



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 20369

Owner Name: SOURS BRIAN FORESTER & MICHELLE MOLINA SOURS TR

Case Planner: Catherine Tarone, Assistant Planner

Date Posted: _____

Date Approved: 01/05/2021

Project Location: Camino Real, 6 NW of 4th Avenue

APN #: 010241028000 **BLOCK/LOT:** MM/ALL LOTS 23 AND 25

Applicant: Steven Krebs

Project Description: 1) On the top floor rear west elevation, the installation of a 3' x 6' master bedroom window, the replacement of two divided light windows with two solid pane windows. 2) A new rear west family room divided light window, the replacement of the oriel windows with solid pane windows. 3) On the south side, the removal of an existing oriel window and installation of French doors. Replace a door with a new divided light window. Extend the existing landing stairs in front of the French doors, install a new exterior light. Replace south dining room window with a new window with no grids. Add new divided light window to the east of the chimney. 4) The replacement of four windows on the north elevation. 5) The installation of a new skylight on the north slope of the roof with an interior shade. 5) The installation of a new gas fire pit in the south brick patio. Plans are available for review at: <https://ci.carmel.ca.us/post/current-planning-applications>

Can this project be appealed to the Coastal Commission? Yes No



DESIGN STUDY PERMIT APPROVAL
20-369 (Sours)
Camino Real, 6 SW of 2nd Street

AUTHORIZATION:

This approval of this Design Study authorizes the following:

1) On the rear west elevation on the top floor, the installation of a new 3' x 6' upper-story window at the master bedroom and the replacement of two divided light windows with two new solid pane windows on the top floor. 2) The installation of a new divided light window on the rear west elevation at the family room and the replacement of the oriel windows with solid pane windows. 3) On the south side elevation, the removal of an existing oriel window and installation of French doors. Replace an existing door with a new divided light window. Extend the existing landing stairs to be in front of the new French doors and install a new exterior light. Replace south dining room window with a new window in the same footprint with no grids. Add new divided light window on the south elevation to the east of the chimney. 4) The replacement of four windows on the north elevation. 5) The installation of a new skylight on the north slope of the roof with an interior shade to prevent glare to neighboring properties. 5) The installation of a new gas fire pit in the south brick patio, 23 feet from the south property line. The project shall be consistent with the 1/5/2021 approved plan set. The Special Conditions of Approval below shall apply to this project.

STANDARD CONDITIONS:

- ✓ **Building Permit.** The applicant shall apply for and obtain a building permit prior to commencing work. Work shall not commence until the 10-day appeal period has ended.
- ✓ **Print Conditions of Approval.** These conditions of approval shall be printed in the building plan set.
- ✓ **811 Ticket Number.** Prior to issuance of the Notice of Authorized Work form, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)
- ✓ **Clearance from Trees.** During construction, no dirt or construction materials or equipment may be placed within 6 feet of the base of any tree.
- ✓ **Tree Roots.** If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may be reached at (831) 620-2073.

- ✓ **Aluminum Clad Wood Frame Windows.** The applicant is permitted to install aluminum clad wood windows. Windows that have been approved with divided lights shall be constructed with imitation divided lights with grids located on the outside and inside of the window. The manufacturer's specifications for the windows shall be included in the construction drawings submitted with the building permit application.
- ✓ **Exterior Lighting.** Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.
- ✓ **Skylights.** All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color. Skylight shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness. The manufacturer's specifications for the skylights and skylight shades shall be included in the construction drawings submitted with the building permit application.
- ✓ **Indemnification Statement.** The applicant agrees, at the applicant's sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Once signed, please return to the Community Planning and Building Department.

GENERAL NOTES

- 1. Contractor to remove abandoned H.V.A.C. Equipment, ductwork, electrical and plumbing lines, if encountered. Cap and identify exposed utilities. Arrange and pay for disconnecting, removing and capping utility services within areas of demolition. Notify landowner and the affected utility company in advance and obtain approval before starting this work.
2. Contractor to remove all abandoned electrical wire and conduit back to panel and all abandoned communication wire and conduit back to nearest junction box.
3. The designer has no knowledge of and shall not be liable for any asbestos or other hazardous materials on the job site. If asbestos or other hazardous materials are discovered during construction, the contractor shall isolate the affected area and contact the landowner for further instructions before proceeding.
4. Contractor to comply with applicable local, state and federal codes and regulations pertaining to safety of persons, property and environmental protection.
5. Do not interfere with use of tenant areas and adjacent buildings. Maintain free and safe passage to such areas.
6. Contractor to erect and maintain dust proof partitions as required to prevent the spread of dust, fumes, smoke, etc. To other parts of the building. On completion, remove partitions and repair damaged surfaces to match adjacent surfaces.
7. Contractor to repair all demolition performed, in excess of that required, at no cost to the owner.
8. Contractor to remove from site, and legally dispose of daily, all refuse, debris, rubbish and other materials resulting from demolition operations. Burning of debris on site shall not be permitted.
9. Contractor to remove tools and equipment from site upon completion of work. Leave contract areas and site clean, orderly and in a condition acceptable for new or other construction.
10. Contractor to notify building manager of any intended coring or trenching of the floor slab or other structural members.

CONDITIONS OF APPROVAL

DS 17-400 (Sours Trust)
Conditions of Approval
November 14, 2017

AUTHORIZATION:

- 1. This approval authorizes the installation of a new 3' x 6' upper-story window on the rear west elevation at the master bedroom, a new lower-story window on the west elevation at the family room to the north of the existing oriol window, a new window and Dutch door at the existing patio and a new lower-story window on the east side of the chimney at the living room to match the existing window on the chimney's west side, the replacement, in the same footprint, of 4 divided light windows with single-pane windows on the rear west elevation at the family room, and the replacement, in the same footprint, of a divided light window on the south elevation with a new single-pane window. Finally, this approval authorizes the installation of a new gas fire pit at the existing south side yard patio located approximately 23 feet from the south property line. Plans are available for public review at the Planning Department. The construction shall be consistent with the November 14, 2017 approved plan set.

SPECIAL CONDITIONS:

- 1. The applicant shall apply for and obtain a building permit prior to commencing work.
2. You are required to install tree protection, which will need to be reviewed and certified by the City Forester, prior to the issuance of the Building Permit.
3. During construction, no dirt or construction materials may be placed within 6 feet of the base of any tree.
4. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may be reached at (831) 620-2073.
5. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information).
6. The applicant agrees, at the applicant's sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior

Track 1 Planning Approval
DS 17-400 (Sours Trust)
November 14, 2017
Page 2

Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.
Acknowledgment and acceptance of conditions of approval.

Once signed, please return the original to the project planner at the Community Planning and Building Department.

WASTE HAULING ROUTE DIRECTIONS. 17.5 MILES

- Head east on 3rd Ave toward Dolores St. 125 ft.
Turn left on the 1st cross street onto Dolores St. 0.5 mi
Sign left onto Serra Ave. 0.3 mi
Turn left onto Center St. 0.1 mi
Turn left onto CA 1 N. 1.83 mi
Take exit 412 for Del Monte Blvd. 0.3 mi
Drive to Charles Stevens Rd. 4 mi (1.3 mi)
Turn right onto Del Monte Blvd. 0.2 mi
Turn left onto Charles Stevens Rd. (Restricted usage road)
Destination will be on the left. 1.1 mi
14201 Del Monte Blvd Marina, CA 93933



BEST MANAGEMENT PRACTICES

Storm Water Pollution Control Requirements for Construction Activities. Minimum Water Quality Protection Requirements for All Development Construction Projects.

- 1. Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheet flow, swales, area drains, natural drainage courses or wind.
2. Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
3. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
4. Non-stormwater runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
5. Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed as solid waste.
6. Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
7. Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
8. Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.

CONSTRUCTION MANAGEMENT PLAN

SOURS RESIDENCE - CONSTRUCTION MANAGEMENT PLAN
APN 010-241-028-000
Brien and Michelle Sours
6 SW 2nd Street on Camino Real

September 20, 2020
Krebs Design Group, LLC has prepared this Construction Management Plan, hereafter referred to as the "CMP," for the purpose of providing a construction management plan for the Sours Residence (Project), located in Carmel, California.

1.0 PROJECT AND SITE DESCRIPTION

The Project is a three story single family residence located in Carmel. The lot is sloped toward the west. The existing residence footprint is not being altered. No grading will be necessary. Excavation for foundation improvements is the only excavation activity, if deemed necessary.

2.0 GENERAL WORK ACTIVITY OVERVIEW

The work covered under this CMP will be conducted in a sequential manner, with some activities being conducted concurrently with others. Depending upon site and other unknown conditions, Contractor's general sequence of work activities may require alteration at any given time. Demolition work and soil remediation activities are addressed under separate management plans. A summary of the general sequence for the work activities is outlined as follows:
• Excavation of undocumented and replacement with engineered fills.
• Local site dewatering for excavation activities, as necessary.
• Installation of rock drains and collection drainage in designated surcharge areas.
• Placement of surcharge fills and settlement monitoring in designated areas.
• Removal of surcharge fills to design grades.

2.1 WORK HOURS AND SCHEDULE

Construction activities shall be conducted between 9:00 a.m. and 6:00 p.m. on weekdays, and 9:00 a.m. to 5:00 p.m. on weekends and holidays. The excavation activities are anticipated to take place during summer and fall 2020 on an intermittent basis.

2.2 EQUIPMENT MATERIAL STAGING AND PARKING

Vehicle and equipment parking will initially be located in the guest parking spaces for the unit; however, staging and parking may occur in other areas of the site during the course of demolition activities. No equipment or worker parking will occur in reserved spaces of other Units, unless written permission is provided by owner or other Unit. All project parking will occur on site. Materials will be staged/in stored in enclosed garage space or residence courtyard.

2.3 HAUL ROUTE/ESTIMATED VEHICULAR TRAFFIC

Vehicular traffic will be confined to one single completed exit and entry point at the existing driveway. Large truck traffic will be limited to two trucks per hour during peak traffic hours defined as 7:30 a.m. to 8:30 a.m. and 2:30 p.m. to 4:00 p.m., Monday through Friday. The specific number of daily truck trips will vary based on phasing and project schedule; however, it is estimated that transport truck traffic will be less than 5 trucks per day. Truck traffic will be routed along Highway Road to Carmel Valley Road.

2.4 CONTAMINATED SOIL MANAGEMENT

No contaminated soil is present at the site.

3.0 HEALTH AND SAFETY

The Contractor shall consider safety and the prevention of accidents an integral part of its operation. Under Federal, State and local laws, Contractor is responsible to provide a safe working environment, and to protect life, health and safety of its employees and subcontractor's personnel. Although providing safe working conditions is primarily a management responsibility, safety and accident prevention can be accomplished only through coordinated efforts of all employees and subcontractor personnel. If the task or service being undertaken cannot be done safely, the Contractor shall discontinue work until proper controls have been established.

4.0 DUST CONTROL MEASURES

Dust control will be considered an important part of the overall project. Contractor will utilize a water truck and/or fire hose attached to a local hydrant during demolition operations. Contractor will direct a localized fine water spray to the source of demolition activities, as required, thereby reducing airborne dust particles. To minimize the run-off of water, the water supply will be used only when necessary. The main mechanism to the control of fugitive dust emissions from construction activities and wind erosion is water, which leads to the formation of a surface crust to reduce the available reservoir of dust. In addition to water, a wide variety of chemical dust suppressants are available to enhance the formation of a surface crust. The effectiveness of wet suppression is dependent on the type of activities occurring, the frequency of watering, and the meteorological conditions.

5.0 PUBLIC STREET PROTECTION AND REPAIR

Contractor shall take reasonable measures to avoid damaging public roadways. Contractor to repair any damage to the streets caused by construction vehicles or activities. Any street paving, curb and sidewalk damaged as the result of work under this Contract, whether within or outside the limits of the Work, shall be repaired or replaced with new matching construction to the satisfaction of the Contractor at the expense and in a manner satisfactory to the Architect and authorities having jurisdiction.

6.0 TREE PROTECTION PLAN

Refer to the Landscape Plan for areas of individual trees and wooded areas to remain. No removal of protected trees or wooded areas. Contractor is responsible for notifying the architect if conditions change such that existing trees are impacted by construction activities. Contractor to cease activity until impact on existing trees can be assessed and approved by regulatory authorities.

7.0 IDENTIFICATION OF TREES AND SHRUBS TO REMAIN

Prior to starting site clearing operations, all areas of trees and shrubs to be saved as noted on the Contract Documents for approval by the Architect.
• Before any clearing is done, the Contractor shall arrange a conference on the site with the Architect to identify trees and shrubs that are to be protected or removed. Do not clearing without clear understanding of existing conditions to be preserved.
• The Contractor shall be responsible for the protection of all existing trees and plants designated to remain for the length of the construction period, including liability for all damages as specified herein. The placement of protection devices additional to those specified shall, however, be at the Contractor's discretion and with no additional cost to the Owner.

8.0 PROTECTION OF EXISTING TREES AND SHRUBS

The Contractor shall make every effort not to damage existing plant materials to remain. The Contractor is required to install protection as necessary to assure undamaged plant material and adjacent conditions.
• Plants as designated to remain shall be protected by the placement of a tree protection fence enclosures around shrubs, or at the drip line of each tree. Place tree protection additionally at other locations where trees and/or shrubs may be jeopardized by construction activities. Tree protection fencing shall be supported with specified stakes at maximum 5 ft. on center intervals.
• Individual trees shall be protected by wiring two 2 in. x 4 in. x 24 in. lumber closely spaced in vertical alignment around the trunk of each tree. No spikes or nails are to be driven into trees.
• Tree protection lumber that is longer than 24 inches and does not closely follow the tree trunk and its flares shall not be accepted.

FIRE DEPARTMENT NOTES

FIREB19 - Defensible Space Requirements - (Standard)

Manage combustible vegetation from within a minimum of 100 feet of structures, or to the property line, whichever is closer. Trim tree limbs to a minimum height of 6 feet from the ground. Remove tree limbs from within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection.

FIRE SPRINKLERS REQUIRED

FIREB21 - Fire Protection Equipment & Systems - Fire Sprinkler System (Standard)
The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection.

WALL CALCULATIONS

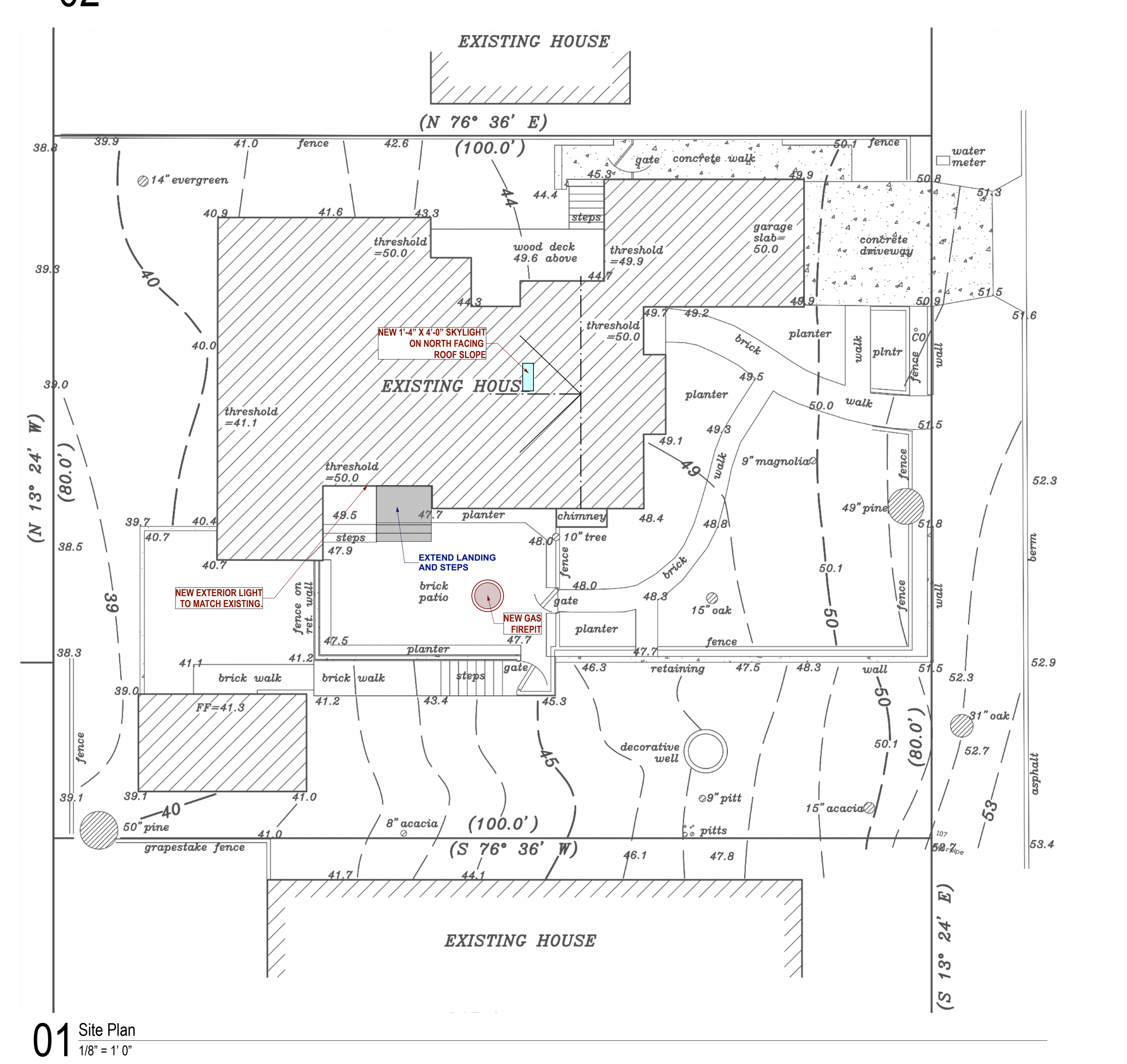
Table with 2 columns: Area (LF) and Description. Includes rows for Existing Exterior Walls (580 LF), Existing Interior Walls (367 LF), Total Ext and Int Walls (947 LF), Alteration to exterior Walls (13 LF), Alteration of Int. Walls (202 LF), Total alteration of ext and Int Walls (215 LF), and Percentage of altered walls (23%).

23% less than 50%, therefore
FIRE SPRINKLERS ARE NOT REQUIRED

02 Proposed South Elevation



01 Site Plan



01 Site Plan
1/8" = 1' 0"

SOURS RESIDENCE REMODEL
6SW 2nd Street on Camino Real

SHEET INDEX

Table with 2 columns: Sheet Number and Description. Includes sheets for Architectural (01-04), Project Codes, Project Description, Property Data, and Planning Department.

PROJECT CODES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES AND ASSOCIATED COUNTY OF MONTEREY AMENDMENTS:
-2019 CALIFORNIA RESIDENTIAL CODE
-2019 CALIFORNIA BUILDING CODE
-2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
-2019 CALIFORNIA ELECTRICAL CODE
-2019 CALIFORNIA MECHANICAL CODE
-2019 CALIFORNIA PLUMBING CODE
-2019 CALIFORNIA FIRE CODE
-2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

PROJECT DESCRIPTION

TRACK 1 APPROVAL DS17-400 (Sours), 500 SF REMODEL.

NO CHANGE TO FOOTPRINT, BUILDING VOLUME, SQUARE FOOTAGE, SITE COVERAGE, EXTERIOR COLORS, EXTERIOR FINISHES, LANDSCAPING, OR WATER FIXTURE CREDITS.

PROPERTY DATA

OWNER: BRIAN & MICHELLE SOURS TRUST
ADDRESS: PO BOX 2424 CARMEL CA 93921
LOT SIZE: 8000 SF
BUILDING SQUARE FOOTAGE: 1984 SF
ZONING / OCCUPANCY: R-1
TYPE OF CONSTRUCTION: V-B
NUMBER OF STORIES: TWO
WATER SOURCE: CAL AM
SEWER SYSTEM: SEWER

BUILDING FOOTAGES:

RESIDENCE: 1455 SF 1st Floor, 555 SF 2nd Floor, 565 SF Lower Floor, 2575 SF Total Living Area

OUT BUILDING

213 SF Shed

PLANNING DEPARTMENT

The proposed project shall be constructed in accordance with the project plans for:
Track 1 Design Study Approval DS 17-400 (Sours) dated 11/14/2017.
See CONDITIONS OF APPROVAL, Sheet A1.

* Property identified as NEELIGIBLE for the Carmel Inventory of Historic Resources.

DEFERRED SUBMITTALS

- 1. Plumbing system plans, specifications, and calculations.
2. Mechanical system plans, specifications, and calculations.
3. Electrical system plans, specifications, and calculations.

PROJECT TEAM

KREBS DESIGN GROUP, LLC
RESIDENTIAL DESIGN STUDIO
STEVEN KREBS :: steven@krebdesigngroup.com
PO BOX 23325, CARMEL, CA 93922
831-626-8082
ARZ STRUCTURAL ENGINEERING
ADAM RENDON, PE
6660 KIN AN LANE, PRUNEDA, CA 93907
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KDG Krebs Design Group, LLC
Residential Design Studio
Carmel, CA
831-626-8082
SOURS RESIDENCE REMODEL
6SW 2nd street on Camino Real
APN: 010-241-028

Sheet Title: Site Development Plan, Cnstr. Management Plan, Fire Dept. Notes, Best Management Practices
Sheet Number: 01

ELECTRICAL NOTES

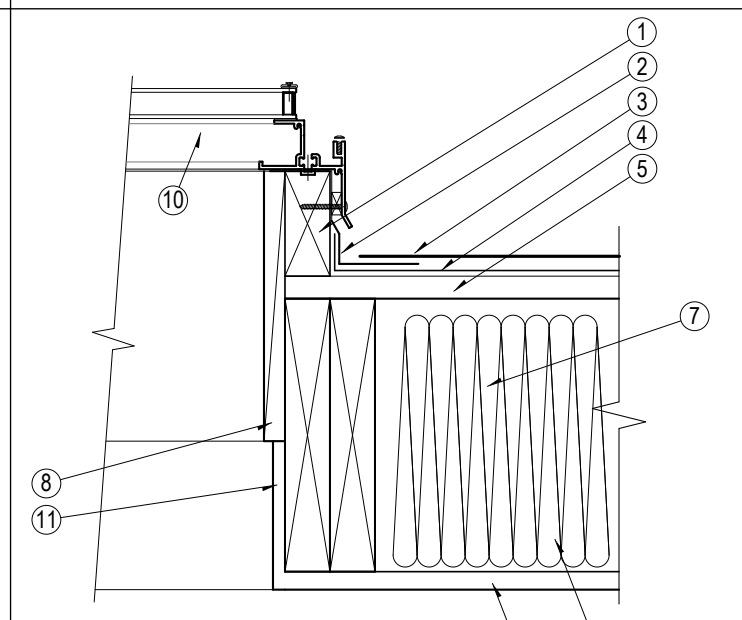
- GROUND FAULT INTERRUPTOR (GFI) - ALL ELECTRICAL CONVENIENCE OUTLETS LOCATED IN KITCHENS, BATHROOMS, LAUNDRY ROOMS, GARAGES AND AT ALL EXTERIOR LOCATIONS SHALL COMPLY WITH GROUND-FAULT INTERRUPTOR PROTECTION REQUIREMENTS OF THE CA ELECTRICAL CODE. KITCHEN COUNTER OUTLETS SHALL BE SPACED SO THAT NO POINT ALONG THE WALL LINE OF THE COUNTER IS MORE THAN 2'-0" FROM AN ELECTRICAL OUTLET.
- EXTERIOR CONVENIENCE OUTLETS (WP/GFCI) SHALL BE LOCATED AT THE FRONT AND REAR OF THE RESIDENCE. ALL ELECTRICAL CONVENIENCE OUTLETS AT ALL EXTERIOR LOCATIONS SHALL COMPLY WITH WATER-PROOF HOUSING AND GROUND-FAULT INTERRUPTOR PROTECTION REQUIREMENTS OF THE CALIFORNIA ELECTRICAL CODE.
- ARC FAULT INTERRUPTOR CIRCUIT (AFCI) - ALL ELECTRICAL LIGHTING AND CONVENIENCE OUTLETS LOCATED IN BEDROOMS SHALL BE ON CIRCUIT BREAKERS THAT COMPLY WITH ARC-FAULT INTERRUPTOR PROTECTION REQUIREMENTS OF THE CALIFORNIA ELECTRICAL CODE.
- SMOKE DETECTORS AND CO ALARMS - ALL SMOKE DETECTORS AND OTHER ALARMS SHALL BE HARD WIRED TO A DEDICATED 110-VOLT CIRCUIT. EACH SMOKE DETECTOR SHALL HAVE A 9-VOLT BATTERY BACK-UP POWER SOURCE. CO ALARMS SHALL BE LISTED AS COMPLYING WITH UL 2034, UL 2075 AND INSTALLED IN ACCORDANCE WITH CRC AND THE CURRENT EDITION OF NFPA 720 AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. CRC R315.3
- SMOKE DETECTORS: AN APPROVED SMOKE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. SMOKE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH SLEEPING AND EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED SMOKE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. ADDITIONS OR REPAIRS WITH A VALUATION OF \$1,000 OR MORE REQUIRE THAT SMOKE DETECTORS BE INSTALLED IN DWELLING UNITS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY BY 24" OR MORE, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL SOUND AN ALARM IN ALL SLEEPING AREAS. (REFER TO 2016 RESIDENTIAL CODE FOR SMOKE DETECTORS)
- CARBON MONOXIDE DETECTORS: AN APPROVED CARBON MONOXIDE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. CARBON MONOXIDE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED CARBON MONOXIDE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN THE HALLWAY. DETECTORS SHALL SOUND AN ALARM IN AREAS LOCATED NEAR SLEEPING AREAS. (REFER TO 2016 CALIFORNIA RESIDENTIAL CODE FOR CARBON MONOXIDE DETECTORS, SECTION R315)
- AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (CEC 210.11(C)(3)). OTHER EQUIPMENT (LIGHTING, EXHAUST FANS), WITHIN THE SAME BATHROOM, MAY BE SUPPLIED BY THE SAME BRANCH CIRCUIT WHERE THE BRANCH CIRCUIT SUPPLIES A SINGLE BATHROOM ONLY.
- AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS.
- MULTI-WIRE BRANCHED CIRCUITS SHALL BE PROVIDED WITH MEANS TO SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES.
- RESIDENCE SHALL BE FULLY PROTECTED WITH AN APPROVED HOUSEHOLD FIRE WARNING SYSTEM AS DEFINED BY NFPA 72, AND APPROVED UNDER SEPARATE PERMIT SUBMITTAL.
- CLOTHES DRYER SHALL HAVE A 4-WIRE GROUNDED ELECTRICAL OUTLET.
- INSTALL UFER GROUNDING FOR THE 200 AMP ELECTRICAL SERVICE PER NEC 250-50(c).

ELECTRICAL PLAN NOTES

- PERMANENTLY INSTALLED LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY LUMINAIRES. UP TO 50% OF THE TOTAL RATED WATTAGE OF PERMANENTLY INSTALLED LUMINAIRES IN KITCHENS MAY BE LUMINAIRES THAT ARE NOT HIGH EFFICACY LUMINAIRES, PROVIDED THAT THE SEQUENCES ARE CONTROLLED BY SWITCHES SEPARATE FROM THOSE CONTROLLING THE HIGH EFFICACY LUMINAIRES. THE WATTAGE OF HIGH EFFICACY LUMINAIRES SHALL BE THE TOTAL NOMINAL RATED WATTAGE OF THE INSTALLED HIGH EFFICACY LAMPS. (PART 6, CHAPTER 7, SECTION 150(K)(2))
- PERMANENTLY INSTALLED LIGHTING IN BATHROOM, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES OR A MANUAL-ON OCCUPANT SENSOR MUST CONTROL IT. (PARTS CHAPTER SECTION 50(K)(3))
- PERMANENTLY INSTALLED LIGHT OTHER THAN IN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS (EXCEPT CLOSETS LESS THAN 70SQ.FT.) SHALL BE HIGH EFFICACY OR A DIMMER MUST CONTROL IT. (PARTS CHAPTER SECTION 50(K)(4))
- OUTDOOR LIGHTING ATTACHED TO A BUILDING MUST BE HIGH EFFICACY, OR CONTROLLED BY A MOTION SENSOR WITH INTEGRAL PHOTOCONTROL. MOTION SENSORS USED IN CONJUNCTION WITH OUTDOOR LIGHTING LUMINAIRES SHOULD HAVE THE CAPABILITY OF TURNING THE LIGHTS ON AUTOMATICALLY. (PARTS SECTION 50(K)(5))
- ALL 125-VOLT, 15-AND 20-AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.11.
- ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED PER CEC 210.12(B)
- CONTRACTOR SHALL LABEL WHOLE HOUSE VENTILATION SYSTEM AND PROVIDE INSTRUCTIONS ON ITS USE.

PLUMBING NOTES

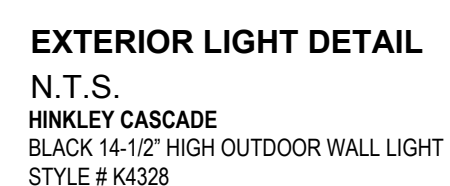
- SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD, NON-ABSORBANT SURFACE TO A HEIGHT OF 7'-0" MIN. ABOVE THE DRAIN INLET (SECTION 8071.3, CBC).
- ALL HOSE BIBS SHALL USE NON-REMOVABLE BACKFLOW PREVENTION DEVICES (CPC 603.3.7)
- USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE AT THE SHOWERS AND TUB-SHOWER COMBINATION.
- ALL HOT WATER FAUCETS THAT HAVE MORE THAN 10 FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM. (SECTION 6 (Q), ORD. 3522)
- ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUT-OFF NOZZLE. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
- THE HOT WATER PLUMBING SYSTEM SHALL BE RECIRCULATING HOT WATER SYSTEM.
- IN ADDITION TO THE REQUIRED PRESSURE OR COMBINATION PRESSURE AND TEMPERATURE RELIEF VALVE, AN APPROVED, LISTED EXPANSION TANK OR OTHER DEVICE DESIGNED FOR INTERMITTENT OPERATION FOR THERMAL EXPANSION CONTROL SHALL BE INSTALLED WHEN ANY DEVICE IS INSTALLED THAT PREVENTS PRESSURE RELIEF THROUGHOUT THE BUILDING SUPPLY. (CPC 608.3)



SKYLIGHT DETAIL
scale: 1'-1/2" = 1' 0"

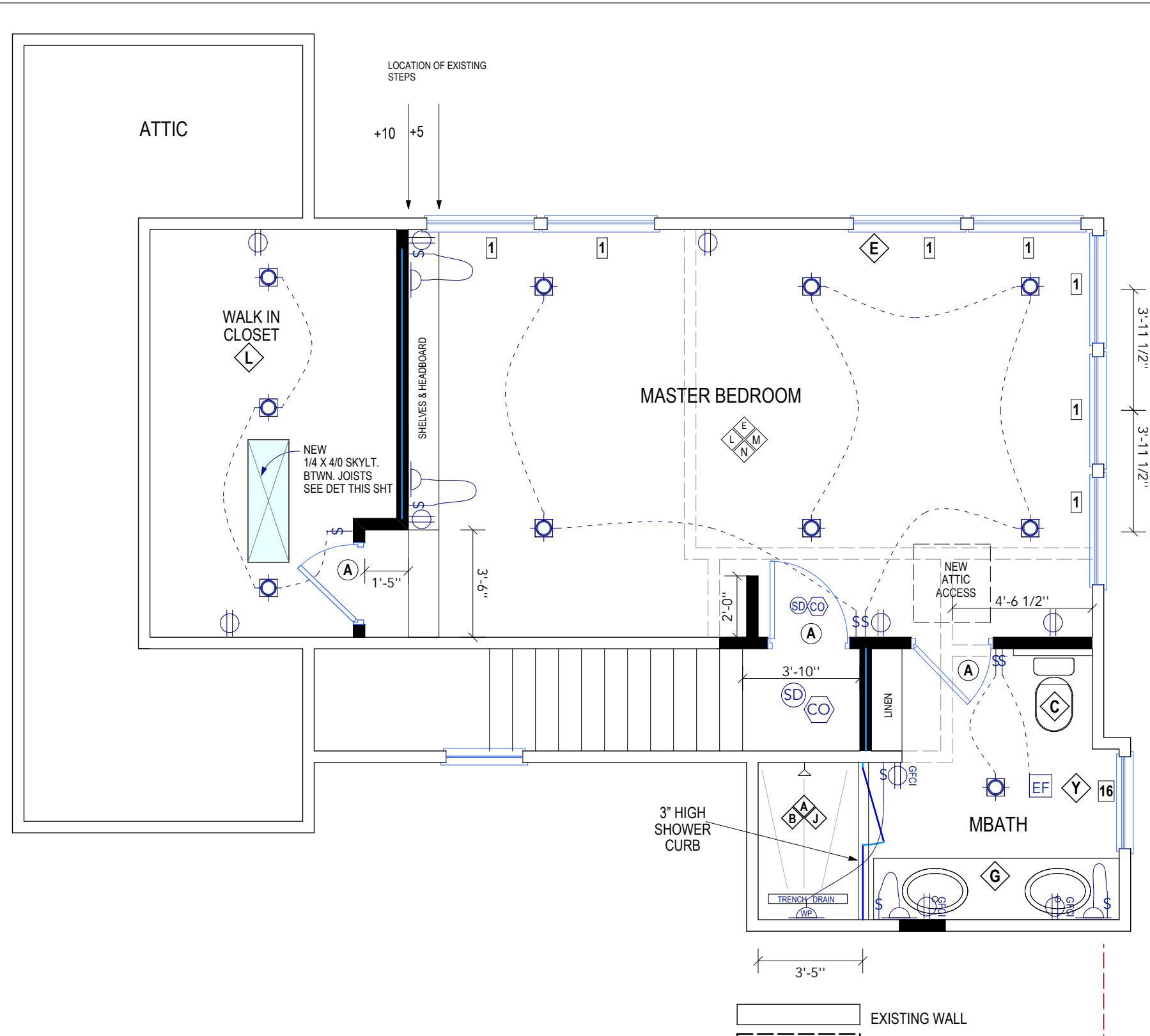
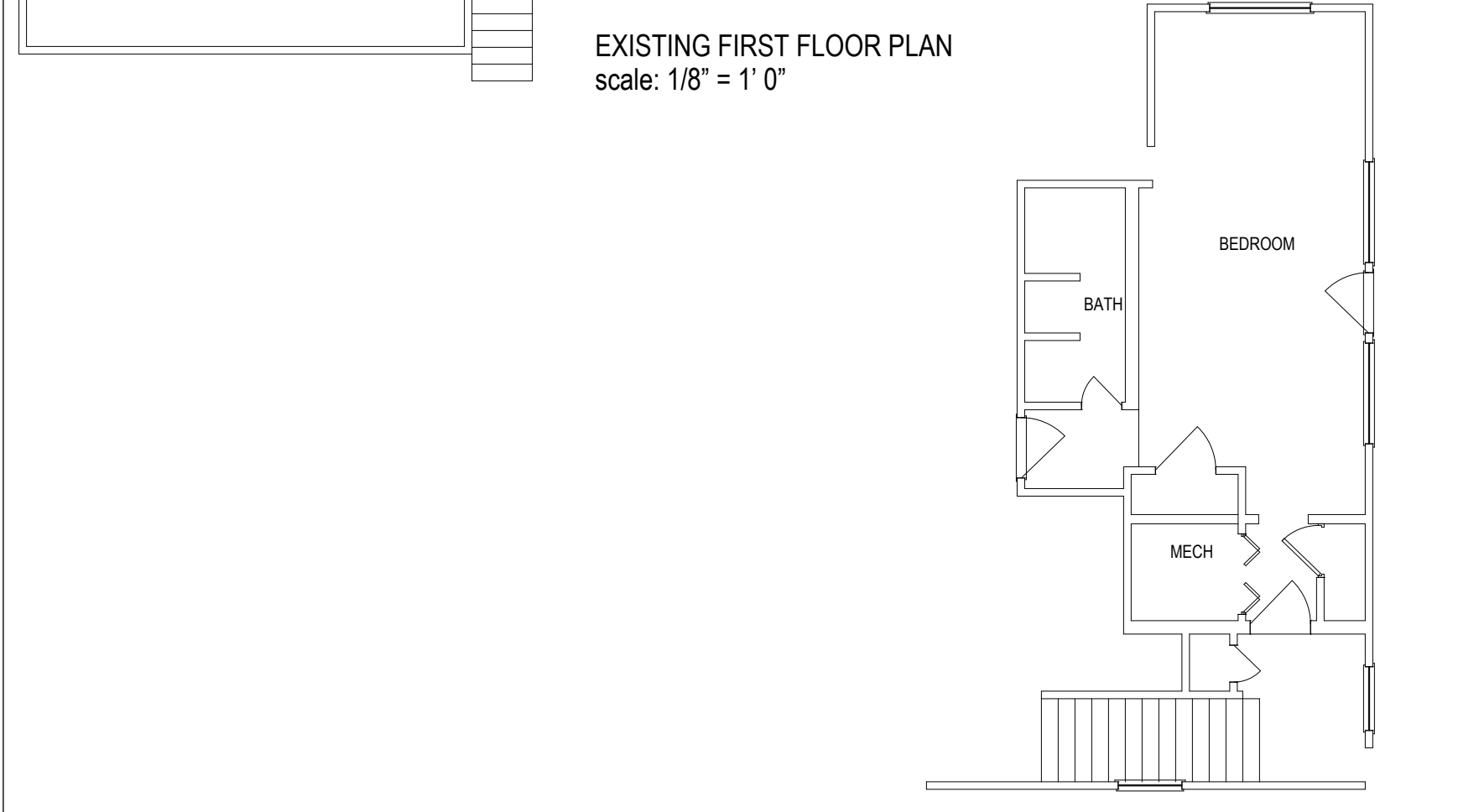
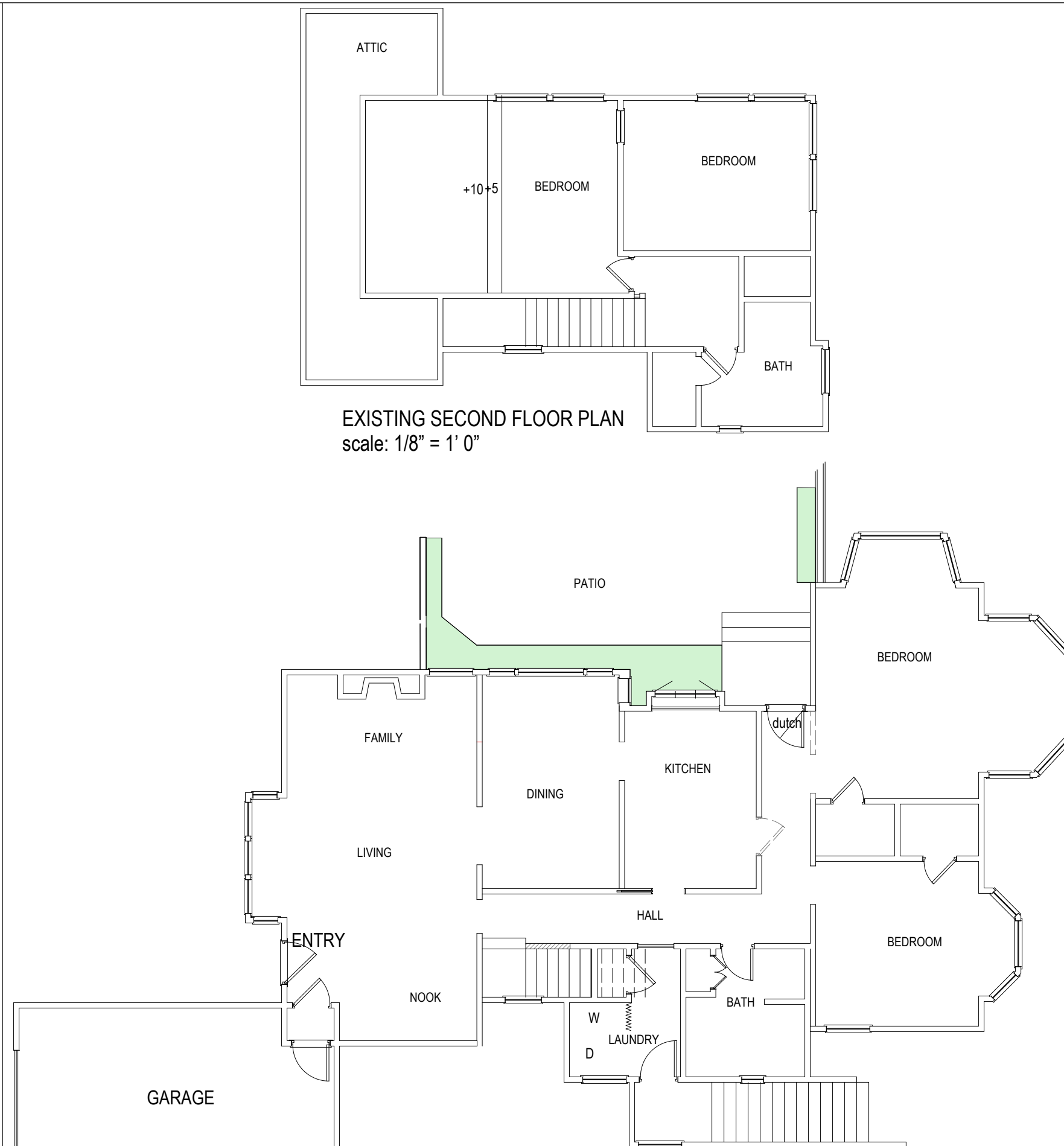
- 2x8 CLOAKING
- FLASHING
- EXISTING ROOFING
- 3/8" ROOFING FELT
- 1/2" PLYWOOD
- RUBBBER INSULATION
- 2X12 RAFTER
- 4" X 1/2" FINE FRM
- 5/8" GNB TAPED & TEXTURED
- MIL GUARD FIXED SKYLIGHT
- 1/2" GNB TAPED & TEXTURED

- SKYLIGHT NOTES**
- PROVIDE INTERIOR SHADES
 - SKYLIGHTS TO BE FLAT, NOT DOME AND NOT HAVE A REFLECTIVE FINISH.
 - SKYLIGHT FLASHING TO BE PAINTED THE COLOR OF THE ROOF.

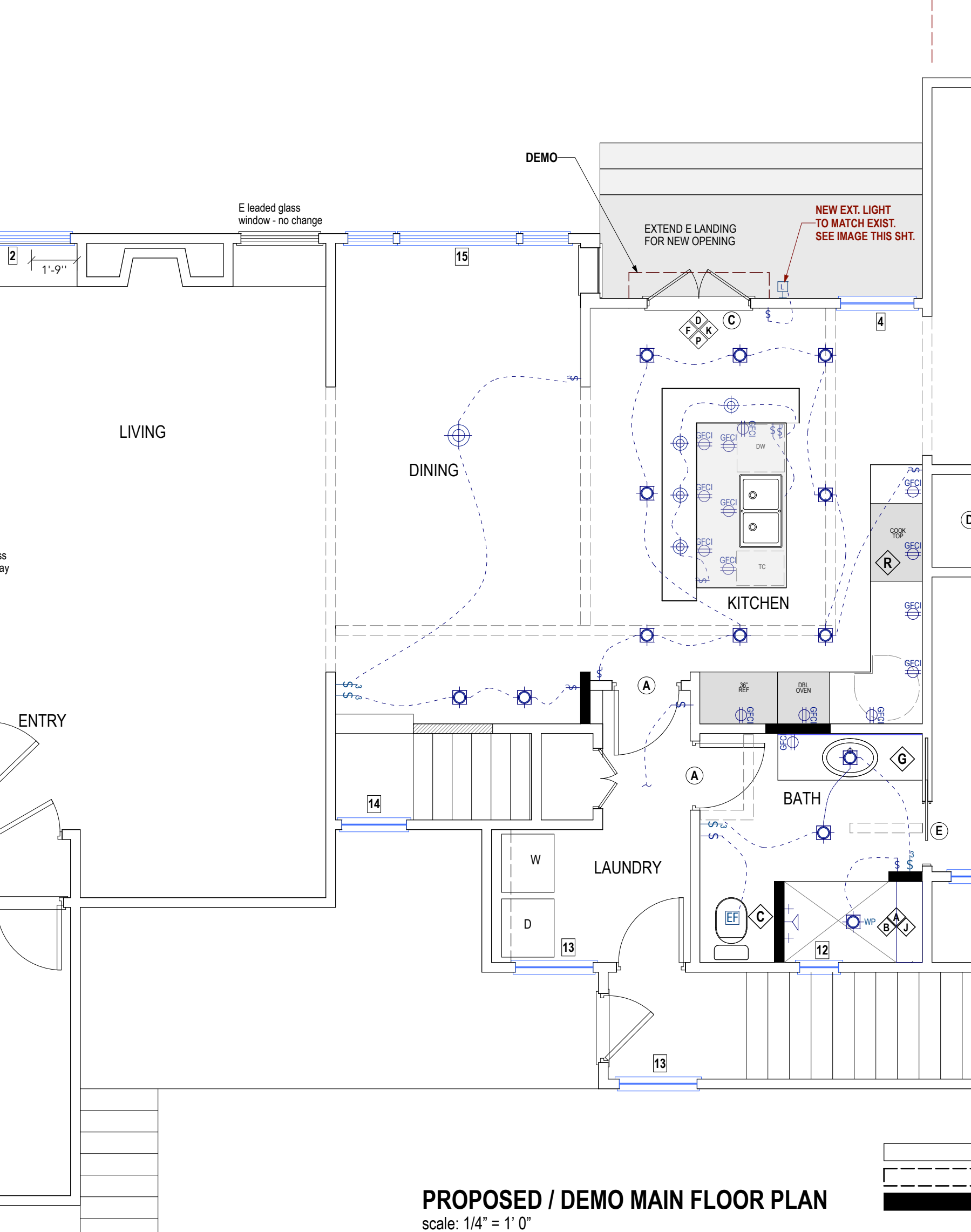


EXTERIOR LIGHT DETAIL
N.T.S.
HINKLEY CASCADE
BLACK 14-1/2" HIGH OUTDOOR WALL LIGHT
STYLE # K4326

- EXTERIOR LIGHT NOTES**
- EXT. LIGHT TO BE ENTIRELY SHIELDED AND DOWN FACING AND WILL BE LIMITED TO 375 LUMENS IN BRIGHTNESS.



PROPOSED / DEMO SECOND FLOOR PLAN
scale: 1/4" = 1' 0"



PROPOSED / DEMO MAIN FLOOR PLAN
scale: 1/4" = 1' 0"

- Only new electrical is shown. Contractor to field check existing electrical meter, panels, outlet and fixtures and update to 2019 Electrical Codes as needed.

ELECTRICAL LEGEND

- recessed can
- recessed dir. can
- surface mount
- pendant
- wall mount downlight
- Under cabinet light strip
- Backlighting @ mirror
- int. wall mount
- ext. wall mount LED, max 375 lumens
- ext. wall mount LED, motor sensor max 375 lumens

NOTE: Exterior lighting not to exceed 25 watts (incandescent equivalent) and may not exceed 375 lumens in power per fixture. No lighting may be higher than 10' above the ground and must be down lighting.

- exhaust fan / light
- switch dimmer UNO (Unless Noted Otherwise)
- 110v quad outlet (AFCI, unless noted as GFCI or GFCIWP)
- 110v duplex outlet (AFCI, unless noted as GFCI or GFCIWP)
- 220v outlet
- smoke detector
- carbon monoxide (CO) alarms. CO alarms shall be listed as complying with UL 2034, UL 2075 and installed in accordance with CRC and the current edition of NFPA 720 and manufacturer's installation instructions. CRC R315.3

EXTERIOR LIGHTING NOTES

- ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING SHALL BE NO HIGHER THAN 10 FEET ABOVE THE GROUND, AND MUST BE DOWNLIGHTING, AND MUST NOT EXCEED 25 WATTS (INCANDESCENT EQUIVALENT), I.E. APPROXIMATELY 375 LUMENS IN POWER PER FIXTURE.
- LANDSCAPE LIGHTING SHALL NOT EXCEED 16 INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT), I.E. APPROXIMATELY 225 LUMENS PER FIXTURE AND SHALL BE SPACED NO CLOSER THAN 10 FEET APART. LANDSCAPE LIGHTING SHALL NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.
- ALL EXTERIOR LIGHTING WILL BE DIRECTED TOWARD MUNICIPAL PROPERTY.
- FLOOD-TYPE LIGHTING WILL NOT BE USED.

FLOOR PLAN CALLOUTS

- A ALL SHOWERS SHALL BE FINISHED WITH A SMOOTH, HARD, NON-ABSORBENT SURFACE TO A MIN. HT OF 7'-0" ABOVE DRAIN INLET AND A MIN. 3/8" DIA. PER CRC CODE. KITCHEN COUNTER OUTLETS SHALL BE SPACED SO THAT NO POINT ALONG THE WALL LINE OF THE COUNTER IS MORE THAN 2'-0" FROM AN ELECTRICAL OUTLET.
- EXTERIOR CONVENIENCE OUTLETS (WP/GFCI) SHALL BE LOCATED AT THE FRONT AND REAR OF THE RESIDENCE. ALL ELECTRICAL CONVENIENCE OUTLETS AT ALL EXTERIOR LOCATIONS SHALL COMPLY WITH WATER-PROOF HOUSING AND GROUND-FAULT INTERRUPTOR PROTECTION REQUIREMENTS OF THE CALIFORNIA ELECTRICAL CODE.
- ARC FAULT INTERRUPTOR CIRCUIT (AFCI) - ALL ELECTRICAL LIGHTING AND CONVENIENCE OUTLETS LOCATED IN BEDROOMS SHALL BE ON CIRCUIT BREAKERS THAT COMPLY WITH ARC-FAULT INTERRUPTOR PROTECTION REQUIREMENTS OF THE CALIFORNIA ELECTRICAL CODE.
- SMOKE DETECTORS AND CO ALARMS - ALL SMOKE DETECTORS AND OTHER ALARMS SHALL BE HARD WIRED TO A DEDICATED 110-VOLT CIRCUIT. EACH SMOKE DETECTOR SHALL HAVE A 9-VOLT BATTERY BACK-UP POWER SOURCE. CO ALARMS SHALL BE LISTED AS COMPLYING WITH UL 2034, UL 2075 AND INSTALLED IN ACCORDANCE WITH CRC AND THE CURRENT EDITION OF NFPA 720 AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. CRC R315.3
- SMOKE DETECTORS: AN APPROVED SMOKE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. SMOKE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH SLEEPING AND EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED SMOKE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. ADDITIONS OR REPAIRS WITH A VALUATION OF \$1,000 OR MORE REQUIRE THAT SMOKE DETECTORS BE INSTALLED IN DWELLING UNITS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY BY 24" OR MORE, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL SOUND AN ALARM IN ALL SLEEPING AREAS. (REFER TO 2016 RESIDENTIAL CODE FOR SMOKE DETECTORS)
- CARBON MONOXIDE DETECTORS: AN APPROVED CARBON MONOXIDE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. CARBON MONOXIDE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED CARBON MONOXIDE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN THE HALLWAY. DETECTORS SHALL SOUND AN ALARM IN AREAS LOCATED NEAR SLEEPING AREAS. (REFER TO 2016 CALIFORNIA RESIDENTIAL CODE FOR CARBON MONOXIDE DETECTORS, SECTION R315)
- AT LEAST ONE 20AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (CEC 210.11(C)(3)). OTHER EQUIPMENT (LIGHTING, EXHAUST FANS), WITHIN THE SAME BATHROOM, MAY BE SUPPLIED BY THE SAME BRANCH CIRCUIT WHERE THE BRANCH CIRCUIT SUPPLIES A SINGLE BATHROOM ONLY.
- AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS.
- MULTI-WIRE BRANCHED CIRCUITS SHALL BE PROVIDED WITH MEANS TO SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES.
- RESIDENCE SHALL BE FULLY PROTECTED WITH AN APPROVED HOUSEHOLD FIRE WARNING SYSTEM AS DEFINED BY NFPA 72, AND APPROVED UNDER SEPARATE PERMIT SUBMITTAL.
- CLOTHES DRYER SHALL HAVE A 4-WIRE GROUNDED ELECTRICAL OUTLET.
- INSTALL UFER GROUNDING FOR THE 200 AMP ELECTRICAL SERVICE PER NEC 250-50(c).

FIXTURE FLOW RATE REQUIREMENTS:

FIXTURE	FLOW RATE
RESIDENTIAL WATER CLOSETS	1.28 GALLON PER FLUSH MAXIMUM
SHOWERHEAD FLOW	2.0 GALLON PER MINUTE AT 80 PSI
LAVATORY / SINK FIXTURE	1.2 GALLON PER MINUTE AT 60 PSI
KITCHEN FAUCETS	2.2 GALLON PER MINUTE AT 60 PSI

NON COMPLIANT FIXTURES MEAN ANY OF THE FOLLOWING:
RESIDENTIAL:
ANY TOILET MPD TO USE MORE THAN 1.6 GAL. OF WATER PER FLUSH
ANY SHOWERHEAD MANUFACTURED WITH 2.5 GALLONS PER MINUTE
ANY INTERIOR FAUCET THAT EMITS MORE THAN 2.2 GALLONS PER MINUTE.

DOOR SCHEDULE

TAG	QTY	SIZE	DESCRIPTION
A	3	28X68	INT SWING
B	1	410X68	INT BYPASS
C	1	410X68	FRENCH DR'S.
D	1	24X68	DRS. DR'S.
E	1	28X68	POCKET DR.

EXTERIOR DOOR TYPE:
MARVIN aluminum-clad wood door. Traditional Style.

- HARDWARE FOR DOORS, BUTTS, LOCKSETS, DOOR STOPS, WEATHER STRIPPING, ETC. MUST MATCH EXISTING.
- NEW INTERIOR DOORS TO BE WOOD. TO MATCH EXISTING. RE-USE DEMOLITION PHASE INTERIOR DOORS AS NOTED.
- NEW EXTERIOR DOOR TO BE MARVIN ALUMINUM CLAD WOOD DOOR
- GLAZING WITHIN 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR AND LESS THAN 5' FROM WALKING SURFACES SHALL BE SAFELY GLAZED [CRC R308.4 (2)]
- EGRESS DOORS MARKED ON PLANS AS KEY 'E' IN ACCORDANCE WITH CRC R310.

WINDOW SCHEDULE

TAG	QTY	SIZE	DESCRIPTION
1	7	30x42	DOUBLE CASEMENT, WEST FACING, NO GRID
2	1	30x50	CASEMENT
3	1	19x48	CASEMENT
4	6	270x48	CASEMENT, NO GRID
5	2	34x48	CASEMENT, NO GRID
6	1	410x48	FIXED, NO GRID
7	1	32x48	FIXED, NO GRID
8	1	30x48	CASEMENT
9	1	30x48	FIXED
10	2	23x48	CASEMENT
11	1	30x48	FIXED
12	1	18x16	CASEMENT
13	2	30x30	FIXED
14	2	26x30	FIXED
15	1	86x58	YOK, NO GRID
16	1	30x42	CASEMENT

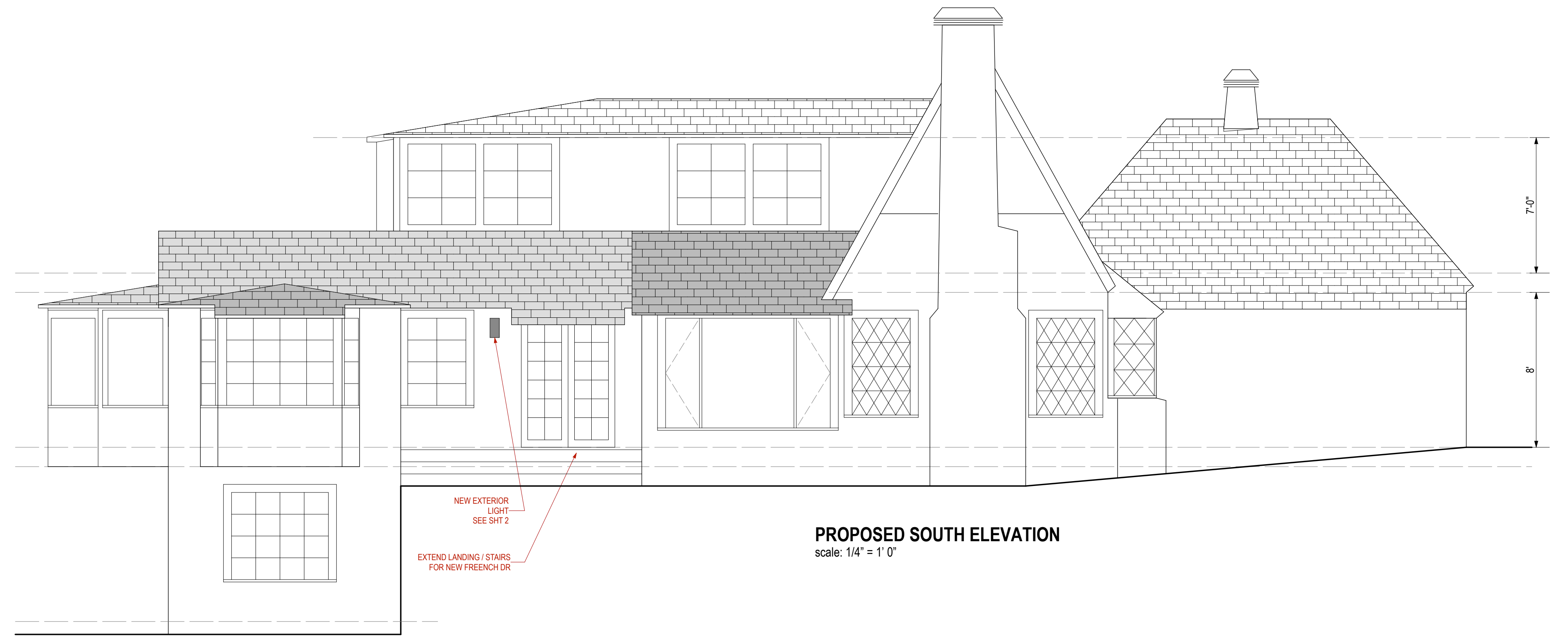
CONTRACTOR TO FIELD CHECK OPENINGS FOR REPLACEMENT WINDOWS.
WINDOW TYPE:
Marvin aluminum-clad wood windows. Traditional Style.

- Replace all windows on main and upper floors except the leaded glass windows. All windows with grids to have the grids on the exterior and interior of the windows.
- Exterior windows, window walls, glazed doors and glazed opening within exterior doors shall be insulating glass units with a min. of one tempered pane or glass block units or have a fire-resistance rating of not less than 20 minutes.
 - Glazing shall be clear, insulating, tempered safety glazing where required by CBC chapter 24.
 - All windows to be unclad wood, clear double insulating glazing. Operable windows to have screens.
 - Egress windows marked on plans as key 'E' in accordance with CRC R310.
 - Glazing within a 24" arc of either vertical edge of the door and less than 5' from walking surfaces shall be safely glazed [CRC R308.4 (2)].

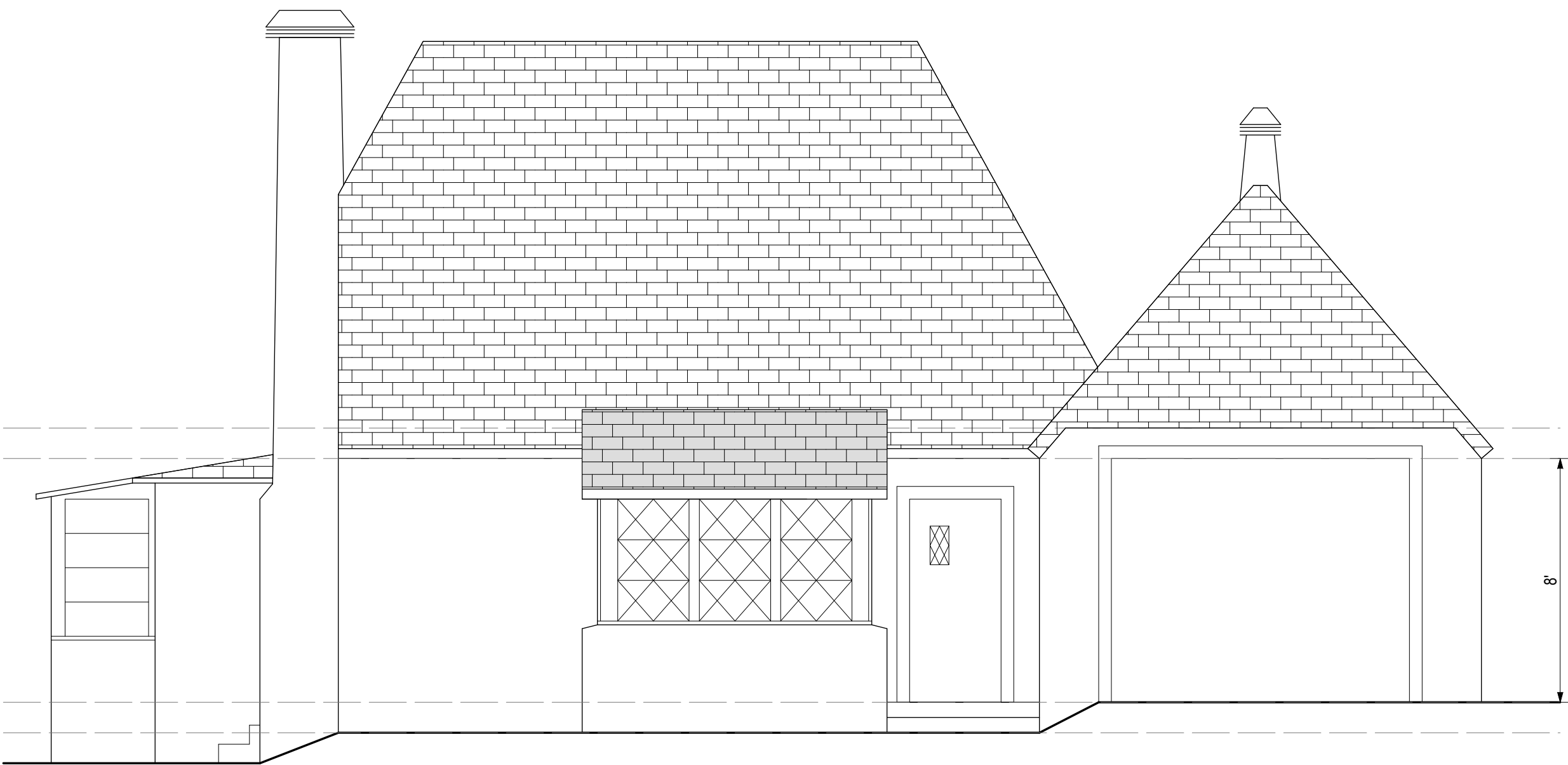
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831-626-8082

SOURS RESIDENCE REMODEL
6SW 2ND Street on Camino Real
APN: 010-241-028

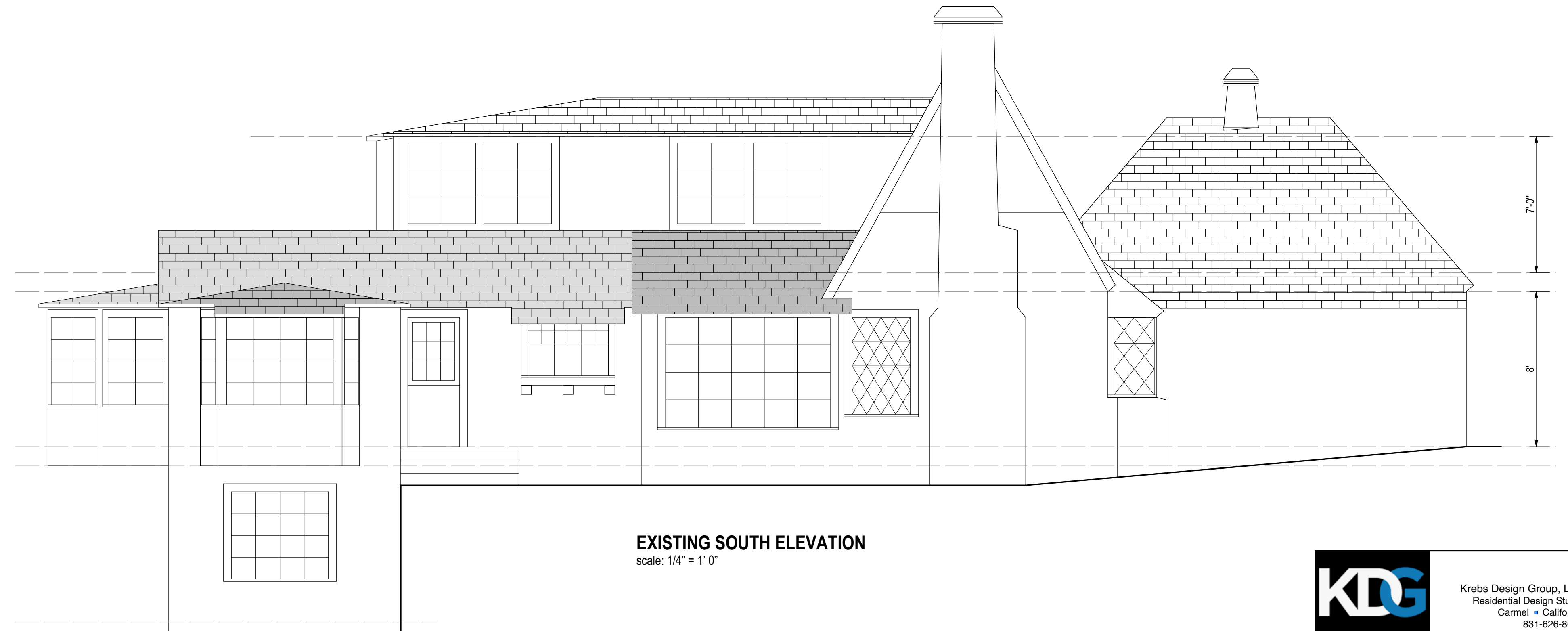
Show Title: Existing Floor Plan
Proposed Floor Plan



PROPOSED SOUTH ELEVATION
scale: 1/4" = 1' 0"



EXISTING EAST ELEVATION
scale: 1/4" = 1' 0"
NO CHANGE

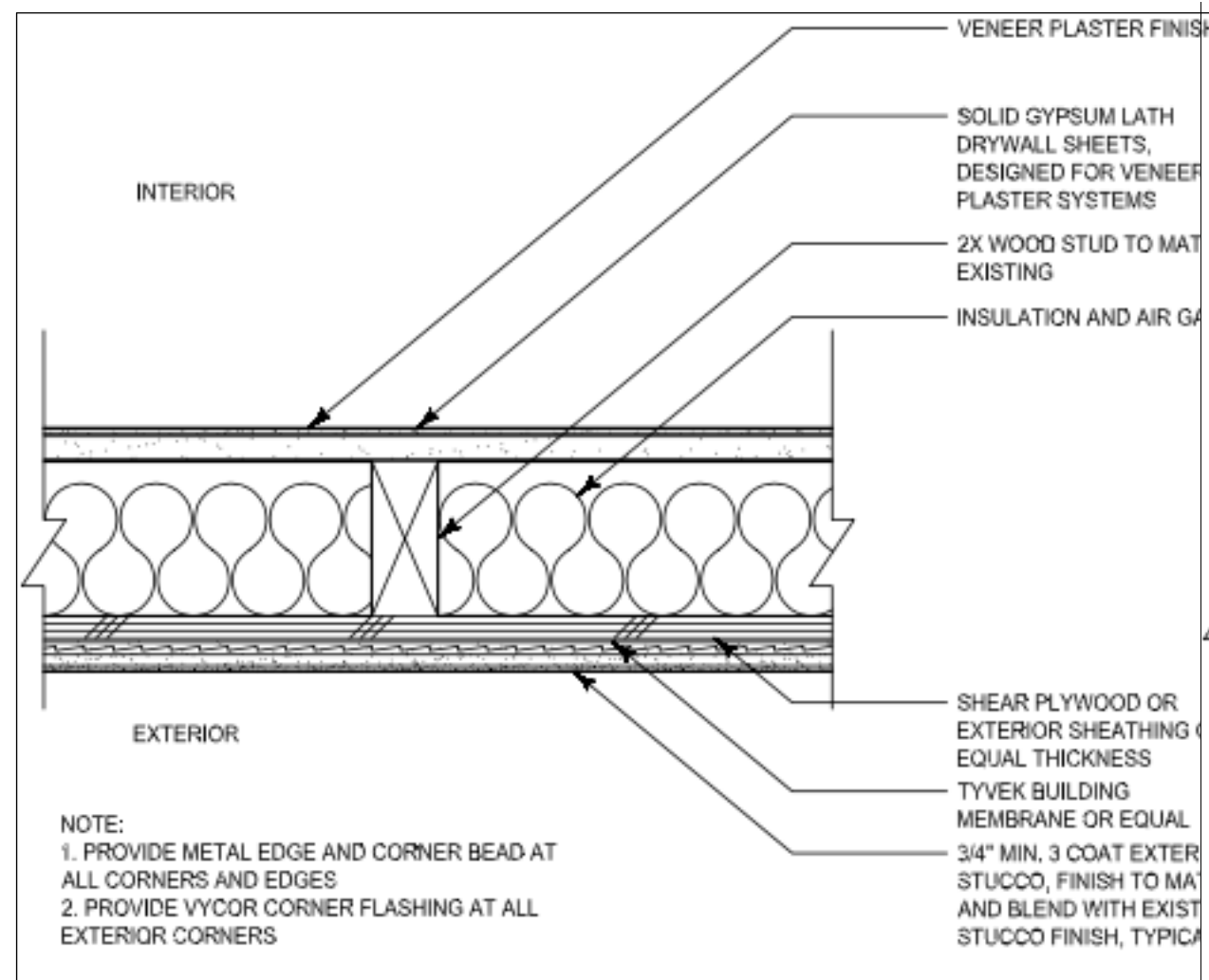


EXISTING SOUTH ELEVATION
scale: 1/4" = 1' 0"

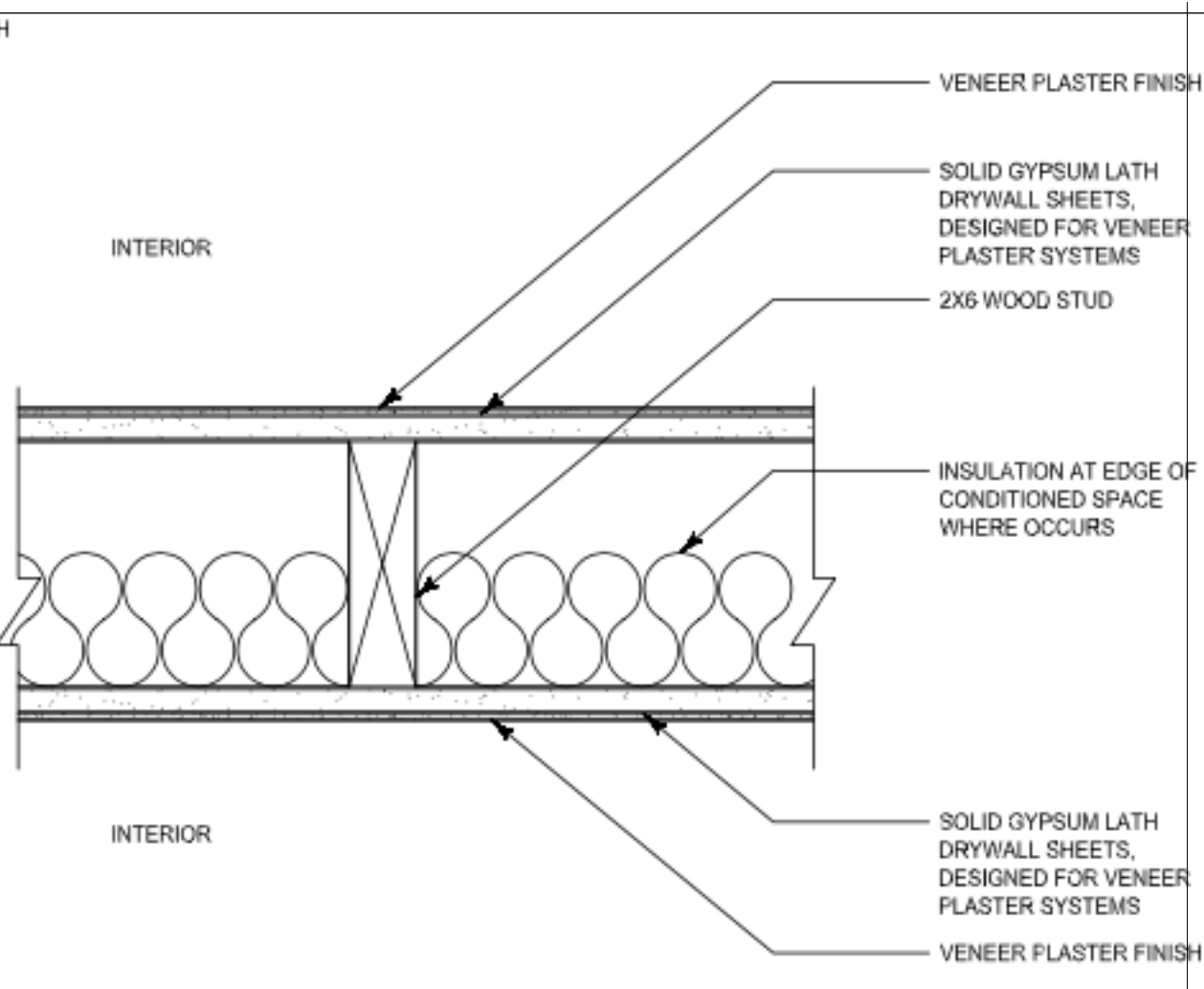
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Project
SOURS RESIDENCE REMODEL
6SW 2ND Street on Camino Real
APN: 010-241-028

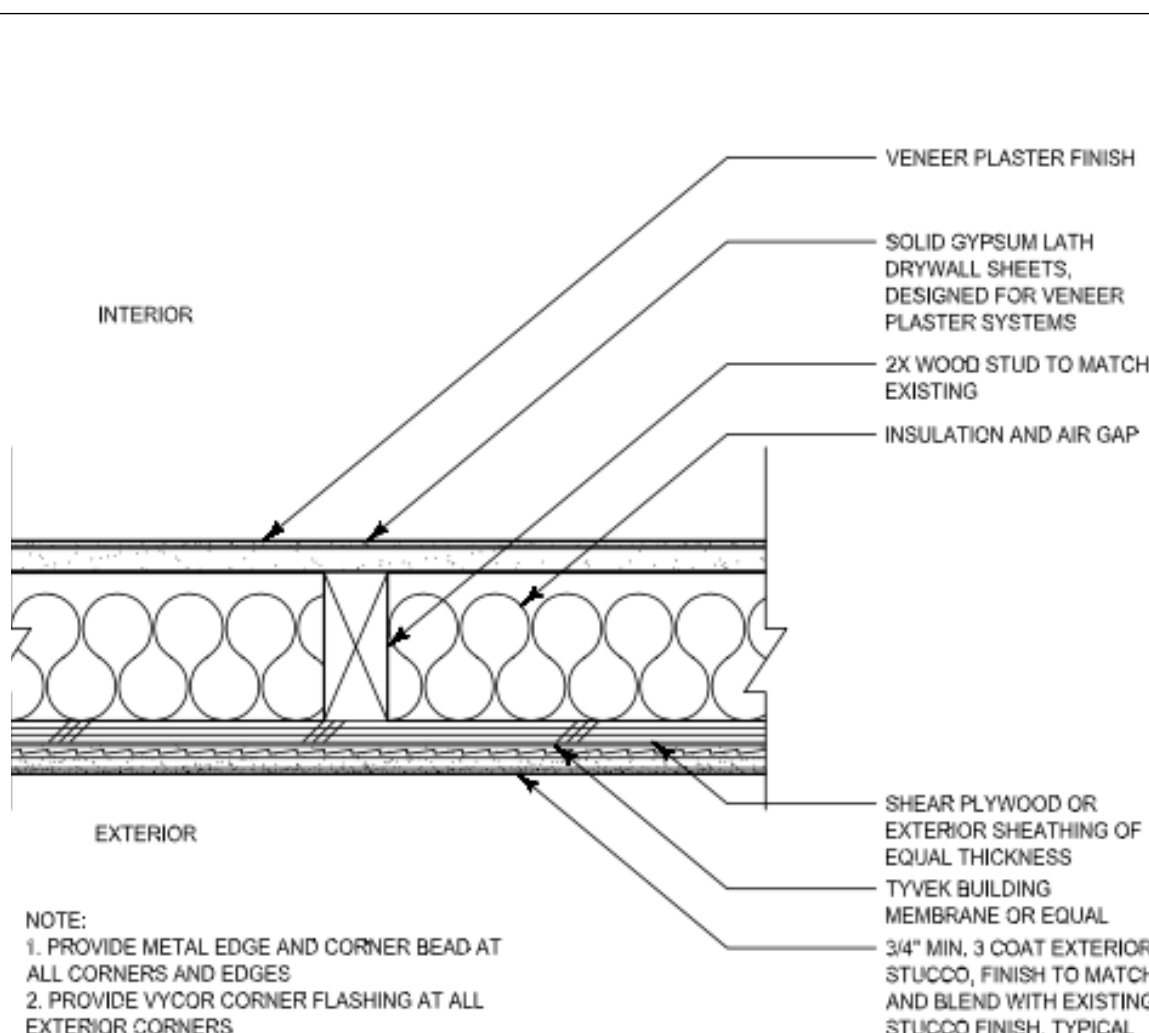
Sheet Title Existing Elevations Proposed Elevations	Sheet 03
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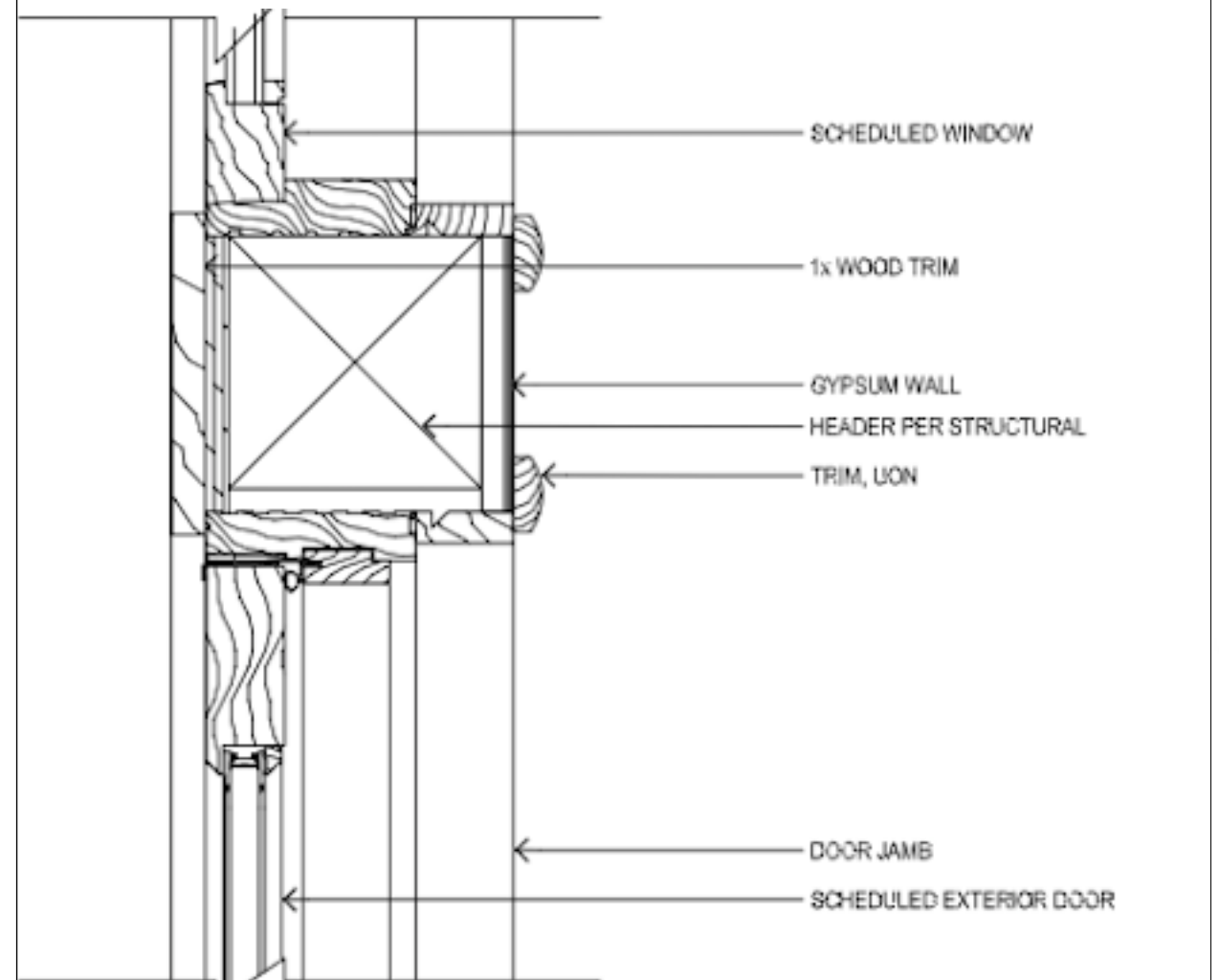
01 DECK TO WALL TRANSITION



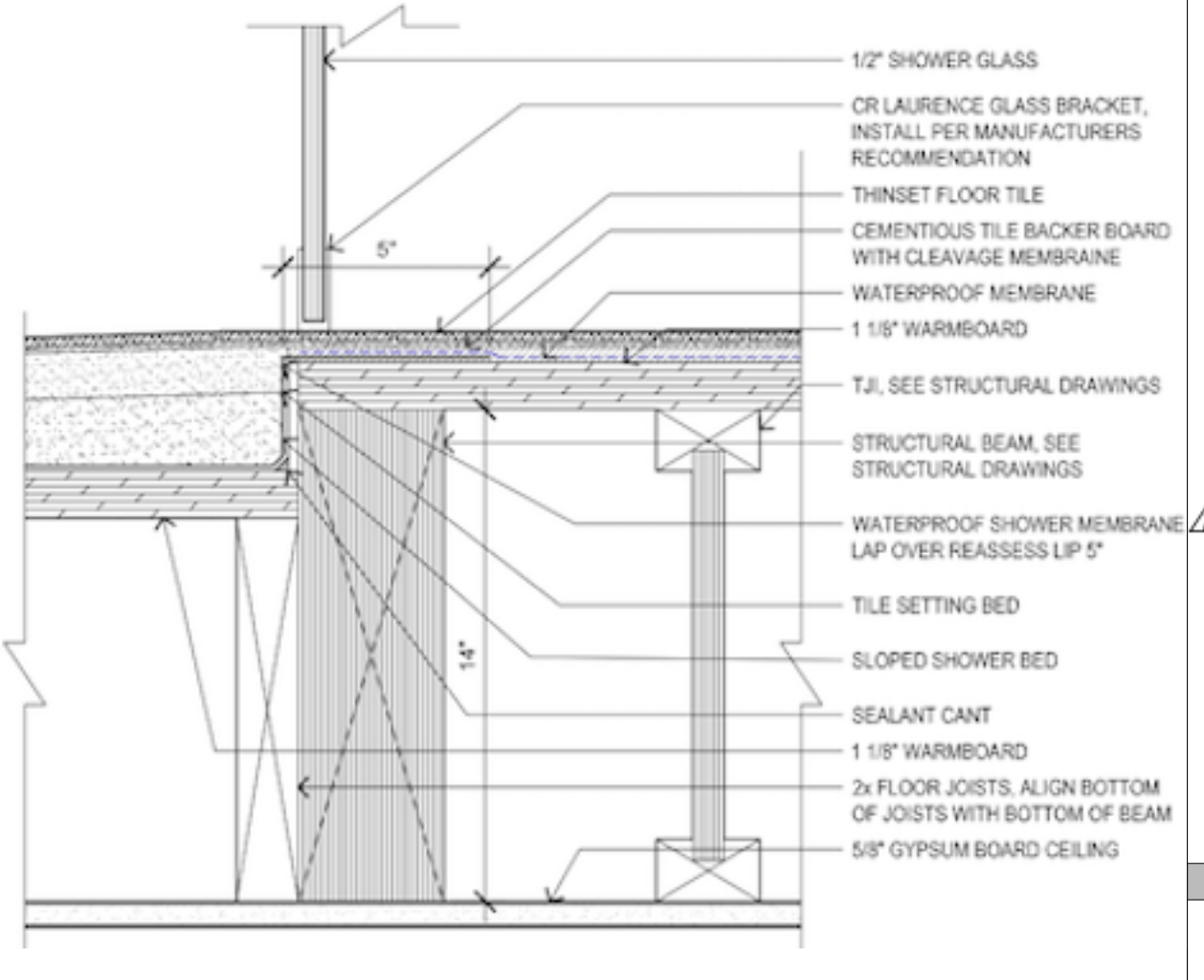
02 DOOR THRESHOLD @ DECK AREA



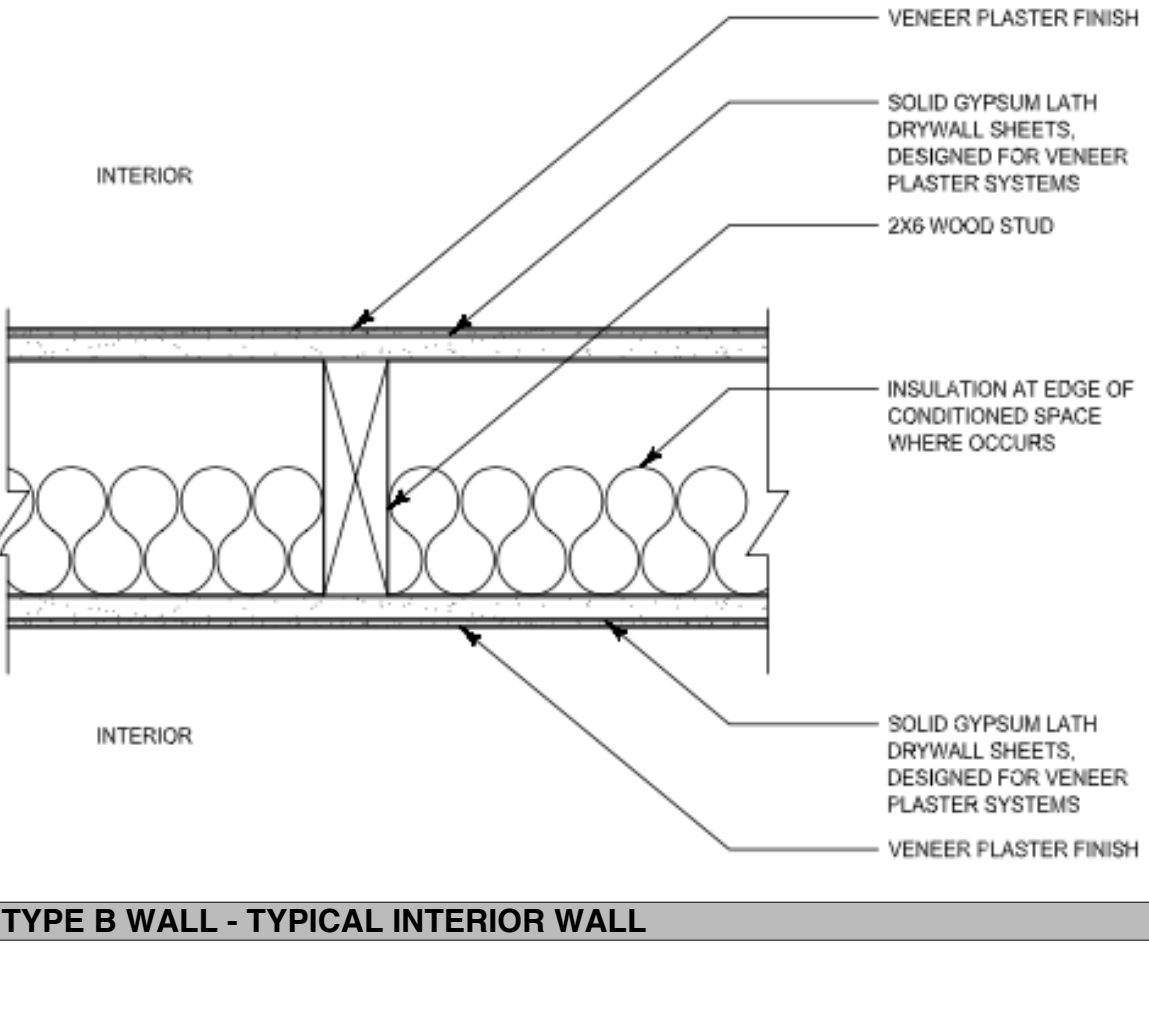
TYPE A WALL - TYPICAL EXTERIOR WALL



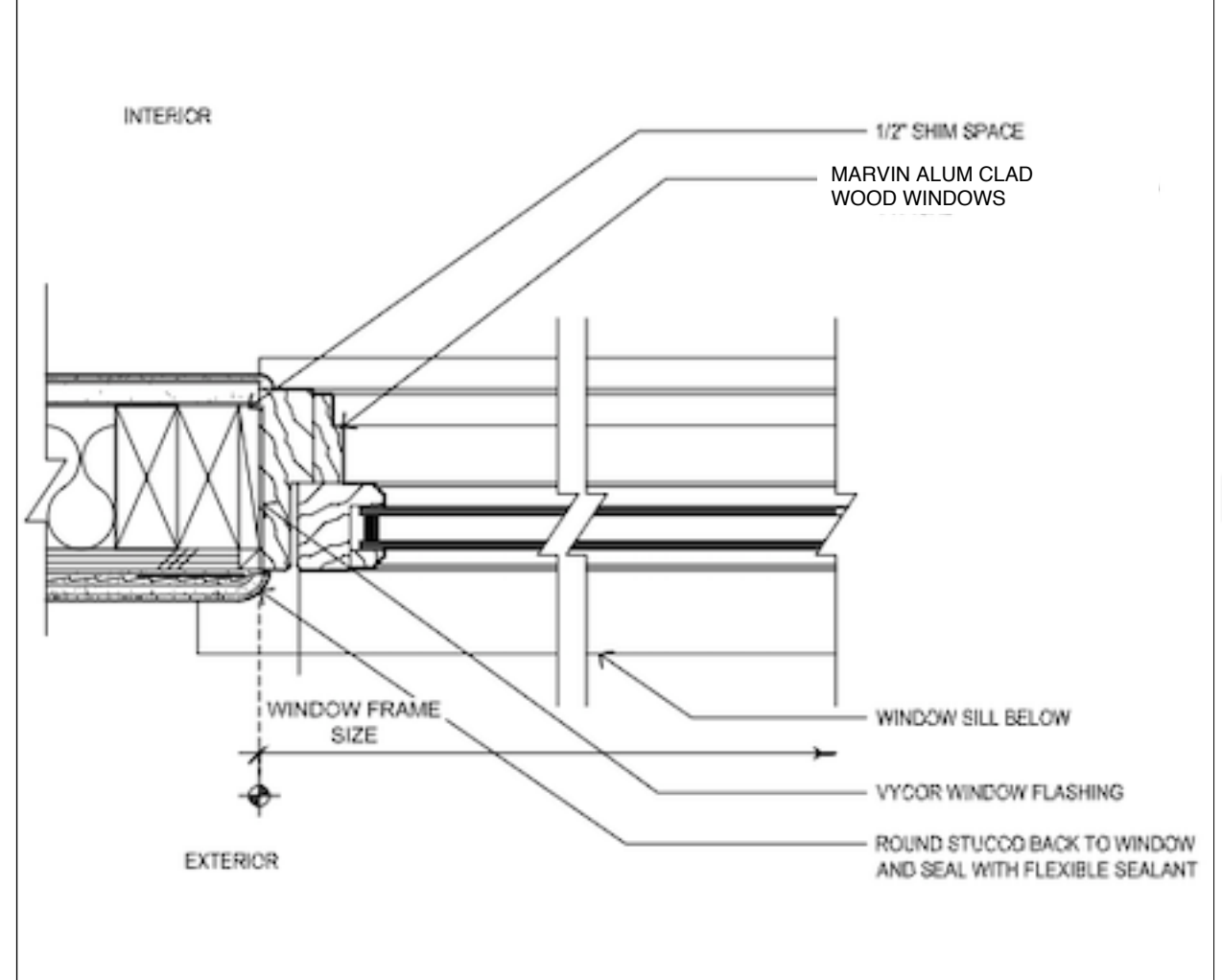
03 DOOR HEAD DETAIL



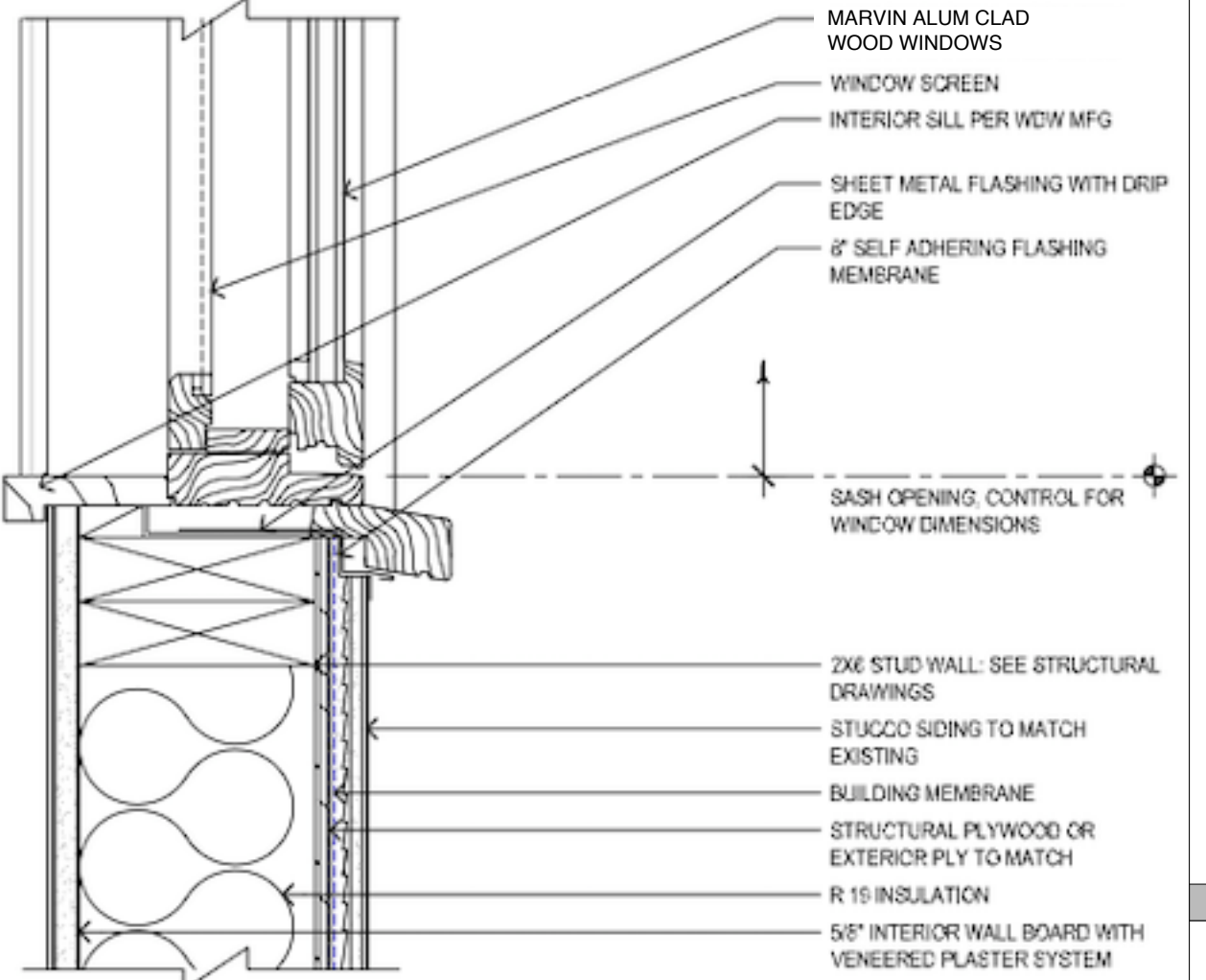
04 POCKET DOOR HEAD



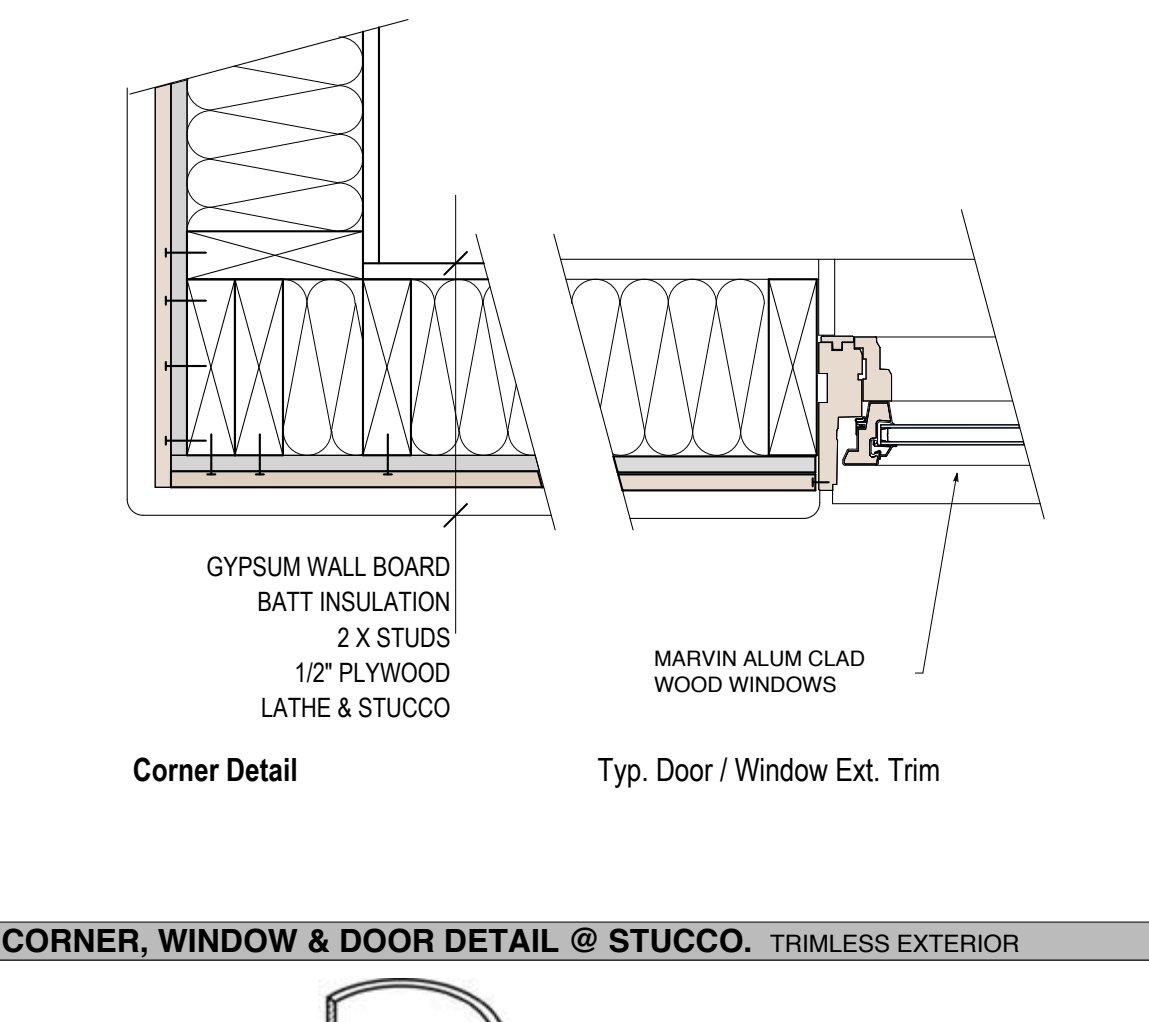
TYPE B WALL - TYPICAL INTERIOR WALL



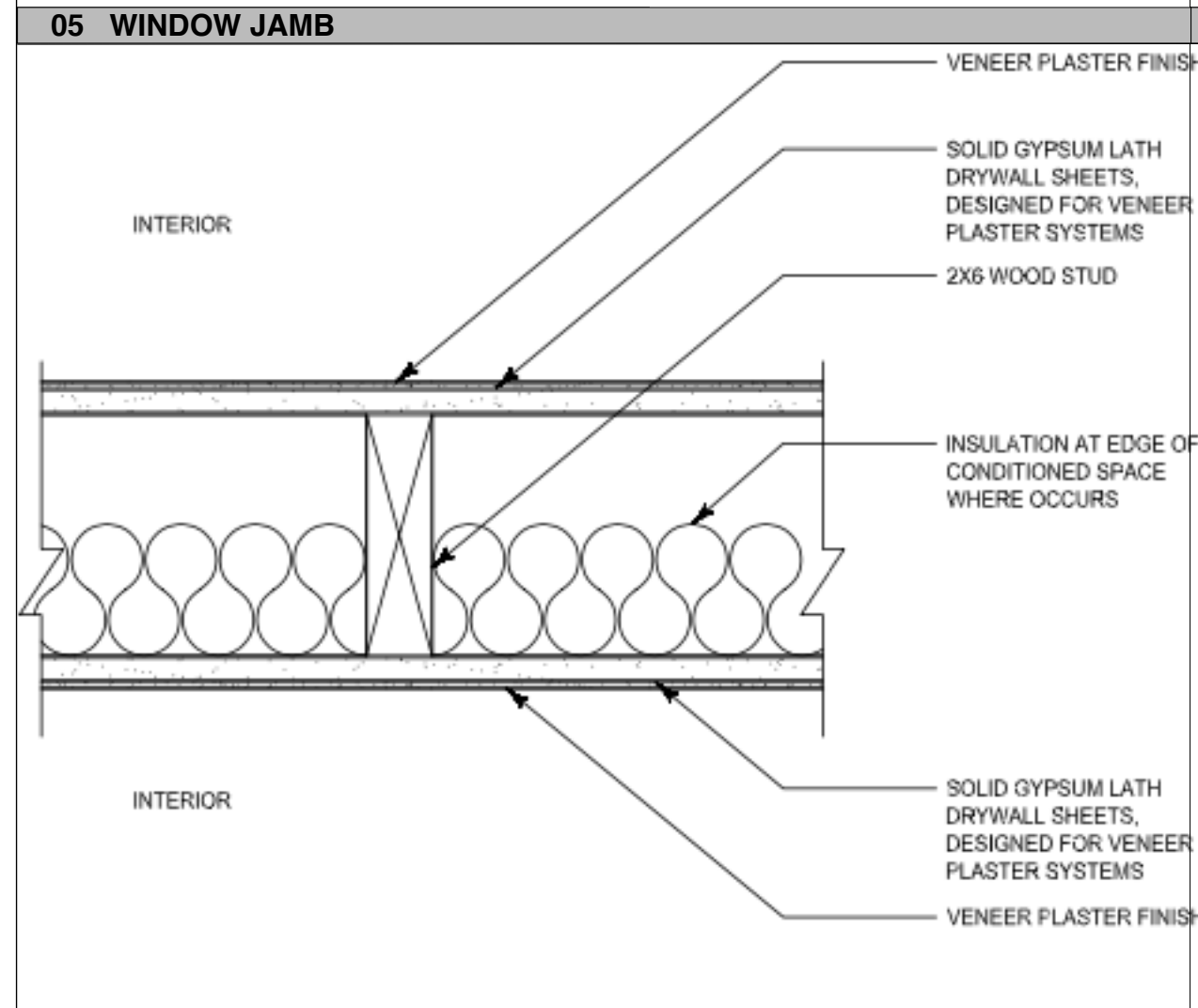
05 WINDOW JAMB



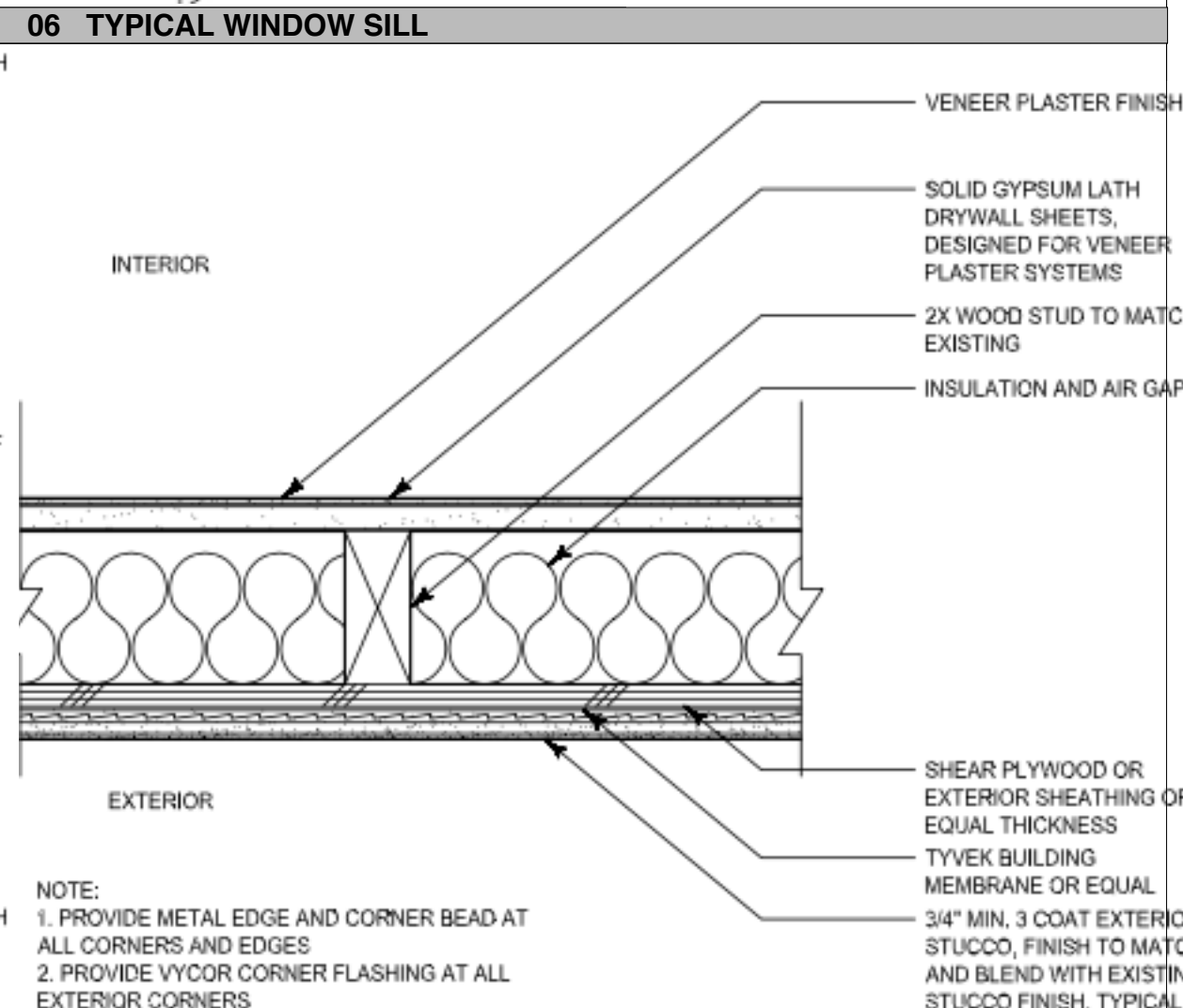
06 TYPICAL WINDOW SILL



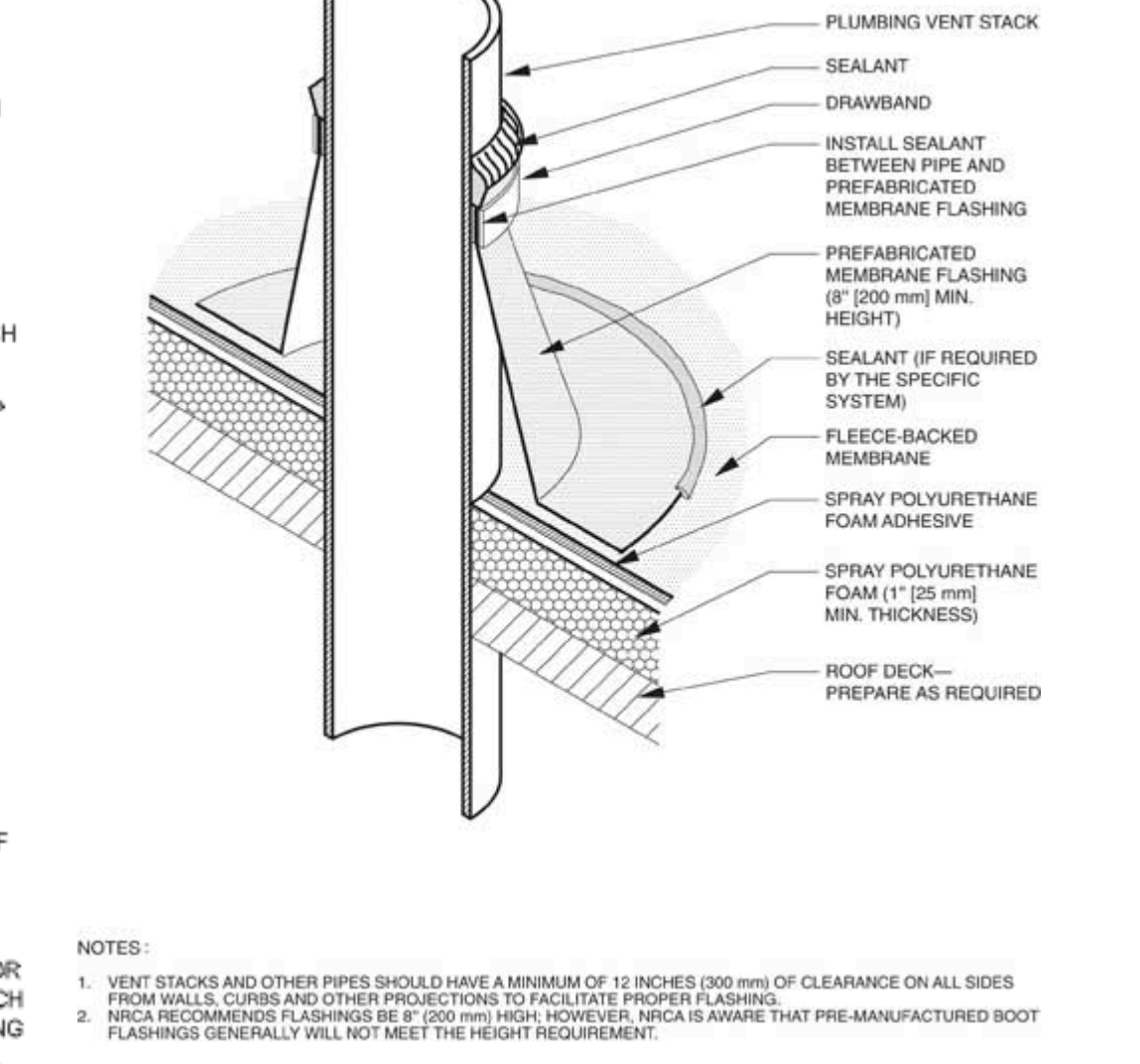
CORNER, WINDOW & DOOR DETAIL @ STUCCO, TRIMLESS EXTERIOR



07 TYPICAL WINDOW HEAD



08 SECOND FLOOR SHOWER DEPRESSION



PLUMBING STACK ROOF PENETRATION DETAIL



PROPOSED WEST ELEVATION
scale: 1/4" = 1' 0"



EXISTING WEST ELEVATION
scale: 1/4" = 1' 0"

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Project
SOURS RESIDENCE REMODEL
Camino Real 6 NW of 4th Ave
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Sheet Title
Existing Elevations
Proposed Elevations
Architectural Details

Sheet
04

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