



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 20334

Owner Name: 1 SAND AND SEA PARTNERS LLC

Case Planner: Marnie R. Waffle, AICP, Senior Planner

Date Posted: _____

Date Approved: 12/11/2020

Project Location: 1 Sand & Sea, San Antonio

APN #: 010321023000 **BLOCK/LOT:** SS/1

Applicant: Ron Brown

Project Description: Approval of Design Study application (DS 20-334, 1 Sand & Sea) authorizes minor modifications to Design Study applications (DS 17-184, 18-339 and 19-151) including, 1) removal of the outdoor gas fire pit and stone surround and replacing the stone with a continuation of the existing glass railing; 2) removal of the stone wall/curb along the driveway easement just south of the deck and the installation of landscaping along the south side of the deck; 3) changing the dry stack stone veneer wainscot to an over-grout stone veneer wainscot; 4) revisions to the front entry steps including the addition of a railing; 5) revisions to the raised concrete planters at the front entry to improve access; 6) new exterior light fixtures; 7) new safety railing on top of the concrete wall along San Antonio; 8) new fence and two gates on the north side of the residence; and, 9) new landscaping throughout the site. The project is located at the southwest corner of San Antonio & 4th within the Sand & Sea development, also referred to as Sand & Sea Lot 1, and is zoned R-1 Single Family Residential. All project construction shall be performed in accordance with the project plans prepared by Ron Brown, Architect stamped approved and on-file at the Community Planning & Building Department, unless modified by the conditions of approval.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	Authorization. Approval of Design Study application (DS 20-334, 1 Sand & Sea) authorizes minor modifications to Design Study applications (DS 17-184, 18-339 and 19-151) including, 1) removal of the outdoor gas fire pit and stone surround and replacing the stone with a continuation of the existing glass railing; 2) removal of the stone wall/curb along the driveway easement just south of the deck and the installation of landscaping along the south side of the deck; 3) changing the dry stack stone veneer wainscot to an over-grout stone veneer wainscot; 4) revisions to the front entry steps including the addition of a railing; 5) revisions to the raised concrete planters at the front entry to improve access; 6) new exterior light fixtures; 7) new safety railing on top of the concrete wall along San Antonio; 8) new fence and two gates on the north side of the residence; and, 9) new landscaping throughout the site. The project is located at the southwest corner of San Antonio & 4 th within the Sand & Sea development, also referred to as Sand & Sea Lot 1, and is zoned R-1 Single Family Residential. All project construction shall be performed in accordance with the project plans prepared by Ron Brown, Architect stamped approved and on-file at the Community Planning & Building Department, unless modified by the conditions of approval contained herein.	✓
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	Landscape Plan. All new landscaping shall be shown on a landscape plan and shall be submitted to the Community Planning & Building Department and to the City Forester <u>prior to the issuance of a building permit</u> . The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on-site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓

6.	<p>Modifications. The applicant shall submit in writing to the Community Planning & Building Director any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.</p>	✓
7.	<p>Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer’s specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.</p>	✓
8.	<p>Stone Facades (including chimneys). Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or his/her designee. The masonry patten shall be clearly identified in the construction drawings submitted with the building permit application.</p>	✓
9.	<p>Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.</p>	✓
10.	<p>Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be</p>	✓

	significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	
11.	USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
12.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Once signed, please return to the Community Planning & Building Department.

PROJECT ABBREVIATIONS

ANW	AWNING	MAX MIN	MAXIMUM MINIMUM
BLD'G	BUILDING	(N)	NEW
BLK	BLOCK, BLOCKING, BLOCKS	N/C	NO CHANGE
BM	BEAM, BEAMS		
BOT	BOTTOM		
CEIL'G	CEILING	PL	PLATE
CJ	CEILING JOIST	PW	PLYWOOD
CL'G	CEILING	PLYWD	PLYWOOD
CLR	CLEAR	RCP	REFLECTED CEILING PLAN
CLST	CLOSET	REF	REFERENCE
CMU	CONCRETE MASONRY UNITS	REINF	REINFORCEMENT
CONC	CONCRETE	RF	ROOF
CONT	CONTINUOUS	REQ'D	REQUIRED
CSMT	CASEMENT	REQMT	REQUIREMENT
CTR	CENTER	RFT	RAFTER
		RR	ROOF RAFTER
		RS	RISER
DBL	DOUBLE		
DIFF	DIFFERENCE	o/	OVER
DR	DOOR (S)	o/c	ON CENTER
DS	DOWNSPOUT		
FIN	FINISH	SECT	SECTION
FLR	FLOOR	SF	SQUARE FEET
		SHT	SHEET
EA	EACH	SHT'G	SHEATHING
ELEC	ELECTRICAL	SIM	SIMILAR
ELEV	ELEVATION (S)	SIN	SINGLE
EQ	EQUAL	SLD	SLIDER
EXTER	EXTERIOR	SQ	SQUARE
(E)	EXISTING	SPEC	SPECIFICATION
		STL	STEEL
FAU	FORCED AIR UNIT	SS	STAINLESS STEEL
FLR	FLOOR	STRUCT	STRUCTURAL
FJ	FLOOR JOIST		
FLR JST	FLOOR JOIST	TBD	TO BE DECIDED
FOOT'G	FOOTING	THK (NS)	THICK (THICKNESS)
FR	FRENCH	TP	TOP PLATE
FT	FOOT or FEET	TRD	TREAD
FT'G	FOOTING	TYP	TYPICAL
GB	GYPSON BOARD	U.N.O.	UNLESS NOTED OTHERWISE
GRD	GRADE		
GYP BRD	GYPSON BOARD	VERT	VERTICAL
INTER	INTERIOR	w/	WITH
		w/o	WITHOUT
HGT	HEIGHT	WD	WOOD
HRD	HARD	WHT	WEIGHT
HOZ	HORIZONTAL	WIND	WINDOW
HTR	HEATER	WND	WINDOW
		WTR	WATER
JST	JOIST		
MFG	MANUFACTURER	CL	CENTER LINE
MECH	MECHANICAL	±	PROPERTY LINE PLUS or MINUS
		°	DEGREE (S)
LF	LEAF	Ø	DIAMETER
LT	LIGHT		

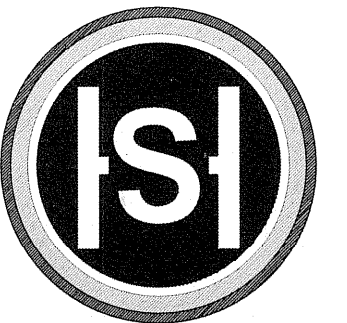
ONE SAND & SEA

1 SAND & SEA, CARMEL-BY-THE-SEA, CA

A.P.N. 010-321-023

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STERLING-HUDDLESON ARCHITECTURE

P.O. BOX 221092
CARMEL, CA 93922
TEL 831.624.4363
www.sterlinghuddleson.com

PROJECT DESCRIPTION

INTERIOR KITCHEN REMODEL TO (E) 2,019 S.F. SINGLE FAMILY RESIDENCE WITH 138 S.F. DINING AREA EXTENSION. NEW ADDITION OF 138 S.F. DECK/STAIR WITH GLASS RAILING. REPLACE (E) CEDAR ROOF SHAKES WITH (N) CEDAR ROOF SHINGLES ADDITION OF CARMEL STONE AT LOWER EXTERIOR WALL, AND RE-PAVING OF EXISTING 377 S.F. OF DRIVEWAY WITH NEW PERMEABLE PAVERS. INTERIOR REMODEL OF (2) BATHROOMS, NEW PLUMBING FIXTURES, CABINETS, FLOORING & PAINT, ALL ELECTRICALS AND PLUMBING LOCATIONS TO REMAIN. ADDITION OF (N) 3RD BATHROOM. NEW FLOORING, INTERIOR DOORS AND PLUMBING FIXTURES THROUGHOUT.

PROJECT DATA

OWNER: ONE SAND & SEA PARTNERS, LLC
3466 TREVIS WAY
CARMEL, CA 93923

SITE ADDRESS: ONE SAND & SEA
CARMEL-BY-THE-SEA, CA

ZONING DATA

ZONING: R-1

DESCRIPTION OF USE: SINGLE FAMILY RESIDENTIAL

TYPE OF CONSTRUCTION: TYPE V-N

STORIES: 2

HEIGHT LIMIT: EXISTING TO REMAIN

TREES: NO REMOVAL

PARKING: 2 REQUIRED 2 PROVIDED

GRADING: CUT: 0, FILL: 0

WATER PROVIDER: CAL-AM

SEWER PROVIDER: CAWD

SQUARE FOOTAGE ANALYSIS

LOT SIZE = 6836 SQ. FT.

FLOOR AREA TABULATION:

(E) RESIDENCE: 2,019 S.F. (2)

(E) GARAGE: 573 S.F. (WAS 625 S.F.)

(E) GARAGE BELOW GRADE: 48 S.F. (2)

(N) RESIDENCE ADDITION: 138 S.F. (WAS 43 S.F.)

TOTAL FLOOR AREA: = 2,682 S.F.

SITE COVERAGE TABULATION:		
SITE ELEMENT	IMPERM. AREA	PERM. AREA
(E) DECKS / STAIRS	240 S.F.	
(N) DECK ADDITION		466 S.F. (2)
(E) DRIVEWAY	(377)S.F.	
(N) DRIVEWAY STRIPS		48 S.F. (2)
(N) DRIVEWAY APRON		108 S.F. (2)
SUBTOTAL	706 S.F.	156 S.F.
TOTAL SITE COVERAGE	862 S.F. (2)	

ALLOWABLE BLDG SITE COVERAGE: REVIEWED FOR CODE COMPLIANCE

LOT SIZE: 6,836 S.F.

BASE FLOOR AREA: 2,682 S.F.

ALLOWABLE SITE COVERAGE: 865 S.F.

DATE: 12/11/2020 PERMIT# 17-287 RVD1

ISSUED BY: M. Waffle

VICINITY MAP

CARMEL-BY-THE-SEA PLANNING DEPARTMENT APPROVED

Permit #: DS 20-334 (1 Sand & Sea)

Date Approved: 12/11/2020

Planner: M. Waffle

CONSULTANT LIST

ARCHITECTURE:
STERLING + HUDDLESON
P.O. BOX 221092
CARMEL, CA 93922
831.624.4363

STRUCTURAL ENGINEER:
UYEDA & ASSOCIATES
2600 GARDEN ROAD STE 305
MONTEREY, CA. 93940
PH. 831.373.3181

MECHANICAL ENGINEERING:
MONTEREY ENERGY GROUP
26465 CARMEL RANCHO BLVD #8
Carmel, California 93923
TEL: 831 372-8328 FAX: 831 372-4613

PROJECT NOTES

- THIS PROJECT SHALL COMPLY WITH TITLE 24 AND 2016 CALIFORNIA RESIDENTIAL CODE (CRC), 2016 CALIFORNIA MECHANICAL CODE (CMC), 2016 CALIFORNIA PLUMBING CODE (CPC), 2016 CALIFORNIA ELECTRICAL CODE (CEC) CALIFORNIA ENERGY CODE (CENC).
- CONSTRUCTION WASTE MANAGEMENT: RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING CODE, CHAPTER 4, DIVISION 4.4.
- PRIOR TO BUILDING PERMIT FINAL APPROVAL, TREE PROTECTION AND VEGETATION MANAGEMENT SHALL BE REVIEWED AND APPROVED BY THE CITY FORESTER.

ARCHAEOLOGICAL NOTE

THIS PROPERTY IS LOCATED WITHIN AN AREA OF ARCHAEOLOGICAL SENSITIVITY. IF ANY HUMAN REMAINS ARE FOUND AT ANY TIME DURING CONSTRUCTION, WORK SHALL STOP AND THE APPLICANT SHALL IMMEDIATELY NOTIFY THE MONTEREY COUNTY CORONER IN COMPLIANCE WITH APPLICABLE STATE REQUIREMENTS.

DEFERRED SUBMITTALS:

- PLUMBING SYSTEM PLANS, SPECIFICATION, AND CALCULATIONS
- MECHANICAL SYSTEM PLANS, SPECIFICATION, AND CALCULATIONS
- ELECTRICAL SYSTEM PLANS, SPECIFICATION, AND CALCULATIONS

STATEMENT OF SPECIAL INSPECTION

- HERS INSPECTION REQUIRED
- SPECIAL INSPECTION REQUIRED FOR EPOXY SET REBAR

CONDITIONS OF APPROVAL

- AUTHORIZATION:**
- This approval of Design Study (DS 17-184) authorizes a remodel to an existing residence. The remodel includes a 43 sf dining room addition, 136 sf deck addition with glass railing and replace AC driveway with permeable pavers; replace wood shingle roofing with same; add stone veneer to east and west elevation below the existing deck; and replace existing wood railing on south elevation with glass railing. There is no change to building height. All work shall be consistent with the June 30, 2017, approved plan set.
- SPECIAL CONDITIONS:**
- You are required to post these conditions to the project site. CARMEL-BY-THE-SEA ALL CHANGES OF PLANS MUST BE REVIEWED AND APPROVED BEFORE WORK COMMENCES.
 - You are required to install tree protection, which will need to be reviewed and certified by the City Forester, prior to the issuance of the Building Permit.
 - The applicant shall apply for and obtain a building permit prior to the construction of any aspect of the project.
 - The project shall match the design, dimensions, and appearance as documented in the approved plans dated June 30, 2017.
 - This Design Review approval is valid for a one-year period from date of approval, and hence expires on August 1, 2018.
 - The applicant shall work with the City to arrange designated construction vehicle parking. Parking of construction vehicles must abide by City laws.
 - Prior to issuance of a Building Permit, the applicant shall include the following measures in the construction management plan:
 - All stones used for the project shall be pre-cut or prefabricated. Any additional cutting of the pre-cut stones on the property shall be performed using a wet saw inside the garage to minimize sound and dust.
 - Deliveries of materials during construction shall occur at non-peak hours as defined by the Public Works Department.
 - Construction shall be coordinated with other construction projects as defined by the Public Works Department.
 - Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information).
 - The Carmel stone facade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.
 - The applicant agrees, at the applicant's sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

ONE SAND & SEA
1 SAND & SEA CARMEL-BY-THE-SEA, CA
A.P.N. 010-321-023

RECEIVED
DEC 05 2018
City of Carmel-by-the-Sea
Planning & Building Dept.
Prepared by:

All fees, designs and plans included or represented by these drawings are owned by and on the property of Sterling-Huddleson and were created and developed for use in accordance with the specified project. None of such fees, designs or plans shall be used for any purpose without the written permission of Sterling-Huddleson. Copyright 2014-2018. All rights reserved. Sterling-Huddleson

Action:
BUILDING SUBMITTAL 09.06.17
1 PLAN CHECK 10.18.17
2 PLAN REV. 08.27.18
3 PLAN CHECK 11.09.18
5 RON BROWN PLAN CHECK REVISIONS 10/16/2019

Date: 05.05.17

Scale:

Drawn:

Description: TITLE SHEET

Sheet No: T-1.1

AUTHORIZATION:

This approval of Design Study (DS 19-151) authorizes modifications to Design Study (DS 18-339). The modifications are stated below. Any modification not changed by this approval remains valid under Design Study (DS 17-184 and DS 18-339).

- 1) Replace approved board & batten siding with stucco to be painted Benjamin Moore 'Vintage Taupe', or similar.
- 2) Replace approved board & batten siding on chimney with Carmel stone.
- 3) Replaced approved unclad wood windows with aluminum windows to be painted Benjamin Moore 'Blue Note', or similar.
- 4) Add Carmel stone veneer on west and south elevations below the deck.
- 5) Add new interior bench in the entry hallway.
- 6) Reconfigure south/west facing deck.

All project construction shall be performed in accordance with the project plans dated received by the City of Carmel-by-the-Sea on June 24, 2019, stamped approved and on file in the Community Planning & Building Department, unless modified by the conditions of approval contained herein.

CONDITIONS OF APPROVAL:

1. **Codes and Ordinances.** The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
2. **Permit Validity.** This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.
3. **Tree Removal.** Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.
4. **Significant Trees.** All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.

5. **Water Use.** Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.
6. **Modifications.** The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.
7. **Exterior Lighting.** Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.
8. **Skylights.** All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color. Skylight shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness. The manufacturer's specifications for the skylights and skylight shades shall be included in the construction drawings submitted with the building permit application.
9. **Stone Facades (including chimneys).** Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or his/her designee. The masonry patter shall be clearly identified in the construction drawings submitted with the building permit application.
10. **Indemnification.** The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall

- not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.
11. **Driveway.** The driveway material may extend beyond the property line into the public right-of-way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. The driveway material and asphalt connection shall be clearly identified on the construction drawings submitted with the building permit application. If a driveway is proposed to be sand set a dimensioned construction detail showing the base material shall be included in the construction drawings.
 12. **Cultural Resources.** All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.
 13. **USA North 811.** Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)
 14. **Conditions of Approval.** All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.
- SPECIAL CONDITIONS:**
15. **Construction Management Plan.** Prior to issuance of the Building Permit to construct the improvements approved under this Design Study, the applicant shall submit a Construction Management Plan. The following specific measures shall be addressed in the plan:
 - a. Identify the location of designated construction vehicle parking.

- b. All stones used for the project shall be pre-cut or prefabricated. Any additional cutting of the stones on the project site shall be performed using a wet saw inside the garage to minimize sound and dust.
 - c. Deliveries of materials during construction shall occur at non-peak hours as defined by the Public Works Director or his/her designee.
 - d. Construction shall be coordinated with other construction projects as defined by the Public Works Director or his/her designee.
16. **Inspection of Stone Veneer.** The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Prior to the full installation of stone during construction, the applicant shall install a 10-square-foot section on the building to be reviewed by Planning staff on-site to ensure conformity with City standards.
 17. **Driveway Strips.** Prior to installation, the applicant shall submit, for review and approval by Planning staff, a sample of the 12-inch wide driving strips.
 18. **Outdoor Fire Pit.** The outdoor pit may be fueled by gas or propane but shall not be wood burning.
 19. **Glass Deck Railing.** The new glass deck railing shall have an anti-reflective/anti-glare coating on the exterior side of the glass.
 20. **Permeable Decking.** Prior to issuance of a building permit the applicant shall demonstrate that the deck boards are sufficiently spaced to qualify as semi-permeable.

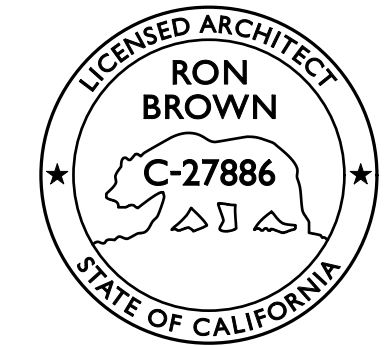
*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature _____ Printed Name _____ Date _____

Once signed, please return to the Community Planning & Building Department.

REVISION NOTES

1. ALL DRAWINGS REVISIONS NOTED WITH A BLACK FILLED TRIANGLES ARE MADE BY RON BROWN, ARCHITECT.



AUTHORIZATION:

This approval of Design Study (DS 18-339) authorizes modifications to Design Study (DS 17-184). The modifications are stated below. Any modification not changed by this approval remains valid under Design Study (DS 17-184).

- 1) A 138-square-foot addition (in-lieu of the previously approved 43-square-foot addition) on the south elevation at the dining room;
- 2) Expansion of the existing deck on the south elevation and extension of the deck along the west elevation for a total of 466 square feet; and,
- 3) Reduction in site coverage at the driveway on San Antonio from 377 square feet to 156 square feet.

All project construction shall be performed in accordance with the project plans dated received by the City of Carmel-by-the-Sea on September 17, 2018, stamped approved and on file in the Community Planning & Building Department, unless modified by the conditions of approval contained herein.

CONDITIONS OF APPROVAL:

1. **Codes and Ordinances.** The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
2. **Permit Validity.** This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.
3. **Tree Removal.** Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.
4. **Significant Trees.** All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.

5. **Water Use.** Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.
6. **Modifications.** The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.
7. **Exterior Lighting.** Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.
8. **Skylights.** All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color. Skylight shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness. The manufacturer's specifications for the skylights and skylight shades shall be included in the construction drawings submitted with the building permit application.
9. **Stone Facades (including chimneys).** Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or his/her designee. The masonry patter shall be clearly identified in the construction drawings submitted with the building permit application.
10. **Unclad Wood Frame Windows.** The applicant shall install unclad wood windows. Windows that have been approved with divided lights shall be constructed with true divided lights. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted. The manufacturer's specifications for the windows shall be included in the construction drawings submitted with the building permit application.

11. **Indemnification.** The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.
12. **Driveway.** The driveway material may extend beyond the property line into the public right-of-way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. The driveway material and asphalt connection shall be clearly identified on the construction drawings submitted with the building permit application. If a driveway is proposed to be sand set a dimensioned construction detail showing the base material shall be included in the construction drawings.
13. **Cultural Resources.** All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.
14. **USA North 811.** Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)
15. **Conditions of Approval.** All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.

SPECIAL CONDITIONS:

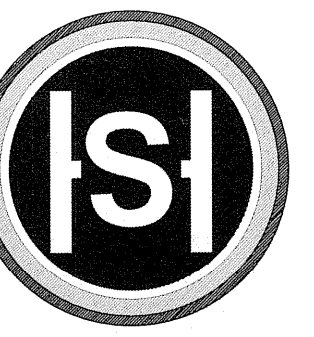
16. **Construction Management Plan.** Prior to issuance of the Building Permit to construct the improvements approved under this Design Study, the applicant shall submit a Construction Management Plan. The following specific measures shall be addressed in the plan:
 - a. Identify the location of designated construction vehicle parking.
 - b. All stones used for the project shall be pre-cut or prefabricated. Any additional cutting of the stones on the project site shall be performed using a wet saw inside the garage to minimize sound and dust.
 - c. Deliveries of materials during construction shall occur at non-peak hours as defined by the Public Works Director or his/her designee.
 - d. Construction shall be coordinated with other construction projects as defined by the Public Works Director or his/her designee.
17. **Inspection of Stone Veneer.** The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Prior to the full installation of stone during construction, the applicant shall install a 10-square-foot section on the building to be reviewed by Planning staff on-site to ensure conformity with City standards.
18. **Driveway Strips.** Prior to installation, the applicant shall submit, for review and approval by Planning staff, a sample of the 12-inch wide driving strips.
19. **Outdoor Fire Pit.** The outdoor pit may be fueled by gas or propane but shall not be wood burning.
20. **Glass Deck Railing.** The new glass deck railing shall have an anti-reflective/anti-glare coating on the exterior side of the glass.
21. **Permeable Decking.** Prior to issuance of a building permit the applicant shall demonstrate that the deck boards are sufficiently spaced to qualify as semi-permeable.

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature _____ Printed Name _____ Date _____

Once signed, please return to the Community Planning & Building Department.

CARMEL-BY-THE-SEA
ALL CHANGES OF PLANS
MUST BE REVIEWED AND
APPROVED BEFORE
WORK COMMENCES.



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ONE SAND & SEA
1 SAND & SEA CARMEL-BY-THE-SEA, CA
A.P.N. 010-321-023

Prepared by:

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Action:

RON BROWN PLAN
CHECK REVISIONS
10/16/2019

Date: 11.19.18

Scale:

Drawn:

Description:
CONDITIONS
OF APPROVAL

Sheet No:

T-1.2



SPECIFICATIONS

DIVISION 1 – GENERAL REQUIREMENTS

- 1.1 THE WORK TO BE DONE BY EACH CONTRACTOR INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, SERVICES, AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION AND COMPLETION OF THIS PROJECT, INCLUDING SITEWORK. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL COMPLY WITH THE FOLLOWING:
1.1.1 THESE NOTES AND DRAWINGS.
1.1.2 ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, AND REGULATIONS LISTED IN THESE DOCUMENTS.
1.1.3 WORKMANSHIP SHALL MEET NORMAL PROFESSIONAL STANDARDS OF THE TRADE AND SHALL MEET THE ARCHITECT'S AND OWNER'S SATISFACTION WITHIN THE STANDARDS NORMALLY PROVIDED BY VARIOUS TRADES.
1.1.4 INSTALLATION OF EQUIPMENT AND MATERIAL SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR APPLICABLE ASSOCIATION STANDARDS.
1.1.5 ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED, AND SHALL BE EQUAL TO OR SUPERIOR TO THOSE ITEMS SPECIFIED IF A SUBSTITUTION IS APPROVED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL.
1.2 SITE VERIFICATION – EACH CONTRACTOR AND SUB-CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND MAKE ALL INSPECTIONS NECESSARY IN ORDER TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED TO MAKE THE COMPLETED WORK CONFORM TO THE DRAWINGS AND SPECIFICATIONS.
1.3 CONSTRUCTION DOCUMENTS
1.3.1 THESE DRAWINGS ARE INTENDED AS A GUIDE ONLY FOR CONSTRUCTION. DEVIATIONS FROM THE DRAWINGS MUST BE APPROVED BY THE ARCHITECT.
1.3.2 THE CONTRACTOR IS FULLY RESPONSIBLE FOR OBSERVATION OF CONSTRUCTION AND PROPER EXECUTION OF WORK SHOWN ON THE DRAWINGS, AS WELL AS FOR PERFORMANCE OF WORK ON THIS PROJECT.
1.3.3 THE CONTRACTOR IS RESPONSIBLE FOR THE ACCURACY OF ALL MATERIAL TAKE-OFFS FROM THESE DOCUMENTS.
1.3.4 THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DEVIATION FROM OR INTERPRETATION OF CONSTRUCTION DOCUMENTS MADE BY THE CONTRACTOR WITHOUT OBTAINING WRITTEN DIRECTION FROM THE ARCHITECT FIRST.
1.3.5 THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNTIL THEY ARE REVIEWED BY A QUALIFIED PLAN CHECK EXAMINER AND STAMPED "APPROVED" BY THE BUILDING DEPARTMENT AND A BUILDING PERMIT IS ISSUED.
1.4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING LINES AND LEVELS.
1.5 ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER TRADES.
1.6 NEW AND REPAIR WORK IN THIS PROJECT WHICH ENCOMPASSES SIMILAR ITEMS IN EXISTING WORK SUCH AS STUCCO, DRYWALL, EAVES AND FASCIA, TRIM, GUTTERS AND DOWNSPOUTS, ELECTRICAL SWITCHING AND RECEPTACLE PLATES, AND OTHER ITEMS, SHALL MATCH EXISTING MATERIAL, INSTALLATION, FINISH, AND COLOR UNLESS OTHERWISE NOTED.
1.7 ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK.
1.8 THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK WITH THE APPROVAL OF THE OWNER AND WITH MINIMUM DISRUPTION.
1.9 THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO ADEQUATELY PROTECT PERSONS, EXISTING CONSTRUCTION, AND ADJACENT PROPERTY, AND TO ENSURE THE SAFETY OF THE STRUCTURE THROUGHOUT THE CONSTRUCTION PERIOD.
1.10 THE ARCHITECT RESERVES THE RIGHT TO HAVE ANY WORK NOT DONE CORRECTLY AS PER DRAWINGS, SPECIFICATIONS, CONTRACT, OR ANY OTHER MEANS OF COMMUNICATION CORRECTED AT NO ADDITIONAL COST TO OWNER.
1.11 THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENSES, FEES, PERMITS, TAXES AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT.

DIVISION 2 – SITEWORK

- 2.1 THE CONTRACTOR SHALL MAINTAIN A VALID DIG ALERT/811 TICKET AVAILABLE ON SITE FOR INSPECTION THROUGHOUT THE PROJECT CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR PROTECTION OF EXISTING UTILITIES
2.2 DEMOLITION
2.2.1 REMOVE ALL PORTIONS OF BUILDING, EQUIPMENT, PAVING, FOUNDATIONS, ETC. AS SHOWN OR AS REQUIRED TO COMPLETE THE WORK.
2.2.2 DISCONNECT ALL UTILITY LINES FROM ALL EQUIPMENT, FIXTURES, AND APPLIANCES TO BE REMOVED.
2.2.3 REMOVE ALL ABANDONED ABOVE OR BELOW GROUND UTILITY LINES, PIPE, CABLE, WIRE, CONDUIT, DUCTS, ETC. TO AS CLOSE TO THE SOURCE AS POSSIBLE. ALL ABANDONED ELECTRICAL CABLE AND WIRES SHALL BE REMOVED FROM CONDUITS IF CONDUITS MUST REMAIN IN PLACE.
2.2.4 REMOVE ALL ELECTRICAL OUTLETS AND SWITCHES AS REQUIRED TO COMPLETE THE WORK.
2.2.5 REMOVE ALL DEBRIS FROM THE SITE AND LEGALLY DISPOSE UNLESS OTHERWISE NOTED.
2.2.6 PROTECT ADJACENT PROPERTY AND STRUCTURES FROM DAMAGE DURING THE PROGRESS OF THE WORK.
2.2.7 PROVIDE CONTROL OF DUST AS REQUIRED.
2.2.8 PROVIDE PROTECTION FOR THE PORTION OF THE STRUCTURE EXPOSED DURING CONSTRUCTION FROM DAMAGE FROM THE ELEMENTS.
2.2.9 COORDINATE WITH OWNER ANY ITEMS THEY MAY WISH TO RETAIN.

- 2.3 DIRECT SURFACE DRAINAGE AWAY FROM THE STRUCTURE (1% MINIMUM).
2.4 IN THE EVENT UNSUITABLE SOIL IS ENCOUNTERED AT THE REQUIRED DEPTH, THE ARCHITECT AND GEOLOGIST SHALL BE NOTIFIED SO THAT THEY MAY DETERMINE HOW TO PROVIDE PROPER BEARING FOR THE STRUCTURE.
2.5 ALL STUMPS AND ROOTS ARE TO BE REMOVED FROM THE SOIL TO A DEPTH OF AT LEAST 12" BELOW THE SURFACE OF THE GROUND IN THE AREA TO BE OCCUPIED BY THE BUILDING OR PROPOSED STRUCTURE.
2.6 REFER TO SOILS REPORT, IF REQUIRED, FOR ALL BEARING CAPACITIES AND SPECIFIC REQUIREMENTS.
2.7 EXCAVATIONS FOR FOOTINGS SHALL BE MADE TO THE WIDTH, LENGTH, AND DEPTH REQUIRED. FINISH WITH LEVEL BOTTOMS. ALL FOUNDATIONS TO EXTEND TO UNDISTURBED SOIL.
2.8 IN THE BUILDING AREA, SOFT SPONGY OR POROUS MATERIALS SHALL BE REMOVED TO A DEPTH OF THREE FEET BELOW THE BOTTOM OF THE FOOTING AND RECOMPACTED.
2.9 PROTECT ALL TREES AND LANDSCAPING NOT TO BE REMOVED, AN INSPECTION AND APPROVAL OF TREE PROTECTION AND VEGETATION MANAGEMENT BY THE CITY FORESTER IS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.
2.10 FILL MATERIALS SHALL BE FREE FROM DEBRIS, VEGETABLE MATTER, AND OTHER FOREIGN SUBSTANCES.
2.11 BACKFILLING FOR TRENCHES SHALL BE COMPACTED TO 90 PERCENT DENSITY.

DIVISION 3 – CONCRETE

- 3.1 FOR STRUCTURAL CONCRETE DESIGN AND CONSTRUCTION REQUIREMENTS SEE STRUCTURAL PLANS.
3.2 CONCRETE FLATWORK SHALL BE TRUE TO WITHIN 1/8 INCH IN TEN FEET IN ALL DIRECTIONS, OR SLOPED TO DRAIN AS INDICATED ON THE DRAWINGS ALLOWING NO PUDDLING TO OCCUR IN THE DIRECTION OF FLOW.
3.3 LOCATION OF CONSTRUCTION JOINTS SHALL BE REVIEWED BY THE ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO POURING IF NOT SPECIFICALLY SHOWN ON THE DRAWINGS.
3.4 INTERIOR AND GARAGE SLABS: STEEL TROWEL FINISH; SLOPE TO DRAIN WHERE INDICATED ON DRAWINGS.
3.5 CONCRETE MASONRY UNITS SEE STRUCTURAL PLANS.
3.6 WHEN INCORPORATED INTO THE DESIGN OF THE PROJECT, FURNISH AND INSTALL ALL MASONRY WORK COMPLETE, INCLUDING MASONRY VENEER AND MASONRY REINFORCING AND WATERPROOFING.
3.7 FIREPLACES SHALL CONFORM TO CHAPTER 21 OF CBC.
3.8 FILL ALL CONCRETE MASONRY UNITS WITH SOLID GROUT.
3.9 WORK SHALL BE PLUMB, LEVEL, AND TRUE TO LINE.

DIVISION 4 – MASONRY

- 4.1 FOR STRUCTURAL DESIGN, FABRICATION, AND CONSTRUCTION REQUIREMENTS FOR STRUCTURAL STEEL SEE STRUCTURAL PLANS.
4.2 ALL STRUCTURAL STEEL DELIVERED ON SITE SHALL BE PRIMED WITH TWO COATS OF THE APPROPRIATE PRIMER. IF EXPOSED, PAINT AS DIRECTED.
4.3 ALL WELDS SHALL COMPLY WITH THE SPECIFICATIONS OF THE "AMERICAN WELDING SOCIETY". ALL WELDS SHALL BE GROUND SMOOTH AND ALL WELDING SPLATTER SHALL BE REMOVED. ALL EXPOSED WELDS ARE TO BE CONTINUOUS WELDS. ALL ON-SITE WELDING SHALL BE SUBJECT TO SPECIAL INSPECTION IN ACCORDANCE WITH CBC CH. 17 AND ALL OFF-SITE WELDING SHALL BE DONE IN AN APPROVED WELDING SHOP.
4.4 FURNISH ALL METAL SUPPORTS, ANGLES, PLATES, ATTACHMENTS, BOLTS, GATES, RAILINGS, WELDING, SHOP PRIMING AND INCLUDE INSTALLATION AS REQUIRED TO COMPLETE THE WORK.

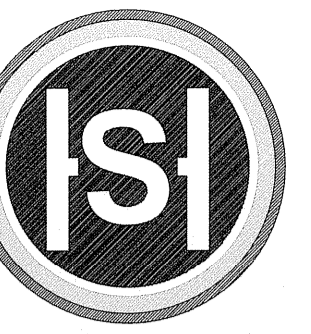
DIVISION 5 – WOOD AND PLASTIC

- 5.1 FRAMING SHALL BE DONE IN A WORKMANLIKE MANNER BY SKILLED MECHANICS IN ACCORDANCE WITH APPLICABLE BUILDING CODES.
5.2 DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
5.3 VERIFY ALL BUILT-IN EQUIPMENT DIMENSIONS PRIOR TO FABRICATION.
5.4 ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY AND WITHIN 18" OF GRADE TO BE PRESSURE TREATED WEST COAST DOUGLAS FIR OR FOUNDATION GRADE REDWOOD. ALL FASTENERS IN CONTACT WITH PRESSURE-PRESERVATIVE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED, STAINLESS STEEL, COPPER, OR SILICON BRONZE.
5.5 PROVIDE DOUBLE TRIMMERS EACH SIDE OF OPENINGS 6"-0" WIDE OR GREATER AT BEARING WALLS.
5.6 PROVIDE FIRE STOPPING IN STUD SPACES AT ALL FLOOR AND CEILING LEVELS AND STUD SPACES OVER TEN FEET.
5.7 ALL BEAM, JOISTS, AND RAFTERS SHALL BE INSTALLED WITH THE CROWN SIDE UP.
5.8 CONTRACTOR SHALL PROVIDE SAFE AND ADEQUATE TEMPORARY ERECTION BRACING ON ALL BEAMS, WALLS, ETC. TO PROVIDE FULL STRUCTURAL STABILITY. BRACING SHALL NOT BE REMOVED UNTIL THE ELEMENT SUPPORTED IS CAPABLE OF SUPPORTING ITS DESIGN LOADING.
5.9 BLOCK ALL EDGES OF PLYWOOD FLOOR SHEATHING.
5.10 ROUGH CARPENTRY
5.10.1 FOR STRUCTURAL DESIGN REQUIREMENTS OF ROUGH CARPENTRY, SEE STRUCTURAL PLANS.
5.10.2 ALL FRAMING LUMBER SHALL BE GRADE MARKED AND CONFIRM WITH THE STANDARD GRADING AND DRESSING RULES (NO.16) OF THE WEST COAST LUMBER INSPECTION BUREAU, DOUGLAS FIR/LARCH. GRADE FRAMING MEMBER AS FOLLOWS UNLESS OTHERWISE NOTED:
VERTICAL MEMBERS: NO.2
POSTS: NO.1
HORIZONTAL FRAMING 2x JOISTS: NO.2
4x BEAMS OR LARGER: NO. 1
5.10.3 PLYWOOD SHALL BE STRUCTURAL II AS COVERED IN USDC PS-1; CDX; EXTERIOR GLUE, OR EQUAL, UNLESS OTHERWISE NOTED. FACE GRAIN TO RUN PERPENDICULAR TO SUPPORTS WITH EDGES STAGGERED. PROVIDE ONE PLY CLIP BETWEEN EACH SET OF PARTS AT UNBLOCKED EDGES, UNLESS JOINTS AND GROOVE IS USED. FLOOR AND SHELVES: TOILET PAPER HOLDERS, LOWER TONGUE AND GROOVE CABINET AND DRAPERY RODS.
5.10.4 FRAMING CONTRACTOR TO PROVIDE BACKING FOR WALL AND CEILING MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO

- 6.10.5 PROVIDE WOOD BLOCKING AT ALL HOT MOPPED CURBS, CANT STRIPS, FIXTURES, LIGHTS, BUILT-IN CABINETS, SHELVES, ETC.
6.10.6 WHERE WOOD IS EXPOSED VERTICAL GRAIN APPEARANCE GRADE OR BETTER IS TO BE USED.
6.10.7 WHERE A PARTITION CONTAINING HEATING OR OTHER SYSTEMS RUNS PARALLEL TO FLOOR JOISTS PROVIDE DOUBLE JOISTS SPACED AND BRIDGED TO PERMIT PASSAGE OF SUCH SYSTEMS.
6.10.8 FIREBLOCK ALL SPACES GREATER THAN TEN FEET AND AT DRYWALL JOINTS. DRAFT STOP ALL FLOOR CONSTRUCTION WHERE HEAT OR EXHAUST DUCTS PASS THROUGH AS PER APPLICABLE CODE.
6.10.9 ALL BOLTS AND LAG SCREWS SHALL HAVE WASHERS UNDER HEADS AND NUTS. ALL NUTS AND SCREWS SHALL BE TIGHTENED WHEN INSTALLED AND RETIGHTENED BEFORE COVERING.
6.10.10 NO STRUCTURAL MEMBER SHALL BE CUT OR DRILLED THROUGH WITHOUT PRIOR REVIEW BY THE STRUCTURAL ENGINEER.
6.11 FINISH CARPENTRY
6.11.1 ADJUST FRAMING FURR-OUTS AND SHEAR WALLS AS REQUIRED TO MAINTAIN A FLAT AND FLUSH SURFACE FOR INTERIOR OR EXTERIOR FINISHES.
6.11.2 FURNISH AND INSTALL ALL FINISH CARPENTRY COMPLETE INCLUDING TRIM, DOOR FRAMES, PANELING, WEATHERSTRIPPING.
6.11.3 ALL JOINTS SHALL BE TIGHT AND TRUE AND SECURELY FASTENED. CORNERS SHALL BE NEATLY METERED, BUFFED, OR COPEL WITH NAILS SET AND SURFACES FREE OF TOOL MARKS.
6.11.4 ALL WORK SHALL BE MACHINED OR HAND SANDED, SHARP EDGES AND SPLINTERS REMOVED. FULL LENGTH BOARDS SHALL BE USED WHENEVER APPLICABLE OR NOTED.
6.11.5 ALIGN ALL PIECES AND GRAIN WHEN INSTALLING FINISH LUMBER, UNLESS OTHERWISE SHOWN.
6.12 CABINETS
6.12.1 ALL CABINETS SHALL MEET THE REQUIREMENTS OF THE ARCHITECTURAL WOODWORKING INSTITUTE.
6.12.2 ALL JOINTS TO BE TIGHT AND TRUE AND SECURELY FASTENED. CORNERS SHALL BE BUTTED, COPEL, OR METERED, NAILS AND SCREWS SET AND SURFACES FREE OF TOOL MARKS.
6.12.3 USE CONCEALED FASTENERS, UNLESS OTHERWISE SHOWN.
6.12.4 SHELVES TO BE 1x, UNLESS OTHERWISE NOTED. SHELVES WIDER THAN 12" SHALL BE 3/4" PLYWOOD WITH MATCHING VENEER AND EDGE BAND LET INTO CASE ENDS.
6.12.5 PROVIDE VENTS AND HOLES FOR WIRING CONNECTIONS FOR ALL SHOE, ENTERTAINMENT CENTERS, FREEZER, REFRIGERATOR, AND OTHER EQUIPMENT IN BUILT-IN CABINETS. COORDINATE SIZE, LOCATION, AND OPERATION OF ALL APPLIANCES IN ADVANCE OF FABRICATION. PROVIDE ACCESS FOR APPLIANCE SERVICE AND REPLACEMENT WITHOUT DAMAGING CABINETS.
6.12.6 ALL CABINET DOORS UP TO FIVE FEET IN HEIGHT TO BE 3/4" HARDWOOD, 1 1/8" THICK IF TALLER. MAXIMUM HINGING DISTANCE TO BE 36". ADJUST DOOR FACES TO BE FLUSH. DOORS ARE TO CLOSE STRAIGHT AND FLUSH. PROVIDE STIFFENERS AS REQUIRED FOR OVERSIZED DOORS.
6.12.7 DRAWERS ARE TO BE 18" DEEP UNLESS OTHERWISE NOTED. FRONTS TO BE 3/4" HARDWOOD. USE FULL EXTENSION DRAWER ROLLERS. DRAWER HANDLES AS SELECTED BY ARCHITECT.
6.12.8 FURNISH AND INSTALL MAGNETIC CATCHES.
6.12.9 NOTIFY ARCHITECT OF ANY CHANGES REQUIRED DUE TO OPERATION OF BUILT-IN APPLIANCE, DIMENSION DISCREPANCY, OWNER ALTERATIONS, ETC.
6.12.10 SUBMIT SHOP DRAWINGS FOR ALL CABINET WORK TO BE DONE TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
6.13 FOR CERAMIC TILE INSTALLATIONS ON COUNTERTOPS, INSTALL ALL CERAMIC TILE ON ONE INCH MORTAR BED ON SOLID PARTICLE BOARD OR PINE FACED PLYWOOD WITH EXTERIOR WATERPROOF GLUE. PROVIDE WATERPROOF MEMBRANE BETWEEN PARTICLE BOARD AND MORTAR BED. ADJUST MORTAR TO BE LEVEL AND TRUE UNLESS SLOPING IS NECESSARY FOR DRAINING PURPOSES.

DIVISION 7 – THERMAL AND MOISTURE PROTECTION

- 7.1 FLASHING
7.1.1 SHEET METAL – SHEET METAL WORK SHALL CONFORM TO PUBLISHED STANDARDS OF SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC.
7.1.2 INSTALL ROOFING AND WALL FLASHING PER MANUFACTURER'S RECOMMENDATIONS CAREFULLY ESTABLISHING A CONTINUOUS SEAL WITH SCUPPERS, JACKS, DRAINS, ETC.
7.1.3 FLASHING AND COUNTER FLASHING IS REQUIRED AT ROOF/WALL JUNCTIONS, AND AT ALL EXTERIOR OPENINGS.
7.1.4 FLASH ALL ROOF PENETRATIONS TO PROVIDE WATERPROOF CONDITIONS.
7.1.5 ALL WORK TO BE ACCURATELY FABRICATED TO DETAIL AND FITTED TO JOB CONDITIONS FOLDED AND BREAK FORWARD PIECES SHALL BE FINISHED TRUE AND STRAIGHT, WITH WARP LINES AND ANGLES.
7.1.6 LOCK SEAMS FLAT AND TRUE, 1/2" WIDE SWEATED FULL WITH SOLDER.
7.1.7 PROVIDE CONTINUOUS 6" HIGH FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL JOINTS.
7.1.8 IN FLASHING AND WATERPROOFING PROVIDE FOR DIFFERENTIAL MOVEMENT OF MATERIALS DUE TO WIND, SEISMIC, LOADING, TEMPERATURE, AND SHRINKAGE.
7.1.9 FLASHING SHALL BE 26 GAUGE G.I. MINIMUM UNLESS OTHERWISE NOTED.
7.1.10 ALL GALVANIZED METAL TO BE PRIMED AND PAINTED.
7.2 INSULATION
7.2.1 INSULATION SHALL COMPLY WITH THE REQUIREMENTS FOR ENERGY INSULATION STANDARDS OF APPLICABLE CODES.
7.2.2 A CERTIFICATE OF COMPLIANCE FOR INSULATION REQUIREMENTS, WHEN REQUIRED BY CODE, SHALL BE SIGNED BY INSULATION CONTRACTOR AND GENERAL CONTRACTOR AND PROMINENTLY POSTED AT SITE AS REQUIRED.
7.2.3 PROVIDE A 4 MIL. CONTINUOUS VAPOR BARRIER ON WARM SIDE OF ALL HEATED INSULATED SPACES.
7.2.4 ALL CAVITIES, ATTICS, AND SPACES MADE ACCESSIBLE DURING REMODEL WORK SHALL BE INSULATED TO MEET CODE ENERGY REQUIREMENTS.
7.2.5 SOUND INSULATION AT ALL FLOORS, CEILINGS, AND INTERIOR WALLS.
7.2.6 ALL EXTERIOR WALL INSULATIONS REQUIREMENTS PER ENERGY CALCULATIONS.
7.3 PROVIDE DOUBLE BEAD CAULKING AT SOLEPLATES, JOINTS AROUND WINDOW AND DOOR FRAMES, AND PLUMBING AND ELECTRICAL PENETRATIONS IN EXTERIOR WALLS.
7.4 APPLY ROOFING IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND APPLICABLE CODES. DO NOT NAIL THROUGH WATERPROOF MEMBRANE FOR FURRING STRIPS, DO NOT PUNCTURE WATERPROOF MEMBRANE IN ANY WAY.



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Prepared by:

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Action:

BUILDING SUBMITTAL 09.06.17

PLAN CHECK 11.09.18

Date: 08.18.17

Scale:

Drawn:

Description: SPECIFICATIONS

Sheet No:

SP1.1

CARMEL-BY-THE-SEA ALL CHANGES OF PLANS MUST BE REVIEWED AND APPROVED BEFORE WORK COMMENCES.

Mandatory Feature or Measure	Project Requirements	Verification
4.1 PLANNING AND DESIGN		
Planning and Design – Site Development		
4.1062 A plan is developed and implemented to manage storm water drainage during construction.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.1063 The site shall be planned and developed to keep surface water away from buildings. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.2 ENERGY EFFICIENCY		
General		
4.201.1 Low-rise residential buildings shall meet or exceed the minimum design standards required by the California Energy Commission.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.3 WATER EFFICIENCY AND CONSERVATION		
Indoor Water Use		
4.303.1 A schedule of plumbing fixtures and fixture fittings that will reduce the overall use of potable water within the building by at least 20% shall be provided. The 20% reduction shall be demonstrated by one of the following methods. <input checked="" type="checkbox"/> Water saving fixtures or flow restrictors shall be used. <input type="checkbox"/> A 20 percent reduction in baseline water use shall be demonstrated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.303.2 When using the calculation method specified in Section 4.303.1 multiple showerheads shall not exceed maximum flow rates.	<input type="checkbox"/>	<input type="checkbox"/>
4.303.3 Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with specified performance requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Outdoor Water Use		
4.304.1 Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following: 1. Controllers shall be weather or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change. 2. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY		
Enhanced Durability and Reduced Maintenance		
4.406.1 Joints and openings. Openings in the building envelope separating conditioned space from unconditioned spaces needed to accommodate gas, plumbing, electrical lines and other necessary penetrations must be sealed in compliance with the California Energy Code.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Construction Waste Reduction, Disposal and Recycling		
4.408.1 Construction waste reduction of at least 50 percent. Recycle and/or salvage for reuse a minimum of 50 percent of the nonhazardous construction and demolition debris, or meet a local construction and demolition waste management ordinance, whichever is more stringent.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.408.2 Construction waste management plan. Where a local jurisdiction does not have a construction and demolition waste management ordinance, a construction waste management plan shall be submitted for approval to the enforcing agency that: 1. Identifies the materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. 2. Specifies if materials will be sorted on-site or mixed for transportation to a diversion facility. 3. Identifies the diversion facility where the material collected will be taken. 4. Identifies construction methods employed to reduce the amount of waste generated. 5. Specifies that the amount of materials diverted shall be calculated by weight or volume, but not by both.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Building Maintenance and Operation		
4.410.1 An operation and maintenance manual shall be provided to the building occupant or owner at the time of final inspection complying with items 1-10.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Res Green Code Checklist rev 04-26-12 DV Page 2 of 4

4.5 ENVIRONMENTAL QUALITY		
Fireplaces		
4.503.1 Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with US EPA Phase II emission limits.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Pollutant Control		
4.504.1 Duct openings and other related air distribution component openings shall be covered during construction.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.504.2.1 Adhesives, sealants and caulks shall be compliant with VOC and other Toxic compound limits.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.504.2.2 Paints, stains and other coatings shall be compliant with VOC limits.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.504.2.3 Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.504.2.4 Documentation shall be provided to verify that compliant VOC limit finish materials have been used.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.504.3 Carpet and carpet systems shall be compliant with VOC limits.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.504.4 Fifty (50) percent of floor area receiving resilient flooring shall comply with the VOC-emission limits defined in the Collaborative for High Performance Schools (CHPS) Low-emitting Materials List or be certified under the Resilient Floor Covering Institute (RFCI) FloorScore Program.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.504.5 Particleboard, medium fiberboard (MDF) and hardwood plywood used in interior or exterior finish systems shall comply with low formaldehyde emission standards.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Interior Moisture Control		
4.505.2 Vapor retarder and capillary break of 4" thick base of 1/2" or larger clean aggregate shall be installed at slab on grade foundations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.505.3 Moisture content of building materials used in wall and floor framing shall be checked before enclosure.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Indoor Air Quality and Exhaust		
4.506.1 Bathroom exhaust fans Mechanical exhaust fans which exhaust directly from bathrooms shall comply with the following: 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which shall be readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity range of 50 to 80 percent.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Environmental Comfort		
4.507.1 Whole house exhaust fans shall have insulated louvers or covers which close when the fan is off. Covers or louvers shall have a minimum insulation value of R-4.2	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.507.2 Duct systems are sized, designed, and equipment is selected using the following methods: 1. Establish heat loss and heat gain values according to ACCA Manual J or equivalent. 2. Size duct systems according to ACCA 26-D (Manual D) or equivalent. 3. Select heating and cooling equipment according to ACCA 36-S (Manual S) or equivalent.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
INSTALLER AND VERIFICATIONS		
Qualifications		
702.1 HVAC system installers are trained and certified in the proper installation of HVAC systems by a nationally or regionally recognized training or certification program.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Verifications		
703.1 Verification of compliance with this CalGreen may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the Building department which show substantial conformance. Implementation verification shall be submitted to the Building department after implementation of all required measures and prior to final inspection approval.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Res Green Code Checklist rev 04-26-12 DV Page 3 of 4

TABLE 4.504.1
ADHESIVE VOC LIMIT^{1,2}
Less Water and Less Exempt Compounds in Grams per Liter

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	30
Plastic foams	50
Porous material (except wood)	50
Wood	30
Fiberglass	80

1. If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.
2. For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1168.

TABLE 4.504.2
SEALANT VOC LIMIT
Less Water and Less Exempt Compounds in Grams per Liter

SEALANTS	CURRENT VOC LIMIT
Architectural	250
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural	250
Nonporous	775
Porous	775
Modified bituminous	500
Marine deck	760
Other	750

TABLE 4.504.3
VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS^{2,3}
Grams of VOC per Liter of Coating.
Less Water and Less Exempt Compounds

COATING CATEGORY	EFFECTIVE 1/1/2010	EFFECTIVE 1/1/2012
Flat coatings	50	
Nonflat coatings	100	
Nonflat-high gloss coatings	150	
Specialty Coatings		
Aluminum roof coatings	400	
Basement specialty coatings	400	
Bituminous roof coatings	50	
Bituminous roof primers	350	
Bond breakers	350	
Concrete curing compounds	350	
Concrete/masonry sealers	100	
Driveway sealers	50	
Dry fog coatings	150	
Paux finishing coatings	350	
Fire resistive coatings	350	
Floor coatings	100	
Form-release compounds	250	
Graphic arts coatings (sign paints)	500	
High temperature coatings	420	
Industrial maintenance coatings	250	
Low solids coatings ¹	120	
Magnetite cement coatings	450	
Mastic texture coatings	100	
Metallic pigmented coatings	500	
Multicolor coatings	250	
Pretreatment wash primers	420	
Primers, sealers, and undercoaters	100	
Reactive penetrating sealers	350	
Recycled coatings	250	
Roof coatings	50	
Rust preventative coatings	400	250
Shellacs		
Clear	730	
Opaque	550	
Specialty primers, sealers and undercoaters	350	100
Stains	250	
Stone consolidants	450	
Swimming pool coatings	340	
Traffic marking coatings	100	
Tub and tile refinish coatings	420	
Waterproofing membranes	250	
Wood coatings	275	
Wood preservatives	350	
Zinc-rich primers	340	

CALGREEN SIGNATURE DECLARATIONS

Project Name: Sand & Sea Lot 1 Residence
 Project Address: #1 Sand and Sea, San Antonio, Carmel by the Sea
 Project Description: remodel of existing single family residence

SECTION 1 - DESIGN VERIFICATION

The owner/owner's agent and design professional responsible for compliance with the CalGreen Standards have reviewed the plans and certify that the items noted as being required in the attached checklist have been incorporated into the project plans and will be implemented into the project in accordance with the requirements set forth in the 2010 California Green Building Standards Code as adopted by the County of Monterey.

Owner's Signature _____ Date _____

Owner's Name (Please Print) _____
 Design Professional's Signature _____ Date 08.18.17
 Design Professional's Name (Please Print) _____

SECTION 2 - IMPLEMENTATION VERIFICATION

I have inspected the work and have received sufficient documentation to verify and certify that the project identified above was constructed in accordance with the attached checklist and in accordance with the requirements of the 2010 California Green Building Standards Code as adopted by the County of Monterey.

Building Inspector's Signature _____ Date _____

Building Inspector's Name (Please Print) _____

4.507.2 MECHANICAL PLAN WILL BE PROVIDED ON DEFERRED SUBMITTAL.

4.406.1 PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS

4.504.1 COVER DUCT OPENING AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION

4.504.2.1 ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLAINT WITH VOC AND OTHER TOXIC COMPOUND LIMITS

4.504.2.2 PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.

4.504.5 PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSIONS STANDARDS.

4.505.2 CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE

CARMEL-BY-THE-SEA/
ALL CHANGES OF PLANS
MUST BE REVIEWED AND
APPROVED BEFORE
WORK COMMENCES.



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Action: _____

BUILDING SUBMITTAL 09.06.17

PLAN CHECK 10.18.17

Date: 08.18.17

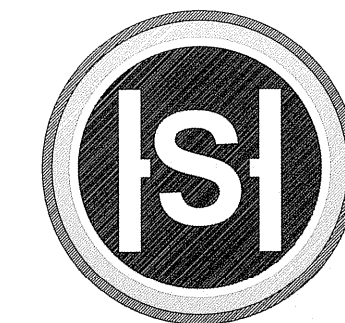
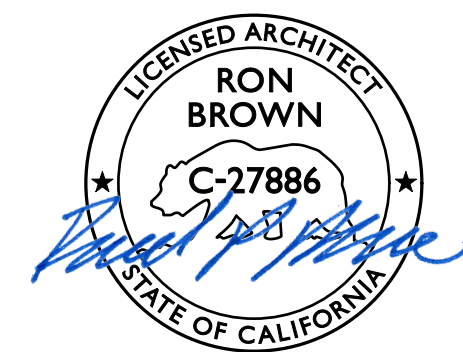
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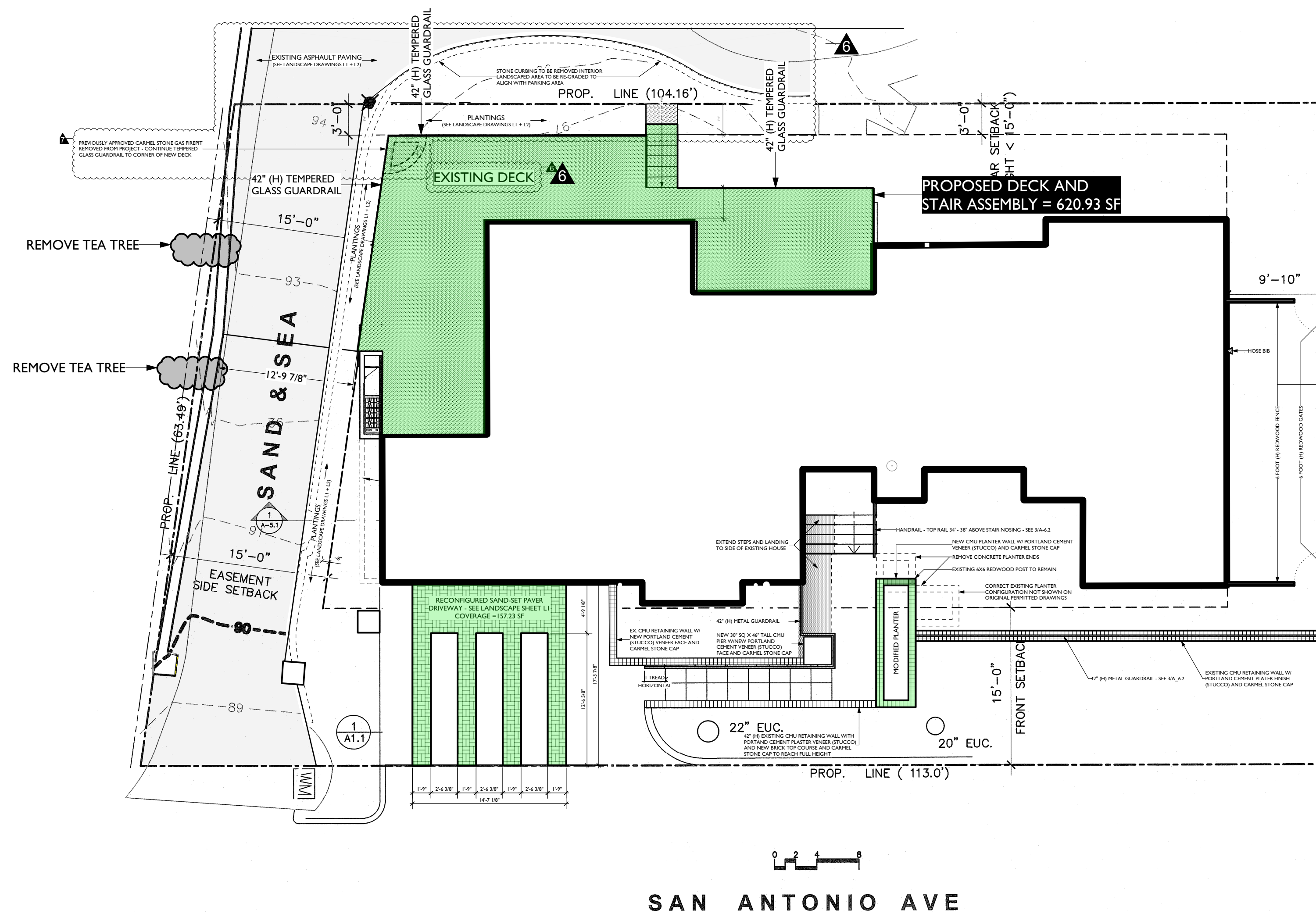
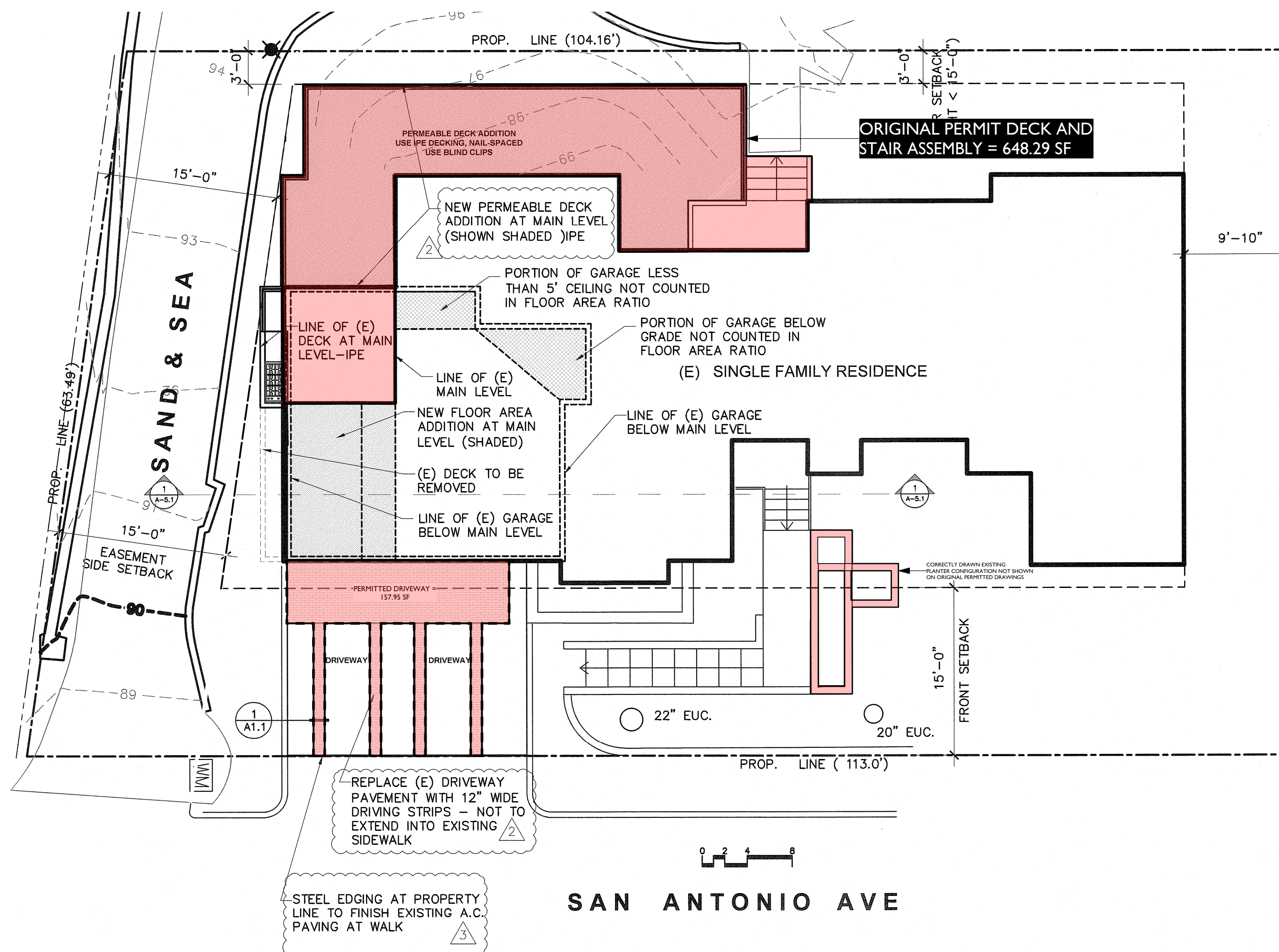
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Sheet No:

G-1



SITE COVERAGE ANALYSIS	
PERMITTED DECK SITE COVERAGE:	648.29 SF
PREPOSED DECK SITE COVERAGE:	- 620.93 SF
SITE COVERAGE CHANGE:	- 27.36 SF
PERMITTED DRIVEWAY SITE COVERAGE:	157.95 SF
PREPOSED DRIVEWAY COVERAGE:	- 157.23 SF
SITE COVERAGE CHANGE:	- 0.72 SF
PERMITTED PLANTER COVERAGE:	37.26 SF
PREPOSED PLANTER COVERAGE:	20.51 SF
SITE COVERAGE CHANGE:	- 16.75 SF



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Action:

BUILDING SUBMITTAL
 09.06.17

PLAN REV.
 08.27.18

PLAN CHECK
 12.04.18

PLAN CHECK
 12.14.18

RON BROWN
 DRAWING REVISIONS
 10/22/2020

Date: 05.05.17

Scale: 1/8"=1'-0"

Drawn:

Description:

SITE PLAN

Sheet No:

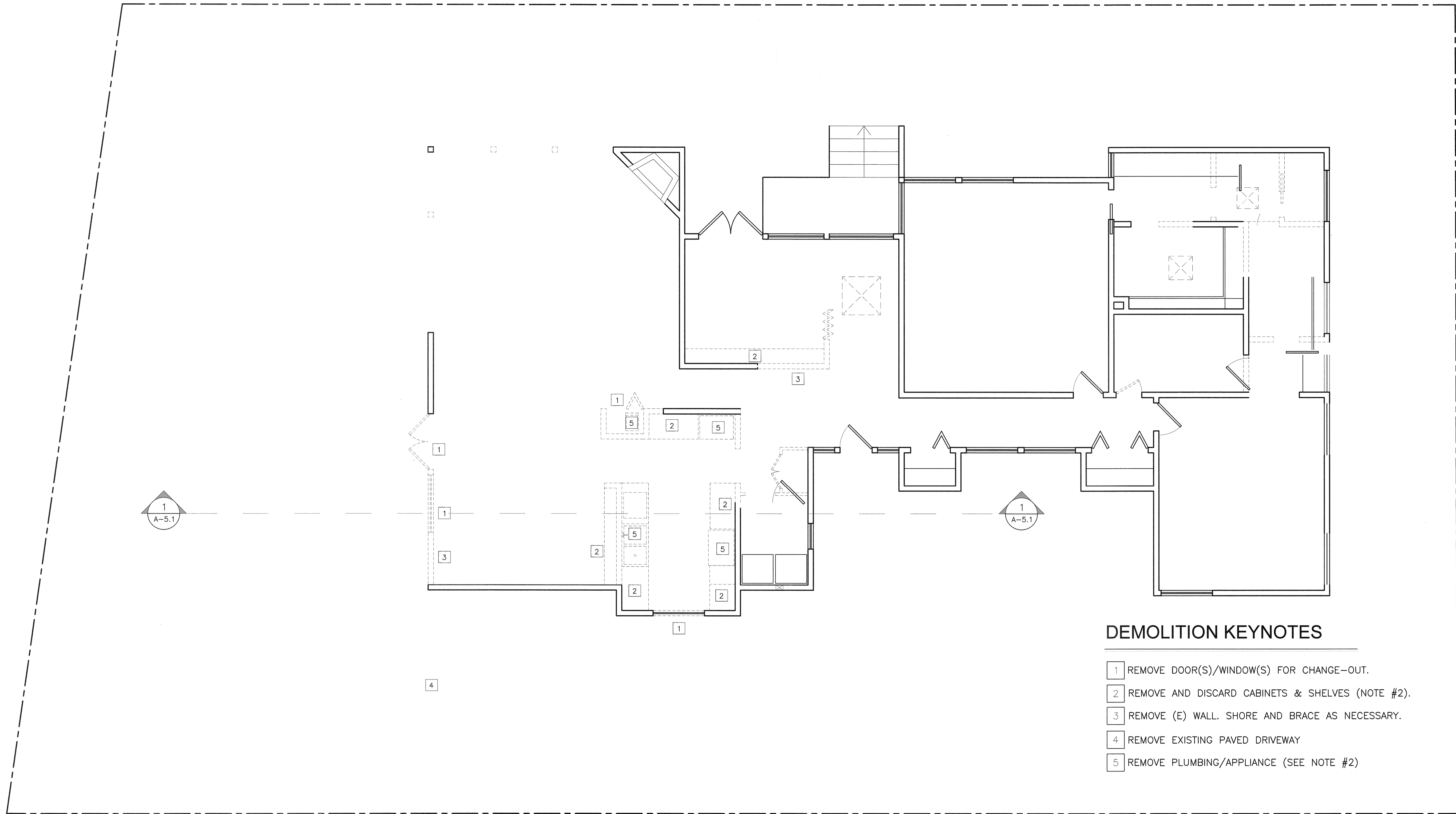
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DEMOLITION KEYNOTES

- 1 REMOVE DOOR(S)/WINDOW(S) FOR CHANGE-OUT.
- 2 REMOVE AND DISCARD CABINETS & SHELVES (NOTE #2).
- 3 REMOVE (E) WALL. SHORE AND BRACE AS NECESSARY.
- 4 REMOVE EXISTING PAVED DRIVEWAY
- 5 REMOVE PLUMBING/APPLIANCE (SEE NOTE #2)

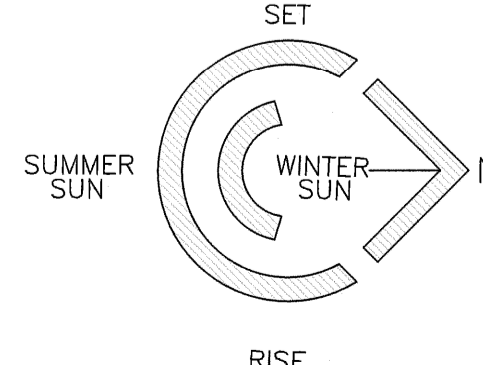
DEMOLITION GENERAL NOTES

- 1.) CONTRACTOR SHALL PROVIDE SAFE SUPPORT FOR FLOOR AND ROOF BEARING POINTS DURING AND AFTER REMOVAL UNTIL SECURELY RESUPPORTED WITH WEIGHT TRANSFER TO PROPER SIZED FOOTING.
- 2.) CONTRACTOR SHALL COORDINATE RECYCLING OF SALVAGEABLE BUILDING MATERIALS WITH LOCAL NONPROFIT OR OTHER.

MAIN FLOOR PLAN

- WALL LEGEND**
- EXISTING WALL/DOOR/WINDOWS/FIXTURES TO BE REMOVED
 - ▬ NEW 2X6 (MIN.) STUD WALL
 - ▬ EXISTING WALL TO REMAIN

SCALE: 1/4"=1'-0"



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Action:
BUILDING SUBMITTAL
09.06.17

Date: 05.05.17

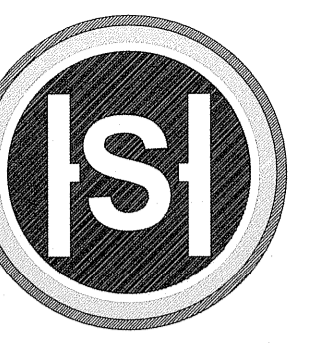
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Description:

DEMO PLAN

Sheet No:
A-2.0D



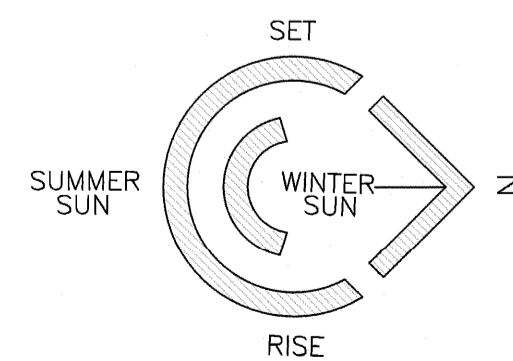
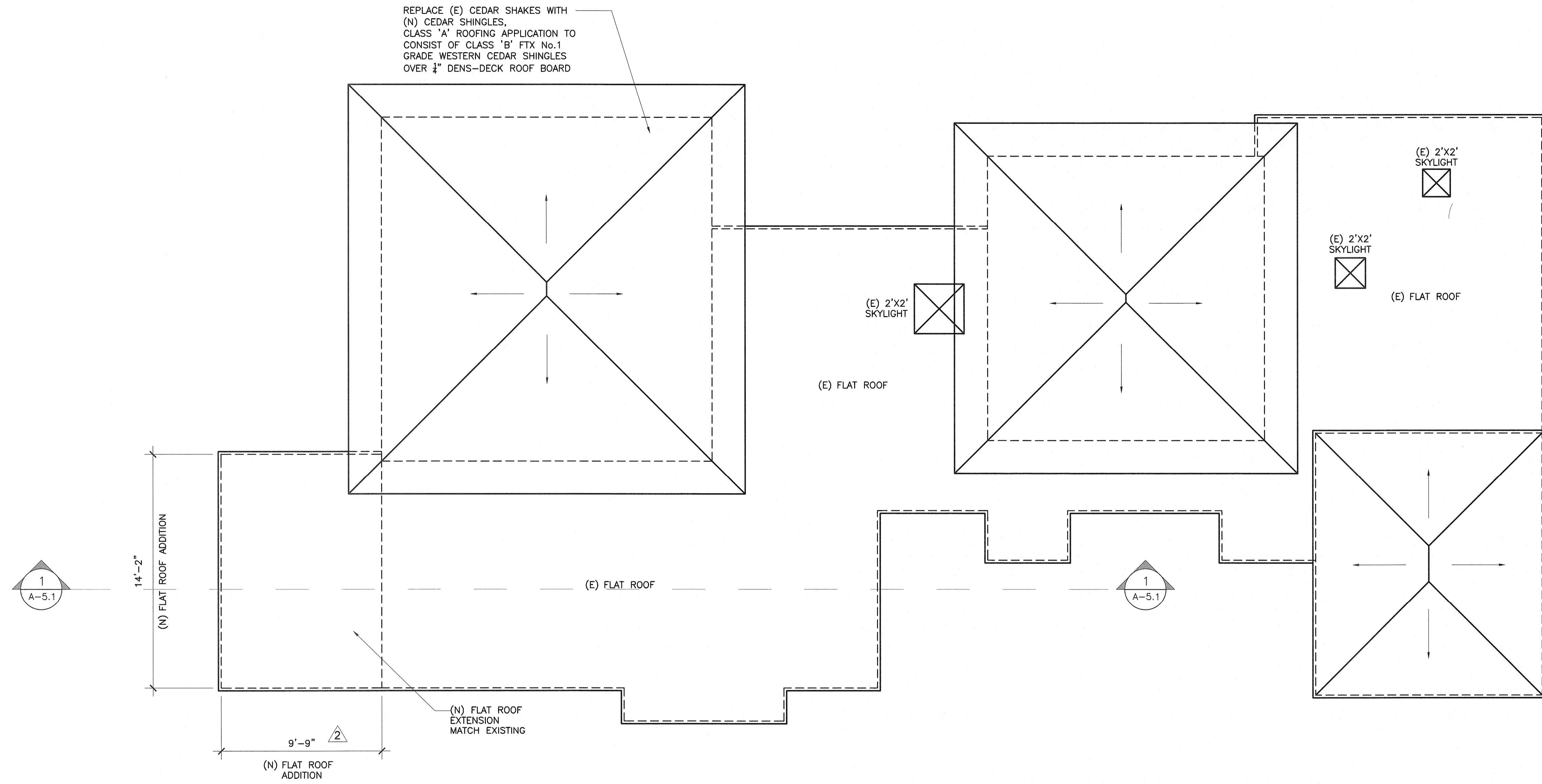
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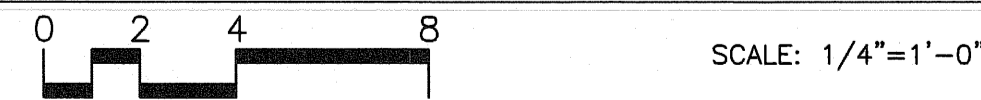
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ROOF PLAN



SCALE: 1/4"=1'-0"

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Action:

BUILDING SUBMITTAL
09.08.17

PLAN CHECK
10.18.17

PLAN REV.
08.27.18

Date: 05.05.17

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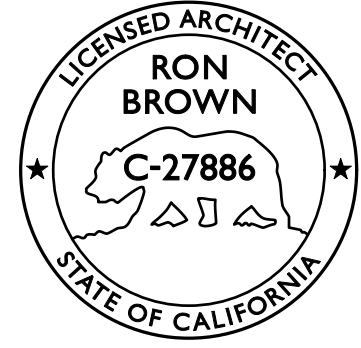
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ROOF
PLAN

Sheet No:

A-3.1

REVISION NOTES

- 1. ALL DRAWINGS REVISIONS NOTED WITH A BLACK FILLED TRIANGLES ARE MADE BY RON BROWN, ARCHITECT.

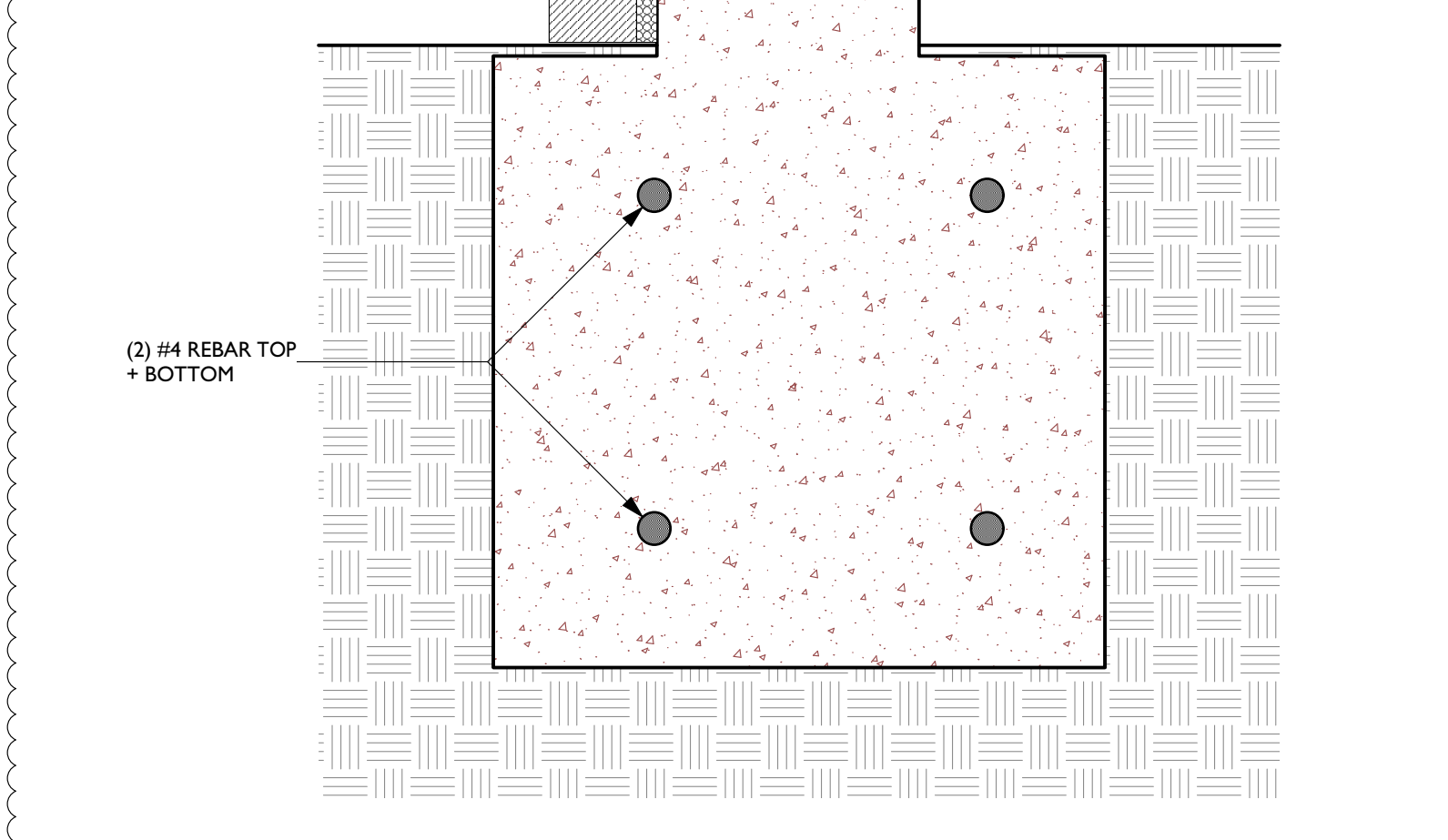
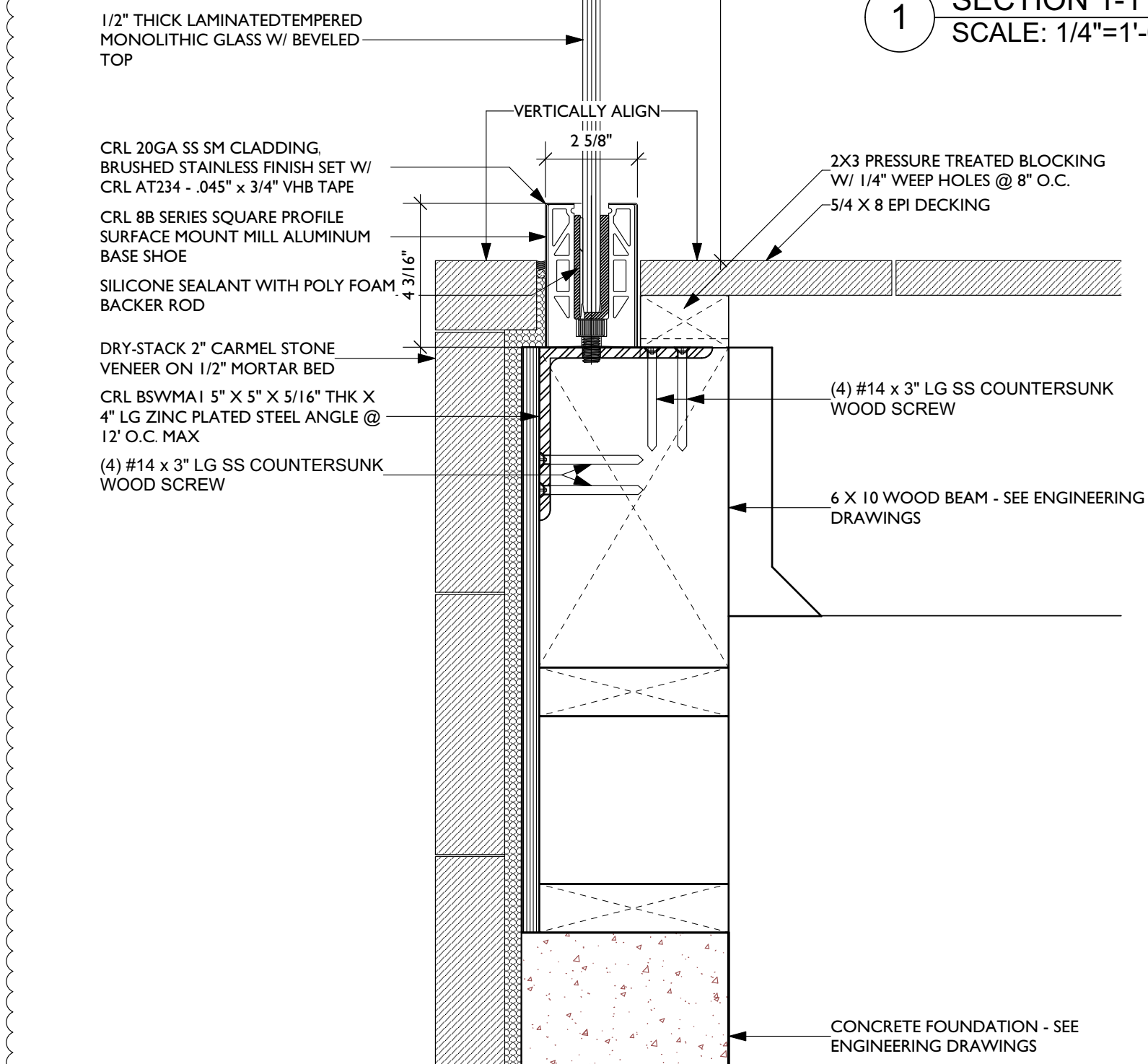
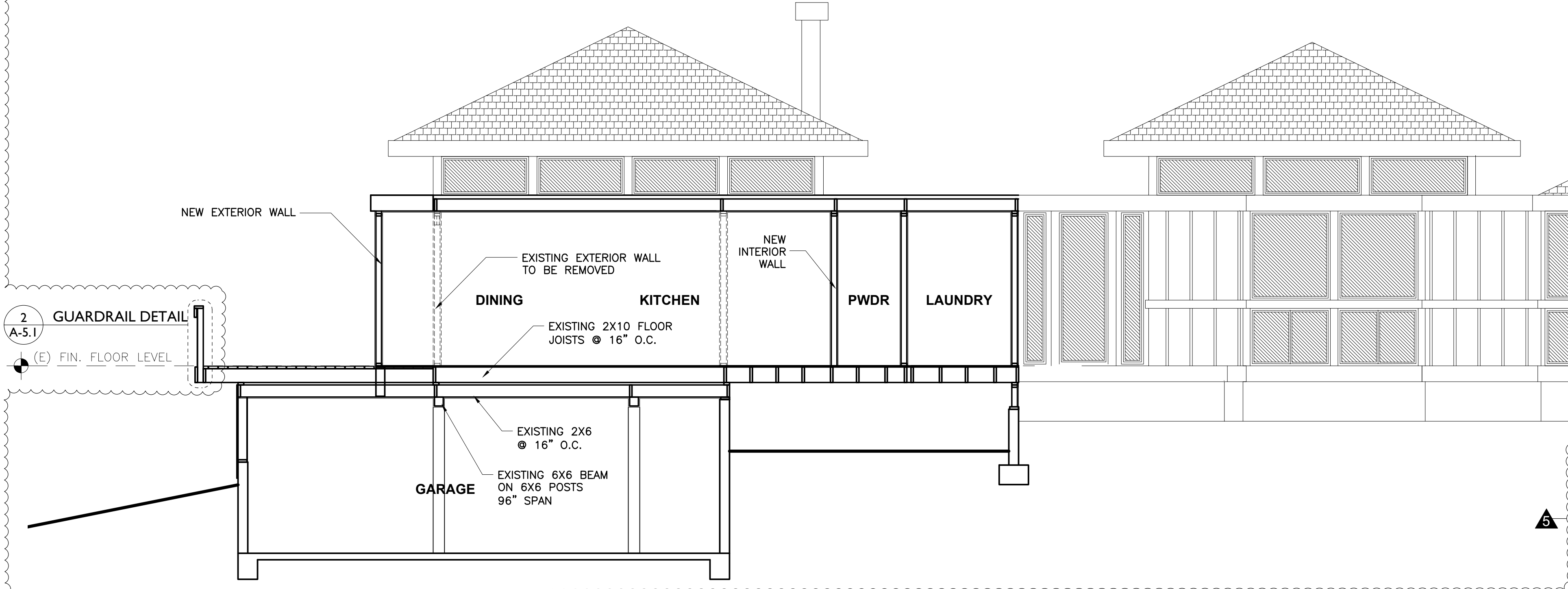
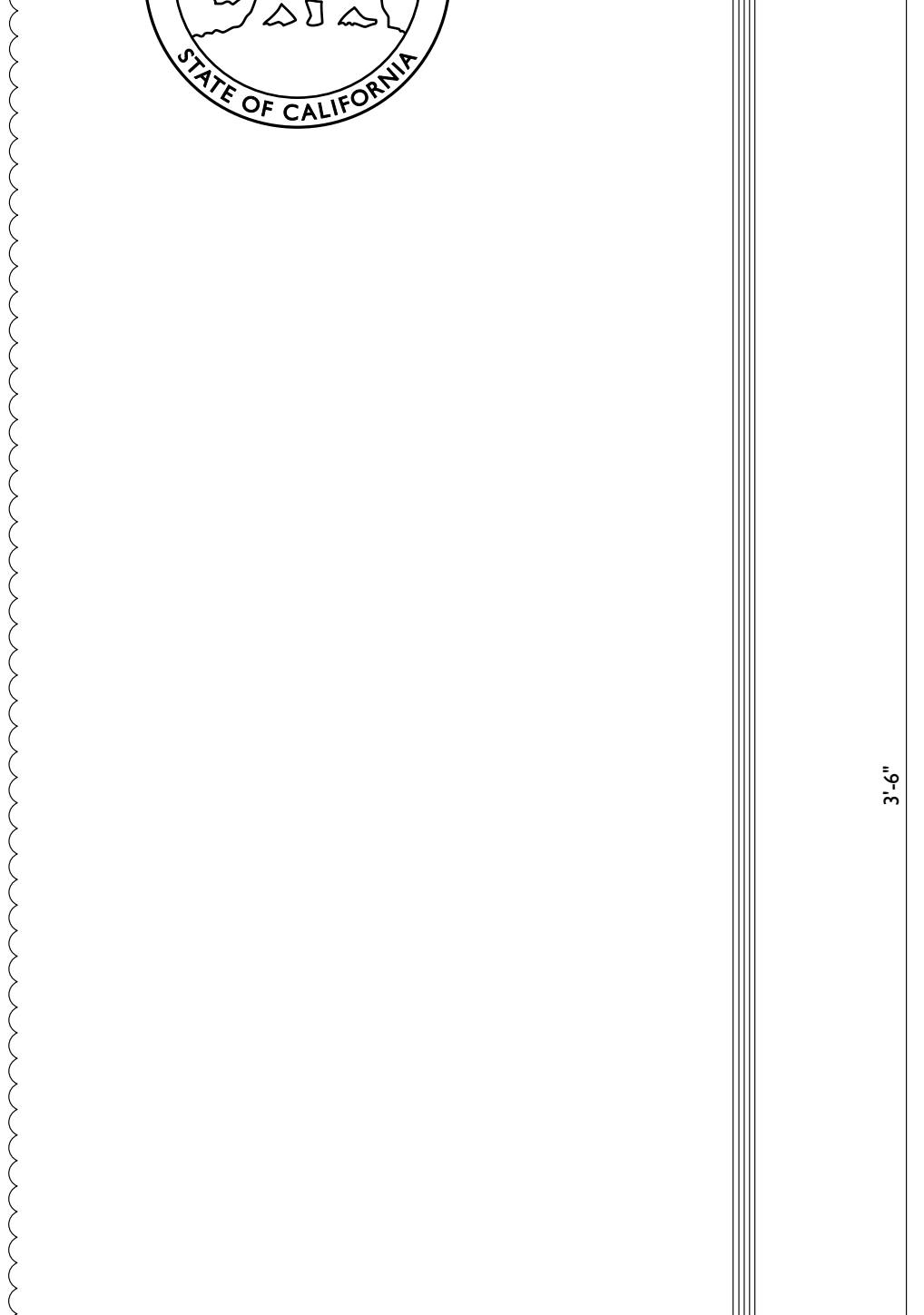


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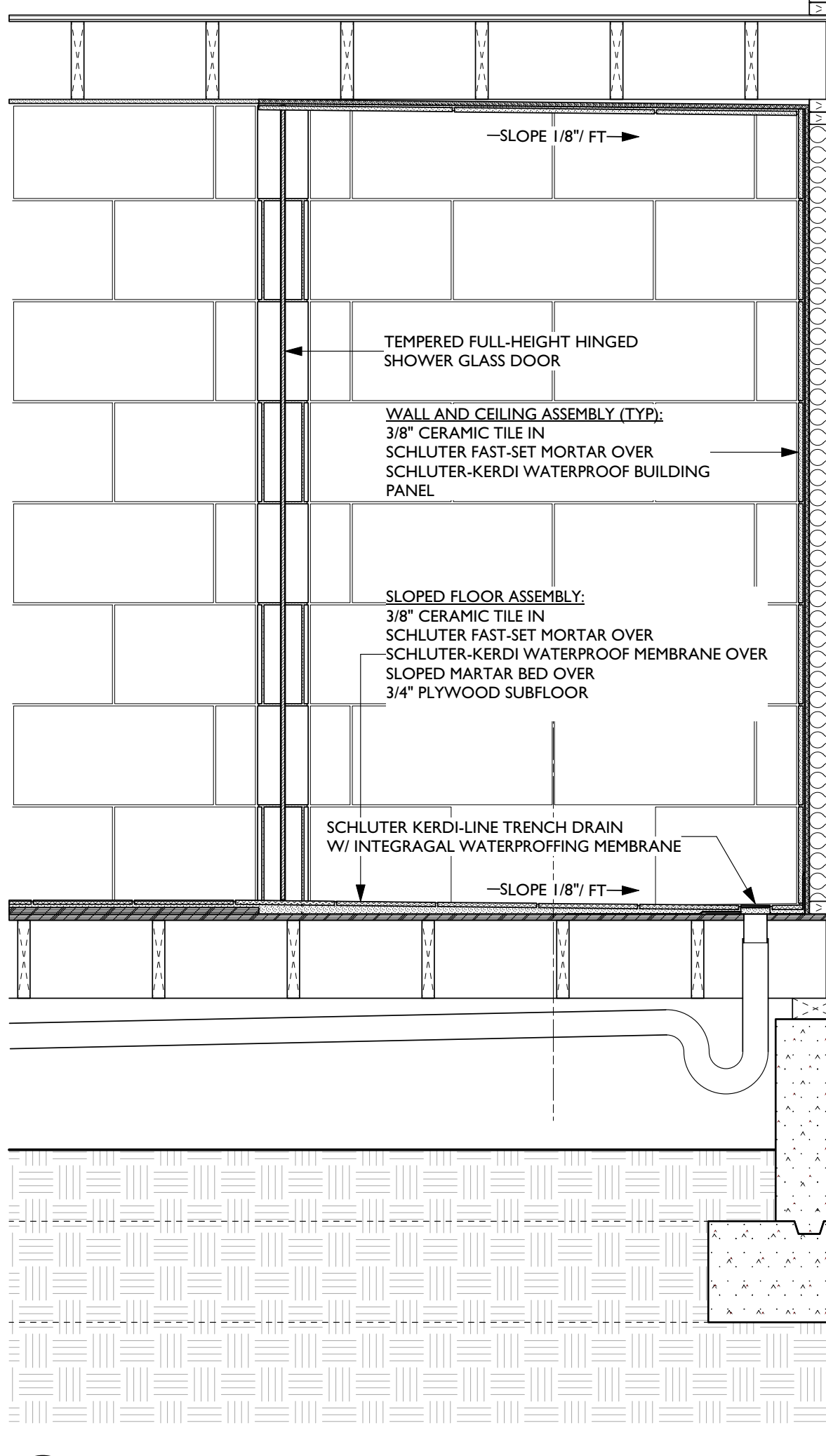
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CRL GRS GLASS RAILING BASE SHOE. Includes a table of specifications for various sizes and materials, a list of features, and technical drawings of the base shoe and its installation. The table includes columns for Stock Length, Hole Size, Counter Bore X Depth, and Weight.



2 MASTER BATHROOM SHOWER SECTION SCALE: 3/4\"/>

SHOWER ASSEMBLY Curbleless Showers - Ceramic or stone tile. Includes a list of components for Schlüter-KERDI waterproofing membrane and Schlüter-KERDI-BOARD waterproof building panel. Features diagrams of shower pan and wall/celling assemblies, and a list of materials and installation specifications.

SHOWER ASSEMBLY Curbleless Showers - Ceramic or stone tile. Includes a list of components for Schlüter-KERDI waterproofing membrane and Schlüter-KERDI-BOARD waterproof building panel. Features diagrams of shower pan and wall/celling assemblies, and a list of materials and installation specifications.

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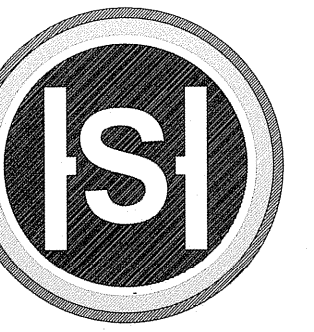
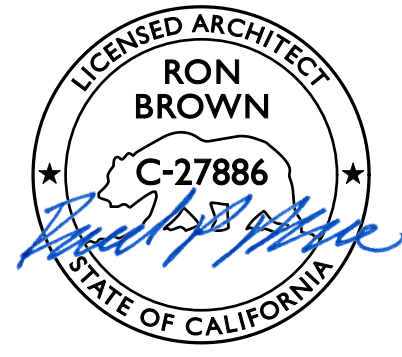
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Action: BUILDING SUBMITTAL 09.08.17 PLAN CHECK 10.18.17 RON BROWN PLAN CHECK REVISIONS 10/16/2019

Date: 08.22.17 Scale: 1/4"=1'-0" Drawn: Description: BUILDING SECTIONS Sheet No: A-5.1

REVISION NOTES

1. ALL DRAWINGS REVISIONS NOTED WITH A BLACK FILLED TRIANGLES ARE MADE BY RON BROWN, ARCHITECT.



STERLING-HUDDLESON ARCHITECTURE

P.O. BOX 221092

CARMEL, CA. 93922

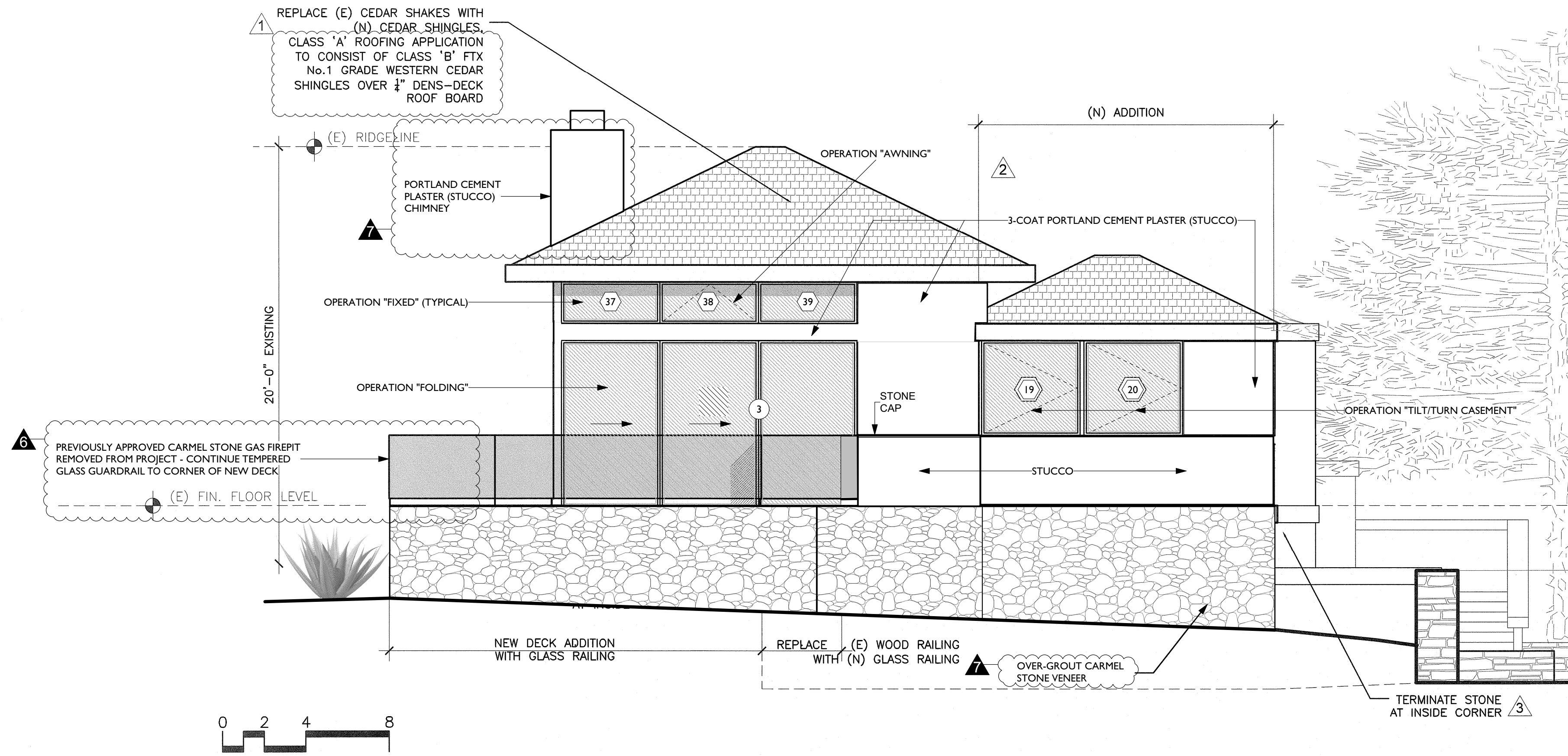
TEL 831.624.4363

www.sterlinghuddleson.com

ONE SAND & SEA
1 SAND & SEA CARMEL-BY-THE-SEA, CA
A.P.N. 010-321-023

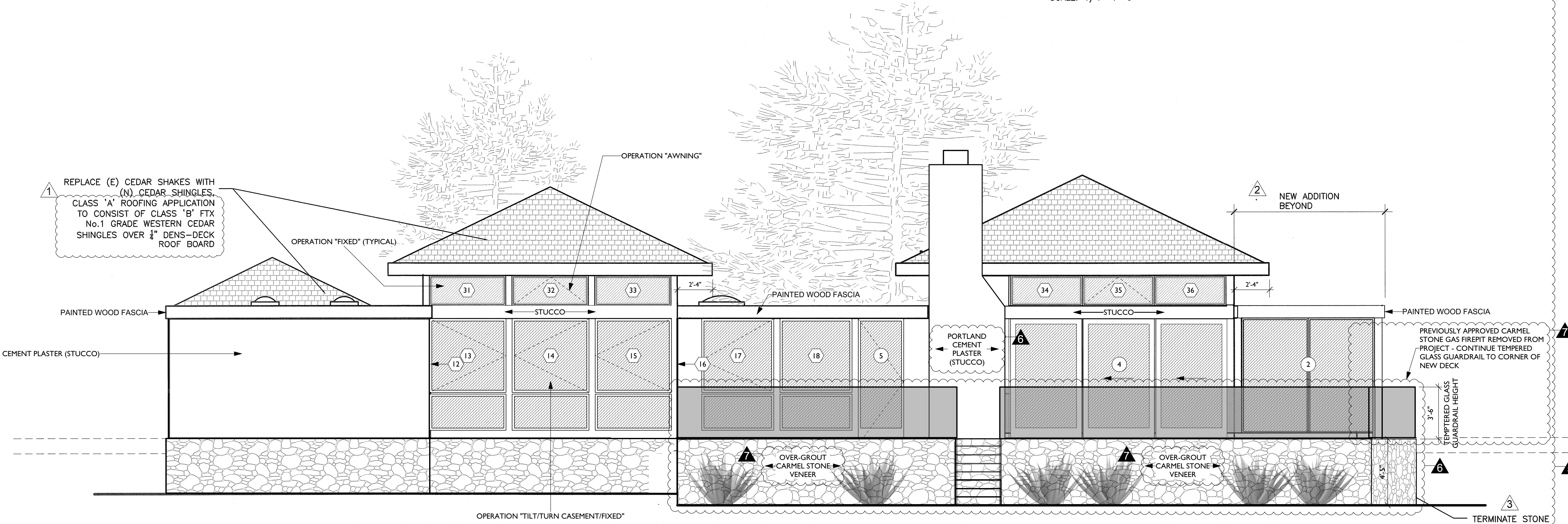
ELEVATION NOTES:

1. GENERAL CONTRACTOR SHALL PAINT A SWATCH OF COLOR ON A PORTION OF THE WEST ELEVATION.
2. GENERAL CONTRACTOR SHALL CALL FOR A PLANNING INSPECTION PRIOR TO PAINTING THE ENTIRE RESIDENCE.



SOUTH ELEVATION

SCALE: 1/4"=1'-0"



WEST ELEVATION

SCALE: 1/4"=1'-0"

Prepared by:

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Action:

- BUILDING SUBMITTAL 09.06.17
- 1 PLAN CHECK 10.18.17
- 2 PLAN REV. 08.27.18
- 3 PLAN CHECK 11.09.18
- 5 RON BROWN PLAN CHECK REVISIONS 10/16/2019
- 6 RON BROWN GUARDRAIL REVISIONS 10/20/2020
- 7 RON BROWN PLAN CHECK REVISIONS 11/23/2020

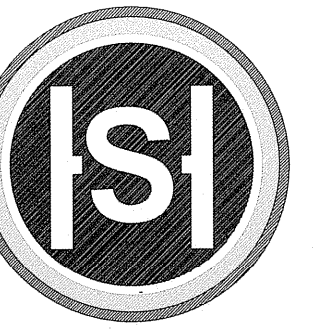
Drawn:

Description:
EXTERIOR ELEVATION

Sheet No:

A-6.1
3

CARMEL-BY-THE-SEA
ALL CHANGES OF PLANS
MUST BE REVIEWED AND
APPROVED BEFORE
WORK COMMENCES.



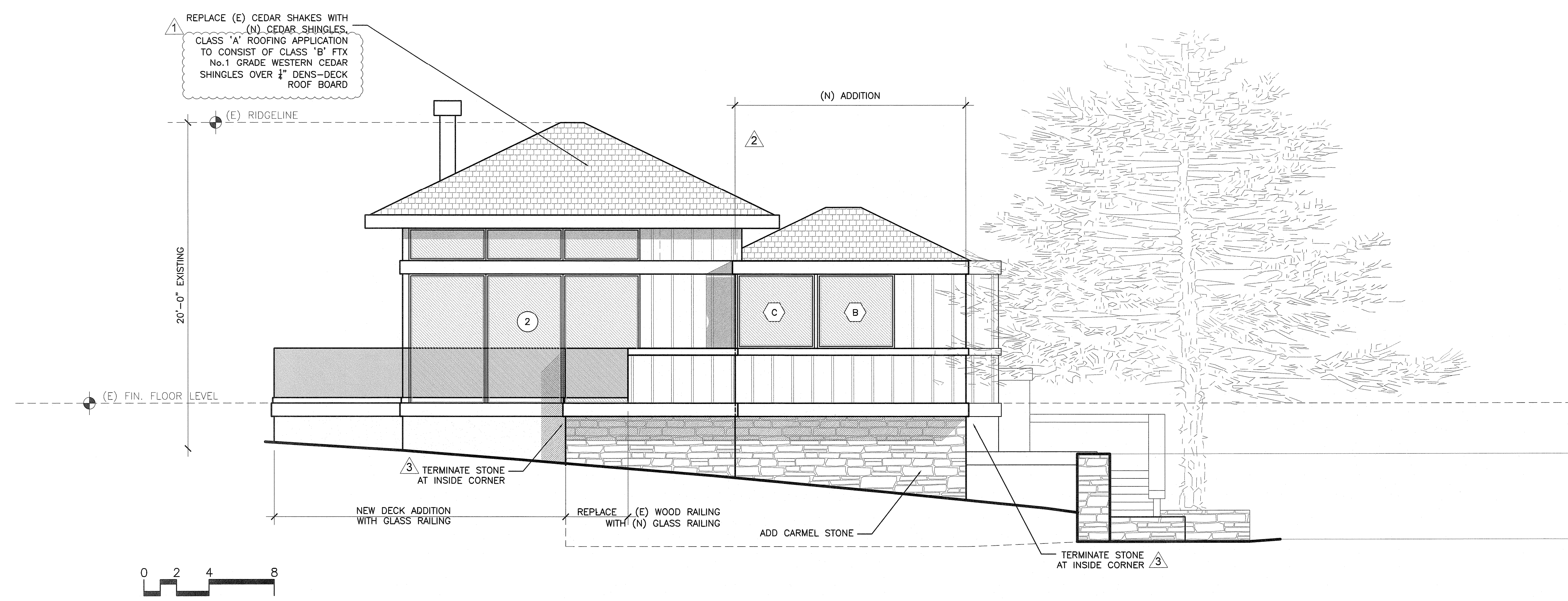
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A.P.N. 010-321-023



SOUTH ELEVATION

SCALE: 1/4"=1'-0"



WEST ELEVATION

SCALE: 1/4"=1'-0"

CARMEL-BY-THE-SEA
ALL CHANGES OF PLANS
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Action:
BUILDING SUBMITAL 09.06.17
1 PLAN CHECK 10.18.17
2 PLAN REV. 08.27.18
3 PLAN CHECK 11.09.18

Date:

Scale:

Drawn:

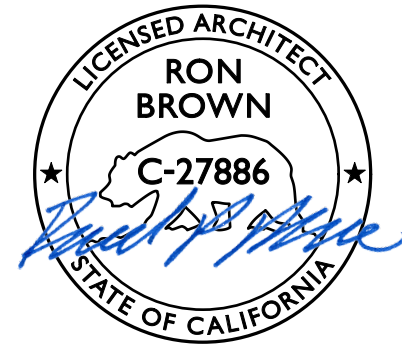
Description:
EXTERIOR
ELEVATION

Sheet No:

ORIGINAL ELEVATIONS - NOT FOR CONSTRUCTION

REVISION NOTES

1. ALL DRAWINGS REVISIONS NOTED WITH A BLACK FILLED TRIANGLES ARE MADE BY RON BROWN, ARCHITECT.



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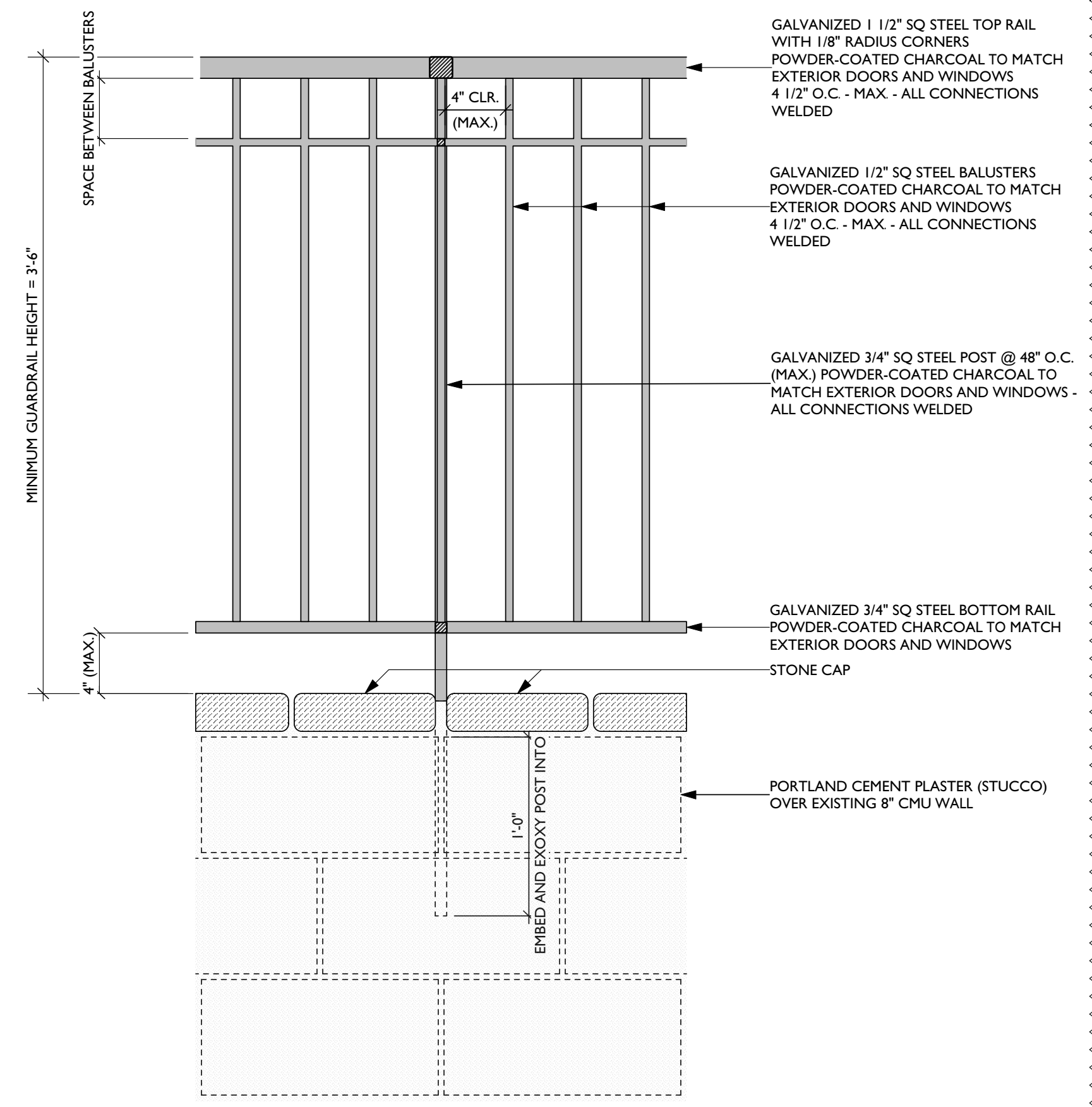
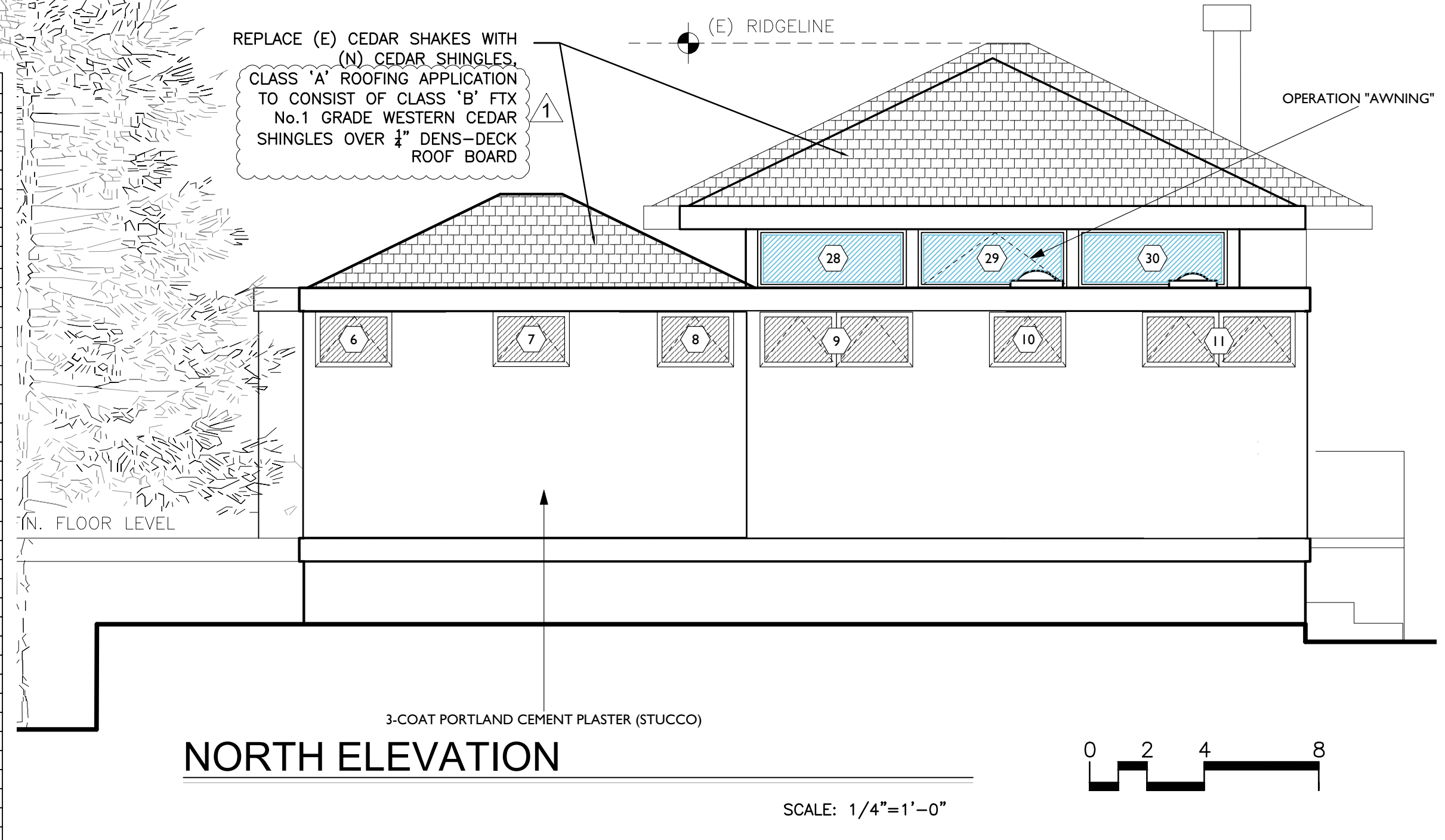
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1 SAND & SEA CARMEL-BY-THE-SEA, CA
A.P.N. 010-321-023

ELEVATION NOTES:

- GENERAL CONTRACTOR SHALL PAINT A SWATCH OF COLOR ON A PORTION OF THE WEST ELEVATION.
- GENERAL CONTRACTOR SHALL CALL FOR A PLANNING INSPECTION PRIOR TO PAINTING THE ENTIRE RESIDENCE.

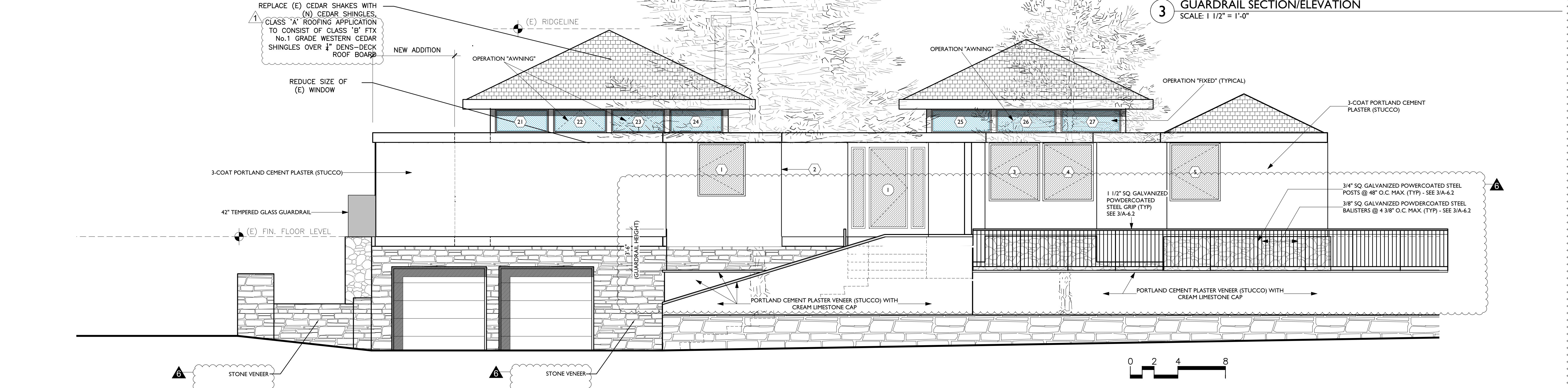
WINDOW SCHEDULE:

SYM.	MANUFACTURER:	OPERATION:	CONSTRUCTION:	GLAZING:	SCREENS:	WALL:	FRAME SIZE (W-H)	NOTES:
1	ARCADIA	TILT/TURN CASEMENT	METAL	DOUBLE	YES	2X4	48" x 53 1/2"	
2	ARCADIA	TILT/TURN CASEMENT	METAL	DOUBLE	YES	2X6	24" x 48"	
3	ARCADIA	TILT/TURN CASEMENT	METAL	DOUBLE	YES	2X6	51" x 58"	
4	ARCADIA	TILT/TURN CASEMENT	METAL	DOUBLE	YES	2X6	51" x 58"	
5	ARCADIA	TILT/TURN CASEMENT	METAL	DOUBLE	YES	2X4	51" x 58"	
6	ARCADIA	AWNING	METAL	DOUBLE	YES	2X4	32" x 23"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL
7	ARCADIA	AWNING	METAL	DOUBLE	YES	2X4	32" x 23"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL
8	ARCADIA	AWNING	METAL	DOUBLE	YES	2X4	32" x 23"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL
9	ARCADIA	AWNING / AWNING	METAL	DOUBLE	YES	2X4	64" x 23"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL
10	ARCADIA	AWNING / AWNING	METAL	DOUBLE	YES	2X4	32" x 23"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL
11	ARCADIA	AWNING / AWNING	METAL	DOUBLE	YES	2X4	64" x 23"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL
12	ARCADIA	TILT/TURN CASEMENT	METAL	DOUBLE	YES	2X4	22 5/8" x 48"	
13	ARCADIA	TILT/TURN CASEMENT / FIXED	METAL	DOUBLE	YES	2X4	60" x 88"	TEMPERED SAFETY GLASS
14	ARCADIA	TILT/TURN CASEMENT / FIXED	METAL	DOUBLE	YES	2X4	60" x 88"	TEMPERED SAFETY GLASS
15	ARCADIA	TILT/TURN CASEMENT / FIXED	METAL	DOUBLE	YES	2X4	60" x 88"	TEMPERED SAFETY GLASS
16	ARCADIA	TILT/TURN CASEMENT / FIXED	METAL	DOUBLE	YES	2X4	48" x 88"	TEMPERED SAFETY GLASS
17	ARCADIA	FIXED	METAL	DOUBLE	NO	2X4	60" x 88"	
18	ARCADIA	AWNING	METAL	DOUBLE	YES	2X4	60" x 88"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL
19	ARCADIA	AWNING	METAL	DOUBLE	YES	2X4	56" x 56"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL
20	ARCADIA	FIXED	METAL	DOUBLE	NO	2X4	56" x 56"	
21	ARCADIA	FIXED	METAL	DOUBLE	NO	2X4	54" x 24"	
22	ARCADIA	FIXED	METAL	DOUBLE	NO	2X4	54" x 24"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL
23	ARCADIA	AWNING	METAL	DOUBLE	YES	2X4	54" x 24"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL
24	ARCADIA	FIXED	METAL	DOUBLE	NO	2X4	54" x 24"	
25	ARCADIA	AWNING	METAL	DOUBLE	YES	2X4	60" x 24"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL
26	ARCADIA	FIXED	METAL	DOUBLE	NO	2X4	60" x 24"	
27	ARCADIA	FIXED	METAL	DOUBLE	NO	2X4	60" x 24"	
28	ARCADIA	AWNING	METAL	DOUBLE	NO	2X4	62" x 24"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL
29	ARCADIA	FIXED	METAL	DOUBLE	YES	2X4	62" x 24"	
30	ARCADIA	FIXED	METAL	DOUBLE	NO	2X4	62" x 24"	
31	ARCADIA	AWNING	METAL	DOUBLE	NO	2X4	60" x 24"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL
32	ARCADIA	FIXED	METAL	DOUBLE	YES	2X4	60" x 24"	
33	ARCADIA	FIXED	METAL	DOUBLE	NO	2X4	60" x 24"	
34	ARCADIA	AWNING	METAL	DOUBLE	NO	2X4	57" x 24"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL
35	ARCADIA	FIXED	METAL	DOUBLE	YES	2X4	57" x 24"	
36	ARCADIA	FIXED	METAL	DOUBLE	YES	2X4	57" x 24"	
37	ARCADIA	FIXED	METAL	DOUBLE	YES	2X4	57" x 24"	
38	ARCADIA	FIXED	METAL	DOUBLE	YES	2X4	57" x 24"	
39	ARCADIA	FIXED	METAL	DOUBLE	YES	2X4	57" x 24"	



EXTERIOR DOOR SCHEDULE:

SYM.	MANUFACTURER:	OPERATION:	CONSTRUCTION:	GLAZING:	STYLE:	SCREENS:	WALL:	FRAME SIZE (W-H)	NOTES:
1	ARCADIA	SIDELITE/SWING/SIDELITE	METAL	DOUBLE	GLAZED	NO	2X4	76 3/4" x 95 1/2"	TEMPERED SAFETY GLASS
2	ARCADIA	SLIDER/FIXED	METAL	DOUBLE	GLAZED	YES	2X4		TEMPERED SAFETY GLASS
3	ARCADIA	SLIDER/SIDER/FIXED	METAL	DOUBLE	GLAZED	YES	2X6	157 3/4" x 95 7/8"	TEMPERED SAFETY GLASS
4	ARCADIA	FIXED/SLIDER/SLIDER	METAL	DOUBLE	GLAZED	YES	2X6	158" x 95 7/8"	TEMPERED SAFETY GLASS
5	ARCADIA	SWING	METAL	DOUBLE	GLAZED	YES	2X4	36"	TEMPERED SAFETY GLASS



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Action:

BUILDING SUBMITTAL 09.06.17

PLAN CHECK 10.18.17

RON BROWN PLAN CHECK REVISIONS 10/16/2019

RON BROWN PLAN GUARDRAIL REVISIONS 10/20/2020

Date: 05.05.17

Scale: 1/4"=1'-0"

Drawn:

Description: EXTERIOR ELEVATIONS

Sheet No:

A-6.2

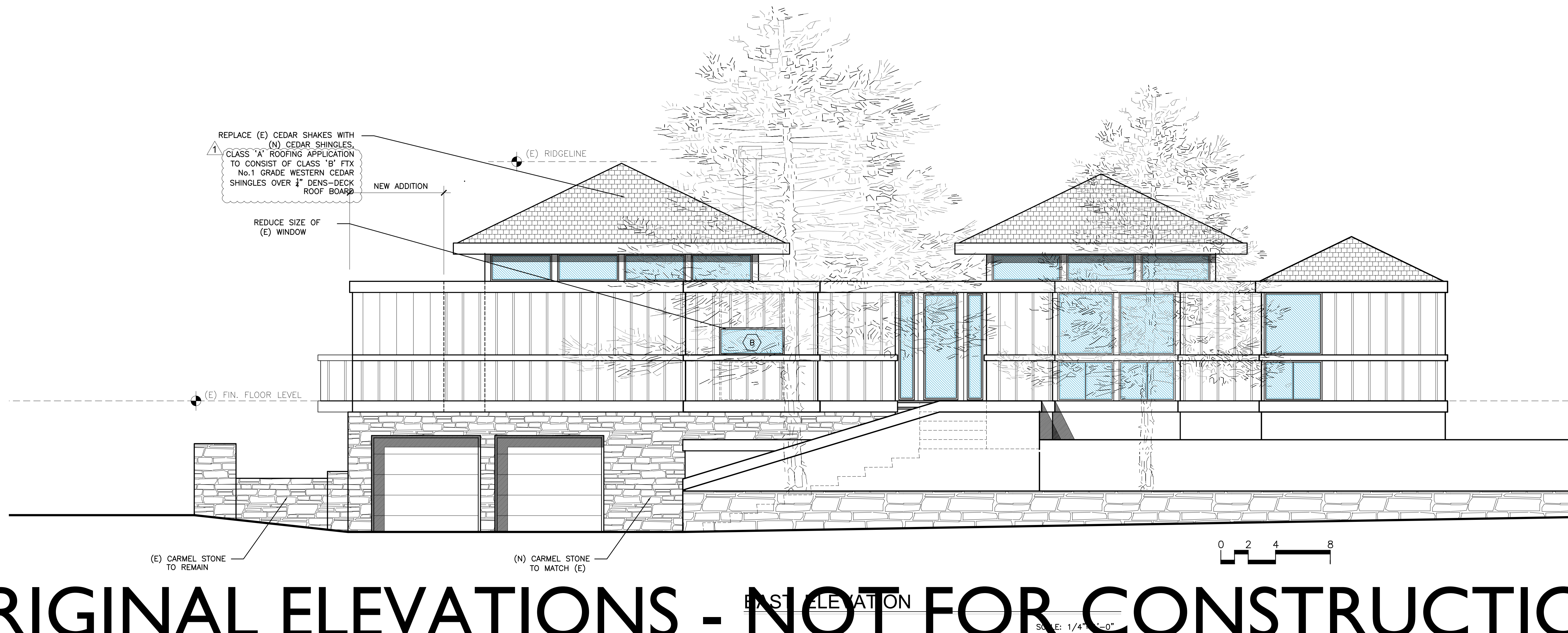
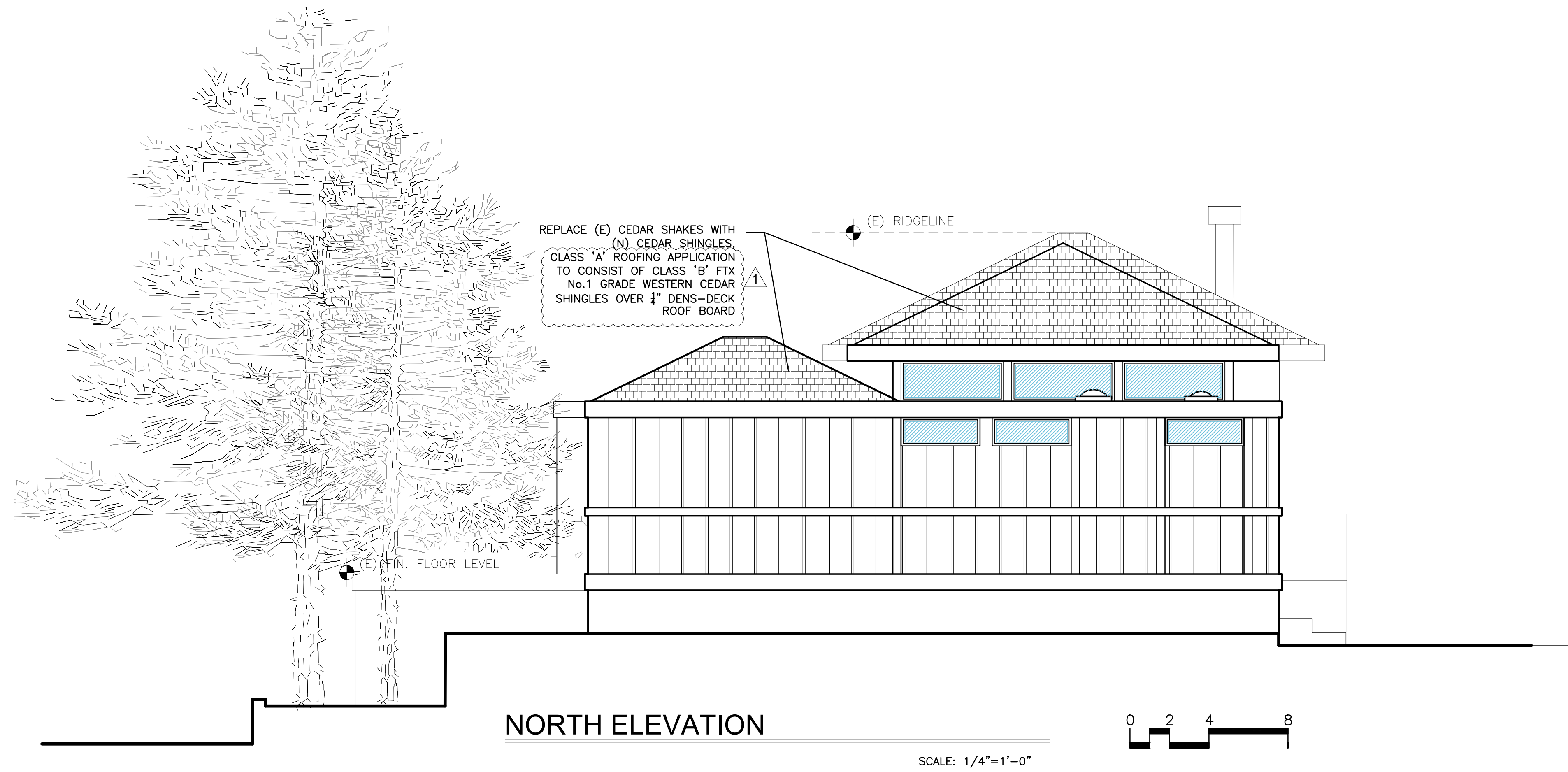


STERLING-HUDDLESON ARCHITECTURE

P.O. BOX 221092
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TEL. 831.624.4363

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A.P.N. 010-321-023



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Action:

BUILDING SUBMITTAL
09.06.17

PLAN CHECK
10.18.17

Date: 05.05.17

Scale: 1/4"=1'-0"

Drawn:

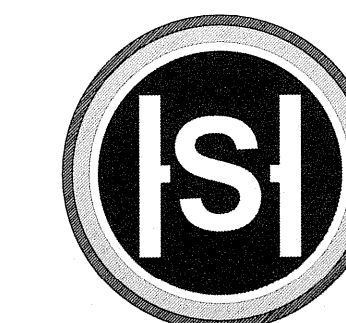
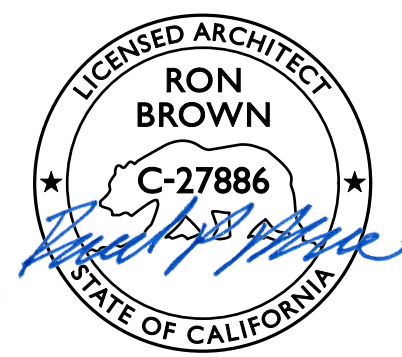
Description:
EXTERIOR ELEVATIONS

Sheet No:

ORIGINAL ELEVATIONS - NOT FOR CONSTRUCTION

REVISION NOTES

1. ALL DRAWINGS REVISIONS NOTED WITH A BLACK FILLED TRIANGLES ARE MADE BY RON BROWN, ARCHITECT.

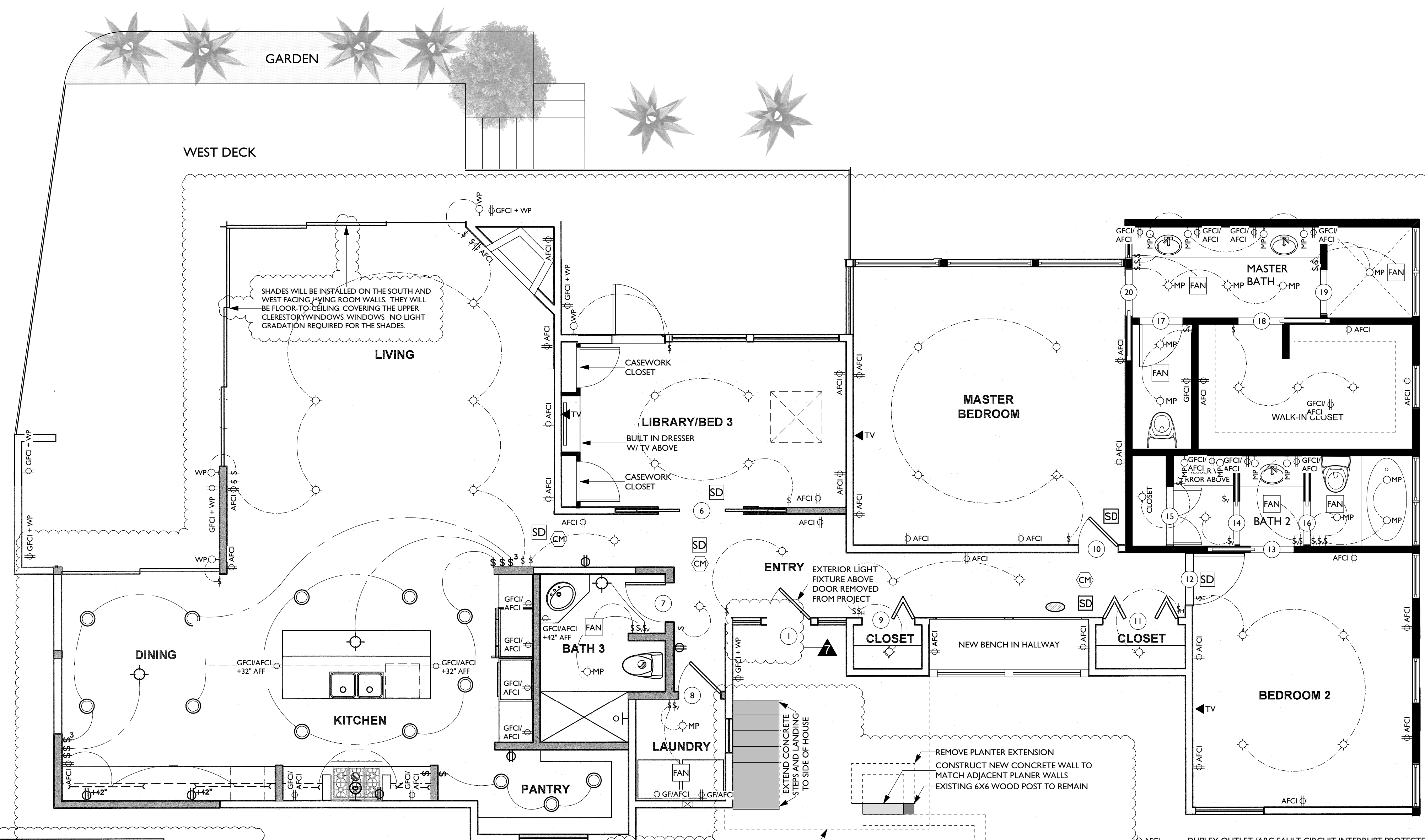


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1 SAND & SEA CARMEL-BY-THE-SEA, CA
A.P.N. 010-321-023



ELECTRICAL SYMBOLS:

- ⊕ DUPLEX OUTLET
- ⊕⊕ DOUBLE DUPLEX OUTLET
- ⊕⊕⊕ 220V OUTLET
- ⊕⊕⊕⊕ 1/2 HOT DUPLEX OUTLET
- ⊕⊕⊕⊕⊕ DUPLEX OUTLET W/ GFI PROTECTION
- ⊕ WP WATER PROOF OUTLET/GFCI
- ⊕ \$ SINGLE POLE SWITCH
- ⊕ \$ \$ THREE WAY SWITCH (D= DIMMER)
- ⊕ \$ \$ \$ FOUR WAY SWITCH
- ⊕ PHONE JACK
- ⊕ CABLE TV
- ⊕ WALL MOUNTED LIGHT/SCONCE
- ⊕ CEILING MOUNTED, FLOURESCENT LIGHT (FLUOR. FIXT. SHALL 40 WATT OR LESS)
- ⊕ CEILING FIXTURE OR CHANDELIER
- ⊕ CEILING FIXTURE OR CHANDELIER
- ⊕ UNILUME UNDERCABINET LED 30" 18WATTS 700-UCF3193WLED TECH LIGHTING
- ⊕ CEILING MOUNTED EXHAUST FAN
- ⊕ SMOKE DETECTOR (120 VOLT W/ HARD-WIRED, W/ BATT BACKUP)
- ⊕ CEILING MOUNTED FLOURESCENT FIXTURE
- ⊕ JUNCTION BOX
- ⊕ PUSH BUTTON SWITCH
- ⊕ NATURAL GAS SUPPLY
- ⊕ JAMB SWITCH
- ⊕ CARBON MONOXIDE ALARM PER CRC R315

Prepared by:

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Action:

- BUILDING SUBMITTAL 09.06.17
- PLAN CHECK 12.14.18
- RON BROWN PLAN CHECK REVISIONS 10/16/2019
- RON BROWN PLAN CHECK REVISIONS 11/23/2020

Date: 05.05.17

Scale: 1/4"=1'-0"

Drawn:

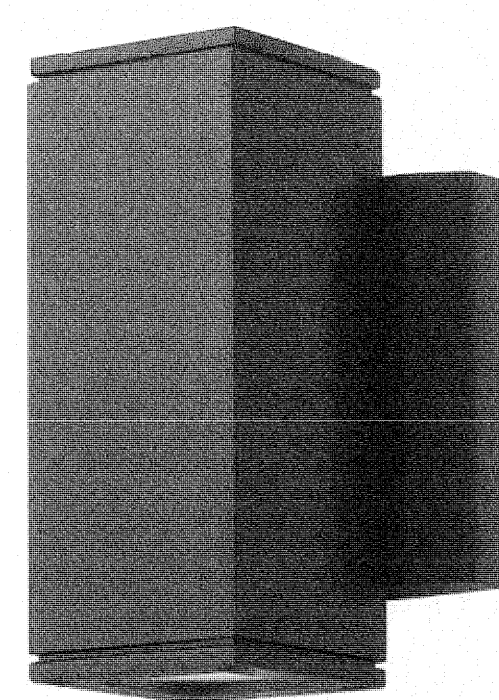
Description:
MAIN ELECTRICAL PLAN

Sheet No:

E-1.1

HINKLEY & R.

HINKLEY LIGHTING, INC.
23020 PIN OAK PARKWAY | AVON LAKE, OHIO 44012
PH: 440.633.9500 | FX: 440.633.9319
HINKLEYLIGHTING.COM | FREDRICKRAMOND.COM



KORE 1873BZ	
BRONZE	
WIDTH:	5.3"
HEIGHT:	7.5"
WEIGHT:	2.0 LBS
MATERIAL:	ALUMINUM
GLASS:	ETCHED LENS
SOCKET:	5W LED (INCLUDED)
DARK SKY:	YES
LED INFO:	
LUMENS:	300
COLOR TEMP:	3000k
CRI:	80
INCANDESCENT EQUIVALENCY:	1-35W
DIMMABLE:	Yes, on any Incandescent, MLV, ELV, or C-L dimmer. 277v on 0-10v control.
EXTENSION:	4.0"
TTO:	3.8"
CERTIFICATION:	C-US WET RATED
VOLTAGE:	120V
UPC:	640665187304

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR LIFE AGLOW.

EXTERIOR LIGHT FIXTURE SPEC

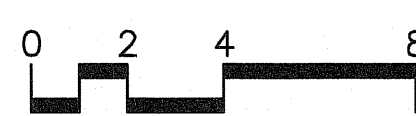
NOT TO SCALE

MECHANICAL NOTES:

1. ALL WORK TO CONFORM TO 2016 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA ELECTRICAL CODE, 2016 CALIFORNIA MECHANICAL CODE AND 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE.
2. ALL VENTILATION FANS TO BE INSTALLED PER MANUFACTURER INSTRUCTIONS. SEE PROJECT SPECIFICATIONS.
3. ALL VENTILATION FANS TO EXHAUST VERTICALLY THROUGH 4" OR 6" CIRCULAR DUCT TO FLAT ROOF ABOVE.

ELECTRICAL NOTES:

1. ALL RECEPTACLES IN DWELLING BATHROOMS, GARAGES, OUTDOORS, ALL KITCHEN COUNTERTOPS, CRAWL SPACES BELOW GRADE, WITHIN 6 FEET OF WET BAR SINKS, AND WITH 25' OF HVAC EQUIPMENT SHALL HAVE GFCI PROTECTION.
2. ALL 125 VOLT 15 AND 20 AMP RECEPTACLE BRANCH CIRCUITS SUPPLYING OUTLETS OTHER THAN KITCHENS AND BATHS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER (AFCI) (CEC 210-12).
3. PER NEC 210-11 THE FOLLOWING SHALL BE PROVIDED:
 - TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS TO SUPPLY KITCHEN COUNTER TOP
4. SMOKE DETECTORS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE WITHIN THE CIRCUIT.

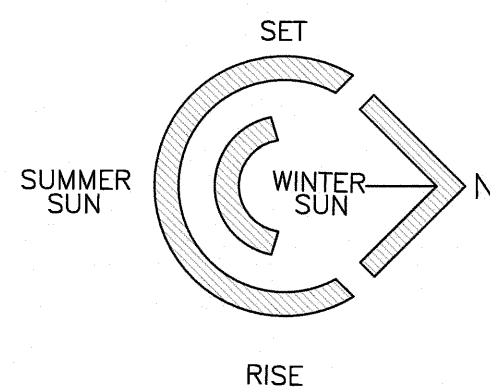


ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

WALL LEGEND

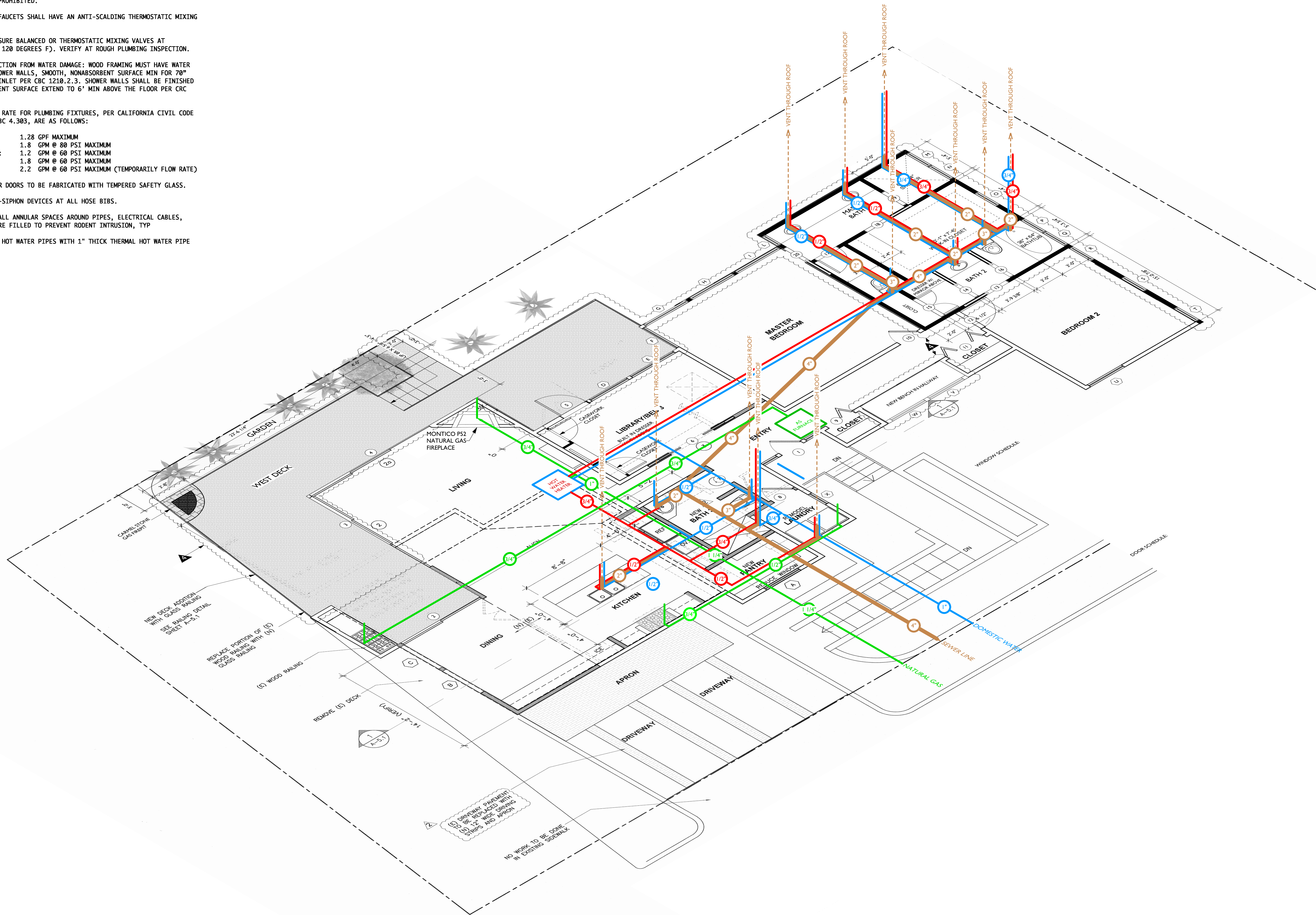
- EXISTING WALL/DOOR/WINDOWS/FIXTURES TO BE REMOVED
- ▬ NEW 2X6 (MIN.) STUD WALL
- ▬ EXISTING WALL TO REMAIN



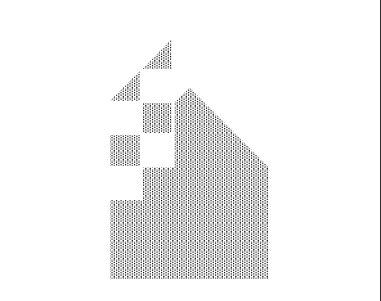
PLUMBING NOTES:

1. ALL WORK FOR CONFORM TO 2016 CALIFORNIA PLUMBING CODE (CCR TITLE 24 PART 5)
2. THE USE OF SOLDER OR FLUX CONTAINING MORE THAN 0.2% LEAD ON ANY WATER SUPPLY IS PROHIBITED.
3. BATH/SHOWER FAUCETS SHALL HAVE AN ANTI-SCALDING THERMOSTATIC MIXING VALVE.
4. PROVIDE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES AT TUB/SHOWER (MAX. 120 DEGREES F). VERIFY AT ROUGH PLUMBING INSPECTION.
5. SHOWER PROTECTION FROM WATER DAMAGE: WOOD FRAMING MUST HAVE WATER PROTECTION AT SHOWER WALLS, SMOOTH, NONABSORBENT SURFACE MIN FOR 70" ABOVE THE DRAIN INLET PER CBC 1210.2.3. SHOWER WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTEND TO 6" MIN ABOVE THE FLOOR PER CRC 307.7.2.1)
6. MAXIMUM FLOW RATE FOR PLUMBING FIXTURES, PER CALIFORNIA CIVIL CODE 1101.4(A) AND CGBC 4.303, ARE AS FOLLOWS:

WATER CLOSETS:	1.28 GPF MAXIMUM
SHOWER HEADS:	1.8 GPM @ 80 PSI MAXIMUM
LAVATORY FAUCETS:	1.2 GPM @ 60 PSI MAXIMUM
KITCHEN FAUCETS:	1.8 GPM @ 60 PSI MAXIMUM
	2.2 GPM @ 60 PSI MAXIMUM (TEMPORARILY FLOW RATE)
7. GLAZED SHOWER DOORS TO BE FABRICATED WITH TEMPERED SAFETY GLASS.
8. PROVIDE ANTI-SIPHON DEVICES AT ALL HOSE BIBS.
9. VERIFY THAT ALL ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUIT, ETC., ARE FILLED TO PREVENT RODENT INTRUSION, TYP
10. INSULATE ALL HOT WATER PIPES WITH 1" THICK THERMAL HOT WATER PIPE INSULATION.



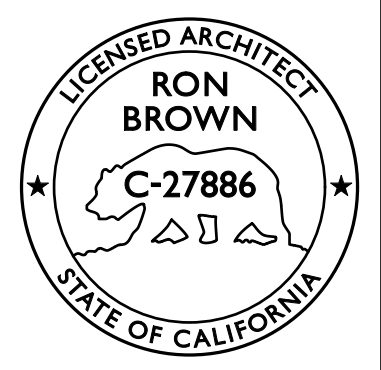
1 PLUMBING PLAN
SCALE: 1/4"=1'-0"



RENOVATIONS FOR:
SAND & SEA
CARMEL BY THE SEA CA
APN: 010-321-023-000

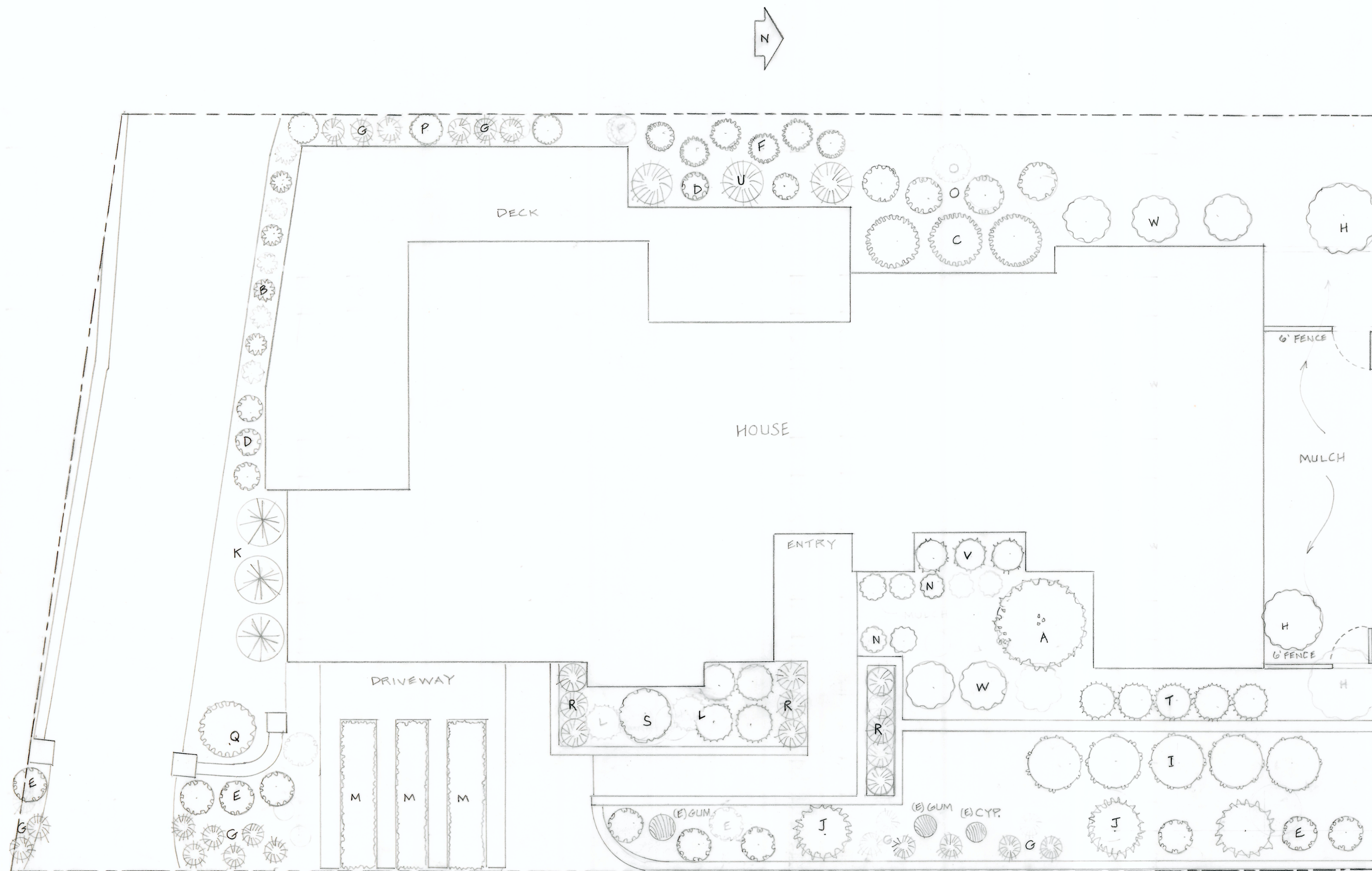
ARCHWORKS
RON BROWN
- ARCHITECT -
PO BOX 366
CARMEL CA 93921
831.620.1352
RONBROWN@
ARCHWORKS.COM

REVISIONS:



16 OCTOBER 2019

P-1.1

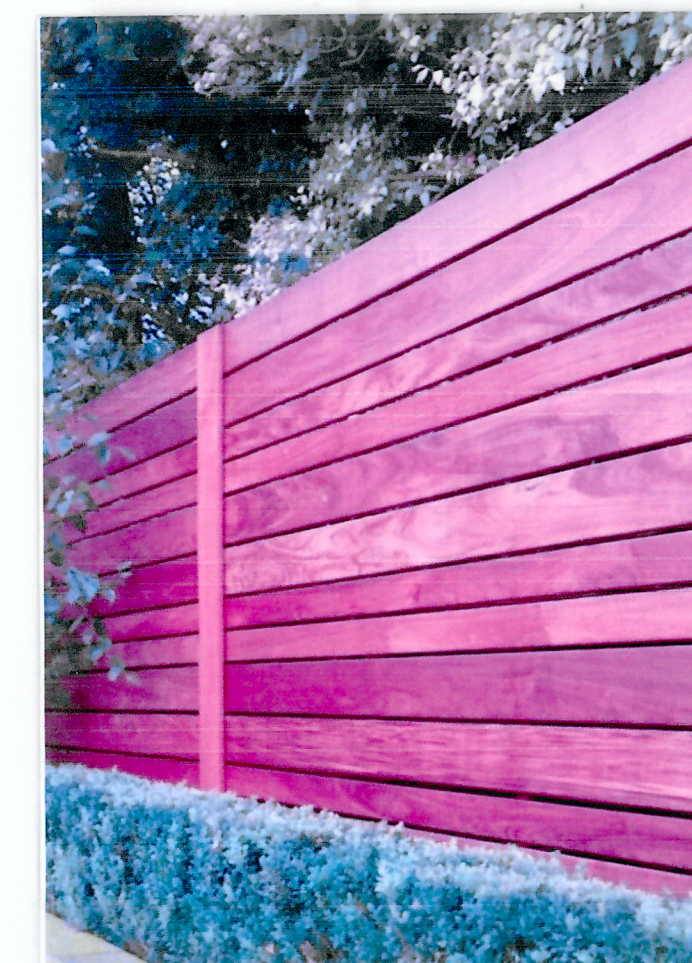


SAN ANTONIO ST.

Scale : 3/16" = 1' 0"

Plant List

Code	Qty	Size	Botanical Name	Common Name
A	1	15 gal	Acer Palmatum	Red Japanese Maple
B	4	5 gal	Agave 'Blue Glow'	Agave
C	3	5 gal	Adenanthos sericeus	Wooley Bush
D	5	1 gal	Anagazanthus 'Harmony'	Kangaroo Paw
E	10	1 gal	Arctostaphylos 'Carmel Sur'	Manzanita
F	6	1 gal	Bulbine frutescens 'Hallmark'	Bulbine
G	17	1 gal	Calamagrostis foliosa	Pacific Reed Grass
H	2	15 gal	Camellia j. 'Silver Waves'	White Camellia
I	5	5 gal	Carpenteria californica	Bush anemone
J	3	5 gal	Ceanothus 'Dark Star'	Wild Lilac
K	3	5 gal	Chondropetalum 'El Campo'	Small Cape Rush
L	4	5 gal	Correa puchella 'Pink Eyre'	Australian fuchsia
M	4	flats	Dymondia margaretae	Silver Carpet
N	5	1 gal	Geranium 'Blokovo'	Geranium
O	4	5 gal	Grevillea 'Coastal Gem'	Grevillea
P	3	1 gal	Helianthemum 'Wisley Primrose'	Sun Rose
Q	1	5 gal	Leucadendron 'Tango'	Cone Bush
R	11	1 gal	Lomandra 'Platanum Beauty'	Matt Rush
S	1	5 gal	Loropetalum chinensis 'Rubrum'	Fringe Flower
T	9	1 gal	Mahonia 'Soft Caress'	Oregon Grape
U	3	5 gal	Muhlenbergia lindheimeri	Lindheimer's Muhly
V	3	1 gal	Plectranthus 'Velvet Elvis'	Velvet Elvis Plectranthus
W	6	5 gal	Rhamnus c. 'Mound San Bruno'	Coffeberry

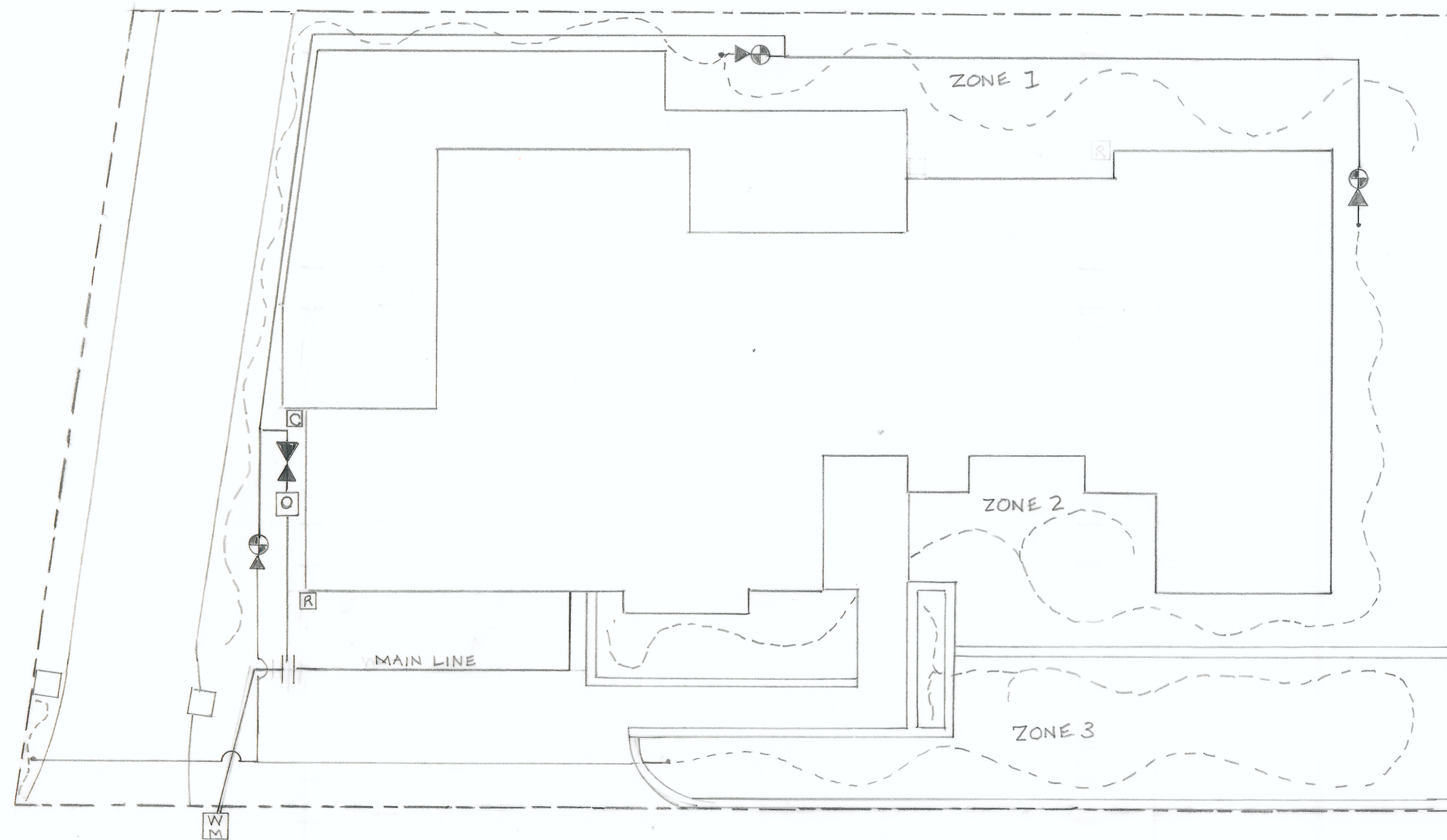


REDWOOD FENCE DETAIL
SCALE 1/2" = 1' 0"

Robert Shuler Design
PO Box 2152
RStowes3@att.net
Carmel, CA 93921
831 214-2487

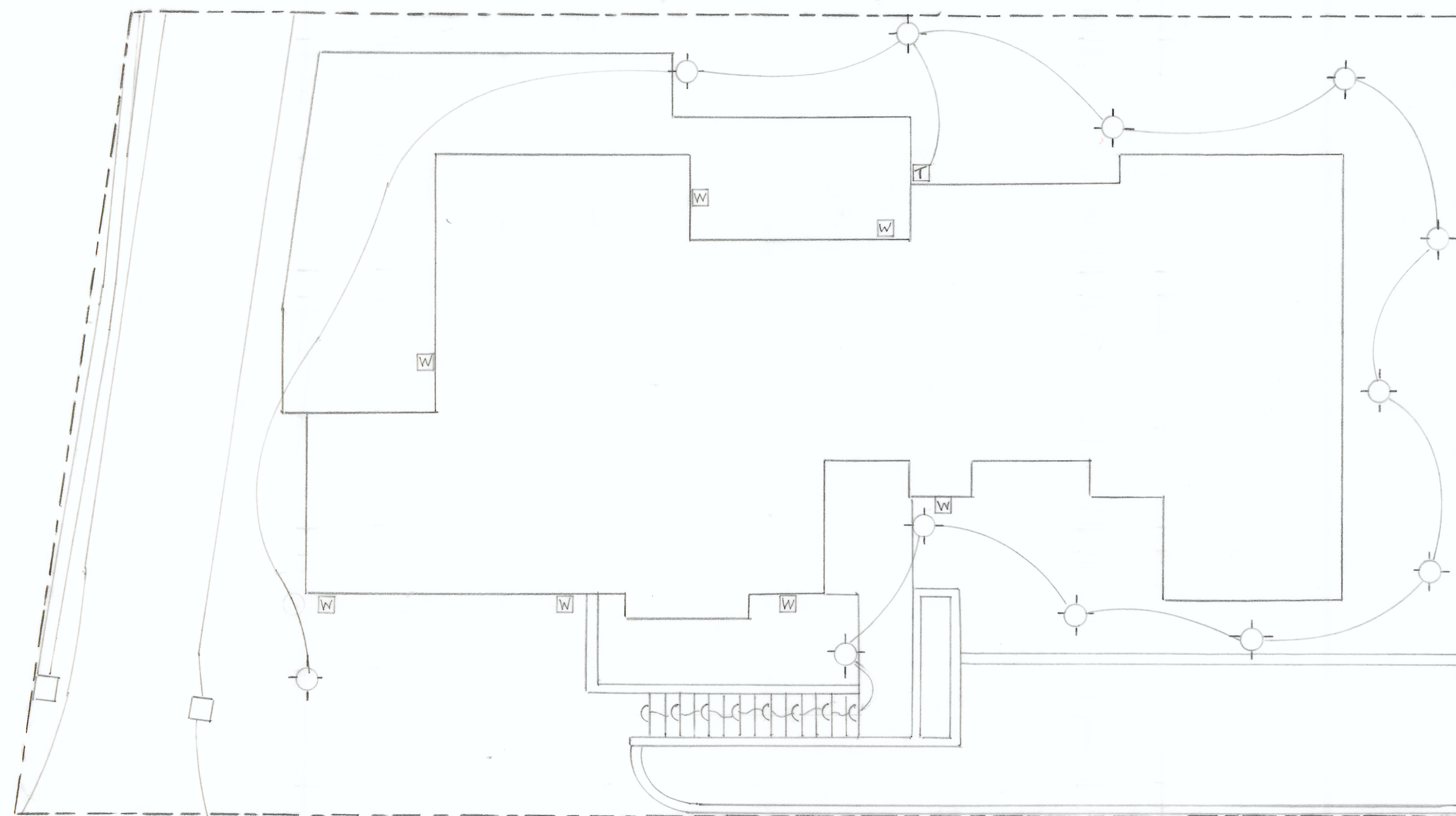
Landscape Design
1 Sand and Sea, Carmel-by-the-Sea, CA
A.P.N. 010-321-023

Date: 10/9/2020
DRAWN BY:
RSS



IRRIGATION PLAN

Scale : 1/8" = 1'0"



LIGHTING PLAN

Scale : 1/8" = 1'0"

GENERAL IRRIGATION NOTES:

1. Irrigation to be run off separate mainline extension with isolation shut off valve
2. All drip lines to have in-line filter
3. Pressure for regulator for drip irrigation to be regulated to 25 - 35 PSI
4. All valves to be sub-grade within a weatherproof box, gravel base, and lined with gopher wire
5. Contractor shall demonstrate the operation to the owner of the irrigation system and provide copy of manual and warranty

IRRIGATION LEGEND:

- Point of connection to mainline
- ⊓ Gate shut off valve
- ⊓ Back-flow Prevention Assembly
- 3/4" pvc Schedule 40 to valves
- ⊓ Control Valve to Drip - Hunter PGV 3/4" globe valve with 30 PSI pressure regulator and filter
- Drip Zone Riser from PVC to 1/2" tubing
- Lateral tubing to emitters 1/2" Polyethylene
- ⊓ Controller - Hunter Pro C
- ⊓ Rain Sensor - Hunter Rain Click

ZONES 1 - 3 All Mediterranean climate drought tolerant plant material

GENERAL LIGHTING NOTES:

1. All lighting shall comply with the requirements of the CA Energy Code, Title 24
2. Installing contractor shall verify all dimensions and areas before start of job.
3. All direct burial 12 gauge low volt wiring shall be 6" below grade and adjacent to hardscape where possible.
4. All materials shall be new and in perfect condition.
5. Contractor shall demonstrate the operation system to the owner and provide copy of operating manual and warranty.

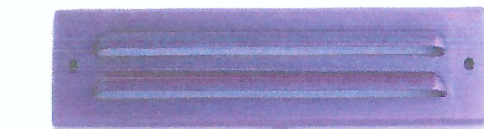
LIGHTING LEGEND

- ⊓ FX Luminaire 150Watt 1X Transformer Watts-Stainless Steel Finish (Hinkley Kore 1873bz (see Sheet E-1.1 For Specifications)
- ⊓ FX Luminaire HC Path Light
- ⊓ Lite the Nite LED Step Light
- 12 Gauge direct burial low voltage wiring

Lite the Nite
STARLITE Collection
Low Voltage Landscape Step Lights

Features

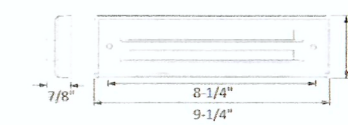
- ◆ Solid brass construction with bronze finish
- ◆ Thin profile - No backbox!
- ◆ Nite Driver System matched LED included
 - Full LED light output up to 20% voltage drop
 - Allows longer cable runs with more fixtures
 - Simplifies installation and layout
 - Outdoor Listed for surface mounting



BST1068Z

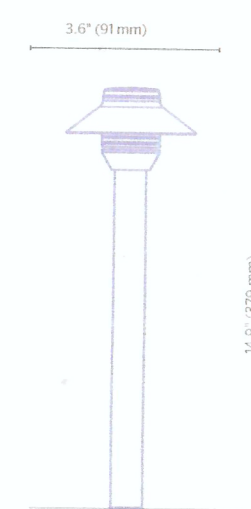
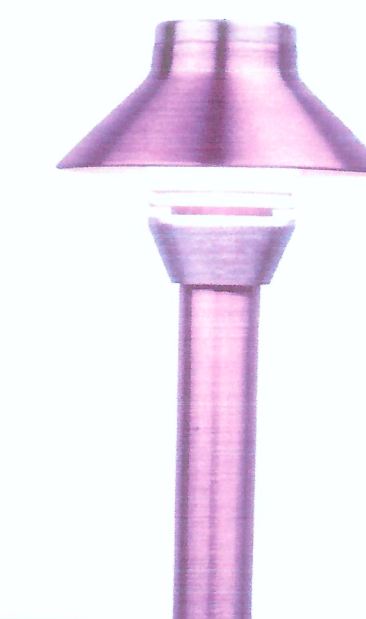
Specification

- ◆ Low voltage operation: 12 VAC or 12 VDC
- ◆ L BST1068Z 6 watts - 54 LEDs - 53 lumens
 - Multiple LEDs for even lighting
 - Dimmable
 - 2" SP-1W 1500WV copper lead wire
 - ◆ ETL Listed for Landscape Lighting
 - ◆ Built to last
 - Long-Lasting Solid-State Capacitor
 - Better protection with Gold Plated Fuse
 - Aluminum Circuit Board as Heat Sink
- ◆ 10 Year Fixture & 10 Year LED Warranty



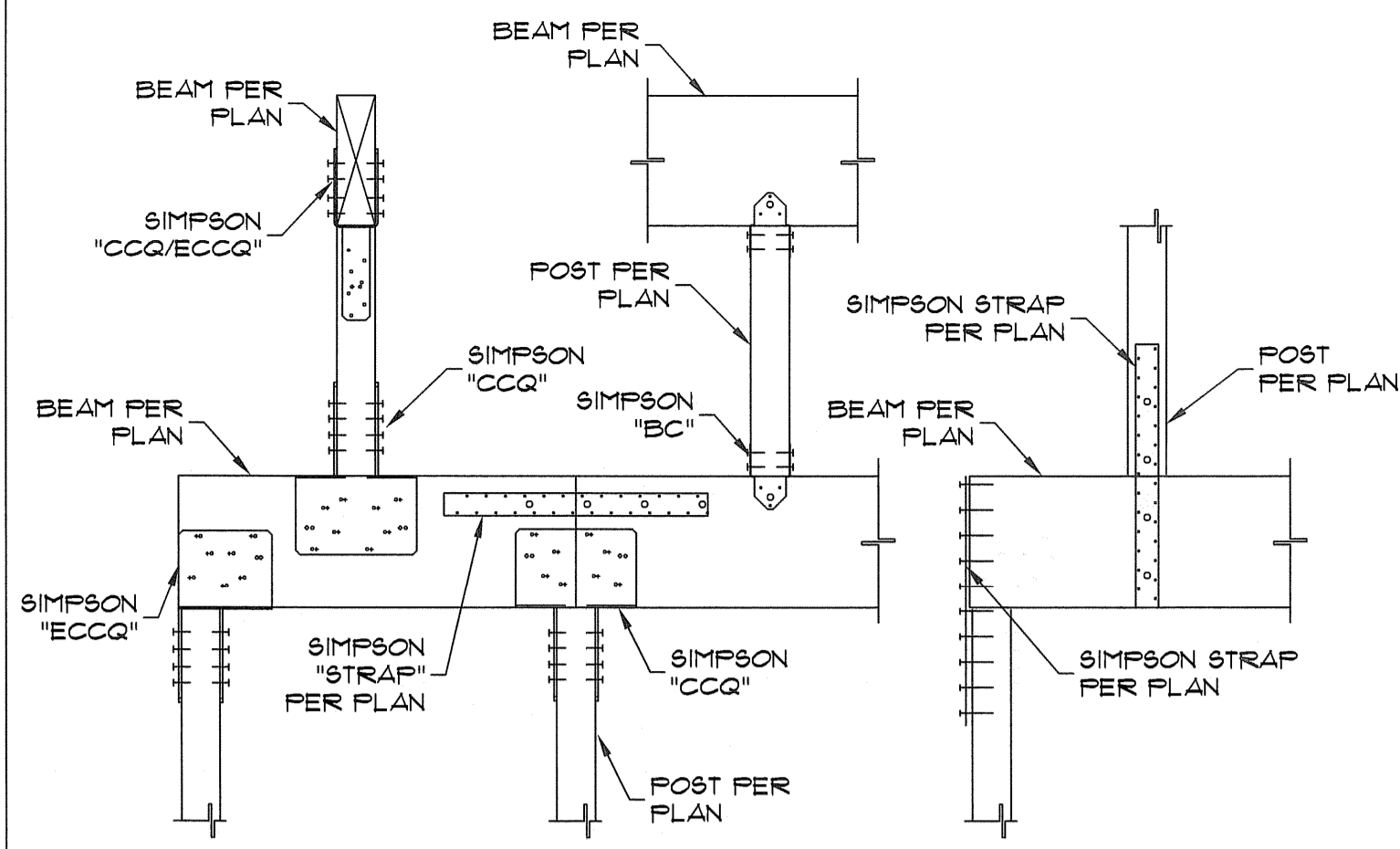
FXLuminaire

LED Path Lights

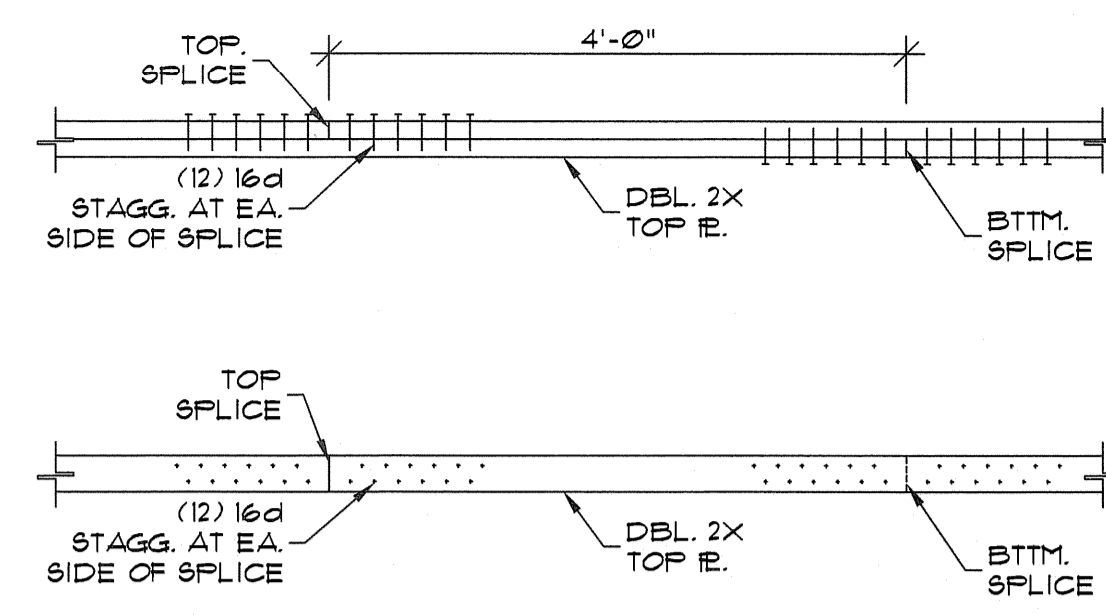


HC Path Light SPECIFICATIONS

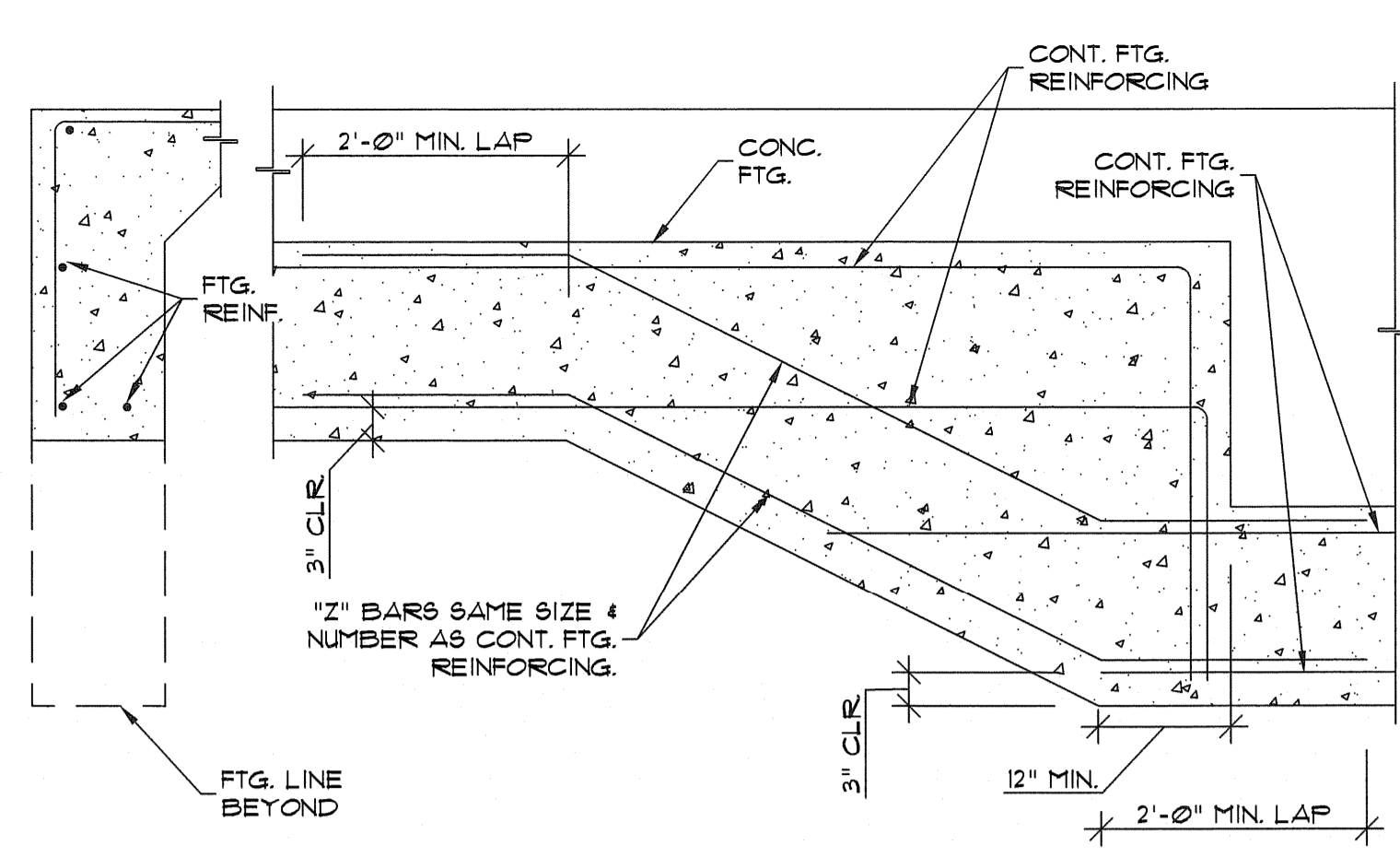
Output	1LED
Total Lumens*	79
Input Voltage	10 to 15V
Input Power (W)	7.0
Va	2.4
Efficacy (Lumens/Watt)	30
Color Rendering Index (CRI)	80+
Max Candela	5
Dimming	PWM, Phase**
RGBW Available	No
Luxer Compatibility	Zoning
Default	Zoning
ZD Option	Zoning/Dimming
ZDC Option	—
Minimum Rated Life (L70)	50,000 Hrs



13 TYP. POST / BEAM CONNECTION



9 TYP. DOUBLE TOP PLATE SPLICE DETAIL



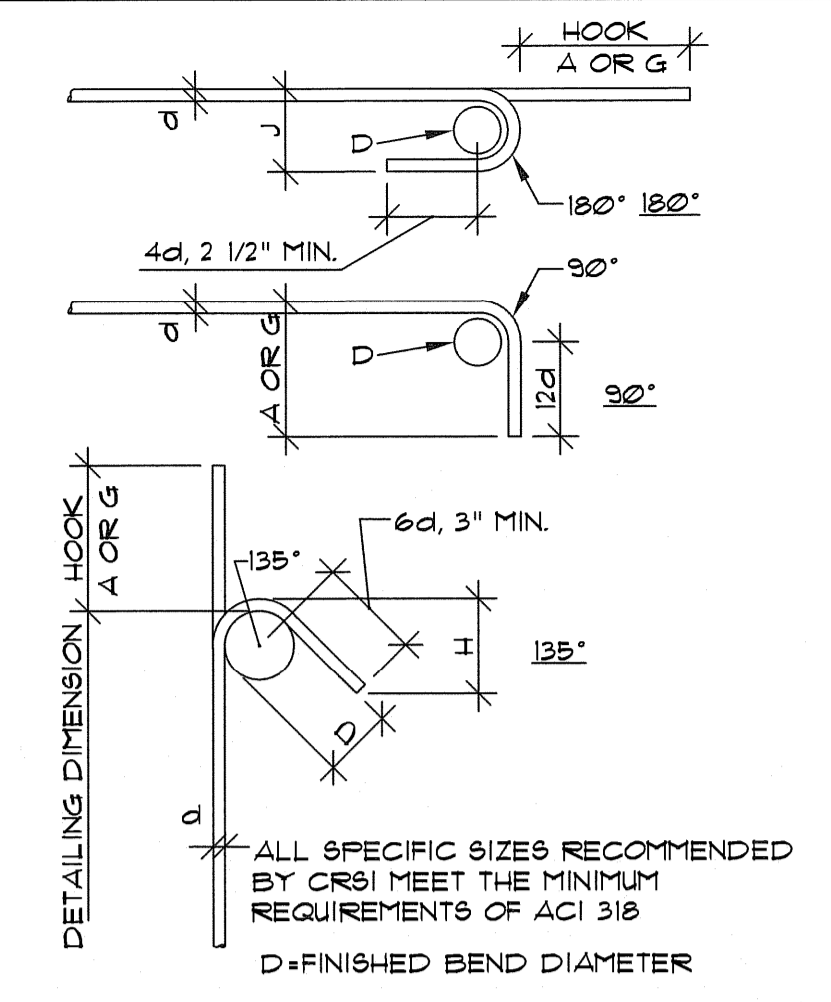
5 TYP. STEPPED FTG.

RECOMMENDED END HOOKS (ALL GRADES)

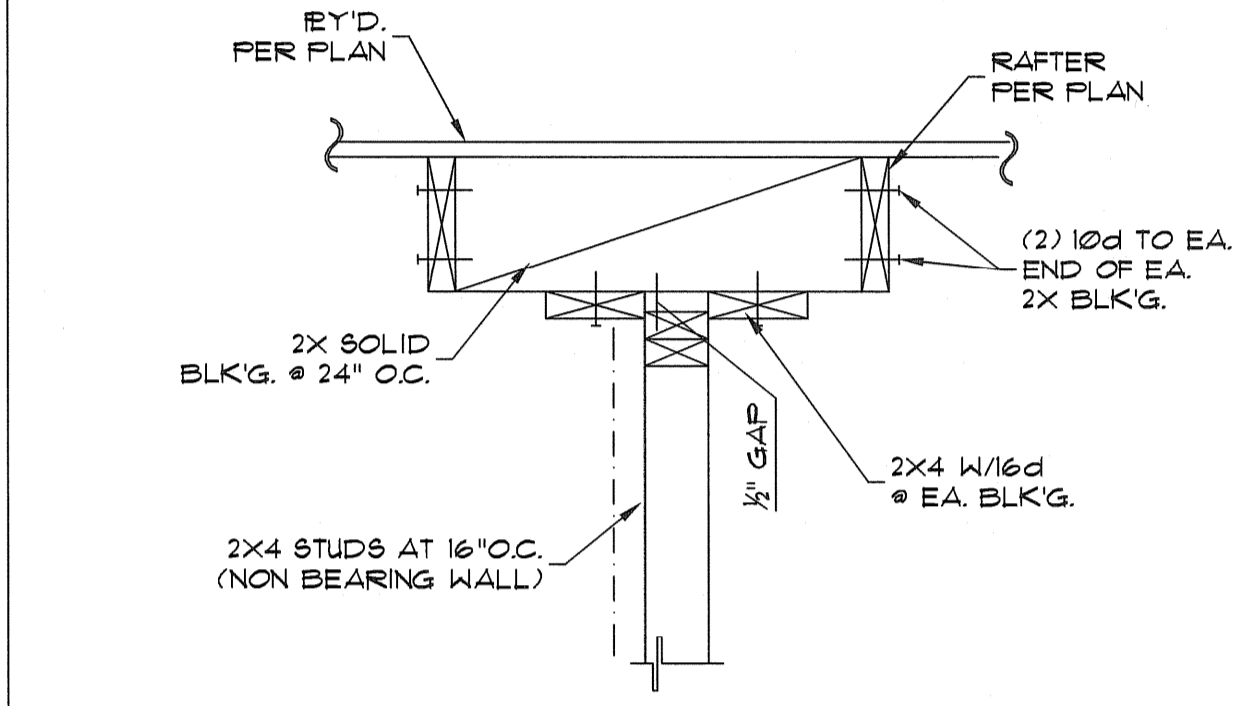
BAR SIZES	D (in.)	A OR G	J	A OR G
#3	2 1/4	5	3	6
#4	3	6	4	8
#5	3 3/4	7	5	10
#6	4 1/2	8	6	12
#7	5 1/4	10	7	14
#8	6	11	8	16
#9	9 1/2	15	11 3/4	19
#10	10 3/4	17	13 1/4	22
#11	12	19	14 3/4	24
#14	18 1/4	27	21 3/4	31
#18	24	36	28 1/2	41

135° SEISMIC STIRRUP/TIE HOOK DIMENSIONS (ALL GRADES)

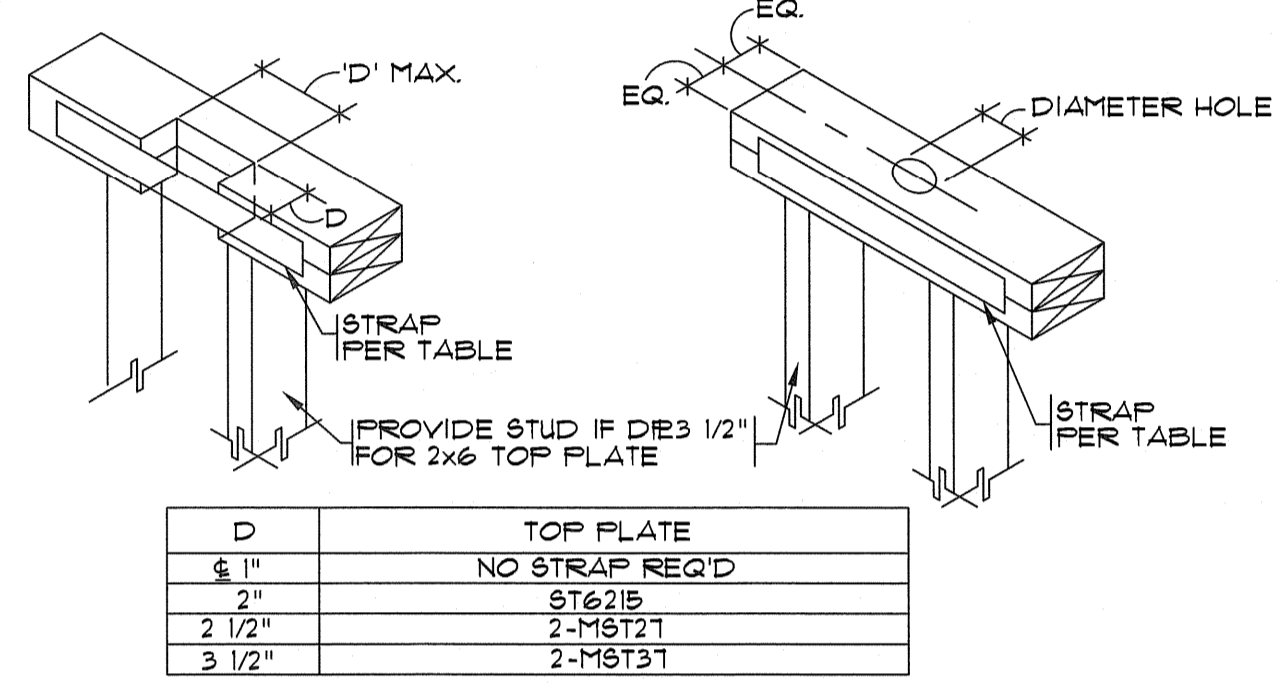
BAR SIZES	D (in.)	A OR G H APPROX.
#3	1 1/2	4 1/4
#4	2	4 1/2
#5	2 1/2	5 1/2
#6	3	6
#7	3 1/2	7
#8	4	8
#9	5	10
#10	6	12



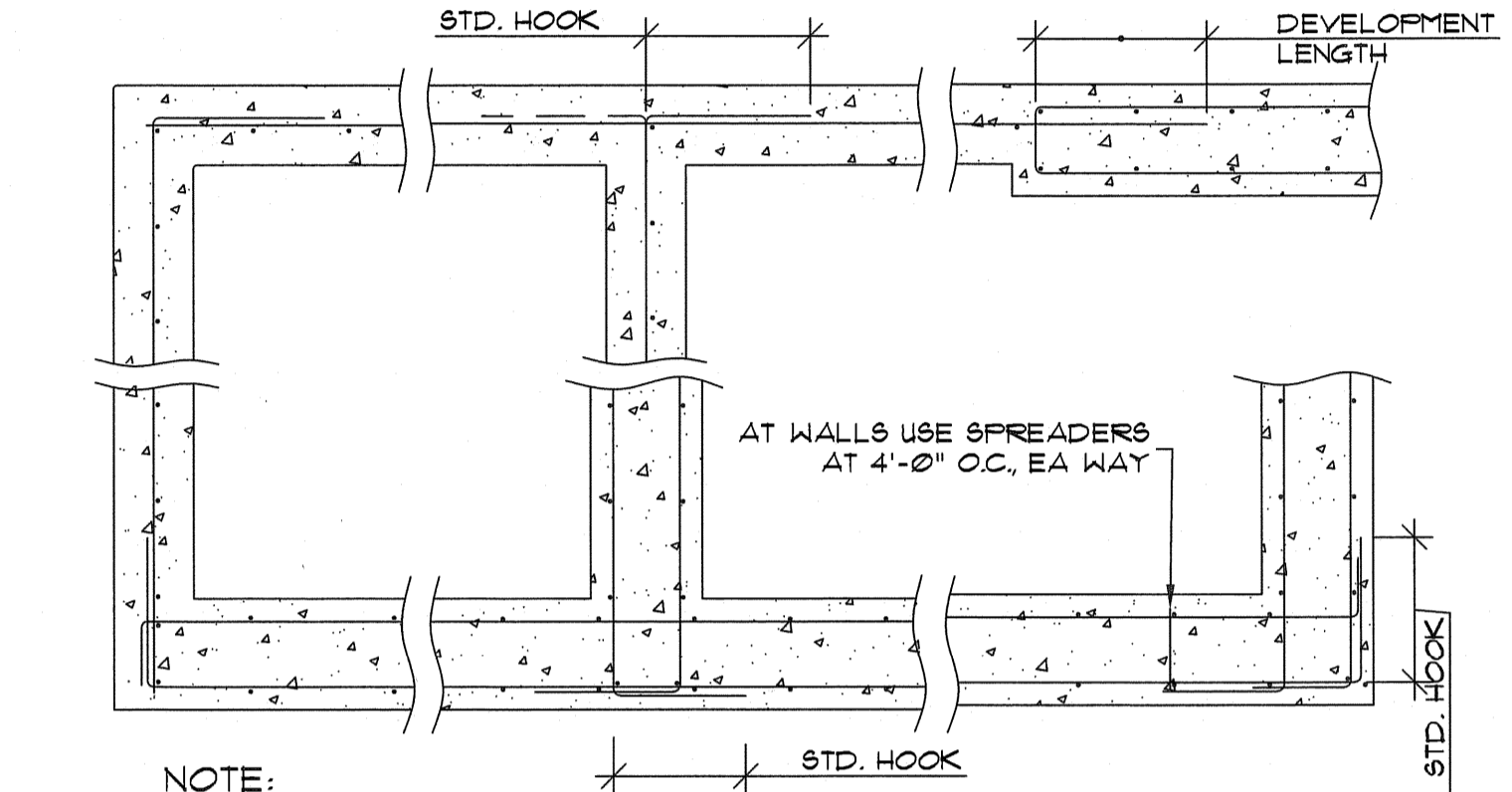
1 TYP. REINFORCING DETAILS



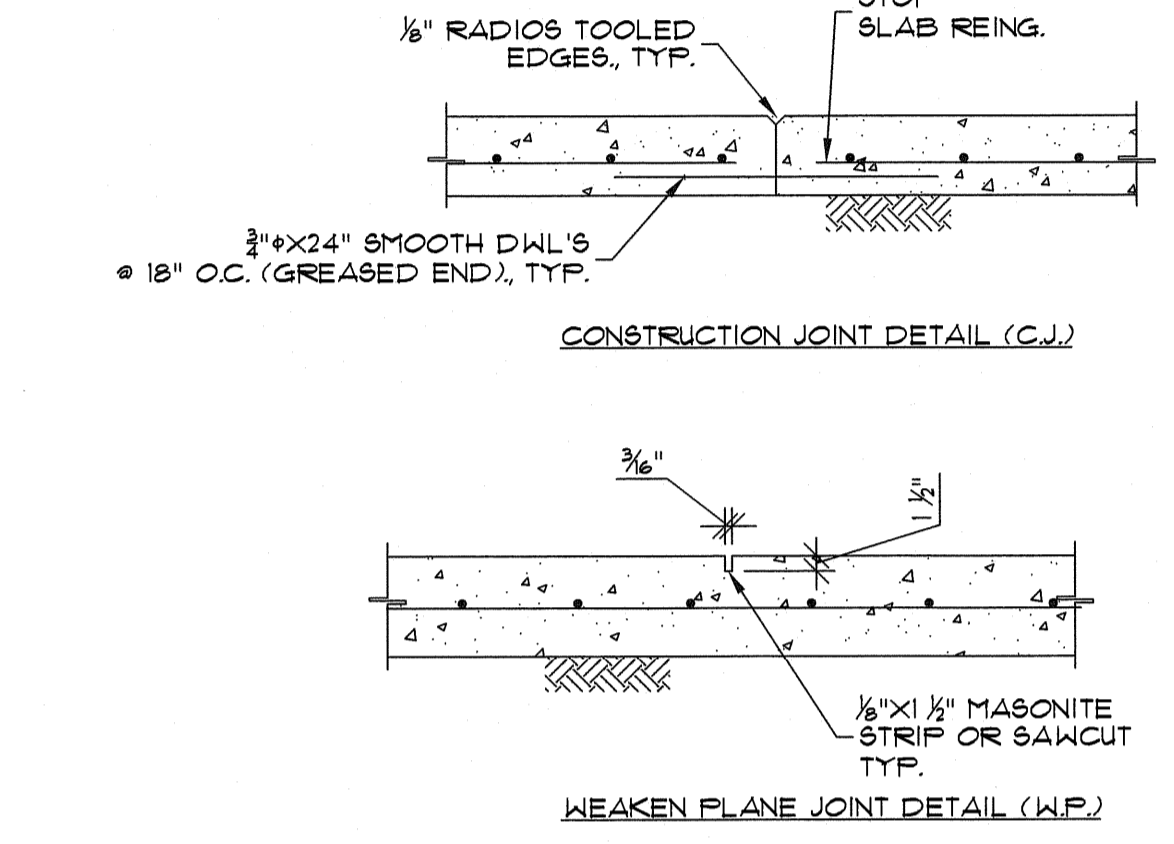
14 TYP. SECTION



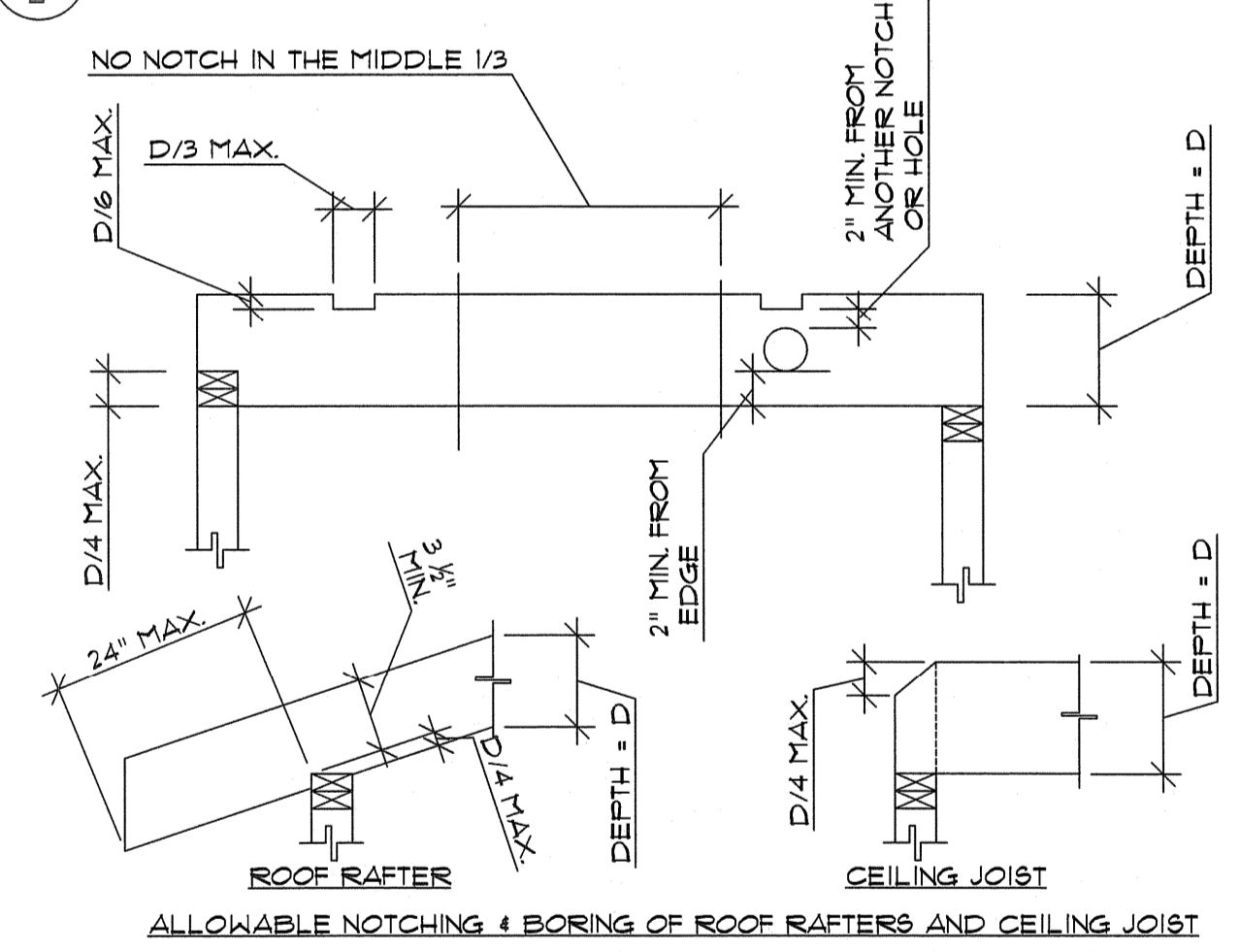
10 TYP. TOP PLATE NOTCHING



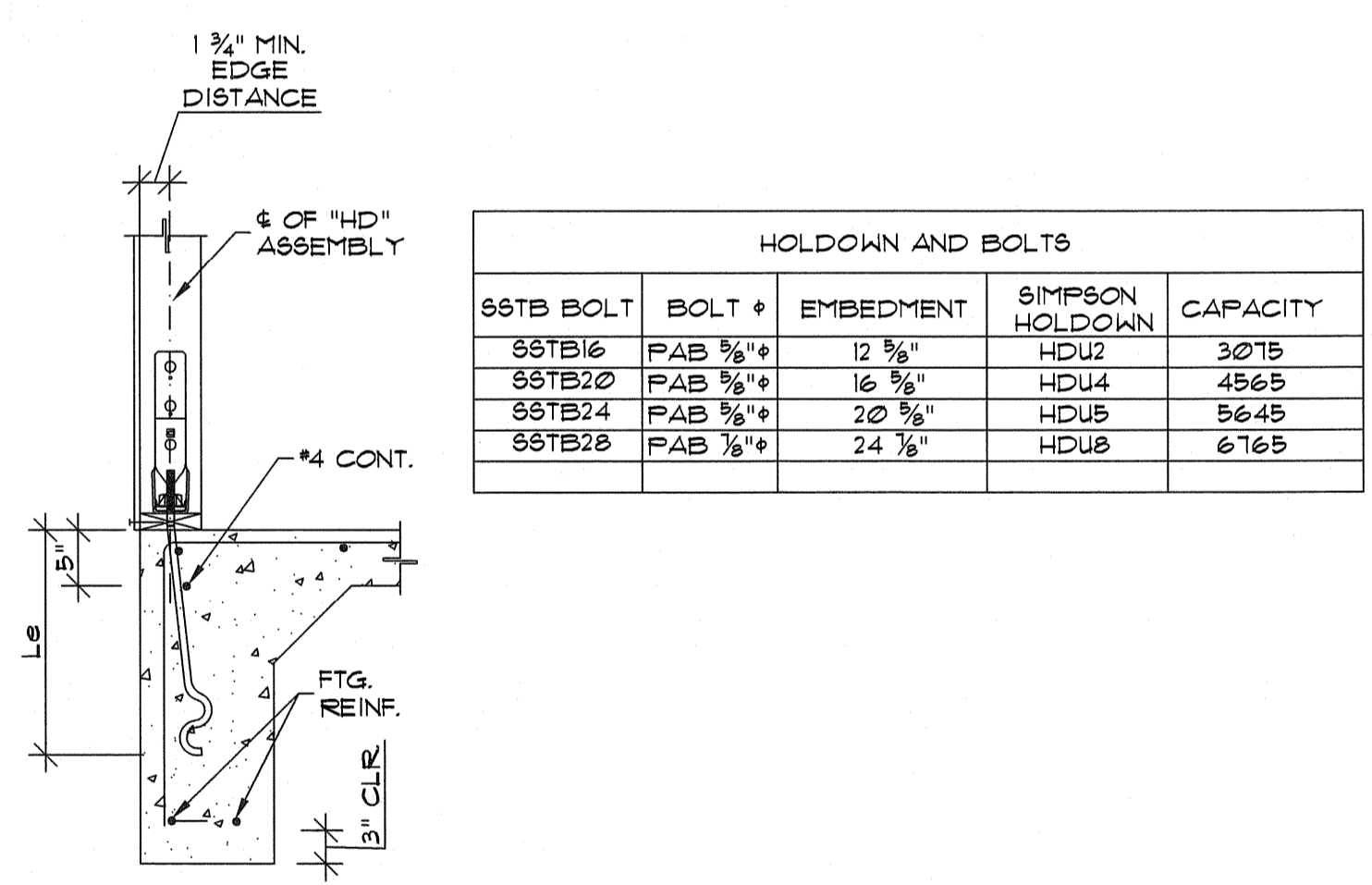
6 TYP. CONC. WALL/FTG. INTERSECTIONS



2 TYP. CONCRETE SLAB DETAILS



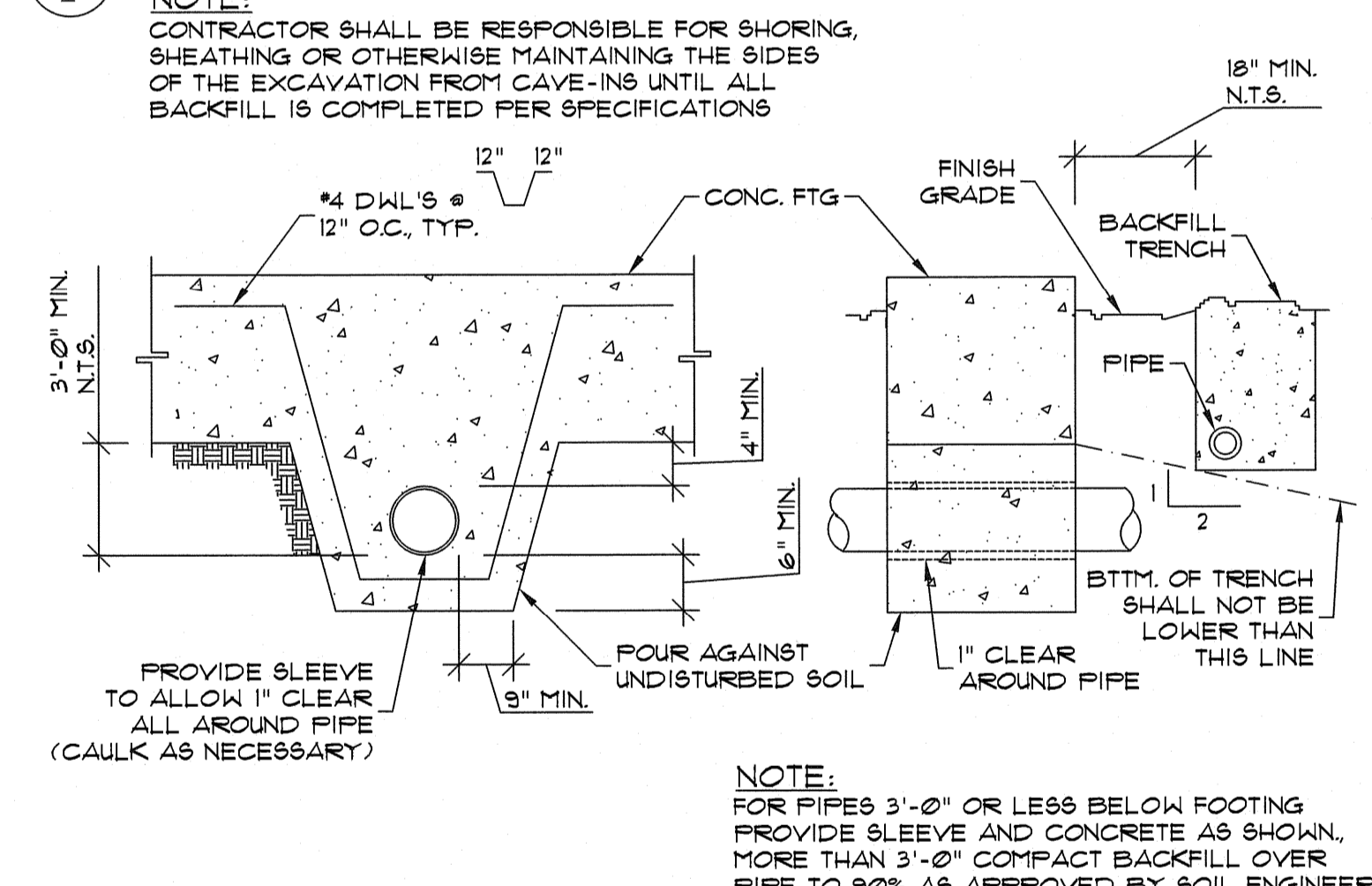
11 TYP. RAFTERS/JST. CEILING NOTCHING



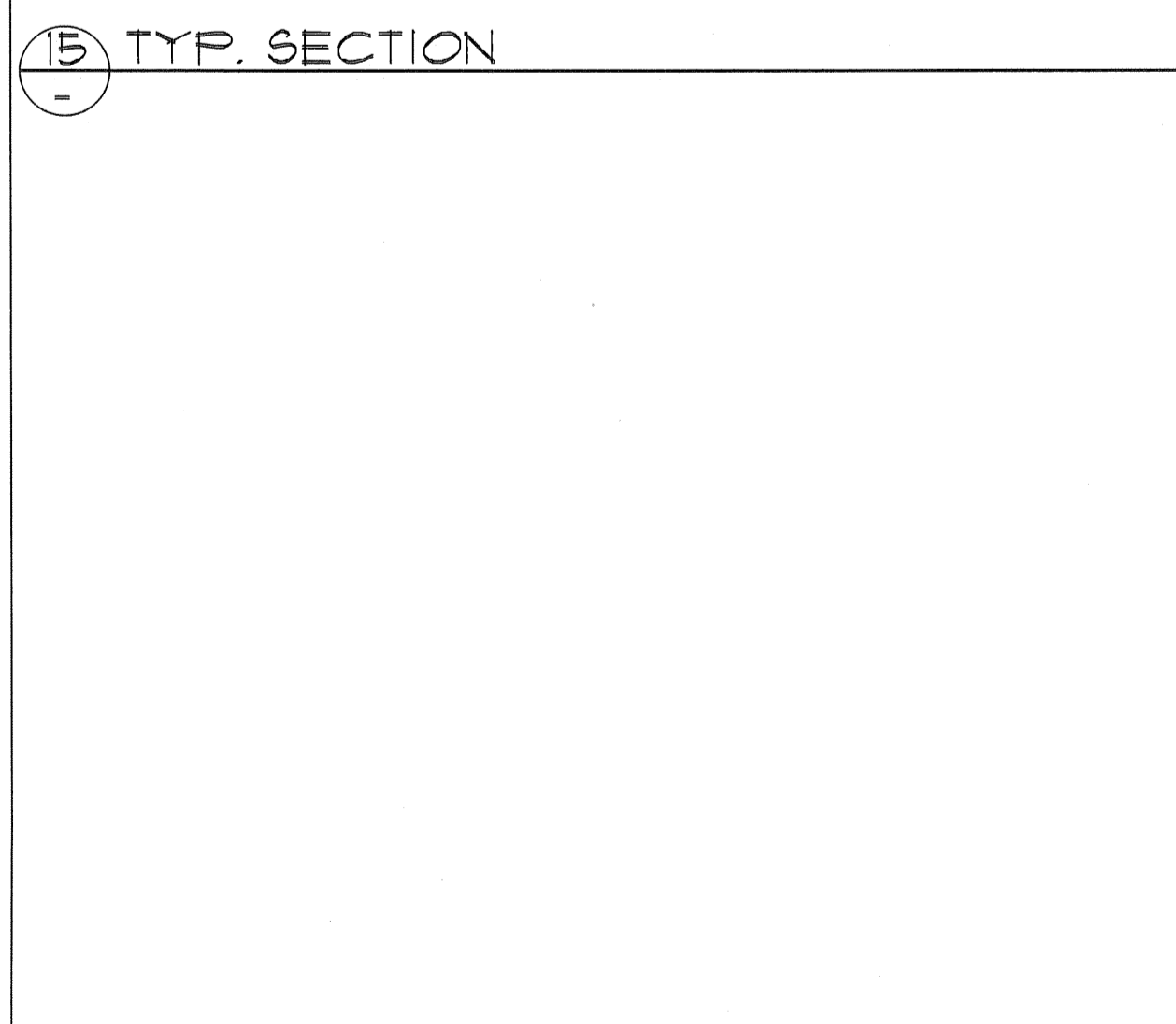
7 TYP. HOLDOWN DETAIL

HOLDOWN AND BOLTS

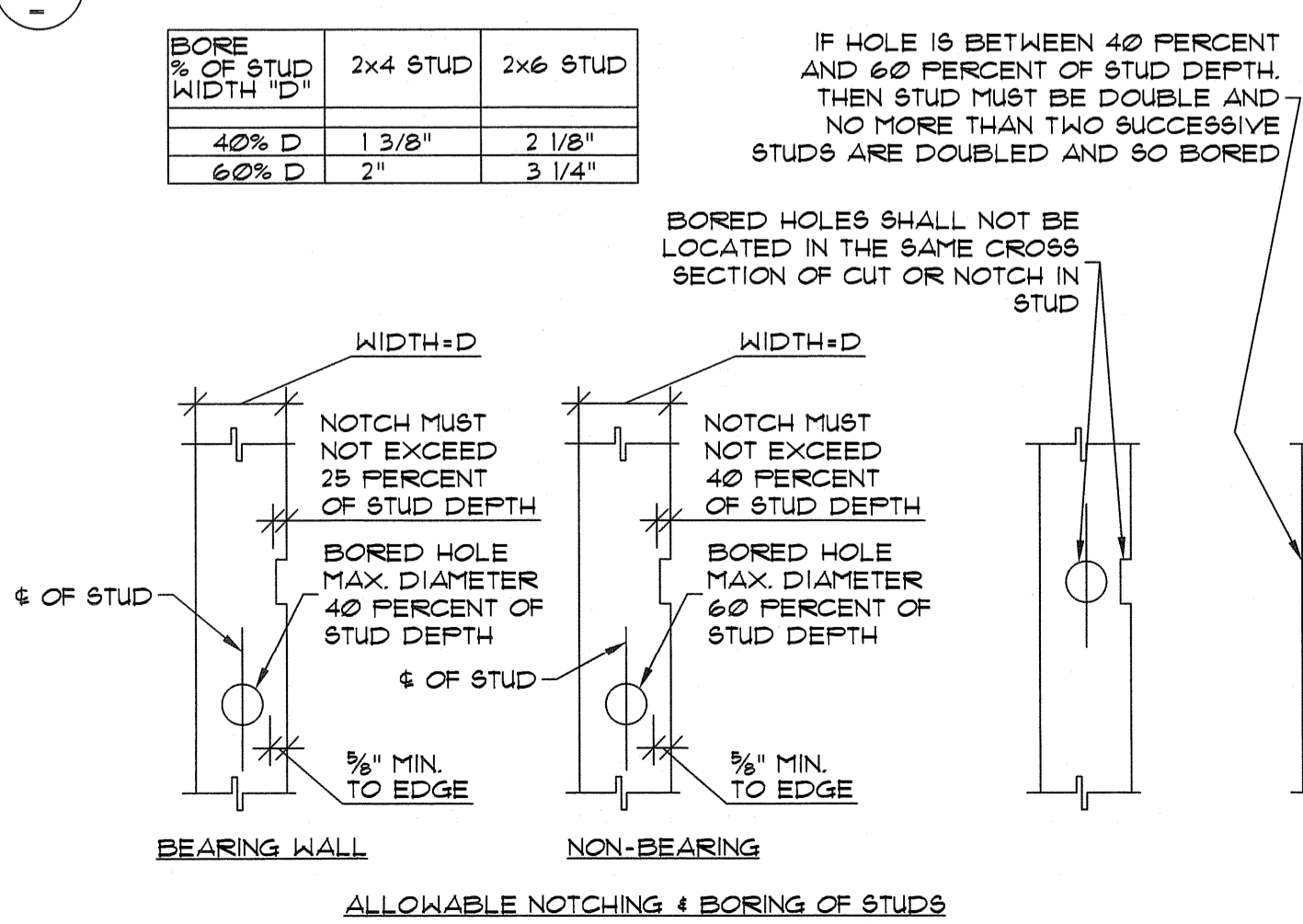
S&TB BOLT	BOLT Ø	EMBEDMENT	SIMPSON HOLDOWN	CAPACITY
S&TB16	FAB 3/8"	12 3/8"	HDU2	3075
S&TB20	FAB 1/2"	16 3/8"	HDU4	4563
S&TB24	FAB 5/8"	20 3/8"	HDU5	5645
S&TB28	FAB 3/4"	24 3/8"	HDU8	6765



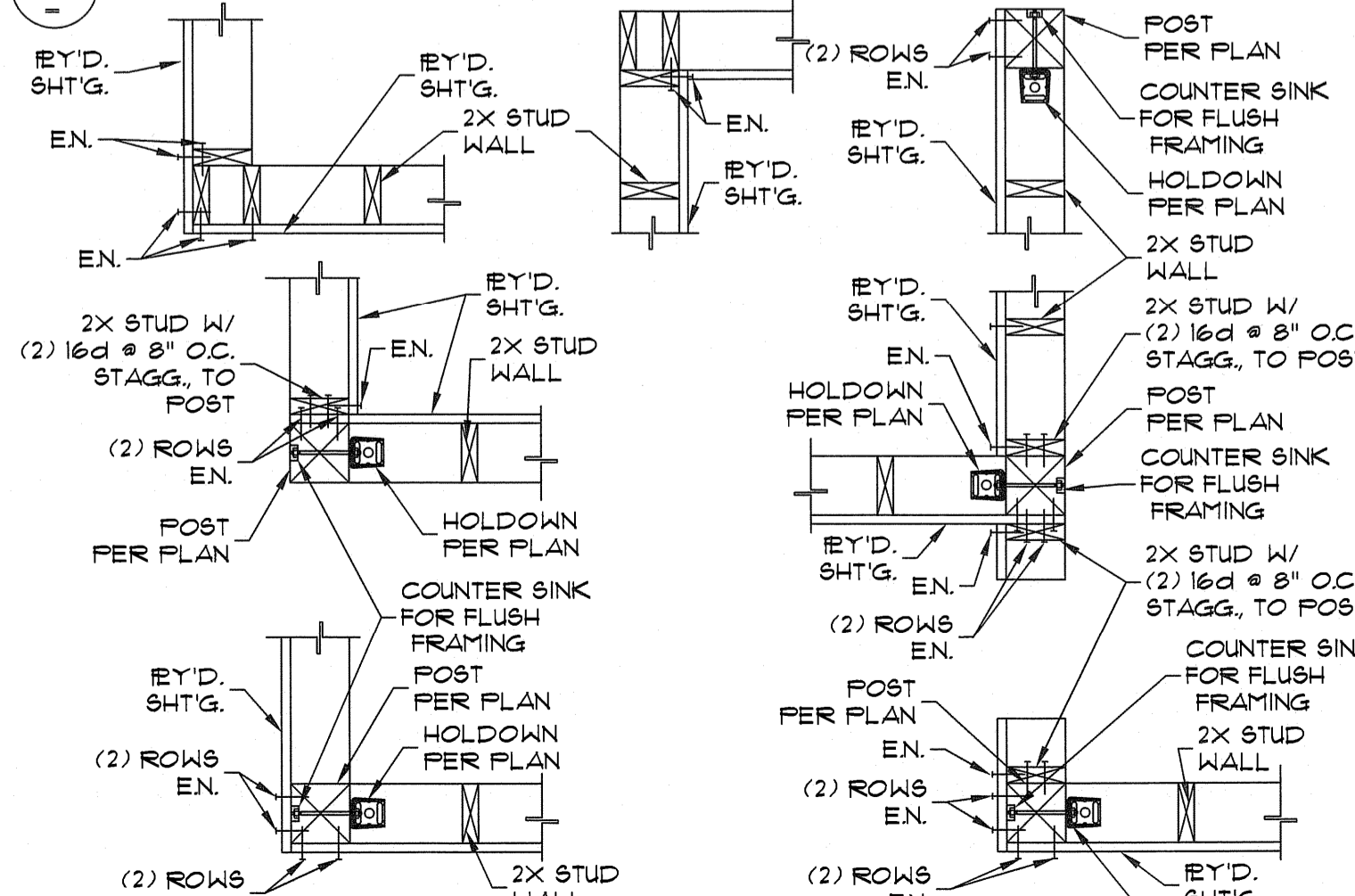
3 TYP. PIPES ON FTG.'S.



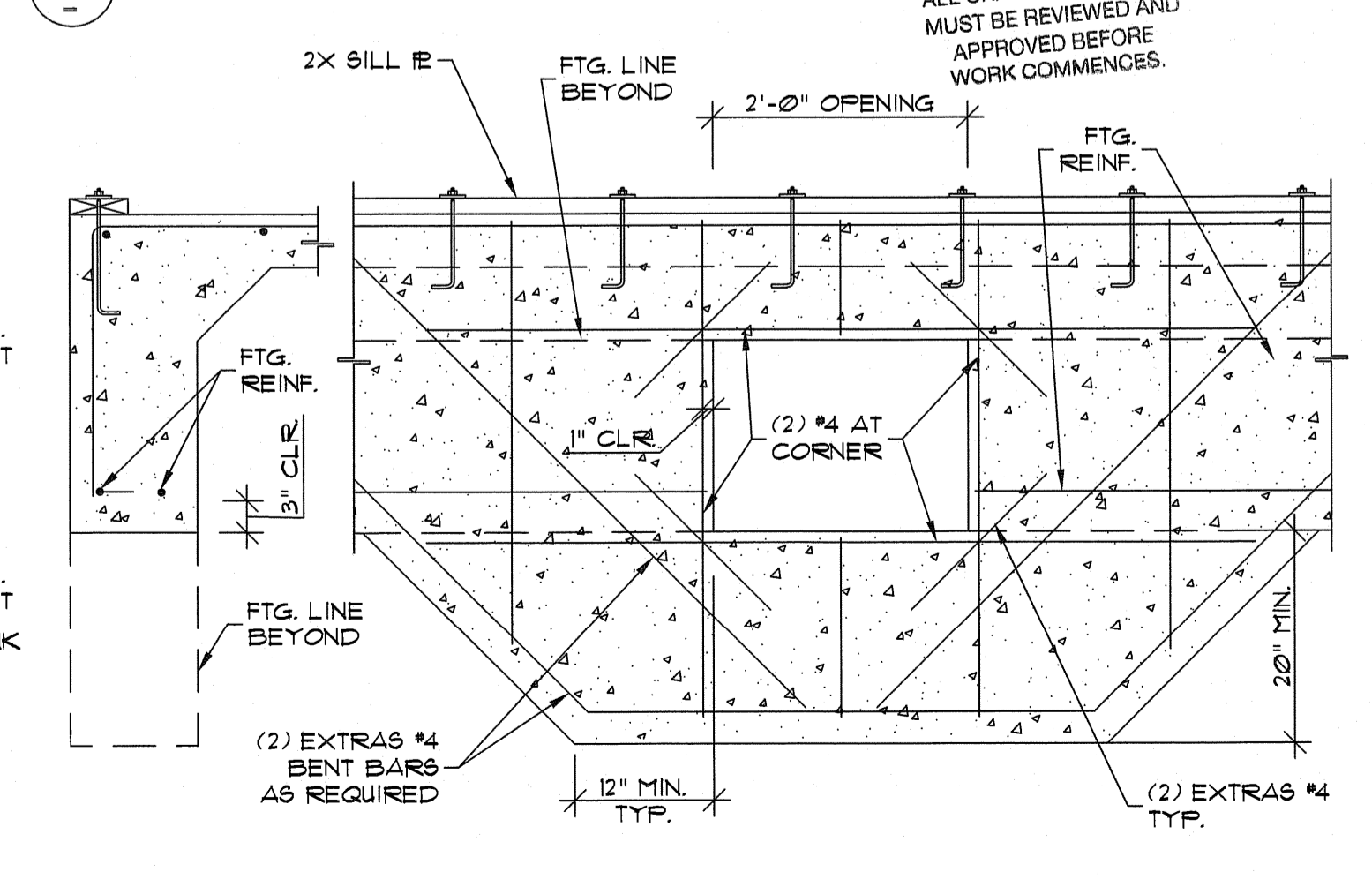
15 TYP. SECTION



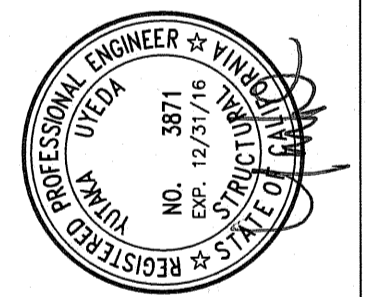
12 TYP. STUDS NOTCHING



8 TYP. WOOD WALL INTERSECTIONS



4 TYP. ACCESS THROUGH FOOTING



GENERAL NOTES

1. BASIS DESIGN : CALIFORNIA BUILDING CODE 2016

2. DIMENSIONS AND DATUM

- DIMENSIONS, UNLESS OTHERWISE SHOWN, ARE TO CENTERLINE OF COLUMNS AND BEAMS OR ROUGH CONCRETE SURFACES.
- ELEVATIONS ARE GIVEN WITH REFERENCE TO DATUM GIVEN ON GRADING DRAWINGS.
- REFER TO ARCH'L DRAWINGS FOR ANY DIMENSIONS NOT GIVEN.
- THESE STRUCTURAL DRAWINGS ALONE DO NOT INCLUDE ALL DIMENSIONS NECESSARY TO LOCATE STRUCTURAL MEMBERS, SLAB-EDGES, OPENINGS, EMBEDS, CURB DEPRESSIONS, ETC. SHOULD THERE BE DISCREPANCIES BETWEEN DIMENSIONS SPECIFICALLY NOTED, OR BETWEEN DETAILS AND DIMENSIONS NOTED OR INFERRED, CONTRACTOR SHALL BRING THEM TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION, BEFORE FABRICATION.
- BASED ON THE DRAWINGS, THE CONTRACTOR SHALL PREPARE A LAYOUT AS NEEDED TO ESTABLISH ELEVATIONS, HORIZONTAL DIMENSIONS AND OTHER RELATIONSHIPS NOT SPECIFICALLY SHOWN.
- DO NOT SCALE DIMENSIONS, USE WRITTEN DIMENSIONS.

3. FOUNDATION

SOIL REPORT:

- THE FOLLOWING SOIL REPORT SHALL BE REFERENCED FOR THIS PROJECT IT IS CONTRACTOR RESPONSIBILITY TO GET THE LATEST REPORT INCLUDING THE LATEST AMENDMENTS IF ANY.
 - ALLOWABLE PRESSURE = 2000 PSF (DL+LL) CLASS 4, SAND, CBC TABLE 1806.2

4. CONCRETE

- BASIS FOR DESIGN : F_c = 2500 psi FOR FLOOR SLAB, F_c = 2500 psi FOR FOOTINGS,
- ALL CONCRETE SHALL BE REINFORCED UNLESS SPECIFICALLY MARKED NOT REINFORCED.
- CONCRETE SHALL BE MACHINE MIXED AND DELIVERED IN ACCORDANCE WITH A.S.T.M. C-94.
- MINIMUM COVER FOR REINFORCEMENT IN CONCRETE CONSTRUCTION SHALL BE AS FOLLOWS:

3"	FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.
2"	FOR FORMED CONCRETE EXPOSED TO EARTH OR WEATHER.
1 1/2"	FOR REINFORCEMENT IN BEAMS AND COLUMNS.
3/4"	FOR REINFORCING IN SLABS.

5. CONCRETE WORK

- PORTLAND CEMENT SHALL CONFIRM TO THE ASTM STANDARD SPECIFICATIONS FOR PORTLAND CEMENT, C-150, LATEST EDITION, TYPE I AT ALL LOCATIONS. ONE BRAND OF CEMENT SHALL BE USED THROUGHOUT. AIR ENTRAINING OR ADMIXTURES MAY BE USED (NONE SHALL CONTAIN CALCIUM CHLORIDE).
- AGGREGATES** ASTM C-33 LATEST EDITION. AGGREGATES AT FOOTINGS MAY BE ORDINARY LOCAL AGGREGATES, ALL OTHER CONCRETE INCLUDING THAT AT EXTERIOR SIDEWALKS AND SLABS SHALL HAVE GRANITE OR APPROVED LIMESTONE COARSE AGGREGATE AND FELTON-OLYMPIA SAND FINE AGGREGATE.

C. MIX DESIGN

- CONCRETE MIX DESIGN:** ALL CONCRETE DESIGN MIXES SHALL DESIGN BY A TESTING LABORATORY APPROVED BY ENGINEER. ALL MIXES SHALL CONFIRM TO APPLICABLE BUILDING CODE REQUIREMENTS, REGARDLESS OF ANY MINIMUM REQUIREMENTS LISTED HEREIN OR IN THE DRAWINGS. ALL MIX DESIGN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL BEFORE BEING USED. MIX DESIGN SHALL SHOW PROPORTION OF CEMENT, FINE AND COARS AGGREGATE, AND WATER GRADUATION OF COMBINED AGGREGATES.
- MINIMUM MIX REQUIREMENTS:** IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DESIGN THE MIXES TO PROVIDE THE MINIMUM REQUIREMENTS LISTED BELOW.

MIN STRENGTH @ 28 DAYS	MAX AGGREGATE SIZE	MAX SLUMP	W/C
FOUNDATION	2500	1 1/2 INCHES	4
SLAB ON GRADE	2500	1 1/2 INCHES	5

- ALL REINFORCING, ANCHOR BOLTS, INSERT, ETC. SHALL BE RIGIDLY SECURED IN PLACE PRIOR TO POURING CONCRETE.
- ALL HORIZONTAL REINFORCING TO BE SUPPORTED ON GALVANIZED CHAIR, EXCEPT THE MOTOR BLOCKS OR OTHER APPROVED METHOD OF SUPPORT SHALL BE USED AT FOOTINGS AND LAND SLABS ON GRADE.
- FROM REMOVAL: EDGE FORMS AT SLAB-24HRS AFTER POURING WALLS LESS THAN 4'-0" HIGH-36HRS AFTER POURING.

6. STEEL REINFORCEMENT

- USE REINFORCING CONFORMING TO A.S.T.M. A-615, GRADE 40 FOR #3 OR SMALLER & GRADE 60 FOR #4 OR LARGER.
- ALL REINFORCEMENT IN ITS TRUE HORIZONTAL AND/OR VERTICAL POSITION WITH DEVICES SUFFICIENTLY NUMEROUS TO PREVENT DISPLACEMENT.
- ALL REINFORCEMENT SHALL BE CONTINUOUS STAGGER SPLICES IN ADJACENT BARS, LAP 40 DIAMETERS AT SPLICES UNLESS OTHERWISE NOTED.
- ALL REINFORCING TO BE WELDED SHALL BE LOW ALLOY A706 STEEL. ALL REBAR WELDING TO COMPLY WITH AWS D14.

7. LUMBER AND TIMBER FRAMING

- ALL FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH MANUFACTURED AND GRADED PER NATIONAL DESIGN SPECIFICATION, LATEST ADDITIONS, UNLESS SPECIFICALLY SHOWN OTHERWISE. FOR LUMBER GRADES SEE PLAN, STUDS, BLOCKING AND PLATES SHALL BE #2 OR BETTER. ALL LEDGERS AND NAILERS SHALL BE #1 OR BETTER. LUMBER SHALL BE IN ACCORDANCE WITH NDS SUPPLEMENT TABLES 2A, 4A, 4B, 4C, 4D, 5A, 5B & 5C

#1: 2X OR 4X WIDER BENDING (F _b) = 1000 FSI SHEAR (F _v) = 180 FSI	#2: 2X OR 4X WIDER BENDING (F _b) = 900 FSI SHEAR (F _v) = 180 FSI
---	--

#1: 6X BEAM BENDING (F _b) = 1350 FSI SHEAR (F _v) = 170 FSI	#2: 6X BEAM BENDING (F _b) = 875 FSI SHEAR (F _v) = 170 FSI
--	---

B. ROOF SHEATHING - SEE PLAN

- "GLUE LAMINATED TIMBER" SHALL BE MANUFACTURED FROM SPECIES AND GRADES OF LUMBER WHICH WILL PRODUCE DESIGN VALUES EQUAL OR EXCEEDING THE FOLLOWING WHEN LOADED PERPENDICULAR TO THE WIDE FACES OF THE LAMINATIONS :

BENDING (F _b) = 2400 FSI
SHEAR (F _v) = 165 FSI
MODULUS OF ELASTICITY (E) = 1800000 FSI

GLU-LAM BEAMS SHALL BE INDUSTRIAL APPEARANCE UNLESS NOTED ON PLANS. PROVIDE TENSION LAM AT TOP AND BTM OF CANTILEVER. PROVIDE AITC CERTIFICATION TO BUILDING DEPT. GLU-LAMINATED WOOD SHALL CONFORM TO 4 BE ACCOMPANIED BY AN APPROVED EVIDENCE OF COMPLIANCE W/ NATIONAL DESIGN SPECIFICATION & CHAPTER 23 OF C.B.C. SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW & APPROVAL PRIOR TO MANUFACTURE.

- ALL NAILING SHALL BE AS INDICATED IN TABLE 2304.101 EXCEPT AS SHOWN OTHERWISE. NAILS SHALL BE GALVANIZED COMMON WIRE NAILS OR GALVANIZED BOX NAILS (NAILING FOR PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED PER C.B.C. 2304.3)

MINIMUM PERMISSIBLE NAILING

JOIST, RAFTER	TO BEARING	(3) 16d TOENAILS
	TO PARALLEL MEMBERS	16d @ 12" O.C.
BLOCKING	TO JOIST OR RAFTERS	(2) 16d TOENAILS EACH END
HERRINGBONE BRIDGING	TO STUDS	(2) 16d TOENAILS EACH END
MULTIPLE STUDS / JOISTS	EACH LAYER	16d @ 12" O.C. STAGGERED

E. ALL MACHINE BOLTS (M.B.) SHALL BE A307

- BOLT HOLES IN STEEL SHALL BE 1/16" LARGER THAN BOLTS. PROVIDE M.I. WASHERS AT ALL HEADS OR NUTS BEARING AGAINST WOOD. RETIGHTEN ALL BOLTS BEFORE CLOSING IN OR UPON JOB COMPLETION WHERE BOLTS BEAR AGAINST BEAR WOOD, PROVIDE PLATE WASHERS FOR ALL HEADS AND NUTS IN THE FOLLOWING SIZES :

BOLTS SIZES	STEEL PLATE WASHERS
1/2" @ to 5/8" @	2" X 2" X 1/4"
3/4" @ to 1" @	3" X 3" X 1/4"
1 1/4" @	4" X 4" X 3/8"

- ALL REFERENCE OF "SIMPSON" INDICATES STRUCTURAL FASTENERS MANUFACTURED BY "SIMPSON" METAL PRODUCTS. SEE SPECIFICATIONS FOR DETAILS REQUIREMENTS. NAILING SHALL BE IN ACCORDANCE WITH MANUFACTURE'S INSTRUCTIONS, WITH A NAILS PROVIDED FOR EACH FUNCHED HOLES

- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED ALL "SIMPSON" CONNECTORS & FASTENERS IN PRESERVATIVE TREATED WOOD SHALL BE A COROSION RESISTANCE APPROVED BY "SIMPSON" SPECIFICATIONS

8. STRUCTURAL OBSERVATIONS

- THE ENGINEER OF RECORD WILL MAKE PERIODIC SITE INSPECTIONS DURING CONSTRUCTION, THE ENGINEER WILL SUBMIT WRITTEN VERIFICATION THAT STRUCTURE HAS BEEN BUILT IN ACCORDANCE WITH APPROVED PLANS & SPECIFICATIONS. THE ENGINEER WILL SUBMIT COPIES OF HIS REPORTS TO THE OWNER, CONTRACTOR AND BUILDING OFFICIAL



9. SPECIAL INSPECTIONS

- STRUCTURAL TESTS AND SPECIAL INSPECTIONS SHALL BE IN CONFORMANCE WITH SECTION 1705 OF THE 2016 CBC. THE FOLLOWING CHECKED ITEMS SHALL REQUIRE SPECIAL INSPECTION

ITEM	REQUIRED IF CHECKED	CBC SECTION REFERENCE
ADHESIVE ANCHORS INSTALLED	YES	1705.3
STRUCTURAL STEEL WELDING	YES	1705.2

- FINAL SIGNED SPECIAL INSPECTION REPORTS SHALL BE SUBMITTED BY SPECIAL INSPECTOR IN ACCORDANCE WITH CBC SECTION 1705.1

- IT IS THE OWNER'S SOLE RESPONSIBILITY TO SEE THAT THESE TEST AND INSPECTIONS ARE PERFORMED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER WHEN THESE TESTS ARE TO BE CONDUCTED. THE INSPECTOR SHALL BE EMPLOYED BY THE OWNER

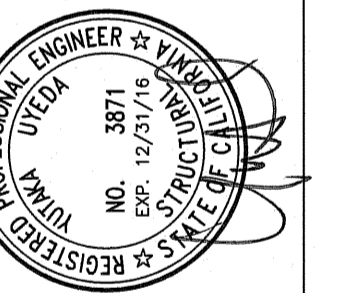
ABBREVIATIONS:

&	AND	INSUL.	INSULATION
@	AT	INT.	INTERIOR
¢	CENTERLINE	LB.	FOUND.
∅	DIAMETER OR ROUND	LDGR	LEDGER
AB.	ANCHOR BOLT	MAX.	MAXIMUM
ALT.	ALTERNATE	M.B.	MACHINE BOLT
APPROX.	APPROXIMATE	MECH.	MECHANICAL
ARCH.	ARCHITECTURAL	MFG.	MANUFACTURER
BLKG.	BLOCKING	MIN.	MINIMUM
BLDG.	BUILDING	MISC.	MISCELLANEOUS
BM.	BEAM.	MTL.	METAL
BTWN.	BETWEEN	N	NEW
BTM.	BOTTOM	NF.	NEAR FACE
C.B.C.	CALIFORNIA BUILDING CODE	N.I.C.	NOT IN CONTRACT
C.J.	CONSTRUCTION JOINT	NO.	NUMBER
CLR.	CLEAR	NOM.	NOMINAL
COL.	COLUMN	N.T.S.	NOT TO SCALE
CONC.	CONCRETE	O.C.	ON CENTER
CONN.	CONNECTION	O.D.	OUTSIDE DIAMETER
CONSTR.	CONSTRUCTION	O.F.	OUTSIDE FACE
CONT.	CONTINUOUS	O.H.	OPPOSITE HAND
DBL.	DOUBLE	OPNG.	OPENING
DET.	DETAIL	OPP.	OPPOSITE
D.F.	DOUG FIR/LARCH	FL.	PLATE
DIA.	DIAMETER	PLYWD.	PLYWOOD
DIM.	DIMENSION	PSI	POUNDS PER SQUARE INCH
DWG.	DRAWING	P.T.	PRESSURE TREATED
E	EXISTING	REF.	REFERENCE
EA.	EACH	REINF.	REINFORCED
EF.	EACH FACE	REQ'D	REQUIRED
E.J.	EXPANSION JOINT	S.A.D.	SEE ARCH. DRAWINGS
EL.	ELEVATION	SCHED.	SCHEDULE
EN.	EDGE NAIL	SECT.	SECTION
EQ.	EQUAL	SHT.	SHEET
E.W.	EACH WAY	S.J.	SAWCUT JOINT
FDN.	FOUNDATION	SIM.	SIMILAR
FF.	FAR FACE	S.M.D.	SEE MECH. DRAWINGS
FIN.	FINISH	S.O.G.	SLAB ON GRADE
FL.	FLOOR	SPEC.	SPECIFICATION
FN.	FIELD NAIL	STD.	STANDARD
F.O.C.	FACE OF CONCRETE	STL.	STEEL
F.O.M.	FACE OF MASONRY	SYM.	SYMMETRICAL
F.O.S.	FACE OF STUD	T&B	TOP & BOTTOM
FRM.	FRAMING	T&G	TONGUE & GROOVE
FTG.	FOOTING	THK.	THICK
GALV.	GALVANIZED	T.O.	TOP OF
GB	GRADE BEAM	T.O.C.	TOP OF CONCRETE
GLB	GLU-LAMINATED BEAM	T.O.S.	TOP OF STEEL
GR.	GRADE	TYP.	TYPICAL
HD	HOLDOWN	U.ON.	UNLESS OTHERWISE NOTED
HDR.	HEADER	VERT.	VERTICAL
HK	HOOK	W/	WITH
HORIZ.	HORIZONTAL	W/O.	WITHOUT
H.S.B.	HIGH STRENGTH BOLT	WP.	WATERPROOF
I.D.	INSIDE DIAMETER	WT.	WEIGHT
I.F.	INSIDE FACE	WWF	WELDED WIRE FABRIC
I.J.	ISOLATION JOINT		

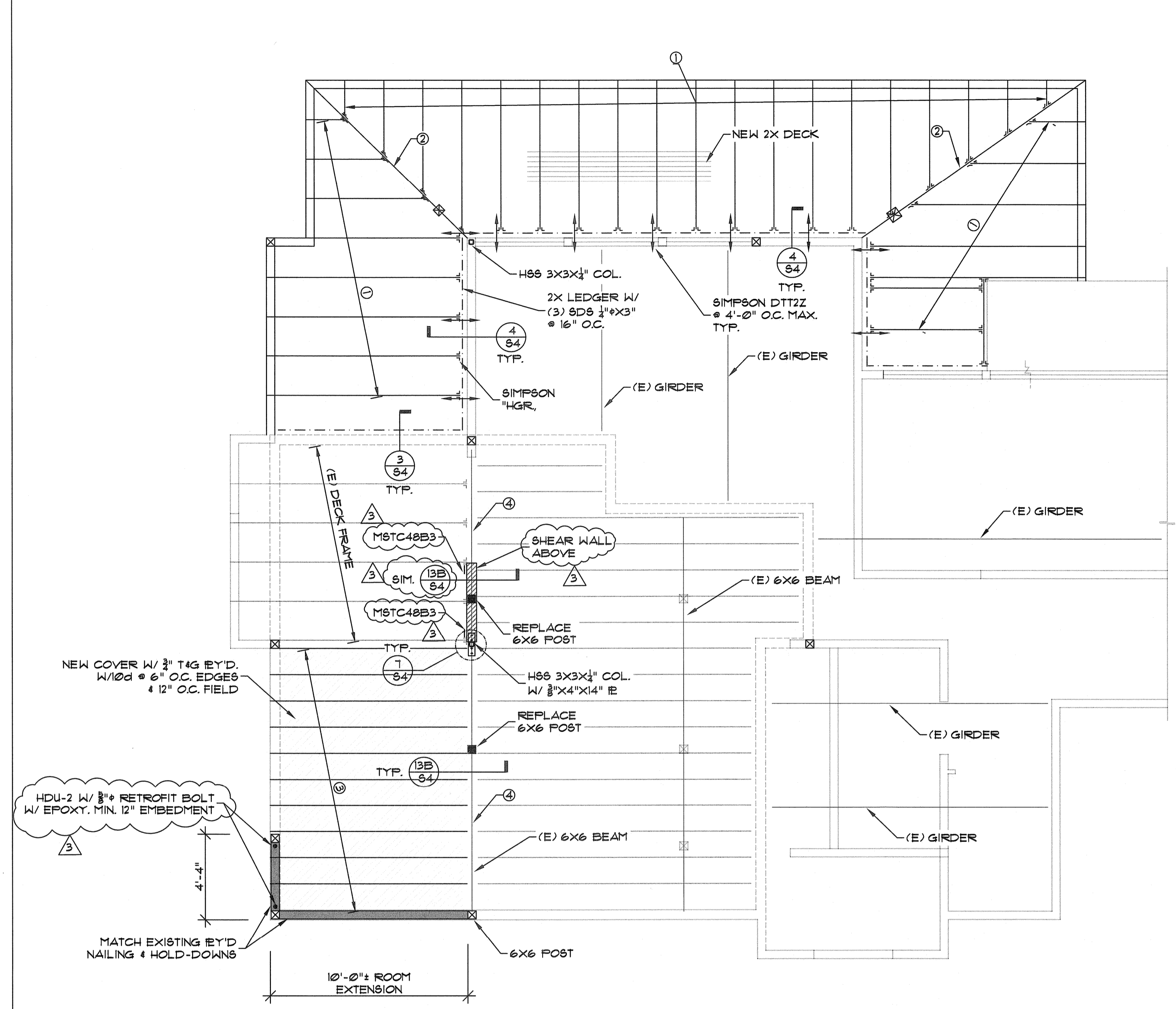
CARMEL-BY-THE-SEA
ALL CHANGES OF PLANS
MUST BE REVIEWED AND
APPROVED BEFORE
WORK COMMENCES

DATE: 8.31.2017
SCALE: VARIES
DRAWN: AH
JOB NUMBER:
11/13/2018

UYEDA and ASSOCIATES
structural engineers
2600 GARDEN ROAD, SUITE 200
CARMEL, CA 95008
(831) 375-3181 FAX: (831) 375-3188



GENERAL NOTES
ONE SAND & SEA
1 SAND & SEA
CARMEL-BY-THE-SEA, CA
APN: 010-321-023



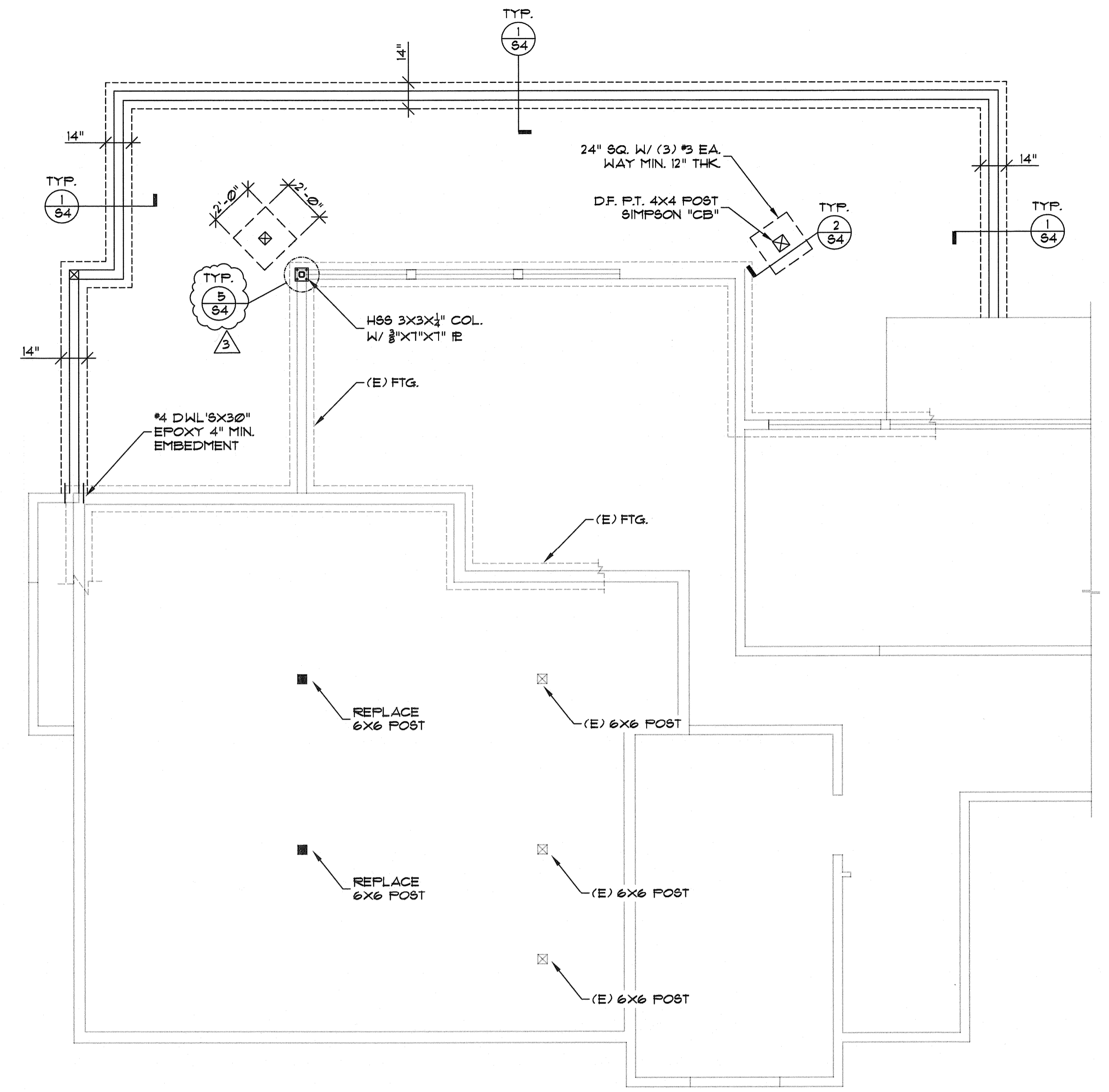
PARTIAL FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"

NOTES:

- SEE GENERAL NOTES ON SHEET S1
- VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS.
- ALL UNCLEAR AND / OR MISSING DETAILS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION BEFORE PROCEEDING WITH THE CONSTRUCTION.
- SEE SHT. S1 FOR THE REQUIRED SPECIAL INSPECTIONS FOR SPECIAL INSPECTION FORMS.
- STRUCTURAL OBSERVATIONS BY PROJECT'S ENGINEER IN ACCORDANCE WITH C.B.C. SECTION 1702.
- PROVIDE SIMPSON "CB" POST BASE @ BTTY. OF ALL WOOD POSTS AND "BC" POST CAP WHERE "HD" HOLD-DOWN OCCURS (U.N.O.)

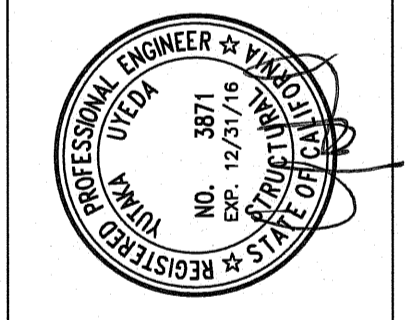
FRAMING SCHEDULE

- DF. F.T. 2X10 @ 24" O.C.
- DF. F.T. 4X12
- DF. 2X10 #2 GR. @ 16" O.C.
- REPLACE EXISTING 6X6 BM. TO 5 1/4"x24" GLB. CUT TO FIT



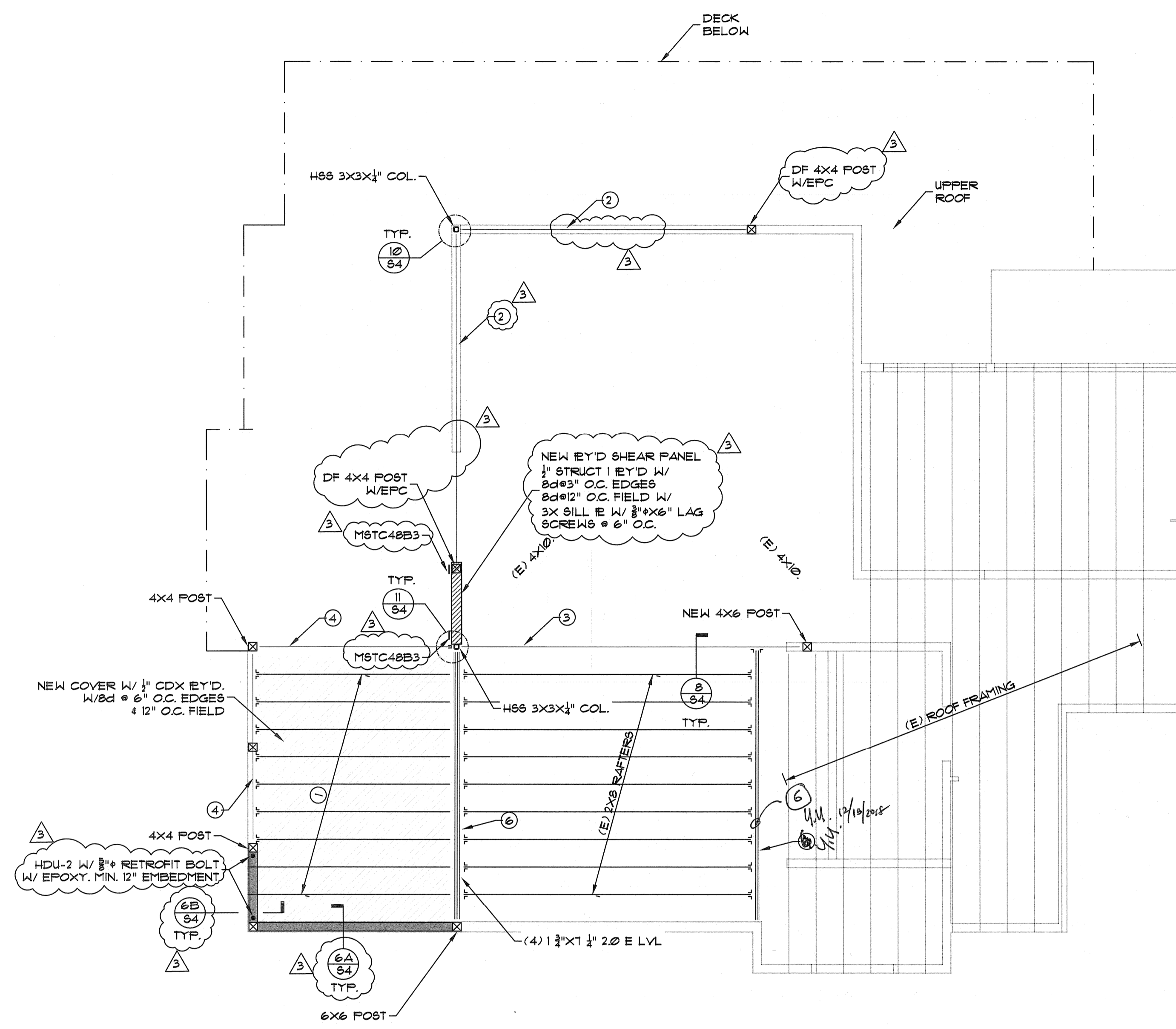
PARTIAL FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

UYEDA and ASSOCIATES
 structural engineers
 2800 GARDEN ROAD SUITE 3050
 CARMEL-BY-THE-SEA, CA 95006
 (831) 375-3181 FAX: (831) 375-3188



STRUCTURAL PLAN
ONE SAND & SEA
 1 SAND & SEA
 CARMEL-BY-THE-SEA, CA
 APN: 010-321-023

CARMEL-BY-THE-SEA
 ALL CHANGES OF PLANS
 MUST BE REVIEWED AND
 APPROVED BEFORE
 WORK COMMENCES.



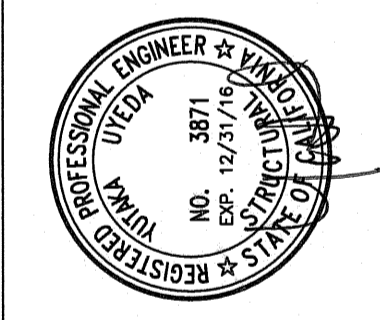
PARTIAL ROOF FRAMING PLAN
 SCALE: 1/2" = 1'-0"

- NOTES:**
- SEE GENERAL NOTES ON SHEET S1
 - VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS.
 - ALL UNCLEAR AND / OR MISSING DETAILS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION BEFORE PROCEEDING WITH THE CONSTRUCTION.
 - SEE SHT. S1 FOR THE REQUIRED SPECIAL INSPECTIONS FOR SPECIAL INSPECTION FORMS.
 - STRUCTURAL OBSERVATIONS BY PROJECT'S ENGINEER IN ACCORDANCE WITH C.B.C. SECTION 1102.
 - PROVIDE SIMPSON "CB" POST BASE @ BTM. OF ALL WOOD POSTS AND "BC" POST CAP WHERE "HD" HOLDOWN OCCURS (UN.O.)

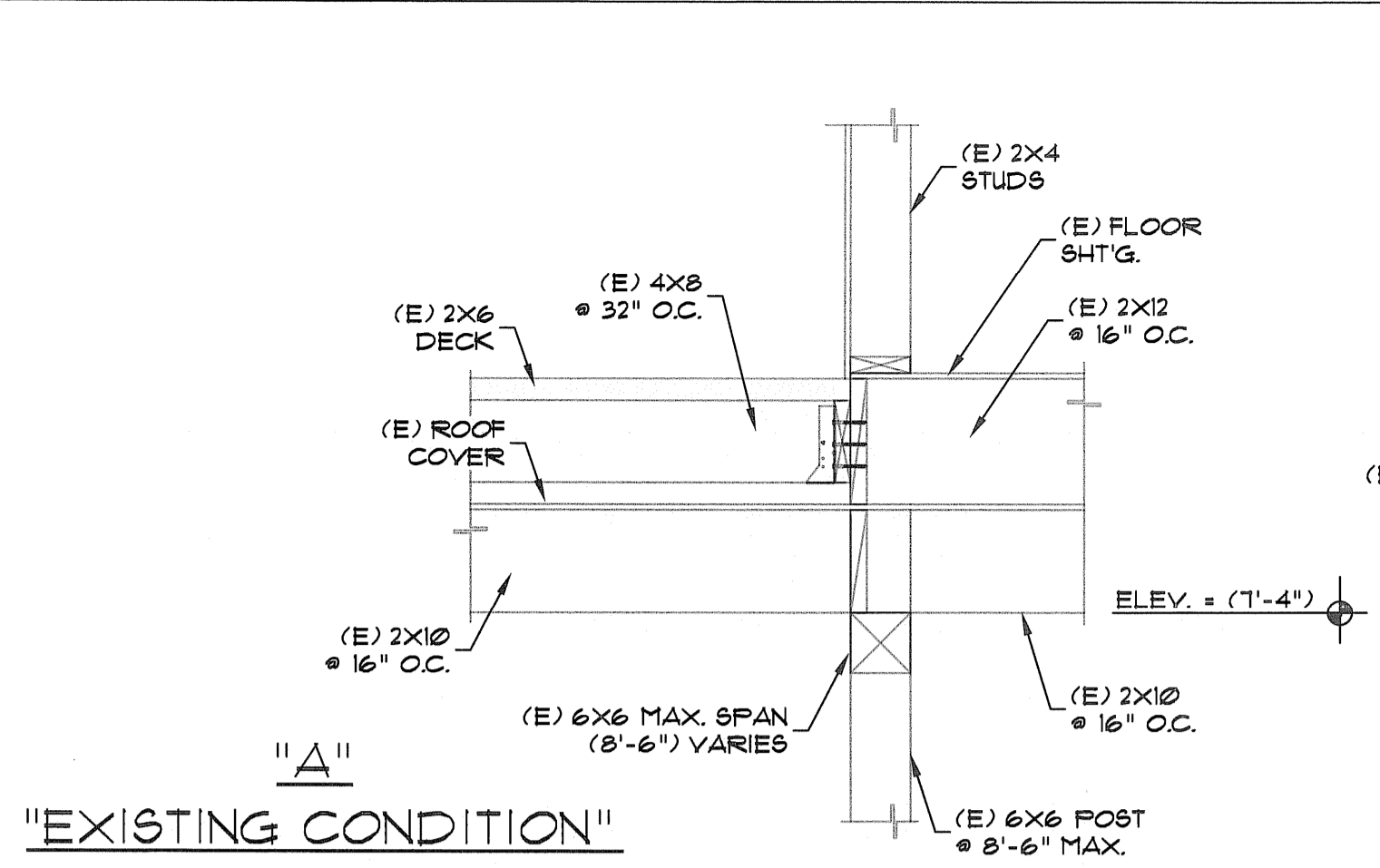
FRAMING SCHEDULE	
1.	DF. 2X8 # GR @ 16" O.C.
2.	3 1/2"x16" 2.0E FSL
3.	3 1/2"x14" 2.0 E FSL
4.	DF. 4X8 # GR
5.	3 1/2"x11 1/8" 2.0 E FSL
6.	(4) 1 3/4"x1 1/4" 2.0E LVL
7.	(3) 1 3/4"x1 1/4" 2.0E LVL

CARMEL-BY-THE-SEA
 ALL CHANGES OF PLANS
 MUST BE REVIEWED AND
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 WORK COMMENCES.

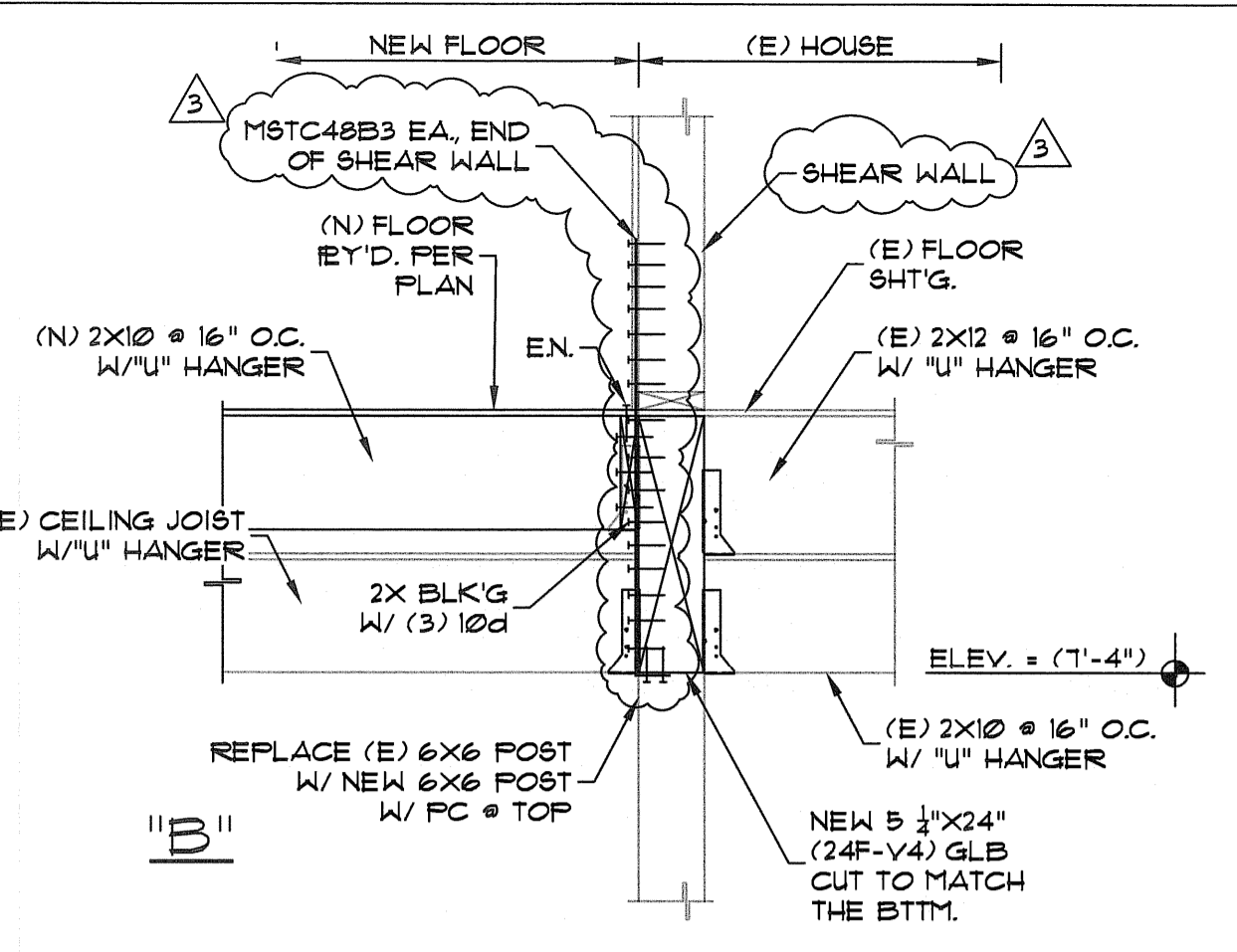
UYEDA and ASSOCIATES
 structural engineers
 2600 CARMEL RD. SUITE 205
 MONTEREY, CALIFORNIA 93940
 (831) 373-3181 FAX (831) 373-3188



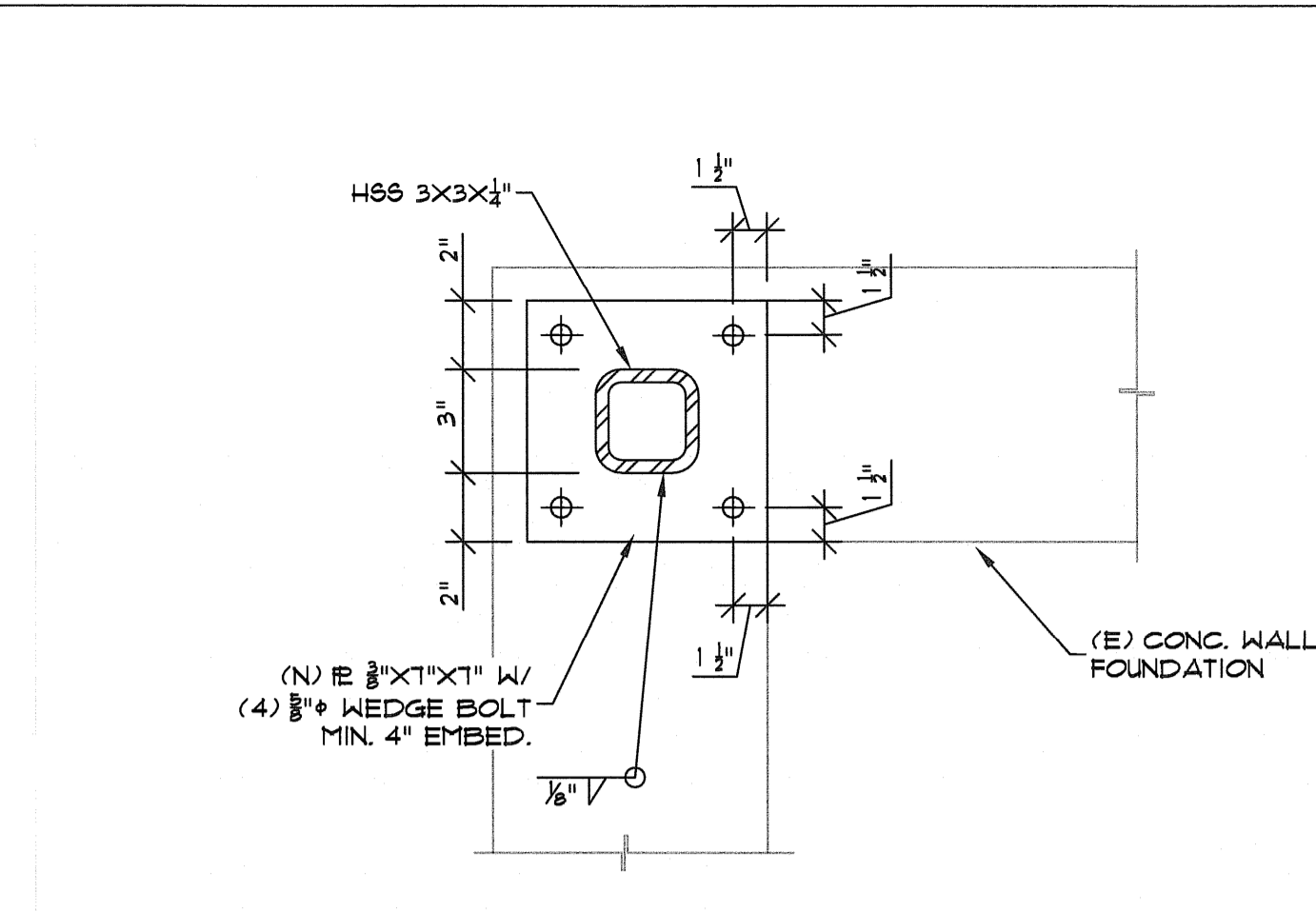
STRUCTURAL PLAN
 ONE SAND & SEA
 1 SAND & SEA
 CARMEL-BY-THE-SEA, CA
 APN: 010-321-023



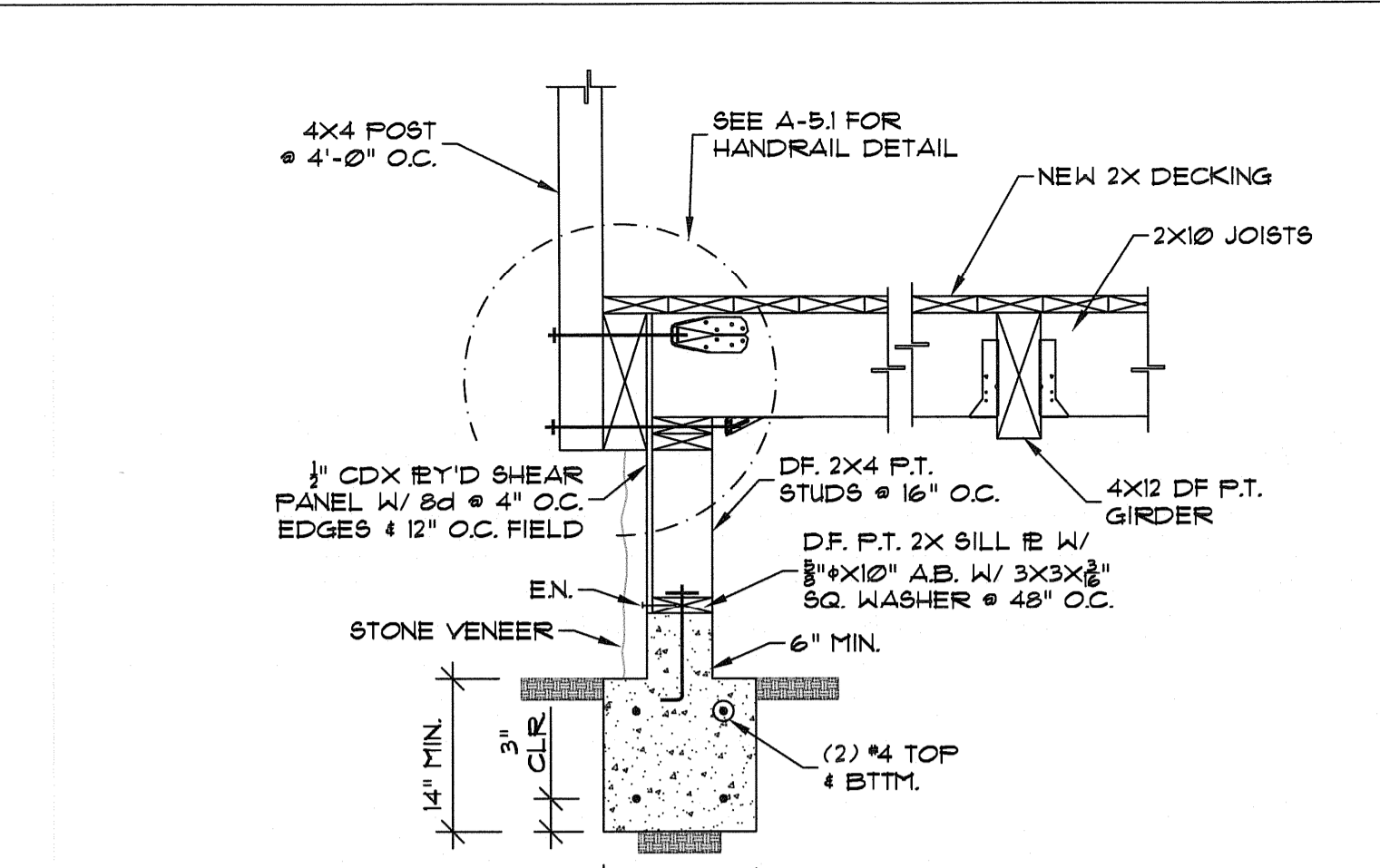
13 TYP. SECTION



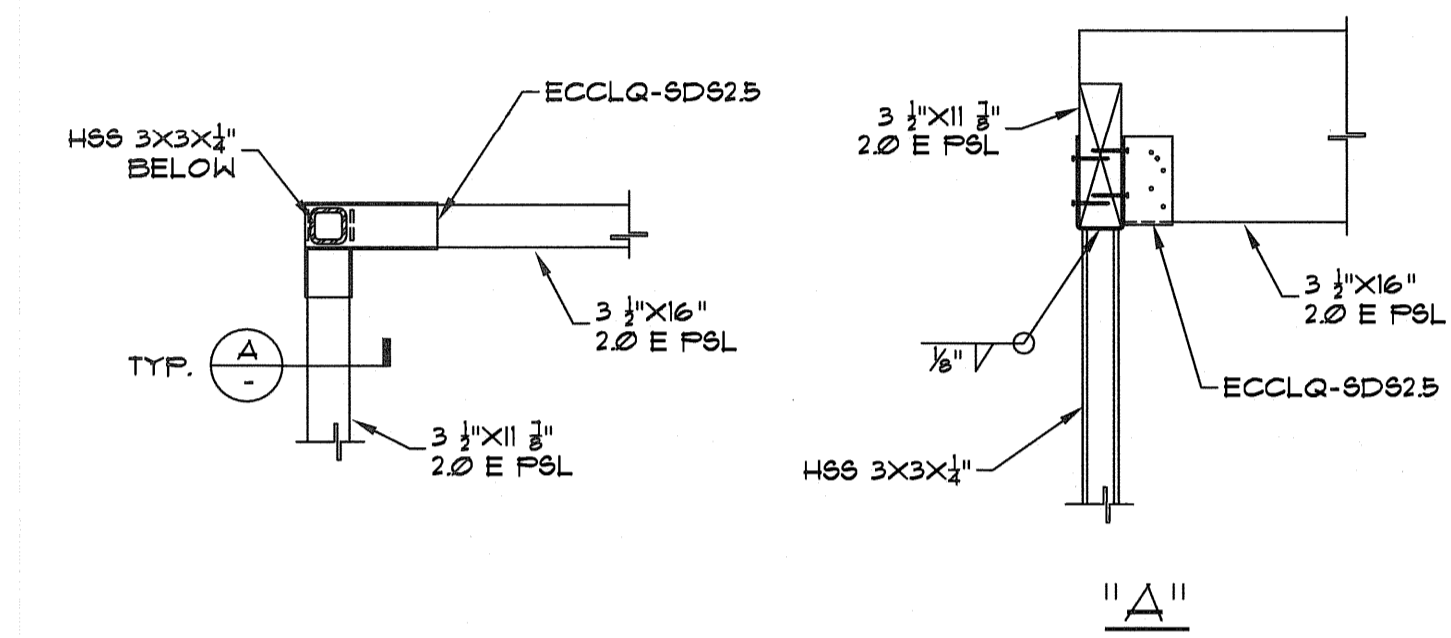
14 TYP. SECTION



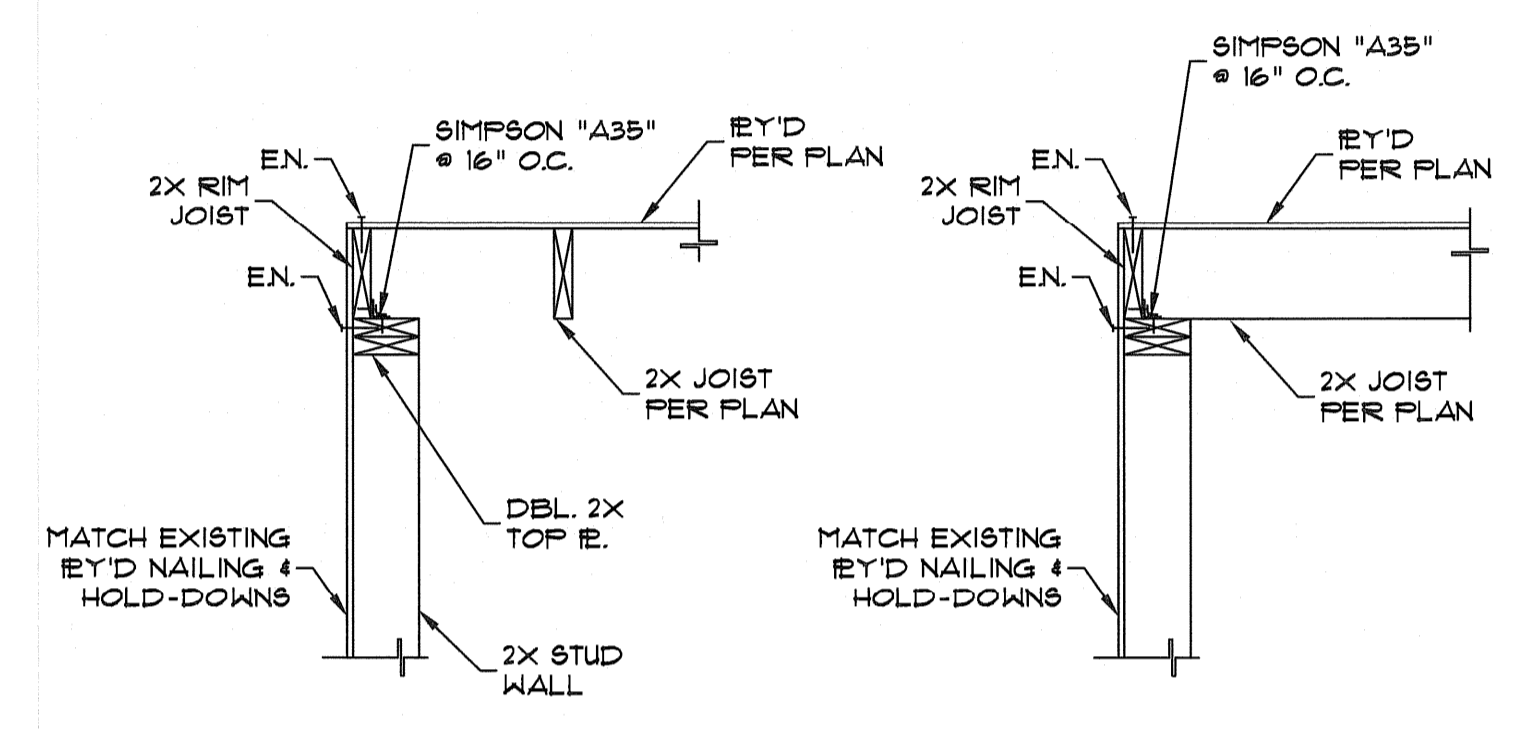
5 TYP. PLAN VIEW (ENLARGED)



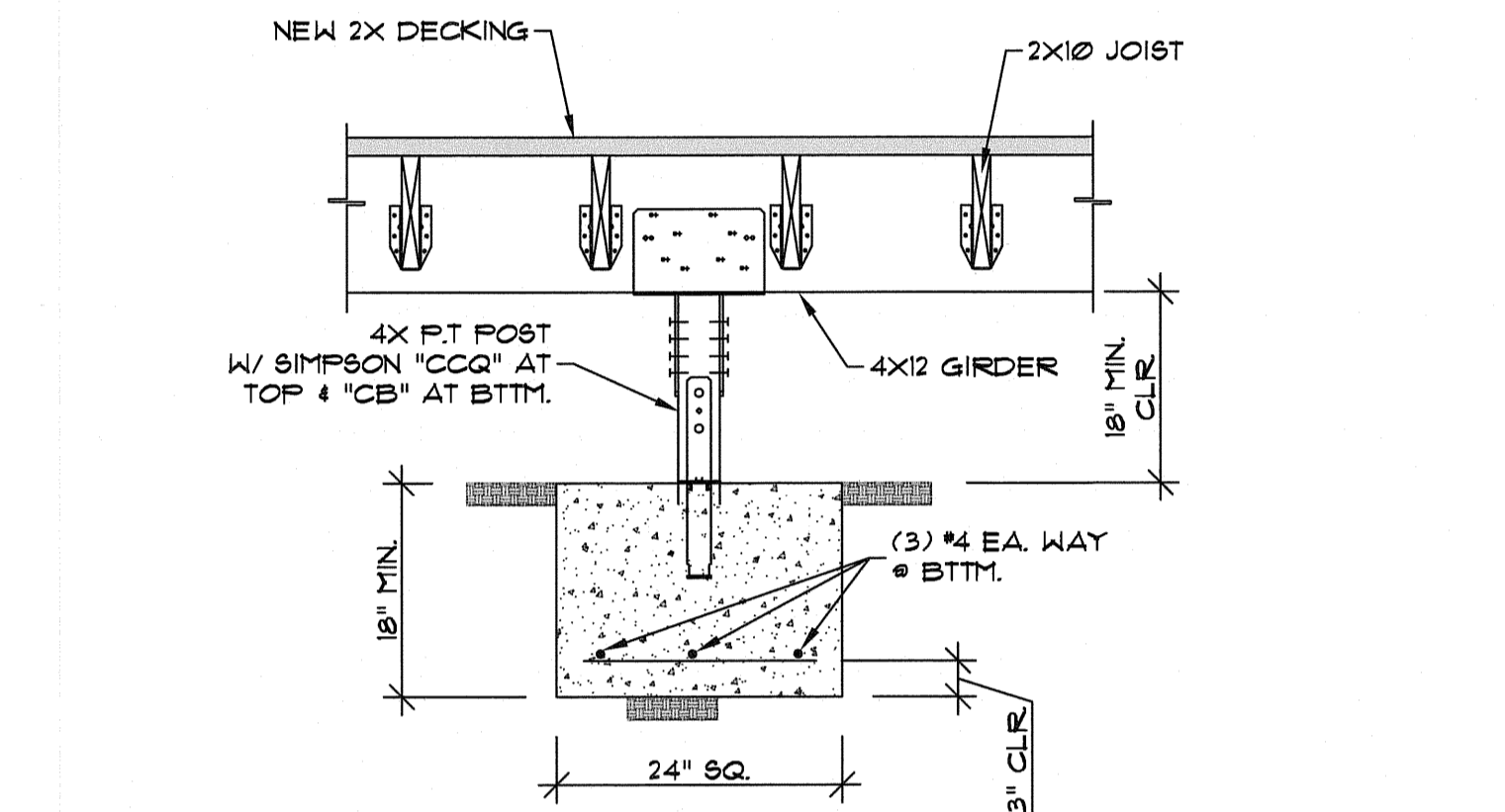
1 TYP. SECTION



10 TYP. PLAN VIEW

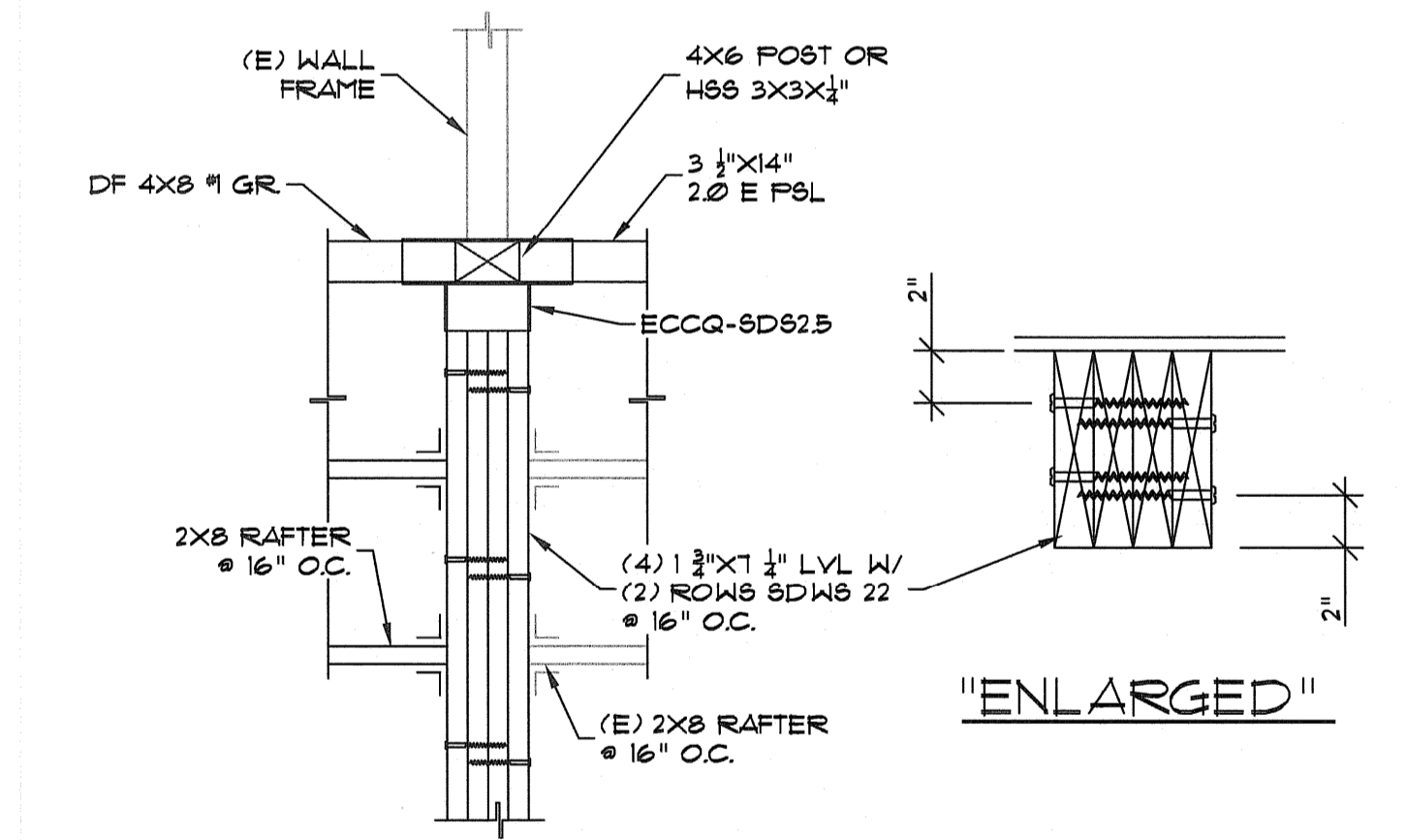


6 TYP. SECTION

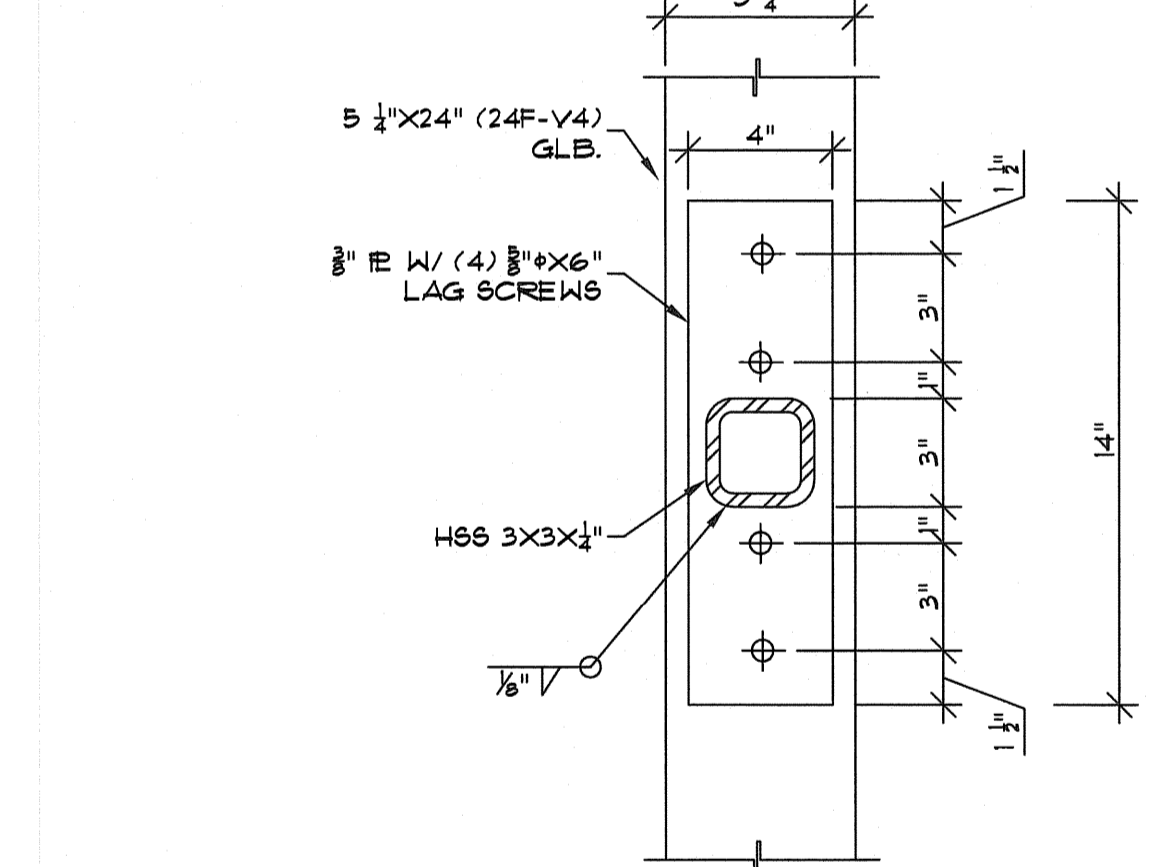


2 TYP. SECTION

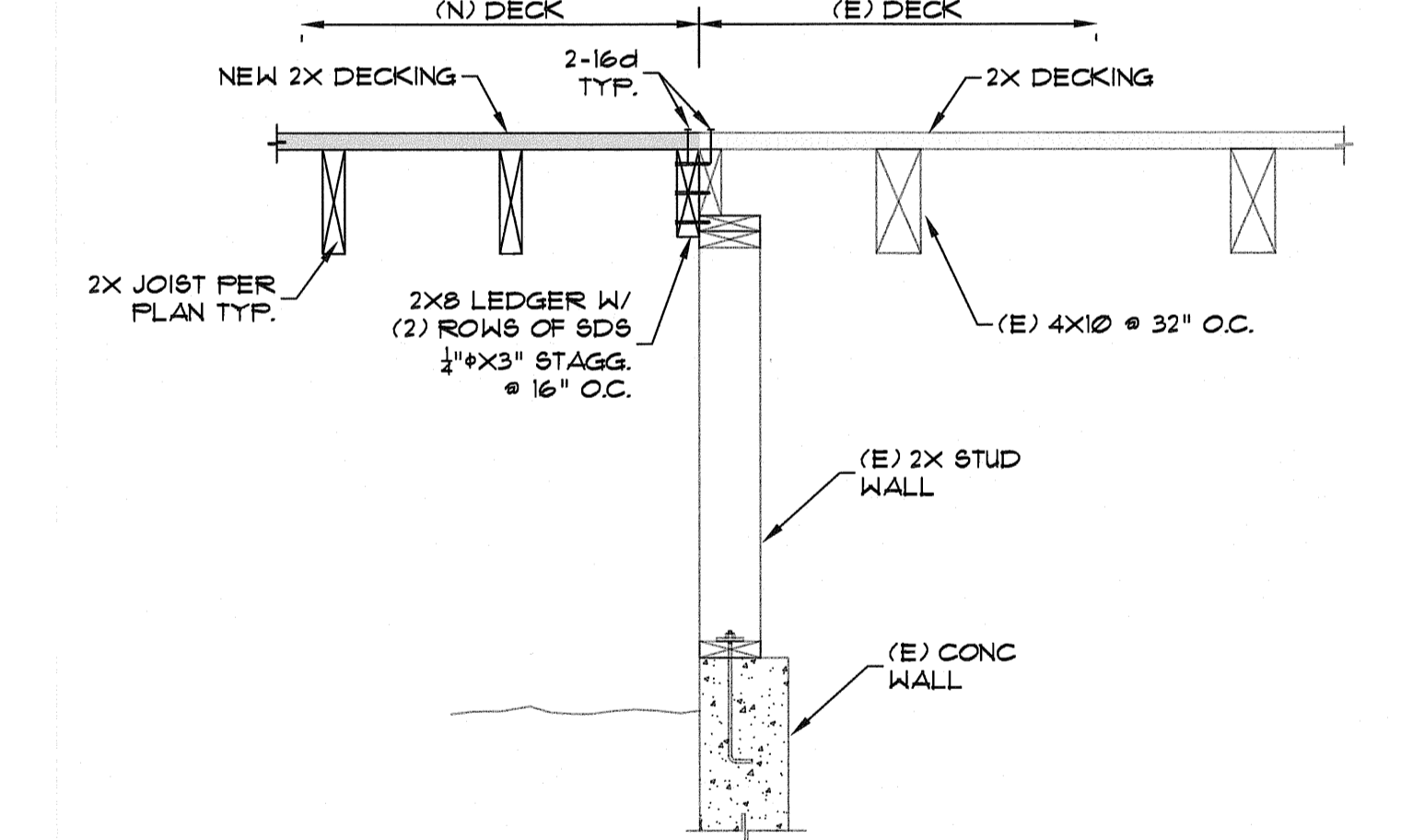
14 TYP. SECTION



11 TYP. PLAN VIEW



7 TYP. PLAN VIEW (ENLARGED)

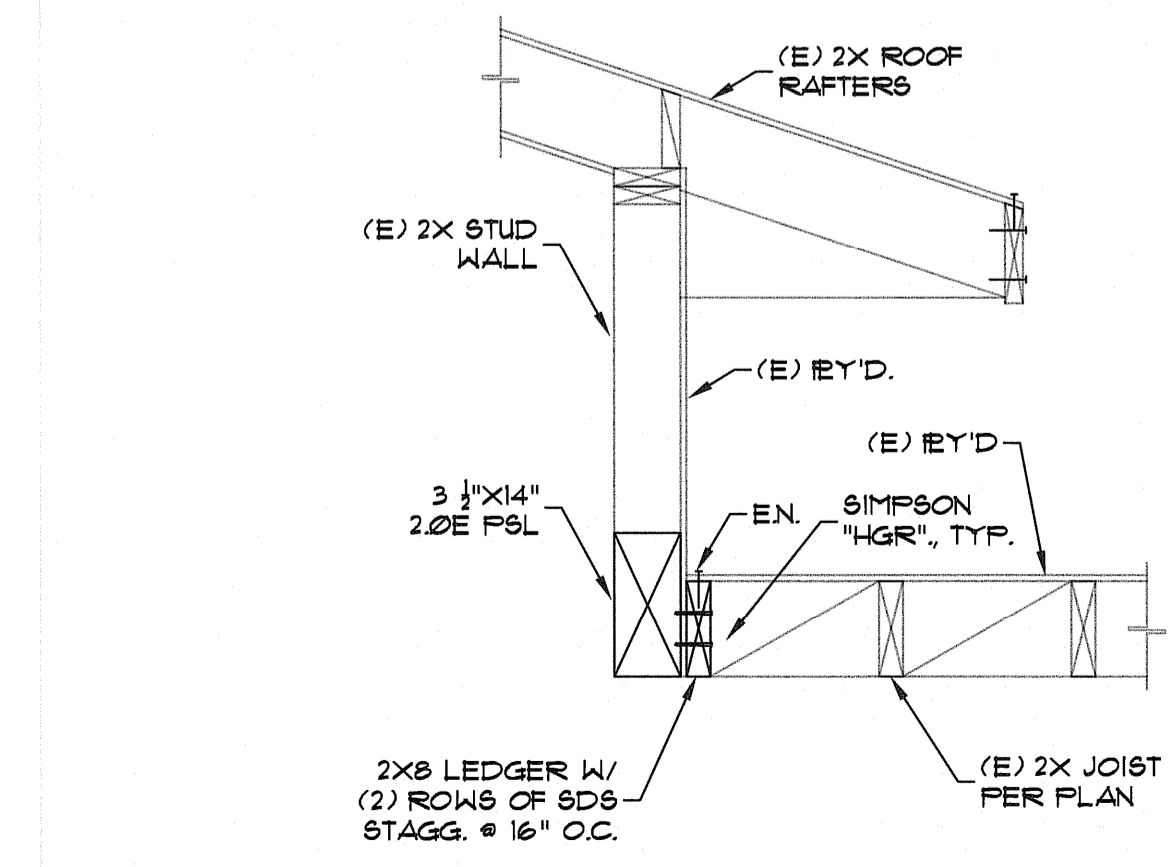


3 TYP. SECTION

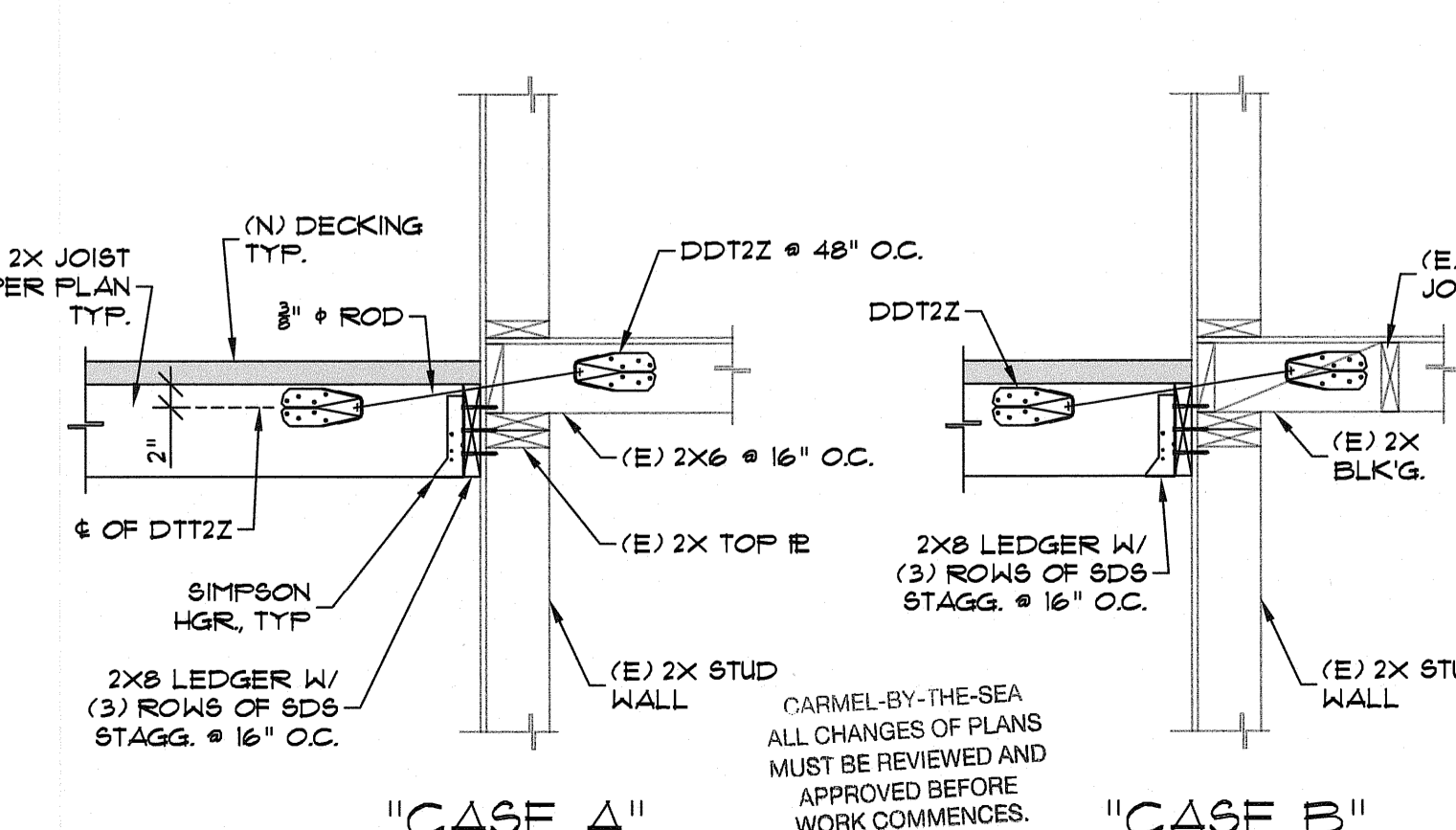
15 TYP. SECTION



12 TYP. SECTION



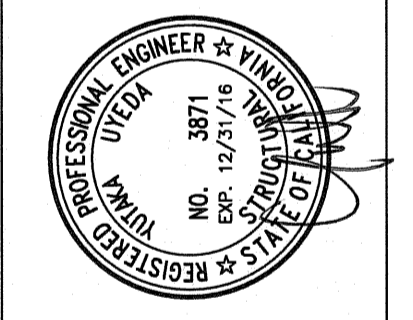
8 TYP. SECTION



4 TYP. SECTION

16 TYP. SECTION

UYEDA and ASSOCIATES
 structural engineers
 2800 GARDEN RD., SUITE 305
 MONTEREY, CALIFORNIA 93940
 (831) 372-3181 FAX (831) 372-3188



STRUCTURAL DETAILS & SECTIONS
ONE SAND & SEA
 1 SAND & SEA
 CARMEL-BY-THE-SEA, CA
 APN: 010-321-023

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL BIDDING AND SPECIFICATION. ANY REVISIONS, AMENDMENTS, OR ADDITIONS TO THESE DRAWINGS AND SPECIFICATIONS SHALL BE INDICATED BY A REVISION SYMBOL OR A NOTE. THE USER OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: 1 Sand and Sea Calculation Date/Time: 11:18, Tue, Sep 05, 2017
Calculation Description: Title 24 Analysis Input File Name: 17-464 1 Sand and Sea E+A+A.rbd16x Page 1 of 7

GENERAL INFORMATION			
01	Project Name	1 Sand and Sea	
02	Calculation Description	Title 24 Analysis	
03	Project Location	1 Sand and Sea	
04	City	05	Standards Version
06	Zip Code	07	Compliance Manager Version
08	Climate Zone	09	Software Version
10	Building Type	11	Front Orientation (deg/Cardinal)
12	Project Scope	13	Number of Dwelling Units
14	Total Cond. Floor Area (ft ²)	15	Number of Zones
16	Slab Area (ft ²)	17	Number of Stories
18	Addition Cond. Floor Area (ft ²)	19	Natural Gas Available
20	Addition Slab Area (ft ²)	21	Glazing Percentage (%)

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building DOES NOT require HERS Verification
03	This building incorporates one or more Special Features shown below

This compliance analysis is valid only for permit applications through October 24, 2017

ENERGY USE SUMMARY				
04	05	06	07	08
Energy Use (KTDW/yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	50.05	49.50	0.55	1.1%
Space Cooling	32.40	32.50	-0.10	-0.3%
IAQ Ventilation	0.00	0.00	0.00	0.0%
Water Heating	12.60	12.60	0.00	0.0%
Photovoltaic Offset	---	0.00	0.00	---
Compliance Energy Total	95.05	94.60	0.45	0.5%

REQUIRED SPECIAL FEATURES	
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.	
• Ducts in crawl space	

Registration Number: CA Building Energy Efficiency Standards - 2016 Residential Compliance
Registration Date/Time: Report Version - CF1R-07312017-695
HERS Provider: Report Generated at: 2017-09-05 11:19:19

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: 1 Sand and Sea Calculation Date/Time: 11:18, Tue, Sep 05, 2017
Calculation Description: Title 24 Analysis Input File Name: 17-464 1 Sand and Sea E+A+A.rbd16x Page 3 of 7

OPAQUE SURFACES									
01	02	03	04	05	06	07	08	09	10
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window & Door Area (ft ²)	Tilt (deg)	Status	Verified Existing Condition
FWall/E	Existing Bedroom Wing	R-11 Wall	90	Front	313.4	120	90	Existing	No
LWall/E	Existing Bedroom Wing	R-11 Wall	180	Left	168.8	74	90	Existing	No
BWall/E	Existing Bedroom Wing	R-11 Wall	270	Back	313.4	76	90	Existing	No
RWall/E	Existing Bedroom Wing	R-11 Wall	0	Right	328.8	48	90	Existing	No
Raised Floor/E	Existing Bedroom Wing	R-0 Floor Crawlspace			946			Existing	No
FWall2/E	Existing Living Area Wing	R-11 Wall	90	Front	349	81.5	90	Existing	No
LWall2/E	Existing Living Area Wing	R-11 Wall	180	Left	272.7	180	90	Existing	No
BWall2/E	Existing Living Area Wing	R-11 Wall	270	Back	342	239.5	90	Existing	No
RWall2/E	Existing Living Area Wing	R-11 Wall	0	Right	246.9	6	90	Existing	No
Raised Floor2/E	Existing Living Area Wing	R-0 Floor Crawlspace			680			Existing	No
Partition Floor/E	Existing Living Area Wing>>_Garage_	R-0 Floor No Crawlspace			393			Existing	No
FWall	Addition Only	R-15 Wall	90	Front	24	0	90	New	N/A
LWall	Addition Only	R-15 Wall	180	Left	113.4	72	90	New	N/A
BWall	Addition Only	R-15 Wall	270	Back	24	20	90	New	N/A
Partition Floor	Addition Only>>_Garage_	R-19 Floor No Crawlspace			43			New	N/A
FWall3/E	_Garage_	R-0 Wall	90	Front	196	0	90	Existing	No
LWall3/E	_Garage_	R-0 Wall	180	Left	240	0	90	Existing	No
BWall3/E	_Garage_	R-0 Wall	270	Back	196	0	90	Existing	No
RWall3/E	_Garage_	R-0 Wall	0	Right	240	0	90	Existing	No

Registration Number: CA Building Energy Efficiency Standards - 2016 Residential Compliance
Registration Date/Time: Report Version - CF1R-07312017-695
HERS Provider: Report Generated at: 2017-09-05 11:19:19

READ THIS FIRST

READ THIS FIRST (BUILDING DESIGNER, CONTRACTORS & BUILDING OFFICIAL)

The following values and systems are required for this project to meet the State Energy Code.

EXISTING INSULATION ASSUMPTIONS

R-11 ceiling insulation or higher
R-11 wall insulation or higher
R-0 floor insulation or higher

NEW INSULATION VALUES

R-38 ceiling insulation or higher
R-15 wall insulation or higher
R-19 floor insulation or higher

WINDOW PERFORMANCE

Average U value of existing windows = 0.99, SHGC=0.74 or lower
Average U value of new windows = 0.32, SHGC=0.32 or lower

EXISTING HVAC PERFORMANCE

(2) 80% eff. FAU or higher

No existing or planned AC

R-6 duct insulation

Ducts located in crawl space

EXISTING DHW PERFORMANCE

EF 0.60 water heater or higher

NO HERS INSPECTIONS REQUIRED ON THIS JOB

Due to the limitations of the State Energy Code Software, the CF-1R for this project shows HERS requirements related to an air conditioning system that does not exist and for a ventilation system that is not required. The building department should ignore that part of the CF-1R. Confirmation for this can be obtained from the CEC.

HERS INSPECTIONS REQUIRED

Besides the performance values listed above, the following HERS inspection items are required to meet the State Energy Code. HERS third party inspections are designed to insure proper installation and project efficiency. Failure to meet all of these requirements will likely delay and or make extremely difficult building department final approval. MEG recommends that the GC meet with the HERS inspector before breaking ground to review requirements.

Duct leakage test

Airflow and Fan Efficacy Testing

Indoor air quality inspection

Quality Insulation Inspection (QII)

Refrigerant Charge

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: 1 Sand and Sea Calculation Date/Time: 11:18, Tue, Sep 05, 2017
Calculation Description: Title 24 Analysis Input File Name: 17-464 1 Sand and Sea E+A+A.rbd16x Page 2 of 7

HERS FEATURE SUMMARY	
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building components tables below.	
Building-level Verifications:	
• --None--	
Cooling System Verifications:	
• --None--	
HVAC Distribution System Verifications:	
• --None--	
Domestic Hot Water System Verifications:	
• --None--	

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft ²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
1 Sand and Sea	2062	1	2	3	0	1

ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
Existing Bedroom Wing	Conditioned	Ex. FAU1	946	8.8	DHW Sys 1	n/a
Existing Living Area Wing	Conditioned	Ex. FAU 22	1073	9.85	DHW Sys 1	n/a
Addition Only	Conditioned	Ex. FAU 22	43	8	DHW Sys 1	n/a

Registration Number: CA Building Energy Efficiency Standards - 2016 Residential Compliance
Registration Date/Time: Report Version - CF1R-07312017-695
HERS Provider: Report Generated at: 2017-09-05 11:19:19

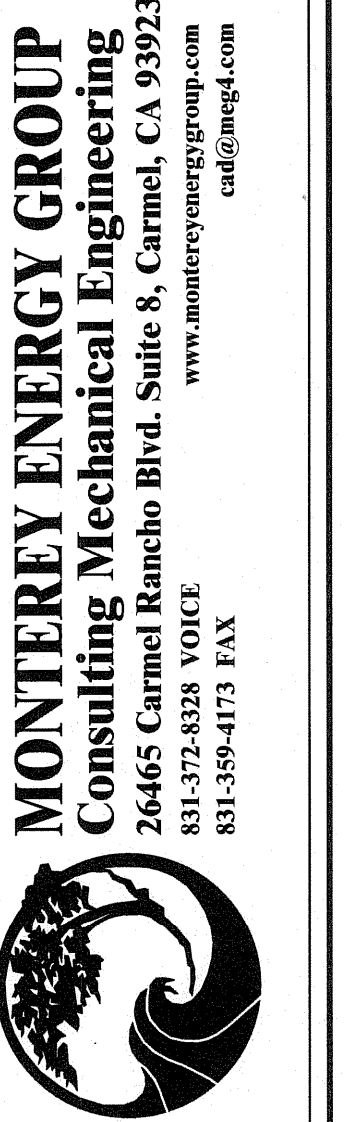
CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: 1 Sand and Sea Calculation Date/Time: 11:18, Tue, Sep 05, 2017
Calculation Description: Title 24 Analysis Input File Name: 17-464 1 Sand and Sea E+A+A.rbd16x Page 4 of 7

OPAQUE SURFACES - Cathedral Ceilings													
01	02	03	04	05	06	07	08	09	10	11	12	13	
Name	Zone	Type	Orientation	Area (ft ²)	Skylight Area (ft ²)	Roof Rise (x in 12)	Roof Pitch	Roof Tilt(deg)	Roof Reflectance	Roof Emissance	Frame Factor	Status	Verified Existing Condition
Roof/E	Existing Bedroom Wing	R-11 Roof	Right	946	4	0	0	0	0.1	0.85	0.1	Existing	No
Roof2/E	Existing Living Area Wing	R-11 Roof	Right	1073	9	0	0	0	0.1	0.85	0.1	Existing	No
Roof	Addition Only	R-38 Roof	Right	43	0	0	0	0	0.1	0.85	0.1	New	N/A
Roof3/E	_Garage_	R-0 Roof	Right	199	0	0	0	0	0.1	0.85	0.1	Existing	No

FENESTRATION / GLAZING										
01	02	03	04	05	06	07	08	09	10	11
Name	Surface (Orientation-Azimuth)	Width(ft)	Height (ft)	Multiplier	Area (ft ²)	U-factor	SHGC	Exterior Shading	Status	Verified Existing Condition
FG/E	FWall/E (Front-90)	---	---	1	120.0	0.99	0.74	Insect Screen (default)	Existing	No
LG/E	LWall/E (Left-180)	---	---	1	74.0	0.99	0.74	Insect Screen (default)	Existing	No
BG/E	BWall/E (Back-270)	---	---	1	76.0	0.99	0.74	Insect Screen (default)	Existing	No
RG/E	RWall/E (Right-0)	---	---	1	48.0	0.99	0.74	Insect Screen (default)	Existing	No
Skylight/E	Roof/E (Right-0)	---	---	1	4.0	1.47	0.76	None	Existing	No
FG2/E	FWall2/E (Front-90)	---	---	1	72.0	0.99	0.74	Insect Screen (default)	Existing	No
FG2/N	FWall2/E (Front-90)	---	---	1	9.5	0.32	0.32	Insect Screen (default)	New	N/A
LG2/E	LWall2/E (Left-180)	---	---	1	90.0	0.99	0.74	Insect Screen (default)	Existing	No
LG2/N	LWall2/E (Left-180)	---	---	1	90.0	0.32	0.32	Insect Screen (default)	New	N/A
BG2/E	BWall2/E (Back-270)	---	---	1	239.5	0.99	0.74	Insect Screen (default)	Existing	No
RG2/E	RWall2/E (Right-0)	---	---	1	6.0	0.99	0.74	Insect Screen (default)	Existing	No
Skylight2/E	Roof2/E (Right-0)	---	---	1	9.0	1.47	0.76	None	Existing	No
LG	LWall (Left-180)	---	---	1	72.0	0.32	0.32	Insect Screen (default)	New	N/A
BG	BWall (Back-270)	---	---	1	20.0	0.32	0.32	Insect Screen (default)	New	N/A

Registration Number: CA Building Energy Efficiency Standards - 2016 Residential Compliance
Registration Date/Time: Report Version - CF1R-07312017-695
HERS Provider: Report Generated at: 2017-09-05 11:19:19

REVISIONS: BY:



ONE SAND AND SEA
1 SAND AND SEA
CARMEL-BY-THE-SEA, CA. 93923

ENERGY COMPLIANCE

DATE: 9/05/17
SCALE: AS NOTED
DRAWN: MEG
CHECKED:
CHECKED:
FILE NAME:
SHEET: T-1
SHEET OF SHEETS

CARMEL-BY-THE-SEA
ALL CHANGES OF PLANS
MUST BE REVIEWED AND
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OPAQUE SURFACE CONSTRUCTIONS						
01	02	03	04	05	06	07
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Winter Design U-value	Assembly Layers
R-0 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	none	0.361	• Inside Finish: Gypsum Board • Cavity / Frame: no insul. / 2x4 • Exterior Finish: 3 Coat Stucco
R-0 Roof	Cathedral Ceilings	Wood Framed Ceiling	2x4 @ 16 in. O.C.	none	0.484	• Inside Finish: Gypsum Board • Cavity / Frame: no insul. / 2x4 • Roof Deck: Wood Siding/sheathing/decking • Roofing: Light Roof (Asphalt Shingle)
R-11 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	R 11	0.110	• Inside Finish: Gypsum Board • Cavity / Frame: R-11 / 2x4 • Exterior Finish: 3 Coat Stucco
R-0 Floor Crawlspace	Floors Over Crawlspace	Wood Framed Floor	2x12 @ 16 in. O.C.	none	0.216	• Floor Surface: Carpeted • Floor Deck: Wood Siding/sheathing/decking • Cavity / Frame: no insul. / 2x12
R-11 Roof	Cathedral Ceilings	Wood Framed Ceiling	2x4 @ 16 in. O.C.	R 11	0.088	• Inside Finish: Gypsum Board • Cavity / Frame: R-11 / 2x4 • Roof Deck: Wood Siding/sheathing/decking • Roofing: Light Roof (Asphalt Shingle)
R-0 Floor No Crawlspace	Interior Floors	Wood Framed Floor	2x12 @ 16 in. O.C.	none	0.196	• Floor Surface: Carpeted • Floor Deck: Wood Siding/sheathing/decking • Cavity / Frame: no insul. / 2x12 • Ceiling Below Finish: Gypsum Board
R-15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	R 15	0.095	• Inside Finish: Gypsum Board • Cavity / Frame: R-15 / 2x4 • Exterior Finish: 3 Coat Stucco
R-19 Floor No Crawlspace	Interior Floors	Wood Framed Floor	2x6 @ 16 in. O.C.	R 19	0.048	• Floor Surface: Carpeted • Floor Deck: Wood Siding/sheathing/decking • Cavity / Frame: R-19 / 2x6 • Ceiling Below Finish: Gypsum Board
R-38 Roof	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O.C.	R 38	0.030	• Inside Finish: Gypsum Board • Cavity / Frame: R-38 / 2x12 • Roof Deck: Wood Siding/sheathing/decking • Roofing: Light Roof (Asphalt Shingle)

BUILDING ENVELOPE - HERS VERIFICATION			
01	02	03	04
Quality Insulation Installation (QII)	Quality Installation of Spray Foam Insulation	Building Envelope Air Leakage	CFM50
Not Required	Not Required	Not Required	---

Registration Number: CA Building Energy Efficiency Standards - 2016 Residential Compliance Registration Date/Time: Report Version - CF1R-07312017-695 HERS Provider: Report Generated at: 2017-09-05 11:19:19

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
1. I certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name: David Knight	Documentation Author Signature: <i>David Knight</i>
Company:	Signature Date: 9/5/2017
Address: 26465 Carmel Ranch Blvd. #8	CEA/HERS Certification Identification (if applicable):
City/State/Zip: Carmel, CA 93923	Phone: (831) 372-8328
RESPONSIBLE PERSON'S DECLARATION STATEMENT	
I certify the following under penalty of perjury, under the laws of the State of California:	
1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.	
2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.	
3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.	
Responsible Designer Name: Braden A. Sterling	Responsible Designer Signature:
Company: Sterling + Huddleson	Date Signed:
Address: P.O. Box 221092	License:
City/State/Zip: Carmel, CA 93922	Phone: (805) 646-8654

Registration Number: CA Building Energy Efficiency Standards - 2016 Residential Compliance Registration Date/Time: Report Version - CF1R-07312017-695 HERS Provider: Report Generated at: 2017-09-05 11:19:19

WATER HEATING SYSTEMS										
01	02	03	04	05	06	07	08			
Name	System Type	Distribution Type	Water Heater	Number of Heaters	Solar Fraction (%)	Status	Verified Existing Condition			
DHW Sys 1	DHW	Standard	DHW Heater 1	1	Annual	Existing	No			

WATER HEATERS										
01	02	03	04	05	06	07	08	09	10	11
Name	Heater Element Type	Tank Type	Number of Units	Tank Volume (gal)	Energy Factor or Efficiency	Input Rating/Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss / Recovery Eff	NEEA Heat Pump Type	Tank Location or Ambient Condition
DHW Heater 1	Gas	Small Storage	1	50	0.6 EF	40000 Btu/hr	n/a	n/a	n/a	n/a

SPACE CONDITIONING SYSTEMS										
01	02	03		04		05	06	07	08	09
Name	System Type	Name	Ducted	Name	Ducted	Distribution System	Fan System	Floor Area Served	Status	Verified Existing Condition
Ex. FAU1	Other Heating and Cooling System	Heating Component 1	Yes	Cooling Component 1	No	Air Distribution System 1	HVAC Fan 1	946	Existing	No
Ex. FAU 22	Other Heating and Cooling System	Heating Component 2	Yes	Cooling Component 2	No	Air Distribution System 2	HVAC Fan 2	1116	Existing	No

HVAC - DISTRIBUTION SYSTEMS										
01	02	03	04	05	06	07	08	09	10	
Name	Type	Duct Leakage	Insulation R-value	Supply Duct Location	Return Duct Location	Bypass Duct	Status	Verified Existing Condition	HERS Verification	
Air Distribution System 1	Ducts located in a crawl space	Existing (not specified)	6.0	Crawl Space	Crawl Space	None	Existing	No	N/A	
Air Distribution System 2	Ducts located in a crawl space	Existing (not specified)	6.0	Crawl Space	Crawl Space	None	Existing	No	N/A	

IAQ (Indoor Air Quality) FANS				
01	02	03	04	05
Name	IAQ CFM	IAQ Fan Type	IAQ Recovery Effectiveness(%)	HERS Verification
SFan IAQVentRpt	0	Default	0	Not Required

Registration Number: CA Building Energy Efficiency Standards - 2016 Residential Compliance Registration Date/Time: Report Version - CF1R-07312017-695 HERS Provider: Report Generated at: 2017-09-05 11:19:19

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ONE SAND AND SEA
 1 SAND AND SEA
 CARMEL-BY-THE-SEA, CA, 93923

ENERGY COMPLIANCE

DATE: 9/05/17
 SCALE: AS NOTED
 DRAWN: MEG
 CHECKED:
 FILE NAME:
 SHEET: T-2
 SHEET OF SHEETS

CARMEL-BY-THE-SEA
 ALL CHANGES OF PLANS
 MUST BE REVIEWED AND
 APPROVED BEFORE
 WORK COMMENCES.

2016 Low-Rise Residential Mandatory Measures Summary. NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. Exceptions may apply. (Original 08/2016)

2016 Low-Rise Residential Mandatory Measures Summary. Clearances. Installed air conditioner and heat pump outdoor condensing units must have a clearance of at least 5 feet from the outlet of any dryer vent.

2016 Low-Rise Residential Mandatory Measures Summary. Duct System Sealing and Leakage Test. Space conditioning systems that use forced air ducts to supply conditioned air to an occupiable space must have a hole for the placement of a static pressure probe (SSPP), or a permanently installed static pressure probe (PSP) in the supply plenum.

2016 Low-Rise Residential Mandatory Measures Summary. Interior Switches and Controls. In bedrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by a vacancy sensor.

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ONE SAND AND SEA AND SEA CARMEL-BY-THE-SEA, CA 95923 2016 LOW-RISE RESIDENTIAL MANDATORY MEASURES SUMMARY DATE: 9/05/17 SCALE: AS NOTED DRAWN: MEG CHECKED: FILE NAME: SHEET: T-3 SHEET OF SHEETS