



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 21001

Owner Name: KUCHER WILLIAM M TRS

Case Planner: Catherine Tarone, Assistant Planner

Date Posted: _____

Date Approved: 03/31/2021

Project Location: Perry Newberry, 2 SE of 4th Avenue

APN #: 009161016000 **BLOCK/LOT:** 2B/ALL LOT 5

Applicant: George Ash

Project Description: 1) Replace two wood divided light windows with one larger window at the kitchen on the front west elevation. Replace the existing divided light oriel window at the living room with a new divided light oriel window on the front west elevation. The removal of the north side kitchen window. All new windows will be Sierra Pacific, dual pane, simulated divided light, aluminum-clad wood windows, in the linen color, closely matching the new trim color. 2) Relocate and re-configure the north side stairs to open to the west. Material will be wood. 3) Shift the existing chimney on the south elevation 18 inches to center it in the middle of the gable. 4) Install three 2' x 3' skylights consisting of two on the east roof slope over the living room and one 2' x 3' skylight at the rear of the residence over the master bathroom. 5) Re-locate and install a new Dutch side door and new wood front door. 6) The replacement of existing light fixtures with new shielded, down-facing, 250-lumen light fixtures. 7) Replace sections of the residence's horizontal wood siding with new siding. 8) Paint the residence's trim white and paint the new siding to match the existing siding color.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

AUTHORIZATION:

This approval permits the following: 1) Replace two wood divided light windows with one larger window at the kitchen on the front west elevation. Replace the existing divided light oriel window at the living room with a new divided light oriel window on the front west elevation. The removal of the north side kitchen window. All new windows will be Sierra Pacific, dual pane, simulated divided light, aluminum-clad wood windows, in the linen color, closely matching the new trim color. 2) Relocate and re-configure the north side stairs to open to the west. Material will be wood. 3) Shift the existing chimney on the south elevation 18 inches to center it in the middle of the gable. 4) Install three 2' x 3' skylights consisting of two on the east roof slope over the living room and one 2' x 3' skylight at the rear of the residence over the master bathroom. 5) Re-locate and install a new Dutch side door and new wood front door. 6) The replacement of existing light fixtures with new shielded, down-facing, 250-lumen light fixtures. 7) Replace sections of the residence's horizontal wood siding with new siding. 8) Paint the residence's trim white and paint the new siding to match the existing siding color.

All work shall be consistent with the plan set dated received on March 9, 2021 on file with the city.

SPECIAL CONDITIONS:

1. After the conclusion of the 10-day appeal period for the Design Study application, the applicant shall submit a Building Permit application for the proposed scope of work.
2. Exterior lighting shall be limited to 375 lumens per fixture and shall be no higher than 10 feet above the ground. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.
3. All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color. Skylight shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness. The manufacturer's specifications for the skylights and skylight shades shall be included in the construction drawings submitted with the building permit application.
4. During construction, no dirt or construction materials may be placed within 6 feet of the base of any tree.

5. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.
6. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.
7. The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.
8. The applicant agrees, at the applicant's sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

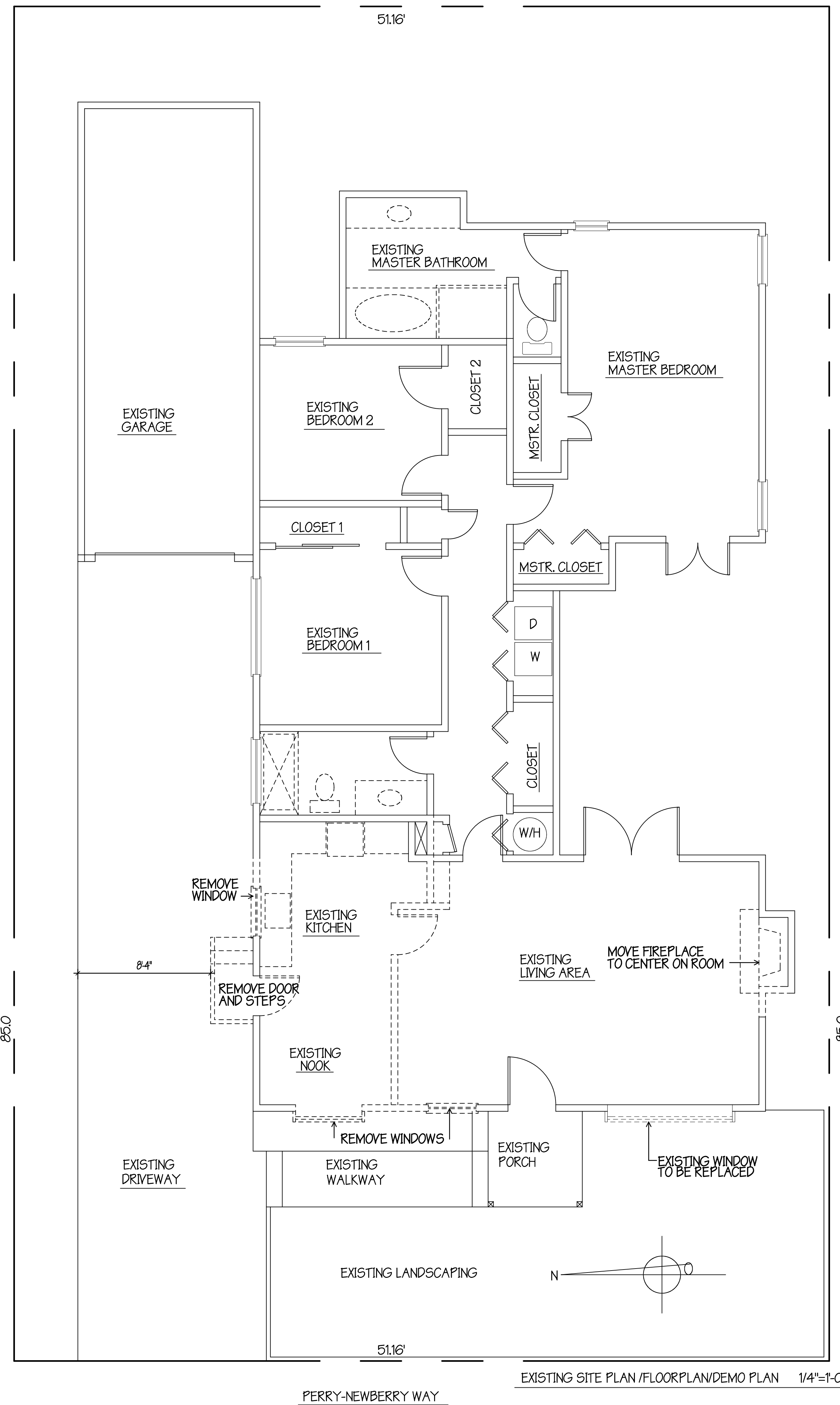
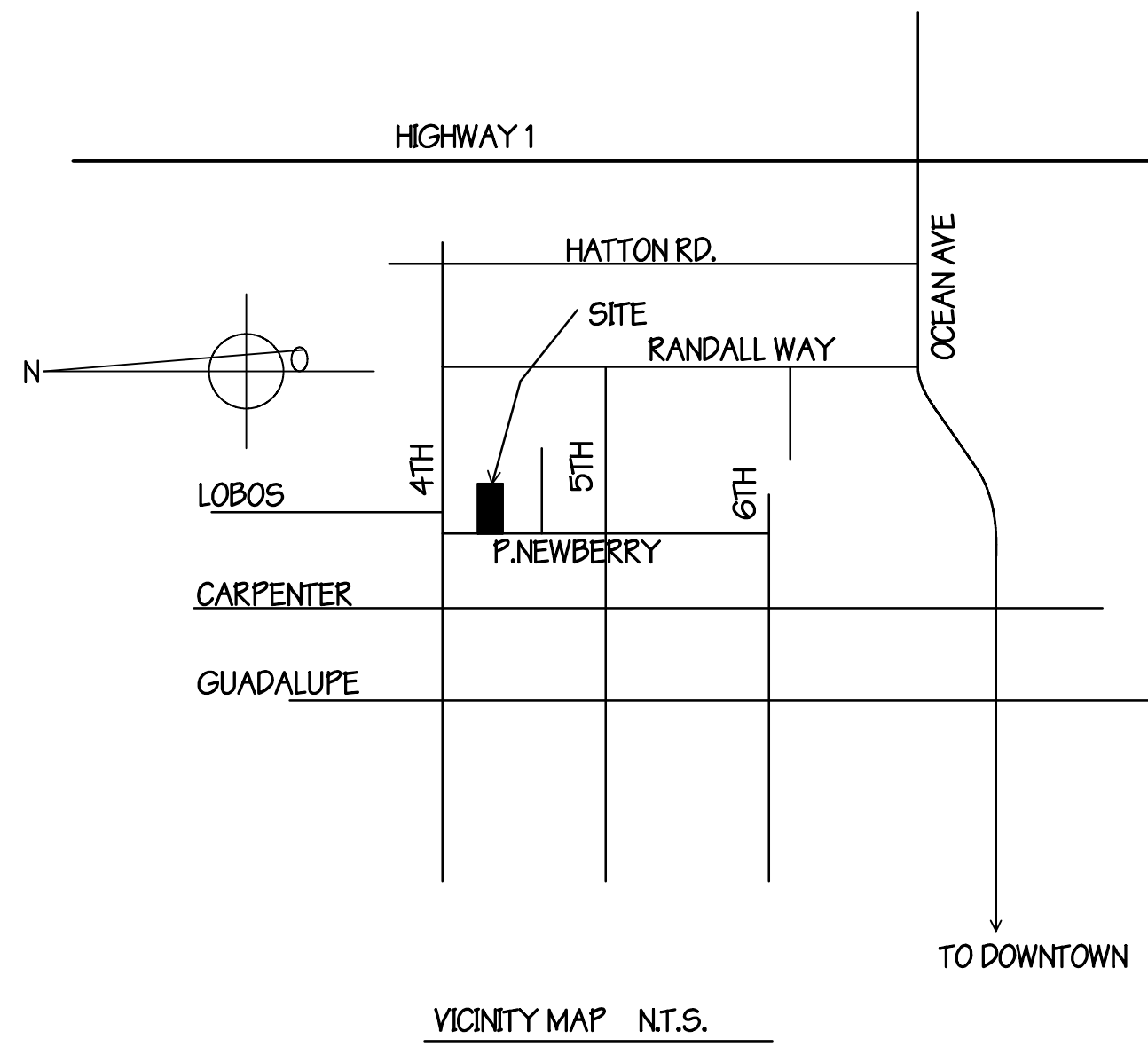
*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Once signed, please return the original to the project Planner at the Community Planning and Building Department.



EXISTING SITE PLAN / FLOORPLAN / DEMO PLAN 1/4"=1'-0"

KUCHER RESIDENCE

PERRY NEWBERRY WAY 2SE OF 4TH AVE. APN 009-161-016-000

STATISTICS:

SCOPE OF WORK

REMODEL EXISTING RESIDENCE KITCHEN AND BATHROOMS. REMOVE AND REPLACE EXISTING LIVING ROOM WINDOW. REMOVE EXISTING BREAKFAST NOOK AND DINING AREA WINDOWS. REMOVE SIDE DOOR, STEPS AND KITCHEN WINDOW AND REPLACE WITH NEW WINDOW AND RELOCATE DOOR.

MOVE FIREPLACE APPROXIMATELY 18" TO CENTER ON ROOM
ADD TWO SKYLIGHTS IN LIVING ROOM ON BACK SIDE OF ROOF TO BE NOT VISIBLE AND ONE SKYLIGHT IN THE MASTER BATH NOT VISIBLE.

NO CHANGE TO BUILDING FOOTPRINT OR F.A.R.

OWNER:

WILLIAM KUCHER
P.O. BOX 2641
CARMEL, CA 93921

AP#

009-161-016-000

ZONE:

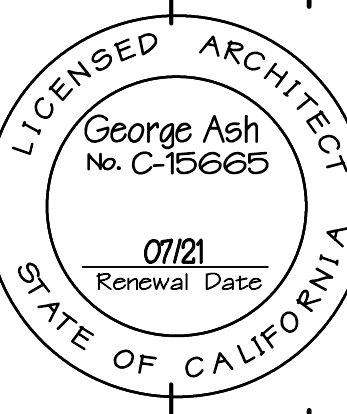
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LOCATION:

P. NEWBERRY WAY, 2 SE OF 4TH AVE.
BLOCK 2B - LOT 5

1/4/21	date
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Project: 20060 KUCHER RESIDENCE REMODEL
KUCHER RESIDENCE
PERRY-NEWBERRY WAY
2 SE OF 4TH AVE.
Drawn By: GAA

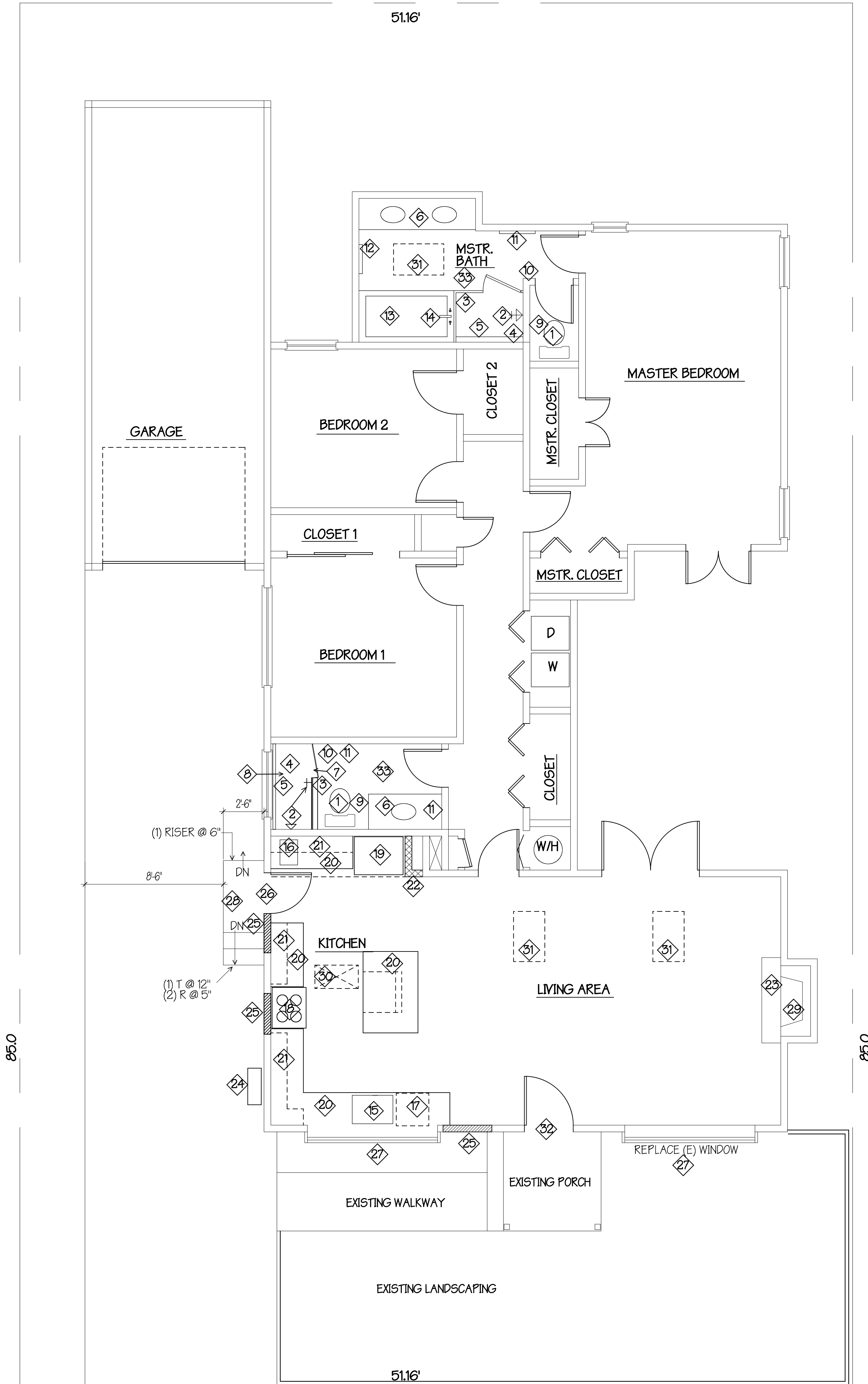


GEORGE ASH
architect
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Sheet
COVER
COVER SHEET

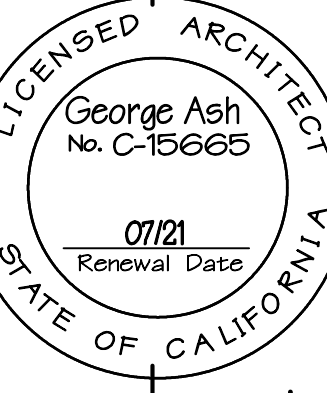
SHEET NOTES:

- 1 TOILET: 128 GPF MAX. T.B.C.
- 2 SHOWER VALVE: PRESSURE/TEMPERATURE BALANCE VALVE REQ'D.
- 3 TEMPERED GLASS SHOWER ENCLOSURE TO BE CHOSEN.
- 4 SHOWER WALLS SHALL BE TILED TO 7" MIN.
- 5 LINEAR SHOWER DRAIN
- 6 LAVS AND CABINETS.
- 7 CURBLESS SHOWER - SLOPE BACK TO DRAIN
- 8 REMOVE SUB-FLOOR AT SHOWER AND RE-INSTALL FLUSH WITH TOP OF FLOOR JOISTS TO FACILITATE THE CURBLESS SHOWER
- 9 TOILET PAPER HOLDER
- 10 ROBE HOOK LOCATION
- 11 TOWEL BAR LOCATION
- 12 ELECTRIC TOWEL WARMER
- 13 NEW UNDER MOUNT TUB TO BE CHOSEN
- 14 NEW TUB FILLER
- 15 KITCHEN SINK AND FAUCET
- 16 VEGETABLE SINK AND FAUCET
- 17 DISHWASHER
- 18 GAS RANGE WITH HOOD VENTED TO EXTERIOR OF BUILDING.
- 19 REFRIGERATOR/FREEZER
- 20 COUNTERTOP @ 36" A.F.F.
- 21 UPPER CABINETS
- 22 NEW 2X4 STUD WALL - FINISH TO MATCH EXISTING
- 23 FLAT PANEL T.V. LOCATION
- 24 EXISTING MAIN ELECTRIC SERVICE
- 25 FILL EXISTING OPENING AS REQUIRED TO MATCH
- 26 NEW PAINTED WOOD DUTCH DOOR WITH ONE LITE ON TOP
- 27 NEW WOOD WINDOW 8'-0" WIDE BY 3'-6" TALL
- 28 NEW CONCRETE LANDING AND STEPS
- 29 PRE FAB GAS FIREPLACE: FLARE MODEL FF-50 ANSI # Z21.88
INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. PROVIDE ON SITE A MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR FACTORY-BUILT CHIMNEYS AND FIREPLACES FOR FIELD INSPECTION.
- 30 EXISTING SKYLIGHT
- 31 NEW 2'-0" X 3'-0" SKYLIGHT WITH ANOD. BRZ. ALUM. FRAME GLAZING SHALL BE LAMINATED TO MEET CODE SAFETY STANDARDS FOR SKYLIGHTS. FIELD VERIFY LOCATION BETWEEN EXISTING ROOF BEAMS
- 32 NEW PAINTED WOOD FRONT DOOR
- 33 UNDER TILE ELECTRIC HEAT SCHLUTER-DITRA-HEAT DUO MEMBRANE WITH INTEGRATED THERMAL BREAK, UNCOUPLING AND WATERPROOFING. SEE CUT SHEETS OR APPROVED EQUAL. FIELD VERIFY LAYOUT



Revisions	date

Project: 20.060 KUCHER RESIDENCE REMODEL
KUCHER RESIDENCE
 PERRY-NEWBERRY STREET
 ???
 Drawn By: GAA



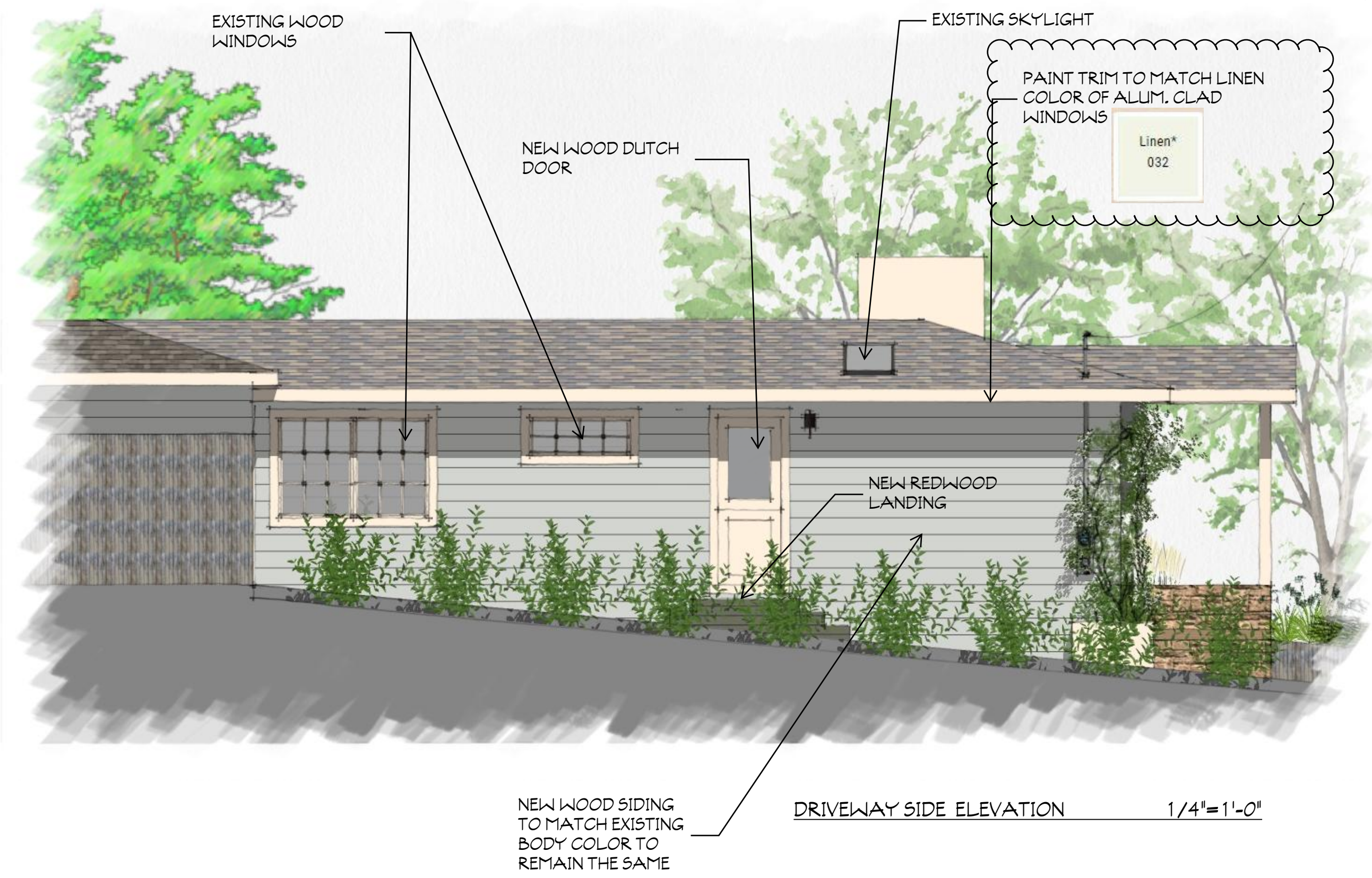
GEORGE ASH
 architect
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Sheet
A-1
 FLOOR PLAN



"All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color. Skylight shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness. The manufacturer's specifications for the skylights and skylight shades shall be included in the construction drawings submitted with the building permit application."
 Flashing shall be painted to match the roof color

REMOVE WINDOW
 EXISTING WINDOWS
 MOVE AND REPLACE DOOR
 REMOVE STEPS AND RAILING



revisions	date

Project: 20060 KUCHER RESIDENCE REMODEL
KUCHER RESIDENCE
 PERRY-NEWBERRY STREET
 Drawn By: GAA



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