



NOTICE OF APPLICATION SUBMITTAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has received an application for a Design Study Track 1 Major staff-level project. As a courtesy, this Notice of Application Submittal is being distributed immediately adjacent property owners. Any persons interested in the project are encouraged to contact the Project Planner listed below at (831) 620-2027 or ctarone@ci.carmel.ca.us.

Planning Application: DS 21-059 (Chinden Star LLC) **Location:** Junipero, 4 SW of 8th Avenue

Date Mailed: 3/25/2021

Project Planner: Catherine Tarone, Assistant Planner

Block: 98, **Lots:** 13 & 15; **APN:** 010-088-005 **Applicant:** Ryan Cornelsen

Project Description: 1) The construction of a new 242-square-foot, 11' x 22' enclosed garage in the same location as the previous carport at the southeast corner of the property. 2) The installation of a new deck on the roof of the garage, replacing the original deck that was on the roof of the carport that was recently demolished. The rooftop deck will be approximately 5' back from the south property line. The previous deck railing was solid and approximately 4.5' tall while the new deck railing is spaced wrought iron railing and is proposed to be 4' tall. 3) The reconstruction of the 119 square-foot storage area behind the garage that previously existed and which also has a lowered rooftop deck located 2-3 stair steps below the rooftop deck over the garage, matching the previous height. 4) All windows will be replaced with new divided light, aluminum-clad wood windows. Some windows will change location and size (refer to plans posted on the city's website at the link below). 5) The residence's wood siding will be replaced with stucco siding. 6) A new stairway and landing will be installed on the rear east elevation. 7) A new patio and retaining wall in the front yard. This application is currently under review by the Carmel Planning Department.

Plans are available on the City's website at <https://ci.carmel.ca.us/post/current-planning-applications>.

Is this project appealable to the Coastal Commission? No

PROJECT INFORMATION

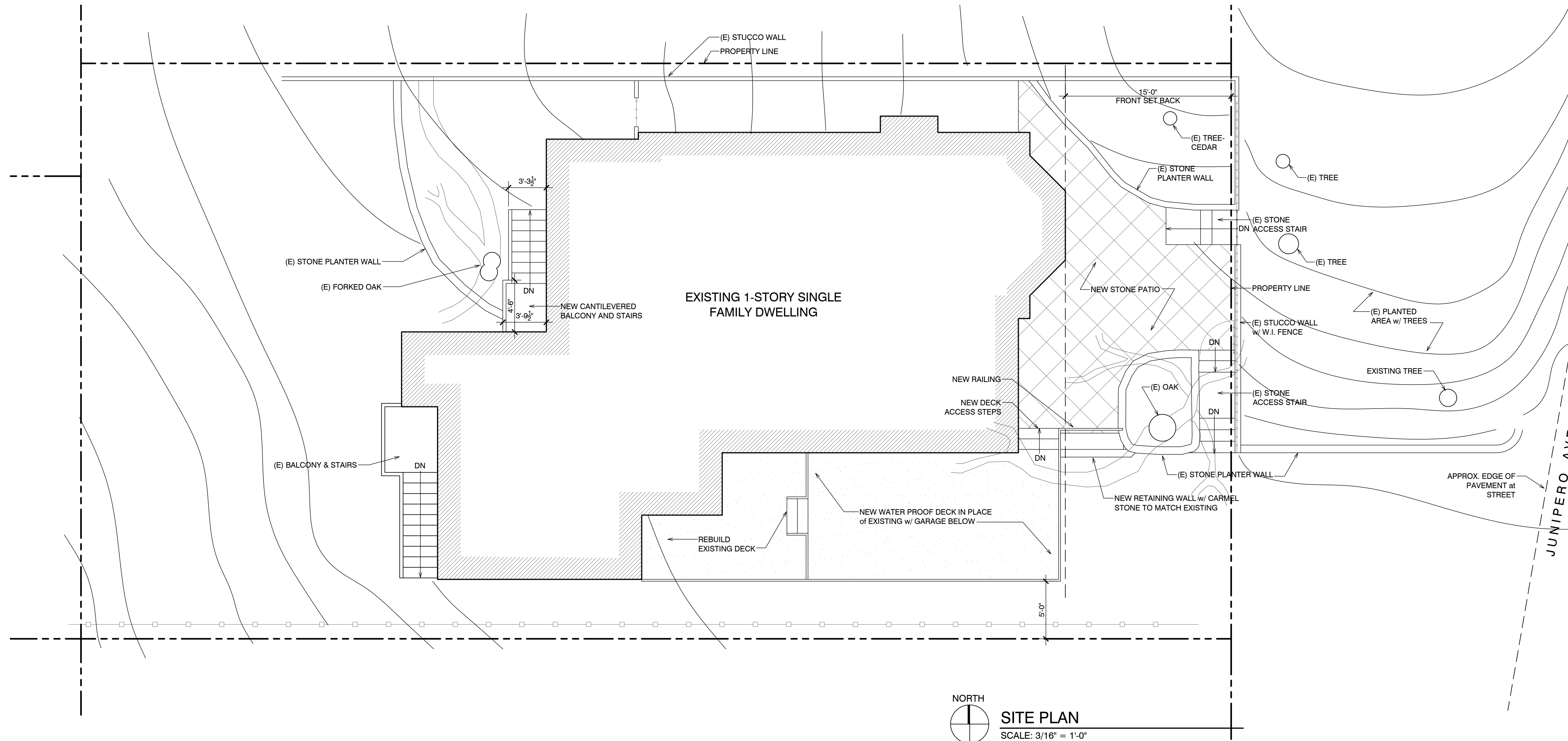
A.P.N. 010-088-05
 OWNER: CHINDEN STAR, LLC
 PROJECT ADDRESS: JUNIPERO 4th SW of 8th AVE
 ZONING: R-1
 PROJECT DESCRIPTION: REVISE PERMIT #13745 TO INCLUDE THE FOLLOWING:
 RE-BUILD EXISTING DECK, RE-ROOF WITH NEW ASPHALT SHINGLE ROOFING, REPLACE EXISTING WINDOWS WITH NEW ALUM. CLAD WOOD, REPLACE EXISTING DOORS WITH NEW STAIN GRADE & NEW SLIDING GLASS DOORS WITH NEW ALUMINUM CLAD WOOD, NEW STUCCO EXTERIOR FINISH, ADD A NEW 1-CAR GARAGE AND STORAGE BENEATH EXISTING DECK FOOTPRINT & INTERIOR REMODEL OF KITCHEN & BATHROOMS

GRADING: NONE
 TREE REMOVAL: NONE
 PARKING: 1 COVERED, 1 UNCOVERED (EXISTING NO CHANGE)
 SITE AREA: 5,000 SF

BUILDING AREAS:
 EXISTING HOUSE: 1,547 S.F.
 HOUSE ADDITION: 0 S.F.
 EXISTING DECK: 526 S.F. (TO BE REMOVED)
 NEW DECK: 400 S.F.
 ENCLOSED GARAGE: 242 S.F.
 ENCLOSED STORAGE: 119 S.F.
 TOTAL = 2,034 S.F.

FLOOR AREA RATIO & EXTERIOR VOLUME
 LOT: 5,000 x [0.45 - (1000 x 0.02)]
 1000
 5000 x 0.43 = 2,150 BASE FLOOR AREA
 MAX BONUS FLOOR AREA 717 SF

BASE FLOOR AREA: 2,150
 BONUS FLOOR AREA: 717
 MAX FLOOR AREA: 2,867



REVISIONS:

Proposed Renovation & Addition for:
CHINDEN STAR, LLC
 Pat & Kristen House
JUNIPERO 4th SW of 8th AVE.
CARMEL, CA
 A.P.N.: 010-088-05

DRAWING PREPARED BY:

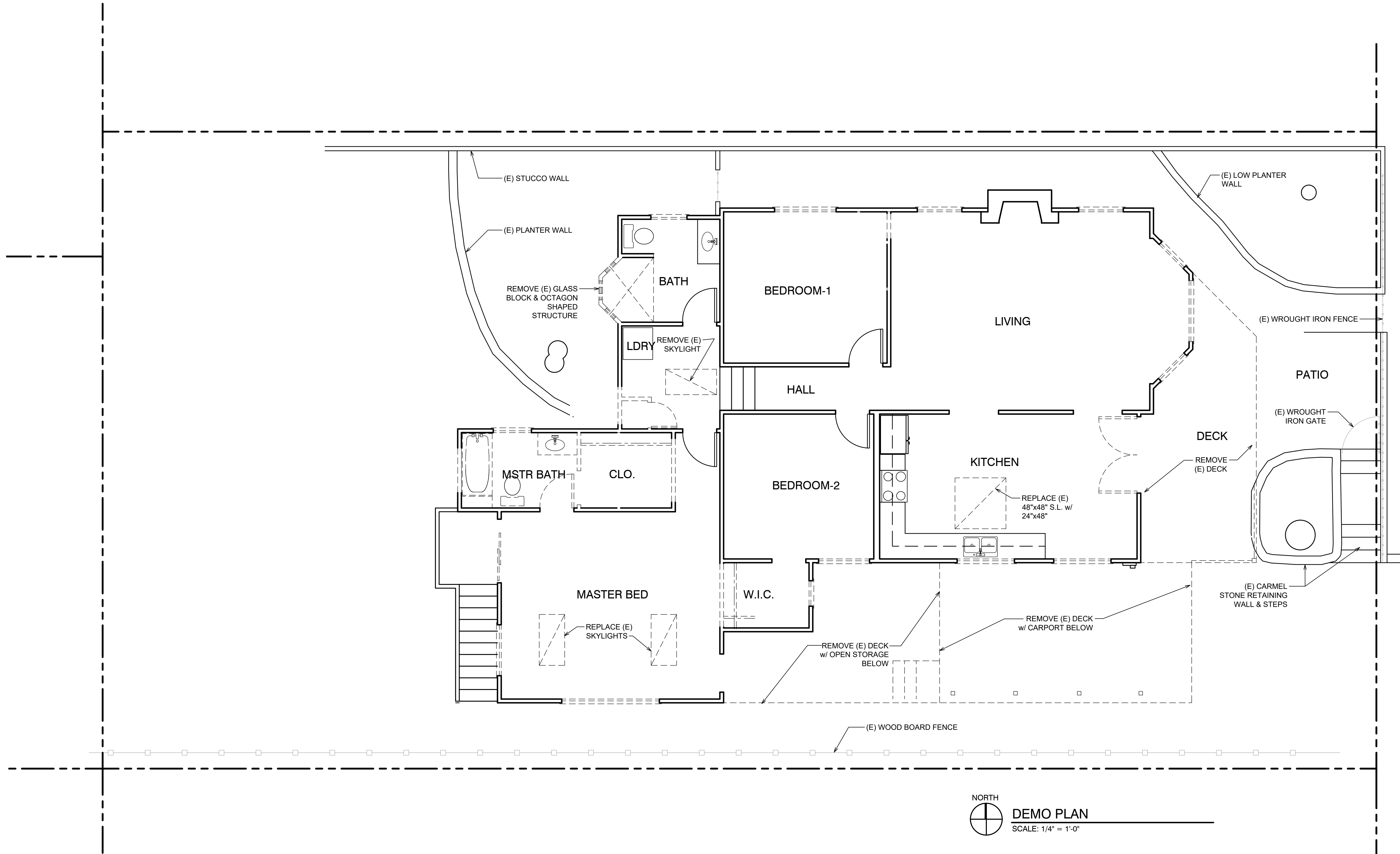
RYAN CORNELSEN
 350 Corral de Tierra Rd
 Salinas, Ca 93908
 Ph: (831) 578-2824
 E-Mail: Ryan1.Cornelsen@gmail.com

DATE:

2/16/2021

SHEET:

A1.0



NORTH
 DEMO PLAN
 SCALE: 1/4" = 1'-0"

WALL LEGEND:
 ——— EXISTING WALLS TO REMAIN
 - - - - EXISTING WALLS TO BE REMOVED
 = = = = PROPOSED NEW WALLS (2x4 STUDS @ 16" O.C.)

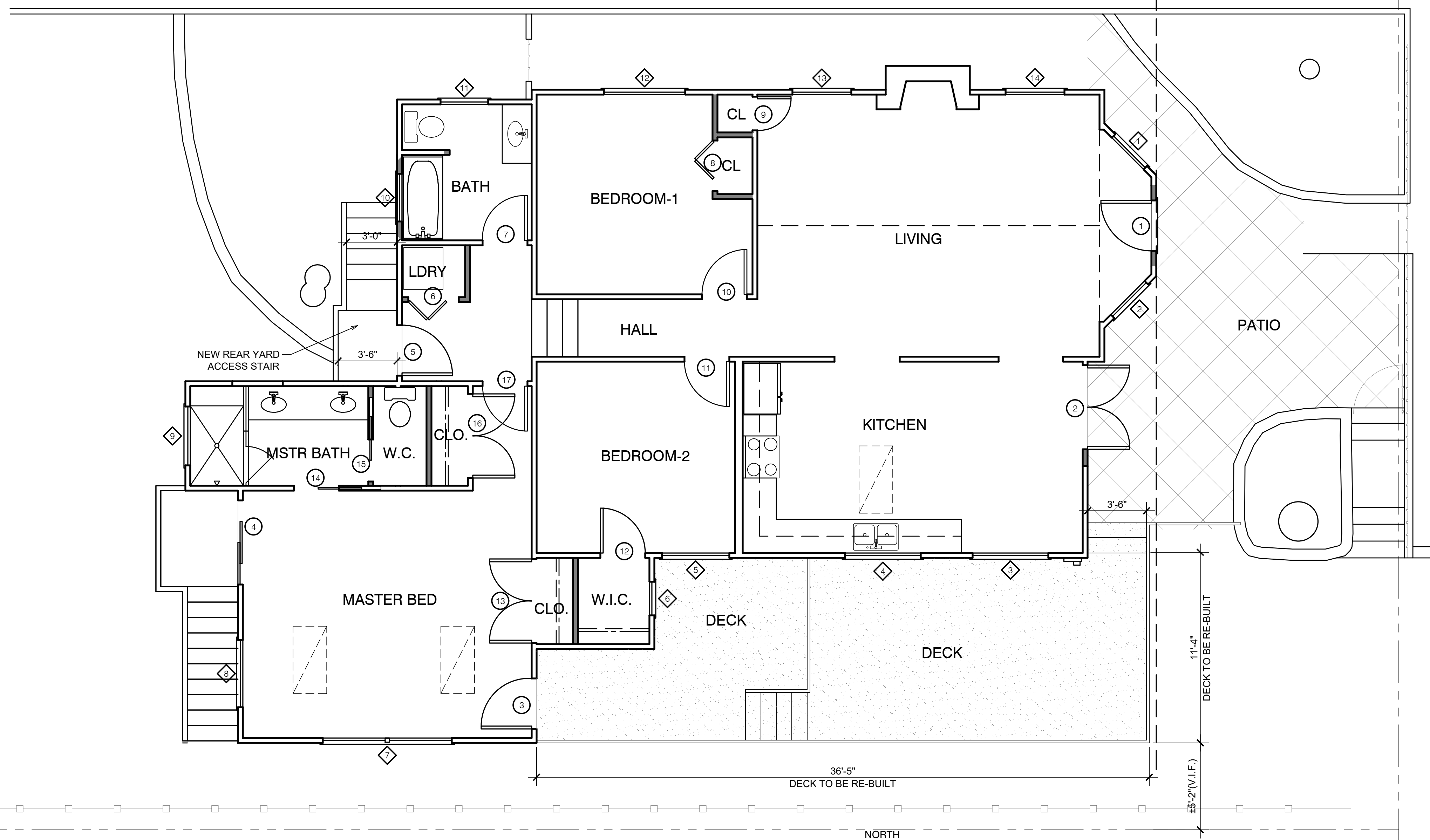
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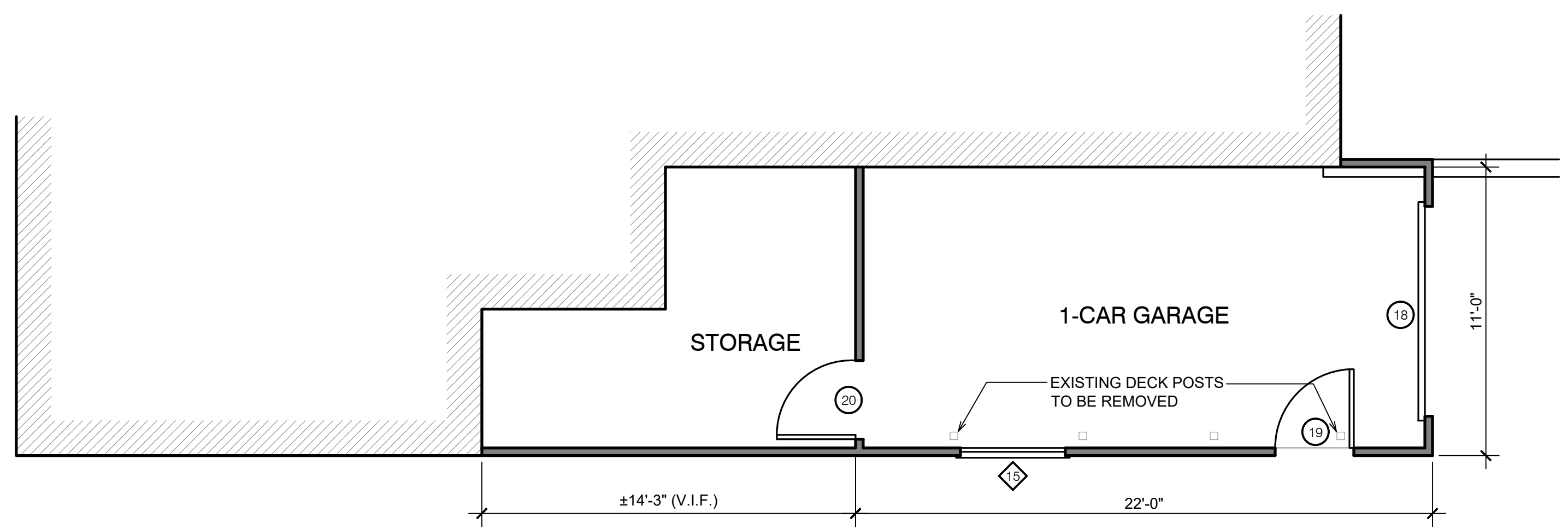
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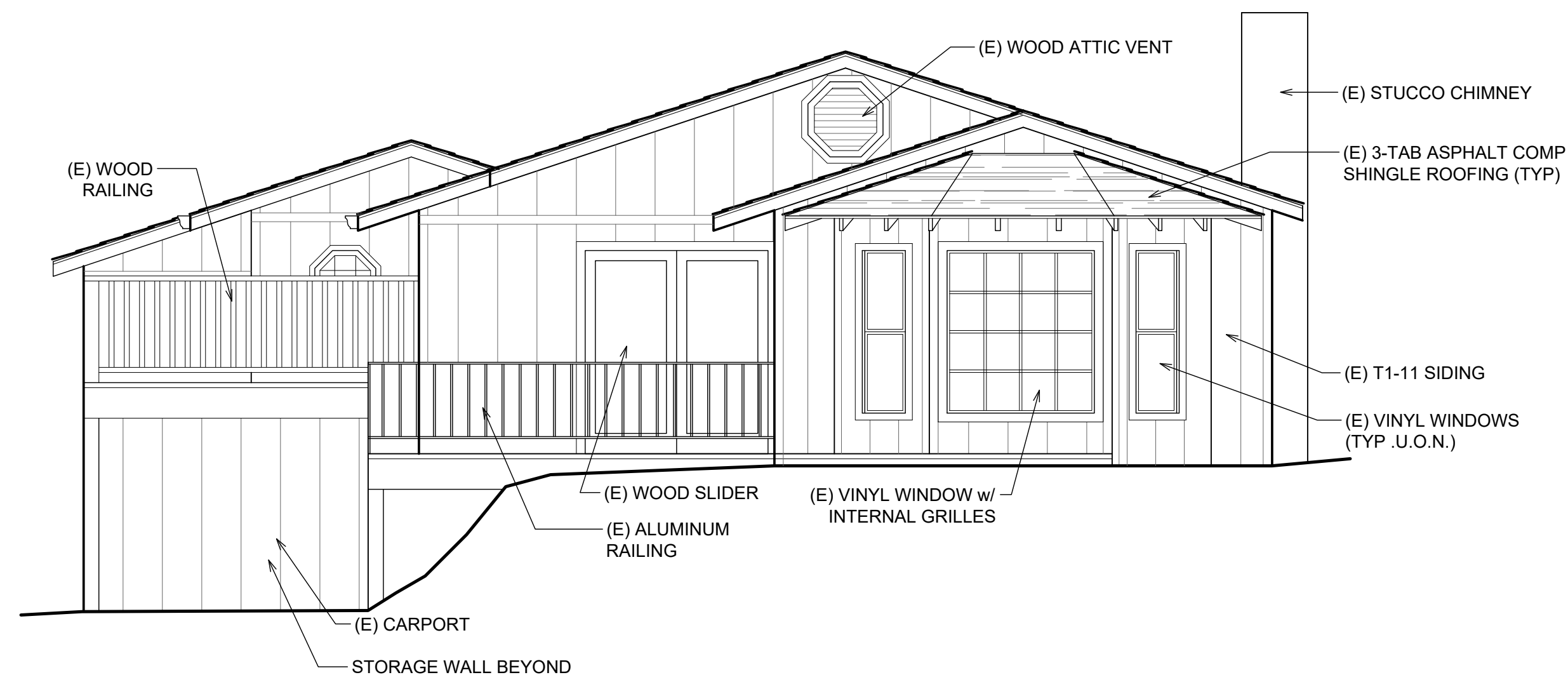
NORTH
FLOOR PLAN
SCALE: 1/4" = 1'-0"



NORTH
LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"

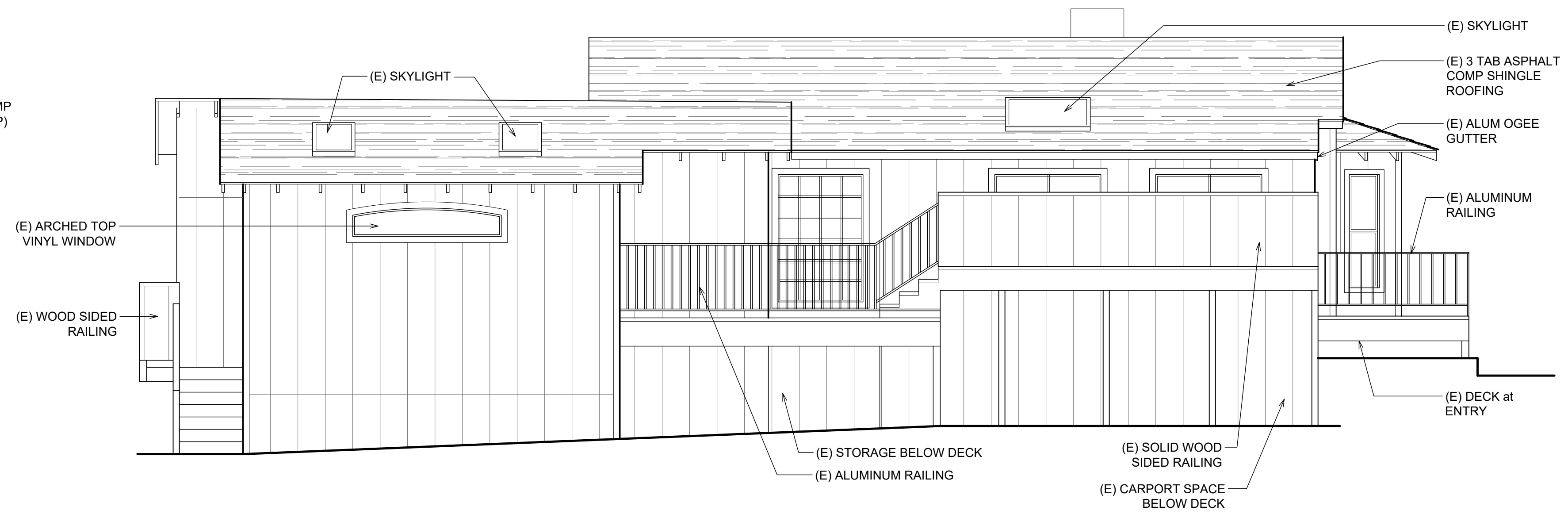
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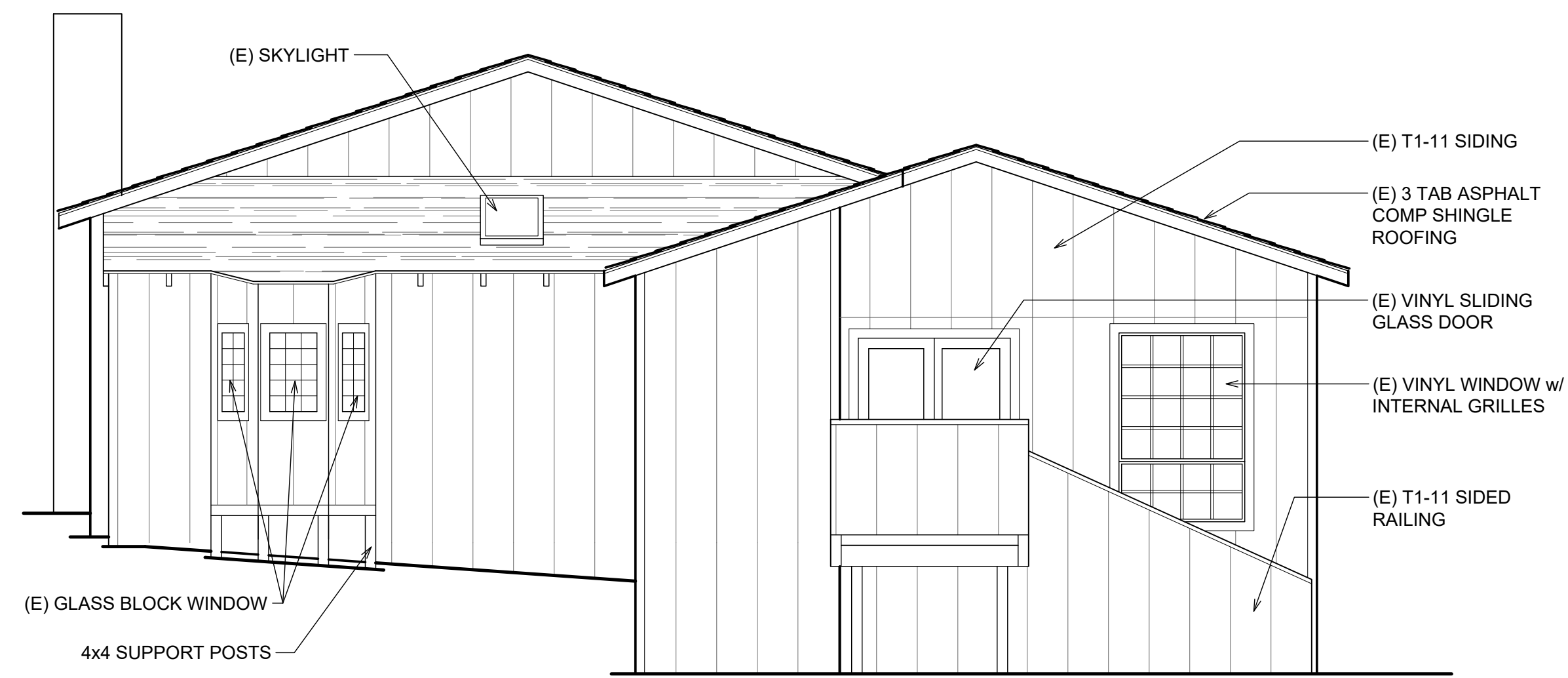
EXISTING WEST ELEVATION (FACING JUNIPERO)

SCALE: 1/4" = 1'-0"



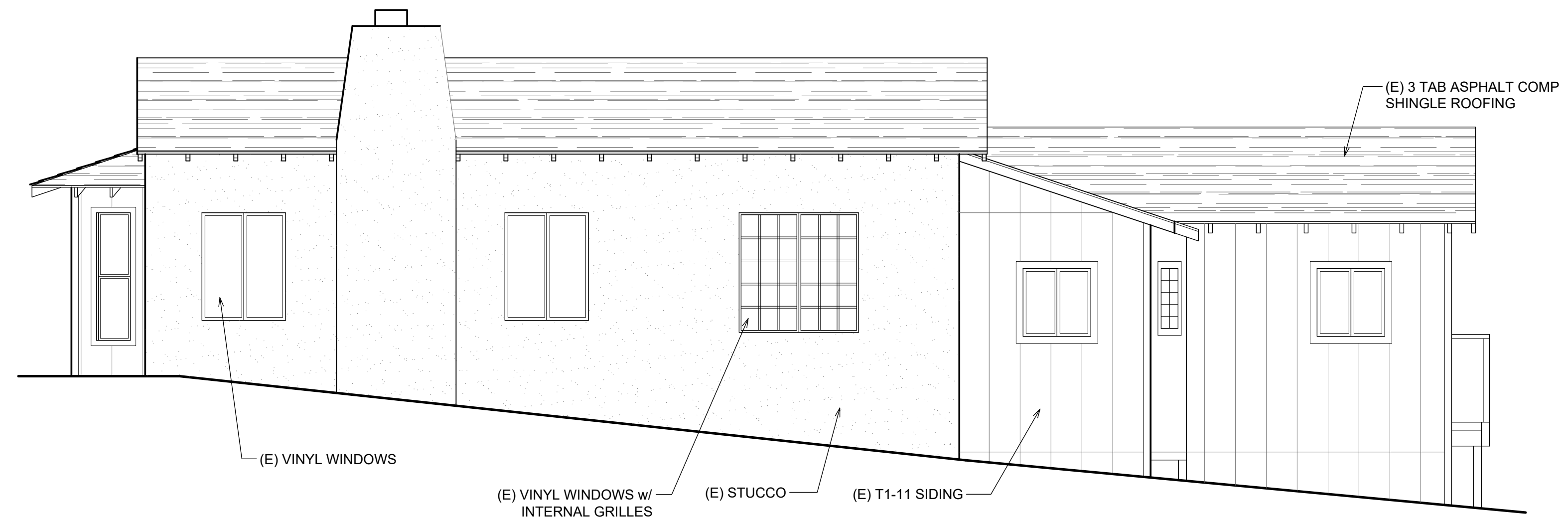
EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"

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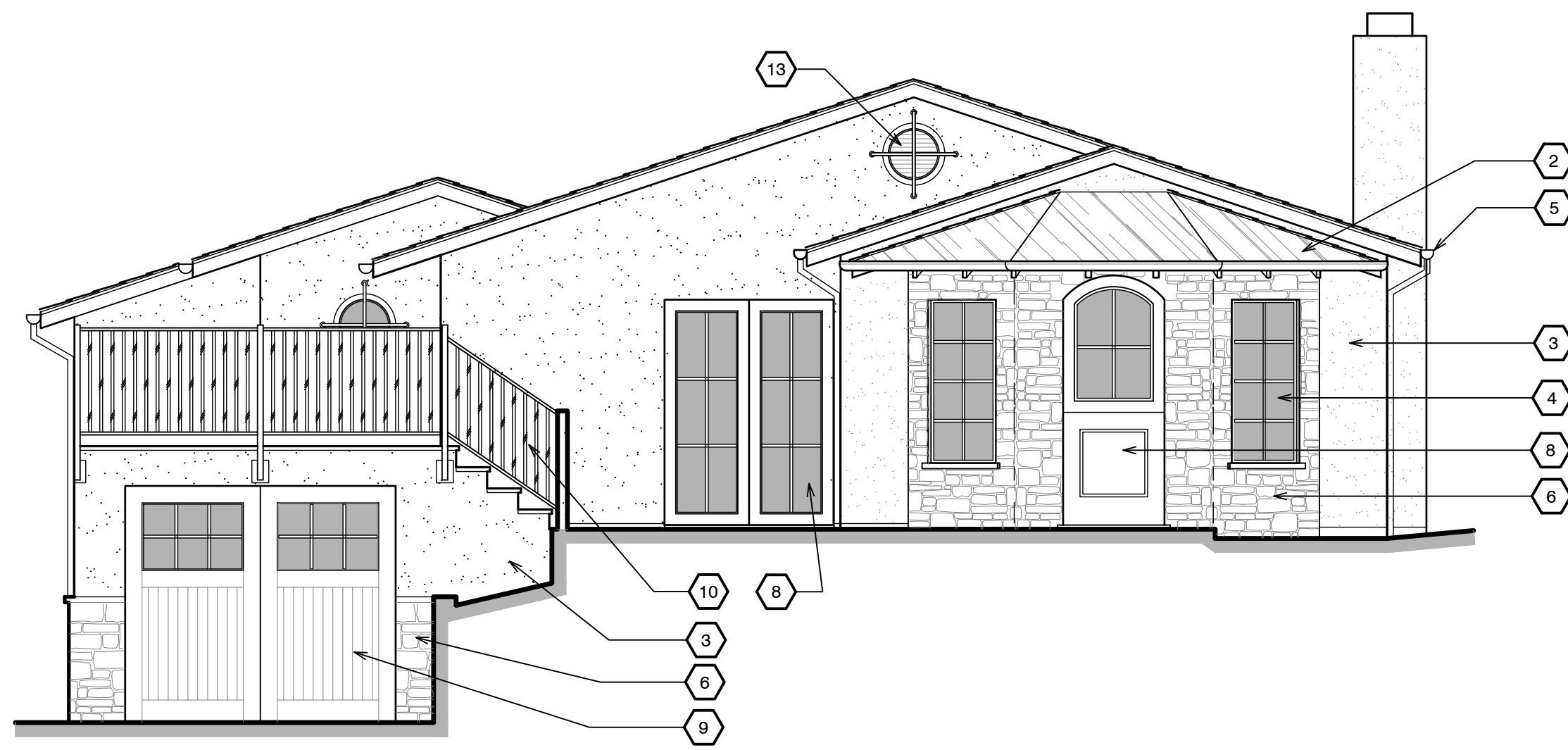
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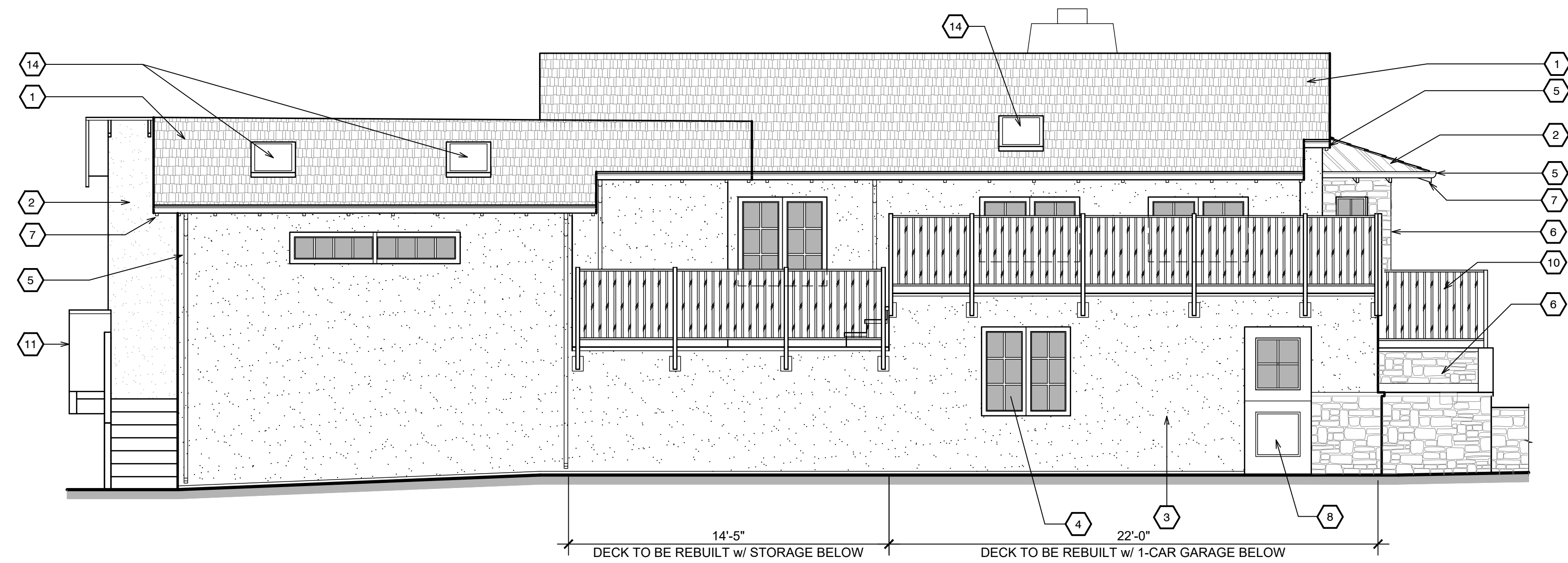
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PROPOSED WEST ELEVATION (FACING JUNIPERO)

SCALE: 1/4" = 1'-0"

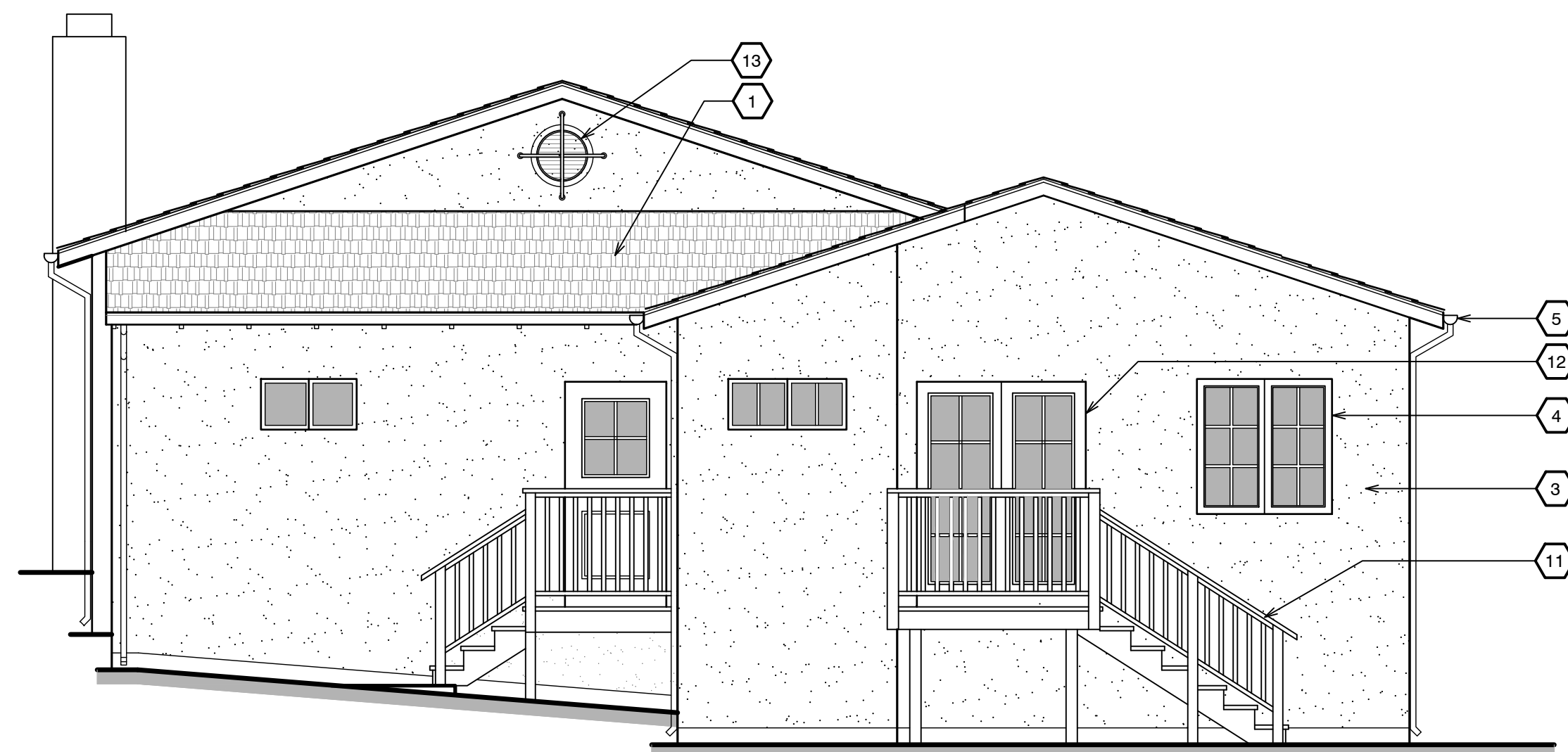


PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

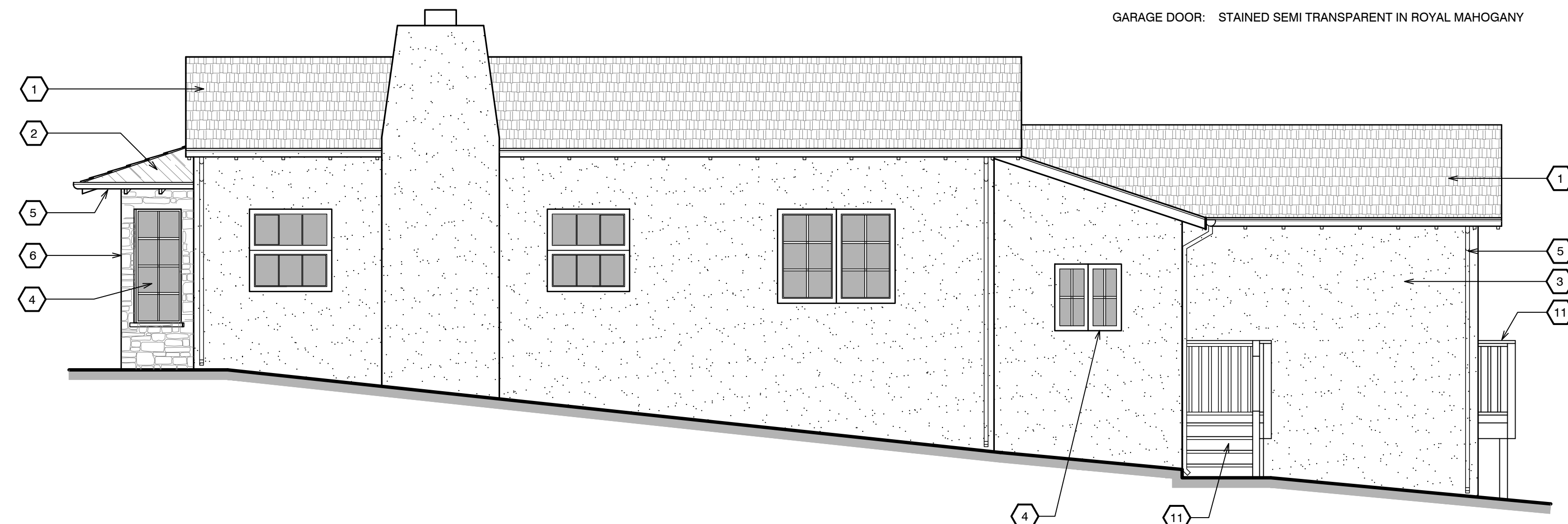
EXTERIOR FINISH MATERIALS:

- ROOF: GAF, TIMBERLINE HDZ IN BARKWOOD COLOR
- STUCCO: WESTERN BLENDED PRODUCTS, ACRYLIC SMOOTH FINISH IN WHEAT 976
- WINDOWS: MARVIN 'ULTIMATE' ALUMINUM CLAD IN SUEDE
- DOORS: MAHOGANY WOOD, STAINED SEMI TRANSPARENT IN ROYAL MAHOGANY
- RAFTER TAILS: STAINED SEMI TRANSPARENT IN ROYAL MAHOGANY
- GARAGE DOOR: STAINED SEMI TRANSPARENT IN ROYAL MAHOGANY



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

SHEET NOTES:

1. NEW ASPHALT SHINGLE ROOFING (TYP)
2. NEW COPPER ROOF
3. NEW CEMENT PLASTER
4. NEW PAINTED ALUMINUM CLAD WOOD WINDOWS (TYP)
5. NEW HALF-ROUND COPPER GUTTERS & ROUND RAIN LEADERS (TYP)
6. NEW CARMEL STONE VENEER
7. STAINED EXPOSED WOOD RAFTER TAILS (TYP)
8. NEW STAINED WOOD DOOR
9. NEW STAINED WOOD CARRIAGE STYLE SWING GARAGE DOOR
10. NEW DARK BRONZE FINISH ALUMINUM RAILING w/ DECORATIVE KNUCKLES (TYP)
11. NEW STAINED REDWOOD DECK & RAILING
12. NEW PAINTED ALUMINUM CLAD WOOD SLIDING GLASS DOOR
13. NEW PAINTED ATTIC VENT w/ WROUGHT IRON DECORATIVE GRILLE
14. NEW FLAT GLASS SKYLIGHT, DARK BRONZE ALUMINUM FRAME

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