



NOTICE OF APPLICATION SUBMITTAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has received an application for a Design Study Track 1 Minor staff-level project. As a courtesy, this Notice of Application Submittal is being distributed immediately adjacent property owners. Any persons interested in the project are encouraged to contact the Project Planner listed below at (831) 620-2027 or ctarone@ci.carmel.ca.us.

Planning Application: DS 20-370 (Caplin) **Location:** Camino Real, 3 SW of 13th Avenue

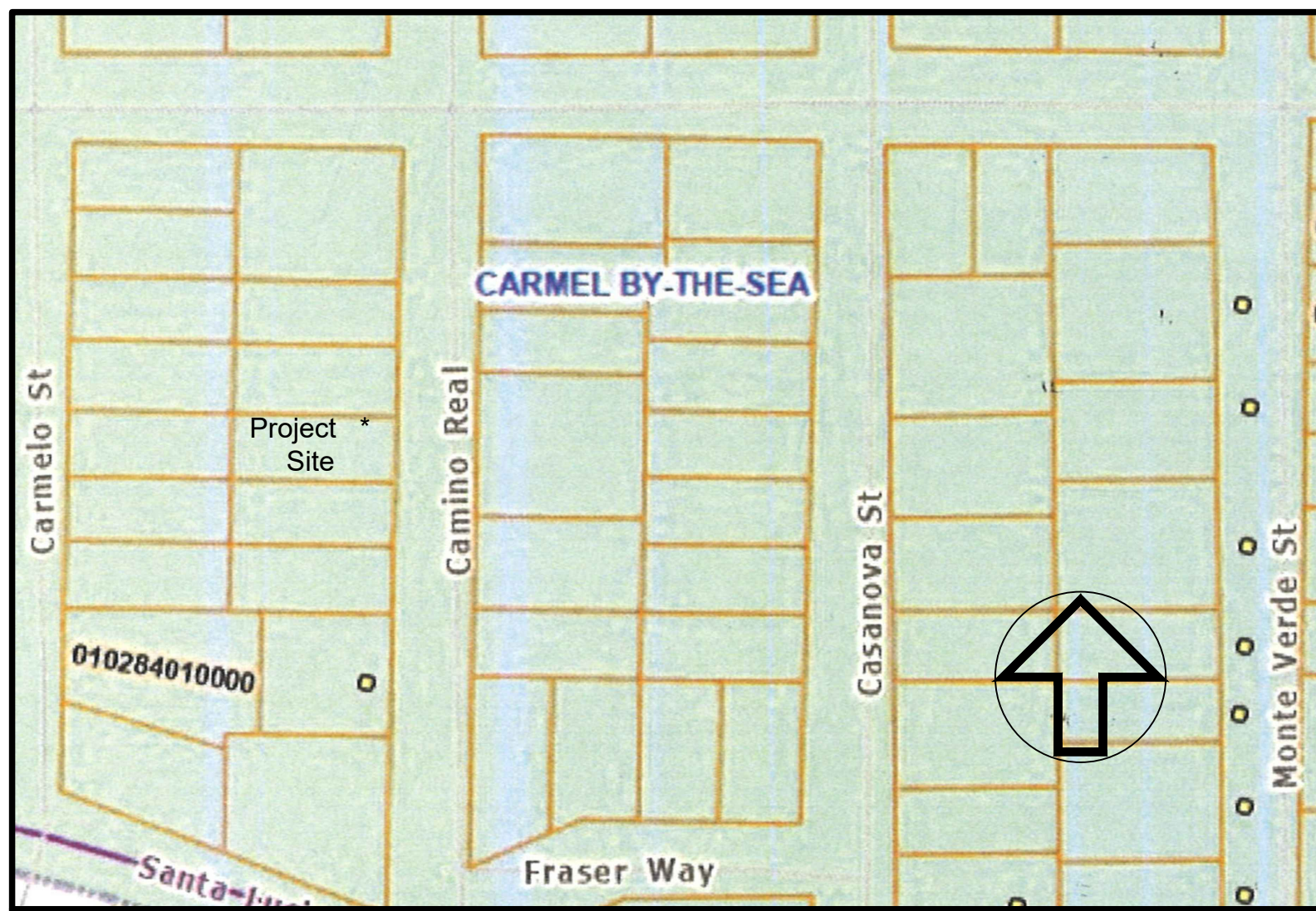
Date Mailed: 12/22/2020 **Project Planner:** Catherine Tarone, Assistant Planner

Block: DD, **Lot:** 9; **APN:** 010-284-004 **Applicant:** Michael Groves, EMC Planning

Project Description Consideration of a Track 1 Minor Design Study application for: 1) The repair and in-kind replacement of material on the existing 119 square foot Artist Studio (Height is 11' 4" length is 16'3") where there was rot and damages (only the north and west facing sides of the studio). They are also requesting to add new interior electrical outlets and lighting to the shed/artist studio. No other alterations or changes are included in this project submittal. This application is currently under review by the Carmel Planning Department.

Plans are available on the City's website at <https://ci.carmel.ca.us/post/current-planning-applications>.

Is this project appealable to the Coastal Commission? No



Caplin Artist Studio

Camino Real Street 4 Southwest of 13th Avenue Carmel, California

PROJECT DESCRIPTION:
 Repair of the existing 119 square foot Artist Studio including replacement in-kind of exterior wood siding where damaged or rotten. Addition of interior electrical outlets and lighting. Addition of an exterior porch down-light to match those approved for the residence. Future plumbing work for a sink in the Artist Studio to be submitted on separate permit.

LOCATION:
 Camino Real street 5 SW of 13th Avenue, Carmel by the Sea

PROPERTY INFORMATION:
 Lot 9, Block DD, Addition Number 1
 Carmel by the Sea
 Lot Area: 4,000 SF
 Zoning: R-1

OWNERS: Lee and Gita Caplin
 Camino Real street 5 SW of 13th Avenue,
 1301 Asturia Avenue
 Coral Gables, Florida 33134

UTILITY PROVIDERS:
 GAS and ELECTRICITY:
 Pacific Gas & Electric

WATER SERVICE:
 CalAm

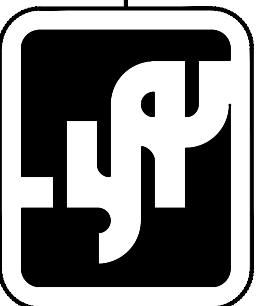
SEWER SERVICE:
 Carmel Wastewater

GRADING:
 Cut: None Fill: None

TREES to be Removed:
 None

DATE	REVISION

Jon Sather Erlandson Architect - C11925



MAIL : Jon Sather Erlandson, Architect Post Office Box 7108 Carmel, California 93921
 Phone: (831) 625-6163 Facsimile: (831) 625-1578 Email: jon@jonerlandson.com

CAPLIN ARTIST STUDIO
 Camino Real Street, 4 southwest of 13th Avenue, Carmel by the Sea

Job Number
2019-06

Drawn By:

Date
11-23-2020

Revisions

Sheet Number
G-1.1
 of: Sheets

TITLE SHEET

VICINITY MAP

1 PROJECT TITLE

2 PROJECT INFORMATION

3

- APPLICABLE CODES FOR THIS PROJECT:**
- 2019 CA Building Code (Based on 2012 International Building Code)
 - 2019 CA Fire Code (Based on 2012 International Fire Code)
 - 2019 CA Plumbing Code (Based on 2012 Uniform Plumbing Code)
 - 2019 CA Mechanical Code (Based on 2012 Uniform Mechanical Code)
 - 2019 CA Electrical Code (Based on 2011 National Electrical Code)
 - 2019 CA Residential Code
 - 2019 CA Energy Code
 - 2019 California Green Building Code (CGBC)

ARCHITECTURAL DRAWINGS

G-1.1	Title Sheet, Project Information & Drawing Index
A-1.1	Proposed Studio Site Plan
A-2.1	Studio Existing and Proposed Floor Plans and Elevations

CONSTRUCTION TYPE:
 TYPE V NON-RATED

OCCUPANCY:
 TYPE R-3/U

BUILDING AREA	EXISTING	PROPOSED
Residence Living Area	1,336 SF	1,336 SF
Attached Garage	185 SF	185 SF
Studio	119 SF	119 SF
Total Floor Area	1,640 SF	1,640 SF NO CHANGE

Floor Area Ratio 41% 41% NO CHANGE

SITE COVERAGE	EXISTING		PROPOSED	
	Impervious	Pervious	Impervious	Pervious
Asphalt Driveway	212 SF	0 SF	212 SF	0 SF
Front Walkway North	54 SF	0 SF	0 SF	20 SF
Front Stone Walk South	276 SF	0 SF	0 SF	0 SF
Front Stones at Tree	0 SF	38 SF	0 SF	0 SF
Covered Front Porch	16 SF	0 SF	0 SF	0 SF
South Side-yard Walk	185 SF	0 SF	150 SF	0 SF
North Side-yard Walk	334 SF	0 SF	0 SF	104 SF
Rear Brick Patio	396 SF	0 SF	396 SF	0 SF
New Front Walks	0 SF	0 SF	0 SF	129 SF
Master Bedroom Deck	0 SF	80 SF	0 SF	22 SF
TOTALS:	1,473 SF	118 SF	758 SF	275 SF

$1,591 \text{ SF} \quad 758 + 275 \times \frac{1}{2} = 887.5 \text{ SF}$

$275 \text{ SF Pervious @ } 50\% = 137.5 \text{ SF}$

Net: $1,591 - 887.5 = 703 \text{ SF Reduction in Site Coverage}$

NOTE:

This Application does NOT Propose any changes to the Floor Area or Site Coverage on the Property. The Site Coverage numbers above were approved for the Original Design Approval of this this Property.

Miscellaneous Requirements

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6 DRAWING INDEX

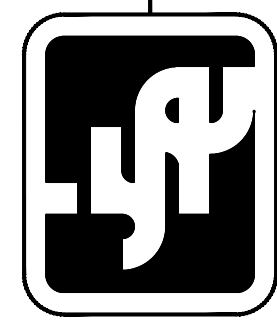
5 PROJECT DATA

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Scale: 1/8"=1'-0"

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CAPLIN ARTIST STUDIO

Camino Real Street 4 Southwest of 13th Avenue, Carmel, California

Job Number
2019-06

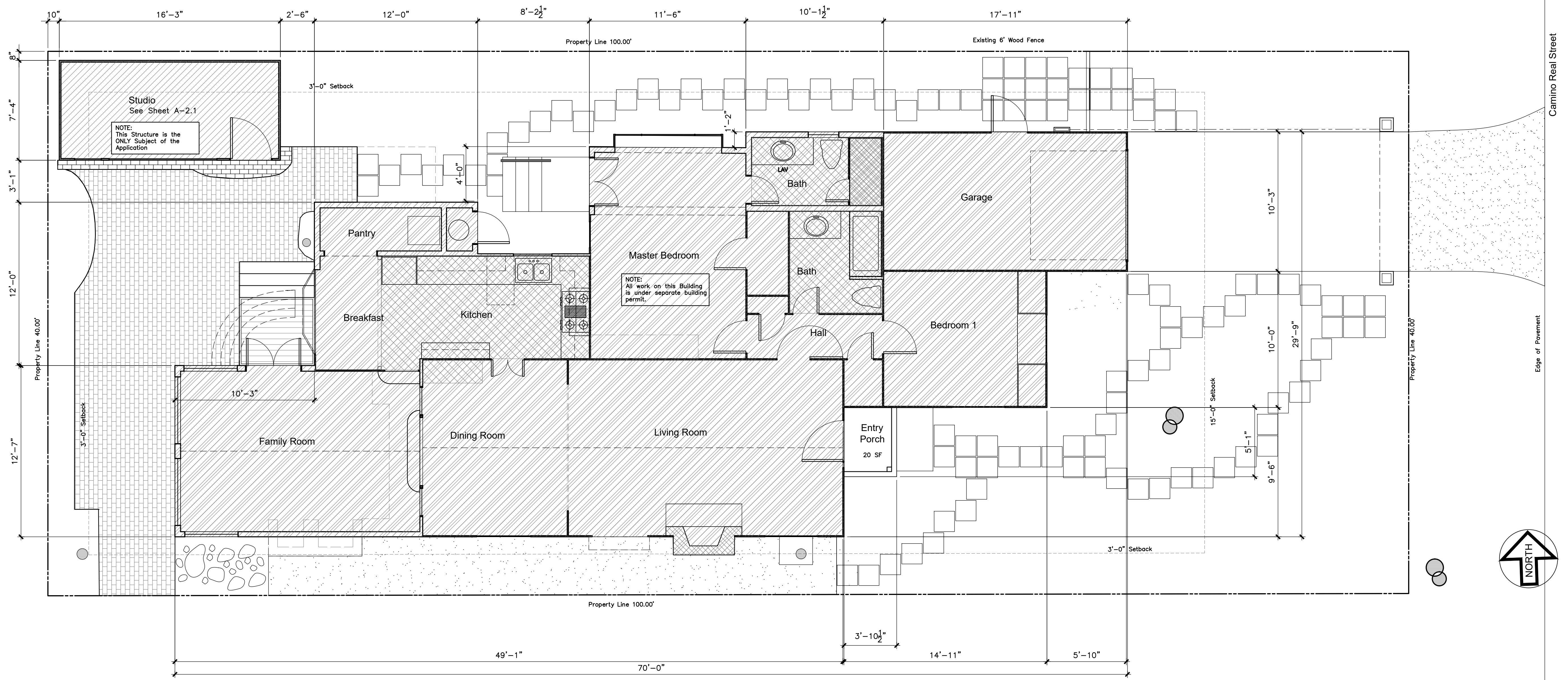
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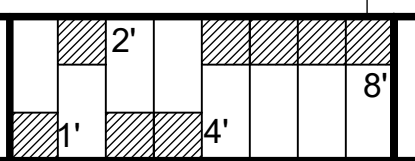
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PROPOSED SITE PLAN



PROPOSED SITE PLAN

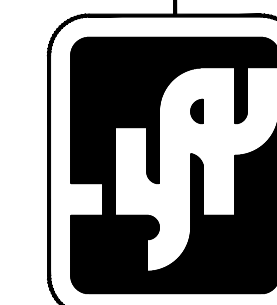
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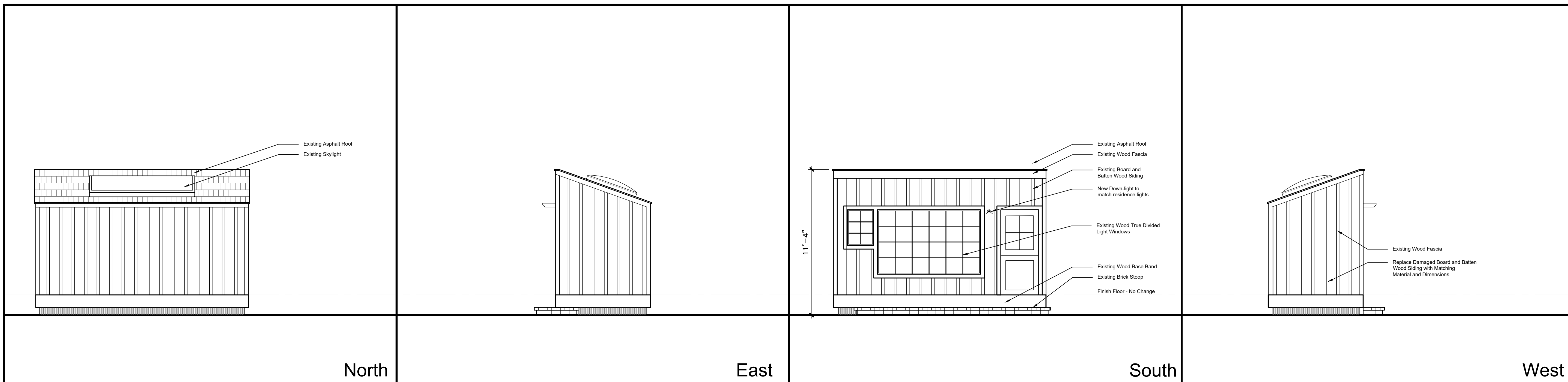
CAPLIN ARTIST STUDIO
Camino Real Street 3 Southwest of 13th Avenue Carmel by the Sea

Job Number: 2019-06 Drawn By: [Blank]

Date: 11-23-2020 Revisions: [Blank]

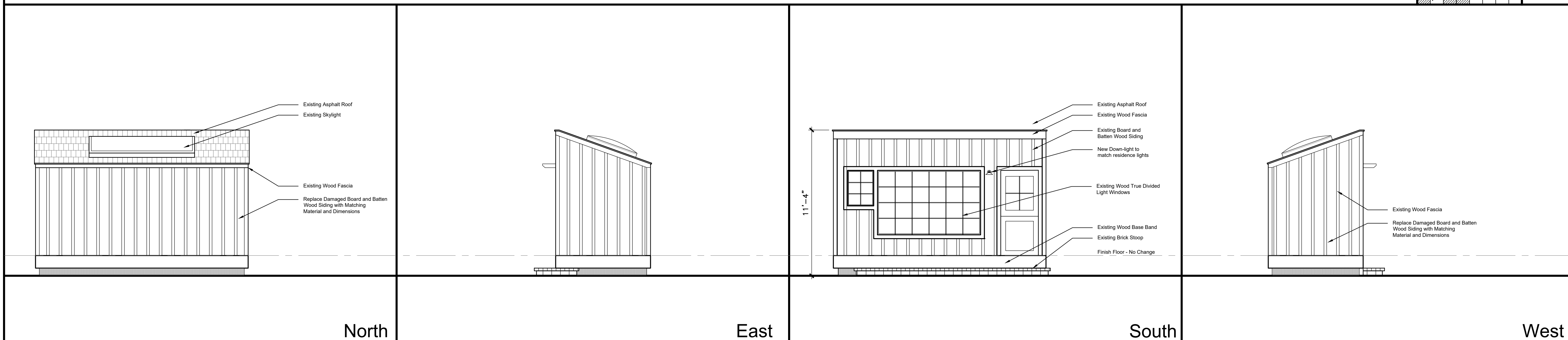
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STUDIO PLANS



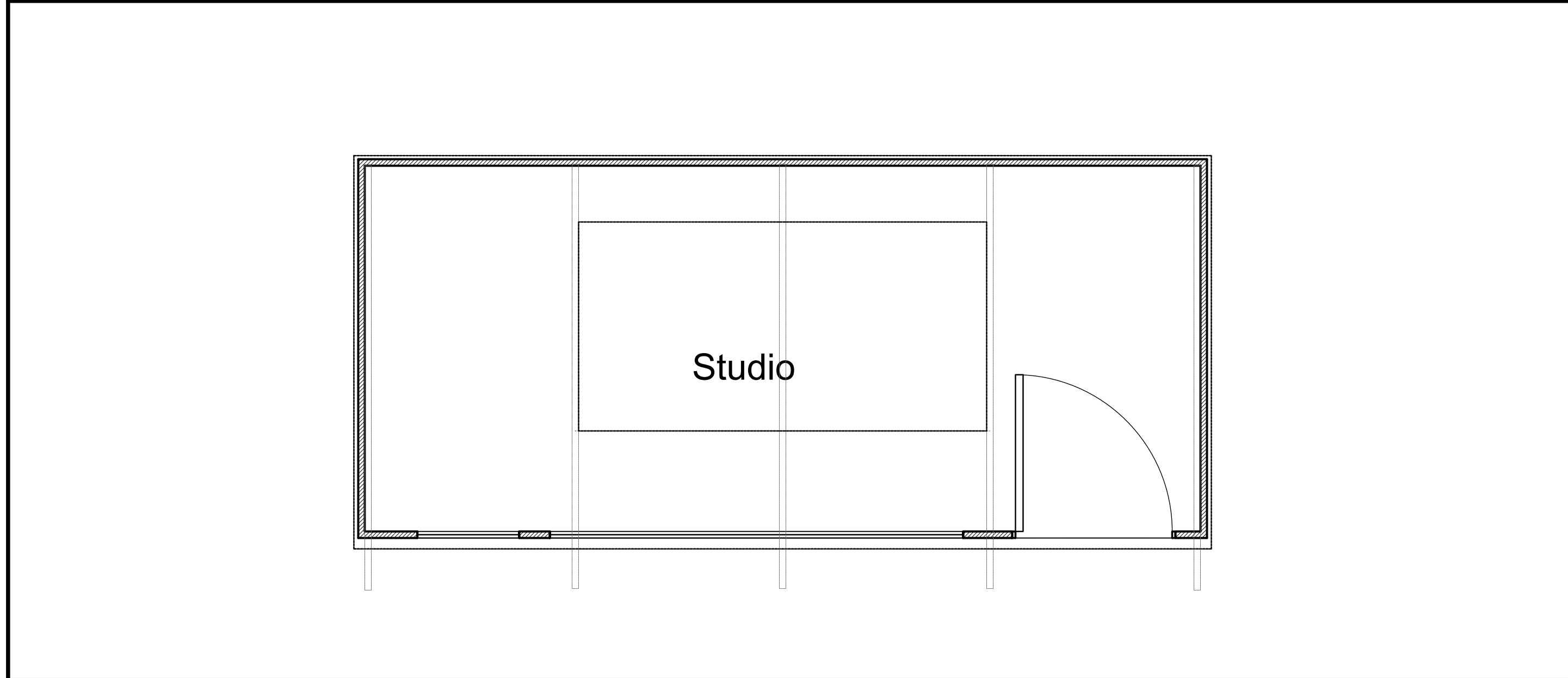
EXISTING ELEVATIONS

Scale: 1/4"=1'-0" 1



PROPOSED ELEVATIONS

Scale: 1/4"=1'-0" 2

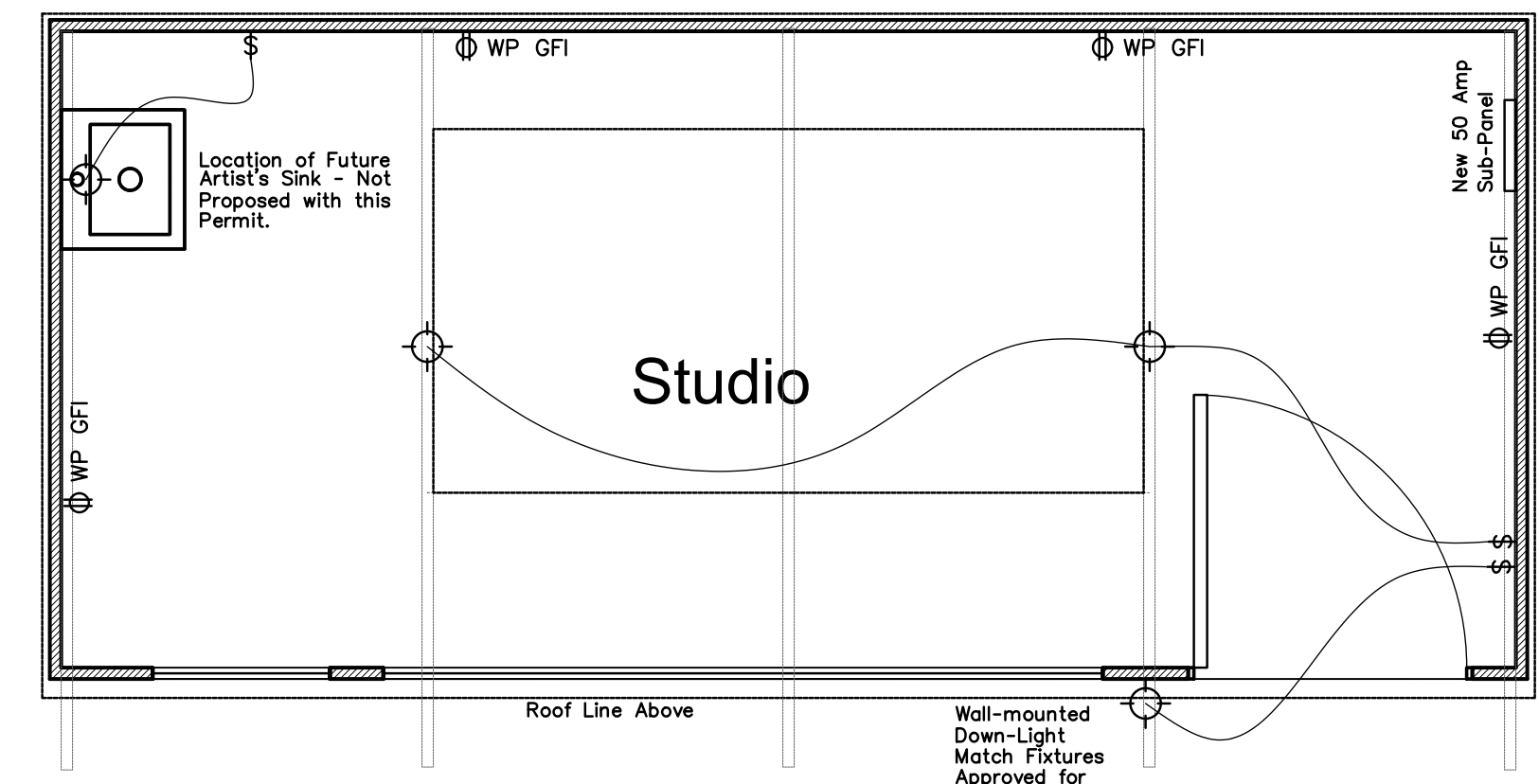


EXISTING FLOOR PLAN

Scale: 1/2"=1'-0" 3

ELECTRICAL SYMBOLS

- ⊕ Duplex Outlet
- ⊕ WP GFI Water-Proof Outlet
- \$ Single Pole Switch
- \$ 3 Three-Way Switch
- ⊕ Wall Mounted LED Fixture
- ⊕ GFI +12 Duplex Outlet with GFI Protection
- ⊕ Ceiling Mounted LED Fixture



ELECTRICAL NOTES

1. OUTDOOR LIGHTING: ALL LUMINARIES TO BE PERMANENTLY MOUNTED TO A DWELLING OR OTHER BUILDINGS ON THE SAME PARCEL SHALL BE HIGH EFFICACY AND BE CONTROLLED BY A MANUAL ON/OFF SWITCH WITH A MOTION SENSOR AND PHOTOCONTROL OR AN ASTRONOMICAL TIME CLOCK PROGRAMMED TO TURN OFF DURING DAYLIGHT HOURS.
3. All outlets in the Studio shall be GFI

PROPOSED FLOOR PLAN - No Changes

Scale: 1/2"=1'-0" 4