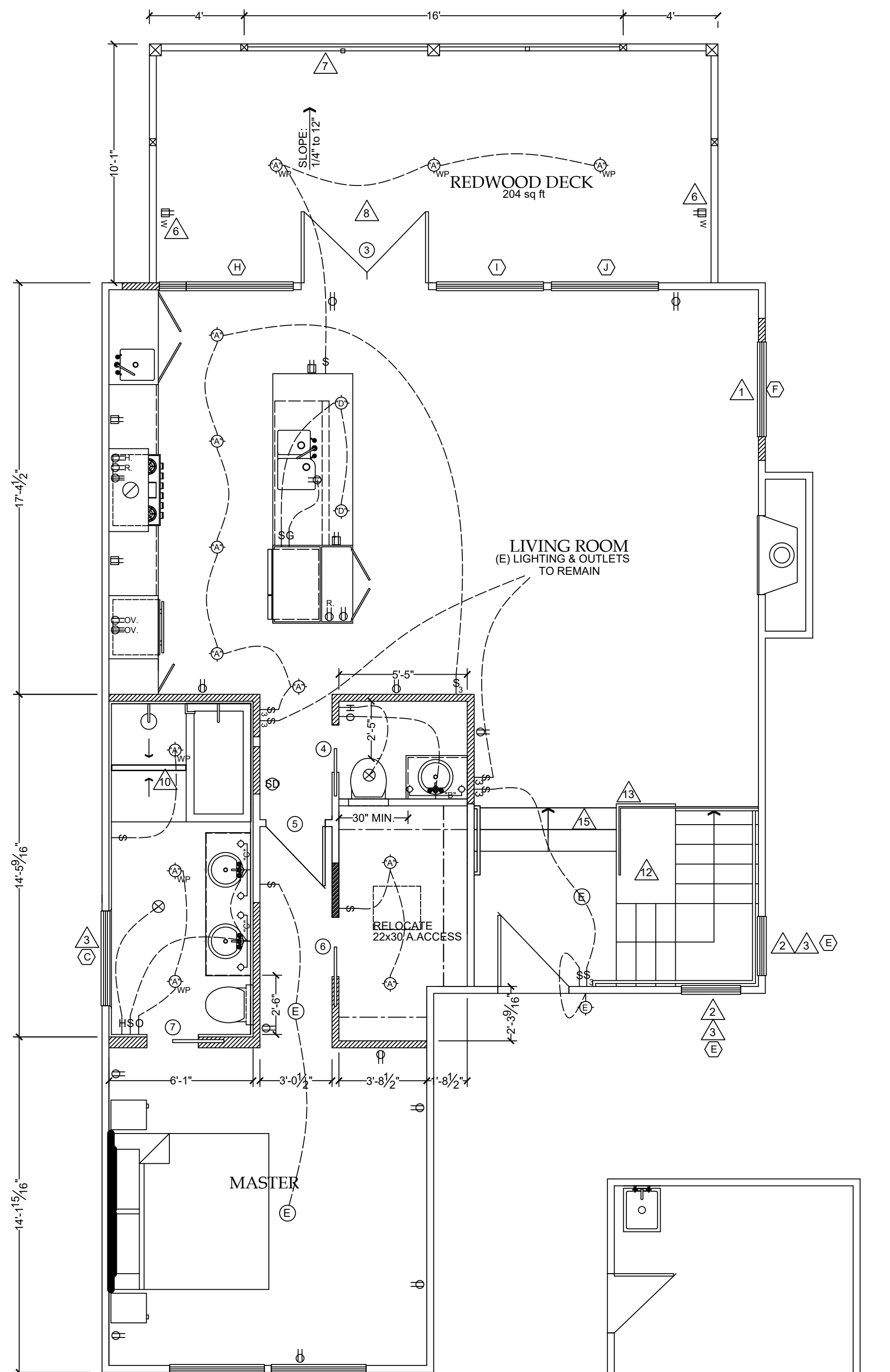


(E) MAIN LEVEL DEMO PLAN  
SCALE: 1/4" to 1'-0"

- SCOPE OF WORK:
- (E) ROOF TRUSSES TO REMAIN
  - △ DEMO & SHORE WALLS AS SHOWN DASHED
  - △ REMOVE FINISHES & FIXTURES
  - △ DEMO FREE-STANDING CLOSET
  - △ DEMO (E) DECK & TRELLIS
  - △ DEMO (E) WINDOWS
  - △ DEMO (E) TRAY SOFFIT



(N) LOWER LEVEL FLOOR PLAN  
SCALE: 1/4" to 1'-0"



(N) MAIN LEVEL FLOOR PLAN  
SCALE: 1/4" to 1'-0"

SCOPE OF WORK:

1. CONVERT (E) 6040 WINDOW TO 4020 AWNING WINDOW
2. ADD AWNING FUNCTION @ ENTRY WINDOWS
3. REPLACE (E) WINDOWS w/ NEW FLEETWOOD, TYP. (E) OPENINGS TO REMAIN
4. REMOVE KITCHEN/ LIVING ROOM WALL
5. REPLACE KITCHEN CABINETS & FIXTURES
6. 42" STUCCO GUARD WALL w/ S.S. CAP
7. 42" SS. FRAME & CABLE RAILING
8. (N) GABLE WALL WINDOW/ DOOR ASSEMBLY
9. (N) FLEETWOOD DOORS
10. FLUSH SHOWER. TILE SURROUND TO CLG.
11. "CAL-GREEN" DIVERTER VALVE
12. FLUSH LANDING @ STAIRS, +36" FROM ENTRY F.F.
13. 36" WALL WITH SCREEN
14. REPLACE FLOORING
15. REMOVE PLATFORM FROM STAIRS

INSULATION NOTES:

1. ALL EXTERIOR WALLS TO USE R-15 BATTS
2. ALL INTERIOR WALLS TO USE SOUND BATTS
3. ALL EXPOSED 2nd FLOOR CAVITY TO USE R-25 BATTS
4. ALL EXPOSED 2nd FLOOR CEILING TO USE R-30 BATTS

PLUMBING NOTES:

1. TOILETS SHALL BE 1.28 GPF OR LESS
  2. SINGLE SHOWER HEADS SHALL BE 1.8 GPM @ 80 PSI OR LESS
  3. LABORATORY FAUCETS SHALL BE 1.2 GPM @ 80 PSI OR LESS
  4. KITCHEN FAUCETS SHALL BE 1.8 GPM @ 60 PSI OR LESS.
- AUTOMATIC IRRIGATION CONTROLLERS FOR LANDSCAPING SHALL COMPLY WITH THE FOLLOWING:
1. CONTROLLERS SHALL BE WEATHER OR SOIL BASED THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANT WATERING NEEDS AS WEATHER AND SOILS CONDITIONS
  2. WEATHER BASED CONTROLLERS WITH INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR RAINFALL SHALL HAVE A SEPERATE WIRED OR WIRELESS RAIN SENSOR WHICH COMMUNICATES WITH THE CONTROLLER

ELECTRICAL LEGEND:

- |  |   |
|--|---|
| (E) EXISTING FIXTURE                           | 110v OUTLET                             |
| (S) SURFACE MOUNT FIXTURE                      | SWITCHED 110v OUTLET                    |
| (R) RECESSED CAN                               | 220v OUTLET                             |
| (R) RECESSED CAN w/ SHOWER TRIM                | 110v OUTLET, DESIGNATED                 |
| (W) WALL MOUNT FIXTURE                         | 110v OUTLET                             |
| (H) HORIZONTAL FIXTURE                         | GFI OUTLET                              |
| (B) BAR FIXTURE                                | WEATHERPROOF IN-USE GFI OUTLET          |
| (E) EXHAUST FAN (5 AIR CHANGES PER HOUR, MIN.) | CLG. MOUNTED OUTLET                     |
| (S) SMOKE DETECTORS (HARD WIRED W/ BATT. B/U)  | SWITCH                                  |
| (C) CO2 DETECTORS                              | 3-WAY SWITCH                            |
|  | 4-WAY SWITCH                            |
|  | GARBAGE DISP. SWITCH, DED. 20a OUTLET   |
|  | HUMIDISTAT                              |
|  | OCCUPANT SENSOR SWITCH                  |
|  | LIGHTING CONTROL SENSOR, CORNER MOUNTED |

Door Schedule							
LETTER	DIMENSIONS (FIELD VERIFY)	UNIT TYPE	FRAME TYPE	DETAILS			REMARKS
				HEAD	JAMB	SILL	
							FIELD VERIFY ALL DIMENSIONS.
①	7'-0" x 8'-0"	OX	ALUM.				TEMPERED GLASS
②	3'-0" x 8'-0"	XXO	ALUM.				TEMPERED GLASS
③	5'-4 1/2" x 7'-10 1/4"		ALUM.				DOOR/ WINDOW ASSEMBLY, TMP. GLASS
④	2'-0" x 8'-0"		WD				www.REALCRAFT.co USE FLUSH HEADER TRACKwww.TEXTRIM.com
⑤	2'-6" x 8'-0"	PCKT.	WD				
⑥	2'-6" x 8'-0"	PCKT.	WD				USE FLUSH HEADER TRACK
⑦	2'-2" x 8'-0"	PCKT	WD				USE FLUSH HEADER TRACK

Window Schedule							
LETTER	DIMENSIONS (FIELD VERIFY)	UNIT TYPE	FRAME TYPE	DETAILS			REMARKS  FIELD VERIFY ALL DIMENSIONS.
				HEAD	JAMB	SILL	
A	2'-6" x 3'-6"		ALUM.				
B	3'-0" x 4'-0"		ALUM.				TEMPERED GLASS
C	4'-0" x 3'-6"		ALUM.				TEMPERED GLASS
D	4'-0" x 5'-0"		ALUM.				
E	2'-6" x 8'-0"		ALUM.				
F	4'-0" x 2'-0"		ALUM.				
G	3'-0" x 3'-0"		ALUM.				TEMPERED GLASS
H	4'-6 1/4" x 7'-10 1/4"		ALUM.				TEMPERED GLASS
I	4'-6 1/4" x 7'-10 1/4"		ALUM.				TEMPERED GLASS
J	4'-6 1/4" x 7'-10 1/4"		ALUM.				TEMPERED GLASS

SITE COVERAGE CALCULATIONS			
EXISTING		Proposed	
(E) Driveway	490 Sq Ft	(E) Driveway	490 Sq Ft
(E) Entry	212 Sq Ft	(E) Entry	212 Sq Ft
(E) Inside front gate	177 Sq Ft	(E) Inside front gate	177 Sq Ft
(E) Pavers N Side	21 Sq Ft	(E) Pavers N Side	21 Sq Ft
(E) Lower Deck	104 Sq Ft	(E) Lower Deck	104 Sq Ft
(E) Lower Deck	72 Sq Ft	(E) Lower Deck	72 Sq Ft
(E) Upper Deck	0 Sq Ft (This portion is on top of lower deck)	(E) Upper Deck	116 Sq Ft additional
(E) Stairs S Side	131 Sq Ft	(E) Stairs S Side	0 Sq Ft
Total	1207 Sq Ft (Existing Grandfathered Coverage)	Total	1192 Sq Ft

DOOR & WINDOW NOTES:

1. DOORS AND WINDOWS TO HAVE U-VALUE OF .30 MIN.
2. PERM. LABELS PER CRC SECT. 2406.2 SHALL IDENTIFY EACH DOOR LIGHT AS HAVING SAFETY GLAZING.
3. EGRESS FROM SLEEPING ROOMS:  
MIN. NET CLR. OPENING: 20" W.  
MIN. NET CLR. OPENING: 24" H.  
SILL HEIGHTS NOT TO EXCEED 42" ABOVE F.F.
4. DOORS AND WINDOWS TO HAVE TEMPERED GLAZING ON AT LEAST ONE SIDE OF GLAZING UNIT

LIGHTING FIXTURE SCHEDULE					
FIXTURE	STYLE NO. & TYPE.	NUMBER & TYPE OF LAMPS	VOLTAGE	MOUNTING	REMARKS
"A"	HALO LIGHTING RECESSED CAN	LED	120v	RECESSED	TRIM PER OWNER
"B"	VANITY LT. TBD BY OWNER	LED	120v	WALL MOUNT	TBD BY OWNER
"C"	VANITY LT. TBD BY OWNER	LED	120v	WALL MOUNT	TBD BY OWNER
"D"	PENDANT LT. TBD BY OWNER	LED	120v	PENDANT	TBD BY OWNER

ELECTRICAL NOTES:

1. ALL 120 VOLT, BOTH 15 AND 20 amp RECEPTACLE OUTLETS SHALL BE LISTED TAMPER RESISTANT RECEPTACLES PER CEC 406.11 (NEW OUTLETS ONLY)

- ARC-FAULT CIRCUITS:
1. ALL NEW BRANCH CIRCUITS SUPPLYING RECEPTACLES IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALL WAYS, LAUNDRY ROOMS OR SIMILAR ROOMS OR AREAS SHALL PROTECTED BY A LISTED ARC-FAULTING CIRCUIT INTERRUPTER (AFCI)
  2. ARC FAULT PROTECTION IS REQUIRED FOR 15/20a BRANCH CIRCUITS IN KITCHEN AND LAUNDRY AREAS.

- KITCHEN:
1. PROVIDE GFI OUTLETS 24" ea. SIDE OF KITCHEN SINK
  2. PROVIDE 2 20 AMP SMALL APPLIANCE CIRCUITS TO GFI OUTLETS IN KITCHEN. CIRCUITS SHALL SUPPLY ONLY CORRESPONDING OUTLETS.
  3. KITCHEN RANGE VENT. HOODS SHALL BE 100 CFM MIN, 3 SONES MAX RATED, AND VENT TO THE EXTERIOR.
  4. PROVIDE SEPARATE DEDICATED CIRCUITS FOR DISHWASHER, GARBAGE DISPOSAL, BUILT IN MICROWAVE
  5. ARC FAULT PROTECTION IS REQUIRED FOR 15/20a BRANCH CIRCUITS IN KITCHEN AREAS.

- LAUNDRY:
1. PROVIDE ONE 20 AMP BRANCH TO THE LAUNDRY ROOM.
  2. ARC FAULT PROTECTION IS REQUIRED FOR 15/20a BRANCH CIRCUITS IN LAUNDRY AREAS.

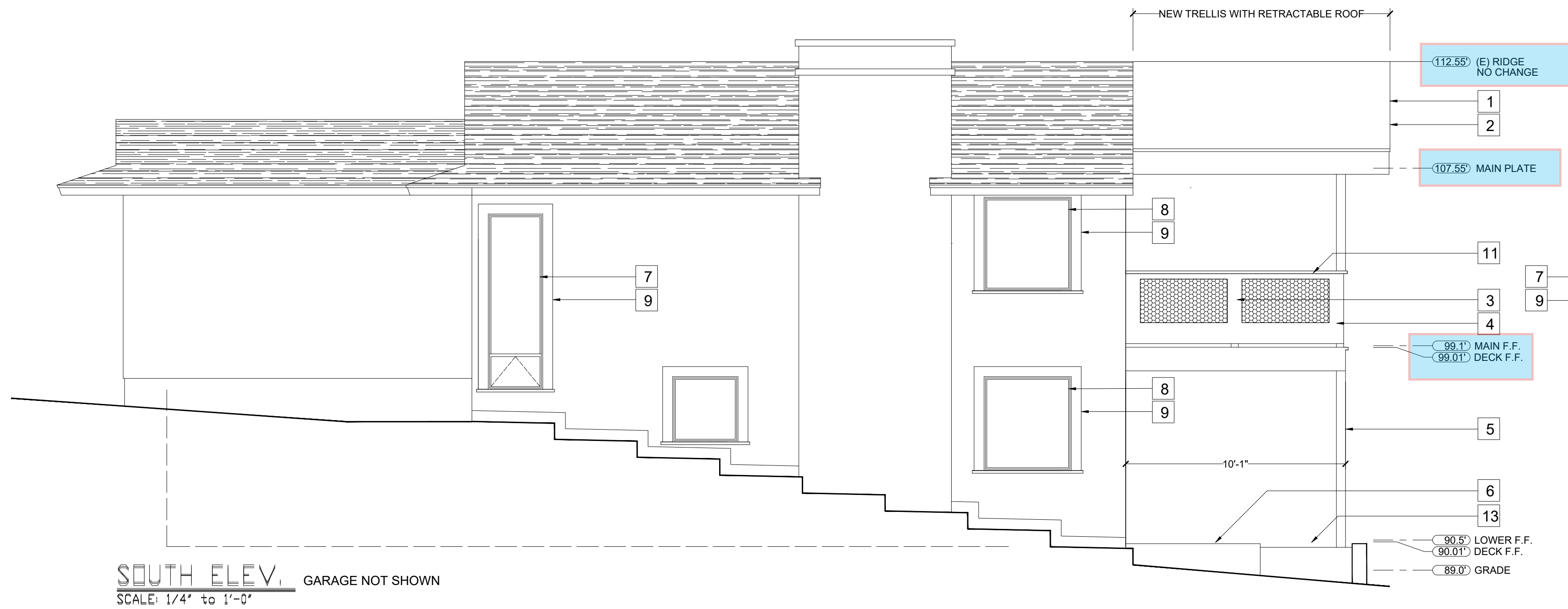
- LIGHTING:
1. OWNER TO VERIFY LIGHTING FIXTURES, LOCATIONS, AND SWITCHING PRIOR TO ROUGH IN.
  2. LIGHTING FIXTURES THAT ARE RECESSED INTO CEILINGS SHALL BE IC RATED BY UL OR OTHER APPROVED TESTING AGENCY.
  3. ALL NEW LIGHTING IS TO BE HIGH EFFICACYIN ACCORDANCE WITH 2019 CEC TABLE 150.0-A.
  4. SCREW BASED RECESSED LIGHTING IS NO LONGER PERMITTED
  5. OUTDOOR LIGHTING ATTACHED TO BUILDINGS SHALL BE HIGH EFFICACY AND CONTROLLED BY A MOTION SENSOR AND PHOTO CONTROL NOT HAVING TO OVER RIDE OR BY SWITCH.

- BATHROOM:
1. BATH EXHAUST FANS SHALL PROVIDE (5) AIR CHANGES PER HOUR, WITH A MIN. OF 50 CFM.
  2. EXHAUST FANS SHALL BE SWITCHED SEPARATELY.
  3. NEW BATHROOMS TO HAVE A DEDICATED 20a CIRCUIT TO SERVICE GFI OUTLETS.

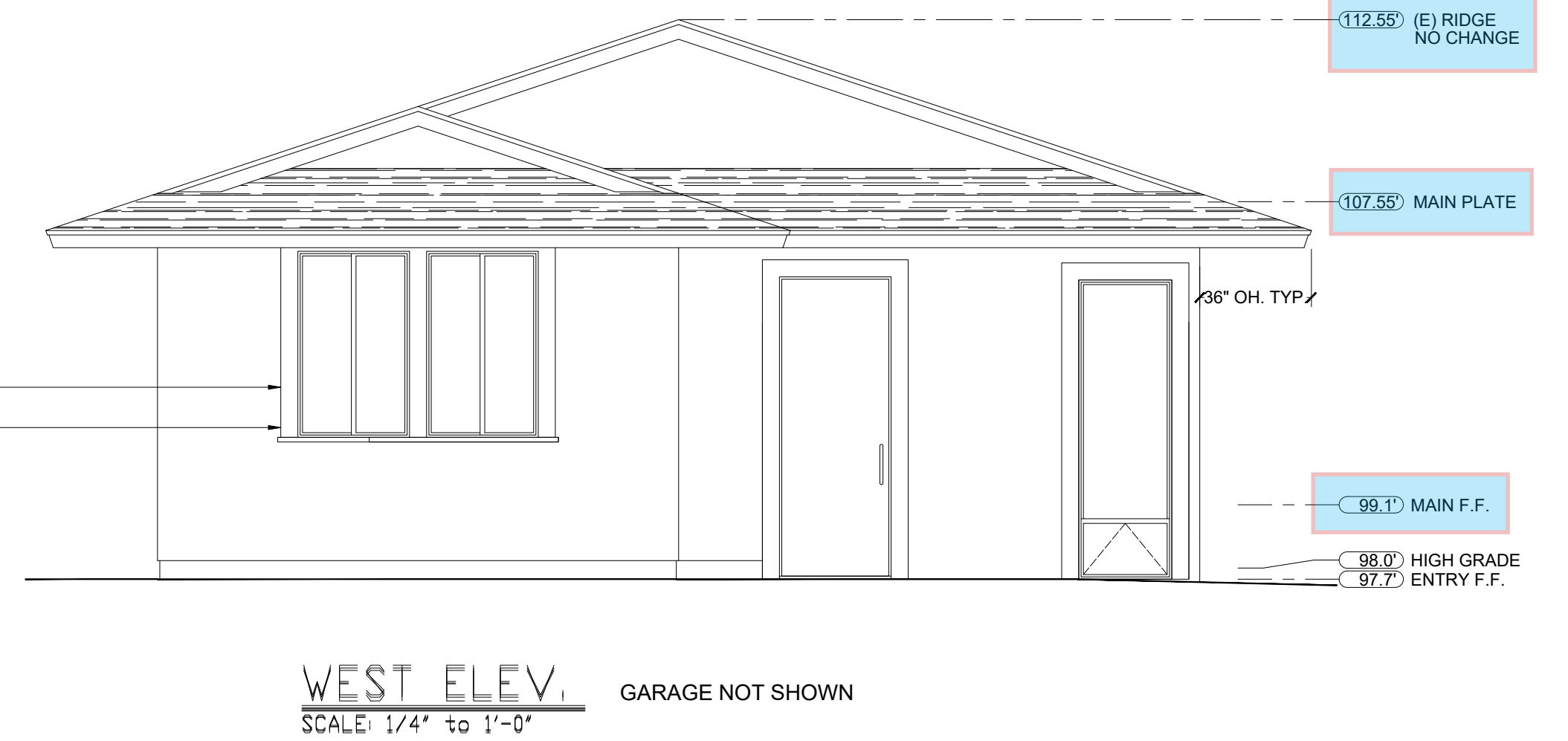
- SMOKE & CARBON MONOXIDE DETECTORS:
1. SMOKE DETECTORS SHALL BE INSTALLED OUTSIDE OF EACH SEPERATE SLEEPING AREA, IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EVERY LEVEL OF THE DWELLING, INCLUDING BASEMENTS SMOKE DETECTORS MAY BE BATTERY SOLEY BATTERY OPERATED AND ARE NOT REQUIRED TO BE INTERCONNECTED WHERE REPAIRS AND ALTERATIONS DO NOT RESULT IN THE REMOVAL OF WALL OR CEILING FINISHES OR THERE IS NO ACCESS BY MEANS OF ATTIC, BASEMENT OR CRAWLSPACE, AND WHERE NO MEANS OF PREVIOUS INTERCONNECTION EXISTED.
  2. SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS.
  3. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED OUTSIDE OF EACH SEPERATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EVERY LEVEL OF THE DWELLING. CARBON MONOXIDE DETECTORS MAY BE BATTERY SOLEY BATTERY OPERATED AND ARE NOT REQUIRED TO BE INTERCONNECTED WHERE REPAIRS AND ALTERATIONS DO NOT RESULT IN THE REMOVAL OF WALL OR CEILING FINISHES OR THERE IS NO ACCESS BY MEANS OF ATTIC, BASEMENT OR CRAWLSPACE, AND WHERE NO MEANS OF PREVIOUS INTERCONNECTION EXISTED.

REVISION	BY

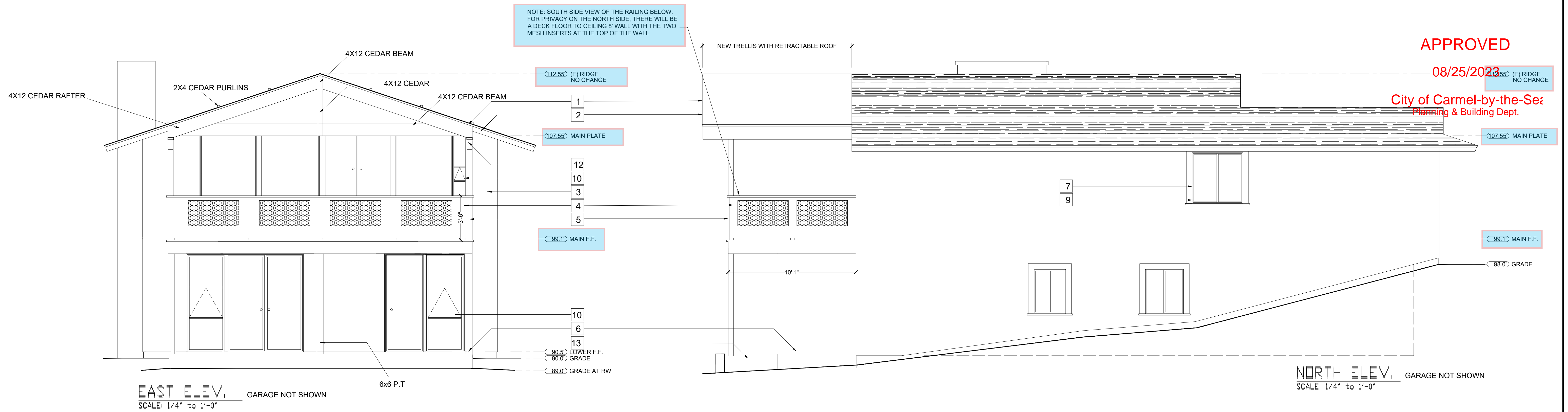




**SOUTH ELEV.** GARAGE NOT SHOWN  
SCALE: 1/4" to 1'-0"



**WEST ELEV.** GARAGE NOT SHOWN  
SCALE: 1/4" to 1'-0"



**EAST ELEV.** GARAGE NOT SHOWN  
SCALE: 1/4" to 1'-0"

**NORTH ELEV.** GARAGE NOT SHOWN  
SCALE: 1/4" to 1'-0"

#### EXTERIOR FINISH NOTES:

- 1 TRELLIS AND RETRACTABLE ROOF AWNING
- 2 GUTTERS, FASCIA, & EAVES TO MATCH (E)
- 3 COAT PLASTER TO MATCH (E)
- 4 STUCCO WALL WITH 2X4 SCREEN AND REDWOOD CAP
- 5 6x6 PT POSTS, w/ 1x~ PAINTED WRAPPING
- 6 (E) WOOD DECK TO REMAIN
- 7 \*FLEETWOOD\* WINDOWS, REPLACE (E) TYP.
- 8 RAISE (E) WINDOW SILL
- 9 2x6 RWD/ CEDAR WINDOW TRIM, MATCH (E)
- 10 NEW FLEETWOOD WINDOWS
- 11 REDWOOD CAP
- 12 S.S. BEAM CAP
- 13 (E) PLANTER TO REMAIN

**APPROVED**

08/25/2023

City of Carmel-by-the-Sea  
Planning & Building Dept.

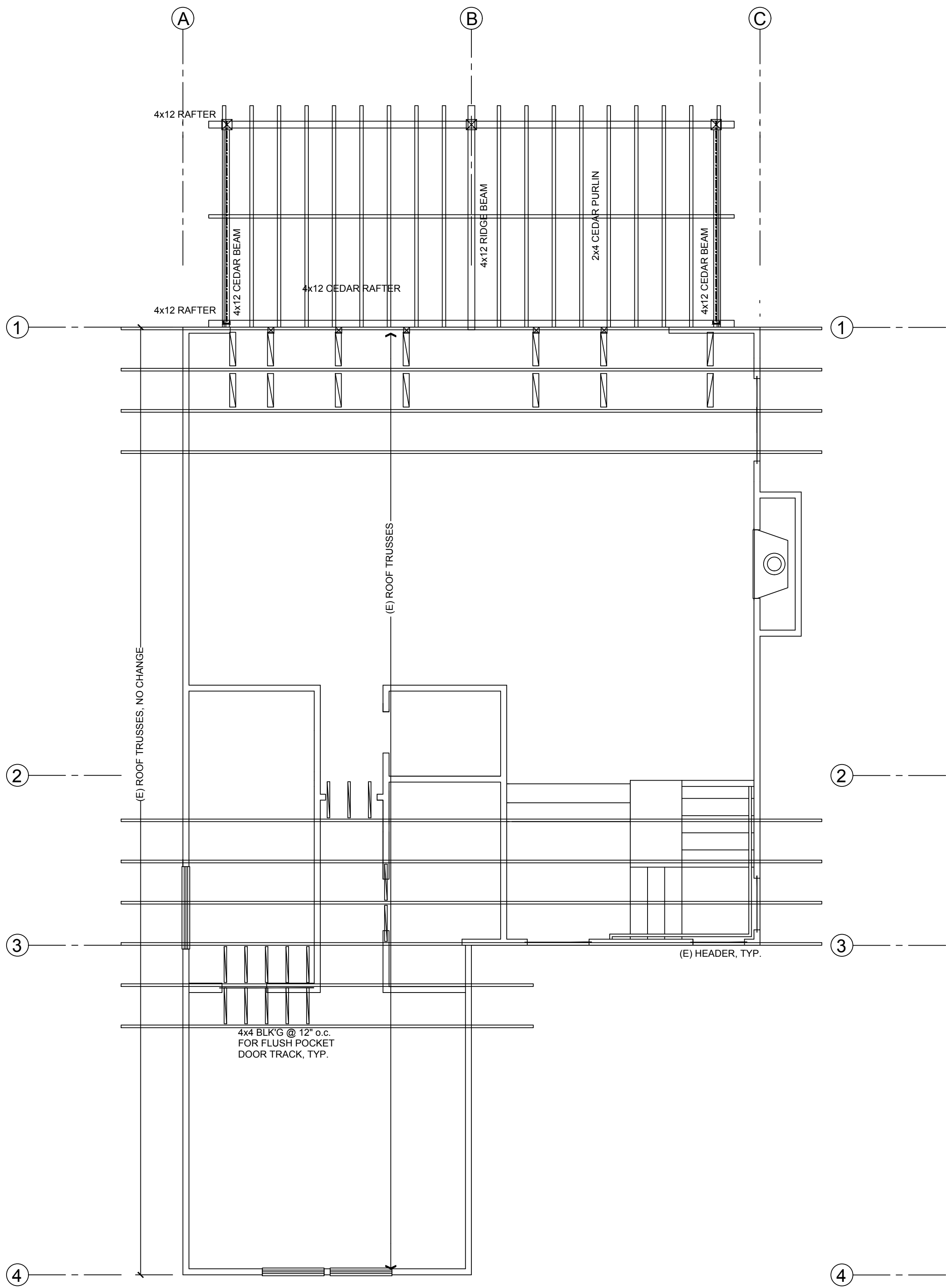
REVISION	BY

**ROESNER BUILDING & DESIGN**  
Michael F. Roesner  
831 241 1381  
www.roesnerbuilding.com  
nichae@roesnerbuilding.com  
761229

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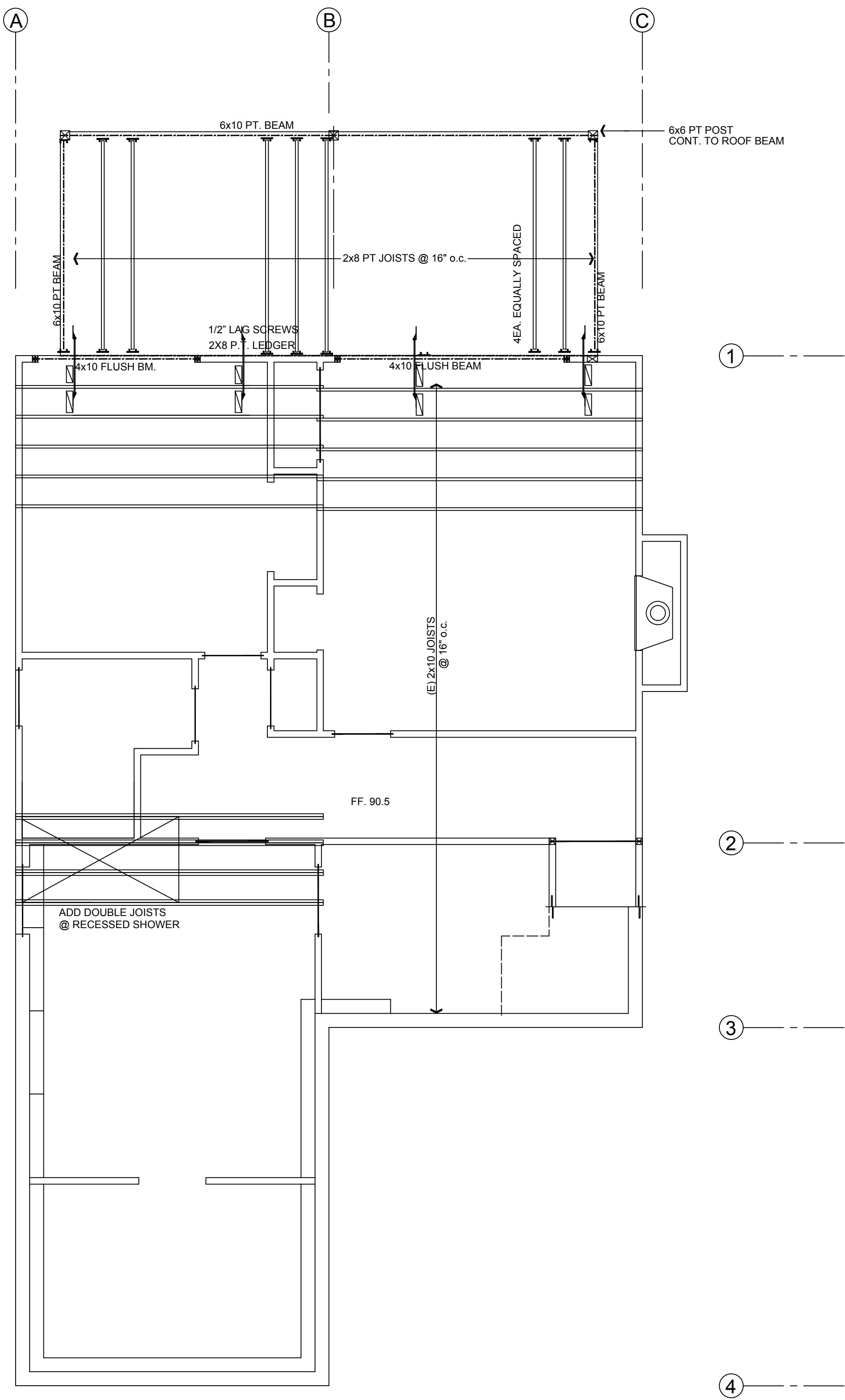
Master Bath & Deck Remodel for:  
**Jill Hotvet**  
Torres Ave 5 SE of 8th  
Carmel, Ca.

DATE	07/05/23
SCALE	As Noted
DRAWN	
JOB	
SHEET	A-3.0
OF	SHEETS

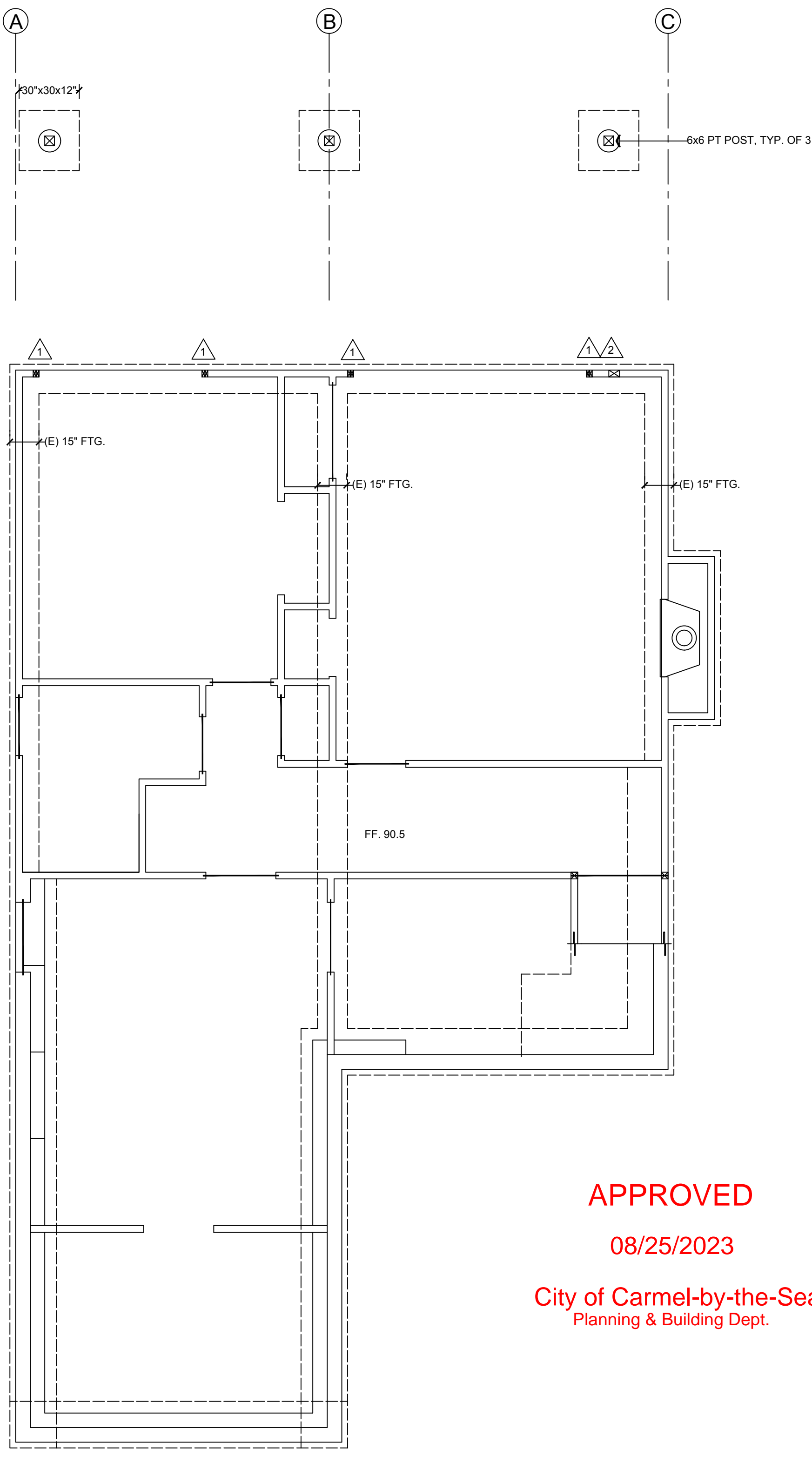


ROOF FRAMING PLAN  
SCALE: 1/4" to 1'-0"

- ROOF FRAMING NOTES:
1. ALL ROOF FRAMING SPACES AS SHOWN ON PLANS SHALL BE AS MEASURED ON SLOPE OF ROOF.
  2. ALL ROOF SHEATHING SHALL BE TYPE "A" PER SCHEDULE.
  3. ○ DENOTES HOLDOWN. SEE HOLDOWN SCHEDULE
  4. CONTRACTOR SHALL VERIFY FIRE SPRINKLER LAYOUT AND PROVIDE ADDITION FRAMING AS NEEDED FOR ADDITIONAL SUPPORT.
  5. → REPRESENTS DIRECTION OF ROOF SLOPE:
  6. ALL POST TO BEAM CONNECTIONS SHALL HAVE SIMPSON PC OR EPC CONNECTORS, U.N.O.
  7. USE SPLICE TYPE "A" PER SCHEDULE TYP, U.N.O.
  7. ALL SHEAR CLIPS SHALL BE A-35 @16" o.c.



1st FLOOR FRAMING PLAN  
SCALE: 1/4" to 1'-0"



FOUNDATION PLAN  
SCALE: 1/4" to 1'-0"

- FOUNDATION NOTES:
1. ALL HOLDOWNS & EMBEDDED ITEMS MUST BE TIED IN PLACE AND SECURE PRIOR TO FOUNDATION INSPECTION.
  2. ○ DENOTES HOLDOWN. SEE SCHEDULE.
  3. NEW CONT. FOOTINGS ARE 24"x18" THICK, w/ 3- #4 t&b U.O.N.
  4. ALL DECK PIERS ARE 30"x30"x12" w/ 4- #4 BOTTOM & #4 ea. CORNER.
  5. <img alt="diagonal line symbol" style="vertical-align: middle;"/> DENOTES PLYWOOD SHEAR TYPE PER SCHEDULE & MIN. LENGTH OF WALL.
  6. PROVIDE 3" MIN. COVER BELOW & AROUND ALL HOLDOWN BOLTS.
  7. ALL POSTS SHALL BE 4x~ TYP. WITH SIMPSON PB44 AT BASE, TYP, AND 6x~ TYP. WITH PB66 AT BASE OF DECK U.O.N.
  8. ALL SILL BOLTS SHALL BE 1/2" dia. x 10"L @ 32" o.c.

- SCOPE OF WORK:
- △ REPLACE (E) 2x4 TRIMMERS AS SHOWN
  - △ ADD 4x6 POST TO CARRY DECK BEAM

APPROVED  
08/25/2023  
City of Carmel-by-the-Sea  
Planning & Building Dept.



- FLOOR SHEATHING: Floor sheathing shall be 3/4" CDX plywood, T. & G. Nail with 8d at 6" o.c. all supported edges and 8d at 10" o.c. all intermediate bearing. P.I. 32/16. Keep minimum 1/16" clear between all panel edges. All sheathing shall be glued to framing with subfloor adhesive. Nail floor sheathing to all blocking, rim joists, etc. with 8d at 3" o.c. at all shear walls U.O.N. on plans or details.
2. FLOOR FRAMING: Floor framing shall be 14" T.J.I. 360 joists at 16" o.c. Block all joists at all bearing. CONTRACTOR shall install and brace trusses as recommended by joist manufacturer.
3. WALLS: All walls shall be 2 x 4 studs at 16" o.c. U.O.N. on plans. Studs at exterior walls and bearing walls shall be D. F. No. 2 or better. Balloon-Frame all walls and block all studs at maximum 10' o.c. All plumbing walls that are bearing walls or shear walls shall be 2 x 6 walls. CONTRACTOR shall coordinate layout of plumbing walls with plumbing contractor prior to the start of framing for location of plumbing walls. CONTRACTOR shall obtain ENGINEER's permission for drilling or notching studs or double to plate of any shear or bearing wall more than 1/2 of width of wall
4. SHEAR WALLS: See framing plans for location and type of shear wall. All EXTERIOR WALLS shall be sheathed with TYPE P/I shear wall sheathing, U.O.N. on plans. Shear wall sheathing shall be continuous the entire wall length from sill plate to floor sheathing, unless otherwise detailed or specified.
5. HEADERS: All headers at bearing walls shall be 4 x 10 at 2 x 4 walls and 6 x 6 at 2 x 6 walls, U.O.N. on plans. Provide 1 - 2 x - trimmer and 1 - 2 x - king stud at all shear walls and bearing walls. CONTRACTOR shall verify that existing headers are as specified.
6. POSTS: All beams shall bear on posts width to match width of beam and depth to match depth of wall, U.O.N. on plans. Posts shall be continuous to foundation or beam below. Block solid between posts at floor framing. Fasten all beams to posts with PC post caps, use EPC caps at ends of beams. These connections are typical, unless otherwise detailed on plans.
7. HANGERS: Use HUTF [16 gauge] hangers for all sawn lumber beams. Use GB hangers for GLB's and GLTV hangers for PARALLAM beams. Use U series hangers for sawn lumber floor joists. Use IUT or ITT hangers for T.J.I. joists. These hangers are typical, U.O.N. on plans or details.
8. TOP PLATES: All double top plates shall be spliced with 14 - 16d, unless otherwise detailed or specified on plans. All plates shall be D. F. No. 2 or better. Notify ENGINEER of any double top plates or studs which are notched more than 1/3 the width of the plates at any shear walls or bearing wall.
9. LUMBER: All lumber shall conform to the rules of a recognized grading agency and Tables 23-IV-V-1 through 23-IV-V-2 of the C.B.C. Joists shall be D.F. Larch No. 1 or better. Beams shall be D.F. Larch No. 1 or better. GLB's shall have a combination symbol of 24F-V4 DF/DF. Parallam beams shall be 2.0E Parallam PSL. Microllam beams shall be 1.9E Microllam LVL. Rim Joists shall be minimum 1-1/4" 1.7E TimberStrand LSL. Headers and posts shall be D.F. Larch No. 2 or better. For studs - See Note 3. All lumber in contact with concrete, within 6" of earth or exposed to the weather (Deck Framing) shall be pressure-treated (P.T.).
10. HOLDOWN: Location shown of holdowns is approximate. Align holdowns with ends of shear walls. See dimensioned floor plans and details to determine exact location of holdowns. Provide minimum 2 - 2 x - studs or trimmers or 4 x - post for holdown, see holdown schedule for post size. Provide shear wall edge nailing into each stud and two rows E.N. into 4 x - post which is bolted to holdown. Block solid between posts at floors.
11. ROOF POSTS: CONTRACTOR shall install post to align with and match size of post above. Block solid between posts at floor. See next level framing plan to determine size and location.
12. STRONG WALLS: See framing plans for type, size and location of all "Strong Walls". See plans and details to determine size of A.B.'s. Install all "Strong Walls" as specified by manufacturer. CONTRACTOR shall determine height of walls, footings and beams that "Strong Walls" are bolted to and height of wall headers, beams and double top plates that "Strong Walls" are attached to. CONTRACTOR shall determine and order height of "Strong Wall" required to accommodate specified framing. Notify ENGINEER of any discrepancies prior to ordering panels.
13. DECK FRAMING: Waterproof deck shall be framed with 2 x 12 joists at 16" o.c. Slope joists a minimum of 1/4" per foot for drainage. CONTRACTOR shall install flashing and waterproof surface as specified by manufacturer. NOTE TO OWNER: Waterproof surfaces require periodic maintenance and replacement. It shall be OWNER's responsibility to maintain deck and waterproofing as required.

1. **FOUNDATION:** Foundation design is based on an assumed bearing capacity of 1500 psf, Soil Type 4, Table 18-I-A of the C.B.C. All footings shall bear on firm native, undisturbed, sandy soil and adhere to the following table:

CONTRACTOR shall verify that existing soil conditions are as assumed. Notify ENGINEER if existing soil conditions are not as assumed prior to laying any reinforcing or pouring any concrete.

EXISTING CONDITIONS: CONTRACTOR shall verify that existing conditions and grades are as shown. Notify DESIGNER of any discrepancies prior to proceeding with work.

2. CONCRETE STRENGTH: All concrete shall develop an ultimate compressive strength at age 28 days as follows:

2. **CONCRETE STRENGTH:** All concrete shall develop an ultimate compressive strength at age 28 days as follows:
 

FOOTINGS	2500 psi
SLAB ON GRADE	2500 psi
3. **REINFORCING:** All reinforcing shall conform to A.S.T.M. Grade 40.
4. **BOLTS:** All bolts shall conform to A.S.T.M. A307. The threaded portion of the bolt bearing on wood shall be kept to a minimum. Do not use All-Thread rods for bolts which bear on wood.

All fasteners embedded on concrete shall be attached to or hooked around reinforcing steel.

5. SILL PLATES: All sill plates shall be bolted to foundation with 5/8" o x 10" A.B.s at 48" o.c. Embed bolts minimum of 7" into concrete or grout. This spacing is typical U.O.N. on Foundation Plan or details.
- Provide 2" x 2" x 3/16" washers at all A.B.'s. Install washers parallel and perpendicular to sill plates.
- Provide minimum of two bolts per plate and one bolt within 4" to 12" from the end of all plates.
- All sill plates shall be 2 x - P.T. D.F. No. 2 or better U.O.N. or detailed on plans.

All steel as A.B.'s washers and nails and framing hardware such as hangers, post caps and post bases, in contact with pressure-treated lumber shall be stainless steel or **HOT DIP GALVANIZED** with minimum coating of G90, 0.90 oz./sq. ft.

6. **HOLDDOWNS:** Location of holdowns shown is approximate. See plans and details to determine exact location of holddown anchor bolt. Provide minimum 2 - 2 x - studs or 4 x - post at the end of each shear wall for bolting holddown to shear wall unless otherwise specified on plans. Provide shear wall edge nailing into each stud bolted to holddown and two rows edge nailing into 4 x - posts.

Holdown devices shall be secured in place prior to foundation inspection. Holdown devices shall be re-tightened just prior to covering the wall framing.

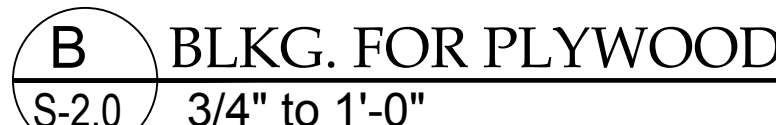
7. **CONCRETE SLAB ON GRADE:** Concrete slab on grade shall be minimum 5" thick, over 2" sand, over vapor barrier, over 4" gravel base. Vapor barrier shall be minimum 10 mil Moistop by "Fortifiber Corporation" or equal. Reinforce slab with #3 bars at 18" o.c. each way placed at center of slab.

3. CONTROL JOINTS: CONTRACTOR shall space control joints evenly, 15' o.c. maximum each way. Provide extra control joints at all building corners and offsets or discontinuities.

9. **FLOOR FRAMING:** Floor framing shall be 14" T.J.I. 360 joists @ 16" o.c. Block all joists at all bearings. CONTRACTOR shall install and brace joists as recommended by manufacturer

0. FLOOR SHEATHING: Floor sheathing shall be 3/4" CDX plywood T. & G. Nail with 8d 6" o.c. all supported edges and 8d at o.c. field nailing. Keep minimum 1/8" clear between panel edges unless otherwise specified by manufacturer. All sheathing shall be glued to framing with subfloor adhesive.

1. **UNDERFLOOR ACCESS:** Contractor shall provide minimum 18" clear underfloor joists and 12" under all girders. Access shall not be obstructed by any plumbing, mechanical ducts or any other framing. CONTRACTOR shall coordinate layout of ducts with heating contractor and provide clearances as required.



SHEAR WALL SCHEDULE					
MARK	SHEAR WALL SHEATHING	EDGE NAILING	FIELD NAILING	COMMENTS	CAPACITY
①	15/32" CDX PLYWOOD SHTG.	8d @ 6"o.c.	8d @ 12"o.c.		365 PLF
②	15/32" CDX PLYWOOD SHTG.	8d @ 4"o.c.	8d @ 12"o.c.		533 PLF
③	15/32" CDX PLYWOOD SHTG.	8d @ 3"o.c.	8d @ 12"o.c.	STAGGER EDGE NAILS ON 3x-MEMBERS	685 PLF
④	15/32" CDX PLYWOOD SHTG.	8d @ 2"o.c.	8d @ 12"o.c.	STAGGER EDGE NAILS ON 3x-MEMBERS	895 PLF
⑤	15/32" CDX PLYWOOD SHTG. BOTH SIDES OF WALL	8d @ 3"o.c.	8d @ 12"o.c.	STAGGER EDGE NAILS ON 3x-MEMBERS	1370 PLF

NOTE:

1. BLOCK ALL EDGES, STAGGER ALL EDGE NAILS
2. ALL NAILS TO BE COMMON NAILS

HOLDOWN SCHEDULE 2nd FLOOR						
TYPE	HOLDOWN	FASTENERS <sup>3</sup>		POST	EDGE DISTANCE	UPLIFT CAPACITY
		NAILS <sup>2</sup>	BOLTS			
⑥	SIMPSON ST6236	10- 16d ea. MEMBER	-	2- 2x~	-	1925 #
⑦	SIMPSON MST148	32- 16d	-	2- 2x~	-	3375#
⑧	SIMPSON FTA5		4- 3/4" dia.	4x~	-	4400 #
⑨						

NOTE:  
1. ALL CONCRETE SHALL TEST AT 2500 PSI MINIMUM AT 28 DAYS  
2. ALL NAILS TO BE COMMON NAILS  
3. CONNECTION TO POST MAY BE EITHER NAILS OR BOLTS

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




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SILL CONNECTION SCHEDULE 2nd FLOOR			
MARK	SHEATHING	COMMENTS	CAPACITY
1	16d @ 8" o.c.	USE THIS TYPE UNLESS U.O.N.	210 PLF
2	16d @ 6" o.c.		280 PLF
3	16d @ 4" o.c.		420 PLF
4	16d @ 2" o.c.	STAGGER IN 2 JOISTS / BLOCKS BELOW	560 PLF

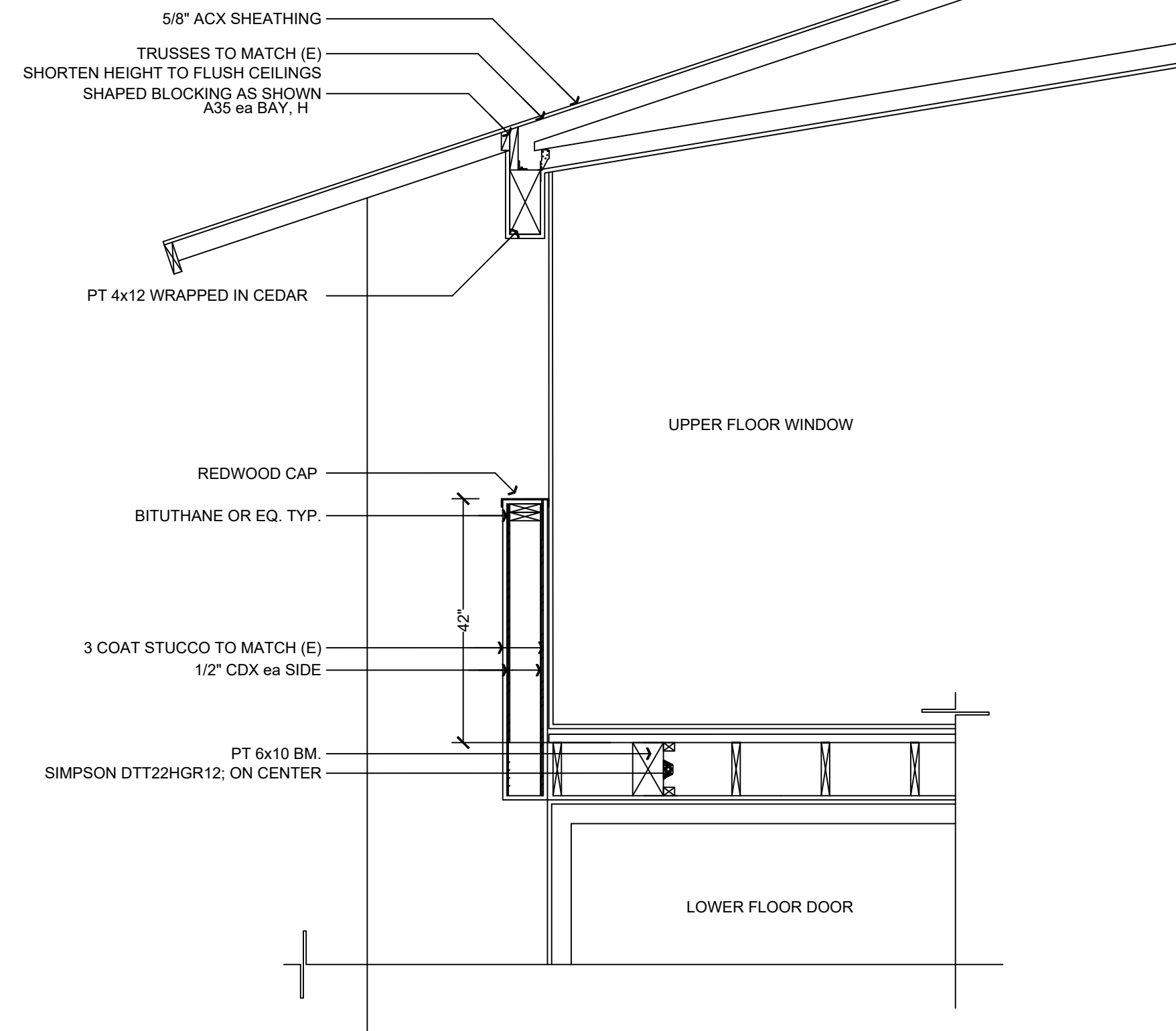
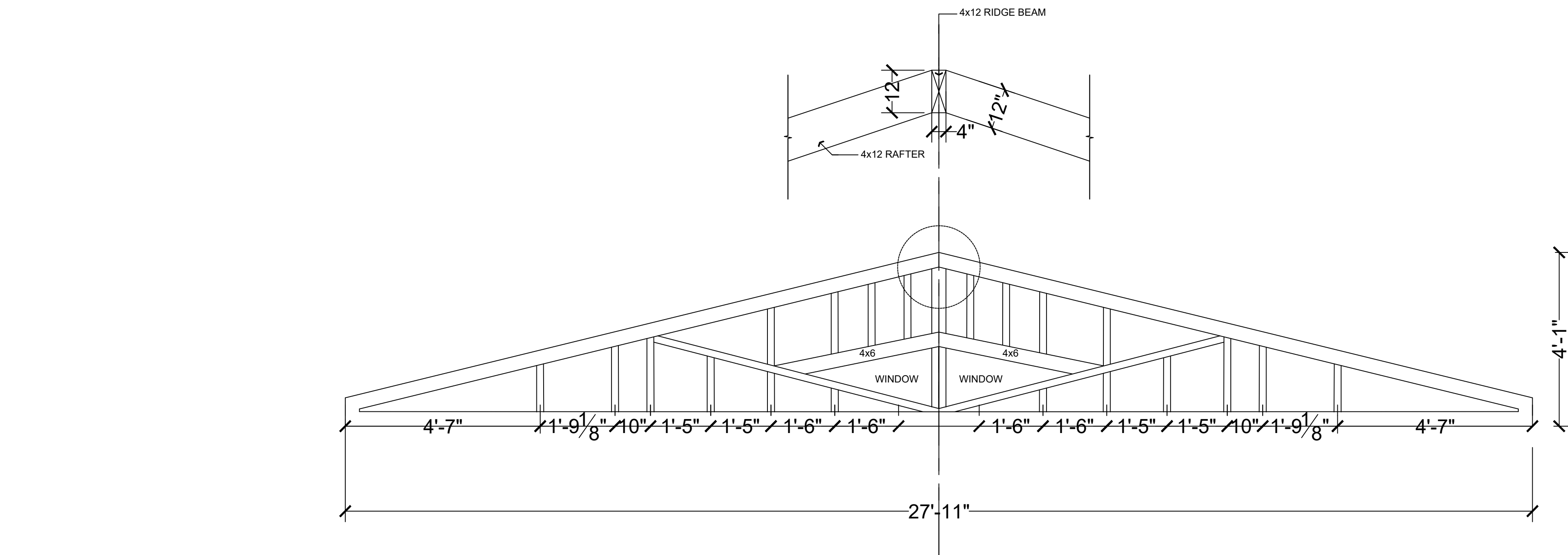
NOTE:

1. USE ONE BOLT 8" FROM WALL OR SEGMENT ENDS. USE MIN. TWO BOLTS PER SEGMENT.
2. PROVIDE SIMPSON BP1/2-3 BEARING PLATE WASHERS AT ALL ANCHOR BOLTS. (3"x3"x3/16")

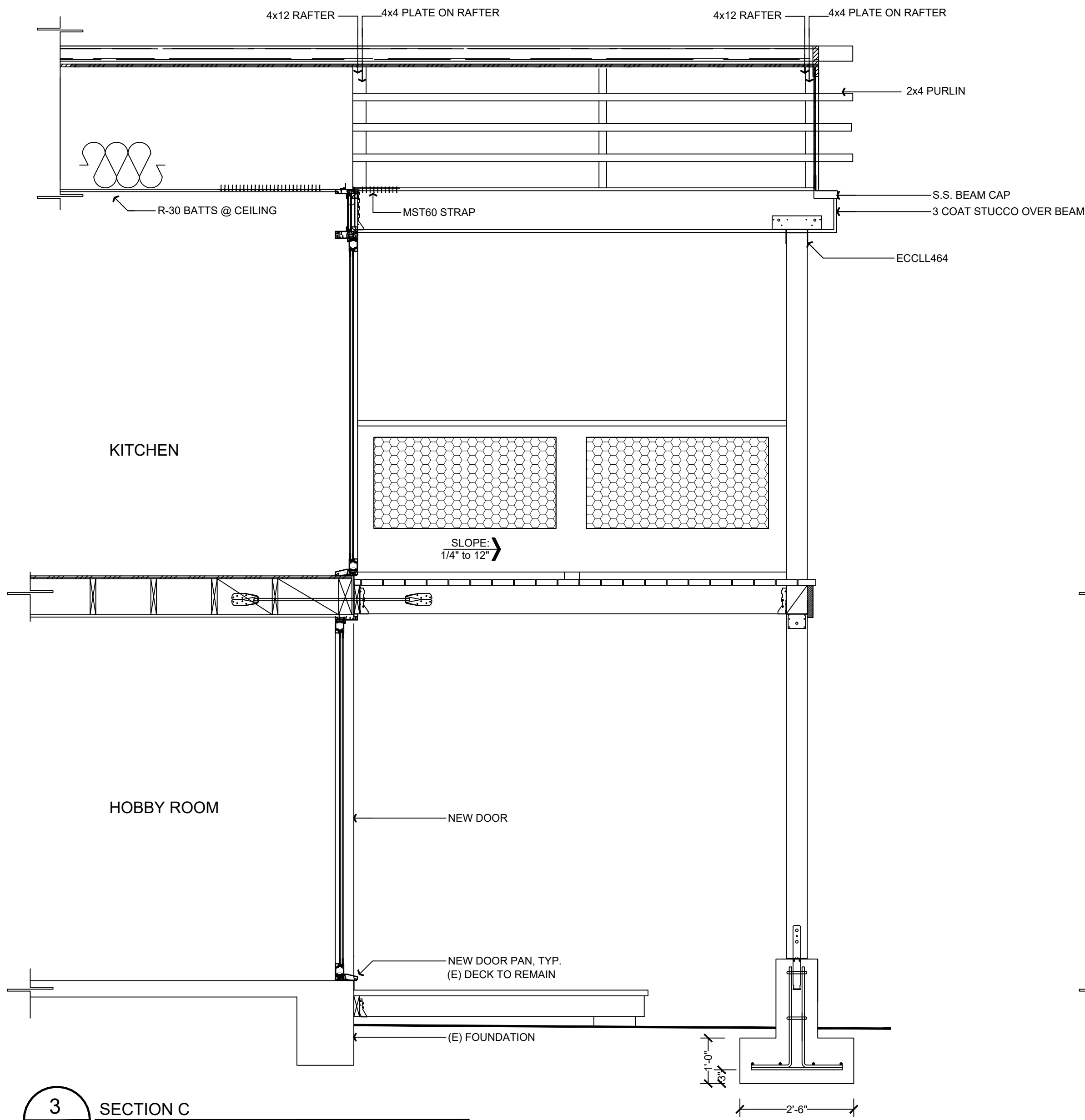
TOP PLATE SPlice SCHEDULE			
TYPE	CONNECTORS	COMMENTS	CAPACITY
	8-16d BOX		1100#
	16-16d BOX	USE THIS TYPE UNLESS U.O.N.	2200#
	24-16d BOX		3300#
	4 - 5/8" BOLTS		3800#
	6 - 5/8" BOLTS		5700#
	8 - 5/8" BOLTS		7800#

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<p>Master Bath &amp; Deck Remodel for: <b>Jill Hotvet</b> Torres Ave 5 SE of 8th</p>		<p><b>ROESNER BUILDING &amp; DESIGN</b></p>			
DATE	05/31/2017				
SCALE	As Noted				
DRAWN					
JOB					
SHEET	S-2.0				
OF	SHEET				

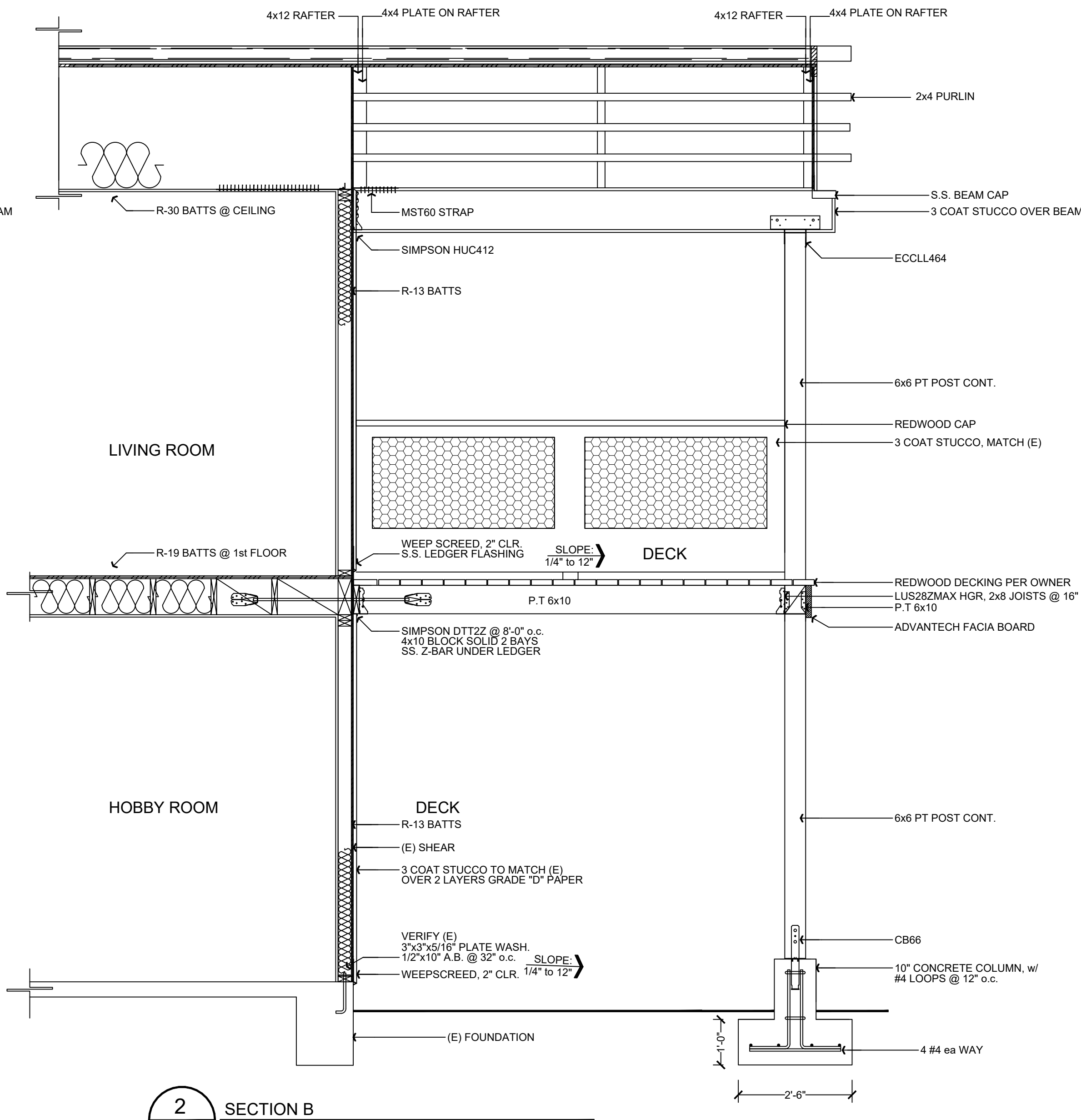




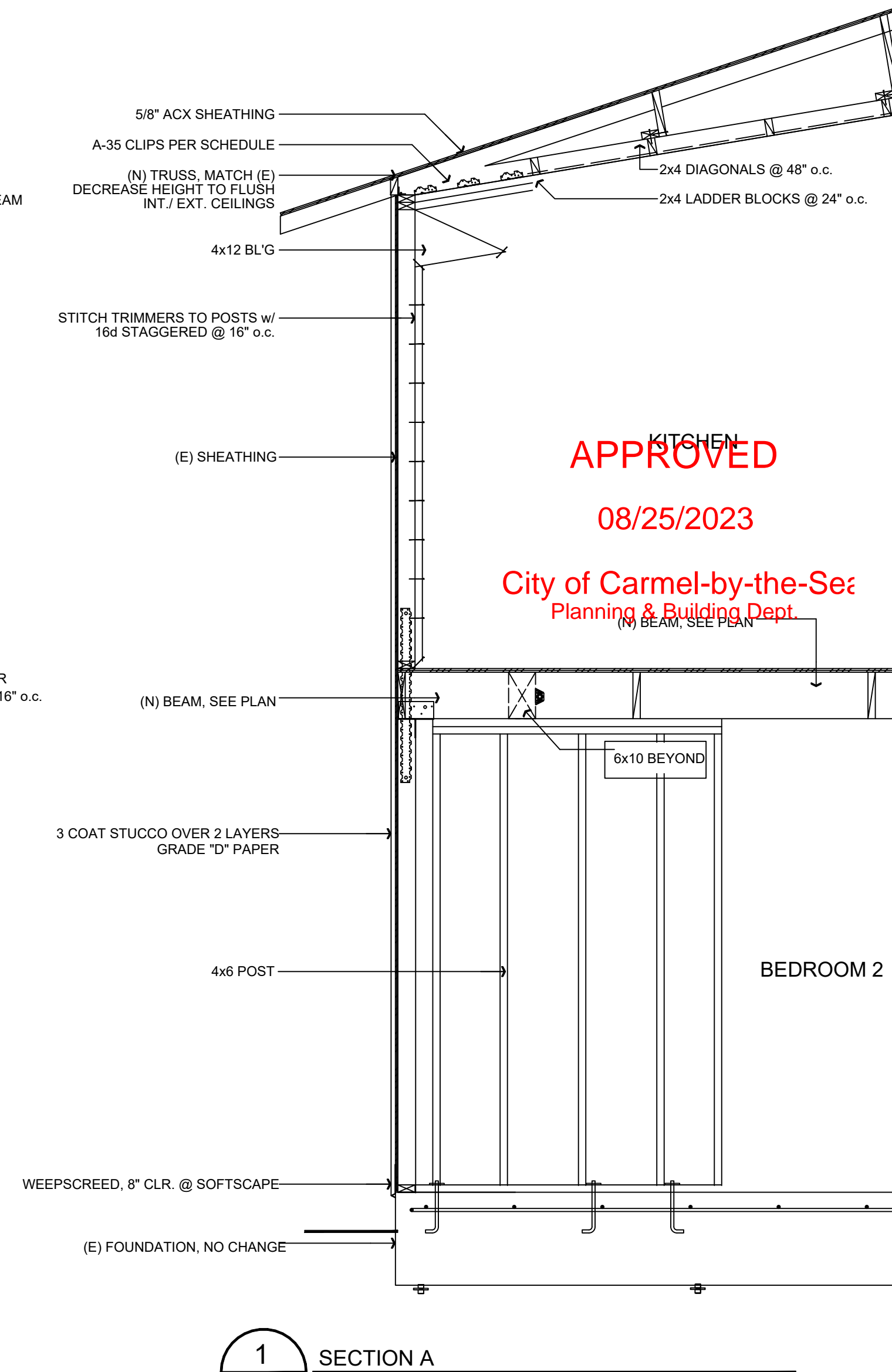
4 SECTION D  
S2.1 3/4" TO 1'-0"



3 SECTION C  
S2.1 3/4" TO 1'-0"



2 SECTION B  
S2.1 3/4" TO 1'-0"

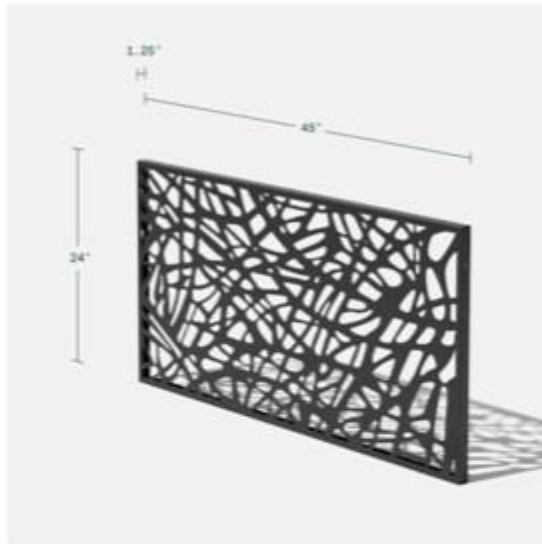


1 SECTION A  
S2.1 3/4" TO 1'-0"

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Mesh screen for railings



**Other Dimensions**

Overall	24" H X 45" W X 1.25" D
Overall Product Weight	13 lb.

Q: "What material is this?" asked by Lisa

A: "Made from laser-cut galvanized steel, all outdoor screens are of the highest quality and are designed to resist corrosion through all seasons."

28, 2023

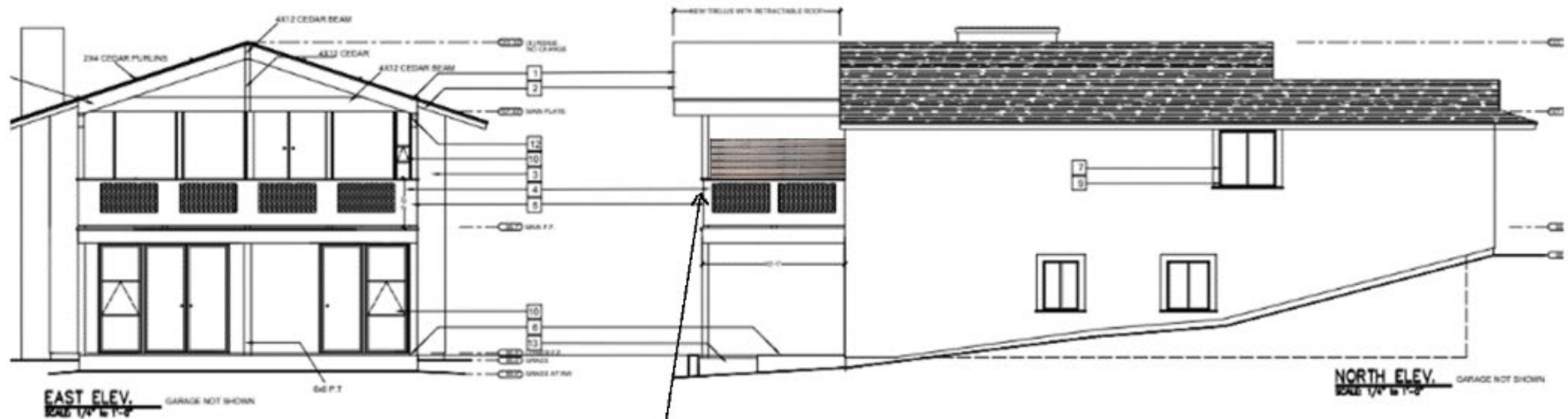
**APPROVED**

Q: "Are the spaces sharp?" asked by Jo Ann

A: "There are small spaces in the screen due to the design of the pattern but none of them are sharp."

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Wood slat privacy screen ~3' above deck railing.

Slats will be  $\frac{1}{2}$  to 1" apart. Wood color will match the wood trim of the home.

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Concrete 70.8 in

502V2-2167C



White 70.8 in

502V2-8102C



Boulder 70.8 in

502V2-2171C



Concrete 70.8 in

502V2-2167C



Black 70.8 in

502V2-8450C

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