



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 20399

Owner Name: COX C LEE TR

Case Planner: Evan Kort, Associate Planner

Date Posted: _____

Date Approved: 01/20/2021

Project Location: Guadalupe 2 NE of 7th

APN #: 010041010000 **BLOCK/LOT:** 83/ALL LOT 10

Applicant: Alan Lehman

Project Description: This approval authorizes a 122 square foot addition to an existing 300 square foot deck at the rear of an existing residence. The deck will be finished with composite material and have a wood and metal guardrail. The project shall be consistent with the plans prepared by Alan Lehman dated received by the Community Planning and Building Department on December 29, 2020 unless modified by the Conditions of Approval herein.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

AUTHORIZATION:

1. This approval authorizes a 122 square foot addition to an existing 300 square foot deck at the rear of an existing residence. The deck will be finished with composite material and have a wood and metal guardrail. The project shall be consistent with the plans prepared by Alan Lehman dated received by the Community Planning and Building Department on December 29, 2020 unless modified by the Conditions of Approval herein.

CONDITIONS OF APPROVAL:

2. The applicant shall apply for and obtain a building permit prior to commencing work.
3. These conditions of approval shall be printed in the building plan set.
4. Any proposed exterior light fixtures shall be included in the building plan set (location and manufactures specifications). Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape/pathway lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application. No more than one light fixture shall be located at any single building entrance.
5. You are required to install tree protection, which will need to be reviewed and certified by the City Forester, prior to the issuance of the Building Permit. The manufactures specifications shall be printed in the building plan set.
6. During construction, no dirt or construction materials may be placed within 6 feet of the base of any tree.
7. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration.
8. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may be reached at (831) 620-2073.

9. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information).

10. The applicant agrees, at the applicant's sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature	Printed Name	Date
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Once signed, please return the original to the project Planner at the Community Planning and Building Department.

GENERAL NOTES

1.DO NOT SCALE DRAWINGS.

2.CONTRACT DOCUMENTS WHICH DESCRIBE EXISTING CONSTRUCTION HAVE BEEN BASED ON FIELD INSPECTION, BUT ARE NOT BASED ON EXTENSIVE FIELD MEASUREMENTS, OPENING OF CONCEALED CONDITIONS OR EXCAVATION OF BURIED ITEMS. NO RELIABLE CONSTRUCTION DOCUMENTS FOR THE EXISTING STRUCTURE WERE AVAILABLE. THESE DRAWINGS ARE INTENDED AS A GUIDE TO THE CONTRACTOR WHO SHALL VERIFY DIMENSIONS BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE DESIGNER BEFORE PROCEEDING WITH WORK REGARDING CHANGES, DISCREPANCIES OR ALTERATIONS THAT ARE INCONSISTENT WITH THESE DRAWINGS. NOTIFY THE DESIGNER IMMEDIATELY OF PRE-EXISTING CONDITIONS WHICH PROHIBIT EXECUTION OF WORK AS DESCRIBED HEREIN.

3..NEW CONSTRUCTION TO MATCH EXISTING DETAILS AND FINISHES. WHERE NEW CONSTRUCTION MEETS EXISTING CONSTRUCTION, PATCH AND MATCH SURFACES AND FINISHES TO ALIGN CONSISTENTLY SO NO VISUAL EVIDENCE OF CORRECTED WORK REMAINS UPON COMPLETION.

4.FLOOR ELEVATIONS = TOP OF PLYWOOD SUB-FLOOR OR TOP OF SLAB.

5.ALL WALLS DIMENSIONED TO FACE OF STUD (UNLESS OTHERWISE NOTED).

REVISION NOTES

CAL GREEN NOTES

A. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED. NOTE THIS REQUIREMENT ON THE PLANS.

B. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHERBASED (4.304.1).

C. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1)

D. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1)

E. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1)

F. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2)

CODE COMPLIANCE NOTES

1. THIS PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA FIRE CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ENERGY CODE, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE AND ANY OTHER APPLICABLE CODES.

2. A STATE LICENSED SURVEYOR SHALL CERTIFY IN WRITING THAT THE FOOTINGS/FOUNDATION ARE LOCATED IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE FOOTING/FOUNDATION INSPECTION; AND SHALL CERTIFY THE ROOF HEIGHT IS IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE ROOF SHEATHING INSPECTION. CERTIFICATION SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF THE REFERENCED INSPECTIONS.

3. CONTRACTOR SHALL OBTAIN AN 8-1-1/DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND SHALL MAINTAIN THE TICKET IN ACTIVE STATUS THROUGHOUT THE PROJECT. TICKET SHALL BE KEPT ON SITE FOR INSPECTOR REFERENCE.

4. TO MINIMIZE OFF-SITE VIBRATION AND DAMAGE TO NEARBY PROPERTIES, CONTRACTOR SHALL UTILIZE THE SMALLEST FEASIBLE COMPACTION EQUIPMENT CAPABLE OF ACHIEVING THE DESIRED COMPACTION LEVEL. CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL OFF-SITE DAMAGE AND SHALL REPAIR ANY DAMAGE IN A TIMELY MANNER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE PROJECT.

5. STRUCTURAL WELDING FOR GUARDRAILS OR ANY OTHER WELDED STEEL STRUCTURAL ELEMENTS SHALL BE DONE IN A LISTED APPROVED SHOP OR IF WELDED IN THE FIELD, UNDER SPECIAL INSPECTION.

CONTACT INFORMATION

OWNER - Lee Cox 831.596.7771
DESIGNER - Alan Lehman 831.747.4718

PROJECT INFORMATION

OWNER	Lee Cox
SITE ADDRESS	Guadalupe 2NE of 7th, Carmel CA 93921
A P N	APN 010-041-010
LEGAL	Carmel By The Sea Add 5 A TR of Land 50x100 ft. Fronting 50 ft. on Guadalupe Ave. x lying 300 ft. S from Ocean Ave x being a POR of BLK 83
LOT/TRACT	LOT- BLOCK 83
YEAR BUILT	1975
ZONING	R-1
CONST. TYPE	V-B
OCCUPANCY	R-3
FIRE SPRINKLERS	YES
HISTORIC	NO

LOT SIZE	5000 S.F.
EXISTING RESIDENCE	1831 S.F.
EXISTING GARAGE	200 S.F.
EXISTING TOTAL FLOOR AREA	2031 S.F
FLOOR AREA RATIO	40.6%
EXISTING SITE COVERAGE	
PAVER DRIVEWAY	141 S.F.
ENTRY WALK	82 S.F.
DECKS AND LANDINGS	300 S.F.
EXISTING TOTAL SITE COVERAGE	523S.F
PROPOSED SITE COVERAGE	
EXPAND REAR DECK	122 S.F.
PROPOSED TOTAL SITE COVERAGE	645 S.F

MAX COVERAGE 673 S.F. WITH BONUS FOR SEMI PERMEABLE COVERAGE



VICINITY MAP

NO SCALE

SCOPE OF WORK

ADDITION TO EXISTING WOOD DECK. NEW COMPOSITE DECKING. WOOD AND METAL GUARDRAIL

DRAWING INDEX

A1	PROJECT INFORMATION
A2	EXIST. SITE PLAN, PROPOSED SITE PLAN, FRAMING PLAN
A3	DETAILS
A4	B.M.P.'S, CONSTRUCTION MANAGEMENT PLAN
A5	B.M.P.'S

Received

December 28, 2020

Community Planning
& Building

REVISIONS

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26453 mission fields road
carmel CA 93923
info @
lehmandesignstudio.com

LEHMAN
DESIGN
STUDIO

DRAWN BY
ALAN LEHMAN

PROJECT INFORMATION

Lee Cox Residential Remodel

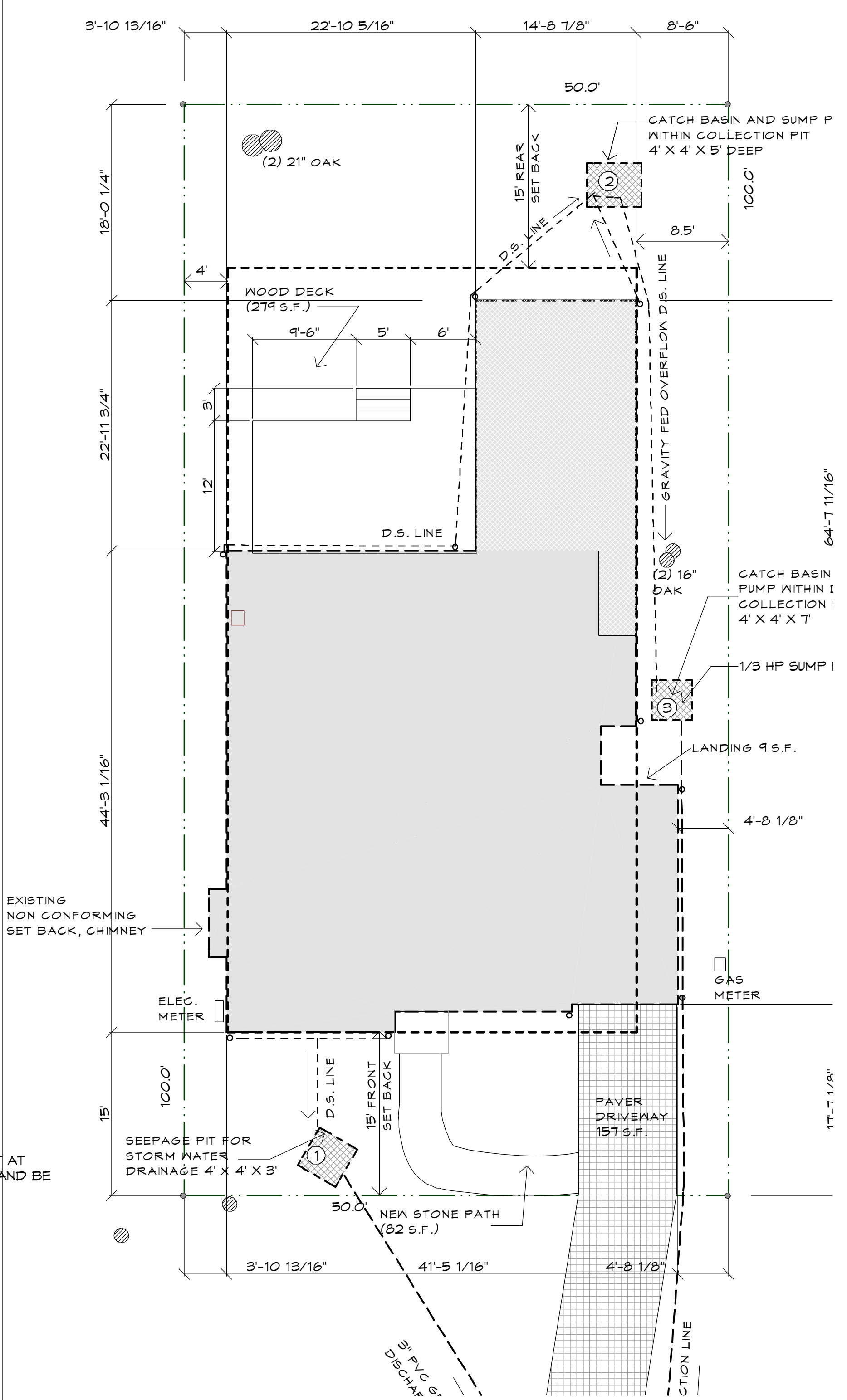
Guadalupe 2NE of 7th, Carmel CA 93921
APN 010-041-010

12/23/20

SHEET

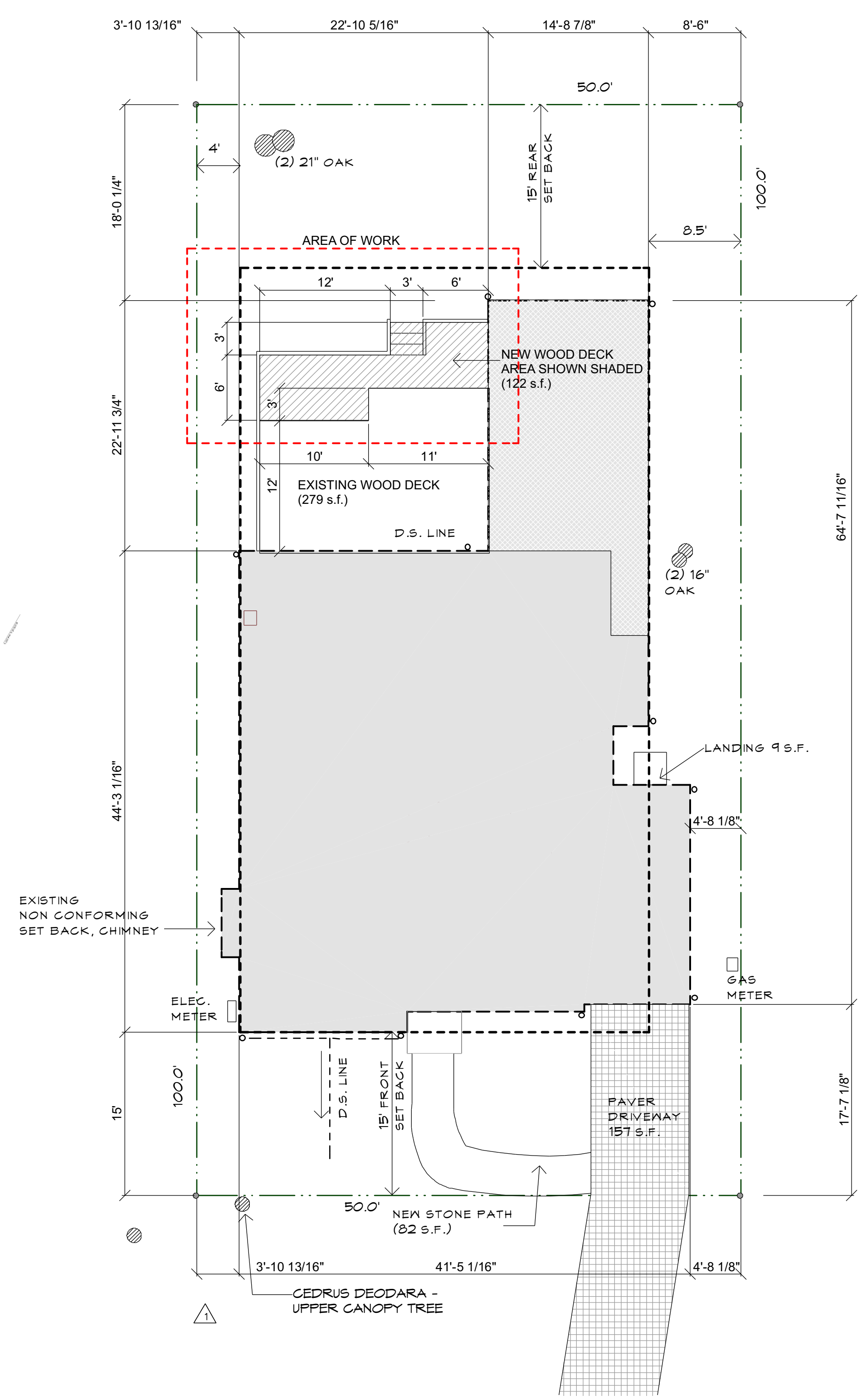
A1

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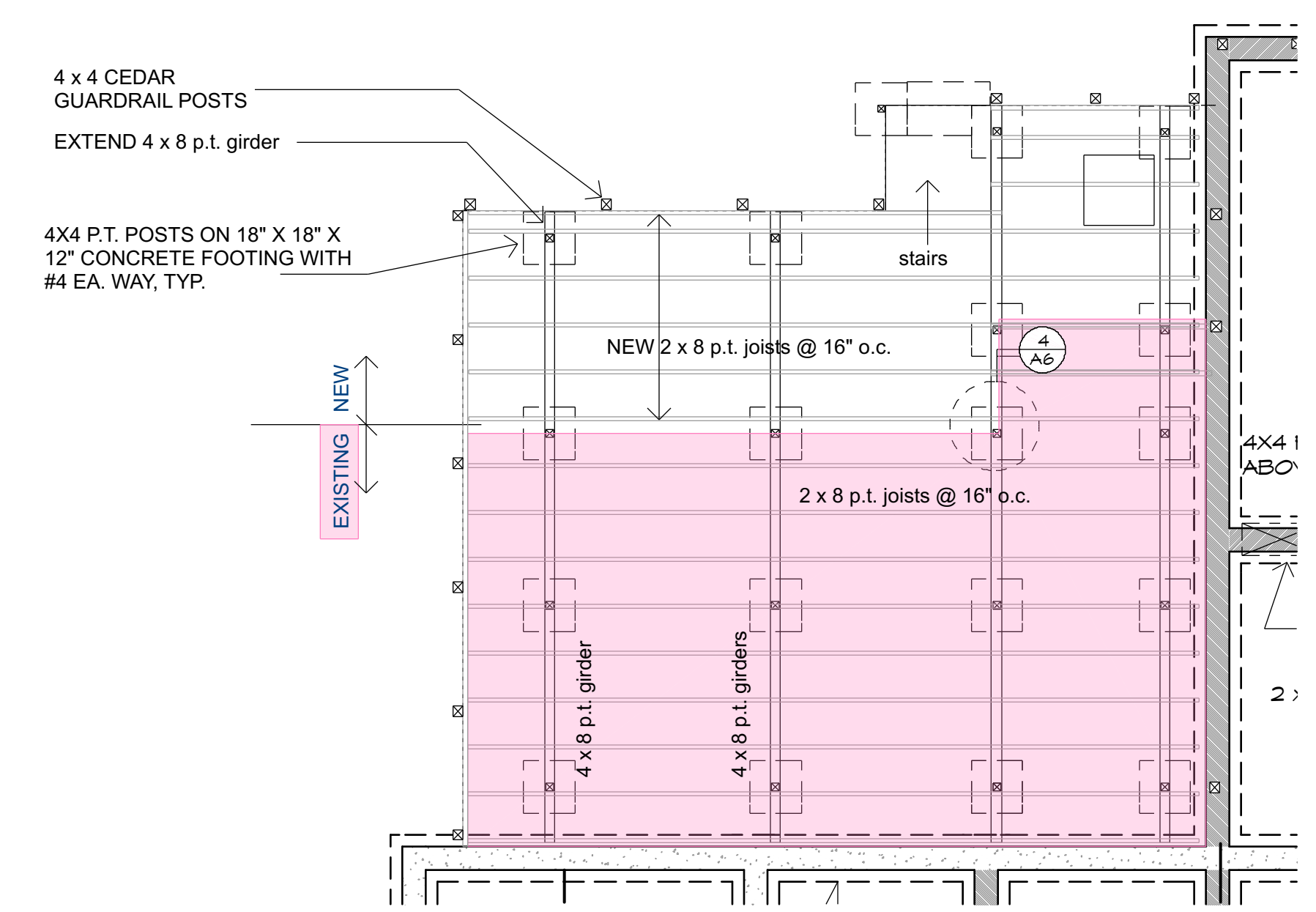
EXISTING SITE PLAN

SCALE 1/8" = 1'-0"



PROPOSED SITE PLAN

SCALE 1/8" = 1'-0"



FRAMING PLAN

SCALE 1/4" = 1'-0"

NOT TO SCALE

REVISIONS

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info @ lehmandesignstudio.com



DRAWN BY ALAN LEHMAN

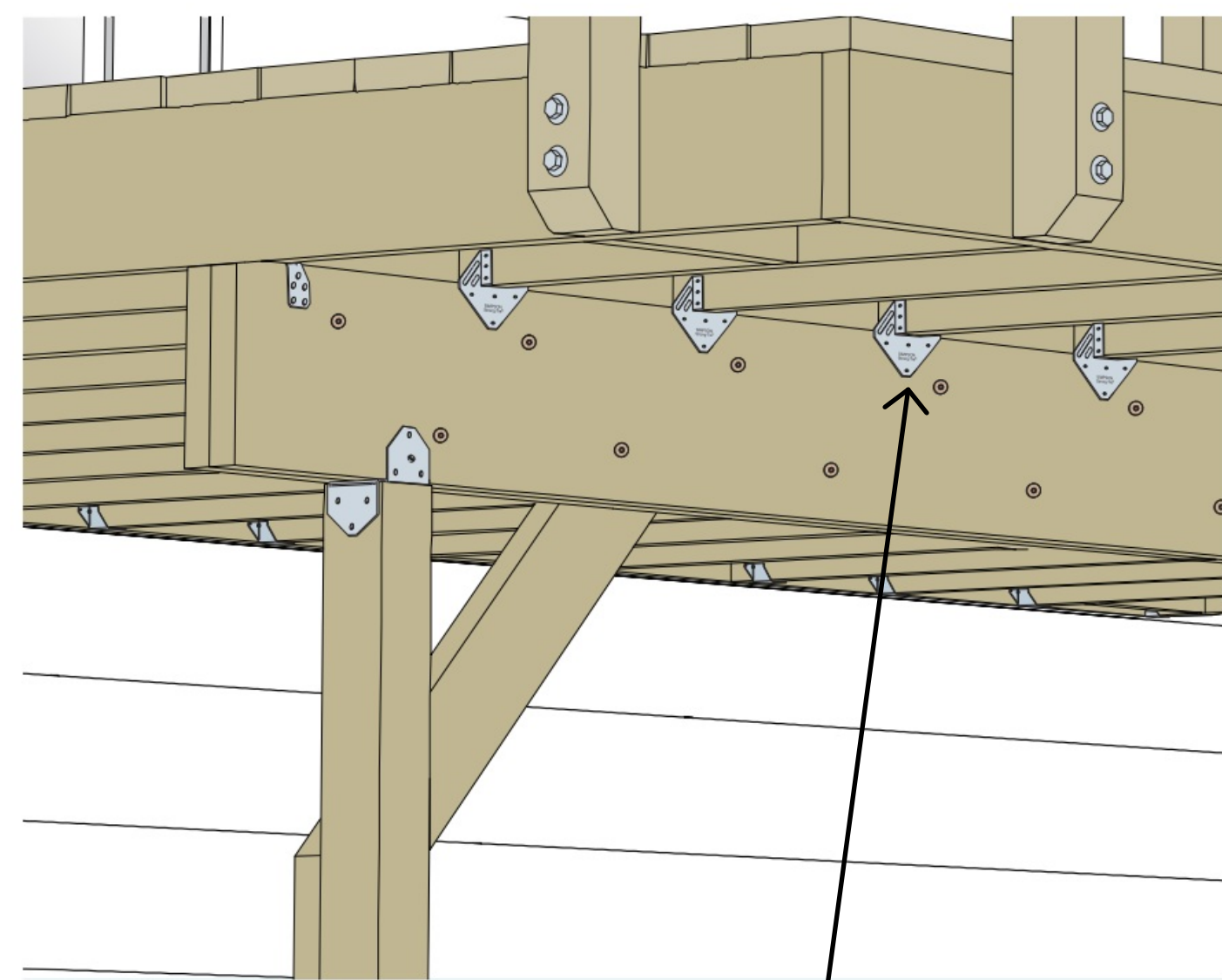
EXISTING SITE PLAN
PROPOSED SITE PLAN
FRAMING PLAN

Lee Cox Residential Remodel
Guadalupe 2NE of 7th, Carmel CA 93921
APN 010-041-010

12/23/20

SHEET
A2

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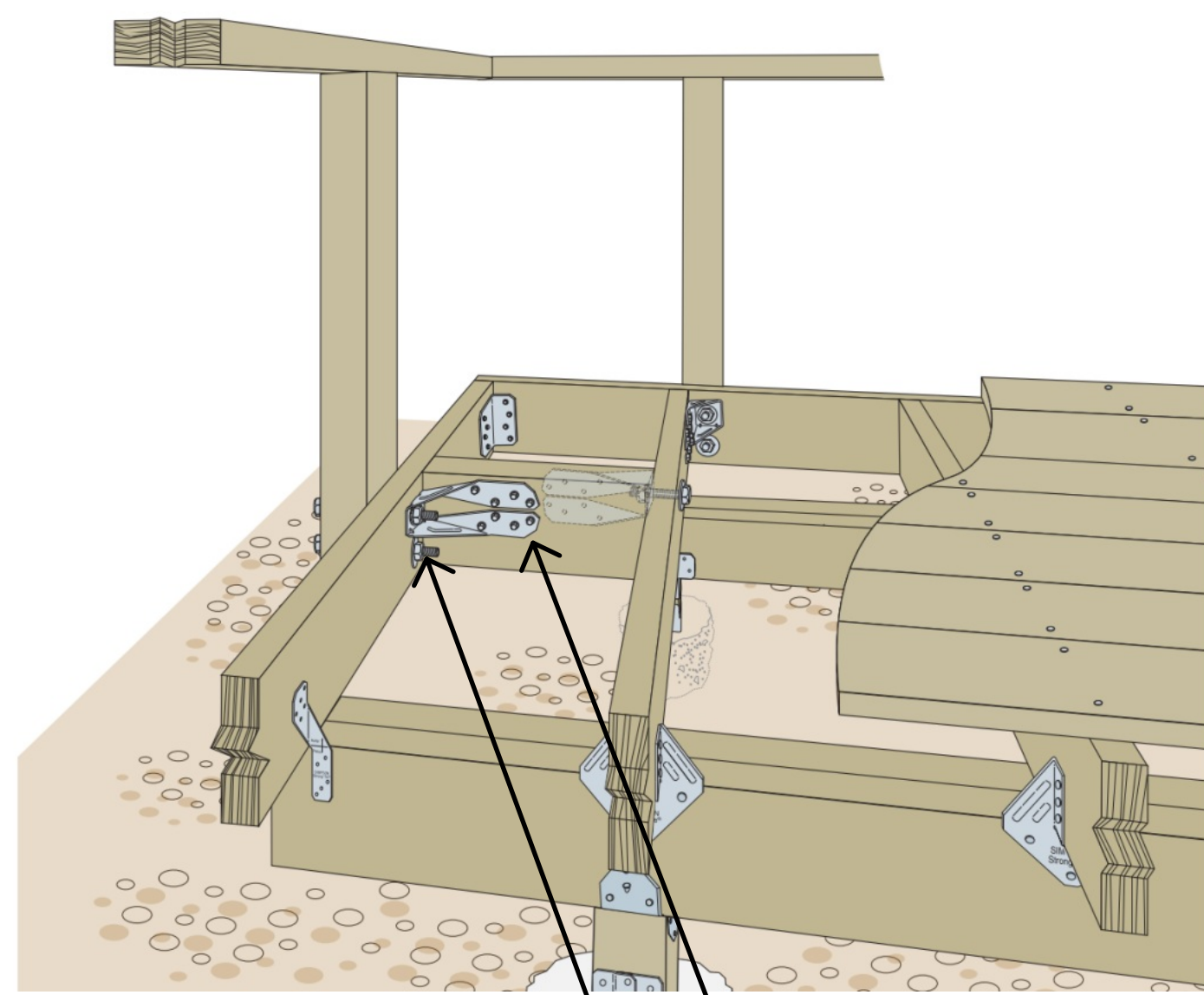


SIMPSON H1Z OR APPROVED EQUAL

3

JOISTS AT GIRDER (TYP.)

NO SCALE



1/2" HOT DIPPED GALVANIZED MACHINE BOLTS, (2) PER POST

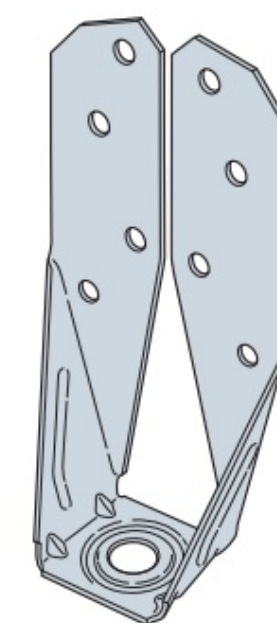
SIMPSON DTT2Z (TYP.) OR APPROVED EQUAL

2

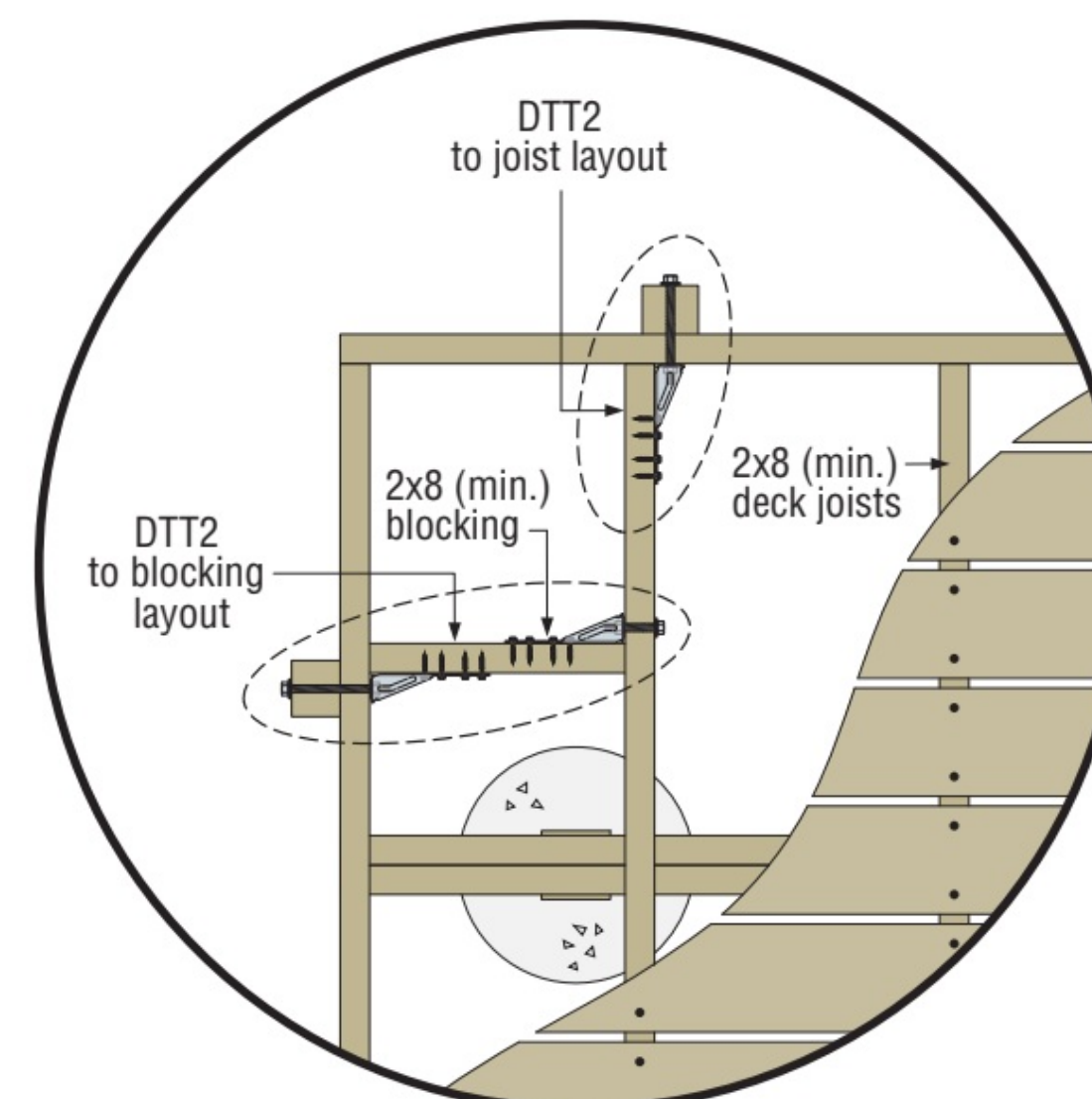
GUARD POST TO DECK FRAMING (TYP.)

NO SCALE

For 36"-Tall Guard Posts



DTT2 Deck Tension Tie
(available with ZMAX® coating or in stainless steel)

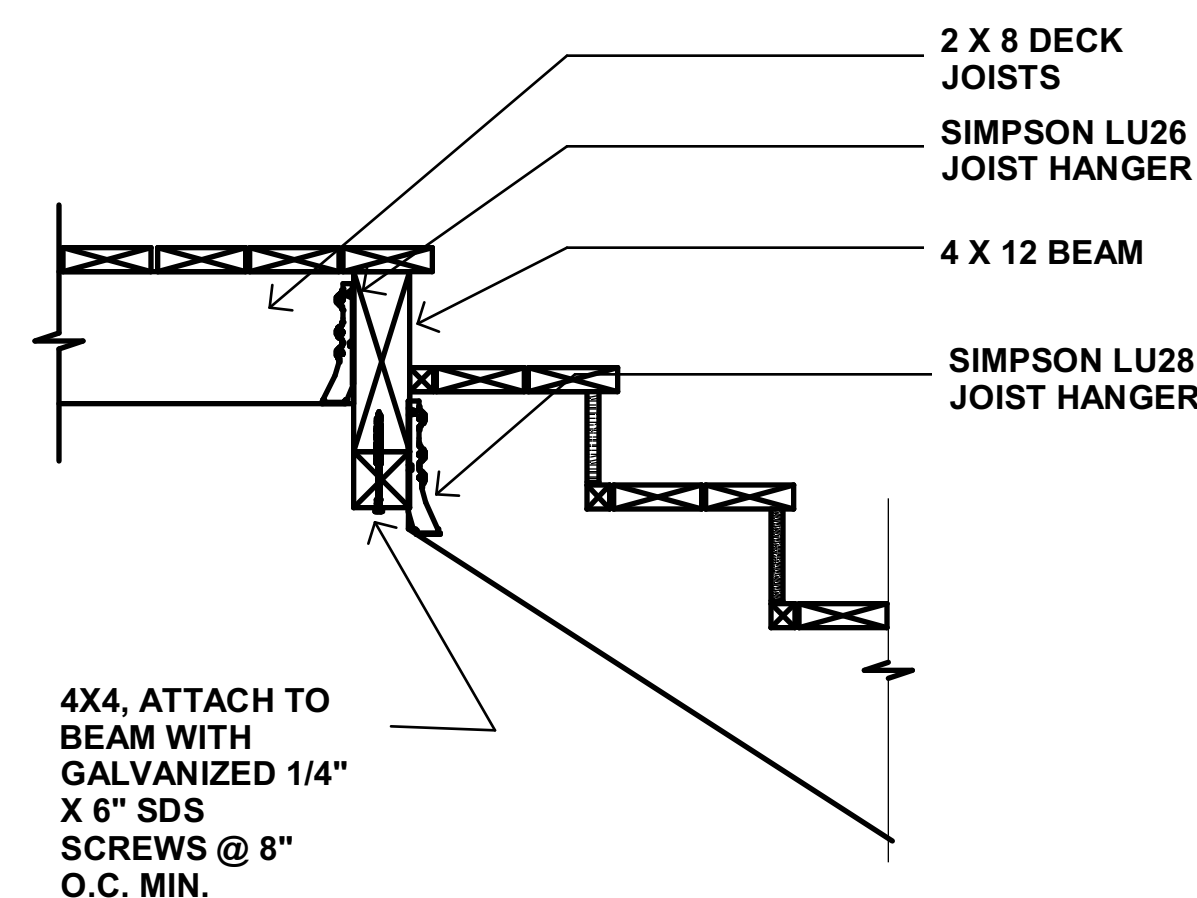


DTT2 Attachment of Guardrail
Post Outside Rim/Joist

1

GUARD POST TO DECK FRAMING (ALT.)

NO SCALE

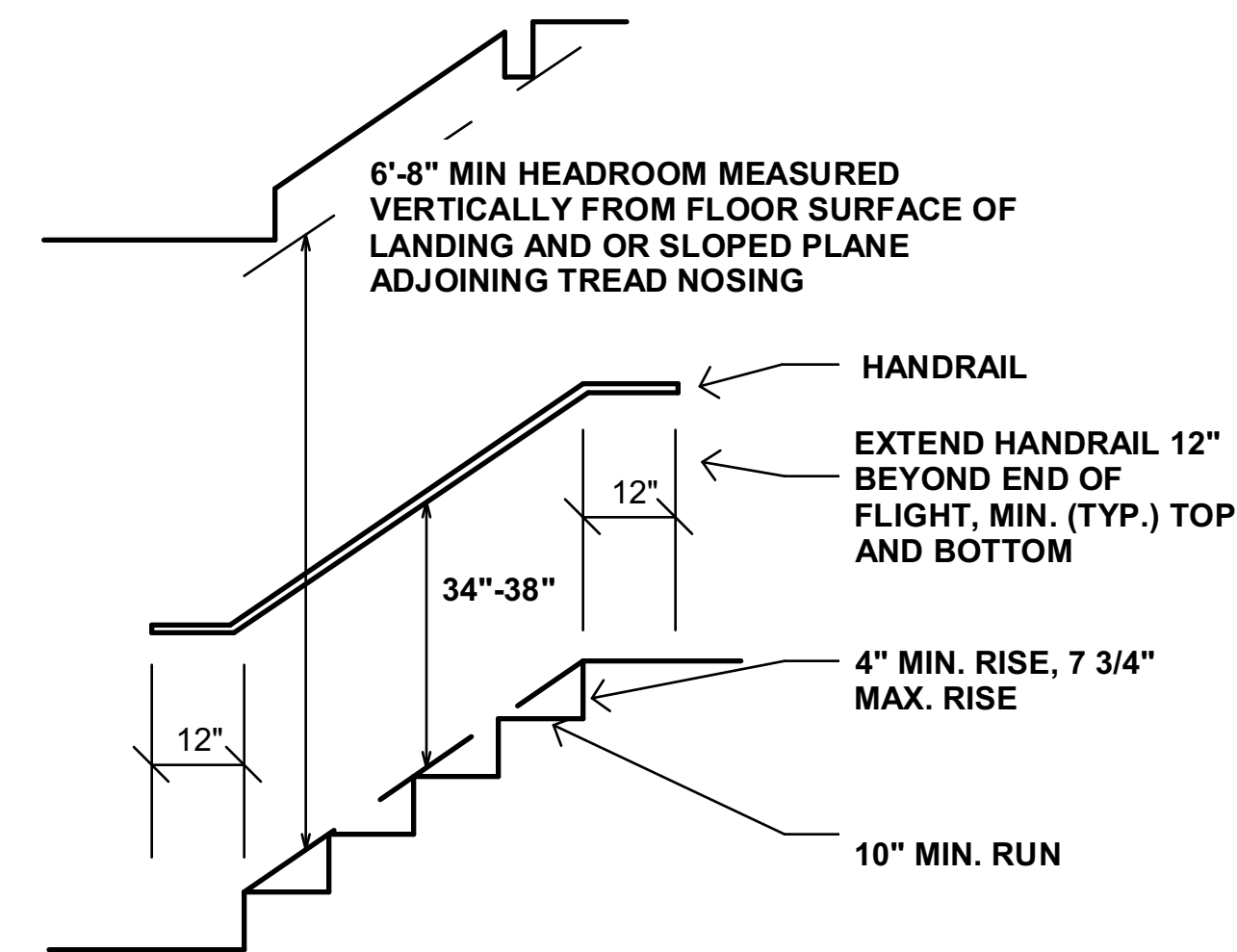


4X4, ATTACH TO BEAM WITH GALVANIZED 1/4" X 6" SDS SCREWS @ 8" O.C. MIN.

5

STAIRS AT LANDING - TOP

1" = 1'-0"



4

STAIR SECTION COMPLIANCES

1/2" = 1'-0"



BALUSTERS LESS THAN 4" O.C.

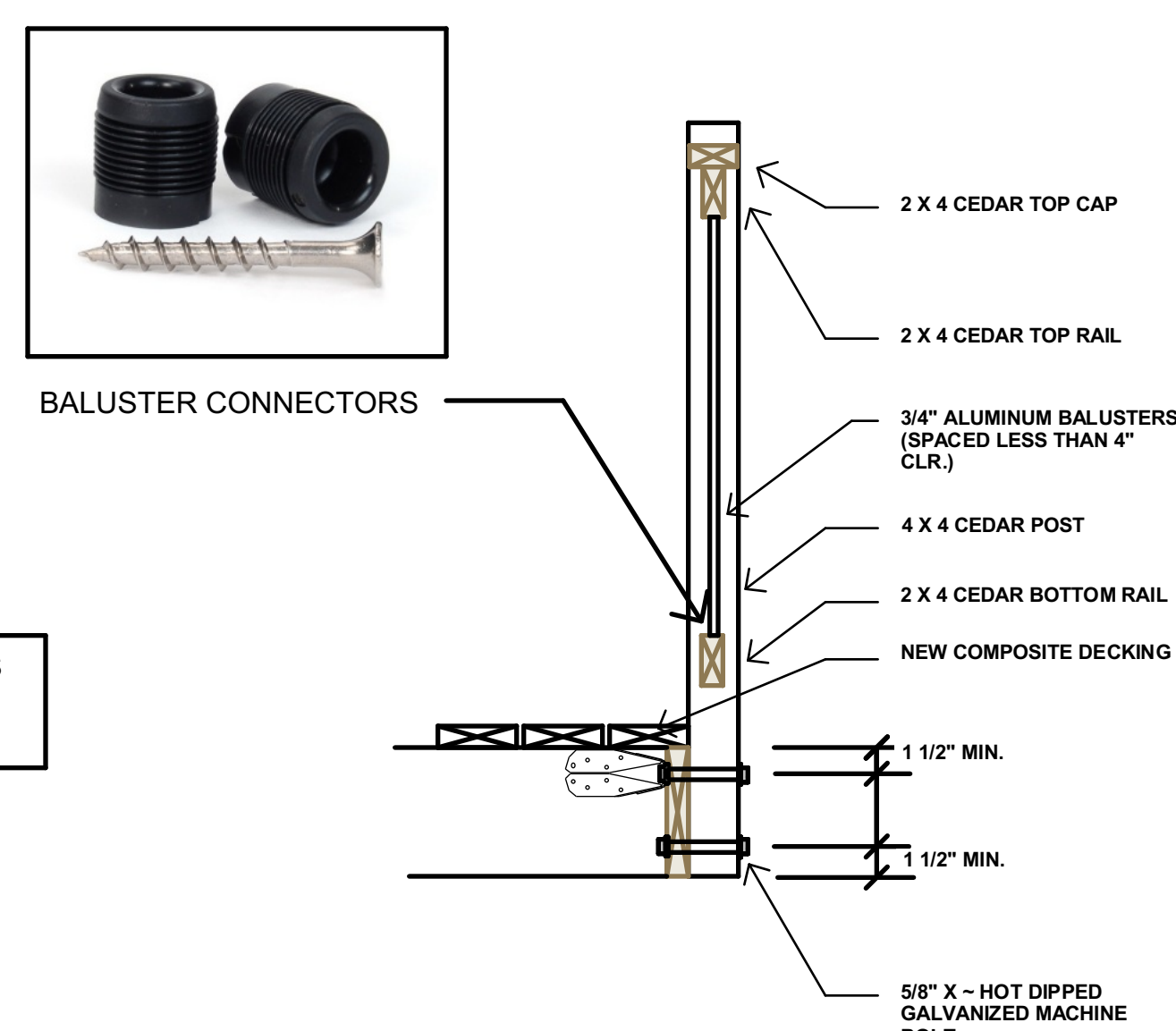
36"

NOTE: DECK IS LESS THAN 30" ABOVE GRADE

9

GUARDRAIL INFILL WITH ALUMINUM BALUSTERS

NO SCALE

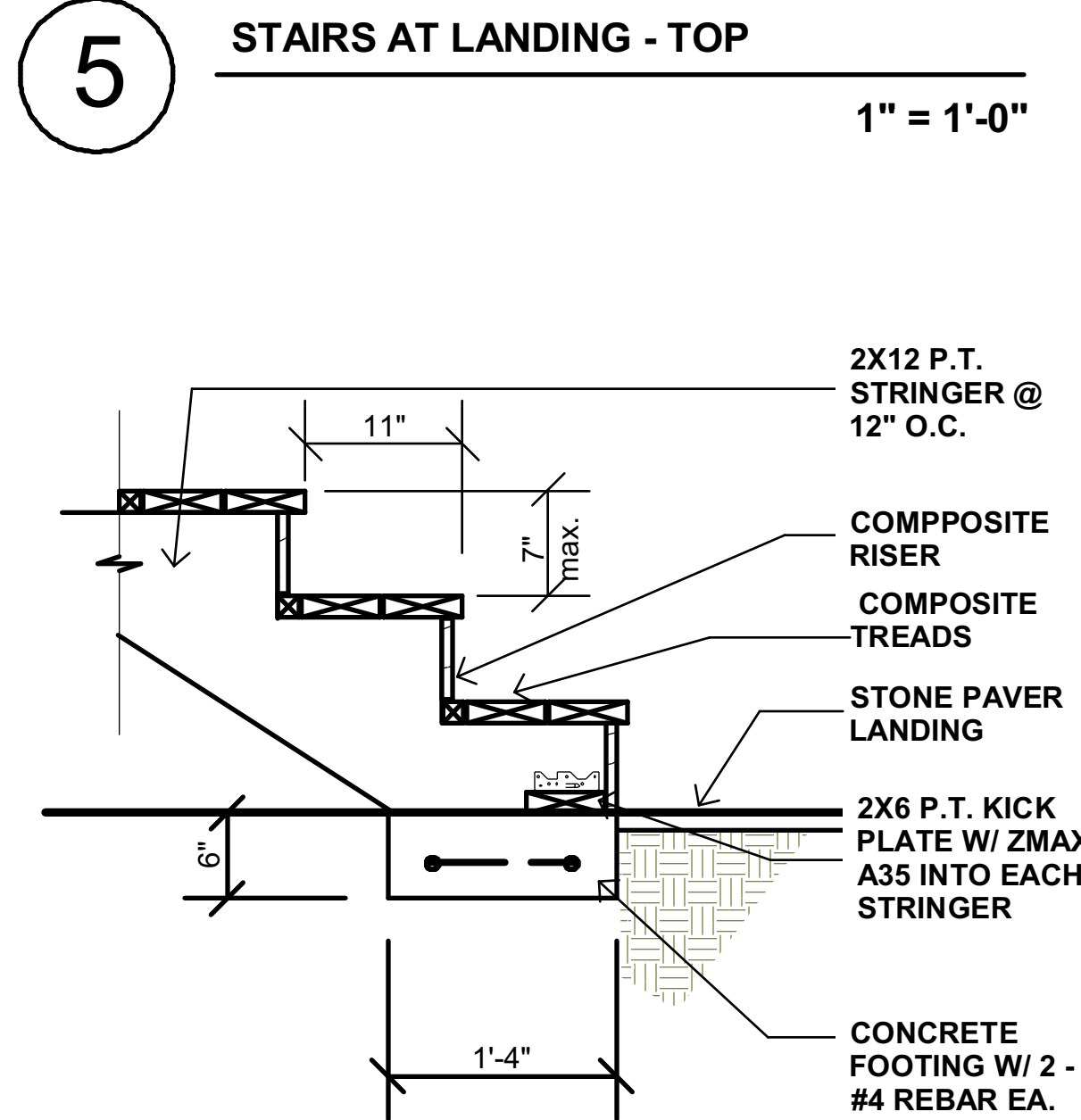


BALUSTER CONNECTORS

8

GUARDRAIL SECTION

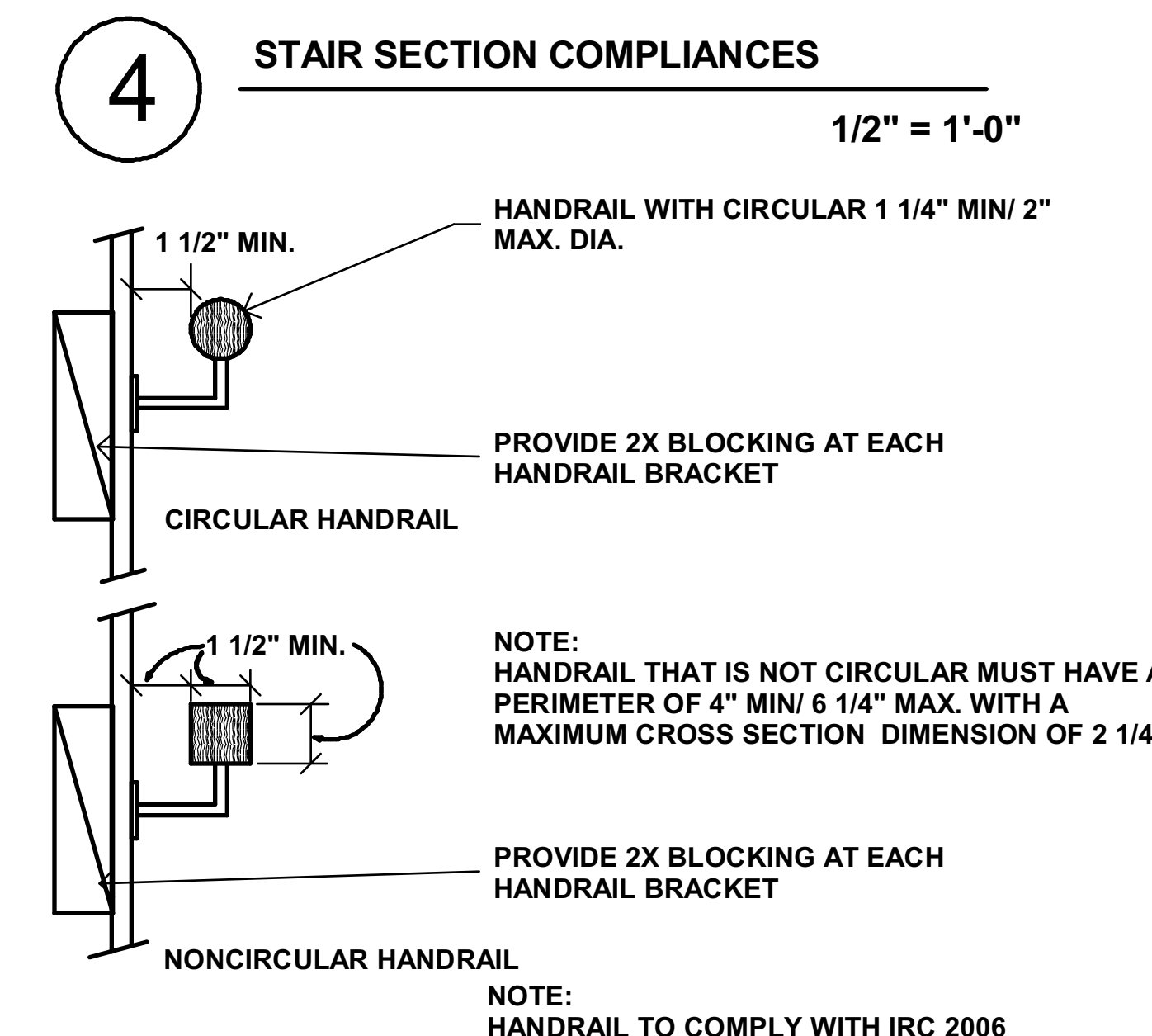
1" = 1'-0"



7

STAIRS AT BASE

1" = 1'-0"



6

HANDRAIL PROFILES

3" = 1'-0"

REVISIONS

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26453 mission fields road
carmel CA 93923

LEHMAN DESIGN STUDIO

DRAWN BY ALAN LEHMAN

DETAILS

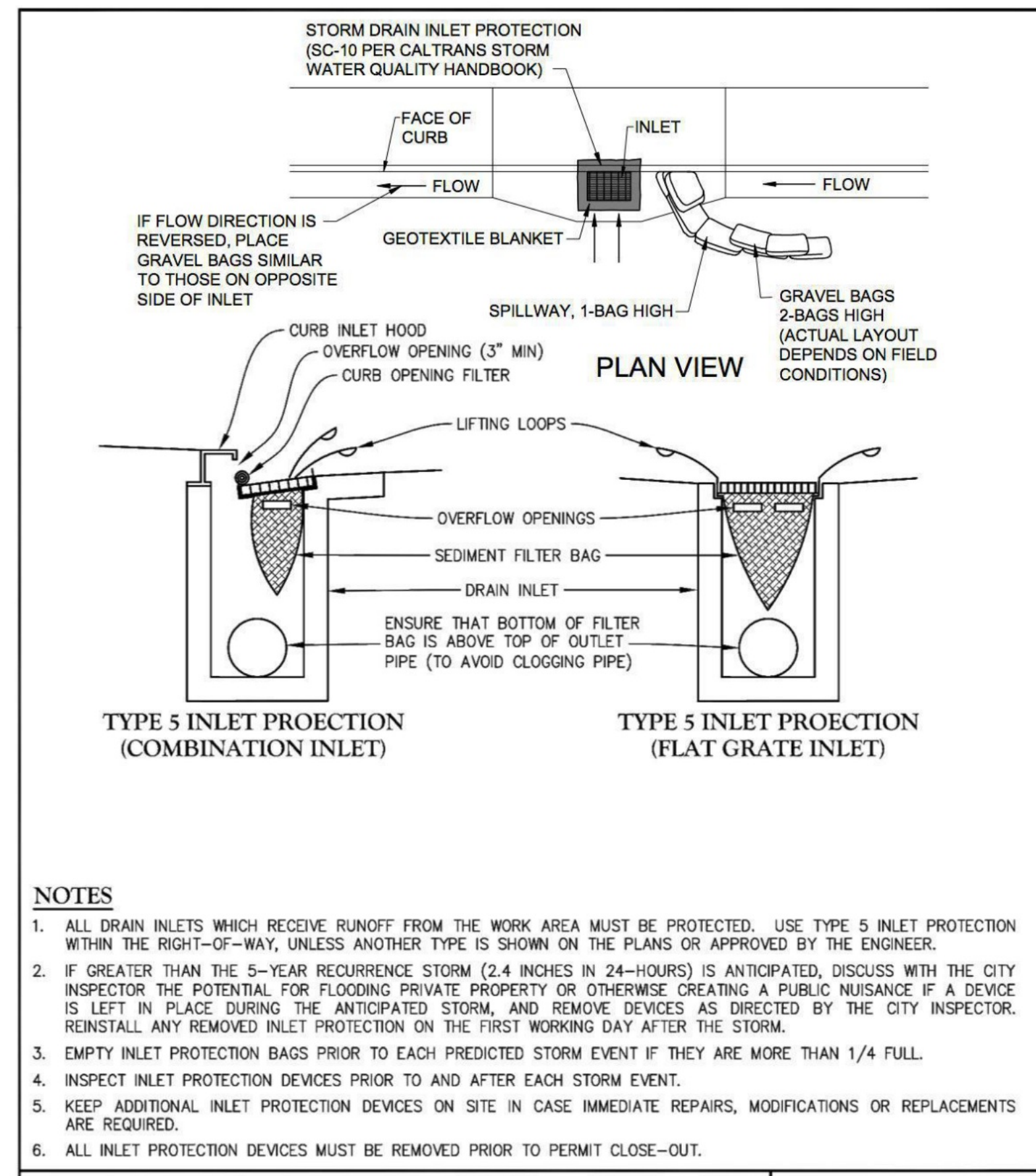
Lee Cox Residential Remodel
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APN 010-041-010

12/23/20

SHEET A3

LEE COX BUILDING

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- NOTES**
1. ALL DRAIN INLETS WHICH RECEIVE RUNOFF FROM THE WORK AREA MUST BE PROTECTED. USE TYPE 5 INLET PROTECTION WITHIN THE RIGHT-OF-WAY, UNLESS ANOTHER TYPE IS SHOWN ON THE PLANS OR APPROVED BY THE ENGINEER.
 2. IF GREATER THAN THE 5-YEAR RECURRENCE STORM (2.4 INCHES IN 24-HOURS) IS ANTICIPATED, DISCUSS WITH THE CITY INSPECTOR THE POTENTIAL FOR FLOODING PRIVATE PROPERTY OR OTHERWISE CREATING A PUBLIC NUISANCE IF A DEVICE IS LEFT IN PLACE DURING THE ANTICIPATED STORM, AND REMOVE DEVICES AS DIRECTED BY THE CITY INSPECTOR. REINSTALL ANY REMOVED INLET PROTECTION ON THE FIRST WORKING DAY AFTER THE STORM.
 3. EMPTY INLET PROTECTION BAGS PRIOR TO EACH PREDICTED STORM EVENT IF THEY ARE MORE THAN 1/4 FULL.
 4. INSPECT INLET PROTECTION DEVICES PRIOR TO AND AFTER EACH STORM EVENT.
 5. KEEP ADDITIONAL INLET PROTECTION DEVICES ON SITE IN CASE IMMEDIATE REPAIRS, MODIFICATIONS OR REPLACEMENTS ARE REQUIRED.
 6. ALL INLET PROTECTION DEVICES MUST BE REMOVED PRIOR TO PERMIT CLOSE-OUT.

STORM WATER MANAGEMENT NOTES

- 1 ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15TH THROUGH APRIL 15TH)
- 2 DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. THE OWNER OR CONTRACTOR MAY BE REQUIRED TO KEEP ADEQUATE EQUIPMENT ON THE GRADING SITE TO PREVENT DUST PROBLEMS.
- 3 TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15.
- 4 VEGETATION REMOVAL BETWEEN OCTOBER 15 AND APRIL 15 SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY.

DRAIN INLET PROTECTION & STREET SWEEPING DETAIL
NOT TO SCALE

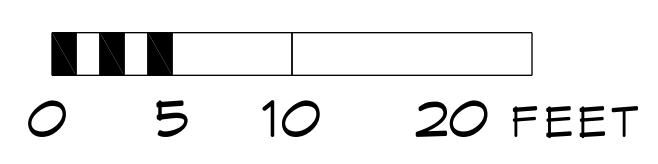
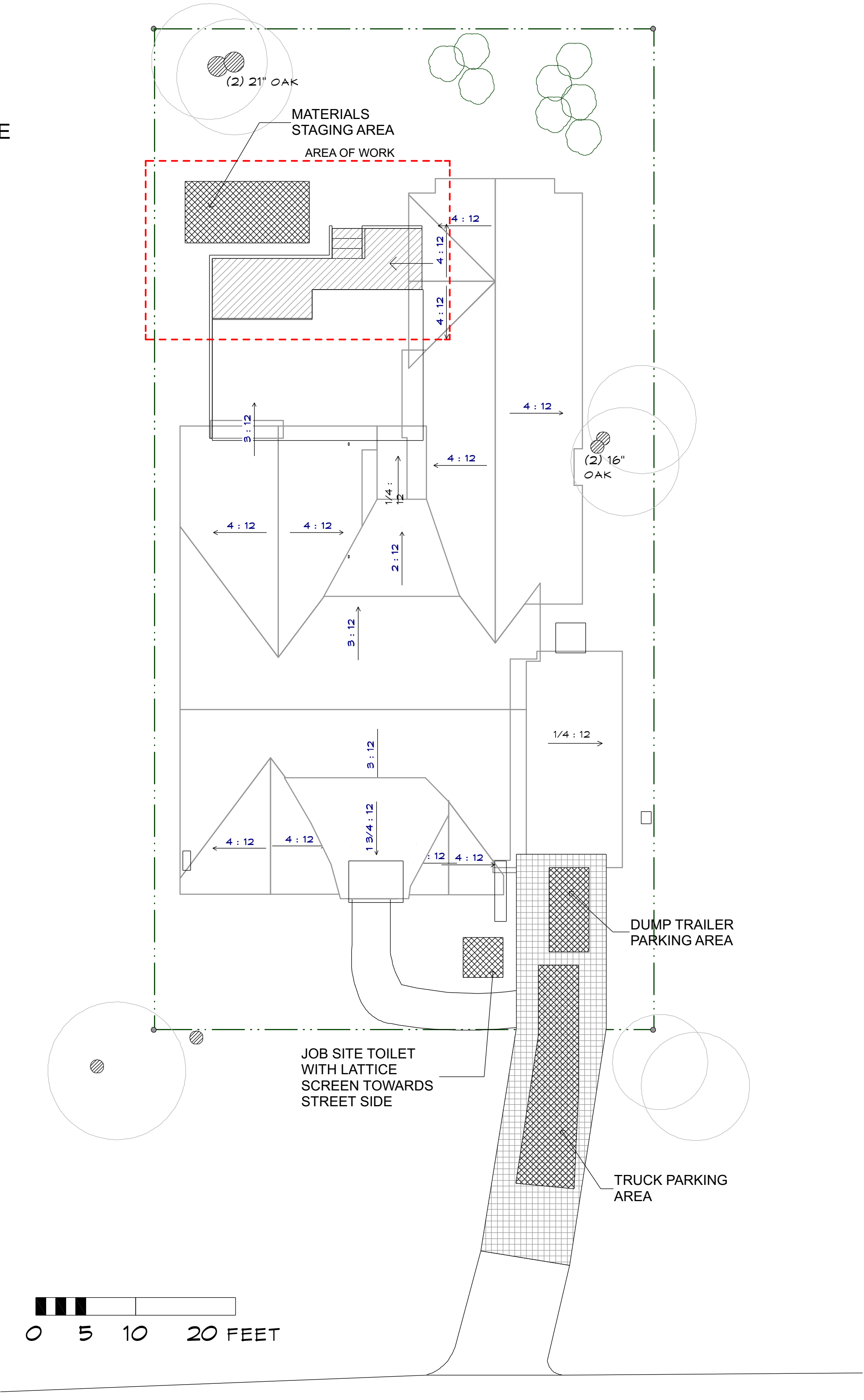


CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.

<p>MATERIALS & WASTE MANAGEMENT</p> <p>Non-Hazardous Materials</p> <ul style="list-style-type: none"> □ Bern and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible. □ Use (but don't overuse) reclaimed water for dust control. <p>Hazardous Materials</p> <ul style="list-style-type: none"> □ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations. □ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast. □ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours. □ Arrange for appropriate disposal of all hazardous wastes. <p>Construction Entrances and Perimeter</p> <ul style="list-style-type: none"> □ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site. 	<p>EQUIPMENT MANAGEMENT & SPILL CONTROL</p> <p>Maintenance and Parking</p> <ul style="list-style-type: none"> □ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage. □ Perform major maintenance, repair jobs, and vehicle and equipment washing off site. □ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste. □ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters. □ Do not clean vehicle or equipment using soaps, solvents, degreasers, steam cleaning equipment, etc. □ Inlet protection is the last line of spill defense. Drains/inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety. <p>Spill Prevention and Control</p> <ul style="list-style-type: none"> □ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times. □ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made. □ Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials). □ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags). □ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them. □ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria). □ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911. 	<p>EARTHWORK & CONTAMINATED SOILS</p> <p>Erosion Control</p> <ul style="list-style-type: none"> □ Schedule grading and excavation work for dry weather only. □ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established. □ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned. <p>Sediment Control</p> <ul style="list-style-type: none"> □ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filter, berms, etc. □ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins. □ Keep excavated soil on the site where it will not collect into the street. □ Transfer excavated materials to dump trucks on the site, not in the street. □ If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector: <ul style="list-style-type: none"> • Unusual soil conditions, discoloration, or odor • Abandoned underground tanks • Abandoned wells • Buried barrels, debris, or trash. 	<p>PAVING/ASPHALT WORK</p> <ul style="list-style-type: none"> □ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure. □ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc. □ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters. □ Do not use water to wash down fresh asphalt or concrete pavement. <p>Sawcutting & Asphalt/Concrete Removal</p> <ul style="list-style-type: none"> □ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system. □ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc. □ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!). □ If sawcut slurry enters a catch basin, clean it up immediately. 	<p>CONCRETE, GROUT & MORTAR APPLICATION</p> <ul style="list-style-type: none"> □ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain. □ Wash out concrete equipment/ trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage. □ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite. <p>LANDSCAPE MATERIALS</p> <ul style="list-style-type: none"> □ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used. □ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied. □ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather. 	<p>PAINTING & PAINT REMOVAL</p> <p>Painting cleanup</p> <ul style="list-style-type: none"> □ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters. □ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain. □ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste. □ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash. <p>Paint Removal</p> <ul style="list-style-type: none"> □ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste. 	<p>DEWATERING</p> <ul style="list-style-type: none"> □ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. □ Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance. □ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required. □ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.
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STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!



GUADALUPE 2 NE OF 7TH

CONSTRUCTION MANAGEMENT PLAN
SCALE 1/8" = 1'-0"

REVISIONS

ph 831.747.4718
26453 mission fields road
carmel CA 93923
info @ lehmandesignstudio.com



DRAWN BY ALAN LEHMAN

B.M.P.'S. CONSTRUCTION MANAGEMENT PLAN

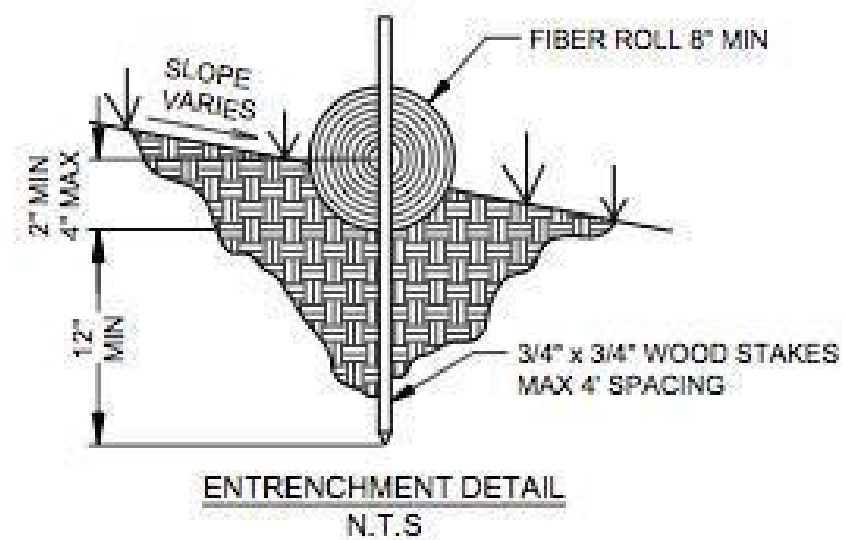
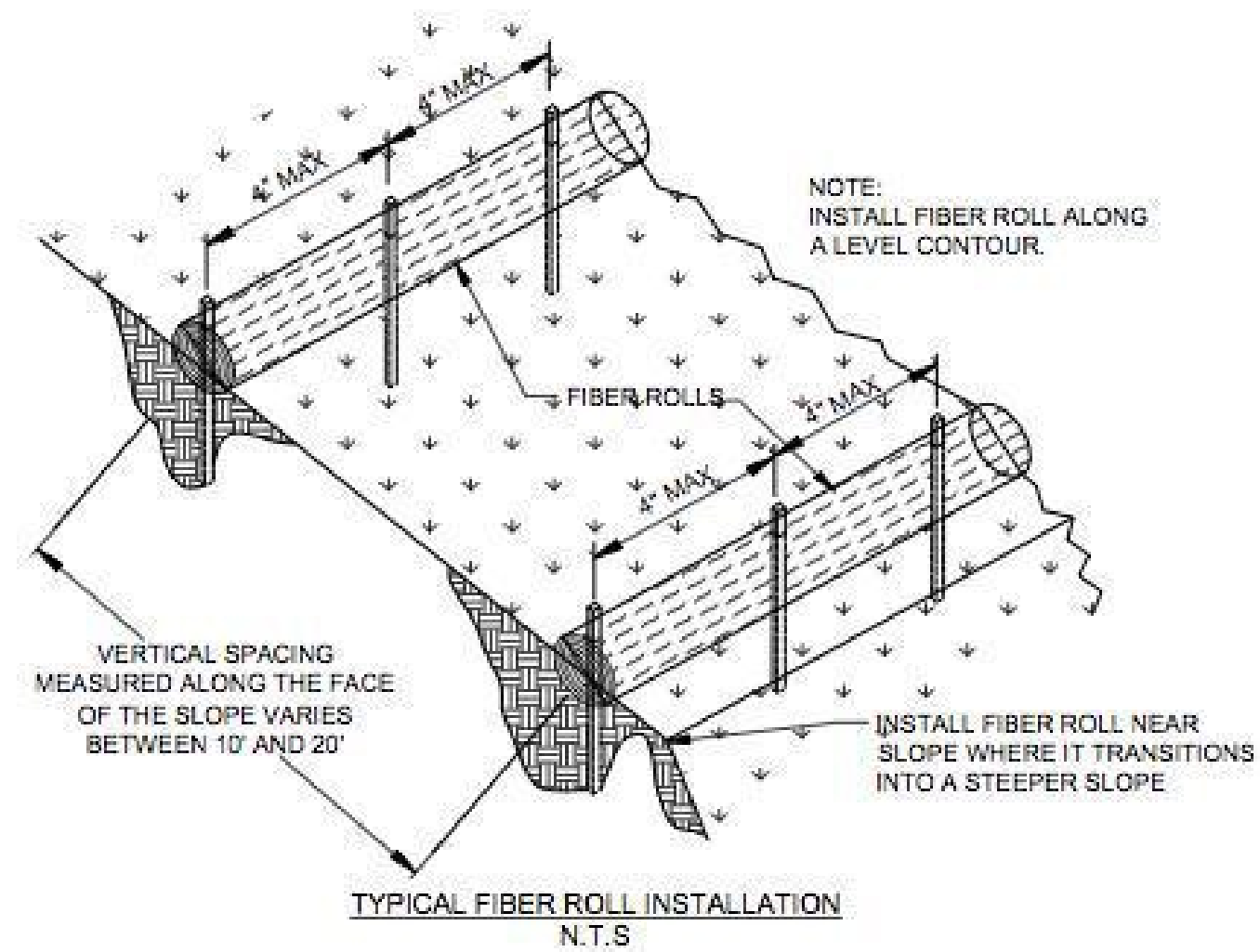
Lee Cox Residential Remodel
Guadalupe 2NE of 7th, Carmel CA 93921
APN 010-041-010

12/23/20

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* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

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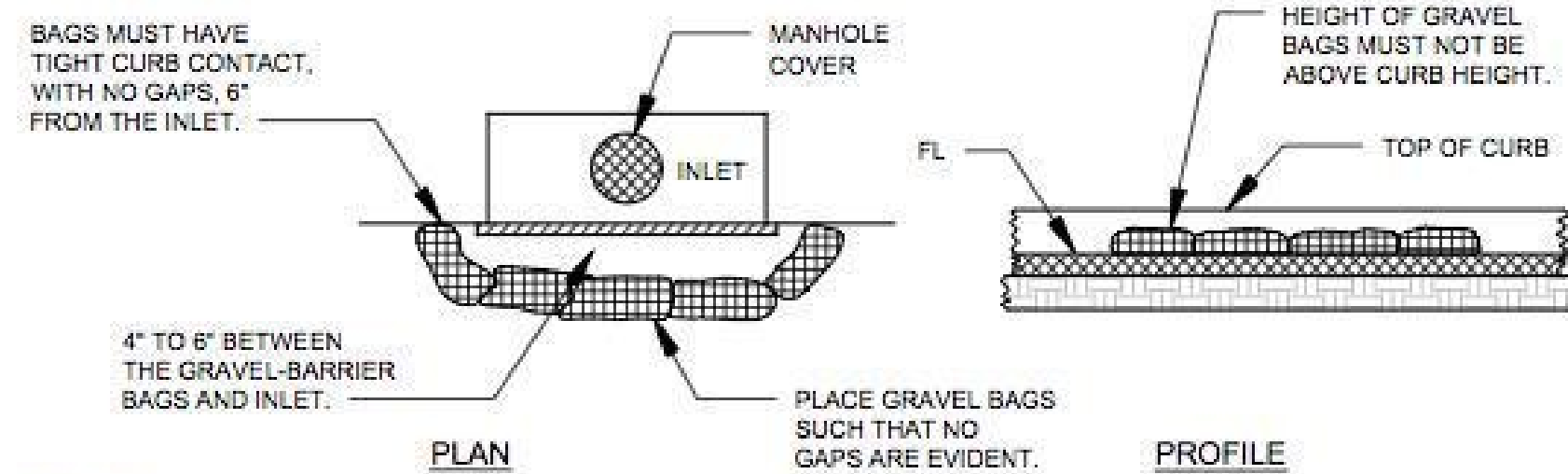


FIBER ROLLS

NTS

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C-1



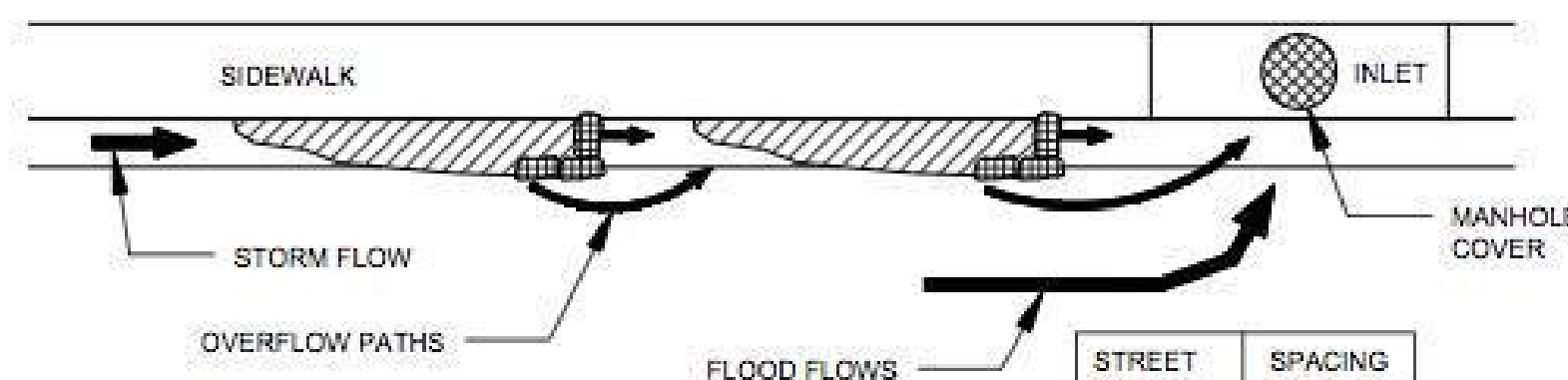
NOTES:
1. GRAVEL BAGS SHALL CONTAIN 1\"/>

DRAIN INLET BARRIER

NTS

2

C-1



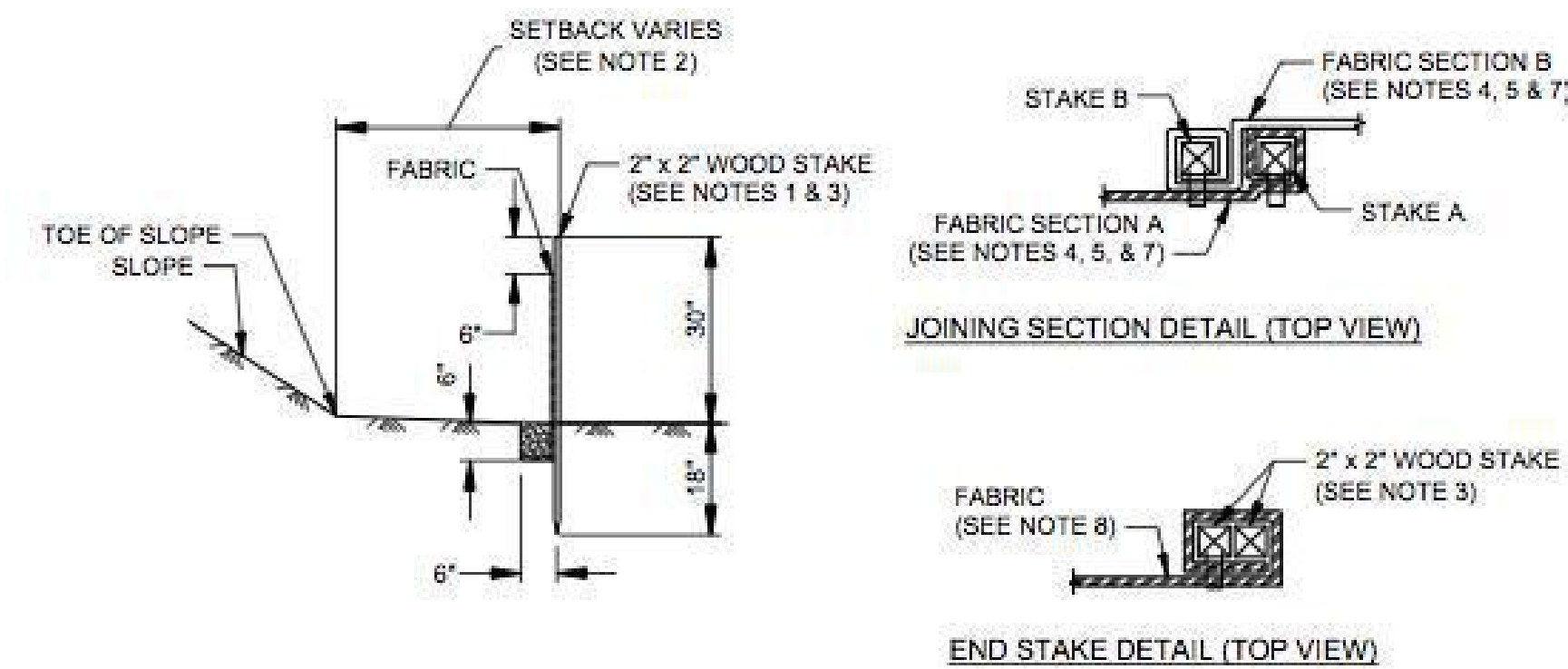
NOTES:
1. FILL GRAVEL BAGS ABOUT 2/3 FULL BEFORE PLACING IN THE GUTTER.
2. PLACE TWO OR MORE SETS OF GRAVEL BAGS IN A MANNER THAT RESULTS IN MAXIMUM SUPPORT. THE FLOW LINE BAG MUST BE LOWER THAN THE TOP OF THE CURB.

CURB AND GUTTER CONTAINMENT

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3

C-1



NOTES:
1. STAKE DIMENSIONS ARE NOMINAL.
2. DIMENSIONS MAY VARY TO FIT FIELD CONDITIONS.
3. STAKES SHALL BE SPACED AT 8'-0\"/>

SILT FENCE

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4

C-1

EROSION AND SEDIMENT CONTROL NOTES

1 BEST MANAGEMENT PRACTICES (BMPs) AT A MINIMUM, THE FOLLOWING BMPs ARE REQUIRED REGARDLESS OF WEATHER CONDITIONS, AND AS APPLICABLE TO THE CONSTRUCTION ACTIVITIES PLANNED. VERIFY ALL OF THE BELOW MEASURES ARE ADDRESSED ON THE ESC SUBMITTAL, AS APPLICABLE.

2 WET WEATHER MEASURES IF POSSIBLE, AVOID LAND-DISTURBING ACTIVITIES DURING THE WET WEATHER SEASON, OCTOBER 15 THROUGH APRIL 15. OTHERWISE, EXTRA BMP MATERIALS (FILTERS, FIBER ROLLS, GRAVEL BAGS, MULCH/STRAW, PLASTIC COVERS) SHALL BE KEPT ON-SITE FOR PRE-RAIN INSTALL.

3 EXISTING VEGETATION PROTECT EXISTING VEGETATION; AVOID REMOVAL AS REQUIRED AND WHEREVER POSSIBLE; INSTALL APPROPRIATE/PROTECTIVE FENCING, PERIMETER CONTROLS PRIOR TO WORK.

4 EROSION AND SEDIMENT CONTROL AS APPLICABLE, SLOPE AND SOIL STABILIZATION BMPs SHALL BE UTILIZED TO PREVENT SLOPE EROSION AND SOIL MOVEMENT ON-SITE AND OFF-SITE. NO SEDIMENT MAY LEAVE THE SITE, BE DEPOSITED OFF-SITE, OR POLLUTE STORM WATER RUNOFF FROM THE CONSTRUCTION SITE.

5 STOCKPILE MANAGEMENT ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY. STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS. NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.

6 WASTE MANAGEMENT ALL CONSTRUCTION WASTE SHALL BE CONTAINED AND SECURELY COVERED ON-SITE, INCLUDING TRASH, PAINT, GROUT, CONCRETE, ETC. ANY WASH OUT FACILITY SHALL BE CONTAINED, MAINTAINED, AND ITS CONTENTS DISPOSED OF PROPERLY; NO MATERIAL SHALL BE WASHED INTO STREET.

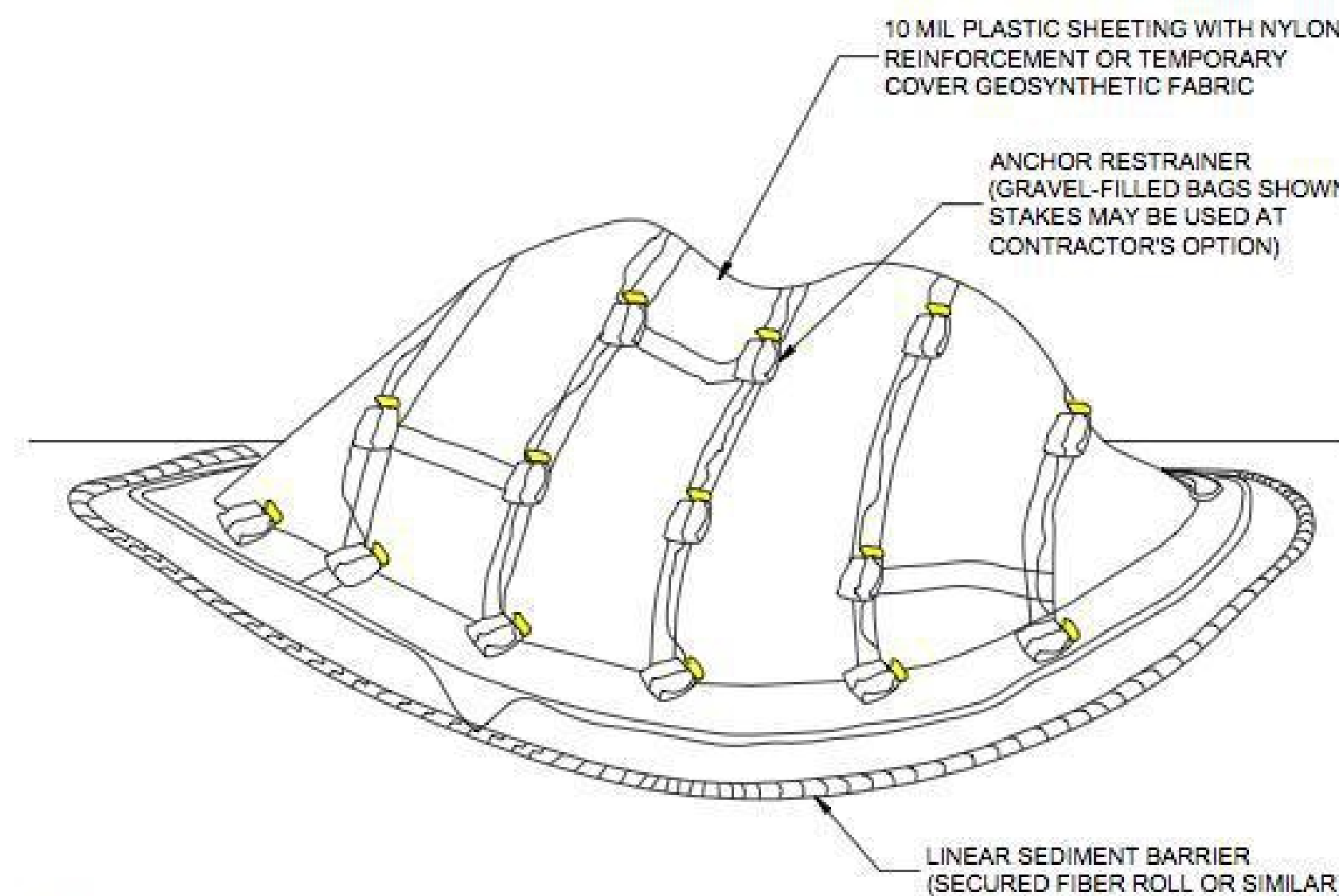
7 VEHICLES AND EQUIPMENT RESPONSIBLE PARTIES MUST ENSURE ALL VEHICLES AND EQUIPMENT ARE MAINTAINED IN GOOD WORKING ORDER, WILL NOT CAUSE DIRT, MUD, OIL, GREASE, OR FUEL TO BE DISCHARGED OR TRACKED OFF-SITE INTO THE STREET. INACTIVE VEHICLES/EQUIPMENT MUST USE COVER AND/OR DRIP PANS.

8 DRAIN/INLET PROTECTION & PERIMETER CONTROLS DRAINS/INLETS THAT RECEIVE STORM WATER MUST BE COVERED OR OTHERWISE PROTECTED FROM RECEIVING SEDIMENT, MUD, DIRT, OR ANY DEBRIS, AND INCLUDE GUTTER CONTROLS AND FILTRATION WHERE APPLICABLE IN A MANNER NOT IMPEDING TRAFFIC OR SAFETY. PROPERLY INSTALLED SILT FENCING OR EQUIVALENT LINEAR CONTROL SHALL BE EVIDENT ALONG SITE PERIMETER TO PREVENT MOVEMENT OF SEDIMENT AND DEBRIS OFF-SITE.

9 SWEEPING ALL IMPERVIOUS SURFACES (DRIVEWAYS, STREETS) SHALL BE PHYSICALLY SWEEP (NOT WASHED OR HOSED DOWN), AND MAINTAINED FREE OF DEBRIS AND ACCUMULATIONS OF DIRT. NO TRACKING OFF-SITE.

10 DEWATERING NO DEWATERING IS ALLOWED FROM CONSTRUCTION SITES UNLESS DISCHARGE IS AN EXCEPTION TO THE DISCHARGE PROHIBITIONS PER CITY CODE CH. 31.5-12(C), EXCEPT AS SPECIFIED FOR ASBS DRAINAGES. ANY PROPOSED DEWATERING MUST BE REVIEWED/ CLEARED BY CITY AND APPLICABLE REGULATORY AGENCIES.

11 STORMWATER MIXED WITH NON-STORMWATER SHALL BE MANAGED AS NON-STORMWATER



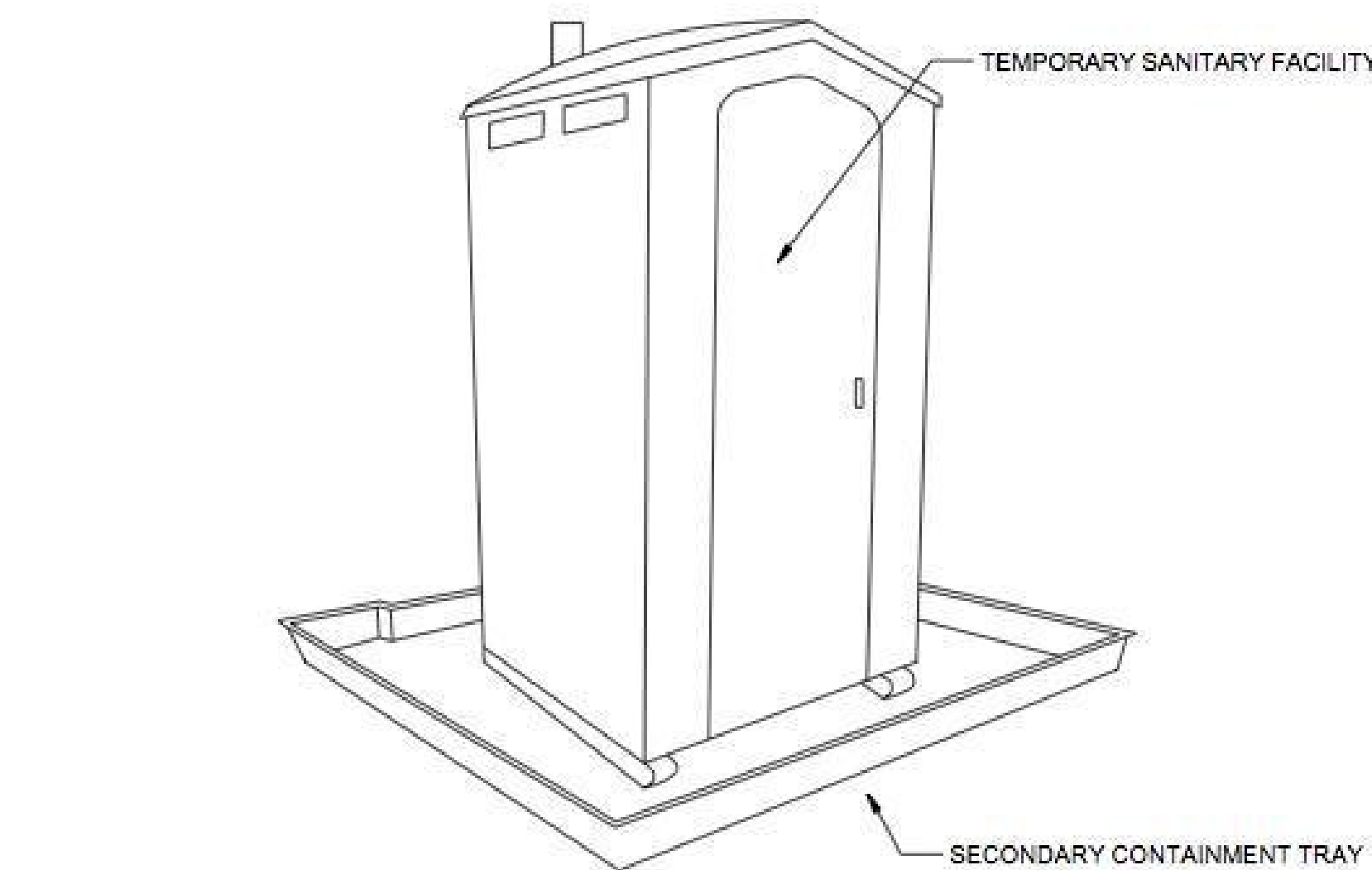
NOTES:
1. ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY.
2. STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS.
3. NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.
4. PLASTIC SHEETING HAS LIMITATIONS DUE TO SUNLIGHT BREAKDOWN, HARD TO MANAGE IN WINDY CONDITIONS, AND CAN INCREASE RUNOFF ISSUE FOR PERIMETER CONTROLS. INSPECT FREQUENTLY OR USE GEOSYNTHETIC FABRIC AS APPLICABLE.
5. DO NOT LOCATE WITHIN 50 FEET OF A STORM DRAIN.

TEMPORARY COVER ON STOCKPILE

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STORAGE AND DISPOSAL PROCEDURES

1. TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE FACILITIES, WATERCOURSES, AND FROM TRAFFIC CIRCULATION. IF SITE CONDITIONS ALLOW, PLACE PORTABLE FACILITIES A MINIMUM OF 50 FEET FROM DRAINAGE CONVEYANCES AND TRAFFIC AREAS.
2. WHEN SUBJECTED TO HIGH WINDS OR RISK OF HIGH WINDS, TEMPORARY SANITARY FACILITIES SHOULD BE SECURED TO PREVENT OVERTURNING.
3. TEMPORARY SANITARY FACILITIES MUST BE EQUIPPED WITH SECONDARY CONTAINMENT TRAYS TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORMWATER DRAINAGE SYSTEM OF THE RECEIVING WATER.
4. ARRANGE FOR REGULAR WASTE COLLECTION. DO NOT ALLOW SANITARY FACILITY TO BECOME OVERFULL.

SANITARY WASTE MANAGEMENT

NTS

6

C-1

REVISIONS

NO.	DESCRIPTION

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LEHMAN DESIGN STUDIO

DRAWN BY ALAN LEHMAN

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