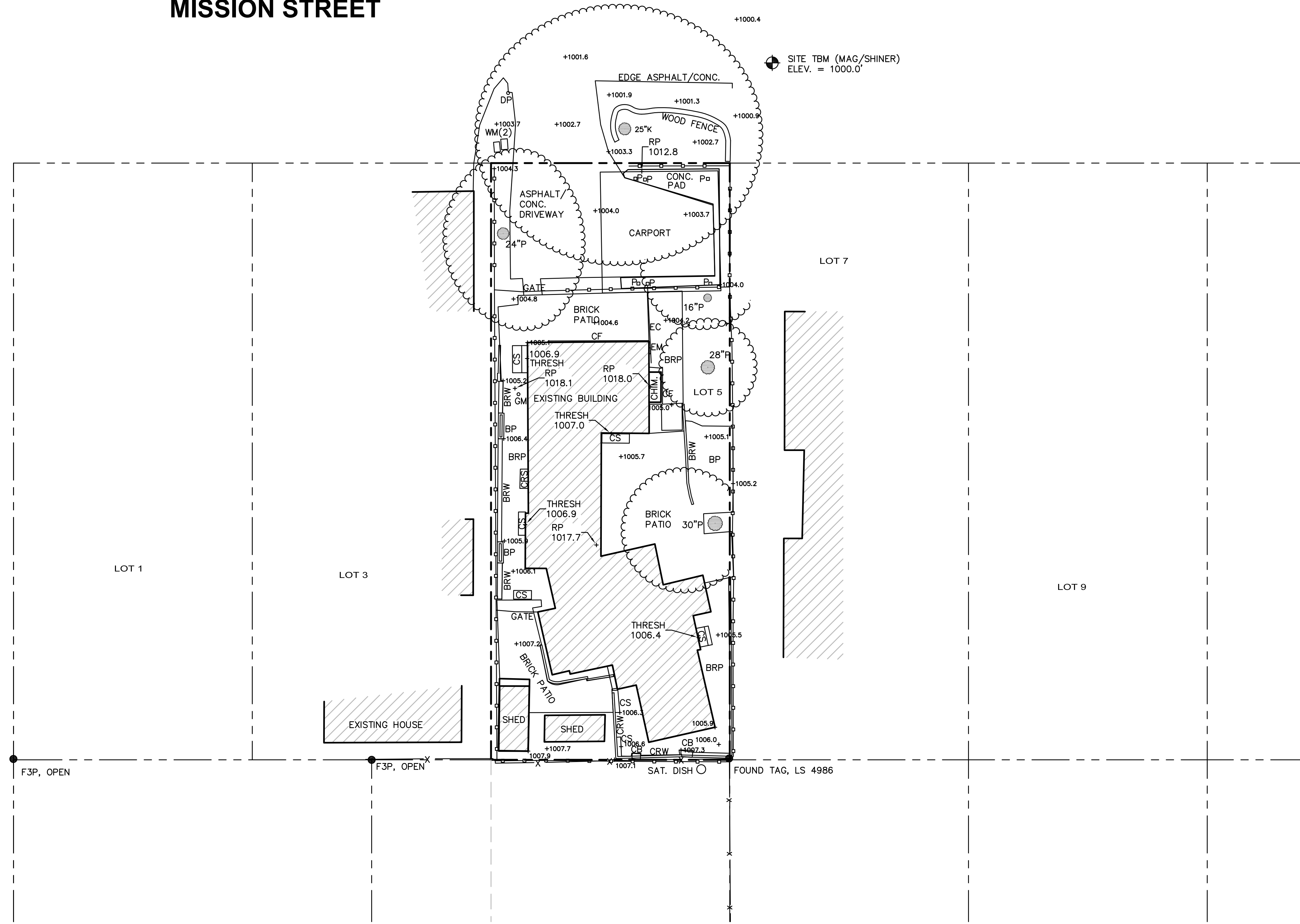




**13TH AVENUE**  
(A 50' WIDE CITY STREET)

**MISSION STREET**



**NOTES:**

THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.

THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.

UNDERGROUND UTILITIES, IF ANY, WERE NOT LOCATED. INFORMATION REGARDING UNDERGROUND UTILITY LOCATIONS SHOULD BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES OR PUBLIC AGENCIES.

ELEVATIONS ARE BASED ON AN ARBITRARILY ASSUMED DATUM AS NOTED.

GROUND MAY BE MORE IRREGULAR THAN CONTOURS INDICATE. DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF. WHERE DATA DIFFERS, PARENTHESES DENOTE RECORD DATA.

THE CROSS SYMBOL (+) MARKS THE HORIZONTAL POSITION OF THE SPOT ELEVATION SHOWN.

TREE SYMBOLS ARE DRAWN TO SCALE ONLY APPROXIMATELY. SUFFICIENT BOUNDARY TIES WERE MADE TO GRAPHICALLY SHOWN EXISTING FEATURES; A COMPLETE BOUNDARY SURVEY WAS NOT DONE AT THIS TIME.

**ABBREVIATIONS & SYMBOLS:**

- 6"K = 6" DIAMETER OAK TREE
- 6"P = 6" DIAMETER PINE TREE
- BP = BRICK PLANTER
- BRP = BRICK PATIO
- BRW = BRICK RETAINING WALL
- CF = CONCRETE FOOTER
- CRS = CRAWL SPACE
- CRW = CONCRETE RETAINING WALL
- CS = CONCRETE STEP
- DP = DRAIN PIPE
- EC = ELECTRIC CONDUIT
- EM = ELEC. METER (PG&E SMART METER)
- F3P = FOUND 3/4" IRON PIPE, TAGGED AS INDICATED
- GM = GAS METER
- P = POST
- RP = ROOF PEAK
- TBM = SITE TEMPORARY BENCHMARK
- WM = WATER METER
- X-X WIRE FENCE
- WOOD FENCE



**TOPOGRAPHIC SURVEY**  
PROJECT NO. 15123

DATE OF SURVEY: DEC. 22, 2015  
DRAWING SCALE: 1" = 10'  
DRAWN BY: PE/BG  
REVISED:

RASMUSSEN LAND SURVEYING, INC.  
P.O. BOX 3135  
MONTEREY, CALIFORNIA 93942  
(831)375-7240 (831)375-2545 FAX

SHOWING EXISTING FEATURES ON THE REAL PROPERTY DESCRIBED AS LOT 5, BLOCK 142, ON THE MAP ENTITLED "MAP OF ADDN. 2 TO CARMEL-BY-SEA, MONTEREY COUNTY RECORDS, CALIFORNIA (APN 010-162-002).  
PREPARED FOR: GLEN YONEKURA





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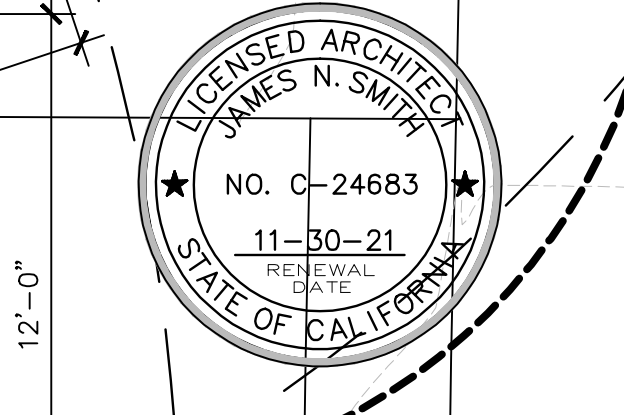
**JAMES  
NEWHALL  
SMITH**  
ARCHITECT, INC.

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PACIFIC GROVE, CA.  
93950

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FAX: 831.372-7252  
CEL: 831.915-9518

PROJECT/CLIENT  
**YONEKURA  
RESIDENCE**

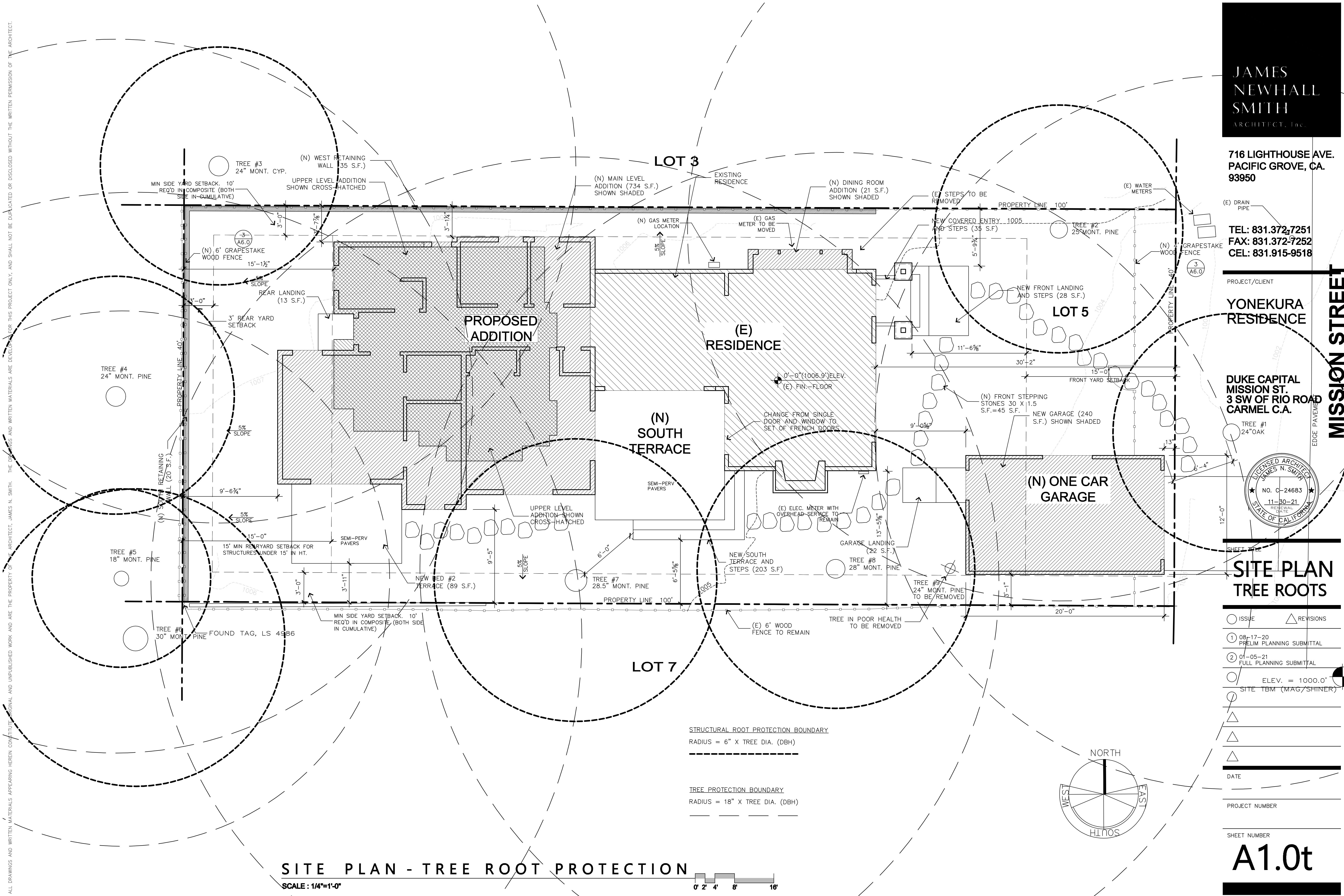
DUKE CAPITAL  
MISSION ST.  
3 SW OF RIO ROAD  
CARMEL C.A.



**SITE PLAN  
TREE ROOTS**

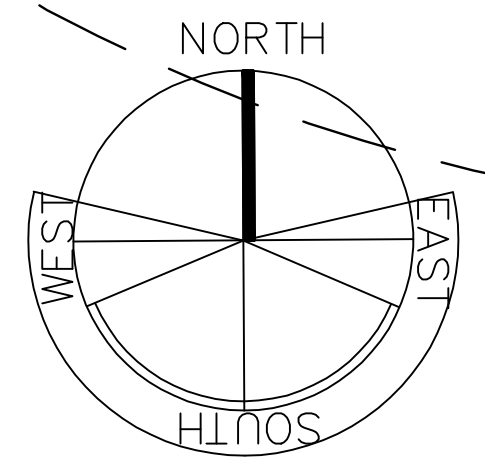
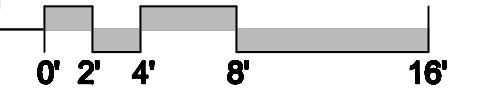
- ISSUE      △ REVISIONS
- ① 08-17-20 PRELIM PLANNING SUBMITTAL
- ② 01-05-21 FULL PLANNING SUBMITTAL
- ELEV. = 1000.0'
- SITE TBM (MAG/SHINER)
- △
- △
- △
- DATE
- PROJECT NUMBER
- SHEET NUMBER

**A1.0t**



**SITE PLAN - TREE ROOT PROTECTION**

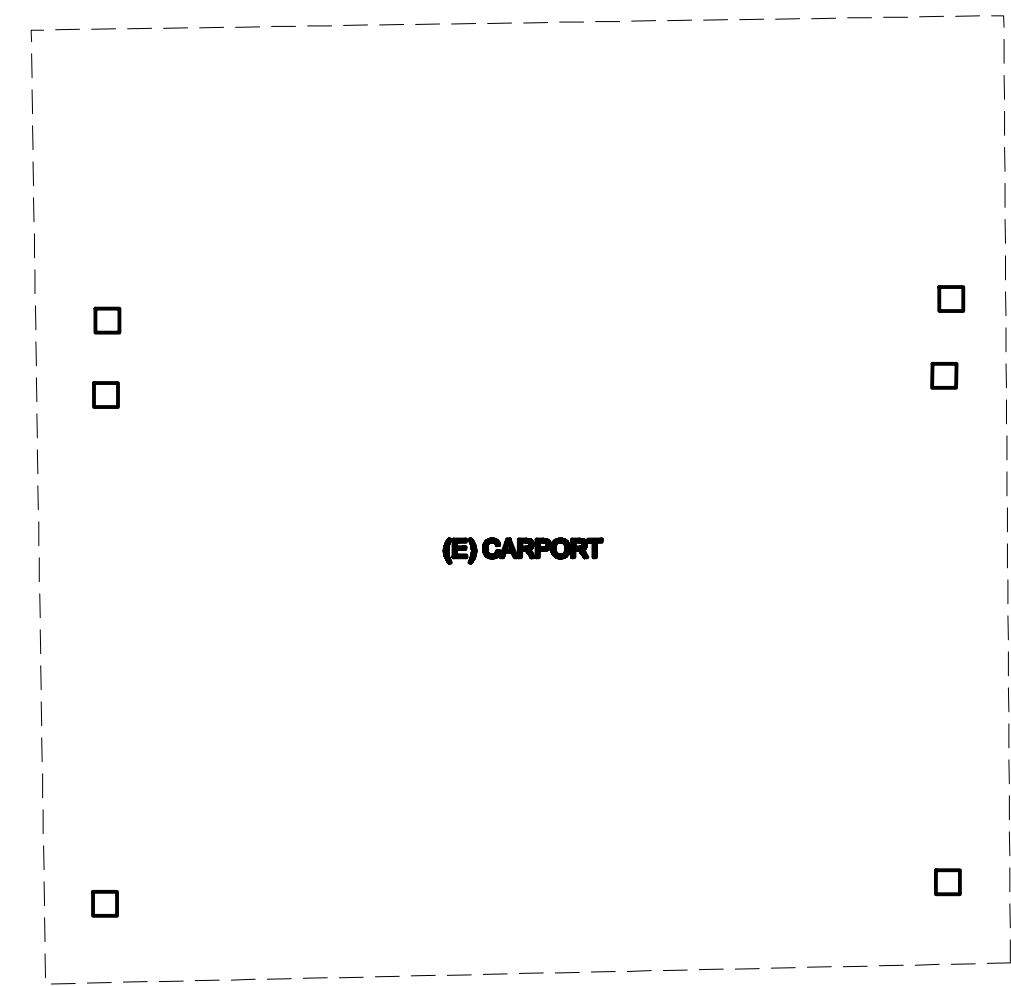
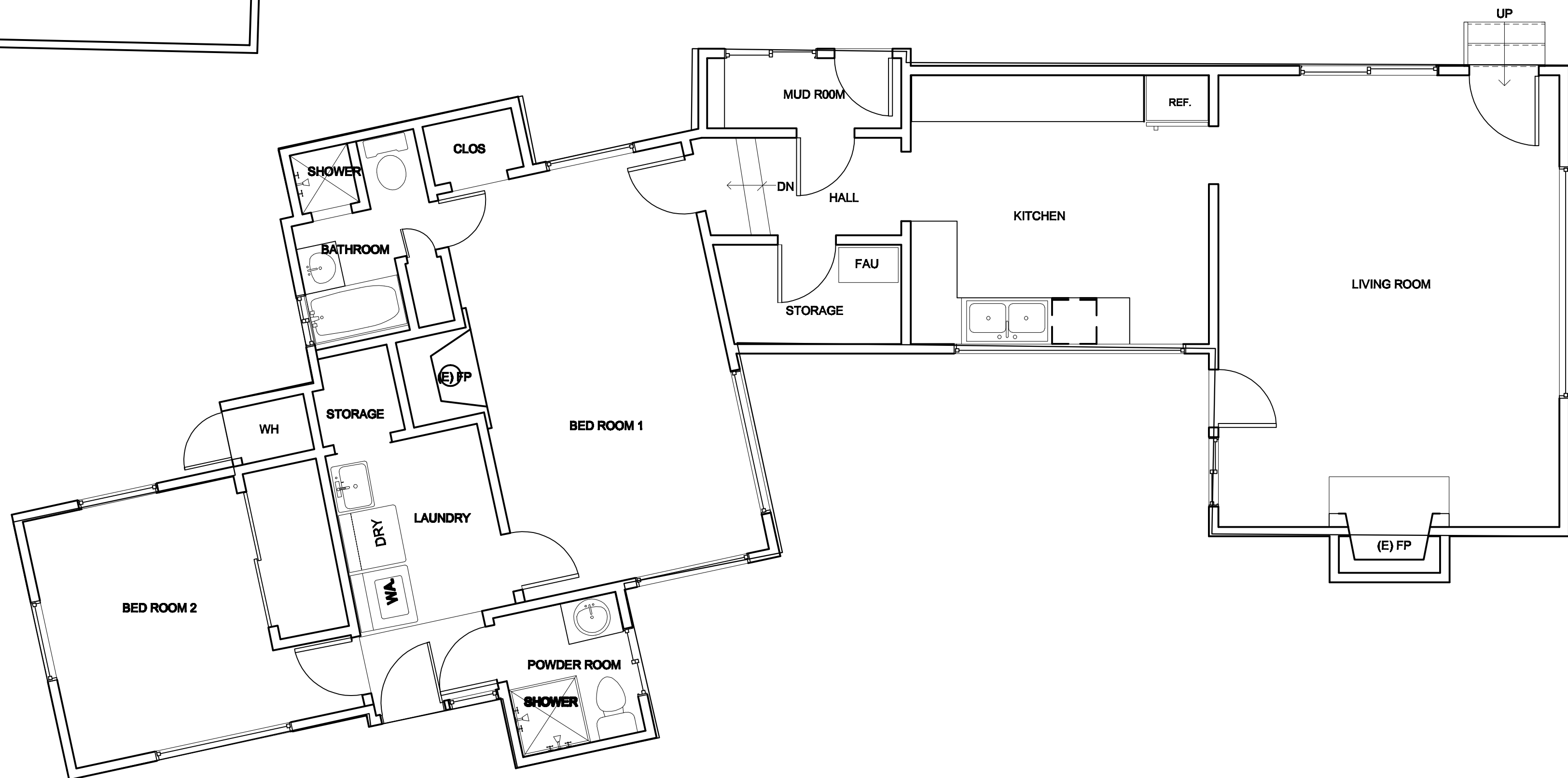
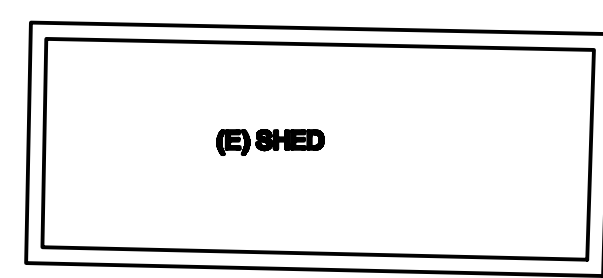
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**MISSION STREET**

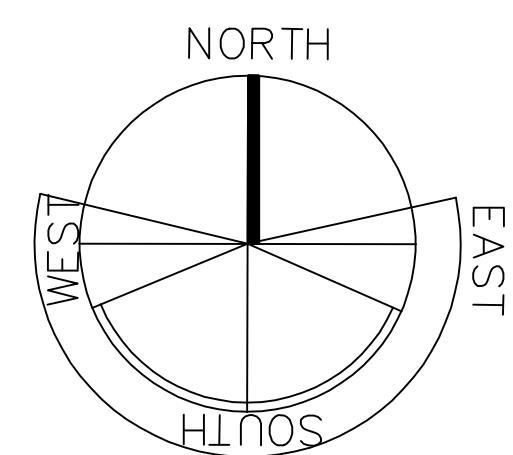
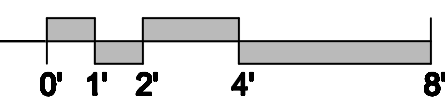
EDGE PAVEMENT

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**FLOOR PLAN - EXISTING**

SCALE : 1/4" = 1'-0"



**PLAN NOTES**

**WALL LEGEND**

**JAMES NEWHALL SMITH**  
ARCHITECT, Inc.

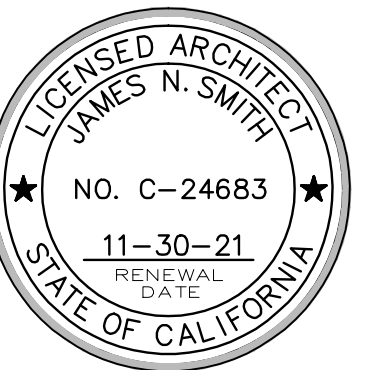
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PROJECT/CLIENT

**YONEKURA RESIDENCE**

DUKE CAPITAL  
MISSION ST.  
3 SW OF RIO ROAD  
CARMEL C.A.



SHEET TITLE

**EXISTING PLAN**

ISSUE	REVISIONS
① 08-17-20 PRELIM PLANNING SUBMITTAL	
② 01-05-21 FULL PLANNING SUBMITTAL	
○	
○	
△	
△	
△	

DATE

PROJECT NUMBER

SHEET NUMBER

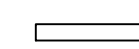
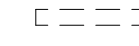

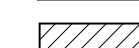

**A2.0E**

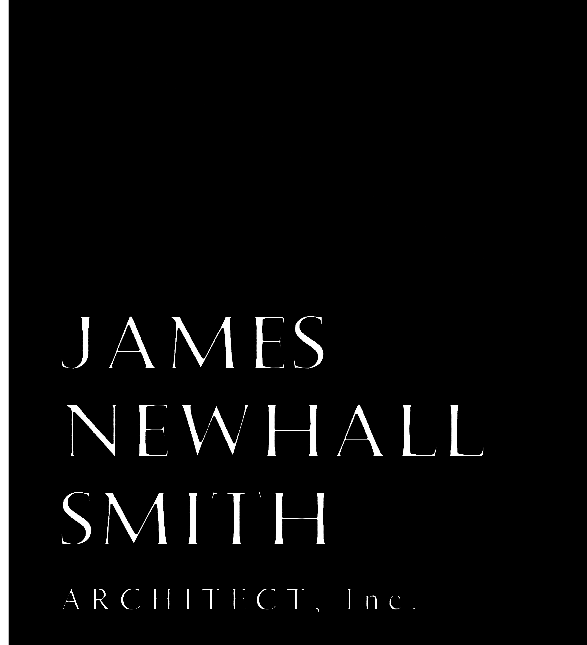
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### PLAN NOTES

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### WALL LEGEND

-  2X EXISTING WALL TO REMAIN
-  2X EXISTING WALL TO BE DEMOLISHED
-  NEW 2X STUD FRAMED WALL
-  STONE WALL / VENEER
-  CMU WALL-SEE STRUCTURAL DWG'S

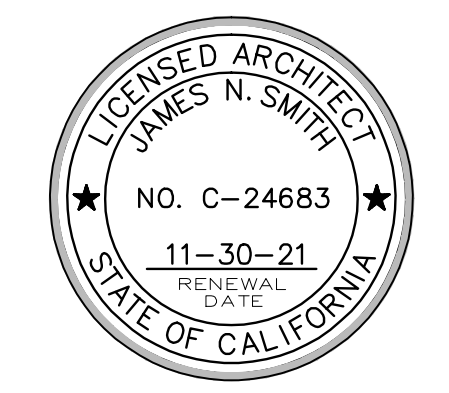


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CARMEL C.A.

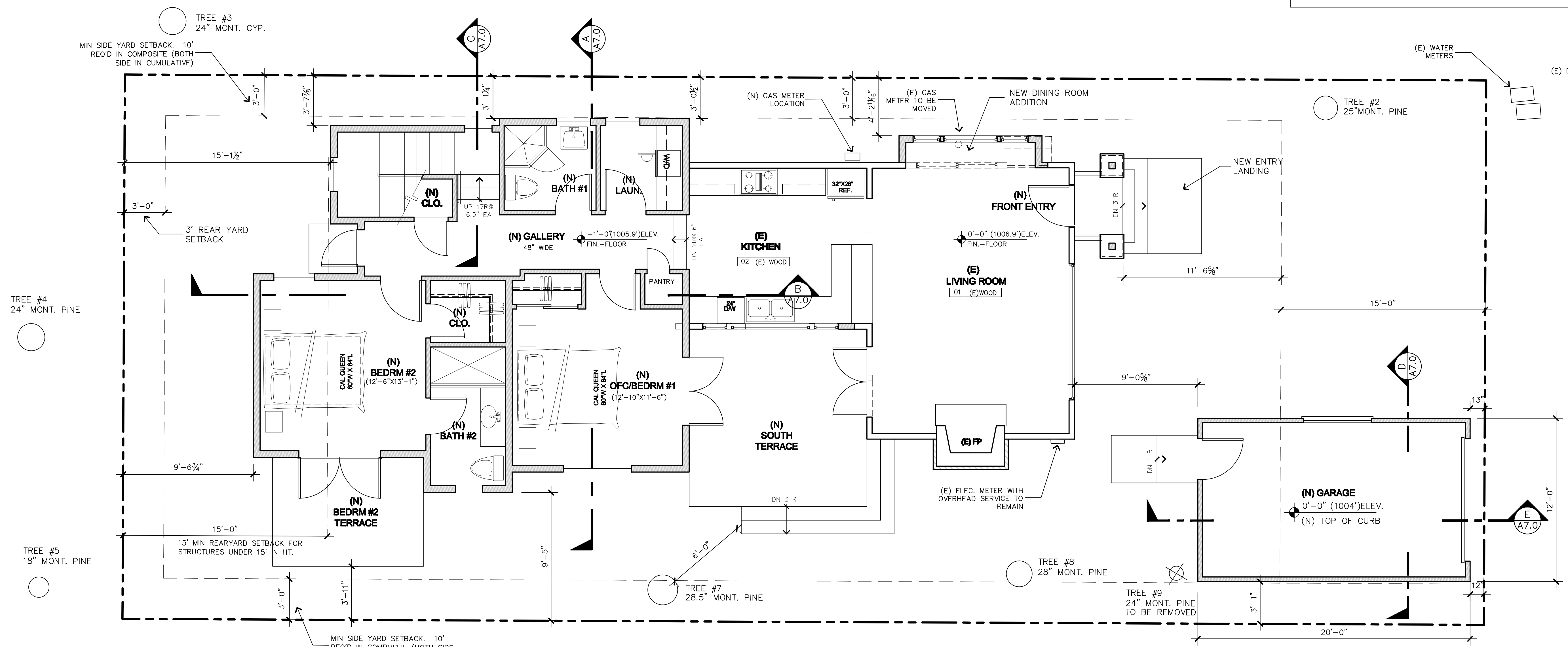


SHEET TITLE  
**MAIN LEVEL PLAN**

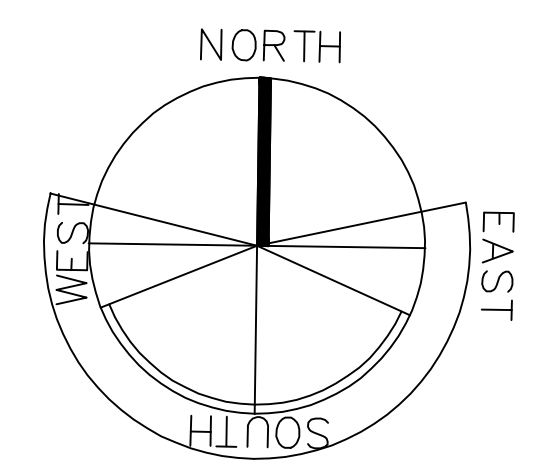
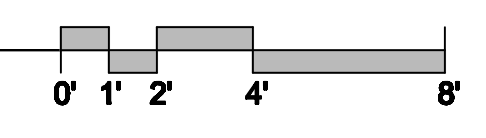
ISSUE	REVISIONS
1	08-17-20 PRELIM PLANNING SUBMITTAL
2	01-05-21 FULL PLANNING SUBMITTAL

DATE \_\_\_\_\_  
PROJECT NUMBER \_\_\_\_\_  
SHEET NUMBER \_\_\_\_\_

**A2.0**



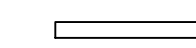
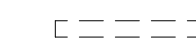


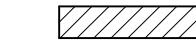
**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

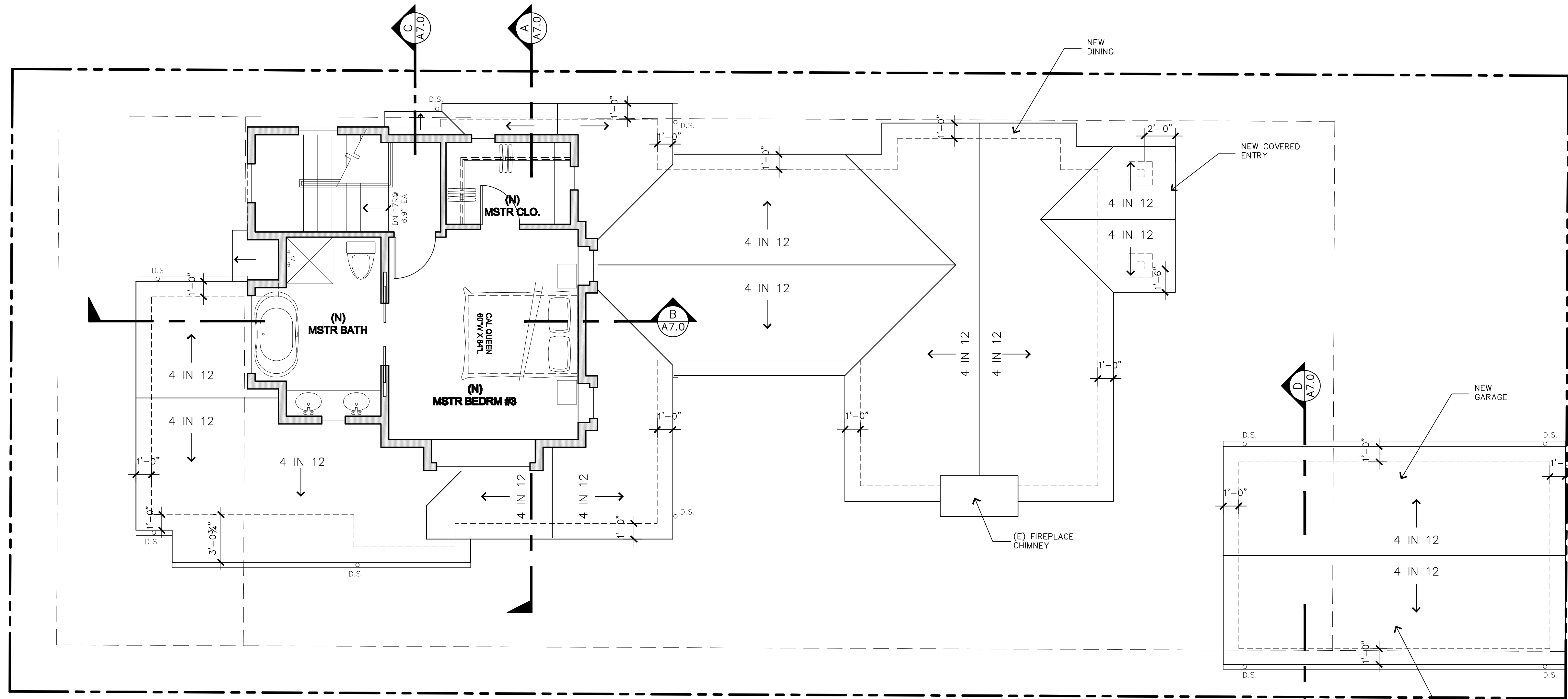


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**PLAN NOTES**

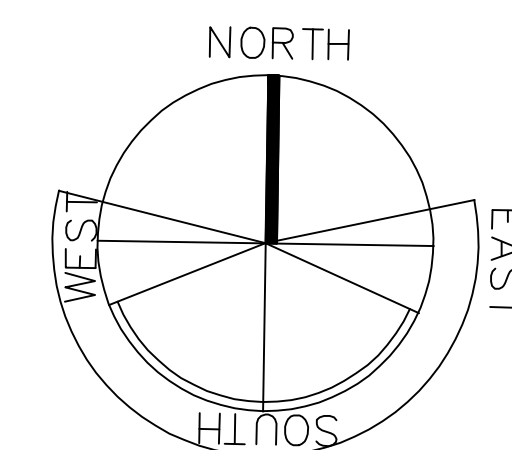
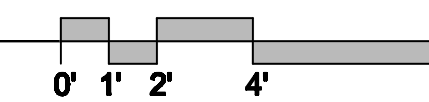
**WALL LEGEND**

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-  2X EXISTING WALL TO BE DEMOLISHED
-  NEW 2X STUD FRAMED WALL
-  STONE WALL / VENEER
-  CMU WALL-SEE STRUCTURAL DWG'S



**FLOOR PLAN - UPPER LEVEL**

SCALE : 1/4" = 1'-0"



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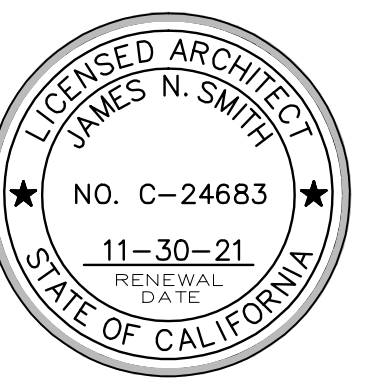
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SHEET TITLE

**UPPER LEVEL  
PLAN**

ISSUE	REVISIONS
1	08-17-20 PRELIM PLANNING SUBMITTAL
2	01-05-21 FULL PLANNING SUBMITTAL

DATE

PROJECT NUMBER

SHEET NUMBER

**A2.1**



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## ROOF PLAN NOTES

1. ROOF MATERIAL TO BE TRIPLE LAYER ASPHALT SHINGLE ROOFING BY GAF, "GLENWOOD" SERIES, COLOR: WEATHERED WOOD. CLASS "A" SHINGLES, TO MATCH EXISTING.
2. FIELD VERIFY WITH OWNER AND ARCHITECT COLOR AND/OR BLEND OF ROOFING UNITS PRIOR TO INSTALLATION.
3. ROOF SLOPE = 4 IN 12 UNLESS OTHERWISE NOTED
4. OVERHANG = 12" UNLESS OTHERWISE NOTED
5. COPPER GUTTERS WITH ROUND DOWNSPOUTS
6. GANG ALL VENT STACKS TO MINIMIZE QUANTITY OF ROOF JACKS AND LOCATE ROOF JACKS IN LEAST VISIBLE LOCATION
7. SPARK ARRESTOR TO BE 3 TIMES THE NET FREE OPENING OF THE CHIMNEY OUTLET
8. CHIMNEY SHALL BE 2' ABOVE THE HIGHEST POINT OF THE ROOF WITHIN 10' MEASURED HORIZONTALLY
9. EACH BUNDLE OF ROOFING SHALL BEAR LABELS FROM AN ICBO ACCREDITED QUALITY CONTROL AGENCY IDENTIFYING THEIR ROOF COVERING CLASSIFICATION AND INDICATING THEIR COMPLIANCE WITH ICC-ES-EQ107 AND WITH THE WEATHERING REQUIREMENTS CONTAINED IN HEALTH AND SAFETY CODE SECTION 13132.70 (R902.2 CRC)
10. ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER GPC 906.2.
11. PER C.B.C. CHAPTER 7A (ROOF EDGE) AND CHAPTER 15 (ROOF FIELD), LARGE GAPS BETWEEN THE ROOF COVERING AND THE ROOF DECK (SHEATHING) MUST BE PLUGGED TO PREVENT EMBER OR FLAME INTRUSION. EXAMPLE: BIRD-STOPS OR MORTAR FOR BARREL TILE ROOFS AT EAVES.
12. ROOF DOWN SPOUTS TO BE COLLECTED IN A TIGHT-LINE AND DISPERSED PER CITY STANDARDS AND CIVIL DWGS

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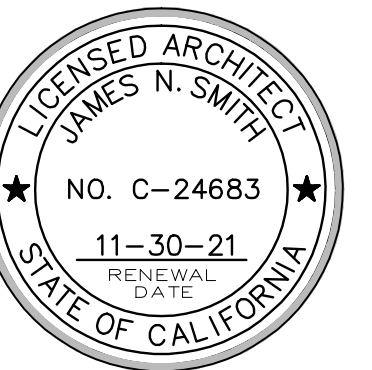
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93950**

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PROJECT/CLIENT

**YONEKURA  
RESIDENCE**

**DUKE CAPITAL  
MISSION ST.  
3 SW OF RIO ROAD  
CARMEL C.A.**



SHEET TITLE

## ROOF PLAN

ISSUE REVISIONS

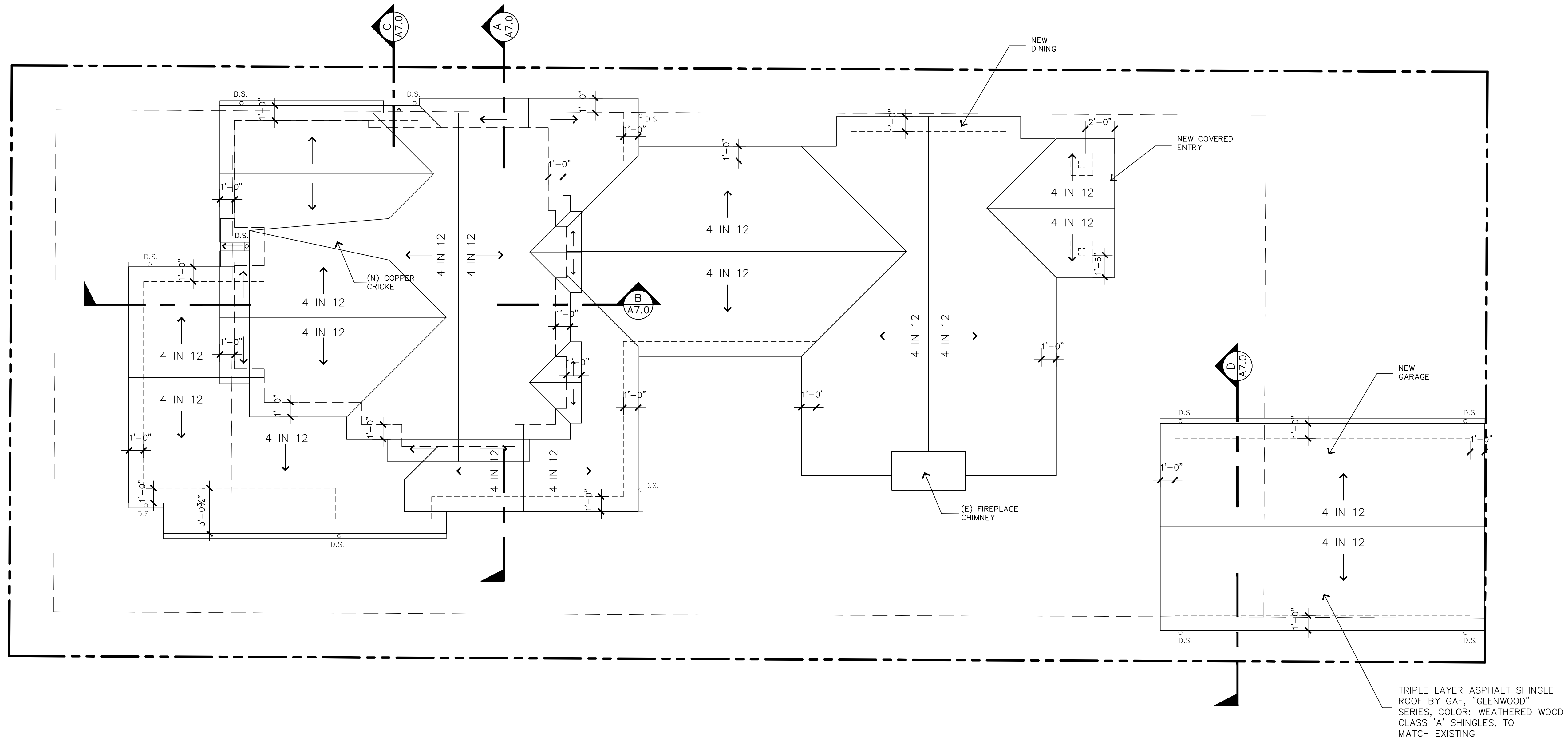
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|---|----------|---------------------------|
| 1 | 08-17-20 | PRELIM PLANNING SUBMITTAL |
| 2 | 01-05-21 | FULL PLANNING SUBMITTAL   |

DATE

PROJECT NUMBER

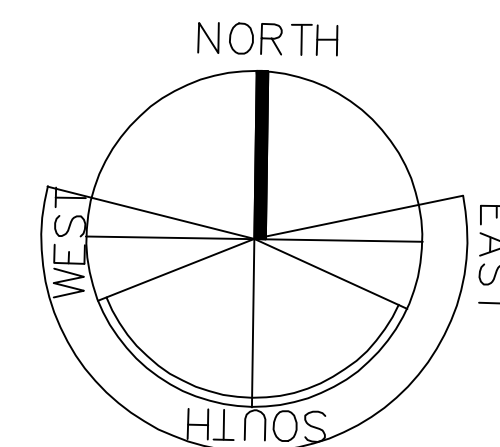
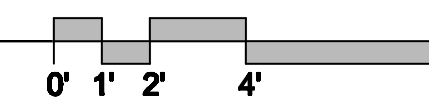
SHEET NUMBER

**A5.0**

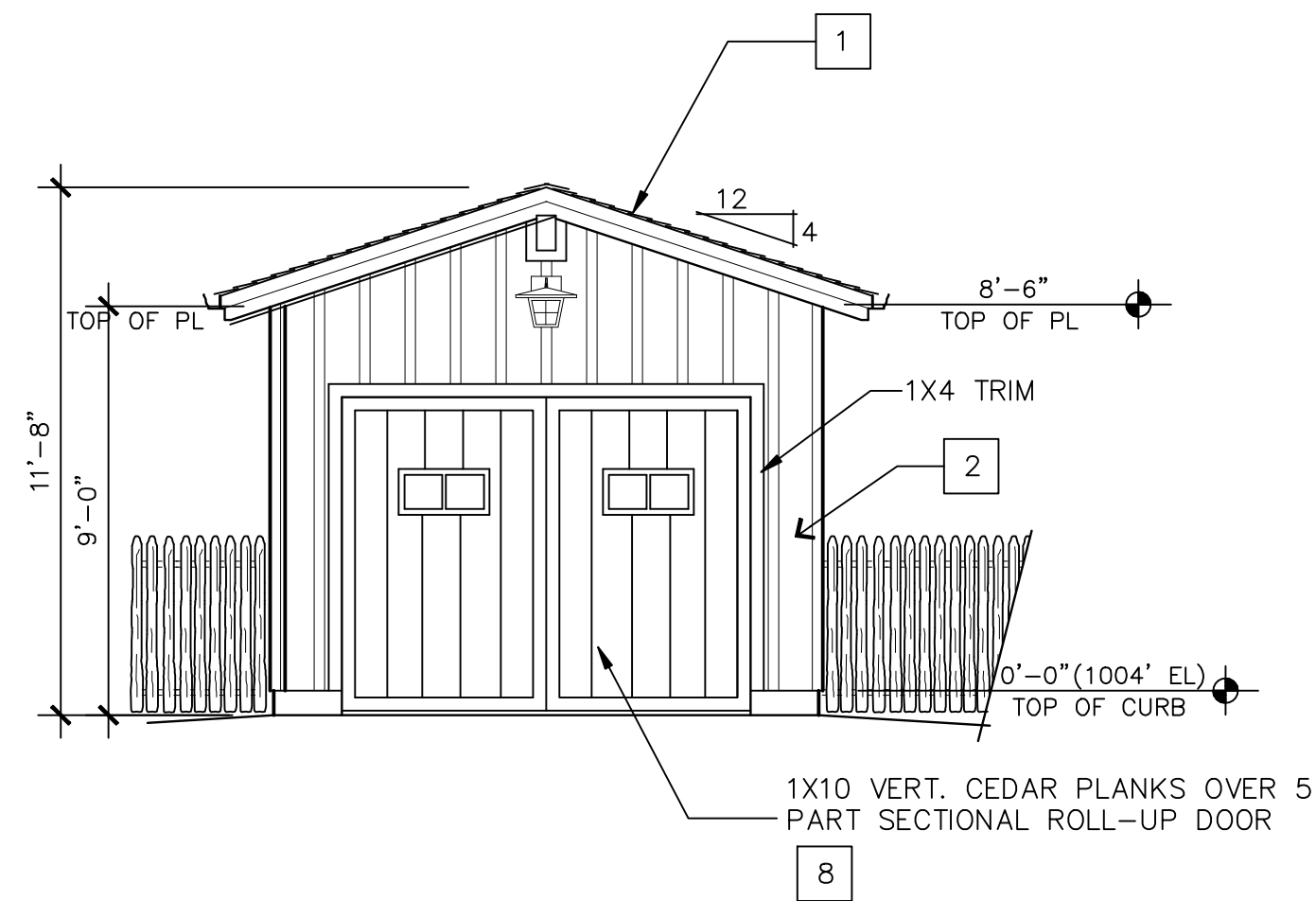


## ROOF PLAN

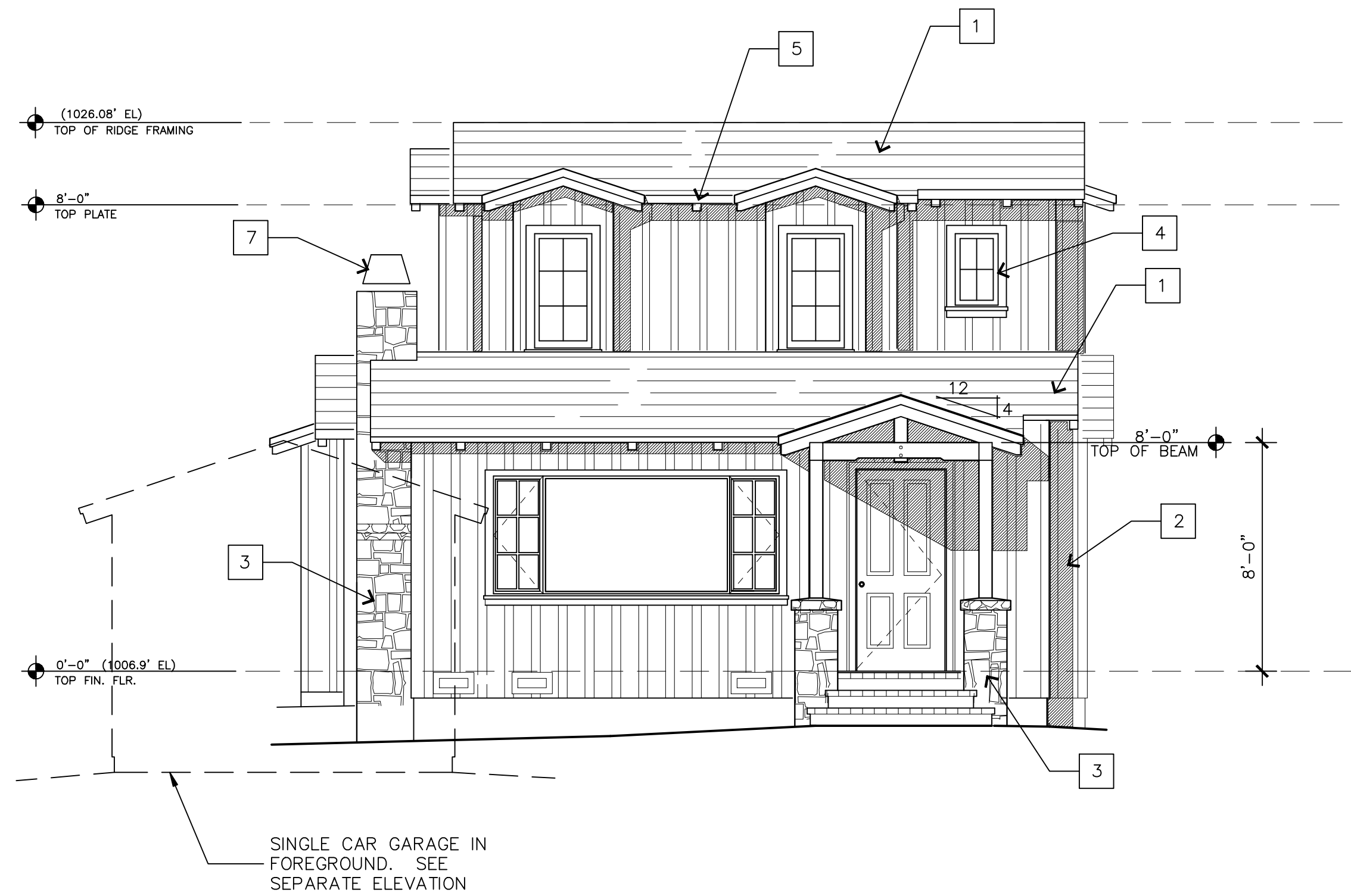
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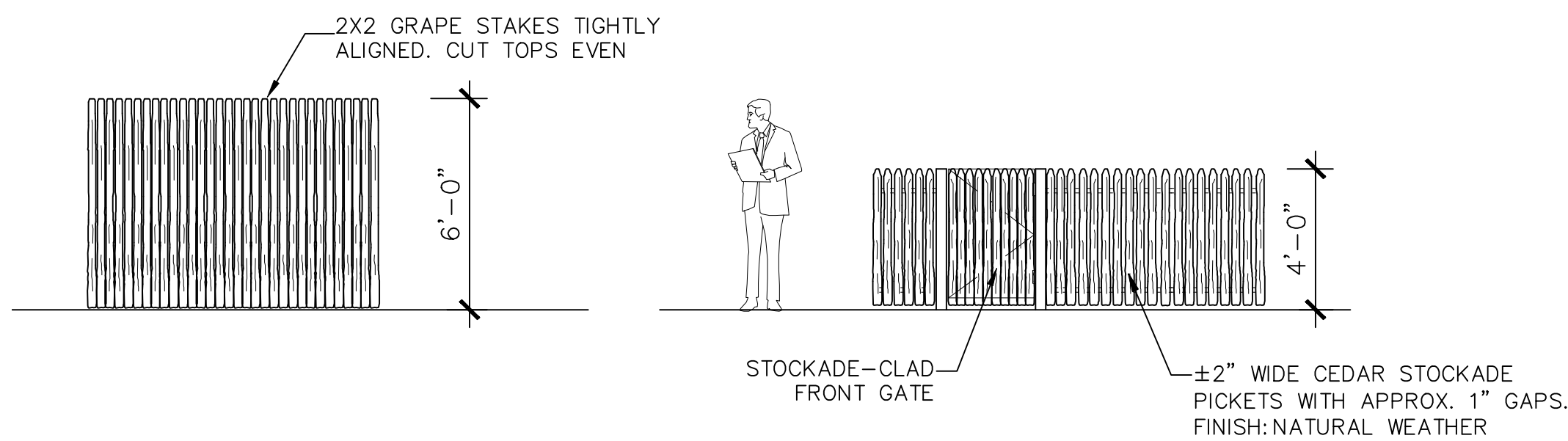
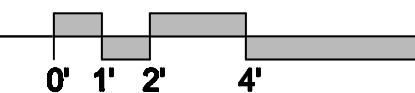
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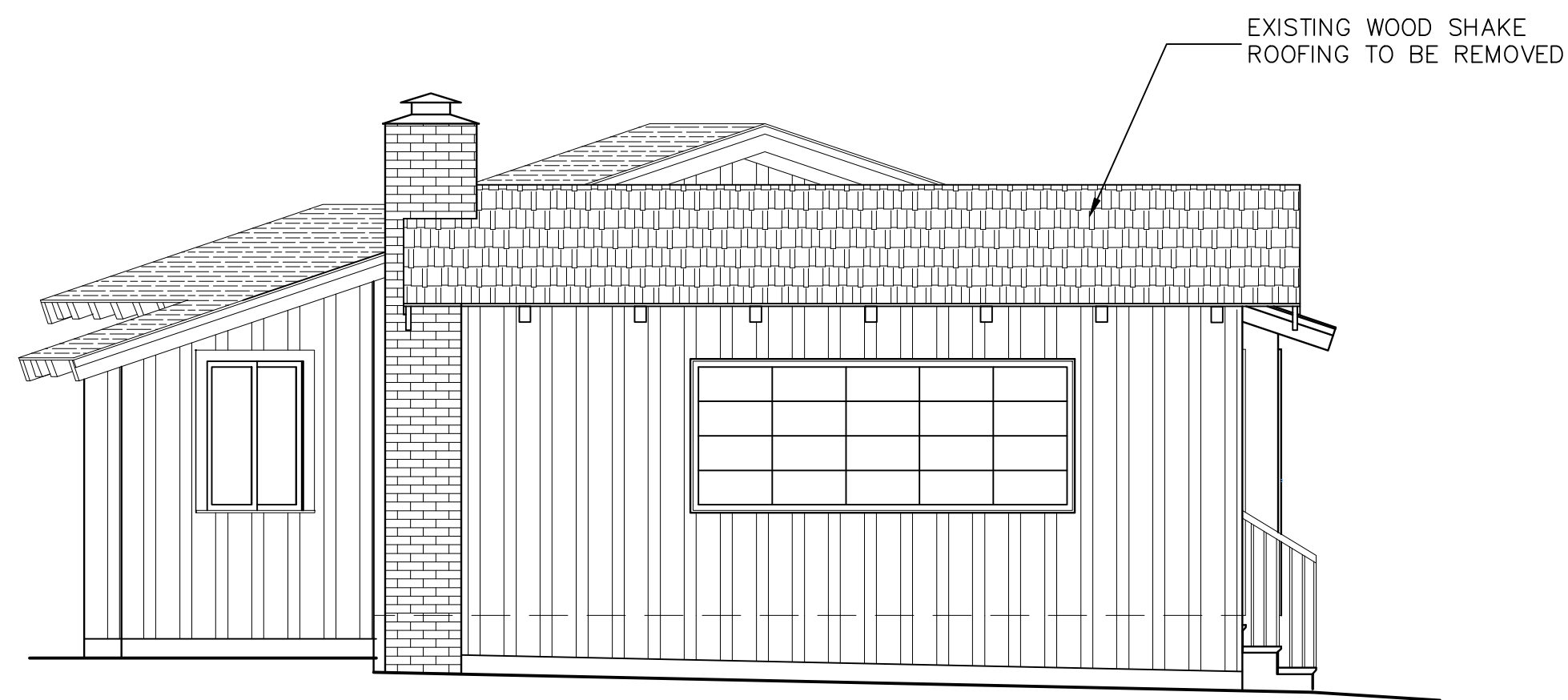
**1A** PROPOSED EAST ELEVATION - GARAGE  
SCALE: 1/4" = 1'-0"



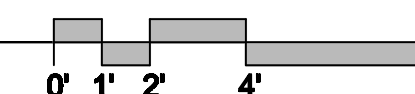
**1** PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"



**3** FENCE ELEVATIONS  
SCALE: 1/4" = 1'-0"



**2** EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"



**ELEVATION MATERIALS LEGEND**

- 1 ASPHALT SHINGLE ROOFING BY CERTAINTEED, PRESIDENTIAL TL, CLASS "A" RATED, COLOR "AUTUMN BLEND" SHINGLES SHALL BE TRIPLE LAYER
- 2 BOARD AND BATTEN SIDING WITH 1X4 BATTENS AT 16" O.C. COLOR: PAINTED OFF-WHITE
- 3 NEW EXTERIOR CARMEL VENEER STONE AT WALL AND CHIMNEY
- 4 WOOD EXTERIOR DOORS AND WINDOWS BY MARVIN. COLOR: DARK GREY
- 5 2X FASCIA BOARD PRE-PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ, COLOR: OFF WHITE
- 6 4X PAINTED CEDAR WOOD RAFTER TAILS. COLOR: OFF-WHITE
- 7 NATURAL UNSEALED HALF-ROUND COPPER GUTTERS, DOWNSPOUTS, EXTERIOR LIGHT HOUSINGS, FLASHING AND CHIMNEY SHROUD
- 8 CEDAR WOOD SECTIONAL GARAGE DOOR WITH T.G. GLASS PANELS, COLOR: CABOT, "ANTIQUE OAK"
- 9 CEDAR STOCKADE FENCING, SEALED NATURAL
- 10 CMU RETAINING WALL WITH PLASTER FINISH AT EXPOSED FACES

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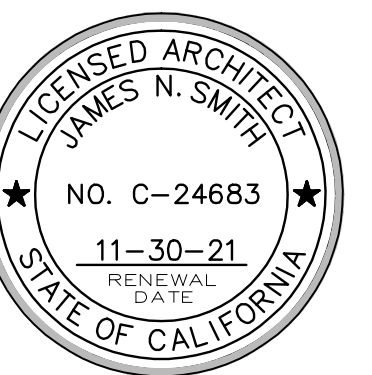
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PROJECT/CLIENT

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SHEET TITLE

**EXTERIOR ELEVATIONS**

ISSUE REVISIONS

1 08-17-20 PRELIM PLANNING SUBMITTAL

2 01-05-21 FULL PLANNING SUBMITTAL

DATE

PROJECT NUMBER

SHEET NUMBER

**A6.0**









