YONEKURA RESIDENCE

3 SOUTHWEST OF RIO ROAD

GENERAL NOTES ABBREVIATIONS 1. EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT HIS WORK. 2. CONTRACTOR SHALL PROVIDE THE ARCHITECT, JAMES N. SMITH, AND OWNER, GLEN YONEKURA, WITH A COMPLETE COST BREAKDOWN AND SCHEDULE OF CONSTRUCTION FOR THIS PROJECT PRIOR TO COMMENCEMENT OF WORK. 3. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS. INSPECTIONS. CERTIFICATES, AND FEES. HE SHALL ALSO BE RESPONSIBLE FOR FILING OF APPLICATION FOR PERMIT AND PLAN CHECK APPROVAL AS NECESSARY. (THIS SECTION SUBJECT TO OWNER'S REVIEW AND APPROVAL.) 4. CONTRACTOR SHALL PROTECT OWNER'S PROPERTY AND IMPROVEMENTS, NEW AND/OR EXISTING MATERIALS, AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH OWNER PRIOR TO COMMENCEMENT OF WORK AS NECESSARY. 5. MATERIALS THAT ARE SPECIFIED BY THEIR BRAND NAMES ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ANY REQUEST FOR SUBSTITUTION SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER FOR REVIEW FOR EQUAL QUALITY AND PERFORMANCE AND SHALL NOT BE PURCHASED OR INSTALLED WITHOUT THEIR WRITTEN APPROVAL ALL NON-SPECIFIED PRODUCTS SHALL CONFORM TO REQUIREMENTS SET FORTH BY CODE COMPLIANCE OR INDUSTRY STANDARDS AND CONTRACTOR SHALL SUBMIT A LIST OF PRODUCTS AND MANUFACTURERS BEING USED FOR REVIEW BY THE ARCHITECT PRIOR TO PURCHASE OR INSTALLATION. 6. ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ETC., AS MAY BE REQUIRED, SHALL CONFORM TO THE LATEST ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE AND THE LATEST EDITION(S) OF ALL GOVERNING CODES AND REGULATIONS AS ADOPTED BY THE CITY OF CARMEL AND MONTEREY COUNTY. ALL WORK SHALL BE DONE IN A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF THE PRACTICE. 7. DIMENSIONS ON CONSTRUCTIONS DRAWINGS ARE TO FACE OF FINISH (F.O.F.), FACE OF STUD (F.O.S.), OR FACE OF COLUMN (F.O.C.), UNLESS OTHERWISE NOTED TO BE THE CENTER LINE OF MULLION, PARTITION, OR COLUMN, ETC. 8. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR AND/OR SUBCONTRACTORS SHALL NOT SCALE DRAWINGS. QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR OWNER PRIOR TO ANY START OF WORK. 9. ALL CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY CONSTRUCTION DOCUMENTS SHALL BE PROVIDED AS THOUGH ON ALL RELATED DOCUMENTS. <u>DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF</u> THE ARCHITECT FOR CLARIFICATION. WORK THAT IS CONTINUED, COVERED UP OR COMPLETED WITHOUT SAID CLARIFICATION SHALL BE AT GENERAL OR SUB- CONTRACTOR'S RISK OF REPAIR. REPLACEMENT OR REWORKING AT HIS OWN EXPENSE.

10. ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR EXCEPT WHERE NOTED. THE CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE WITH MANUFACTURER'S REQUIREMENTS. WORK REQUIRED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, ETC. NECESSARY TO COMPLETE THIS PROJECT. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS SPECIFICALLY NOTED AND BE A QUALITY ACCEPTABLE BY INDUSTRY STANDARDS.

11. THE USE OF THE WORD "PROVIDE" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED. INSTALLED. AND CONNECTED WHERE SO REQUIRED. EXCEPT AS NOTED.

12. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FABRICATED ITEMS, CUT SHEETS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR BY THE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION AND OR INSTALLATION.

13. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS, INCLUDING PERMITTED "JOB COPY" SET(S) AND A COPY OF THE SOILS REPORT BY____DATED____ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. THE CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED, SHALL COMPLY WITH THE SPIRIT AS WELL AS WITH THE LETTER IN WHICH THEY WERE DRAWN.

14. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.

15. THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.

16. ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE STATE FIRE MARSHALL, THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY, AND ANY APPLICABLE STATE OR LOCAL LAWS AND ORDINANCES. NOTHING ON THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

17. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED IN ORDER TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE LIMITS AND SCOPE OF WORK, BUT WHICH MAY NOT BE SPECIFICALLY INCLUDED IN THE PLANS, SHALL BE PERFORMED BY CONTRACTOR AND INCLUDED IN HIS BID.

18. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, INSTALLATION AND MATERIAL FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION.

19. CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT THE WORK OR SHALL KEEP A COMPETENT EMPLOYEE, AUTHORIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTOR'S BEHALF, CONTINUOUSLY ON SITE DURING WORKING HOURS.

20. CONSULT WITH CITY OF CARMEL FORESTER PRIOR TO ANY TREE TRIMMING OR REMOVAL. TREES ADJACENT TO STRUCTURES AND OVER DRIVEWAYS SHALL BE TRIMMED TO CLEAR STRUCTURES AND PROVIDE 15' CLEARANCE OVER DRIVEWAYS. PROTECT OTHER TREES DURING CONSTRUCTION PER CITY STANDARDS. TREES TO BE REMOVED SHALL INCLUDE REMOVAL OF ALL ROOT STRUCTURES AND CONTRACTOR SHALL COORDINATE WITH OWNER FOR POSSIBLE STACKING OF CUT WOOD FOR FUTURE FIREPLACE WOOD.

21. A LICENSED SURVEYOR SHALL CERTIFY IN WRITING THAT THE FOOTINGS/FOUNDATION ARE LOCATED IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE FOOTING/FOUNDATION INSPECTION; AND SHALL CERTIFY THE ROOF HEIGHT IS IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO ROOF SHEATHING INSPECTION. CERTIFICATION SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF THE REFERENCED INSPECTIONS.

22. CONTRACTOR SHALL OBTAIN AN 8-1-1 / DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND SHALL MAINTAIN THE TICKET IN ACTIVE STATUS THROUGHOUT THE PROJECT. TICKET SHALL BE KEPT ON SITE FOR INSPECTOR REFERENCE.

23. TO MINIMIZE OFF-SITE VIBRATION AND DAMAGE TO NEARBY PROPERTIES, CONTRACTOR SHALL UTILIZE THE SMALLEST FEASIBLE COMPACTION EQUIPMENT CAPABLE OF ACHEIVING THE DESIRED COMPACTION LEVEL. CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL OFF-SITE DAMAGE AND SHALL REPAIR ANY DAMAGE IN A TIMELY MANNER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE PROJECT.*

EXISTING EXIST'G GYPSUM WALLBOARD (E) EXISTING NOT IN CONTRACT A.B. NOT TO SCALE ANCHOR BOLT APPROX. APPROXIMATE ON CENTER BD. OUTSIDE DIAMETER BLK. BLOCK PLYWD. PLYWOOD CAB. CABINET R.O. ROUGH OPENING SIM. CLR. CLEAR CONC. CONCRETE S.S.D. SEE STRUCTURAL DRAWINGS CONT. CONTINUOUS T&G TONGUE AND GROOVE D.S. T.O.P. DOWNSPOUT TOP OF PLATE F.O.C. FACE OF CONCRETE F.O.S. FACE OF STUDS UNLESS OTHERWISE NOTED F.O.F. FACE OF FINISH VERIFY IN FIELD (OR WORK SITE) V.I.F. GALV. GALVANIZED V.W.O. VERIFY WITH OWNER G.I. GALVANIZED IRON W/O WITHOUT GYP. **WATERPROOF**

SPECIAL INSPECTIONS

1. THE GEOTECHNICAL ENGINEER SHALL INSPECT THE BUILDING PADS AND FOUNDATION EXCAVATIONS PRIOR TO THE PLACEMENT OF REINFORCING BARS, AND SHALL SUBMIT WRITTEN APPROVAL TO THE BUILDING INSPECTOR BEFORE REQUESTING FOUNDATION INSPECTION AND POURING OF FOOTING.

BUILDING DEPARTMENT NOTES

- NO PERSON MAY TAP INTO ANY FIRE HYDRANT OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MOUNTEREY COUNTY HEALTH DEPARTMENT.
- ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT-OFF. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
- NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONBLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE.
- 4. THE USE OF SOLDERS CONTAINING MORE THAN 2/10ths OF 1% LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED (SB 164).
- 5. PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSEBIBS.
- 6. THE BUILDER/CONTRACTOR SHALL PROVIDE THE OWNER AND THE BUILDING DEPARTMENT WITH A COPY OF THE CF-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.
- 7. GRADING PERMIT, IF REQUIRED, IS BY SEPARATE PERMIT.
- 8. SPRINKLER SYSTEM, IF REQUIRED, TO BE PER SEPARATE PERMIT.
- 9. THE CITY OF CARMEL REQUIRES APPROVAL OF A CERTIFICATE OF OCCUPANCY FOR EACH STRUCTURE PRIOR TO ANY OCCUPANCY. UNAUTHORIZED OCCUPANCY IS A VIOLATION OF CITY AND STATE LAWS.

DEFERRED SUBMITTALS

- 1. CONTRACTOR TO SUBMIT GAS LINE SIZING AND SINGLE LINE DIAGRAM FOR CITY & UTILITY APPROVAL BEFORE INSPECTION.
- 2. RESIDENTIAL FIRE SPRINKLER SYSTEM TO BE BY SEPARATE PERMIT BY LICENSED FIRE SPRINKLER COMPANY.
- 3. SOLAR PANEL ARRAY AND WIRING SYSTEM TO BE PER SEPARATE PERMIT BY APPROVED INSTALLER
- 4. TRUSS CALCS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ANY TRUSS INSPECTIONS. CALCS BY MANUFACTURER SHALL INCLUDE TRUSS PROFILES AND LAYOUT PLANS.
- 5. THE MANUFACTURED TRUSS SUBMITTALS SHALL BE REVIEWED (INDICATED BY LETTER OR STAMP. SIGNATURE AND DATE) BY THE ENGINEER OF RECORD FOR DESIGN COMPATIBILITY. A CERTIFICATION LETTER FROM THE ENGINEER SHALL BE SENT TO THE BUILDING DEPARTMENT STATING THIS APPROVAL.
- 6. THE TRUSSES SHALL NOT BE INSTALLED UNTIL AN APPROVED JOB COPY OF THE TRUSS SUBMITTALS IS ISSUED BY THE BUILDING DEPARTMENT.
- 7. GLU-LAM CERTIFICATES SHALL BE COPIED TO THE BUILDING DEPARTMENT.
- 8. NEW SITE RETAINING WALLS HAVE NOT BEEN REVIEWED UNDER THIS PERMIT. A SEPERATE PERMIT APPLICATION IS REQUIRED FOR ALL NEW RETAINING WALLS.

DRAWING INDEX PROJECT INFORMATION

ARCHITECTURAL

COVER SHEET SURVEY

SITE PLAN A1.0d SITE PLAN - DEMO

SITE PLAN - TREE ROOT PROTECTION FLOOR PLAN - MAIN LEVEL

PROJECT DIRECTORY

PROPERTY OWNERS:

GLEN YONEKURA

(650)492-1683

ARCHITECT:

DUKE CAPITAL VENTURES

MOUNTAIN VIEW, CA. 94041

CONTACT: GLEN YONEKURA

JAMES N. SMITH, ARCHITECT, INC.

CONTACT PERSON: JAMES SMITH

716 LIGHTHOUSE AVE., SUITE C

PACIFIC GROVE, CA. 93950

TEL. (831) 372-7251

FAX (831) 372-7252

STRUCTURAL ENGINEER:

(925) 292-1491

P.O. BOX 3135

MONTEREY, CA. 93942

TEL. (831) 375-7240

FAX (831) 375-2545

CONTACT PERSON: KATE

KATE@RAŚMUSSENLAND.COM

SURVEYOR:

EMAIL: JÁMES@JNSAIA.COM

RICHARD A. STRAND, P.E.

RAS ENGINEERS & ASSOC.

2389 SPYGLASS HILLS RD. LIVERMORE, CA. 94551

RASENGINEERS@COMCAST.NET

RASMUSSEN LAND SURVEYORS

2400 GARDEN ROAD, SUITE A

ÈMAIL: GLEN@DUKECV.COM

843 CASTRO STREET

SOILS ENGINEER

GRICE ENGINEERING

561A BRUNKEN AVE.

SALINAS, CA. 93901

TEL. (831) 422-9619

FAX (831) 422-1896

CONTACT PERSON: SAM GRICE

SAM'S CELL (831) 594-7699

TITLE 24 / MECHANICAL ENGINEER

227 FOREST AVENUE, SUITE #5

CONTACT PERSON: DAVID KNIGHT

MONTEREY ENERGY GROUP

PACIFIC GROVE, CA. 93950

TEL. (831) 372-8328

EMAIL: DAVE@MEG4.COM

FAX (831)372-4613

CIVIL ENGINEER:

SAM'S EMAIL: SAMGE@SBCGLOBAL.NET

JEFF OLMS (831) 594-4664 (FIELD TECH)

FLOOR PLAN - UPPER LEVEL FLOOR PLAN - EXISTING ROOF PLAN

EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS

■ PROJECT DESCRIPTION:

REMODEL FRONT OF EXISTING HOME, DEMO REAR PORTION AND DEMO CARPORT & CONSTRUCT NEW TWO STORY ADDITION AT REAR OF A NON HISTORIC S.F.R. WITH NEW DETACHED SINGLE CAR GARAGE WITHIN FRONT SETBACK LINE. NEW 6' WOOD FENCES AND REPLACE LOW RETAINING WALLS

■ PROJECT ADDRESS: MISSION 3 SW OF RIO RD. CARMEL, CA. 93921

PLANNING INFORMATION

■ A.P.N. 010−162−002 ■ LEGAL DESCRIPTION LOT BLOCK

■ CITY OF CARMEL ZONING: R1 ■ MAX. ALLOWABLE BUILDING HEIGHTS:

> FIRST FLOOR ROOF HT.: 18' FIRST FLOOR PLATE HT.: 12' SECOND FLOOR ROOF HT.: 24' SECOND FLOOR PLATE HT.: 18'

AT PROPERTY LINE AT PORTIONS OF REAR YARD

■ TREE REMOVAL: YES, 1 PINE

■ APPROX. GRADING: 25 CY CUT, 0 CY FILL

■ PARKING REQUIRED PARKING PROVIDED COVERED/UNCOVERED: 1 | COVERED/UNCOVERED: 1

BUILDING INFORMATION

■ PROJECT CODE COMPLIANCE—CODE EDITIONS USED: 2019 CAL. BUILDING CODE - CBC 2019 CAL. RESIDENTIAL CODE - CRC

2019 CAL. FIRE CODE - CFC 2019 CAL ELEC. CODE - CEC / 2019 CAL. MECH. CODE - CMC 2019 CAL. PLUMB. CODE - CPC / 2019 CAL. ENERGY CODE - CEC

2019 CAL. GREEN BUILDING STANDARDS CODE - CGBCS

■ CONSTRUCTION TYPE: VB UTILITY PROVIDERS

■ BUILDING OCCUPANCY: R-3 / U SEWER: WATER: CAL AM

■ FIRE DEPARTMENT: ELEC / GAS: PG&E FIRE DISTRICT: CARMEL AUTOMATIC SPRINKLERS EXISTING: NO

AUTOMATIC SPRINKLERS REQUIRED: YES

WILDLAND URBAN INTERFACE CODES REQUIRED: NO (REMODEL) W.U.I. ZONE: L.R.A.

PROJECT SQUARE FOOTAGE INFORMATION

=4,000 S.F. \square BASE FLOOR AREA ALLOWED = 1.800 S.F

E) SHED

EXISTING PROJECT SQUARE FOOTAGE EXISTING LIVING AREA = 486 S.F. (PORTION TO REMAIN AT FRONT) EXISTING LIVING AREA = 719 S.F. (PORTION TO BE DEMO'D AT REAR) = 400 S.F. (MIN 200 S.F. GARAGE COUNTED-LIVING AREA) (E) CARPORT

= 60 S.F. (TO BE DEMOLISHED)

TOTAL (E) SQ. FT. = 1,652 S.F.

PROPOSED PROJECT SQUARE FOOTAGE (E) MAIN FLR. LIVING = 486 S.F. (719 S.F. IS DEMOLISHED) N) MAIN FLR.—DINING RM = 21 S.F.

N) MAIN FLR.—BEDRMS = 734 S.F. (N) SECOND FLOOR = 318 S.F. TOTAL LIVING = 1,559 S.F.(N) DETACHED GARAGE = 240 S.f.

TOTAL PROPOSED SQ. FT. = 1,799 S.F. MAX. ALLOWED SQ. FT. = 1,800 S.F.

■ ALLOWED SITE COVERAGE = 396 S.F. (22% OF BFA) = 160 S.F. (SEMI-PERMEABLE PAVERS AT DRIVEWAY)

TOTAL ALLOWED COVERAGE = 556 S.F. EXISTING SITE COVERAGE

(E) A/C DRIVEWAY PAVING = 10 S.F. (E) NORTH BRICK PAVING = 199 S.F. \dot{E}) EAST BRICK PAVING = 727 S.F. E) SOUTH BRICK PAVING = 278 S.f.(E) WEST BRICK PAVING = 315 S.F. (E) SOUTH RETAINING WALLS = 22 S.F.

(E) WEST-FRONT RET. WALLS = 9 S.F. (E) WEST-REAR RET. WALLS = 18 S.F. TOTAL (E) SITE COVERAGE = 1,871 S.F.

PROPOSED SITE COVERAGE (N) DRIVEWAY PAVING = 10 S.F. (N) FRONT STEPPING STONES = 45 S.f.

(N) FRONT ENTRY LANDING = 28 S.F. 28 S.F. N) FRONT ENTRY PORCH = 35 S.F. (N) GARAGE LANDING = 10 S.F. (N) SOUTH TERRACE = 203 S.F. 203 S.F. (N) BED #2 TERRACE = 89 S.F. 89 S.F. (N) REAR LANDING = 13 S.F. 13 S.F. (N) SOUTH RETAINING WALL = 20 S.F. (N) WEST RETAINING WALL = 35 S.F. TOTAL PROPOSED = 488 S.F.

VICINITY MAP

SITE COVERAGE

N.T.S.

45 S.F.

35 S.F.

10 S.F.

20 S.F.

35 S.F.

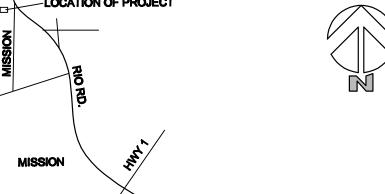
145 S.F.

SEMI-PERMEABLE/PERM. NON-PERMEABLE

10 S.F.

(GREATER THAN 50%).

LOCATION OF PROJECT



JAMES NEWHALL SMITH

ARCHITECT, Inc.

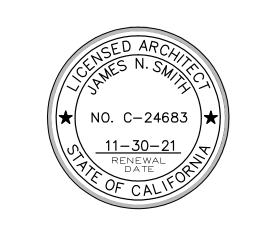
716 LIGHTHOUSE AVE. PACIFIC GROVE, CA. 93950

TEL: 831.372-7251 FAX: 831.372-7252 CEL: 831.915-9518

PROJECT/CLIENT

YONEKURA RESIDENCE

DUKE CAPITAL MISSION ST. 3 SW OF RIO ROAD **CARMEL C.A**



SHEET TITLE

ISSUE RE	VISIONS
1 08-17-20 PRELIM PLANNING SUBM	MITTAL
2 01-05-21 FULL PLANNING SUBMIT	TAL
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\triangle	
DATE	

PROJECT NUMBER

SHEET NUMBER

* NOTE #23 REQUIRED BY BUILDING DEPARMENT. ARCHITECT SHALL NOT BE RESPONSIBLE FOR MEANS OR METHODS OF CONSTRUCTION

MISSION STREET

NOTES:

THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.

THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.

ELEVATIONS ARE BASED ON AN ARBITRARILY ASSUMED DATUM AS NOTED.

GROUND MAY BE MORE IRREGULAR THAN CONTOURS INDICATE.

WHERE DATA DIFFERS, PARENTHESES DENOTE RECORD DATA.

THE CROSS SYMBOL (+) MARKS THE HORIZONTAL POSITION OF THE SPOT ELEVATION SHOWN.

TREE SYMBOLS ARE DRAWN TO SCALE ONLY APPROXIMATELY.

SUFFICIENT BOUNDARY TIES WERE MADE TO GRAPHICALLY SHOWN EXISTING FEATURES; A COMPLETE BOUNDARY SURVEY WAS NOT DONE AT THIS TIME.

ABBREVIATIONS & SYMBOLS:

6"K = 6" DIAMETER OAK TREE

CS = CONCRETE STEP

F3P = FOUND 3/4" IRON PIPE, TAGGED AS INDICATED

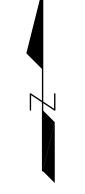
GM = GAS METER

RP = ROOF PEAK

TBM = SITE TEMPORARY BENCHMARK

WM = WATER METER

WOOD FENCE





0 10 20 Feet

UNDERGROUND UTILITIES, IF ANY, WERE NOT LOCATED. INFOR-MATION REGARDING UNDERGROUND UTILITY LOCATIONS SHOULD BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES OR PUBLIC AGENCIES.

DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF.

6"P = 6" DIAMETER PINE TREE

BP = BRICK PLANTER

BRP = BRICK PATIO BRW = BRICK RETAINING WALL

CF = CONCRETE FOOTERCRS = CRAWL SPACE

CRW = CONCRETE RETAINING WALL

DP = DRAIN PIPE

EC = ELECTRIC CONDUITEM = ELEC. METER (PG&E SMART METER)

P = POST

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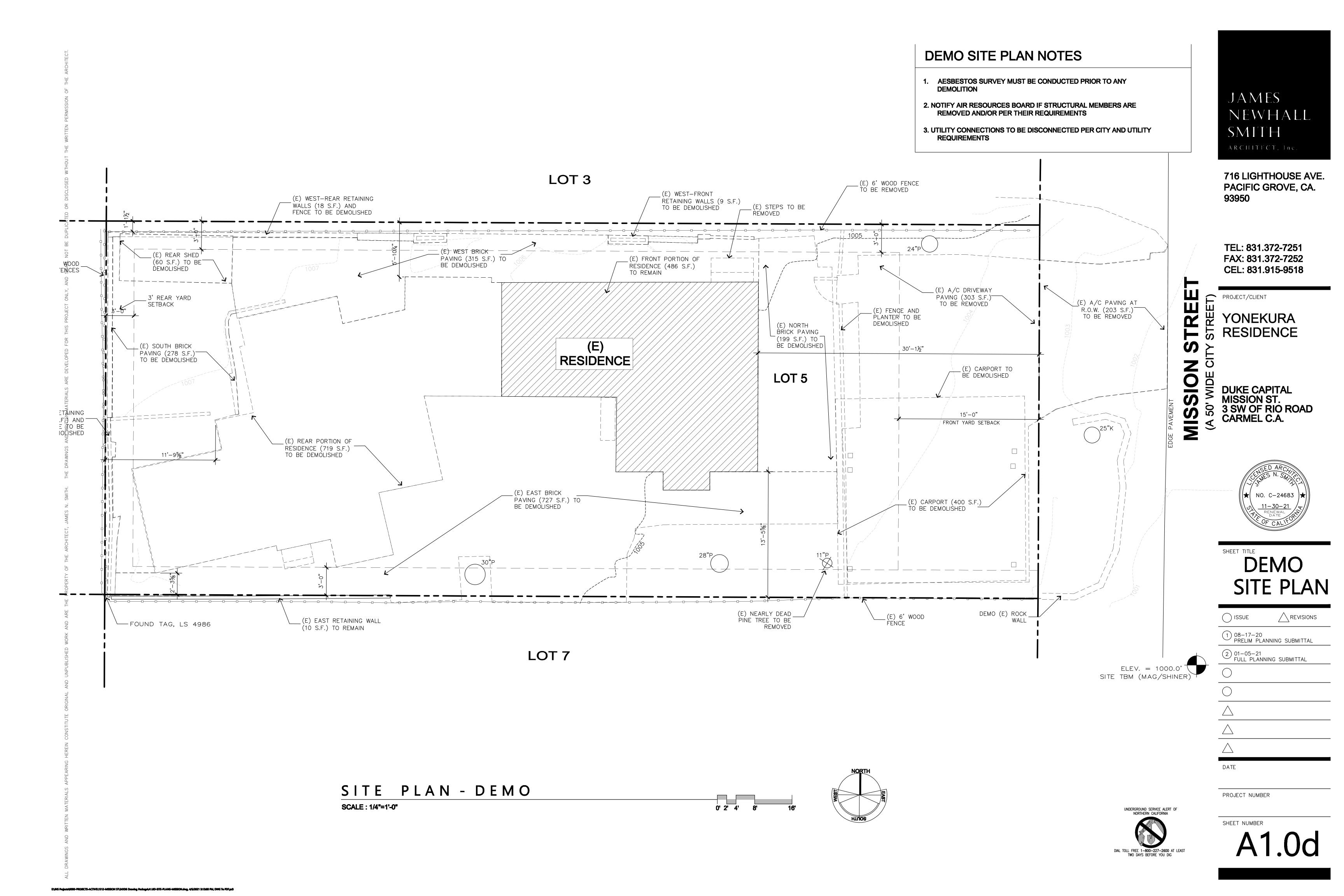
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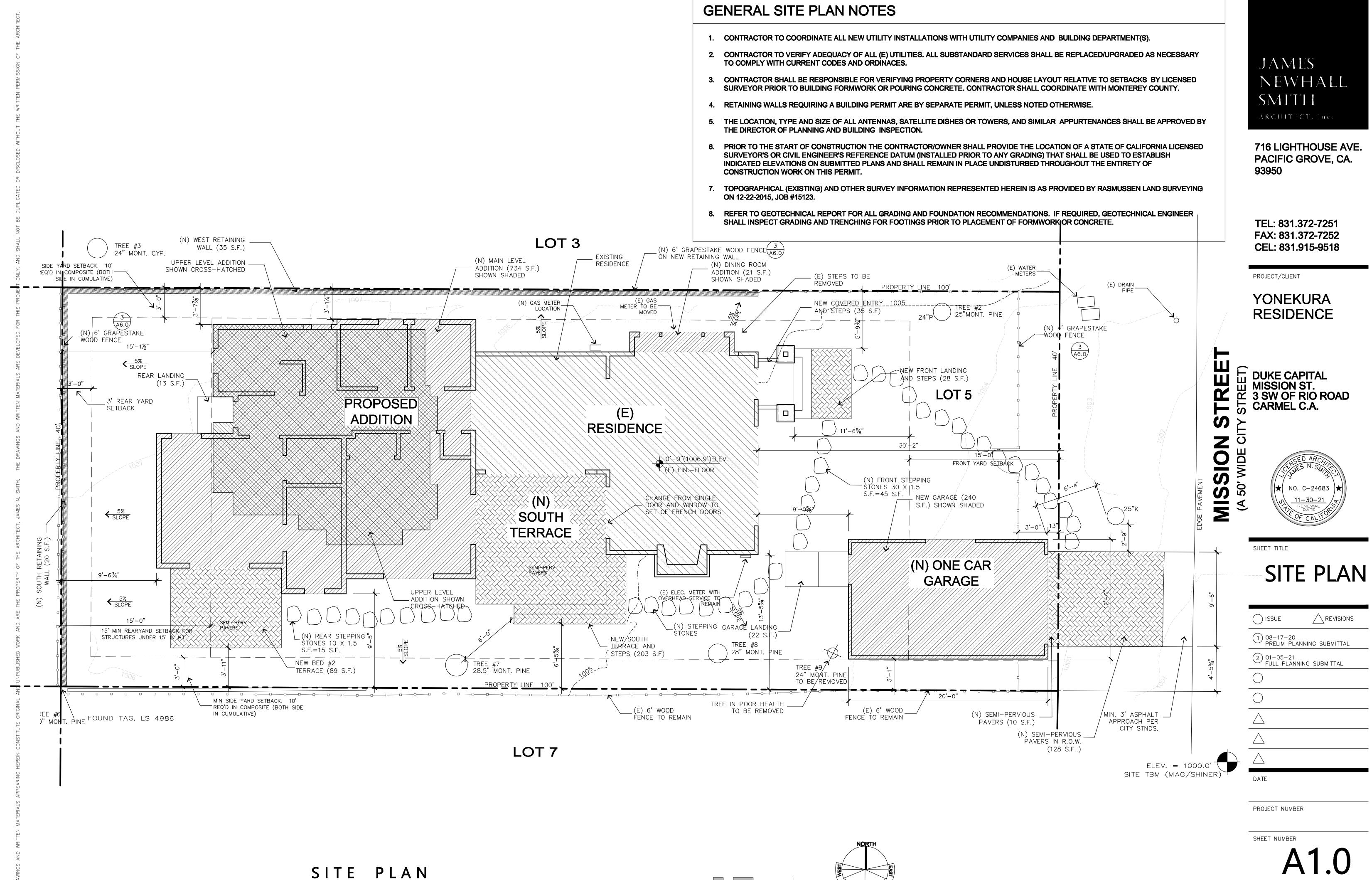
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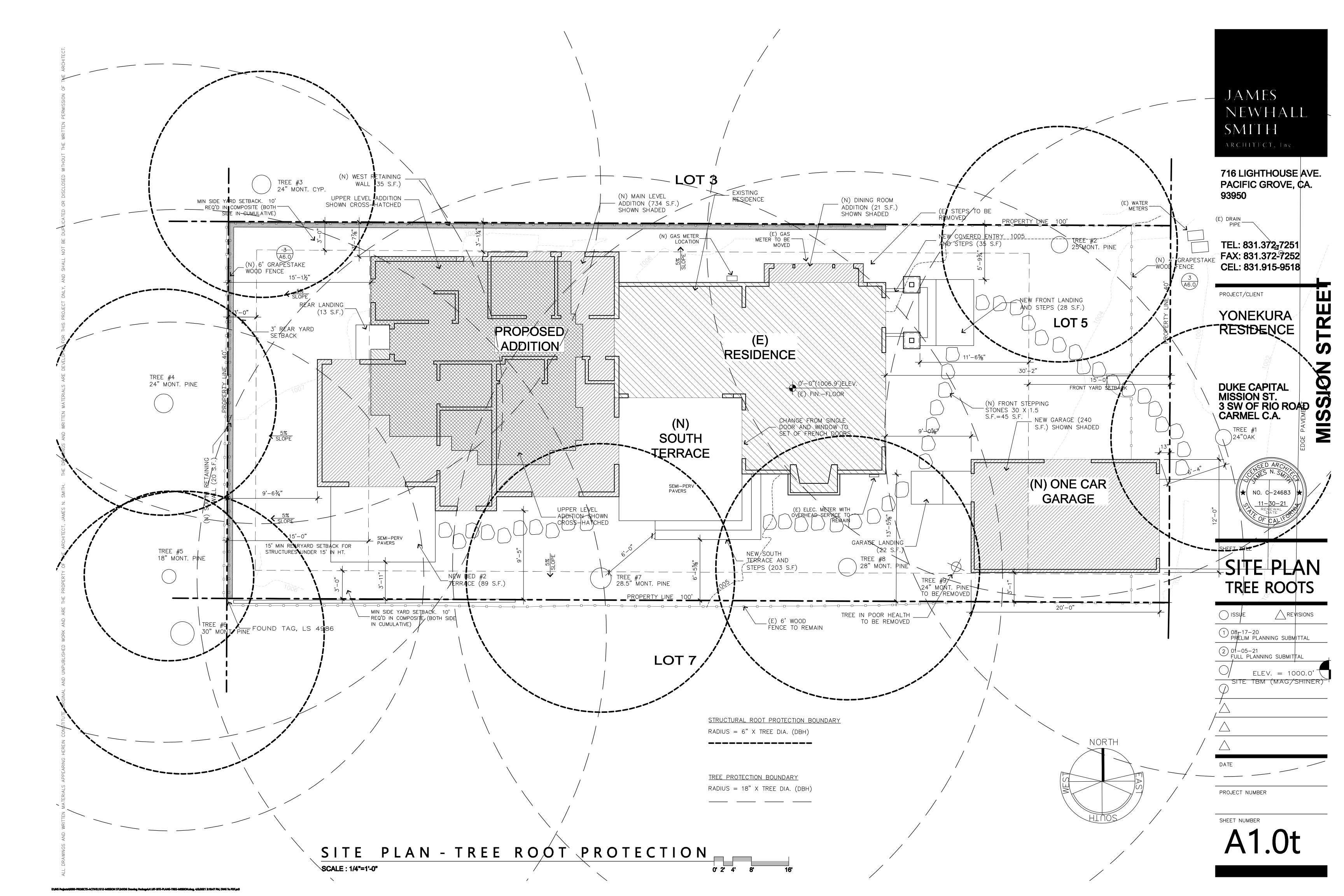
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SURVEYIN(3135 ORNIA 93942 331)375-2545 F





SCALE: 1/4"=1'-0"



MUD POWN

STORAGE

STORAGE

LIVING ROOM

STORAGE

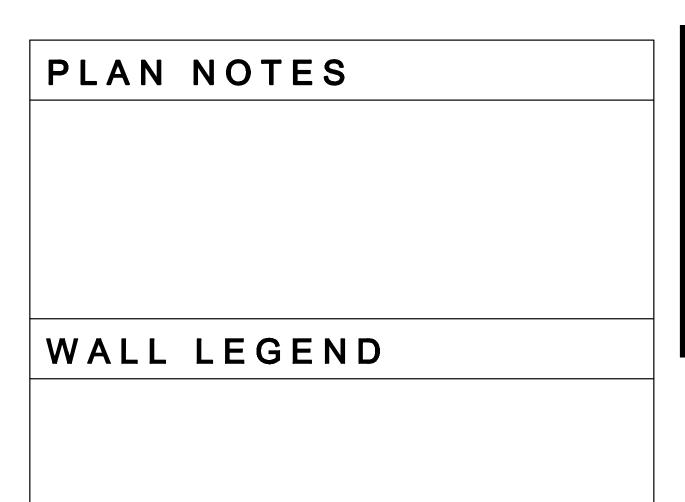
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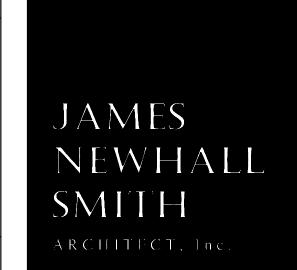
AUTORN

STORAGE

AUTORN

AUTOR





716 LIGHTHOUSE AVE. PACIFIC GROVE, CA. 93950

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PROJECT/CLIENT

YONEKURA RESIDENCE

DUKE CAPITAL MISSION ST. 3 SW OF RIO ROAD CARMEL C.A.



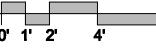
SHEET TITLE

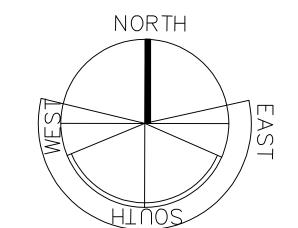
EXISTING PLAN

ISSUE REVISIONS
1) 08-17-20 PRELIM PLANNING SUBMITTAL
2 01-05-21 FULL PLANNING SUBMITTAL
\triangle
DATE

FLOOR PLAN-EXISTING

SCALE : 1/4" = 1'-0"

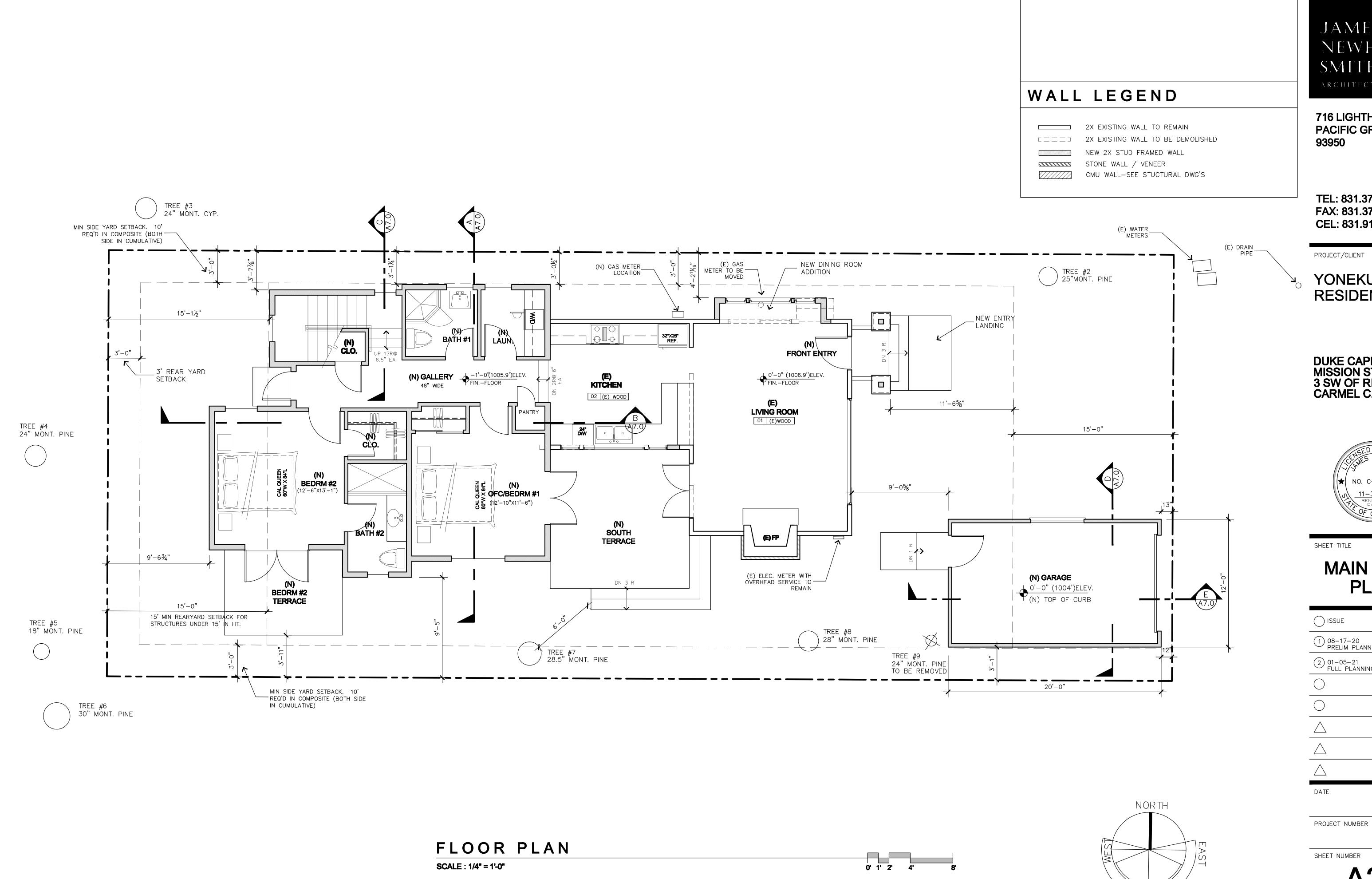




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SHEET NUMBER

PROJECT NUMBER





PLAN NOTES

716 LIGHTHOUSE AVE. PACIFIC GROVE, CA.

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YONEKURA RESIDENCE

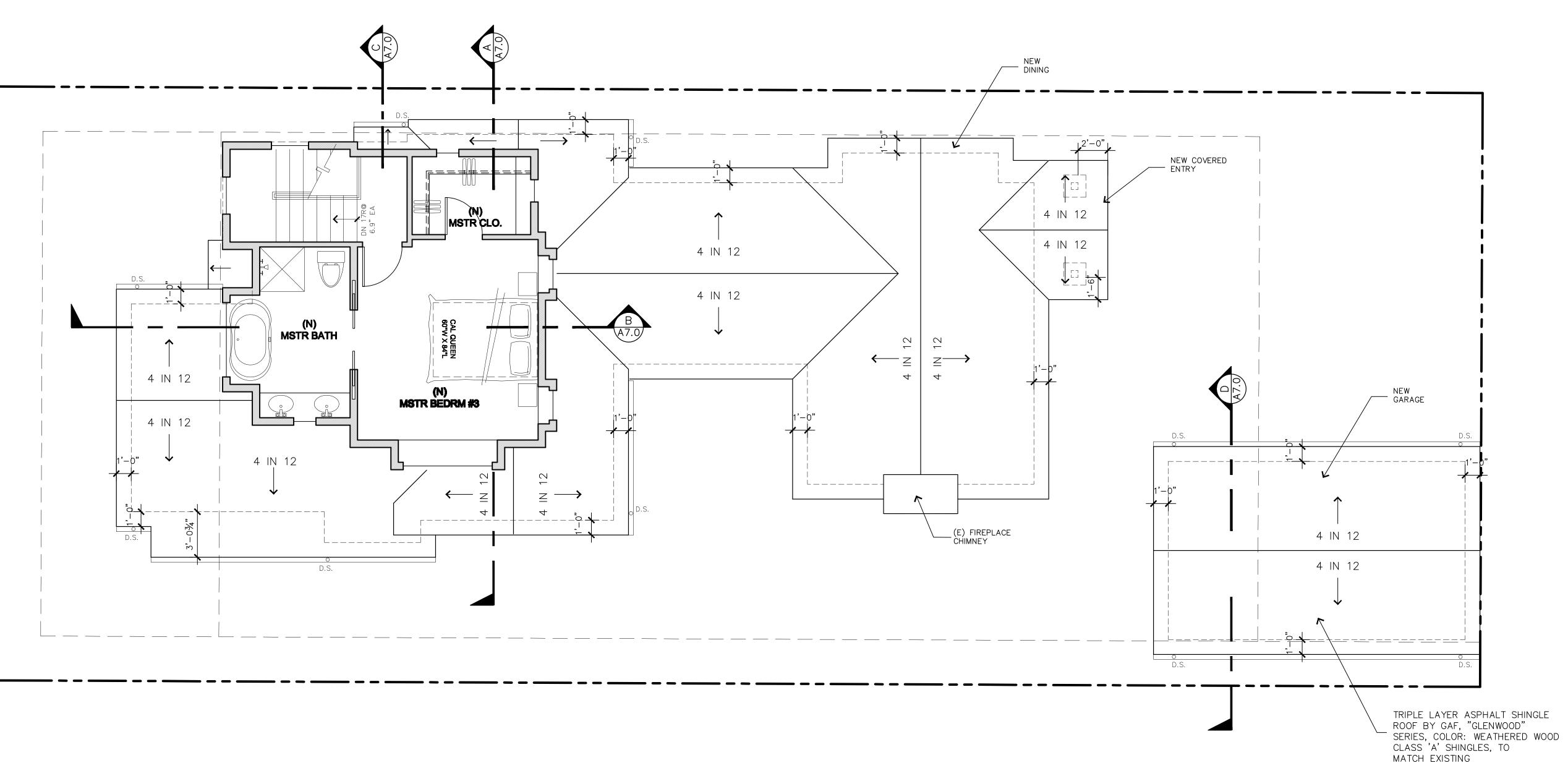
DUKE CAPITAL MISSION ST. 3 SW OF RIO ROAD CARMEL C.A.



MAIN LEVEL **PLAN**

REVISIONS

1) 08-17-20 PRELIM PLANNING SUBMITTAL
2 01-05-21 FULL PLANNING SUBMITTAL
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FLOOR PLAN-UPPER LEVEL

SCALE: 1/4" = 1'-0"

NORTH



716 LIGHTHOUSE AVE. PACIFIC GROVE, CA. 93950

TEL: 831.372-7251 FAX: 831.372-7252 CEL: 831.915-9518

PROJECT/CLIENT

YONEKURA RESIDENCE

DUKE CAPITAL MISSION ST. 3 SW OF RIO ROAD CARMEL C.A.



SHEET TITLE

UPPER LEVEL PLAN

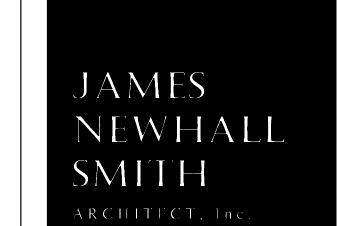
ISSUE	REVISIONS		
1) 08-17-20 PRELIM PLANNI	1 08-17-20 PRELIM PLANNING SUBMITTAL 2 01-05-21 FULL PLANNING SUBMITTAL		
2 01-05-21 FULL PLANNING			
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PROJECT NUMBER

SHEET NUMBER

ROOF PLAN NOTES

- ROOF MATERIAL TO BE TRIPLE LAYER ASPHALT SHINGLE ROOFING BY GAF, "GLENWOOD" SERIES, COLOR: WEATHERED WOOD. CLASS "A" SHINGLES, TO MATCH EXISTING.
- 2. FIELD VERIFY WITH OWNER AND ARCHITECT COLOR AND/OR BLEND OF ROOFING UNITS PRIOR TO INSTALLATION
- 3. ROOF SLOPE = 4 IN 12 UNLESS OTHERWISE NOTED
- 4. OVERHANG = 12" UNLESS OTHERWISE NOTED
- 5. COPPER GUTTERS WITH ROUND DOWNSPOUTS
- 6. GANG ALL VENT STACKS TO MINIMIZE QUANTITY OF ROOF JACKS AND LOCATE ROOF JACKS IN LEAST VISIBLE LOCATION
- 7. SPARK ARRESTOR TO BE 3 TIMES THE NET FREE OPENING OF THE CHIMNEY OUTLET
- CHIMNEY SHALL BE 2' ABOVE THE HIGHEST POINT OF THE ROOF WITHIN 10' MEASURED HORIZONTALLY
- 9. EACH BUNDLE OF ROOFING SHALL BEAR LAVELS FROM AN ICBO ACCREDITED QUALITY CONTROL AGENCY IDENTIFYING THEIR ROOF COVERING CLASSIFICATION AND INDICATING THEIR COMPLIANCE WITH ICC-ES-EG107 AND WITH THE WEATHERING REQUIREMENTS CONTAINED IN HEALTH AND SAFETY CODE SECTION 13132.70 (R902.2 CRC)
- 10. ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2
- 11. PER C.B.C. CHAPTER 7A (ROOF EDGE) AND CHAPTER 15 (ROOF FIELD), LARGE GAPS BETWEEN THE ROOF COVERING AND THE ROOF DECK (SHEATHING) MUST BE PLUGGED TO PREVENT EMBER OR FLAME INTRUSION. EXAMPLE: BIRD—STOPS OR MORTAR FOR BARREL TILE ROOFS AT EAVES.
- 12. ROOF DOWN SPOUTS TO BE COLLECTED IN A TIGHT—LINE AND DISPERSED PER CITY STANDARDS AND CIVIL DWGS



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SHEET TITLE

ROOF PLAN

1 08-17-20
PRELIM PLANNING SUBMITTAL

2 01-05-21
FULL PLANNING SUBMITTAL

REVISIONS

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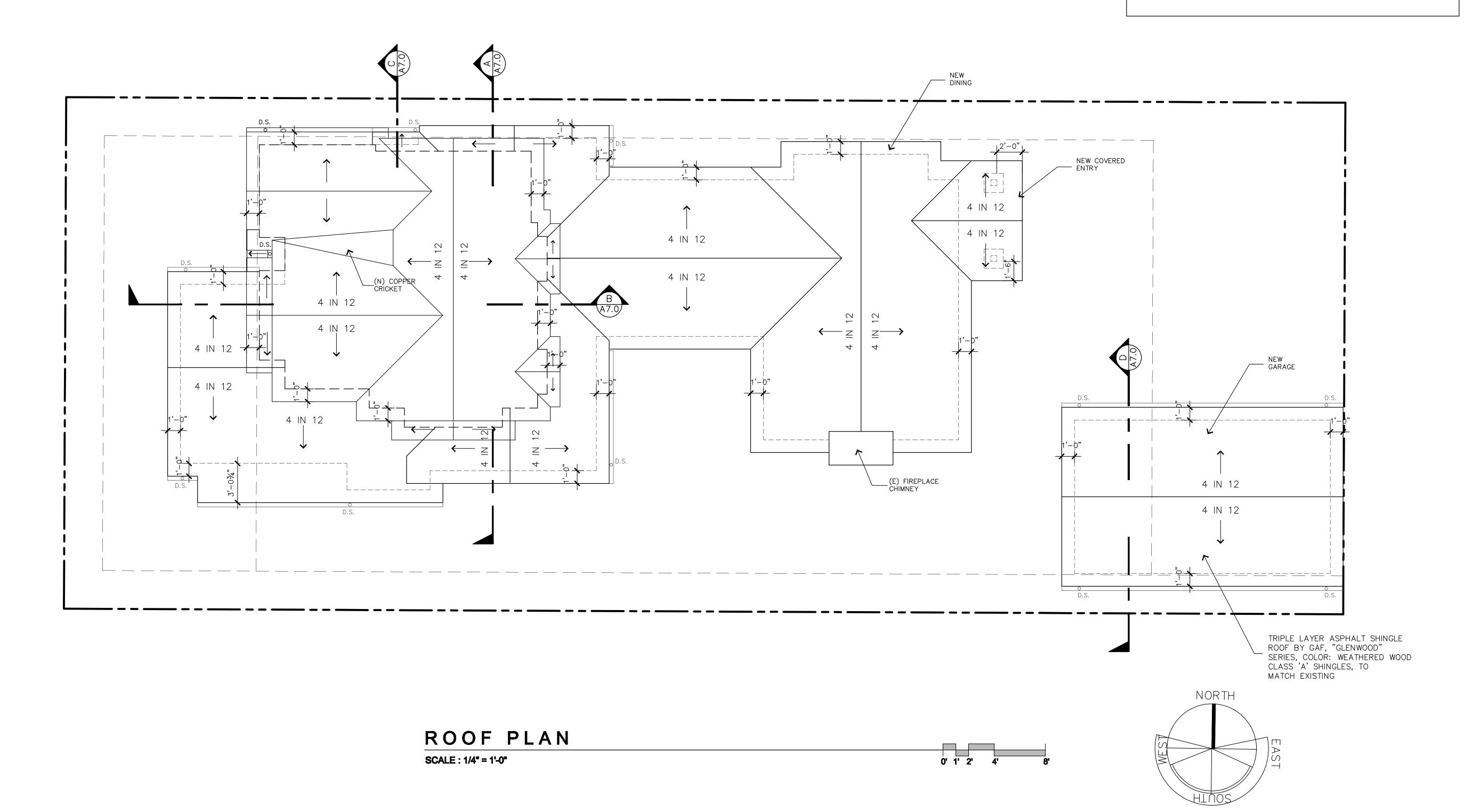
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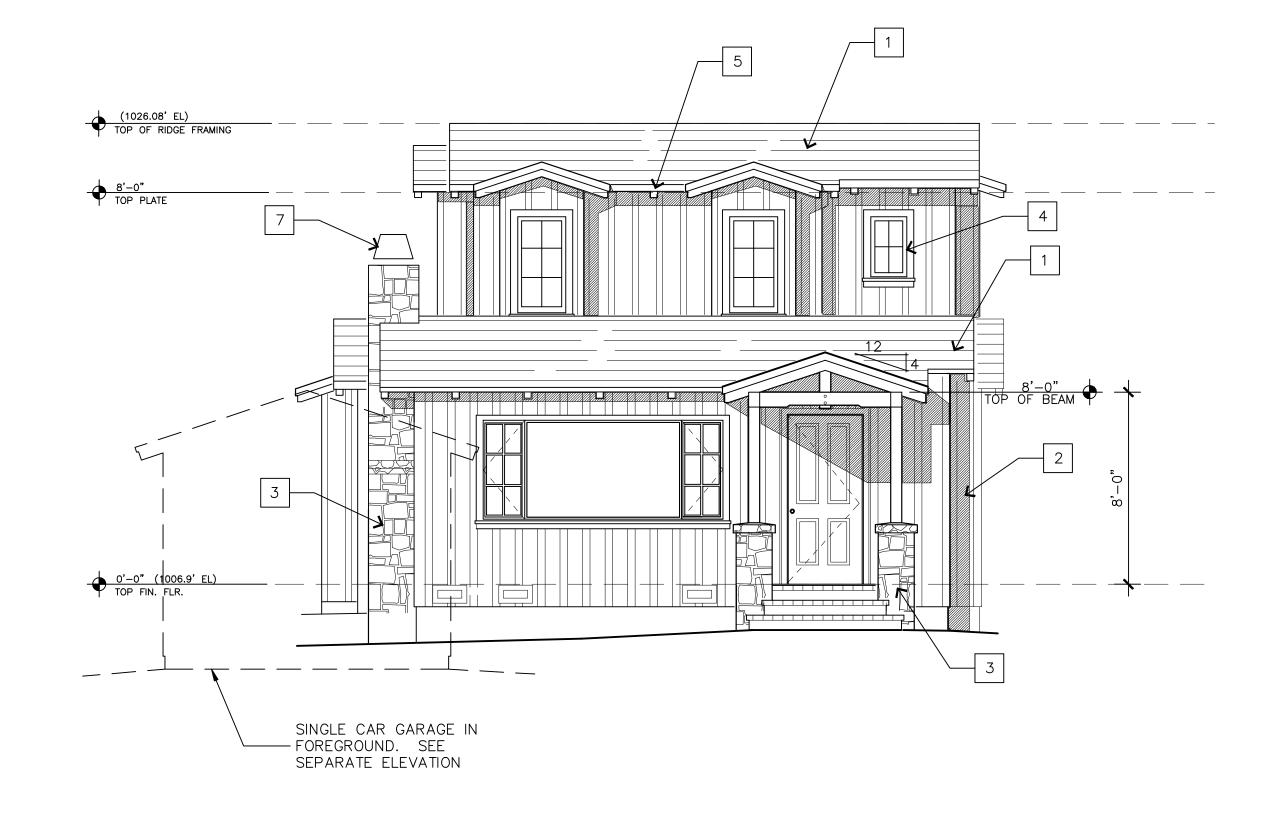
PROJECT NUMBER

SHEET NUMBER

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12 4 8'-6" TOP OF PL 1X4 TRIM 1X10 VERT. CEDAR PLANKS OVER 5 PART SECTIONAL ROLL-UP DOOR 8

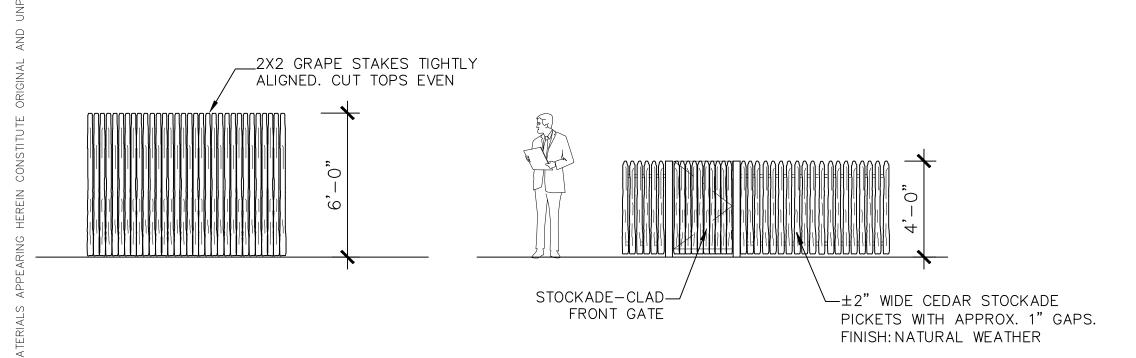


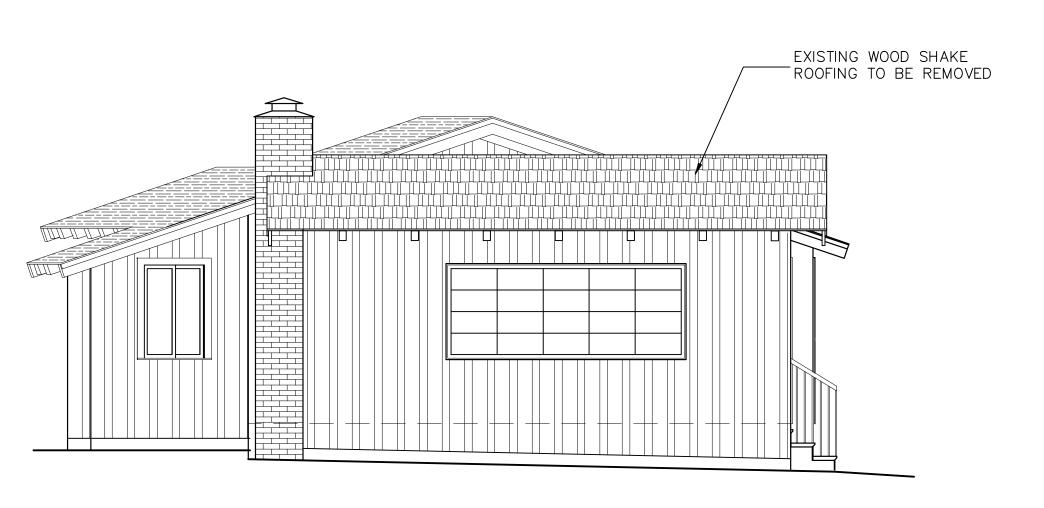
PROPOSED EAST ELEVATION - GARAGE

SCALE : 1/4" = 1'-0"

PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"





FENCE ELEVS

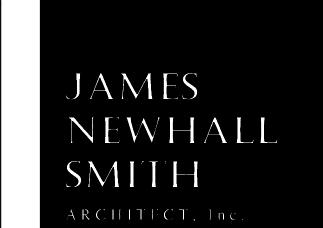
SCALE: 1/4" = 1'-0"

2 EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION MATERIALS LEGEND

- ASPHALT SHINGLE ROOFING BY CERTAINTEED, PRESIDENTIAL TL, CLASS 'A' RATED, COLOR" AUTUMN BLEND" SHINGLES SHALL BE TRIPLE LAYER
- 2 BOARD AND BATTEN SIDING WITH 1X4 BATTENS AT 16" O.C. COLOR: PAINTED OFF-WHITE
- 3 NEW EXTERIOR CARMEL VENEER STONE AT WALL AND CHIMNEY
- 4 WOOD EXTERIOR DOORS AND WINDOWS BY MARVIN. COLOR: DARK GREY
- 5 2X FASCIA BOARD PRE—PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ, COLOR:OFF WHITE
- 6 4X PAINTED CEDAR WOOD RAFTER TAILS. COLOR: OFF-WHITE
- 7 NATURAL UNSEALED HALF—ROUND COPPER GUTTERS, DOWNSPOUTS, EXTERIOR LIGHT HOUSINGS, FLASHING AND CHIMNEY SHROUD
- 8 CEDAR WOOD SECTIONAL GARAGE DOOR WITH T.G. GLASS PANELS, COLOR: CABOT, "ANTIQUE OAK"
- 9 CEDAR STOCKADE FENCING, SEALED NATURAL
- 10 CMU RETAINING WALL WITH PLASTER FINISH AT EXPOSED FACES



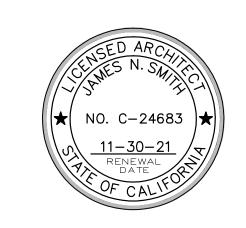
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PROJECT/CLIENT

YONEKURA RESIDENCE

DUKE CAPITAL MISSION ST. 3 SW OF RIO ROAD CARMEL C.A.



SHEET TITLE

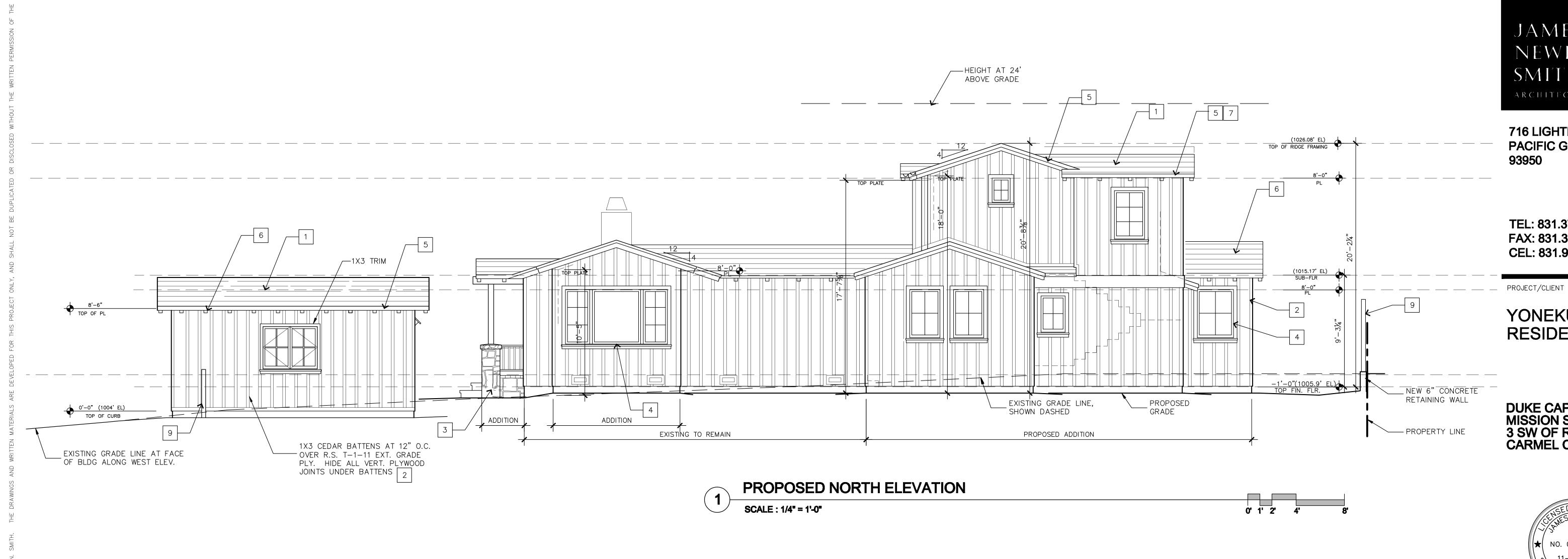
EXTERIOR ELEVATIONS

PROJECT NUMBER

DATE

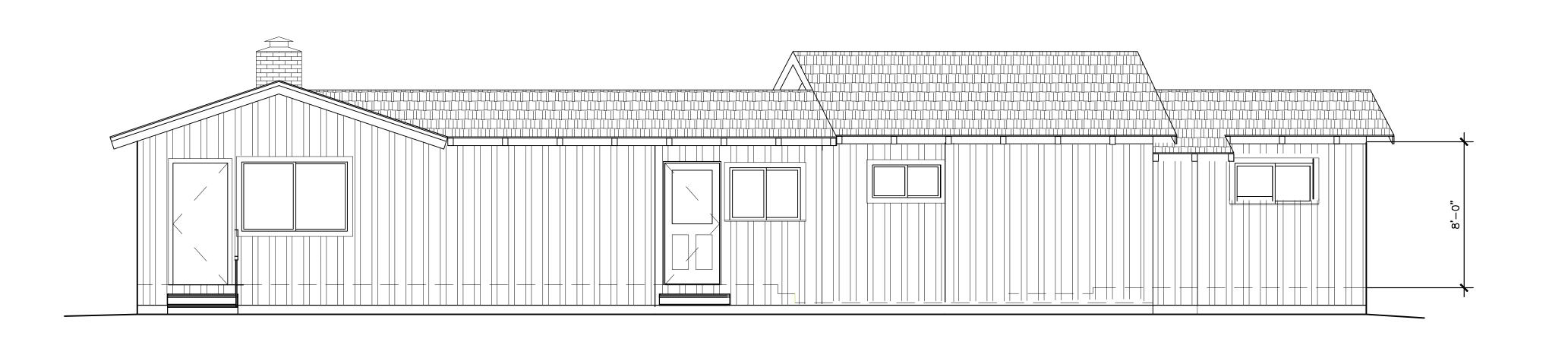
SHEET NUMBER

A6.0

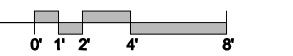


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EXISTING NORTH ELEVATION SCALE: 1/4" = 1'-0"





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YONEKURA RESIDENCE

DUKE CAPITAL MISSION ST. 3 SW OF RIO ROAD CARMEL C.A.



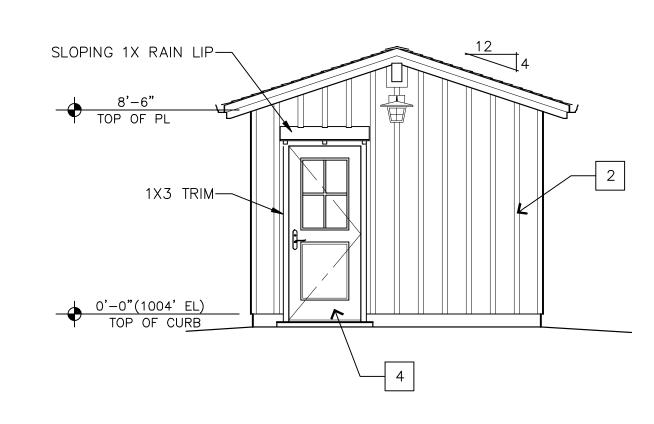
SHEET TITLE

EXTERIOR ELEVATIONS

ISSUE REVISIONS
1) 08-17-20 PRELIM PLANNING SUBMITTAL
2 01-05-21 FULL PLANNING SUBMITTAL
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DATE
PROJECT NUMBER
SHEET NUMBER

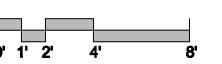
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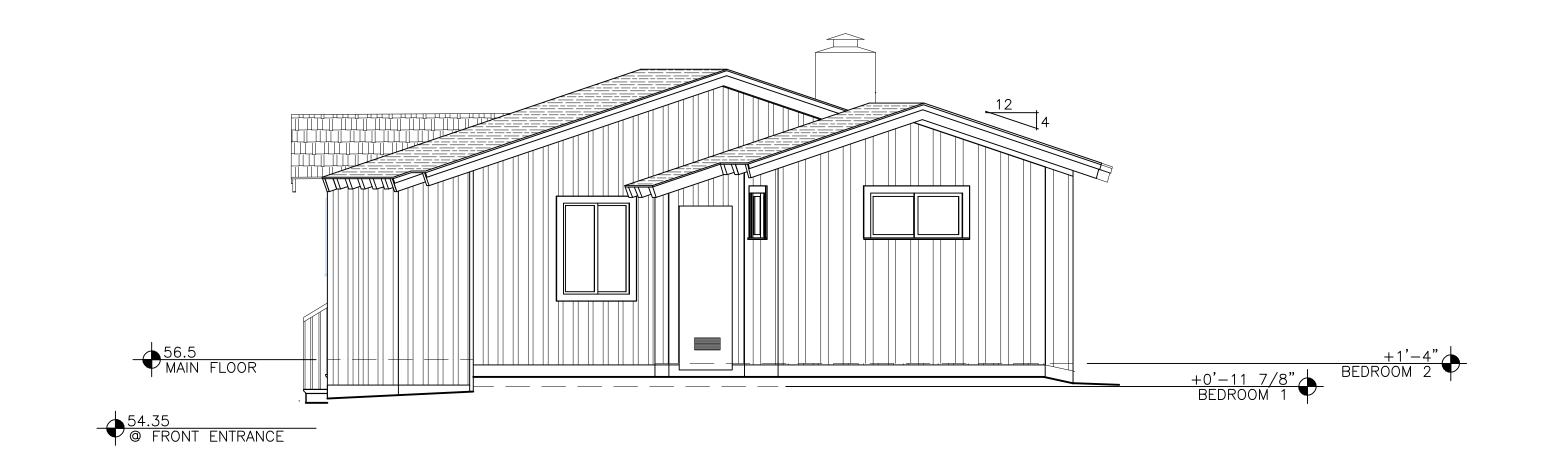
PROPOSED WEST ELEVATION

SCALE : 1/4" = 1'-0"



PROPOSED WEST ELEVATION - GARAGE

SCALF · 1/4" = 1'-0"



2 EXISTING WEST ELEVATION

SCALE : 1/4" = 1'-0"





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SHEET TITLE

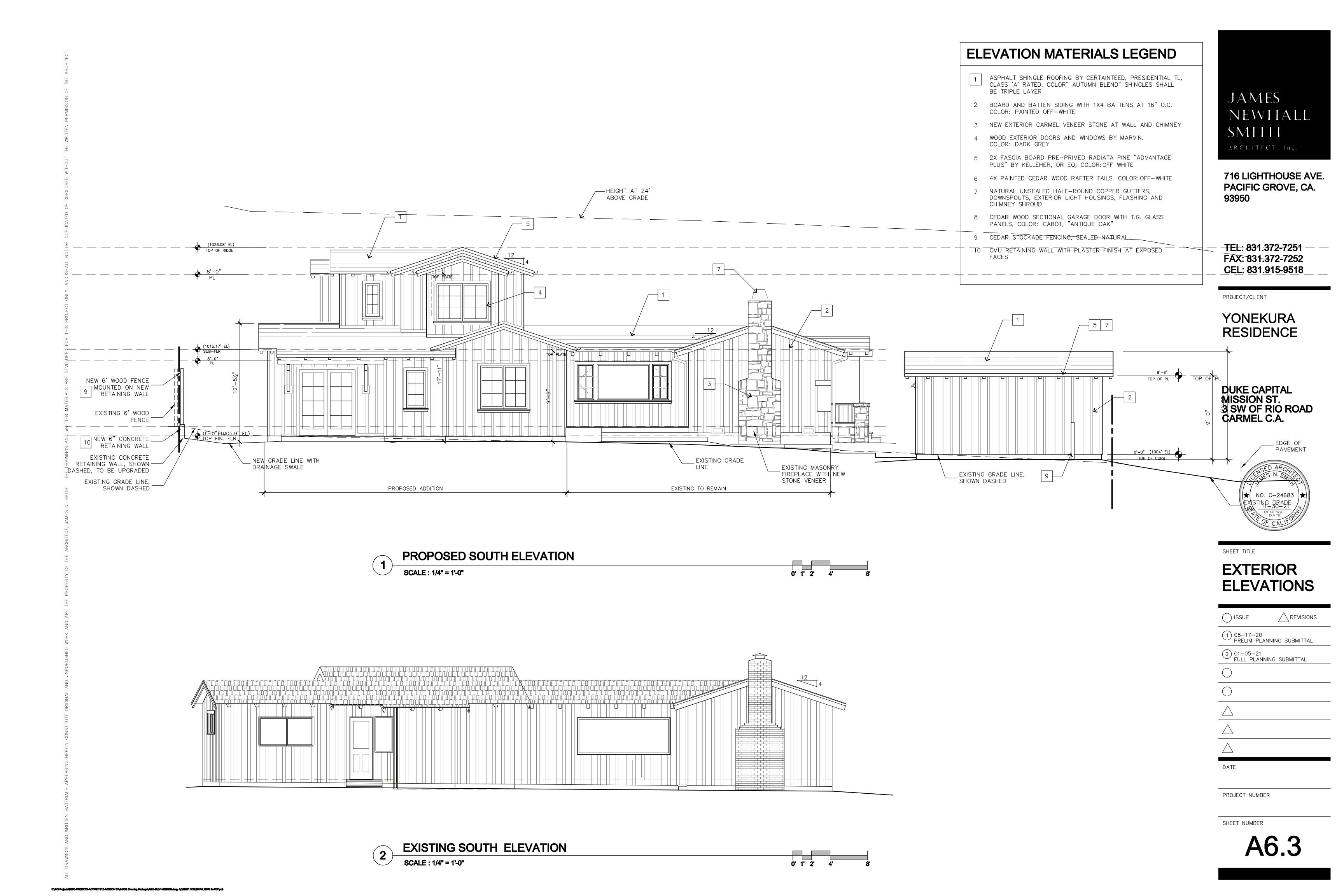
EXTERIOR ELEVATIONS

ISSUE REVISIONS
1) 08-17-20 PRELIM PLANNING SUBMITTAL
2 01-05-21 FULL PLANNING SUBMITTAL
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DATE

PROJECT NUMBER

SHEET NUMBER

A6.2





EXISTING STREET ELEVATION

SCALE : 3/16" = 1'-0"

ISSUE	REVISIONS	
1) 08-17-20 PRELIM_PLANNING SUBMITTAL		
2 01-05-21 FULL PLANNING SUBMITTAL		
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