

NOTICE OF APPLICATION SUBMITTAL

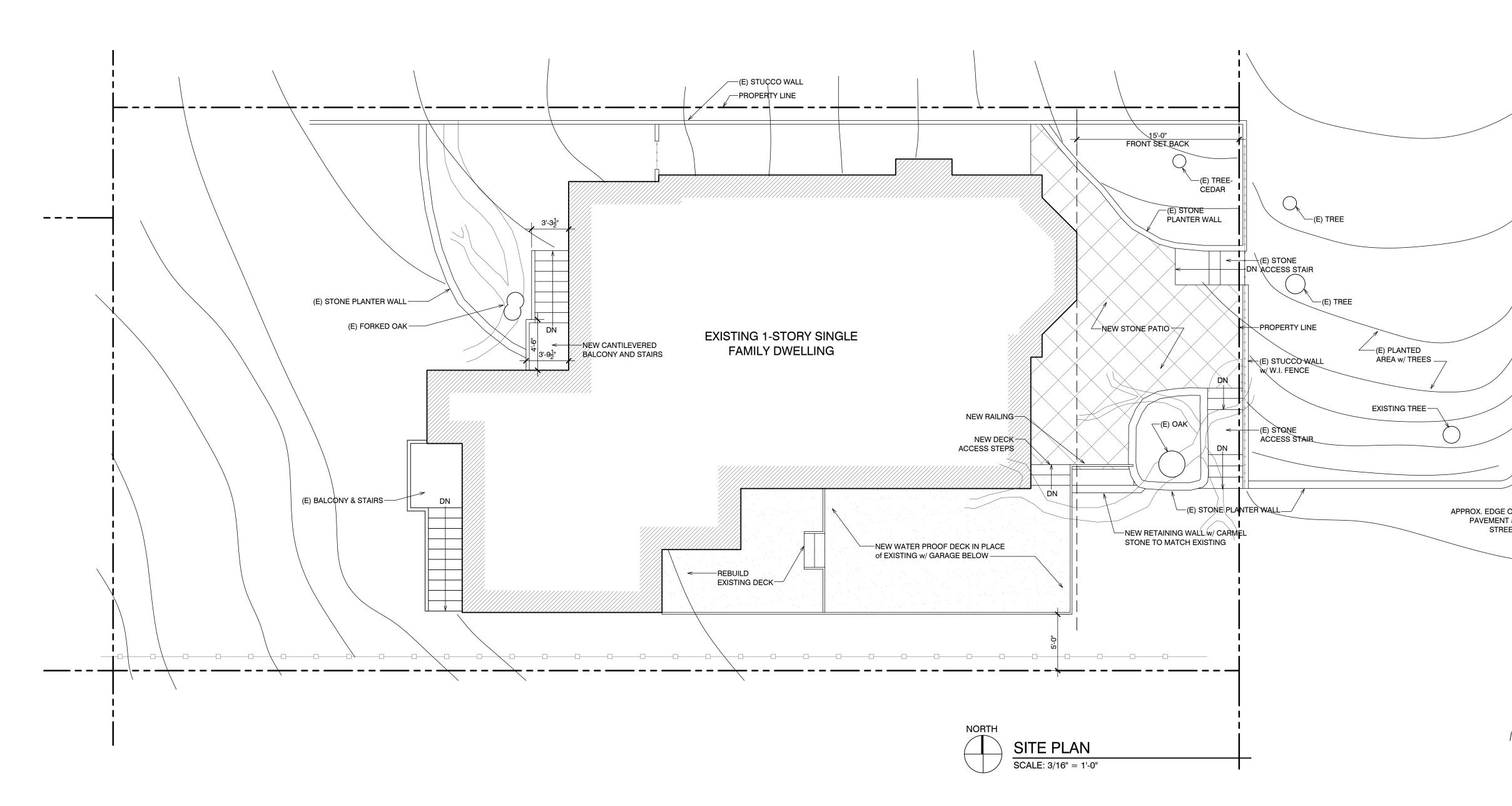
The Department of Community Planning & Building of the City of Carmel-by-the-Sea has received an application for a Design Study Track 1 Major staff-level project. As a courtesy, this Notice of Application Submittal is being distributed immediately adjacent property owners. Any persons interested in the project are encouraged to contact the Project Planner listed below at (831) 620-2027 or ctarone@ci.carmel.ca.us.

Planning Application: DS 21-059 (Chinden Star LLC) Location: Junipero, 4 SW of 8th AvenueDate Mailed: 3/25/2021Project Planner: Catherine Tarone, Assistant PlannerBlock: 98, Lots: 13 & 15; APN: 010-088-005 Applicant: Ryan Cornelsen

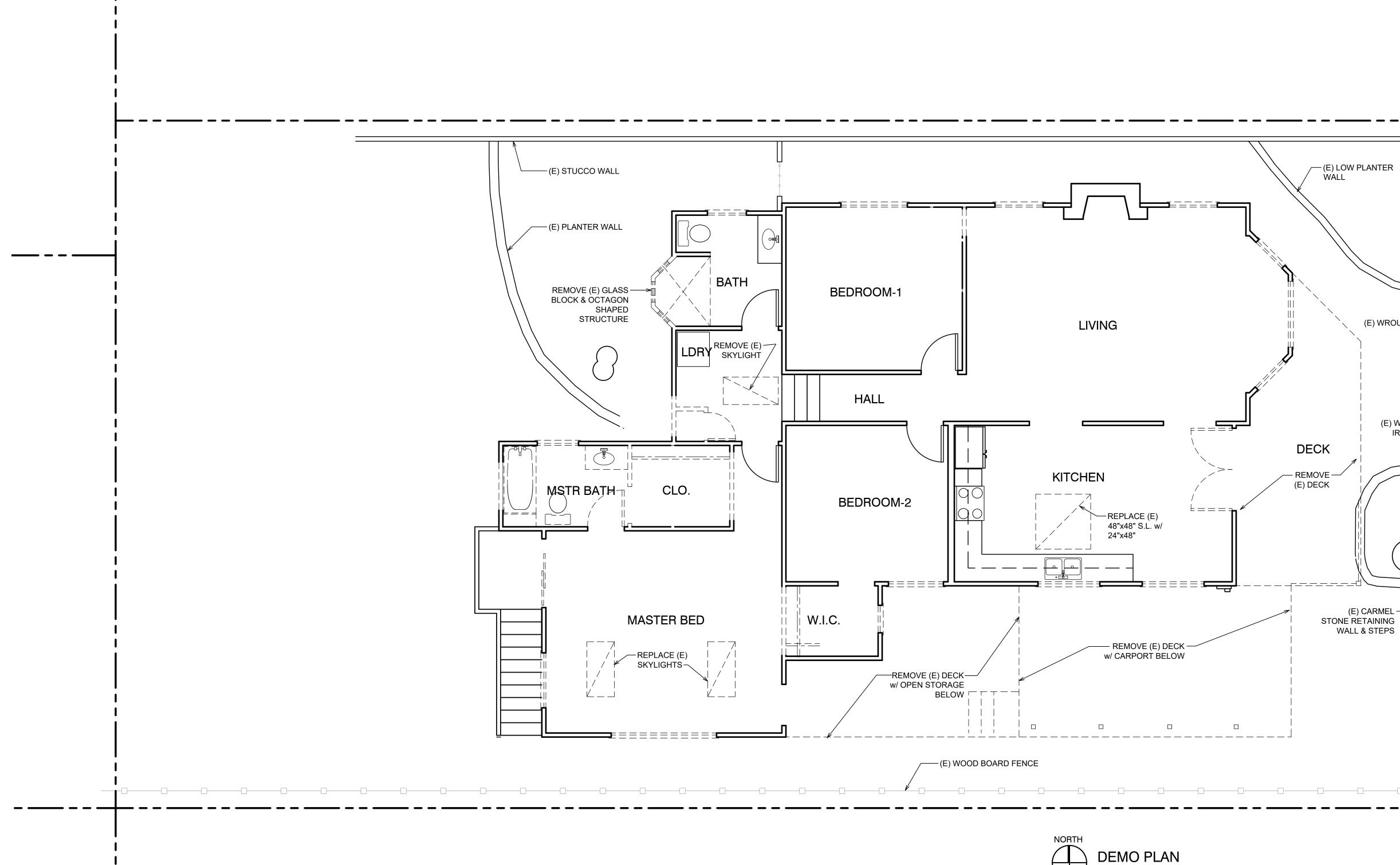
Project Description: 1) The construction of a new 242-square-foot, 11' x 22' enclosed garage in the same location as the previous carport at the southeast corner of the property. 2) The installation of a new deck on the roof of the garage, replacing the original deck that was on the roof of the carport that was recently demolished. The rooftop deck will be approximately 5' back from the south property line. The previous deck railing was solid and approximately 4.5' tall while the new deck railing is spaced wrought iron railing and is proposed to be 4' tall. 3) The reconstruction of the 119 square-foot storage area behind the garage that previously existed and which also has a lowered rooftop deck located 2-3 stair steps below the rooftop deck over the garage, matching the previous height. 4) All windows will be replaced with new divided light, aluminum-clad wood windows. Some windows will change location and size (refer to plans posted on the city's website at the link below). 5) The residence's wood siding will be replaced with stucco siding. 6) A new stairway and landing will be installed on the rear east elevation. 7) A new patio and retaining wall in the front yard. This application is currently under review by the Carmel Planning Department.

Plans are available on the City's website at <u>https://ci.carmel.ca.us/post/current-planning-applications.</u>

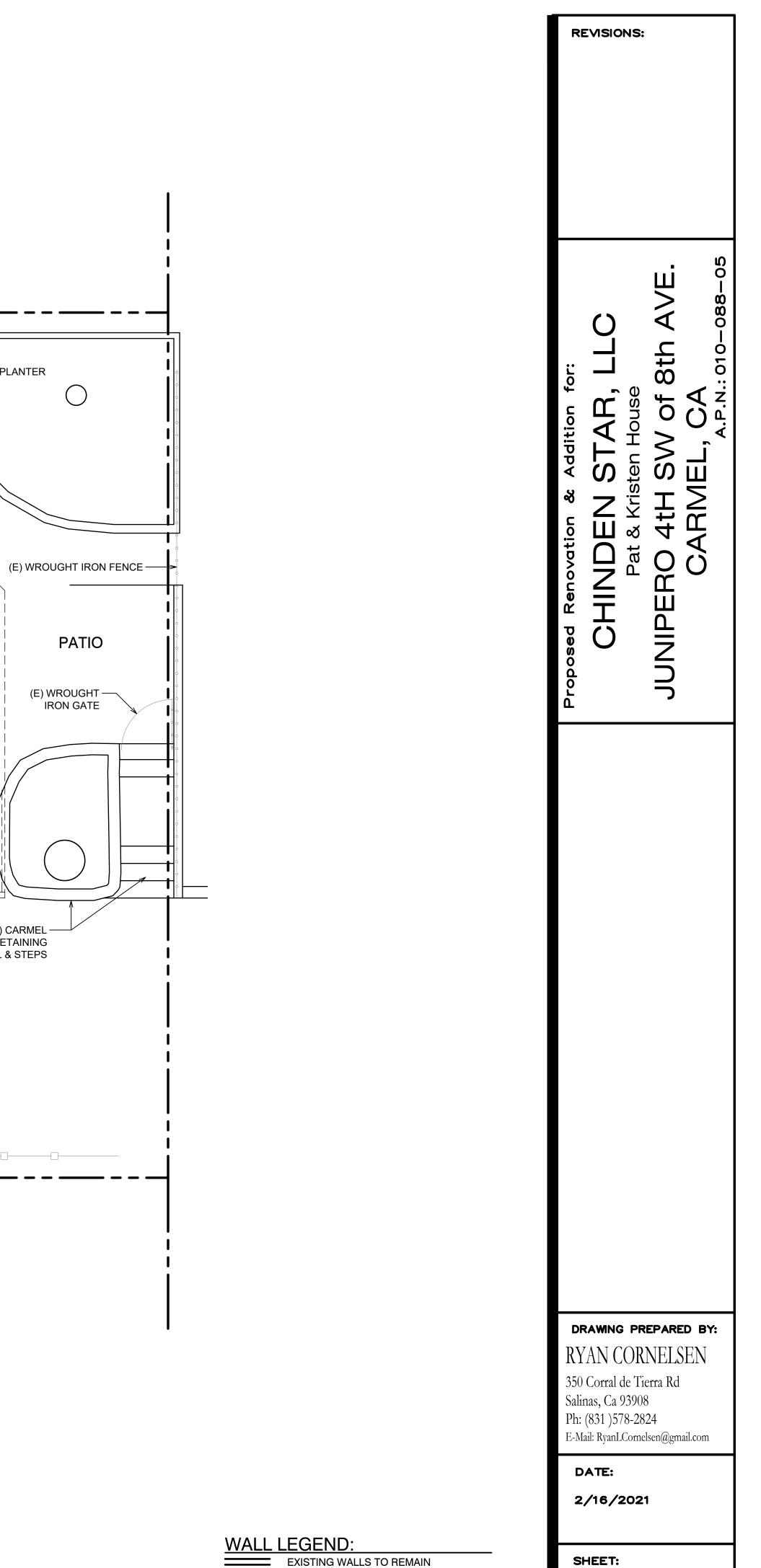
Is this project appealable to the Coastal Commission? No



PROJECT INFO	RMATION	REVISIONS:
A.P.N.	010-088-05	
OWNER:	CHINDEN STAR, LLC	
PROJECT ADDRESS:	JUNIPERO 4th SW of 8th AVE	
ZONING:	R-1	
PROJECT DESCRIPTION:	REVISE PERMIT #13745 TO INCLUDE THE FOLLOWING: RE-BUILD EXISTING DECK, RE-ROOF WITH NEW ASPHALT SHINGLE ROOFING, REPLACE EXISTING WINDOWS WITH NEW ALUM. CLAD WOOD, REPLACE EXISTING DOORS WITH NEW STAIN GRADE & NEW SLIDING GLASS DOORS WITH NEW ALUMINUM CLAD WOOD, NEW STUCCO EXTERIOR FINISH, ADD A NEW 1-CAR GARAGE AND STORAGE BENEATH EXISTING DECK FOOTPRINT & INTERIOR REMODEL OF KITCHEN & BATHROOMS	AVE.
GRADING:	NONE	
TREE REMOVAL:	NONE	
PARKING:	1 COVERED, 1 UNCOVERED (EXISTING NO CHANGE)	8th LL
SITE AREA:	5,000 SF	
	5,000 36	
BUILDING AREAS: EXISTING HOUSE: HOUSE ADDITION: EXISTING DECK: NEW DECK: ENCLOSED GARAGE ENCLOSED STORAGE TOTAL =	GE: 119 S.F. 2,034 S.F.	ion & Addition EN STAF & Kristen Hous 4th SW 0
FLOOR AREA RATIO & E	<u>1000 x 0.02)]</u> 1000	
MAX BONUS FI	2,150 BASE FLOOR AREA LOOR AREA 717 SF	jų – L
BASE FLOOR AREA: BONUS FLOOR AREA MAX FLOOR AREA:		
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		DRAWING PREPARED
		RYAN CORNELSE 350 Corral de Tierra Rd Salinas, Ca 93908
		RYAN CORNELSE 350 Corral de Tierra Rd Salinas, Ca 93908 Ph: (831)578-2824
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		RYAN CORNELSE 350 Corral de Tierra Rd Salinas, Ca 93908 Ph: (831)578-2824 E-Mail: RyanLCornelsen@gmail.c DATE: 2/16/2021
		Salinas, Ca 93908 Ph: (831)578-2824 E-Mail: RyanLCornelsen@gmail.co DATE:



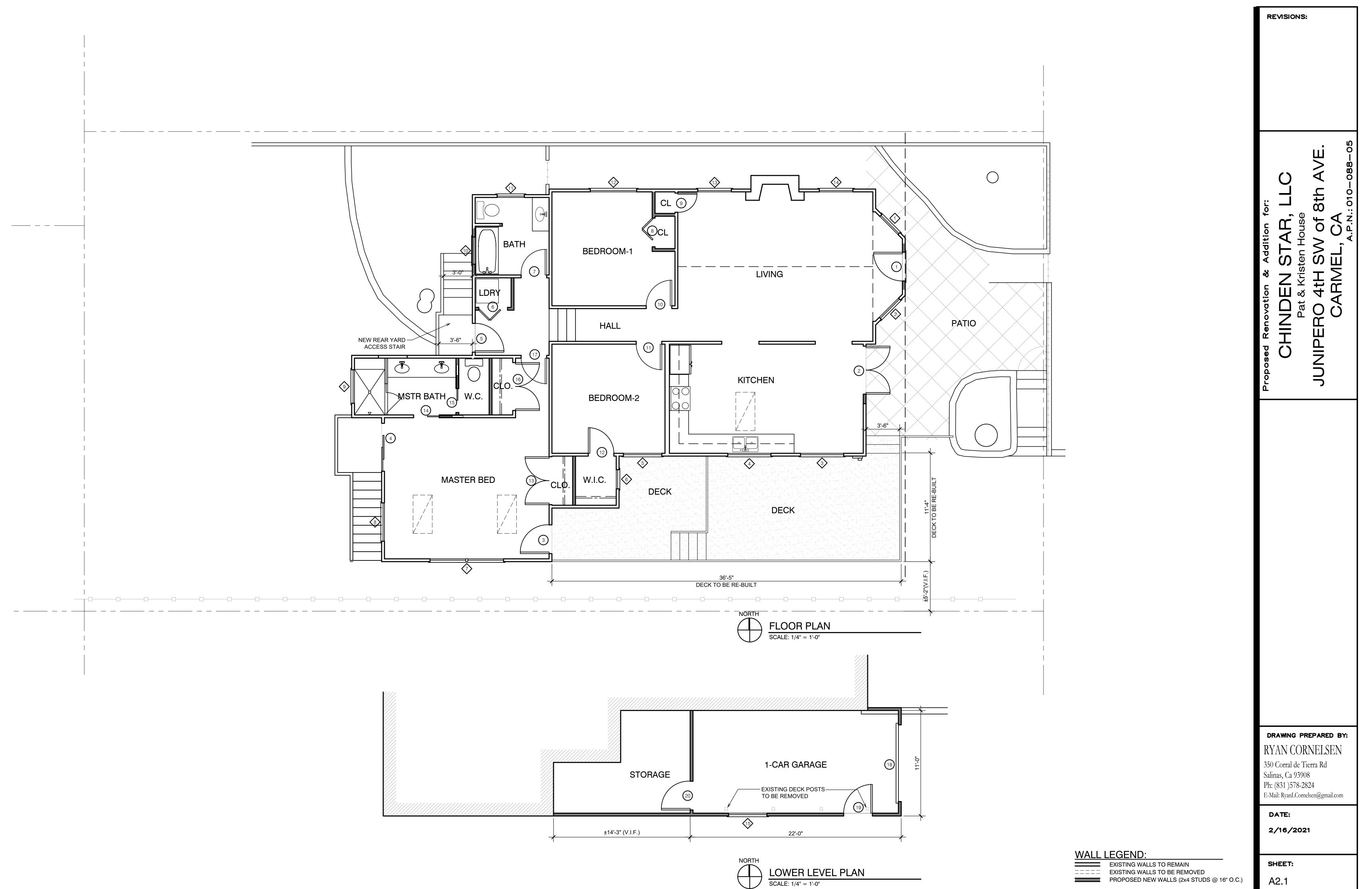
 $\frac{\text{DEMO PLAT}}{\text{SCALE: } 1/4" = 1'-0"}$



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EXISTING WALLS TO REMAIN EXISTING WALLS TO BE REMOVED PROPOSED NEW WALLS (2x4 STUDS @ 16" O.C.)

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						DC	OR	SC	HE	DU	LE						
	D	DOOR			SIZE			DETAIL REFERENCE			згҮ	OUP			WI		
NUMBER	ТҮРЕ	PAINT	STAIN STAIN	FACTORY Î				SIZE DETAIL REFERENCE REFER TO SHT. TH HEIGHT THK. HEAD JAMB THRESH.			ME ASSEM	HARDWARE GROUP	GLASS TYPE		NUMBER		
۲ Z		PAI	ST/	FAC	WIDTH	HEIGHT	THK.	HEAD	JAMB	THRESH.	TRANS	FRAI	HARI	G	NOTES	Ŋ	
1					3'-0"	7'-0"	2-1/4							Т	ARCH TOP, DUTCH DR, HALF-LITE	1	
2					PR 2'-6"	6'-8"	1-3/4"							Т	FRENCH DR, 6 LITE	2	
3					2'-8"	6'-8"	1-3/4"							Т	FRENCH DR, 6 LITE	3	
4					5'-0"	6'-8"	1-3/4"							Т	SLIDING GLASS DOOR, 6 LITE	4	
5					2'-8"	6'-8"	1-3/4"							Т	DUTCH DR, HALF-LITE	5	
6					3'-0"	6'-8"	1-3/8"								SINGLE BI-FOLD FULLY LOUVERED	6	
7					2'-8"	6'-8"	1-3/8"									7	
8					3'-0"	6'-8"	1-3/8"								SINGLE BI-FOLD	8	
9					2'-0"	6'-8"	1-3/8"								MAGNETIC CATCH	9	
10					2'-8"	6'-8"	1-3/8"									10	
11					2'-8"	6'-8"	1-3/8"									11	
12					2'-8"	6'-8"	1-3/8"									12	
13					PR 2'-6"	6'-8"	1-3/8"								FULLY LOUVERED	13	
14					2'-6"	6'-8"	1-3/8"								POCKET	14	
15					2'-6"	6'-8"	1-3/8"								POCKET	15	
16					PR 2'-6"	6'-8"	1-3/8"								FULLY LOUVERED	16	
17					2'-8"	6'-8"	1-3/8"									17	
18					8'-0"	7'-0"	2"								CARRIAGE WOOD GARAGE, SWING	18	
19					3'-0"	6'-8"	1-3/4"								DUTCH DR, HALF-LITE		
20					3'-0"	6'-8"	1-3/8"									┝	
21																	
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sed kenovation & Addition tor:	CHINDEN STAR, LLC	Pat & Kristen House	NIPERO 4th SW of 8th AVE.	CARMEL, CA	A.P.N.: 010-088-05

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REVISIONS:

WINDOW SCHEDULE WINDOW SIZE DETAIL REFERENCE HEAD JAMB SILL HEIGHT NOTES WIDTH 4'-10 <u>1</u>" TEMP'D 2'-8" FIXED 1 4'-10 <u>1</u>" TEMP'D FIXED 2'-8" 2 TEMP'D 3'-0" SINGLE HUNG 3 4'-6" TEMP'D SINGLE HUNG 3'-0" 4'-6" 4

EGRESS CASEMENT 3'-11" 4'-0" 5 2'-0" CIRCULAR PICTURE 2'-0" 6 PR 3'-10" 1'-5" 7 AWNING TEMP'D SLIDER 4'-0" 8 4'-0" TEMP'D SLIDER- OBSCURE 1'-6" 3'-6" 9 TEMP'D 2'-10" 1'-6" SLIDER- OBSCURE 10 2'-10" 3'-0" SINGLE HUNG 11 EGRESS SLIDER 4'-10" 4'-0" 12 3'-6" SINGLE HUNG 13 3'-6" 3'-6" 3'-6" SINGLE HUNG 14 4'-0" 4'-0" SINGLE HUNG 15 TEMP'D 4'-0" VENTING SKYLIGHT 4'-0" 16 TEMP'D VENTING SKYLIGHT 2'-0" 4'-0" 17 2'-0" TEMP'D VENTING SKYLIGHT 4'-0" WINDOW TYPES

WINDOW NOTES

CONTRACTOR IS RESPONSIBLE FOR REVIEWING FLOOR PLAN AND ELEVATIONS FOR VERIFICATION OF QUANTITY AND LOCATIONS OF WINDOW TYPES.

DIRECTION OF WINDOW OPERATION SHOWN ON INTERIOR / EXTERIOR ELEVATIONS BY ARROW FOR SLIDING WINDOW AND DASHED LINE FOR SWINGING WINDOW.

3. WINDOW SIZES ARE APPROXIMATE AND MAY BE ALTERED SLIGHTLY TO MEET MANUFACTURED STANDARD SIZES. ALL ROUGH OPENING DIMENSION SHALL BE FIELD VERIFIED. WINDOW FRAME AND GLAZING SHALL MATCH THE EXISTING CONDITION WHERE APPLICABLE.

5. ALL HARDWARE, FRAME FINISH, AND COMPANION HARDWARE SHALL MATCH THE EXISTING CONDITION.

DRAWING PREPARED BY: RYAN CORNELSEN

350 Corral de Tierra Rd Salinas, Ca 93908 Ph: (831)578-2824

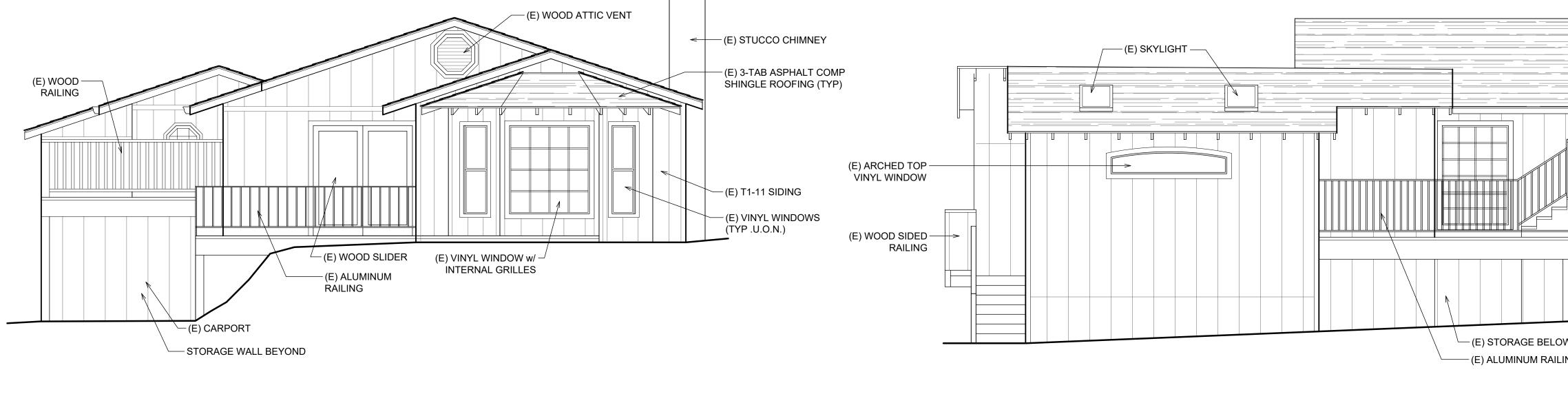
E-Mail: RyanLCornelsen@gmail.com

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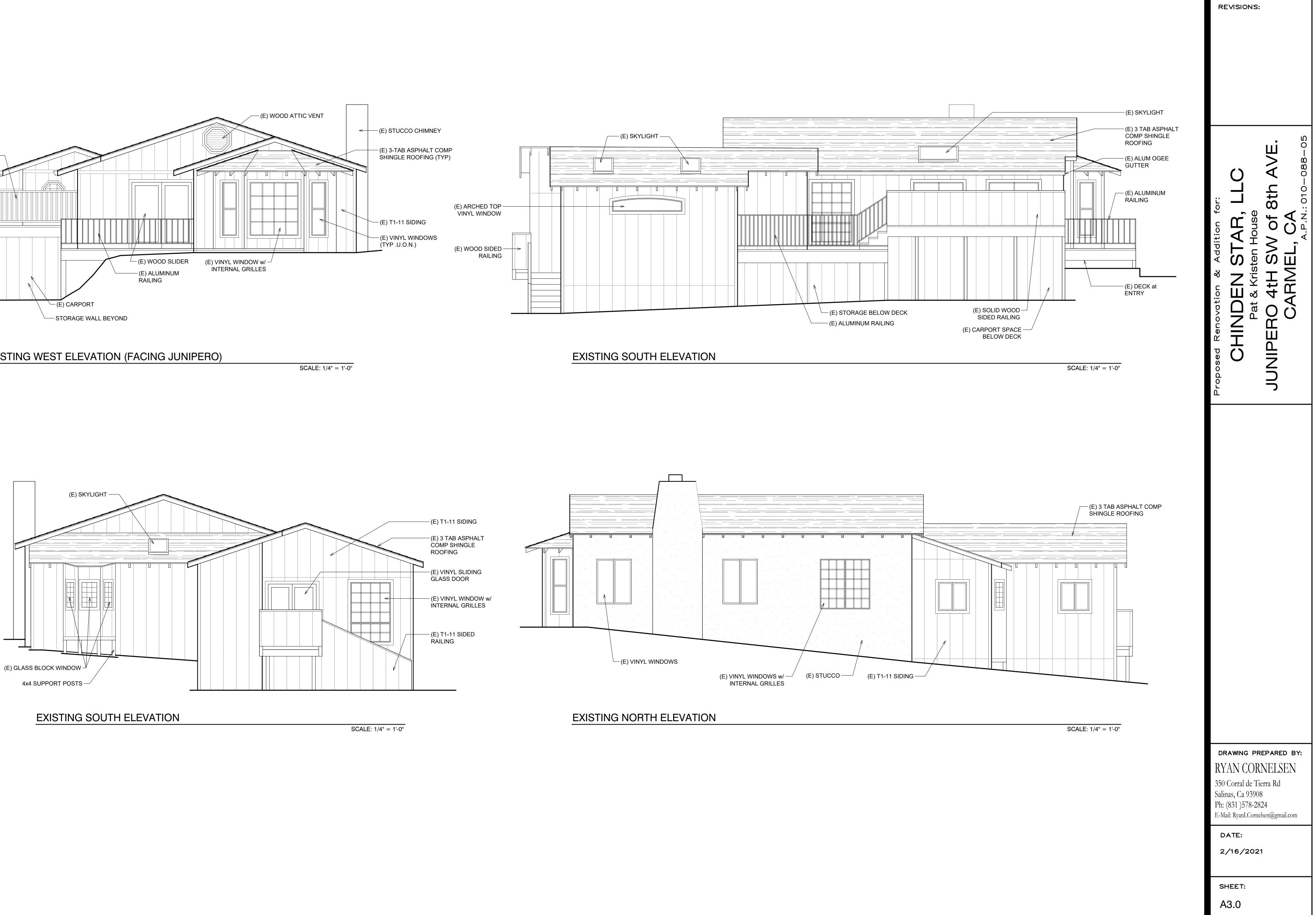
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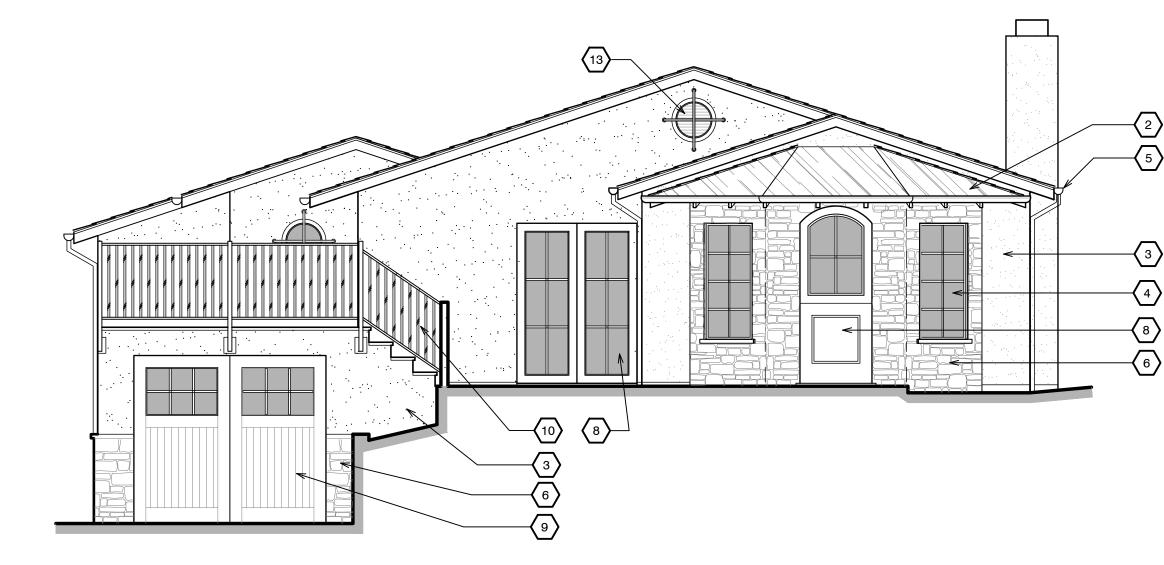
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EXISTING WEST ELEVATION (FACING JUNIPERO)

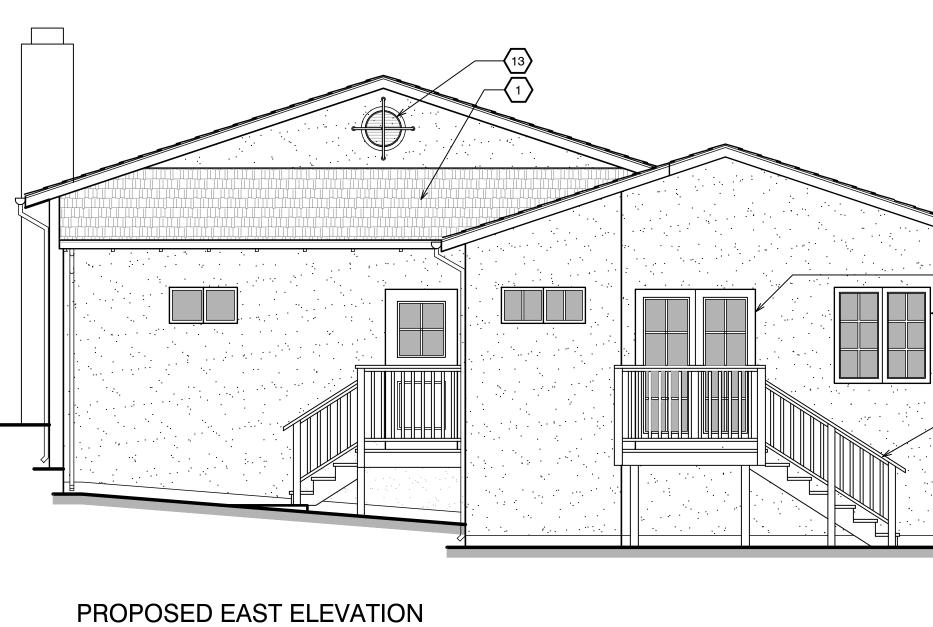




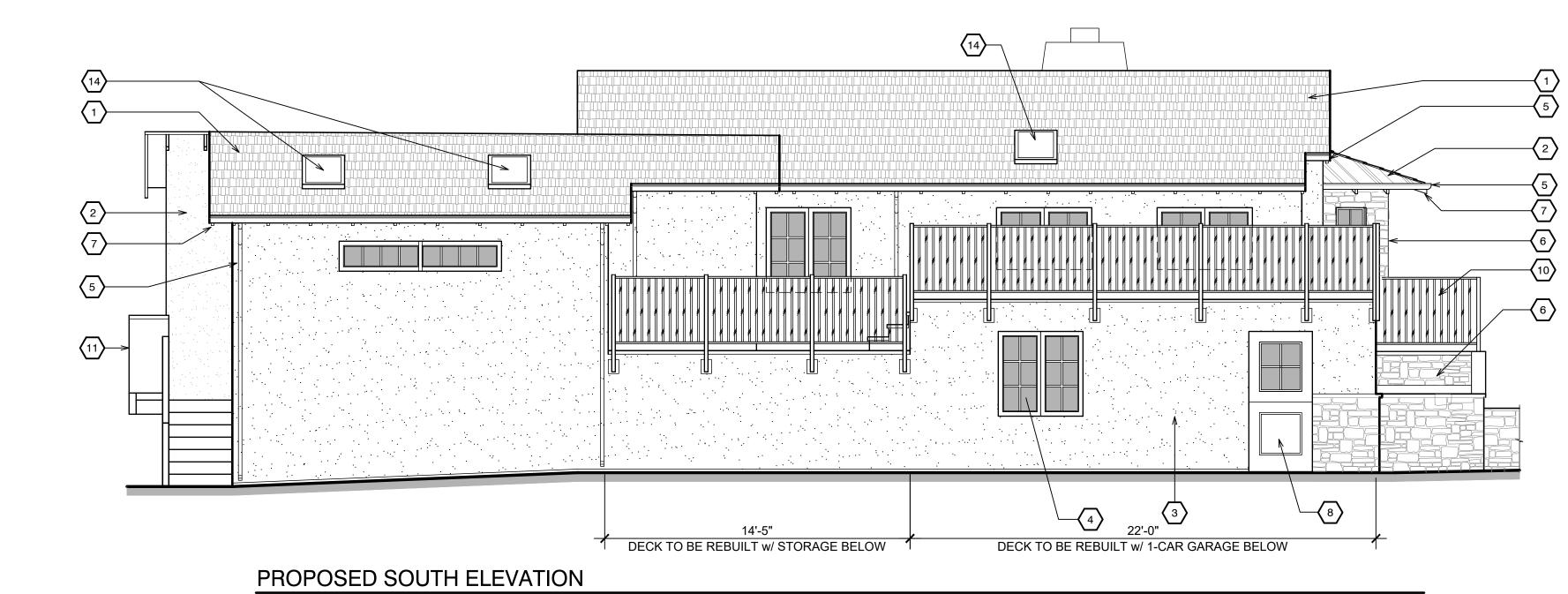


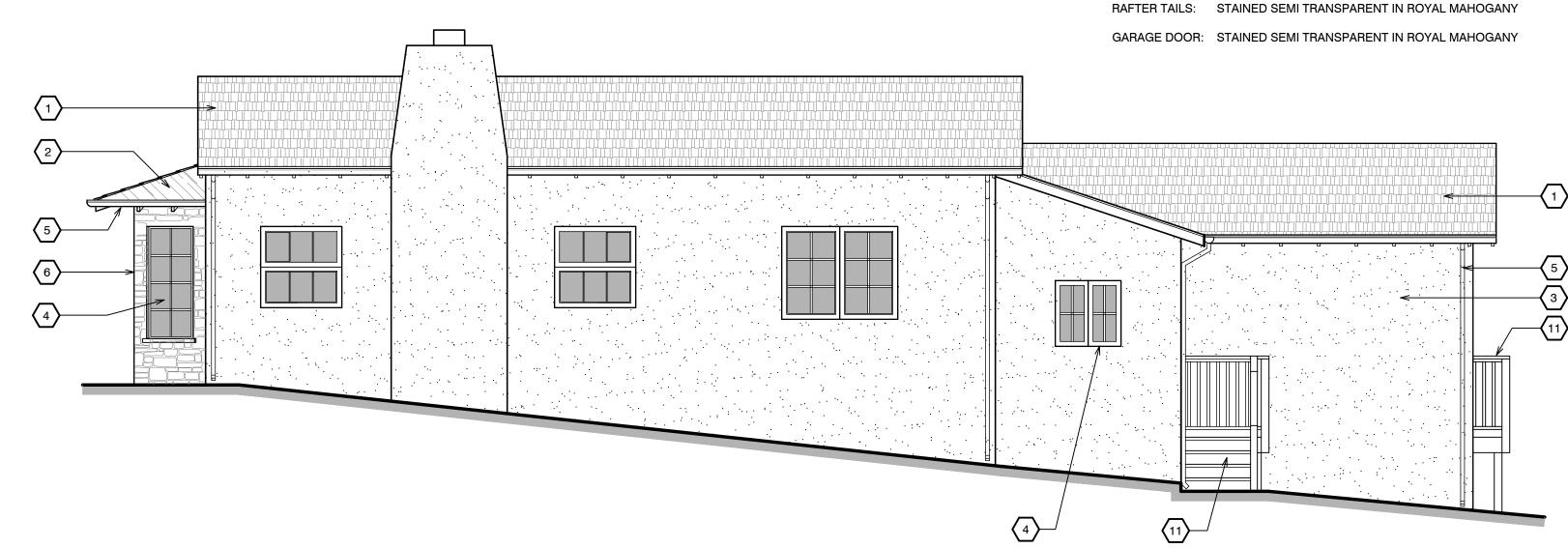
PROPOSED WEST ELEVATION (FACING JUNIPERO)

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"





PROPOSED NORTH ELEVATION

-(11)

SCALE: 1/4" = 1'-0"

EXTERIOR FINISH MATERIALS:

ROOF:
STUCCO:
WINDOWS:
DOORS:
RAFTER TAILS:

WESTERN BLENDED PRODUCTS, ACRYLIC SMOOTHI FINISH IN WHEAT 976 MARVIN 'ULTIMATE' ALUMINUM CLAD IN SUEDE

MAHOGANY WOOD, STAINED SEMI TRANSPARENT IN ROYAL MAHOGANY

GAF, TIMBERLINE HDZ IN BARKWOOD COLOR

✓ SHEET NOTES:

SCALE: 1/4" = 1'-0"

- 1. NEW ASPHALT SHINGLE ROOFING (TYP)
- 2. NEW COPPER ROOF
- 3. NEW CEMENT PLASTER
- 4. NEW PAINTED ALUMINUM CLAD WOOD WINDOWS (TYP)
- 5. NEW HALF-ROUND COPPER GUTTERS & ROUND RAIN LEADERS (TYP)
- 6. NEW CARMEL STONE VENEER
- 7. STAINED EXPOSED WOOD RAFTER TAILS (TYP)
- 8. NEW STAINED WOOD DOOR
- 9. NEW STAINED WOOD CARRIAGE STYLE SWING GARAGE DOOR
- 10. NEW DARK BRONZE FINISH ALUMINUM RAILING w/ DECORATIVE KNUCKLES (TYP)
- 11. NEW STAINED REDWOOD DECK & RAILING
- 12. NEW PAINTED ALUMINUM CLAD WOOD SLIDING GLASS DOOR
- 13. NEW PAINTED ATTIC VENT w/ WROUGHT IRON DECORATIVE GRILLE
- 14. NEW FLAT GLASS SKYLIGHT, DARK BRONZE ALUMINUM FRAME

REVISIONS:

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DRAWING PREPARED BY:

RYAN CORNELSEN 350 Corral de Tierra Rd Salinas, Ca 93908 Ph: (831)578-2824 E-Mail: RyanLCornelsen@gmail.com

DATE:

2/16/2021

SHEET:

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