

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 20334

Owner Name: 1 SAND AND SEA PARTNERS LLC

Case Planner: Marnie R. Waffle, AICP, Senior Planner

Date Posted:

Date Approved: 12/11/2020

Project Location: 1 Sand & Sea, San Antonio

APN #: 010321023000 BLOCK/LOT: SS/1

Applicant: Ron Brown

Project Description: Approval of Design Study application (DS 20-334, 1 Sand & Sea) authorizes minor modifications to Design Study applications (DS 17-184, 18-339 and 19-151) including, 1) removal of the outdoor gas fire pit and stone surround and replacing the stone with a continuation of the existing glass railing; 2) removal of the stone wall/curb along the driveway easement just south of the deck and the installation of landscaping along the south side of the deck; 3) changing the dry stack stone veneer wainscot to an over-grout stone veneer wainscot; 4) revisions to the front entry steps including the addition of a railing; 5) revisions to the raised concrete planters at the front entry to improve access; 6) new exterior light fixtures; 7) new safety railing on top of the concrete wall along San Antonio; 8) new fence and two gates on the north side of the residence; and, 9) new landscaping throughout the site. The project is located at the southwest corner of San Antonio & 4th within the Sand & Sea development, also referred to as Sand & Sea Lot 1, and is zoned R-1 Single Family Residential. All project construction shall be performed in accordance with the project plans prepared by Ron Brown, Architect stamped approved and on-file at the Community Planning & Building Department, unless modified by the conditions of approval.

Can this project be appealed to the Coastal Commission? Yes \Box No \checkmark

Upon completion of the 10 calendar-day appeal period, please return this form, along with the *Affidavit of Posting, to the case planner noted above.*

Conditions of Approval DS 20-334 (1 Sand & Sea) December 11, 2020 Page 1 of 3

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	CONDITIONS OF APPROVAL			
No.	Standard Conditions			
1.	Authorization. Approval of Design Study application (DS 20-334, 1 Sand & Sea) authorizes minor modifications to Design Study applications (DS 17-184, 18-339 and 19-151) including, 1) removal of the outdoor gas fire pit and stone surround and replacing the stone with a continuation of the existing glass railing; 2) removal of the stone wall/curb along the driveway easement just south of the deck and the installation of landscaping along the south side of the deck; 3) changing the dry stack stone veneer wainscot to an over-grout stone veneer wainscot; 4) revisions to the front entry steps including the addition of a railing; 5) revisions to the raised concrete planters at the front entry to improve access; 6) new exterior light fixtures; 7) new safety railing on top of the concrete wall along San Antonio; 8) new fence and two gates on the north side of the residence; and, 9) new landscaping throughout the site. The project is located at the southwest corner of San Antonio & 4 th within the Sand & Sea development, also referred to as Sand & Sea Lot 1, and is zoned R-1 Single Family Residential. All project construction shall be performed in accordance with the project plans prepared by Ron Brown, Architect stamped approved and on-file at the Community Planning & Building Department, unless modified by the conditions of approval contained herein.			
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓		
3.	Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	1		
4.	Landscape Plan. All new landscaping shall be shown on a landscape plan and shall be submitted to the Community Planning & Building Department and to the City Forester <u>prior to the issuance of a building permit</u> . The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on-site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓ 		
5.	Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓		

6.	Modifications. The applicant shall submit in writing to the Community Planning &	\checkmark
	Building Director any proposed changes to the approved project plans prior to	
	incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in	
	writing and cease all work on the project until either the Planning Commission or	
	staff has approved the change; or b) eliminate the change and submit the	
	proposed change in writing for review. The project will be reviewed for its	
	compliance to the approved plans prior to final inspection.	
7.	Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent	\checkmark
	equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above	
	the ground. Landscape lighting shall not exceed 18 inches above the ground nor	
	more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and	
	shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used	
	for tree, wall, fence or accent lighting of any type. The purpose of landscape	
	lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications,	
	including illumination information, for each exterior light fixture shall be included	
	in the construction drawings submitted with the building permit application.	
8.	Stone Facades (including chimneys). Stone facades shall be installed in a broken	\checkmark
	course/random or similar masonry pattern. Setting the stones vertically on their	
	face in a cobweb pattern shall not be permitted. All stonework shall be wrapped	
	around building corners and terminated at an inside corner or a logical stopping	
	point that provides a finished appearance. Termination of stonework shall be	
	subject to review and approval by the Community Planning & Building Director or	
	his/her designee. The masonry patter shall be clearly identified in the construction	
9.	drawings submitted with the building permit application. Indemnification. The applicant agrees, at his or her sole expense, to defend,	
Э.	indemnify, and hold harmless the City, its public officials, officers, employees, and	V
	assigns, from any liability; and shall reimburse the City for any expense incurred,	
	resulting from, or in connection with any project approvals. This includes any	
	appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul	
	any project approval. The City shall promptly notify the applicant of any legal	
	proceeding, and shall cooperate fully in the defense. The City may, at its sole	
	discretion, participate in any such legal action, but participation shall not relieve	
	the applicant of any obligation under this condition. Should any party bring any	
	legal action in connection with this project, the Superior Court of the County of	
	Monterey, California, shall be the situs and have jurisdiction for the resolution of	
10.	all such actions by the parties hereto. Cultural Resources. All new construction involving excavation shall immediately	
10.	cease if cultural resources are discovered on the site, and the applicant shall notify	V
	the Community Planning & Building Department within 24 hours. Work shall not	
	be permitted to recommence until such resources are properly evaluated for	
	significance by a qualified archaeologist. If the resources are determined to be	

	significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	
11.	USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	√
12.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	~

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Once signed, please return to the Community Planning & Building Department.

PROJECT ABBREVIATIONS

ANW	AWNING	MAX MIN
BLD'G BLK BM BOT	BUILDING BLOCK, BLOCKING, BLOCKS BEAM, BEAMS BOTTOM	(N) N/C
CEIL'G CJ CL'G	CEILING CEILING JOIST CEILING	PL PW PLY\
CLR CLST CMU CONC CONT CSMT CTR	CLEAR CLOSET CONCRETE MASONRY UNITS CONCRETE CONTINUOUS CASEMENT CENTER	RCP REF REIN RF REQ REQ RFT RR
DBL DIFF DR DS	DOUBLE DIFFERENCE DOOR (S) DOWNSPOUT	RS o/ o/c
FIN FLR	FINISH FLOOR	SEC SF
EA ELEC ELEV EQ EXTER (E)	EACH ELECTRICAL ELEVATION (S) EQUAL EXTERIOR EXISTING	SHT SIM SIN SLD SQ SPE
FAU FLR FJ	FORCED AIR UNIT FLOOR FLOOR JOIST	ST'L SS STRI
FLR JST FOOT'G FR FT FT'G	FLOOR JOIST FOOTING FRENCH FOOT or FEET FOOTING	TBD THK TP TRD TYP
GB GRD	GYPSUM BOARD GRADE	U.N.(
INTER	GYPSUM BOARD	VER
HGT HRD HOZ HTR	HEIGHT HARD HORIZONTAL HEATER	W/o WD WHT WINI WNE WTR
JST	JOIST	
MFG	MANUFACTURER	۲Ľ

MAXIMUM MINIMUM NEW NO CHANGE PLATE PLYWOOD YWD PLYWOOD REFLECTED CEILING PLAN REFERENCE REINFORCEMENT ROOF REQUIRED Q'D OM'T REQUIREMENT RAFTER **ROOF RAFTER** RISER OVER ON CENTER CT SECTION SQUARE FEET SHEET SHEATHING SIMILAR SINGLE SLIDER SQUARE SPECIFICATION EC STEEL STAINLESS STEEL RUCT STRUCTURAL TO BE DECIDED (NS) THICK (THICKNESS) TOP PLATE TREAD **TYPICAL** I.O. UNLESS NOTED OTHERWISE VERTICAL RT WITH WITHOUT WOOD WEIGHT WINDOW WINDOW WATER CENTER LINE PROPERTY LINE PLUS or MINUS DEGREE (S) Ø DIAMETER

FLOORING, INTERIOR DOORS AND PLUMBING FIXTURES THROUGHOUT.

DESCRIPTION OF USE:

TYPE OF CONSTRUCTION:

STORIES:

ZONING:

HEIGHT LIMIT:

TREES:

PARKING:

GRADING:

WATER PROVIDER:

SEWER PROVIDER:

PROJECT NOTES

CONSULTANT LIST

ARCHITECTURE:

MECHANICAL

LEAF

LIGHT

MECH

LT

STERLING + HUDDLESON P.O. BOX 221092 CARMEL, CA 93922 831.624.4363

STRUCTURAL ENGINEER: UYEDA & ASSOCIATES 2600 GARDEN ROAD STE 305 MONTEREY, CA. 93940 PH. 831.373.3181

MECHANICAL ENGINEERING:

MONTEREY ENERGY GROUP 26465 CARMEL RANCHO BLVD #8 Carmel, California 93923 TEL: 831 372-8328 FAX: 831 372-4613

ARCHAEOLOGICAL NOTE

THIS PROPERTY IS LOCATED WITHIN AN AREA OF ARCHAEOLOGICAL SENSITIVITY. IF ANY HUMAN REMAINS ARE FOUND AT ANY TIME DURING CONSTRUCTION, WORK SHALL STOP AND THE APPLICANT SHALL IMMEDIATELY NOTIFY THE MONTEREY COUNTY CORONER IN COMPLIANCE WITH APPLICABLE STATE REQUIREMENTS.

ENERGY CODE (CENC). 2. CONSTRUCTION WASTE MANAGEMENT: RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING CODE. CHAPTER 4, DIVISION 4.4.

3. PRIOR TO BUILDING PERMIT FINAL APPROVAL. TREE PROTECTION AND VEGETATION MANAGEMENT SHALL BE REVIEWED AND APPROVED BY THE CITY FORESTER.

DEFFERED SUBMITTALS:

1. PLUMBING SYSTEM PLANS, SPECIFICATION, AND CALCULATIONS 2. MECHANICAL SYSTEM PLANS, SPECIFICATION, AND CALCULATIONS 3. ELECTRICAL SYSTEM PLANS, SPECIFICATION, AND CALCULATIONS

STATEMENT OF SPECIAL INSPECTION

1. HERS INSPECTION REQUIRED 2. SPECIAL INSPECTION REQUIRED FOR EPOXY SET REBAR $^{/3}$

ONE SAND & SEA 1 SAND & SEA, CARMEL-BY-THE-SEA, CA A.P.N. 010-321-023

PROJECT DESCRIPTION

INTERIOR KITCHEN REMODEL TO (E) 2,019 S.F. SINGLE FAMILY RESIDENCE WITH 138 S.F. DINING AREA EXTENSION. NEW ADDITION OF 138 S.F DECK/STAIR WITH GLASS RAILING. REPLACE (E) CEDAR ROOF SHAKES WITH (N) CEDAR ROOF SHINGLES ADDITION OF CARMEL STONE AT LOWER EXTERIOR WALL, AND RE-PAVING OF EXISTING 377 S.F. OF DRIVEWAY WITH NEW PERMEABLE PAVERS. INTERIOR REMODEL OF (2) BATHROOMS, NEW PLUMBING FIXTURES, CABINETS, FLOORING & PAINT, ALL ELECTRICALS AND PLUMBING LOCATIONS TO REMAIN. ADDITION OF (N) 3RD BATHROOM. NEW

PROJECT DATA

OWNER:

ONE SAND & SEA PARTNERS, LLC 3466 TREVIS WAY CARMEL, CA 93923

SITE ADDRESS: ONE SAND & SEA CARMEL-BY-THE-SEA, CA

ZONING DATA

R-1		

SINGLE FAMILY RESIDENTIAL

TYPE V-N

2

EXISTING TO REMAIN

NO REMOVAL

2 REQUIRED 2 PROVIDED

CUT: 0, FILL: 0

CAL-AM

CAWD

1. THIS PROJECT SHALL COMPLY WITH TITLE 24 AND 2016 CALIFORNIA RESIDENTIAL CODE (CRC), 2016 CALIFORNIA MECHANICAL CODE (CMC), 2016 CALIFORNIA PLUMBING CODE (CPC), 2016 CALIFORNIA ELECTRICAL CODE (CEC) CALIFORNIA

Carmel Sunset Beac

Coastal Trail Carmel Beach

SQUARE FOOTAGE ANALYSIS

LOT SIZE = 6836 SC	Q. FT.			
FLOOR AREA TABULA	TION:			
 (E) RESIDENCE: (E) GARAGE: (E) GARAGE BELOW (N) RESIDENCE ADDI TOTAL FLOOR AREA: 			2,019 S.F. 2 573 S.F. (WAS 6 (48 S.F.) 2 138 S.F. (WAS 4 2,682 S.F.	
 SITE COVERAGE TABL	JLAHON:			
SITE ELEMENT	IMPERM.	AREA	PERM. AREA	
(E) DECKS / STAIRS (N) DECK ADDITION	240	S.F.	(466 S.F.) 2	
(E) DRIVEWAY	(377)S.F.		
(N) DRIVEWAY STRIPS	•	•	48 S.F.	
(N) DRIVEWAY APRON			108 S.F.	
 SUBTOTAL	706	S.F.	156 S.F.	
 TOTAL SITE COVERAGE	862	S.F.) 2		
ALLOWABLE BLDG SIT LOT SIZE: BASE FLOOR AREA : ALLOWABLE SITE COV		AGE: 6,836 S.F. 2,687 S.F 865 S.F	VIEWED FOR COD JOB CO Date: 12/10/18PERMIT#: 17	

VICINITY MAP

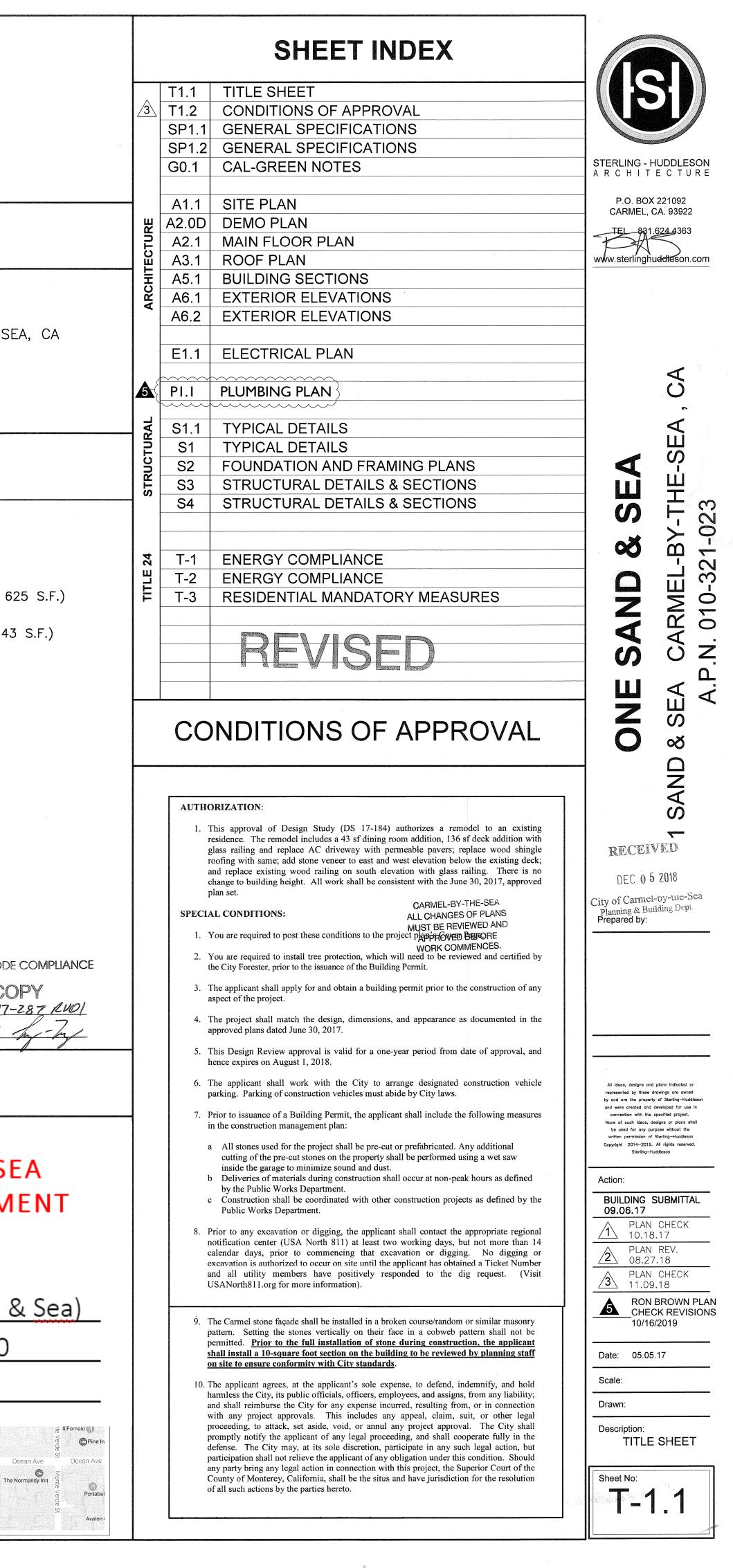
CARMEL-BY-THE-SEA PLANNING DEPARTMENT APPROVED

Permit #: DS 20-334 (1 Sand & Sea) Date Approved: 12/11/2020 Planner: M. Waffle

Ocean Ave Ocean Ave

Google

Ocean Ave



Track 1 Planning Approval
DS 19-151 (1 Sand & Sea, LLC)
June 24, 2019
Page 1 of 4
AUTHORIZATION:
This approval of Design Study (DS 19-151) authorizes modifications to Design Study (DS 18-339). The modifications are stated below. Any modification not changed by this approval remains valid under Design Study (DS 17-184 and DS 18-339).
 Replace approved board & batten siding with stucco to be painted Benjamin Moore 'Vintage Taupe', or similar.
2) Replace approved board & batten siding on chimney with Carmel stone.

- 3) Replaced approved unclad wood windows with aluminum windows to be painted Benjamin Moore 'Blue Note', or similar.
- 4) Add Carmel stone veneer on west and south elevations below the deck.
- 5) Add new interior bench in the entry hallway.
- 6) Reconfigure south/west facing deck.

CONDITIONS OF APPROVAL:

- 1. **Codes and Ordinances.** The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
- 2. **Permit Validity.** This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.
- 3. **Tree Removal.** Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.
- 4. **Significant Trees.** All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.

AUTHORIZATION:

- 1) A 138-square-foot addition (in-lieu of the previously approved 43-square-foot addition) on the south elevation at the dining room;
- 2) Expansion of the existing deck on the south elevation and extension of the deck along the west elevation for a total of 466 square feet; and,
- 3) Reduction in site coverage at the driveway on San Antonio from 377 square feet to 156 square feet.

CONDITIONS OF APPROVAL:

- 1. Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
- 2. Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.
- 3. **Tree Removal.** Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.
- 4. Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.

- 5. Water Use. Approval of this application does not permit an increase in water use on the by the Planning Commission.
- for its compliance to the approved plans prior to final inspection.
- submitted with the building permit application.
- 9. **Stone Facades (including chimneys).** Stone facades shall be installed in a broken application.

- by the Planning Commission.
- for its compliance to the approved plans prior to final inspection.
- submitted with the building permit application.
- application.
- construction drawings submitted with the building permit application.

- 11. **Driveway.** The driveway material may extend beyond the property line into the public rightof-way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. The driveway material and asphalt connection shall be clearly identified on the construction drawings submitted with the building permit application. If a driveway is proposed to be sand set a dimensioned construction detail showing the base material shall be included in the construction drawings.
- 12. **Cultural Resources.** All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.
- 13. USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)
- 14. **Conditions of Approval.** All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.

SPECIAL CONDITIONS:

- 15. **Construction Management Plan.** Prior to issuance of the Building Permit to construct the improvements approved under this Design Study, the applicant shall submit a Construction Management Plan. The following specific measures shall be addressed in the plan:
 - a. Identify the location of designated construction vehicle parking.

- 11. Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.
- 12. **Driveway.** The driveway material may extend beyond the property line into the public rightof-way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. The driveway material and asphalt connection shall be clearly identified on the construction drawings submitted with the building permit application. If a driveway is proposed to be sand set a dimensioned construction detail showing the base material shall be included in the construction drawings.
- 13. **Cultural Resources.** All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.
- 14. USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)
- 15. Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.

Planning Approval	Track 1 Planning Approval	Track 1 Planning Approval	Track 1 Planning Approval	
51 (1 Sand & Sea, LLC) , 2019	DS 19-151 (1 Sand & Sea, LLC) June 24, 2019	DS 19-151 (1 Sand & Sea, LLC) June 24, 2019	DS 19-151 (1 Sand & Sea, LLC) June 24, 2019	
of 4	Page 2 of 4	Page 3 of 4	Page 4 of 4	
DRIZATION:	5. Water Use. Approval of this application does not permit an increase in water use on the	not relieve the applicant of any obligation under this condition. Should any party bring any	b. All stones used for the project shall be pre-cut or prefabricated. Any additional	
proval of Design Study (DS 10, 151) authorizes modifications to Design Study (DS 19, 220)	project site without adequate supply. Should the Monterey Peninsula Water Management	legal action in connection with this project, the Superior Court of the County of Monterey,	cutting of the stones on the project site shall be performed using a wet saw inside	
oproval of Design Study (DS 19-151) authorizes modifications to Design Study (DS 18-339). odifications are stated below. Any modification not changed by this approval remains valid	District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption	California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	the garage to minimize sound and dust. c. Deliveries of materials during construction shall occur at non-peak hours as defined	STERLING
Design Study (DS 17-184 and DS 18-339).	by the Planning Commission.	11. Driveway. The driveway material may extend beyond the property line into the public right-	by the Public Works Director or his/her designee. d. Construction shall be coordinated with other construction projects as defined by the	AXRCH
Replace approved board & batten siding with stucco to be painted Benjamin Moore 'Vintage	6. Modifications. The applicant shall submit in writing to the Community Planning and Building	of-way as needed to connect to the paved street edge. A minimal asphalt connection at the	Public Works Director or his/her designee.	P.O.
Taupe', or similar. Replace approved board & batten siding on chimney with Carmel stone.	staff any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be	street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. The	16. Inspection of Stone Veneer. The Carmel stone façade shall be installed in a broken	
Replaced approved unclad wood windows with aluminum windows to be painted Benjamin	required to either: a) submit the change in writing and cease all work on the project until	driveway material and asphalt connection shall be clearly identified on the construction	course/random or similar masonry pattern. Prior to the full installation of stone during	TEL
Moore 'Blue Note', or similar. Add Carmel stone veneer on west and south elevations below the deck.	either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed	drawings submitted with the building permit application. If a driveway is proposed to be sand set a dimensioned construction detail showing the base material shall be included in	construction, the applicant shall install a 10-square-foot section on the building to be reviewed by Planning staff on-site to ensure conformity with City standards.	www.sterl
Add new interior bench in the entry hallway.	for its compliance to the approved plans prior to final inspection.	the construction drawings.		3
Reconfigure south/west facing deck.	7. Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent	12. Cultural Resources. All new construction involving excavation shall immediately cease if	 Driveway Strips. Prior to installation, the applicant shall submit, for review and approval by Planning staff, a sample of the 12-inch wide driving strips. 	
ject construction shall be performed in accordance with the project plans dated received by	equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the	cultural resources are discovered on the site, and the applicant shall notified the		
y of Carmel-by-the-Sea on June 24, 2019, stamped approved and on file in the Community ng & Building Department, unless modified by the conditions of approval contained herein.	ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground. All fixtures shall	Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified	 Outdoor Fire Pit. The outdoor pit may be fueled by gas or propane but shall not be wood burning. 	
	be shielded and down facing. The manufacturer's specifications, including illumination	archaeologist. If the resources are determined to be significant, prior to resumption of		
ITIONS OF APPROVAL:	information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.	work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if	 Glass Deck Railing. The new glass deck railing shall have an anti-reflective/anti-glare coating on the exterior side of the glass. 	
Codes and Ordinances. The project shall be constructed in conformance with all		human remains are unearthed during excavation, no further disturbance shall occur until		
requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to	 Skylights. All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that 	the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	20. Permeable Decking. Prior to issuance of a building permit the applicant shall demonstrate that the deck boards are sufficiently spaced to qualify as semi-permeable.	
be changed, or if any other changes are requested at the time such plans are submitted,	matches the roof color, or shall paint the skylight flashing to match the roof color. Skylight			
such changes may require additional environmental review and subsequent approval by the Planning Commission.	shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness. The manufacturer's specifications for the skylights and skylight shades shall be	13. USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not	*Acknowledgement and acceptance of conditions of approval.	
	included in the construction drawings submitted with the building permit application.	more than 14 calendar days, prior to commencing that excavation or digging. No digging or		
Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed	9. Stone Facades (including chimneys). Stone facades shall be installed in a broken	excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit		
construction.	course/random or similar masonry pattern. Setting the stones vertically on their face in a	USANorth811.org for more information)	Property Owner Signature Printed Name Date	
Tree Removal. Trees on the site shall only be removed upon the approval of the City	cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a	14. Conditions of Approval. All conditions of approval for the Planning permit(s) shall be		
Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be	finished appearance. Termination of stonework shall be subject to review and approval by	printed on a full-size sheet and included with the construction plan set submitted to the	Once signed, please return to the Community Planning & Building Department.	
protected during construction by methods approved by the City Forester.	the Community Planning & Building Director or his/her designee. The masonry patter shall be clearly identified in the construction drawings submitted with the building permit	Building Safety Division.		
Significant Trees. All foundations within 15 feet of significant trees shall be excavated by	application.	SPECIAL CONDITIONS:		
hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the	10. Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and	15. Construction Management Plan. Prior to issuance of the Building Permit to construct the	CENSED ARCHITE	
roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2")	hold harmless the City, its public officials, officers, employees, and assigns, from any	improvements approved under this Design Study, the applicant shall submit a Construction	REVISION NOTES BROWN	
in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all	liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal	Management Plan. The following specific measures shall be addressed in the plan:	1. ALL DRAWINGS REVISIONS NOTED WITH A (C-27886)	
work stopped until an investigation by the City Forester has been completed. Twelve inches	proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly	a. Identify the location of designated construction vehicle parking.	BLACK FILLED TRIANGLES ARE MADE BY RON	
(12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall			
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Stone Facades shall be installed in a broken cours	 D5 18-39 (1 Sand & Sea, LLC) October 12, 2018 Page 3 of 4 11. Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reinburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Montercy, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto. 12. Driveway. The driveway material may extend beyond the property line into the public right- of-way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintapplication. If a driveway is proposed to be sand set a dimensioned construction detail showing the base material shall be included in the construction drawings. 13. Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director	<form></form>	All ideas, represented by and are and were di None of st bs used written pr Copyright Action Date Scall
 139 (1 Sanda Sea, LLC) r 12, 2013 of 4 ORIZATION: pproval of Design Study (DS 18-339) authorizes modifications to Design Study (DS 17-184). oddifications are stated below. Any modification not changed by this approval remains valid Design Study (DS 17-184). A 138-square-foot addition (in-lieu of the previously approved 43-square-foot addition) on the south elevation at the dining room; Expansion of the existing deck on the south elevation and extension of the deck along the west elevation for a total of 466 square feet; and, Reduction in site coverage at the driveway on San Antonio from 377 square feet to 156 square feet. object construction shall be performed in accordance with the project plans dated received by ity of Carmel-by-the-Sea on September 17, 2018, stamped approved and on file in the unity Planning & Building Department, unless modified by the conditions of approval ine dherein. ITIONS OF APPROVAL: Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission. Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction. Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester. Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tere roots la	 D5 18-39 (1 Sand & Sea, LLC) October 12, 2018 Page 2 of 4 S. Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission. Modifications. The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing and in spection. 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SPECIFICATIONS

DIVISION 1 - GENERAL REQUIREMENTS

1.1	THE WO	RK TO BE DONE BY EACH CONTRACTOR INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, SERVICES, AND	2.3	DI
		ENT NECESSARY FOR THE CONSTRUCTION AND COMPLETION OF THIS PROJECT, INCLUDING SITEWORK. ALL WORK MED AND MATERIALS SUPPLIED SHALL COMPLY WITH THE FOLLOWING:	2.4	IN SC
	1.1.1 1.1.2 1.1.3	THESE NOTES AND DRAWINGS. ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, AND REGULATIONS LISTED IN THESE DOCUMENTS. WORKMANSHIP SHALL MEET NORMAL PROFESSIONAL STANDARDS OF THE TRADE AND SHALL MEET THE ARCHITECT'S AND	2.5	AL IN
	1.1.4	OWNER'S SATISFACTION WITHIN THE STANDARDS NORMALLY PROVIDED BY VARIOUS TRADES. INSTALLATION OF EQUIPMENT AND MATERIAL SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR APPLICABLE ASSOCIATION STANDARDS.	2.6	RE Of RE
	1.1.5	ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED, AND SHALL BE EQUAL TO OR SUPERIOR TO THOSE ITEMS SPECIFIED IF A SUBSTITUTION IS APPROVED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL.	2.7	E> FC TC
1.2	INSPECT CONFOR OF THE EQUIPMI ALL UNI	RIFICATION – EACH CONTRACTOR AND SUB-CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND MAKE ALL TONS NECESSARY IN ORDER TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED TO MAKE THE COMPLETED WORK IN TO THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE NATURE AND LOCATION WORK, CONDITIONS, THE CONFORMATION AND CONDITION OF THE EXISTING GROUND SURFACE AND THE CHARACTER OF ENT AND FACILITIES NEEDED PRIOR TO AND DURING PROSECUTION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR USUAL CONDITIONS ENCOUNTERED ON THE SITE DURING THE COURSE OF CONSTRUCTION EXCEPT THOSE BELOW EXISTING OR GRADE OF WHICH THE CONTRACTOR MAY NOT HAVE KNOWLEDGE. ALL SUCH EXISTING CONDITIONS SHALL BE	2.8 2.9 2.10	IN BC 18 Pf M/ FI
	DISCREF	DRATED INTO THE CONTRACTOR'S BID PROPOSAL, WHETHER SHOWN ON THE DRAWINGS OR NOT. ANY INACCURACIES OR PANCIES BETWEEN THE ACTUAL FIELD CONDITIONS AND THE DRAWINGS AND SPECIFICATIONS MUST BE BROUGHT TO THE ON OF THE OWNER AND ARCHITECT IN ORDER TO CLARIFY THE EXACT NATURE OF THE WORK PERFORMED.	2.11	C
1.3	CONSTR	UCTION DOCUMENTS	DIVISIO	
	1.3.1	THESE DRAWINGS ARE INTENDED AS A GUIDE ONLY FOR CONSTRUCTION. DEVIATIONS FROM THE DRAWINGS MUST BE	3.1	F
	1.3.2	APPROVED BY THE ARCHITECT. THE CONTRACTOR IS FULLY RESPONSIBLE FOR OBSERVATION OF CONSTRUCTION AND PROPER EXECUTION OF WORK SHOWN ON THE DRAWINGS, AS WELL AS FOR PERFORMANCE OF WORK ON THIS PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR METHODS USED, SAFETY ON, IN, OR ABOUT THE JOB SITE, OR FOR TIMELINESS OF PERFORMANCE OF CONSTRUCTION WORK.	3.2 3.3	CC TH LC
	1.3.3	THE CONTRACTOR IS RESPONSIBLE FOR THE ACCURACY OF ALL MATERIAL TAKE-OFFS FROM THESE DOCUMENTS. HE MUST VERIFY DIMENSIONS OF ALL EXISTING OR BUILT-IN ITEMS.	3.4	N IN
	1.3.4	THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DEVIATION FROM OR INTERPRETATION OF CONSTRUCTION DOCUMENTS MADE	DIVISIC)NI
	1.3.5	BY THE CONTRACTOR WITHOUT OBTAINING WRITTEN DIRECTION FROM THE ARCHITECT FIRST. THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNTIL THEY ARE REVIEWED BY A QUALIFIED PLAN CHECK EXAMINER AND STAMPED "APPROVED" BY THE BUILDING DEPARTMENT AND A BUILDING PERMIT IS ISSUED.	4.1	FC
1.4		NTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING LINES AND LEVELS. THE CONTRACTOR SHALL RE CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR LOCATION AND	4.2	WH MA
		UCTION OF THE WORK AND SHALL CALL THE ARCHITECT'S ATTENTION TO ANY DISCREPANCIES BEFORE PROCEEDING WITH	4.3	MA
1.5		ADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY	4.4	FII
		IT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER TRADES.	4.5	W
1.6	EAVES /	ID REPAIR WORK IN THIS PROJECT WHICH ENCOMPASSES SIMILAR ITEMS IN EXISTING WORK SUCH AS STUCCO, DRYWALL, AND FASCIA, TRIM, GUTTERS AND DOWNSPOUTS, ELECTRICAL SWITCHING AND RECEPTACLE PLATES, AND OTHER ITEMS, MATCH EXISTING MATERIAL, INSTALLATION, FINISH, AND COLOR UNLESS OTHERWISE NOTED.	DIVISIC	DN FC
1.7	THEIR V	ADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY VORK. AT THE COMPLETION OF THE WORK THEY SHALL REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING, AND SURPLUS IL AND LEAVE THE JOB IN A BROOM CLEAN CONDITION. CONTRACTOR SHALL PERFORM FINAL CLEAN UP.	5.2	AL AS
1.8	DISRUP	NTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK WITH THE APPROVAL OF THE OWNER AND WITH MINIMUM TION. THE OWNER SHALL BE CONSULTED BEFORE ANY BUILDING SERVICES ARE TEMPORARILY CUT OFF. TEMPORARILY JTE ANY UTILITIES REQUIRED BY THE OWNER FOR CONTINUOUS SERVICE.	5.3	AL SN AL WE
1.9		NTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO ADEQUATELY PROTECT PERSONS, EXISTING	E 4	\sim
1.0	CONSTR PERIOD,	UCTION, AND ADJACENT PROPERTY, AND TO ENSURE THE SAFETY OF THE STRUCTURE THROUGHOUT THE CONSTRUCTION INCLUDING ANY SHORING DESIGN DRAWINGS WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL PROVIDE, AT HIS OWN E, ERECTION BRACING AND DRAWINGS REQUIRED BY LAW, OSHA, OR FOR GENERAL SAFE CONSTRUCTION PRACTICES.	5.4 DIVISIO	FL IN
1.10		CHITECT RESERVES THE RIGHT TO HAVE ANY WORK NOT DONE CORRECTLY AS PER DRAWINGS, SPECIFICATIONS, CONTRACT, OTHER MEANS OF COMMUNICATION CORRECTED AT NO ADDITIONAL COST TO OWNER.	6.1	FF
1.11	THE CO	NTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENSES, FEES, PERMITS, TAXES AS REQUIRED BY LAW FOR	6.2	DI
		RATION OF THE PROJECT. SITEWORK	6.3	VE
2.1	THE CC	ONTRACTOR SHALL MAINTAIN A VALID DIG ALERT/811 TICKET AVAILABLE ON SITE FOR INSPECTION THROUGHOUT THE PROJECT ACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR PROTECTION OF EXISTING UTILITIES	6.4	AL DC SH
2.2	DEMOLI	ΓΙΟΝ	6.5	~~ Pf
	2.2.1	REMOVE ALL PORTIONS OF BUILDING, EQUIPMENT, PAVING, FOUNDATIONS, ETC. AS SHOWN OR AS REQUIRED TO COMPLETE THE WORK.	6.6	PF
	2.2.2 2.2.3	DISCONNECT ALL UTILITY LINES FROM ALL EQUIPMENT, FIXTURES, AND APPLIANCES TO BE REMOVED. REMOVE ALL ABANDONED ABOVE OR BELOW GROUND UTILITY LINES, PIPE, CABLE, WIRE, CONDUIT, DUCTS, ETC. TO AS CLOSE	6.7	AL
	2.2.3	TO THE SOURCE AS POSSIBLE. ALL ABANDONED ELECTRICAL CABLE AND WIRES SHALL BE REMOVED FROM CONDUITS IF CONDUITS MUST REMAIN IN PLACE. REMOVE ALL ELECTRICAL OUTLETS AND SWITCHES AS REQUIRED TO COMPLETE THE WORK.	6.8	CC FL DE
	2.2.5	REMOVE ALL DEBRIS FROM THE SITE AND LEGALLY DISPOSE UNLESS OTHERWISE NOTED.	6.9	BL
	2.2.6 2.2.7	PROTECT ADJACENT PROPERTY AND STRUCTURES FROM DAMAGE DURING THE PROGRESS OF THE WORK. PROVIDE CONTROL OF DUST AS REQUIRED.	6.10	R
	2.2.8	PROVIDE PROTECTION FOR THE PORTION OF THE STRUCTURE EXPOSED DURING CONSTRUCTION FROM DAMAGE FROM THE ELEMENTS.	6.10.1 6.10.2	
	2.2.9	COORDINATE WITH OWNER ANY ITEMS THEY MAY WISH TO RETAIN.	0.10.2	(

6.10.3

6.10.4

DIRECT SURFACE DRAINAGE AWAY FROM THE STRUCTURE (1% MINIMUM).	6.10.5	PROVIDE WOOD BLOCK
N THE EVENT UNSUITABLE SOIL IS ENCOUNTERED AT THE REQUIRED DEPTH, THE ARCHITECT AND GEOLOGIST SHALL BE NOTIFIED SO THAT THEY MAY DETERMINE HOW TO PROVIDE PROPER BEARING FOR THE STRUCTURE.	6.10.6 6.10.7	WHERE WOOD IS EXPO WHERE A PARTITION O SPACED AND BRIDGED
ALL STUMPS AND ROOTS ARE TO BE REMOVED FROM THE SOIL TO A DEPTH OF AT LEAST 12" BELOW THE SURFACE OF THE GROUND N THE AREA TO BE OCCUPIED BY THE BUILDING OR PROPOSED STRUCTURE.	6.10.8	FIREBLOCK ALL SPACE WHERE HEAT OR EXH
REFER TO SOILS REPORT, IF REQUIRED, FOR ALL BEARING CAPACITIES AND SPECIFIC REQUIREMENTS. IN THE ABSENCE OF OF THE SOILS REPORT, VERIFY WITH THE ARCHITECT AND ENGINEER AND/OR LOCAL BUILDING AUTHORITY/INSPECTORS REGARDING SPECIFIC EARTHWORK CONSTRAINTS AND REQUIREMENTS.		ALL BOLTS AND LAG TIGHTENED WHEN INS ⁻ NO STRUCTURAL MEM
XCAVATIONS FOR FOOTINGS SHALL BE MADE TO THE WIDTH, LENGTH, AND DEPTH REQUIRED. FINISH WITH LEVEL BOTTOMS. ALL OUNDATIONS TO EXTEND TO UNDISTURBED SOIL. EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER. ALL CRAWL SPACES		FINISH CARPENTRY
O BE MINIMUM 18" CLEAR.		6.11.1 ADJUST FRAMI EXTERIOR FINIS
N THE BUILDING AREA, SOFT SPONGY OR POROUS MATERIALS SHALL BE REMOVED TO A DEPTH OF THREE FEET BELOW THE BOTTOM OF THE FOOTING AND RECOMPACTED. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CARRIED TO A DEPTH OF AT LEAST 8" BELOW THE TOP OF THE LOWEST EXISTING ADJACENT GRADE (24" IN AREAS WITH EXPANSIVE SOIL).		6.11.2 FURNISH AND 6.11.3 ALL JOINTS SH COPED WITH N
PROTECT ALL TREES AND LANDSCAPING NOT TO BE REMOVED, AN INSPECTION AND APPROVAL OF TREE PROTECTION AND VEGETATION MANAGEMENT BY THE CITY FORESTER IS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT. TILL MATERIALS SHALL BE FREE FROM DEBRIS, VEGETABLE MATTER, AND OTHER FOREIGN SUBSTANCES.		6.11.4 ALL WORK SHA BE USED WHE 6.11.5 ALIGN ALL PIE
BACKFILLING FOR TRENCHES SHALL BE COMPACTED TO 90 PERCENT DENSITY. BACKFILL FOR PIPE TRENCHES SHALL BE COMPACTED ON BOTH SIDES OF PIPE IN SIX INCH LAYERS.		CABINETS 6.12.1 ALL CABINETS
3 – CONCRETE		6.12.2 ALL JOINTS TO AND SCREWS
OR STRUCTURAL CONCRETE DESIGN AND CONSTRUCTION REQUIREMENTS SEE STRUCTURAL PLANS.		6.12.3 USE CONCEAL
CONCRETE FLATWORK SHALL BE TRUE TO WITHIN 1/8 INCH IN TEN FEET IN ALL DIRECTIONS, OR SLOPED TO DRAIN AS INDICATED ON THE DRAWINGS ALLOWING NO PUDDLING TO OCCUR IN THE DIRECTION OF FLOW.		6.12.4 SHELVES TO E VENEER AND E6.12.5 PROVIDE VENT
OCATION OF CONSTRUCTION JOINTS SHALL BE REVIEWED BY THE ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO POURING IF NOT SPECIFICALLY SHOWN ON THE DRAWINGS.		AND OTHER E ADVANCE OF F 6.12.6 ALL CABINET [
NTERIOR AND GARAGE SLABS: STEEL TROWEL FINISH; SLOPE TO DRAIN WHERE INDICATED ON DRAWINGS.		DISTANCE TO
4 – MASONRY		PROVIDE STIFF 6.12.7 DRAWERS ARE
OR STRUCTURAL DESIGN AND CONSTRUCTION REQUIREMENTS FOR CONCRETE MASONRY UNITS SEE STRUCTURAL PLANS.		USE FULL EXT
HEN INCORPORATED INTO THE DESIGN OF THE PROJECT, FURNISH AND INSTALL ALL MASONRY WORK COMPLETE, INCLUDING		6.12.8 FURNISH AND 6.12.9 NOTIFY ARCHIT
ASONRY VENEER AND MASONRY REINFORCING AND WATERPROOFING. ASONRY VENEER SHALL COMPLY WITH CBC CHAPTER 21. FIREPLACES SHALL CONFORM TO CHAPTER 21 OF CBC.		00000000000000000000000000000000000000
	6.13	FOR CERAMIC TILE INS
ILL ALL CONCRETE MASONRY UNITS WITH SOLID GROUT.		BOARD OR PINE FACED BOARD AND MORTAR B
VORK SHALL BE PLUMB, LEVEL, AND TRUE TO LINE.		BOARD AND MORTAR B
5 – METALS	DIVISIO	N 7 - THERMAL AND
OR STRUCTURAL DESIGN, FABRICATION, AND CONSTRUCTION REQUIREMENTS FOR STRUCTURAL STEEL SEE STRUCTURAL PLANS.	7.1	FLASHING
LL STRUCTURAL STEEL DELIVERED ON SITE SHALL BE PRIMED WITH TWO COATS OF THE APPROPRIATE PRIMER. IF EXPOSED, PAINT		7.1.1 SHEET METAL
S DIRECTED.		CONTRACTORS
LL WELDS SHALL COMPLY WITH THE SPECIFICATIONS OF THE "AMERICAN WELDING SOCIETY". ALL WELDS SHALL BE GROUND MOOTH AND ALL WELDING SPLATTER SHALL BE REMOVED. ALL EXPOSED WELDS ARE TO BE CONTINUOS WELDS. ILL ON-SITE WELDING SHALL BE SUBJECT TO SPECIAL INSPECTION IN ACCORDANCE WITH CBC CH. 17 AND ALL OFF-SITE		7.1.2 INSTALL ROOFCONTINUOUS S7.1.3 FLASHING AND7.1.4 FLASH ALL RC
······································		7.1.5 ALL WORK TO PIECES SHALL
URNISH ALL METAL SUPPORTS, ANGLES, PLATES, ATTACHMENTS, BOLTS, GATES, RAILINGS, WELDING, SHOP PRIMING AND INCLUDE NSTALLATION AS REQUIRED TO COMPLETE THE WORK.		7.1.6LOCKSEAMS7.1.7PROVIDECONT
6 - WOOD AND PLASTIC		7.1.8 IN FLASHING A LOADING, TEMI
RAMING SHALL BE DONE IN A WORKMANLIKE MANNER BY SKILLED MECHANICS IN ACCORDANCE WITH APPLICABLE BUILDING CODES.		7.1.9FLASHING SHA7.1.10ALL GALVANIZE
DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.	7.2	INSULATION
ERIFY ALL BUILT-IN EQUIPMENT DIMENSIONS PRIOR TO FABRICATION.		7.2.1 INSULATION S
LL LUMBER IN CONTACT WITH CONCRETE OR MASONRY AND WITHIN 18" OF GRADE TO BE PRESSURE TREATED WEST COAST		7.2.2 A CERTIFICATE
OUGLAS FIR OR FOUNDATION GRADE REDWOOD. ALL FASTENERS IN CONTACT WITH PRESSURE-PRESERVATIVE TREATED WOOD		INSULATION C 7.2.3 PROVIDE A 4
SHALL BE HOT-DIPPED GALVANIZED, STAINLESS STEEL, COPPER, OR SILICON BRONZE		7.2.4 ALL CAVITIES,
PROVIDE DOUBLE TRIMMERS EACH SIDE OF OPENINGS 6'-0" WIDE OR GREATER AT BEARING WALLS.		ENERGY REQU 7.2.5 SOUND INSUL
PROVIDE FIRE STOPPING IN STUD SPACES AT ALL FLOOR AND CEILING LEVELS AND STUD SPACES OVER TEN FEET.		7.2.6 ALL EXTERIOR
LL BEAM, JOISTS, AND RAFTERS SHALL BE INSTALLED WITH THE CROWN SIDE UP.	7.3	PROVIDE DOUBLE BEA
CONTRACTOR SHALL PROVIDE SAFE AND ADEQUATE TEMPORARY ERECTION BRACING ON ALL BEAMS, WALLS, ETC. TO PROVIDE TULL STRUCTURAL STABILITY. BRACING SHALL NOT BE REMOVED UNTIL THE ELEMENT SUPPORTED IS CAPABLE OF SUPPORTING ITS DESIGN LOADING.		ELECTRICAL PENETRAT 7.4 APPLY ROOFING THROUGH WATE
BLOCK ALL EDGES OF PLYWOOD FLOOR SHEATHING.		
FOR STRUCTURAL DESIGN REQUIREMENTS OF ROUGH CARPENTRY, SEE STRUCTURAL PLANS. ALL FRAMING LUMBER SHALL BE GRADE MARKED AND CONFIRM WITH THE STANDARD GRADING AND DRESSING RULES (NO.16) OF THE WEST COAST LUMBER INSPECTION BUREAU, DOUGLAS FIR/LARCH. GRADE FRAMING MEMBER AS FOLLOWS		
UNLESS OTHERWISE NOTED: VERTICAL MEMBERS: NO.2		
POSTS: NO.1 HORIZONTAL FRAMING 2× JOISTS: NO.2		
4x BEAMS OR LARGER: NO. 1		
PLYWOOD SHALL BE STRUCTURAL II AS COVERED IN USDC PS-1; CDX; EXTERIOR GLUE, OR EQUAL, UNLESS OTHERWISE NOTED. FACE GRAIN TO RUN PERPENDICULAR TO SUPPORTS WITH EDGES STAGGERED. PROVIDE ONE PLY CLIP BETWEEN FACES AND SHEATER, TOTEL PAPERER OEBERS, YOWERS BARS, WHEN BOUND BROWNER, AND DRAPERY RODS. FRAMING CONTRACTOR TO PROVIDE BACKING FOR WALL AND CEILING MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO		



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CARMEL, CA. 93922

CKING AT ALL HOT MOPPED CURBS, CANT STRIPS, FIXTURES, LIGHTS, BUILT-IN CABINETS, SHELVES, ETC. POSED VERTICAL GRAIN APPEARANCE GRADE OR BETTER IS TO BE USED. CONTAINING HEATING OR OTHER SYSTEMS RUNS PARALLEL TO FLOOR JOISTS PROVIDE DOUBLE JOISTS

D TO PERMIT PASSAGE OF SUCH SYSTEMS. CES GREATER THAN TEN FEET AND AT DRYWALL JOINTS. DRAFT STOP ALL FLOOR CONSTRUCTION HAUST DUCTS PASS THROUGH AS PER APPLICABLE CODE.

SCREWS SHALL HAVE WASHERS UNDER HEADS AND NUTS. ALL NUTS AND SCREWS SHALL BE

TALLED AND RETIGHTENED BEFORE COVERING. IBER SHALL BE CUT OR DRILLED THROUGH WITHOUT PRIOR REVIEW BY THE STRUCTURAL ENGINEER.

ING FURR-OUTS AND SHEAR WALLS AS REQUIRED TO MAINTAIN A FLAT AND FLUSH SURFACE FOR INTERIOR OR ISHES.

INSTALL ALL FINISH CARPENTRY COMPLETE INCLUDING TRIM, DOOR FRAMES, PANELING, WEATHERSTRIPPING. SHALL BE TIGHT AND TRUE AND SECURELY FASTENED. CORNERS SHALL BE NEATLY METERED, BUFFED, OR NAILS SET AND SURFACES FREE OF TOOL MARKS.

HALL BE MACHINED OR HAND SANDED, SHARP EDGES AND SPLINTERS REMOVED. FULL LENGTH BOARDS SHALL ENEVER APPLICABLE OR NOTED.

ECES AND GRAIN WHEN INSTALLING FINISH LUMBER, UNLESS OTHERWISE SHOWN.

SHALL MEET THE REQUIREMENTS OF THE ARCHITECTURAL WOODWORKING INSTITUTE. O BE TIGHT AND TRUE AND SECURELY FASTENED. CORNERS SHALL BE BUTTED, COPED, OR METERED, NAILS

SET AND SURFACES FREE OF TOOL MARKS. LED FASTENERS, UNLESS OTHERWISE SHOWN.

BE 1x, UNLESS OTHERWISE NOTED. SHELVES WIDER THAN 12" SHALL BE 3/4" PLYWOOD WITH MATCHING EDGE BAND LET INTO CASE ENDS.

TS AND HOLES FOR WIRING CONNECTIONS FOR ALL SHOE, ENTERTAINMENT CENTERS, FREEZER, REFRIGERATOR, EQUIPMENT IN BUILT-IN CABINETS. COORDINATE SIZE, LOCATION, AND OPERATION OF ALL APPLIANCES IN FABRICATION. PROVIDE ACCESS FOR APPLIANCE SERVICE AND REPLACEMENT WITHOUT DAMAGING CABINETS. DOORS UP TO FIVE FEET IN HEIGHT TO BE 3/4" HARDWOOD, 1 1/8" THICK IF TALLER. MAXIMUM HINGING BE 36". ADJUST DOOR FACES TO BE FLUSH. DOORS ARE TO CLOSE STRAIGHT AND FLUSH.

FENERS AS REQUIRED FOR OVERSIZED DOORS.

E TO BE 18" DEEP UNLESS OTHERWISE NOTED. FRONTS TO BE 3/4" HARDWOOD. (TENSION DRAWER ROLLERS. DRAWER HANDLES AS SELECTED BY ARCHITECT.

) INSTALL MAGNETIC CATCHES.

ITECT OF ANY CHANGES REQUIRED DUE TO OPERATION OF BUILT-IN APPLIANCE, DIMENSION DISCREPANCY, RATIONS, ETC.

P DRAWINGS FOR ALL CABINET WORK TO BE DONE TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.

STALLATIONS ON COUNTERTOPS, INSTALL ALL CERAMIC TILE ON ONE INCH MORTAR BED ON SOLID PARTICLE D PLYWOOD WITH EXTERIOR WATERPROOF GLUE. PROVIDE WATERPROOF MEMBRANE BETWEEN PARTICLE BED. ADJUST MORTAR TO BE LEVEL AND TRUE UNLESS SLOPING IS NECESSARY FOR DRAINING PURPOSES.

MOISTURE PROTECTION

– SHEET METAL WORK SHALL CONFORM TO PUBLISHED STANDARDS OF SHEET METAL AND AIR CONDITIONING 5 NATIONAL ASSOCIATION, INC.:

FING AND WALL FLASHING PER MANUFACTURER'S RECOMMENDATIONS CAREFULLY ESTABLISHING A

SEAL WITH SCUPPERS, JACKS, DRAINS, ETC. ID COUNTER FLASHING IS REQUIRED AT ROOF/WALL JUNCTIONS, AND AT ALL EXTERIOR OPENINGS.

ROOF PENETRATIONS TO PROVIDE WATERPROOF CONDITIONS.

) BE ACCURATELY FABRICATED TO DETAIL AND FITTED TO JOB CONDITIONS FOLDED AND BREAK FORWARD L BE FINISHED TRUE AND STRAIGHT, WITH WARP LINES AND ANGLES.

FLAT AND TRUE, 1/2" WIDE SWEATED FULL WITH SOLDER.

ITINUOUS 6" HIGH FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL JOINTS.

AND WATERPROOFING PROVIDE FOR DIFFERENTIAL MOVEMENT OF MATERIALS DUE TO WIND, SEISMIC, IPERATURE, AND SHRINKAGE.

HALL BE 26 GAUGE G.I. MINIMUM UNLESS OTHERWISE NOTED.

ED METAL TO BE PRIMED AND PAINTED.

SHALL COMPLY WITH THE REQUIREMENTS FOR ENERGY INSULATION STANDARDS OF APPLICABLE CODES. TE OF COMPLIANCE FOR INSULATION REQUIREMENTS, WHEN REQUIRED BY CODE, SHALL BE SIGNED BY CONTRACTOR AND GENERAL CONTRACTOR AND PROMINENTLY POSTED AT SITE AS REQUIRED. 4 MIL. CONTINUOUS VAPOR BARRIER ON WARM SIDE OF ALL HEATED INSULATED SPACES. 5, ATTICS, AND SPACES MADE ACCESSIBLE DURING REMODEL WORK SHALL BE INSULATED TO MEET CODE

UIREMENTS. LATION AT ALL FLOORS, CEILINGS, AND INTERIOR WALLS.

R WALL INSULATIONS REQUIREMENTS PER ENERGY CALCULATIONS.

AD CAULKING AT SOLEPLATES, JOINTS AROUND WINDOW AND DOOR FRAMES, AND PLUMBING AND TIONS IN EXTERIOR WALLS.

G IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND APPLICABLE CODES. DO NOT NAIL ERPROOF MEMBRANE FOR FURRING STRIPS, DO NOT PUNCTURE WATERPROOF MEMBRANE IN ANY WAY. All ideos, designs and plans indicated or represented by these drawings are owned by and are the property of Sterling-Huddleson

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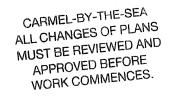
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BUILDING SUBMITTAL 09.06.17
3 PLAN CHECK 11.09.18
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DIVISION 8 - DOORS AND WINDOWS GLAZING SHALL CONFORM TO STANDARDS OF GLAZING MANUAL OF FLAT GLASS JOBBERS ASSOCIATION, AND AS RECOMMENDED BY MANUFACTURER. PROVIDE SAFETY GLAZING AS REQUIRED. SAFETY GLASS MUST BE LABELED. DO NOT CUT SAFETY GLASS. WEATHERSTRIP ALL WINDOWS AND EXTERIOR DOORS. FLASH AND CAULK PERIMETER OF ALL EXTERIOR OPENINGS. EXTERIOR DOORS: PER SCHEDULE. PROVIDE THREE HINGES FOR ALL SOLID CORE DOORS AND DOORS CARRYING MIRRORS. INTERIOR DOORS: PER SCHEDULE. PROVIDE TWO HINGE SLAB DOORS. PAINTED DOORS TO HAVE HARDBOARD FACES. PROVIDE 1/2" CLEAR TO FLOOR FOR RETURN AIR UNLESS A RETURN AIR DUCT OR BYPASS DUCT IS PROVIDED IN A ROOM OR IF DOORS ARE ACOUSTIC DOORS. PROVIDE DOOR VENT SIZED AS REQUIRED FOR FAU AND WATER HEATER CLOSETS. LOCATE VENTS 12" FROM FLOOR AND 12" FROM HEAD. ALL DOORS TO HAVE WATERPROOF GLUE. VERIFY ALL DOOR SELECTIONS, HARDWARE, COLORS, AND FINISHES WITH THE ARCHITECT PRIOR TO PURCHASING OR HANGING. VERIFY HARDWARE COMPATIBILITY WITH DOORS SELECTED PRIOR TO PURCHASE. CONTRACTOR IS TO PRIME ALL EXTERIOR DOORS WITHHIN 24 HOURS OF INSTALLATION EVEN IF CONTRACTOR IS NOT

DIVISION 9 - FINISHES DRYWALL

SECURITY

THE JAMB.

HANDLING THE CONTRACT FOR PAINTING.

NON-REMOVABLE HINGE PINS.

9.1.1 FURNISH AND INSTALL ALL GYPSUM WALLBOARD, TRIM, AND SURFACING PAINT READY.

8.11.5 WINDOW AND DOOR LIGHTS WITHIN 18" OF THE GROUND ARE TO BE FULLY TEMPERED.

ALUMINUM THRESHOLDS AT EXTERIOR CONDITIONS TO HAVE INTEGRAL WEATHERSTRIPPING.

9.1.2 DRYWALL SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS OF THE DRYWALL INFORMATION TRUST FUND.

8.11.1 DOOR STOPS OF ALL IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBET TO

8.11.2 ALL PIN-TYPE HINGES WHICH ARE ACCESSIBLE FROM OUTSIDE THE SECURED AREA WHEN THE DOOR IS CLOSED SHALL HAVE

8.11.3 THE STRIKE PLATE FOR LATCHES AND THE HOLDING DEVICE FOR PROJECTING DEADBOLTS IN WOOD CONSTRUCTION SHALL

BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NOT LESS THAN 2 1/2" IN LENGTH.

PROVIDE ALUMINUM THRESHOLD AND SELF-CLOSING DEVICE AT ALL DOORS LEADING FROM GARAGE TO A LIVING SPACE.

8.11.4 STRAIGHT DEADBOLTS SHALL HAVE A MINIMUM THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8".

- 9.1.3 GYPSUM WALLBOARD BY U.S. GYPSUM OR APPROVED EQUAL TO BE 5/8" THICK UNLESS OTHERWISE NOTED. 9.1.4 NAILING SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OR THESE DRAWINGS, WHICHEVER IS STRICTEST, AND
- INSPECTED PRIOR TO TAPING.
- 9.1.5 BATHS, KITCHEN, SAUNA, HOT TUB ROOMS, SHOWERS, LAUNDRIES, AND OTHER DAMP ENVIRONMENTS ARE TO HAVE WATERPROOF DRYWALL (TYPE "X" GREENBOARD). CEILINGS TO HAVE TYPE "X", BUT NOT GREENBOARD.
- 9.1.6 CASE ALL CORNERS, OPENINGS, ENDS, AND EXPOSED EDGES, WITH GALVANIZED TRIM. TRIM SHALL BE TIGHT TO WALL, PLUMB, LEVEL AND TRUE TO PLAN SECURELY ATTACHED.
- 9.1.7 TAPE AND COMPOUND ALL JOINTS WITH MATERIALS RECOMMENDED BY MANUFACTURER. FINISH ALL JOINTS SMOOTH AND TRUE, SANDED, AND READY FOR PAINTING. CONCEAL ALL EXPOSED NAILS WITH SANDED JOINT COMPOUND. AT ANGLED SITUATIONS SUCH AS HIPS, VALLEYS, AND RIDGES, BEVEL EDGES OF DRYWALL TO ACHIEVE A CLEAN CRISP LINE AT THE JOINT.
- 9.1.8 FOR RENOVATION AND ADDITION WORK, TEXTURE TO MATCH EXISTING INTERIOR PLASTER, UNLESS OTHERWISE NOTED.

9.1.9 PROTECT ALL EXPOSED WOOD BEAMS, POSTS, CERAMIC, METALS, ETC. FROM DRYWALL AND COMPOUND STAIN.

STUCCO

- 9.2.1 FURNISH AND INSTALL ALL PLASTERING WORK COMPLETE INCLUDING GROUNDS, DRIPS, SCREEDS, CASING BEADS AT ALL
- EDGES, OPENINGS, PENETRATIONS, AND CORNER BEADS AT ALL CORNERS.
- 9.2.2 PROVIDE A THREE COAT CEMENT PLASTER APPLICATION OVER PAPER BACKED METAL LATH (7/8" THICKNESS TOTAL). APPLY PER MANUFACTURER'S RECOMMENDATIONS AND/OR AS FOLLOWS:
 - 9.2.2.1 FIRST (SCRATCH) COAT FULLY EMBEDDED 3/8". KEEP MOIST FOR TWO DAYS.
 - 9.2.2.2 SECOND (BROWN) COAT SCREEN TRUE 3/8". DO NOT APPLY SOONER THAN 48 HOURS AFTER INSTALLATION OF SCRATCH COAT. DAMPEN, BUT DO NOT SATURATE THE SCRATCH COAT. KEEP BROWN COAT MOIST FOR TWO DAYS. 9.2.2.3 FINISH COAT WITH INTEGRAL COLOR (IF APPLICIABLE) 1/8". DO NOT APPLY FINISH COAT SOONER THAN SEVEN DAYS
- AFTER THE INSTALLATION OF BROWN COAT. 9.2.3 FOR RENOVATION AND ADDITION WORK. TEXTURE TO MATCH EXISTING BUILDING FINISH UNLESS OTHERWISE NOTED.

9.2.4 PROTECT ADJACENT PROPERTIES, FINISHES, AND VEGETATION FROM OVERSPRAY AND SPLATTERING.

RESILIENT FLOORING

- 9.3.1 ALL INSTALLATION TO BE BY SKILLED APPLICATORS PER MANUFACTURER'S DIRECTIONS.
- 9.3.2 PRIOR TO INSTALLATION, UNDERFLOOR TO BE CLEAN, LEVEL, DRY, DUST FREE, AND ALL NAILS SET.
- 9.3.3 USE WATERPROOF ADHESIVE PER MANUFACTURER'S SPECIFICATIONS.

CARPET

- 9.4.1 FURNISH AND INSTALL CARPET AND PADDING SELECTED BY ARCHITECT.
- 9.4.2 LAY CARPET SECURELY ANCHORED FREE OF WRINKLES AND STRESS LINES.
- 9.4.3 PROVIDE REDUCER STRIP AT LINE OF MATERIAL CHANGE BETWEEN CARPET AND OTHER FINISHES. COLOR TO BE APPROVED BY ARCHITECT
- 9.4.4 FLOOR TO BE FREE OF ANY DEBRIS OR DIRT PRIOR TO LAYING CARPET.

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- 9.4.5 PROTECT CARPET FROM DAMAGE BY SUBSEQUENT TRADES.
- PAINTING AND FINISHING
- 9.5.1 ALL MATERIALS SHALL BE DELIVERED TO THE SITE IN SEALED ORIGINAL MANUFACTURER'S CONTAINERS.
- 9.5.2 COLORS AS NOTED ON PLANS OR AS SELECTED BY ARCHITECT. ANY SUBSTITUTIONS MUST BE APPROVED BY THE ARCHITECT. 9.5.3 SURFACE PREPARATION: ALL SURFACES TO BE DRY, CLEAN, SMOOTH, AND IN SUITABLE CONDITION FOR FINISH SPECIFIED. REMOVE ALL OIL, GREASE, BOND BREAKING AGENTS, DUST, MILL SCALE, AND EFFLORESCENCE.
- 9.5.4 CRACKS, HOLES, AND KNOTS, SHALL BE FILLED, SANDED SMOOTH AND SEALED. WOOD SURFACES EXCEPT RESAWN WOOD SHALL BE SANDED PERFECTLY SMOOTH AND SANDING DUST SHALL BE REMOVED PRIOR TO PAINTING
- 9.5.5 HARDWARE SHALL BE MASKED OR REMOVED PRIOR TO PAINTING. TRIM AND OTHER FINISH WORK SHALL BE BACK PAINTED PRIOR TO INSTALLATION.
- 9.5.6 EACH COAT OF PAINT SHALL BE UNIFORMLY APPLIED, WELL BRUSHED OUT AND FREE OF RUNS, SAGS, SKIPS, BRUSH MARKS AND THICKNESS VARIATIONS
- 9.5.7 ALL PAINT FINISHES SHALL BE CUT SHARPLY TO LINE. PROTECT ALL ADJACENT SURFACES. UNLESS OTHERWISE SPECIFIED, PAINT ALL EXPOSED UNFINISHED SURFACES. UNLESS OTHERWISE SPECIFIED, DO NOT PAINT SASH FINISHES, EXTERIOR CONCRETE, CONCRETE MASONRY, BRICK, ROUGH SAWN WOOD, ALUMINUM, CHROME, BRASS, STAINLESS STEEL, AND WOOD TO BE STAINED. PROTECT ALL EXISTING FINISHES, CARPETS, FURNITURE, DRAPES, ETC. IN REMODEL AND TOUCH-UP WORK. CONTRACTOR TO REMOVE AND/OR PROTECT ALL "TO REMAIN" ITEMS.
- 9.5.8 ALL PAINT, STAINS, AND SEALERS TO BE APPLIED EXACTLY PER MANUFACTURER'S SPECIFICATIONS WITH ADJUSTMENTS FOR TEMPERATURE, EXPOSURE, AND MOISTURE WHEN REQUIRED.

9.6 CERAMIC TILE

- 9.6.1 ALL WORK TO CONFORM TO THE LATEST TILE COUNCIL OF AMERICA INSTALLATION GUIDE HANDBOOK.
- 9.6.2 CENTER TILE TO EACH SECTION TO AVOID SMALL CUTS.
- 9.6.3 ALL POINTING TO BE NON-STAINING, WITH COLOR SPECIFIED BY ARCHITECT.
- 9.6.4 INSTALL EACH SECTION TO ALLOW FOR THERMAL EXPANSION AND MOVEMENT.
- 9.6.5 PROVIDE GALVANIZED METAL MESH IN MORTAR ON ALL TILES SET IN MORTAR 1" OR MORE THICK. 9.6.6 ALL FLOOR TILES IN SHOWERS, BATHS, SAUNAS, KITCHENS, AND LAUNDRY TO BE INSTALLED OVER WOOD SHALL HAVE THAT
- WOOD HOT MOPPED ENTIRELY WITH THE MOPPING EXTENDING 9" UP SIDES OF BASE. ALL JOINTS, CORNERS, AND EDGES OF
- HOT MOPPING TO HAVE REINFORCED FIBERGLASS MESH. 9.6.7 USE EPOXY MORTAR TYPE I FOR ALL THIN-SET TILES.
- 9.6.8 ARCHITECT TO SPECIFY COLORS, GROUT COLOR, JOINT DIRECTIONS UNLESS OTHERWISE SHOWN
- 9.6.9 WIPE TILES CLEAN AFTER GROUTING USING WATER AND SOFT CLOTHS. DO NOT USE ACID. NO TRAFFIC IS ALLOWED ON TILES FOR 3-7 DAYS AFTER INSTALLATION. PROVIDE PAPER, CARDBOARD, OR WOOD PLANKING PROTECTION IN PLACE TO PROTECT TILES FROM OTHER TRADES.
- 9.6.10 SEAL TILE AND GROUT WITH MANUFACTURER RECOMMENDED SEALER AS SOON AS MANUFACTURER'S SPECIFICATIONS ALLOW.

DIVISION 10 - SPECIALTIES

10.1 SEE DRAWINGS FOR SPECIAL REQUIREMENTS.

DIVISION 11 - EQUIPMENT

11.1 SEE DRAWINGS FOR SPECIAL REQUIREMENTS.

DIVISION 12 - FURNISHINGS

12.1 SEE DRAWINGS FOR SPECIAL REQUIREMENTS.

DIVISION 13 - SPECIAL CONSTRUCTION

13.1 SEE DRAWINGS FOR SPECIAL REQUIREMENTS

DIVISION 14 - CONVEYING SYSTEMS

14.1 SEE DRAWINGS FOR SPECIAL REQUIREMENTS

DIVISION 15 - MECHANICAL / PLUMBING

 $^{
m >}$ MECHANICAL AND PLUMBING PLANS, SPECIFICATION AND CALCULATIONS WILL BE PROVIDED AT DEFERRED SUBMITTAL.

DIVISION 16 - ELECTRICAL

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ELECTRICAL PLANS, SPECIFICATION AND CALCULATIONS WILL BE PROVIDED AT DEFERRED SUBMITTAL.

DS 17-184 (1 Sand and Sea) Conditions of Approval

August 2, 2017

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AUTHORIZATION

1. This approval of Design Study (DS 17-184) authorizes a remodel to an existing residence. The remodel includes a 43 sf dining room addition, 136 sf deck addition with glass railing and replace AC driveway with permeable pavers; replace wood shingle roofing with same; add stone veneer to east and west elevation below the existing deck; and replace existing wood railing on south elevation with glass railing. There is no change to building height. All work shall be consistent with the June 30, 2017, approved plan set.

SPECIAL CONDITIONS:

- 1. You are required to post these conditions to the project plan's Cover Page.
- 2. You are required to install tree protection, which will need to be reviewed and certified by the City Forester, prior to the issuance of the Building Permit.
- 3. The applicant shall apply for and obtain a building permit prior to the construction of any aspect of the project.
- 4. The project shall match the design, dimensions, and appearance as documented in the approved plans dated June 30, 2017.
- 5. This Design Review approval is valid for a one-year period from date of approval, and hence expires on August 1, 2018.
- 6. The applicant shall work with the City to arrange designated construction vehicle parking. Parking of construction vehicles must abide by City laws.
- 7. Prior to issuance of a Building Permit, the applicant shall include the following measures in the construction management plan:
- a All stones used for the project shall be pre-cut or prefabricated. Any additional
- cutting of the pre-cut stones on the property shall be performed using a wet saw inside the garage to minimize sound and dust.
- b Deliveries of materials during construction shall occur at non-peak hours as defined by the Public Works Department c Construction shall be coordinated with other construction projects as defined by the
- Public Works Department.
- 8. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information).

DS 17-184 (1 Sand and Sea) Conditions of Approval August 2, 2017 Page 2

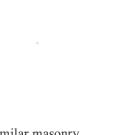
- 9. The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.
- 10. The applicant agrees, at the applicant's sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

*Acknowledgement and acceptance of conditions of approval.

Once signed, please return to the Community Planning and Building Department. If this document is not returned signed there cannot be any permits issued.

PROJECT ABBREVIATIONS

ANW	AWNING	MAX MIN	MAXIMUM MINIMUM
BLD'G BLK BM BOT	BUILDING BLOCK, BLOCKING, BLOCKS BEAM, BEAMS BOTTOM	(N) N/C	NEW NO CHANGE
CEIL'G CJ CL'G	CEILING CEILING JOIST CEILING	PL PW PLYWD	PLATE PLYWOOD PLYWOOD
CLR CLST CMU CONC	CLEAR CLOSET CONCRETE MASONRY UNITS CONCRETE	RCP REF REINF RF	REFLECTED CEILING PLAN REFERENCE REINFORCEMENT ROOF
CONT CSMT CTR	CONTINUOUS CASEMENT CENTER	REQ'D REQM'T RFT	REQUIRED REQUIREMENT RAFTER
DBL DIFF	DOUBLE DIFFERENCE	RR RS	ROOF RAFTER RISER
DR DS	DOOR (S) DOWNSPOUT	o/ o/c	OVER ON CENTER
FIN FLR	FINISH FLOOR	SECT SF SHT	SECTION SQUARE FEET SHEET
EA ELEC ELEV EQ EXTER	EACH ELECTRICAL ELEVATION (S) EQUAL EXTERIOR	SIM SIM SIN SLD SQ	SHEATHING SIMILAR SINGLE SLIDER SQUARE
(E) FAU FLR	EXISTING FORCED AIR UNIT FLOOR	SPEC ST'L SS STRUCT	SPECIFICATION STEEL STAINLESS STEEL
FJ FLR JST FOOT'G FR FT FT'G	FLOOR JOIST FLOOR JOIST FOOTING FRENCH FOOT or FEET FOOTING	TBD THK (NS) TP TRD TYP	TO BE DECIDED THICK (THICKNESS) TOP PLATE TREAD TYPICAL
GB GRD	GYPSUM BOARD GRADE	U.N.O.	UNLESS NOTED OTHERWISE
GYP BRD		VERT	VERTICAL
INTER	INTERIOR	w/ w/o	WITH WITHOUT
HGT HRD HOZ HTR	HEIGHT HARD HORIZONTAL HEATER	WD WHT WIND WND WTR	WOOD WEIGHT WINDOW WINDOW WATER
JST	JOIST	Ē	CENTER LINE
MFG MECH	MANUFACTURER MECHANICAL	₽ °	PROPERTY LINE PLUS or MINUS DEGREE (S)
LF LT	LEAF LIGHT	Ø	DIAMETER



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STERLING - HUDDLESON ARCHITECTURE

P.O. BOX 221092 CARMEL, CA. 93922

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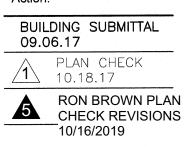
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Prepared by:

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Date:	08.18.17	
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Drawn:		
Descrip	otion:	
SPE	CIFICATI	ONS



Construction Management Plan:

I. One construction vehicle will park in the designated I Sand & Sea parking space. One construction vehicle will park in front of the I Sand & Sea garage doors. Additional construction vehicles will park along the west-side of San Antonio Street, between the shared driveway adjacent to I Sand & Sea and Ocean Avenue.

2. All stones used for the project shall be pre-cut or prefabricated. Any additional cutting of the stones on the project site shall be performed using a wet saw inside the garage to minimize sound and

3. Deliveries of materials during construction shall occur at non-peak hours as defined by the Public Works Director or his/her designee.

4. Construction shall be coordinated with other construction projects as defined by the Public Works Director or his/her designee.

Revision 4 Scope of Work:

I. Replace approved board & batten siding with stucco to be painted Benjamin Moore 'Vintage Taupe', or similar.

2. Replace approved board & batten siding on chimney with Carmel stone

3. Replaced approved unclad wood windows with aluminum windows to be painted Benjamin Moore 'Blue Note', or similar.

4. Add Carmel stone veneer on west and south elevations below the deck.

5. Add new interior bench in the entry hallway.

6. Reconfigure south/west facing deck.

REVISION NOTES

1. ALL DRAWINGS REVISIONS NOTED WITH A BLACK FILLED TRIANGLES ARE MADE BY RON BROWN, ARCHITECT.

ENSED ARCHIN RON BROWN ~C-27886 1202

Mandatory Feature or Measure	Project Requirements	Verification
4.1 PLANNING AND DESIGN		
Planning and Design – Site Development		
4.1062 A plan is developed and implemented to manage storm water drainage during construction.	V	
4.1063 The site shall be planned and developed to keep surface water away from buildings. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows.	8/	
4.2 ENERGY EFFICIENCY General		
4.201.1 Low-rise residential buildings shall meet or exceed the minimum design standards required by the California Energy Commission.	€∕	
4.3 WATER EFFICIENCY AND CONSERVATION		
Indoor Water Use		
4.303.1 A schedule of plumbing fixtures and fixture fittings that will reduce the overall use of potable water within the building by at least 20% shall be provided. The 20% reduction shall be demonstrated by one of the following methods.	K	
Water saving fixtures or flow restrictors shall be used. A 20 percent reduction in baseline water use shall be demonstrated.		
4.303.2 When using the calculation method specified in Section 4.303.1 multiple showerheads shall not exceed maximum flow rates.		
4.303.3 Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with specified performance requirements.	ø	
Outdoor Water Use		
 4.304.1 Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following: 1. Controllers shall be weather or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change. 2. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input. 		
4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY		
Enhanced Durability and Reduced Maintenance		
4.406.1 Joints and openings. Openings in the building envelope separating conditioned space from unconditioned space needed to accommodate gas, plumbing, electrical lines and other necessary penetrations must be sealed in compliance with the California Energy Code.	€∕/	
Construction Waste Reduction, Disposal and Recycling		
4.408.1 Construction waste reduction of at least 50 percent . Recycle and/or salvage for reuse a minimum of 50 percent of the nonhazardous construction and demolition debris, or meet a local construction and demolition waste management ordinance, whichever is more stringent.	e l	
 4.408.2 Construction waste management plan. Where a local jurisdiction does not have a construction and demolition waste management ordinance, a construction waste management plan shall be submitted for approval to the enforcing agency that: 1. Identifies the materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. 2. Specifies if materials will be sorted on-site or mixed for transportation to a diversion facility. 3. Identifies the diversion facility where the material collected will be taken. 4. Identifies construction methods employed to reduce the amount of waste generated. 5. Specifies that the amount of materials diverted shall be calculated by weight or volume, but not by both. 	K	
Building Maintenance and Operation		
4.410.1 An operation and maintenance manual shall be provided to the building occupant or owner at the time of final inspection complying with items 1-10.	8/	
Res Green Code Checklist rev 04-26-12 DV	· · · · · · · · · · · · · · · · · · ·	Page 2 of 4

2. Size duct sys
Select heating
INSTALLER AND

Qual	ifications
702.1	HVAC system

CALGREEN SIGNATURE DECLARATIONS Project Name: Sand & Sea Lot 1 Residence Project Address: ____ Project Description: _____remodel of existing single family residence **SECTION 1 - DESIGN VERIFICATION** The owner/owner's agent and design professional responsible for compliance with the CalGreen Standards have reviewed the plans and certify that the items noted as being required in the attached checklist have been incorporated into the project plans and will be implemented into the project in accordance with the requirements set forth in the 2010 California Green Building Standards Code as adopted by the County of Monterey. Owner's Signature Date Owner's Name (Please Print) Digitally signed by Braden A. Sterling DN: cn=Braden A. Sterling, o, ou, Graten Stell email=bradensterling@gmail.com, c=US Date: 2015.07.24 11:55:53 -07'00' 08.18.17 Date Design Professional's Signature Braden A. Sterling Design Professional's Name (Please Print) **SECTION 2 - IMPLEMENTATION VERIFICATION** I have inspected the work and have received sufficient documentation to verify and certify that the project identified above was constructed in accordance with the attached checklist and in accordance with the requirements of the 2010 California Green Building Standards Code as adopted by the County of Monterey. Building Inspector's Signature Building Inspector's Name (Please Print)

Res Green Code Checklist rev 04-26-12 DV

ireplaces		
503.1 Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with US EPA Phase II emission limits.	V	
Pollutant Control		
.504.1 Duct openings and other related air distribution component openings shall be covered luring construction.	\$	
.504.2.1 Adhesives, sealants and caulks shall be compliant with VOC and other Toxic compound limits.		
.504.2.2 Paints, stains and other coatings shall be compliant with VOC limits.		
.504.2.3 Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds.	V	
.504.2.4 Documentation shall be provided to verify that compliant VOC limit finish materials ave been used.	ø	
.504.3 Carpet and carpet systems shall be compliant with VOC limits.	V	
.504.4 Fifty (50) percent of floor area receiving resilient flooring shall comply with the VOC- mission limits defined in the Collaborative for High Performance Schools (CHPS) Low- emitting Materials List or be certified under the Resilient Floor Covering Institute (RFCI) FloorScore Program.		
.504.5 Particleboard, medium fiberboard (MDF) and hardwood plywood used in interior or exterior finish systems shall comply with low formaldehyde emission standards.	V	
nterior Moisture Control		
1.505.2 Vapor retarder and capillary break of 4" thick base of $\frac{1}{2}$ " or larger clean aggregate hall be installed at slab on grade foundations.	V	
1.505.3 Moisture content of building materials used in wall and floor framing shall be checked before enclosure.		
ndoor Air Quality and Exhaust		
 506.1 Bathroom exhaust fans Mechanical exhaust fans which exhaust directly from bathrooms hall comply with the following: Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. Unless functioning as a component of a whole house ventilation system, fans must be controlled by humidistat which shall be readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity range of 50 to 80 percent. 	V	
Environmental Comfort		
.507.1 Whole house exhaust fans shall have insulated louvers or covers which close when he fan is off. Covers or louvers shall have a minimum insulation value of R-4.2		
I.507.2 Duct systems are sized, designed, and equipment is selected using the following nethods:	V	
 Establish heat loss and heat gain values according to ACCA Manual J or equivalent. Size duct systems according to ACCA 26-D (Manual D) or equivalent. Select heating and cooling equipment according to ACCA 36-S (Manual S) or equivalent. 		
 Establish heat loss and heat gain values according to ACCA Manual J or equivalent. Size duct systems according to ACCA 26-D (Manual D) or equivalent. 		
 Establish heat loss and heat gain values according to ACCA Manual J or equivalent. Size duct systems according to ACCA 26-D (Manual D) or equivalent. Select heating and cooling equipment according to ACCA 36-S (Manual S) or equivalent. NSTALLER AND VERIFICATIONS Qualifications 702.1 HVAC system installers are trained and certified in the proper installation of HVAC 		
 Establish heat loss and heat gain values according to ACCA Manual J or equivalent. Size duct systems according to ACCA 26-D (Manual D) or equivalent. Select heating and cooling equipment according to ACCA 36-S (Manual S) or equivalent. NSTALLER AND VERIFICATIONS		

	VOC LIMIT ^{1,2}
	t Compounds in Grams per Lite
ARCHITECTURAL APPLICAT	TIONS CURRENT VOC LIMI
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesive	-s 70
Structural glazing adhesives	100
Single-ply roof membrane adhesive	
Other adhesives not specifically list	
SPECIALTY APPLICATIO	
PVC welding	510
an sen en e	
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLIC	ATIONS
Metal to metal	30
	<u>30</u> 50
Plastic foams	
Plastic foams Porous material (except wood)	50
Plastic foams Porous material (except wood) Wood Fiberglass	50 50 30 80 ssimilar substrates together, the adhe
Fiberglass 1. If an adhesive is used to bond dis with the highest VOC content sha 2. For additional information regardi	50 50 30 80 ssimilar substrates together, the adhe II be allowed. ing methods to measure the VOC con Coast Air Quality Management Dis 4.504.2
Plastic foams Porous material (except wood) Wood Fiberglass . If an adhesive is used to bond dis with the highest VOC content sha 2. For additional information regardi specified in this table, see South Rule 1168. TABLE 4 SEALANT 1	50 50 30 80 ssimilar substrates together, the adhe II be allowed. ing methods to measure the VOC con Coast Air Quality Management Dis 4.504.2
Plastic foams Porous material (except wood) Wood Fiberglass . If an adhesive is used to bond dis with the highest VOC content sha 2. For additional information regardid specified in this table, see South Rule 1168. TABLE 4 SEALANT	50 50 30 80 ssimilar substrates together, the adhe II be allowed. ing methods to measure the VOC con Coast Air Quality Management Dis Coast Air Quality Management Dis
Plastic foams Porous material (except wood) Wood Fiberglass . If an adhesive is used to bond dis with the highest VOC content sha t. For additional information regardi specified in this table, see South Rule 1168. TABLE 4 SEALANT ess Water and Less Exempt C SEALANTS	50 50 30 80 ssimilar substrates together, the adhe II be allowed. ing methods to measure the VOC con Coast Air Quality Management Dis Coast Air Quality Management Dis 4.504.2 VOC LIMIT Compounds in Grams per Liter
Plastic foams Porous material (except wood) Wood Fiberglass If an adhesive is used to bond dis with the highest VOC content sha For additional information regardi specified in this table, see South Rule 1168. TABLE SEALANT ess Water and Less Exempt C SEALANTS thitectural	50 50 30 80 ssimilar substrates together, the adhe ll be allowed. ing methods to measure the VOC con Coast Air Quality Management Dis Coast Air Quality Management Dis 4.504.2 VOC LIMIT Compounds in Grams per Liter CURRENT VOC LIMIT
Plastic foams Porous material (except wood) Wood Fiberglass . If an adhesive is used to bond dis with the highest VOC content sha . For additional information regardi specified in this table, see South Rule 1168. TABLE 4 SEALANT ess Water and Less Exempt C SEALANTS thitectural rine deck	50 50 30 80 ssimilar substrates together, the adhe ill be allowed. ing methods to measure the VOC con Coast Air Quality Management Dis Coast Air Quality Management Dis 4.504.2 VOC LIMIT Compounds in Grams per Liter CURRENT VOC LIMIT 250
Plastic foams Porous material (except wood) Wood Fiberglass . If an adhesive is used to bond dis with the highest VOC content sha 2. For additional information regardi specified in this table, see South Rule 1168. TABLE 4 SEALANT ess Water and Less Exempt C SEALANTS chitectural rine deck nmembrane roof	50 50 30 80 ssimilar substrates together, the adhe II be allowed. ing methods to measure the VOC con Coast Air Quality Management Dis Coast Air Quality Management Dis 4.504.2 VOC LIMIT Compounds in Grams per Liter CURRENT VOC LIMIT 250 760 300
Plastic foams Porous material (except wood) Wood Fiberglass If an adhesive is used to bond dis with the highest VOC content sha C. For additional information regardi specified in this table, see South Rule 1168. TABLE 4 SEALANT ess Water and Less Exempt C SEALANTS chitectural rine deck nmembrane roof adway	50 50 30 80 ssimilar substrates together, the adhe ll be allowed. ing methods to measure the VOC con Coast Air Quality Management Dis Coast Air Quality Management Dis 4.504.2 VOC LIMIT Compounds in Grams per Liter CURRENT VOC LIMIT 250 760 300 250
Plastic foams Porous material (except wood) Wood Fiberglass If an adhesive is used to bond dis with the highest VOC content sha For additional information regardi specified in this table, see South Rule 1168. TABLE 4 SEALANT V ess Water and Less Exempt C SEALANTS thitectural rine deck nmembrane roof adway gle-ply roof membrane	50 50 30 80 ssimilar substrates together, the adhe ill be allowed. ing methods to measure the VOC con Coast Air Quality Management Dis Coast Air Quality Management Dis 4.504.2 VOC LIMIT Compounds in Grams per Liter CURRENT VOC LIMIT 250 760 300 250 450
Plastic foams Porous material (except wood) Wood Fiberglass . If an adhesive is used to bond dis with the highest VOC content sha 2. For additional information regardi specified in this table, see South Rule 1168. TABLE 4 SEALANT 4 SEALANT 4 SEALANT 5 chitectural rine deck nmembrane roof adway gle-ply roof membrane ner	50 50 30 80 ssimilar substrates together, the adhe ll be allowed. ing methods to measure the VOC con Coast Air Quality Management Dis Coast Air Quality Management Dis 4.504.2 VOC LIMIT Compounds in Grams per Liter CURRENT VOC LIMIT 250 760 300 250
Plastic foams Porous material (except wood) Wood Fiberglass . If an adhesive is used to bond dis with the highest VOC content sha . For additional information regardi specified in this table, see South Rule 1168. TABLE 4 SEALANT 4 SEALANT 4 SEALANT 5 chitectural rine deck nmembrane roof adway gle-ply roof membrane ner SEALANT PRIMERS	50 50 30 80 ssimilar substrates together, the adhe ill be allowed. ing methods to measure the VOC con Coast Air Quality Management Dis Coast Air Quality Management Dis 4.504.2 VOC LIMIT Compounds in Grams per Liter CURRENT VOC LIMIT 250 760 300 250 450
Plastic foams Porous material (except wood) Wood Fiberglass If an adhesive is used to bond dis with the highest VOC content sha For additional information regardi specified in this table, see South Rule 1168. TABLE 4 SEALANT V ess Water and Less Exempt C SEALANTS chitectural rine deck nmembrane roof adway gle-ply roof membrane ner SEALANT PRIMERS chitectural	4.504.2 VOC LIMIT COMPOUNDS in Grams per Liter CURRENT VOC LIMIT 250 760 300 250 420
Plastic foams Porous material (except wood) Wood Fiberglass If an adhesive is used to bond dis with the highest VOC content sha For additional information regardi specified in this table, see South Rule 1168. TABLE 4 SEALANT ess Water and Less Exempt C SEALANTS chitectural rine deck nmembrane roof adway gle-ply roof membrane ner SEALANT PRIMERS chitectural Nonporous	50 50 30 80 ssimilar substrates together, the adhe ill be allowed. ing methods to measure the VOC con Coast Air Quality Management Dis Coast Air Quality Management Dis 4.504.2 VOC LIMIT Compounds in Grams per Liter CURRENT VOC LIMIT 250 760 300 250 450
Plastic foams Porous material (except wood) Wood Fiberglass If an adhesive is used to bond dis with the highest VOC content sha For additional information regardi specified in this table, see South Rule 1168. TABLE 4 SEALANT 9 ess Water and Less Exempt 0 SEALANTS chitectural arine deck nmembrane roof adway agle-ply roof membrane her SEALANT PRIMERS chitectural Nonporous Porous	4.504.2 VOC LIMIT Compounds in Grams per Liter CURRENT VOC LIMIT 250 760 300 250 450 420
Plastic foams Porous material (except wood) Wood Fiberglass If an adhesive is used to bond dis with the highest VOC content sha For additional information regardi specified in this table, see South Rule 1168. TABLE 4 SEALANT ess Water and Less Exempt C SEALANTS chitectural rine deck nmembrane roof adway gle-ply roof membrane ner SEALANT PRIMERS chitectural Nonporous	4.504.2 VOC LIMIT COMPOUNDS in Grams per Liter CURRENT VOC LIMIT 250 250 250 250

SEALANTS	CURRENT VOC LIMIT
Architectural	250
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural Nonporous Porous	250 775
Modified bituminous	500
Marine deck	760
Other	750

4.504.2.1 ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLAINT WITH VOC AND OTHER TOXIC COMPOUND LIMITS

4.504.2.2 PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.

4.504.5 PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSIONS STANDARDS.

TABLE 4.504.3 VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS ^{2, 3} Grams of VOC per Liter of Coating, Less Water and Less Exempt Compounds		
COATING CATEGORY	EFFECTIVE 1/1/2010	EFFECTIVE
Flat coatings	50	6 (1) A TR (data field to complete the second state) and the second state of the se
Nonflat coatings	100	
Nonflat-high gloss coatings	150	
Specialty Coatings	4 (B) (1 (B) (1 (B)	
Aluminum roof coatings	400	
Basement specialty coatings	400	
Bituminous roof coatings	50	
Bituminous roof primers	350	
Bond breakers	350	
Concrete curing compounds	350	
	100	
Concrete/masonry sealers	50	
Driveway sealers	150	
Dry fog coatings	350	
Paux finishing coatings	350	
Fire resistive coatings	100	
Floor coatings		na an an tean an a
Form-release compounds	250	
Graphic arts coatings (sign paints)	500	
High temperature coatings	420	
Industrial maintenance coatings	250	
Low solids coatings'	120	
Magnesite cement coatings	450	
Mastic texture coatings	100	
Metallic pigmented coatings	500	
Multicolor coatings	250	
Pretreatment wash primers	420	
Primers, sealers, and undercoaters	100	
Reactive penetrating sealers	3.50	
Recycled coatings	250	
Roof coalings	54)	
Rust preventative coatings	400	250
Shellacs		
Clear Opaque	730 550	
Specialty primers, sealers and undercoaters	350	100
Stains	250	
Stone consolidants	450	
Swimming pool coatings	340	
Traffic marking coatings	100	
Tub and tile refinish coatings	420	
Waterproofing membranes	250	
Wood coalings	275	
Wood preservatives	350	
	340	
Zinc-rich primers	1	



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Sheet No: \frown

/1 4.507.2 MECHANICAL PLAN WILL BE PROVIDED ON DEFERRED SUBMITALL. _____ 4.406.1 PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS

4.504.1 COVER DUCT OPENING AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION

4.505.2 CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE

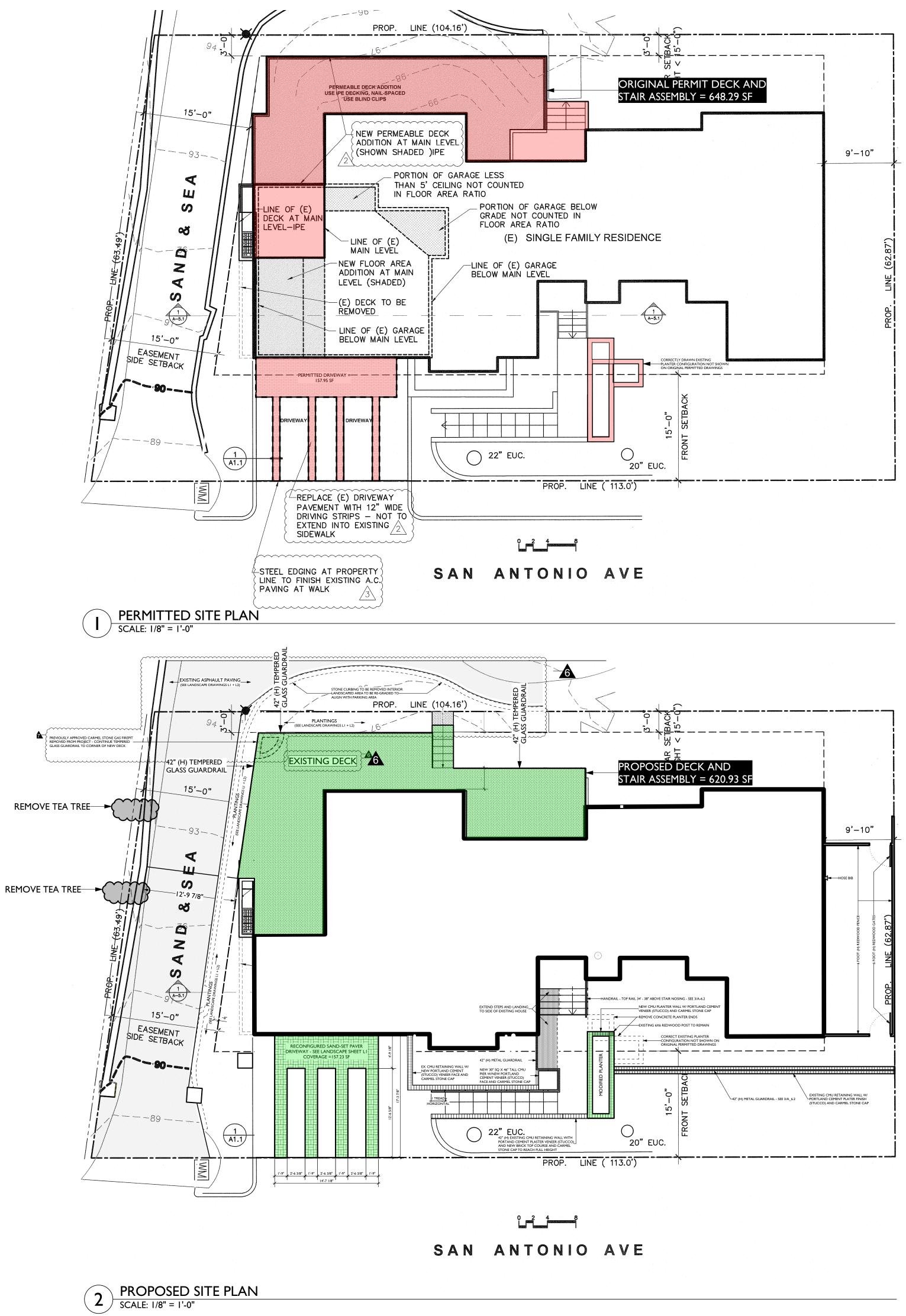
> CARMEL-BY-THE-SEA ALL CHANGES OF PLANS MUST BE REVIEWED AND APPROVED BEFORE WORK COMMENCES.



REVISION NOTES

1. ALL DRAWINGS REVISIONS NOTED WITH A BLACK FILLED TRIANGLES ARE MADE BY RON BROWN, ARCHITECT.

SITE COVERAGE ANALYSI	S
PERMITTED DECK SITE COVERAGE:	648.29 SF
PREPOSED DECK SITE COVERAGE:	– 620.93 SF
SITE COVERAGE CHANGE:	– 27.36 SF
PERMITTED DRIVEWAY SITE COVERAGE:	157.95 SF
PREPOSED DRIVEWAY COVERAGE:	– 157.23 SF
SITE COVERAGE CHANGE:	- 0.72 SF
PERMITTED PLANTER COVERAGE:	37.26 SF
PREPOSED PLANTER COVERAGE:	20.51 SF
SITE COVERAGE CHANGE:	– 16.75 SF





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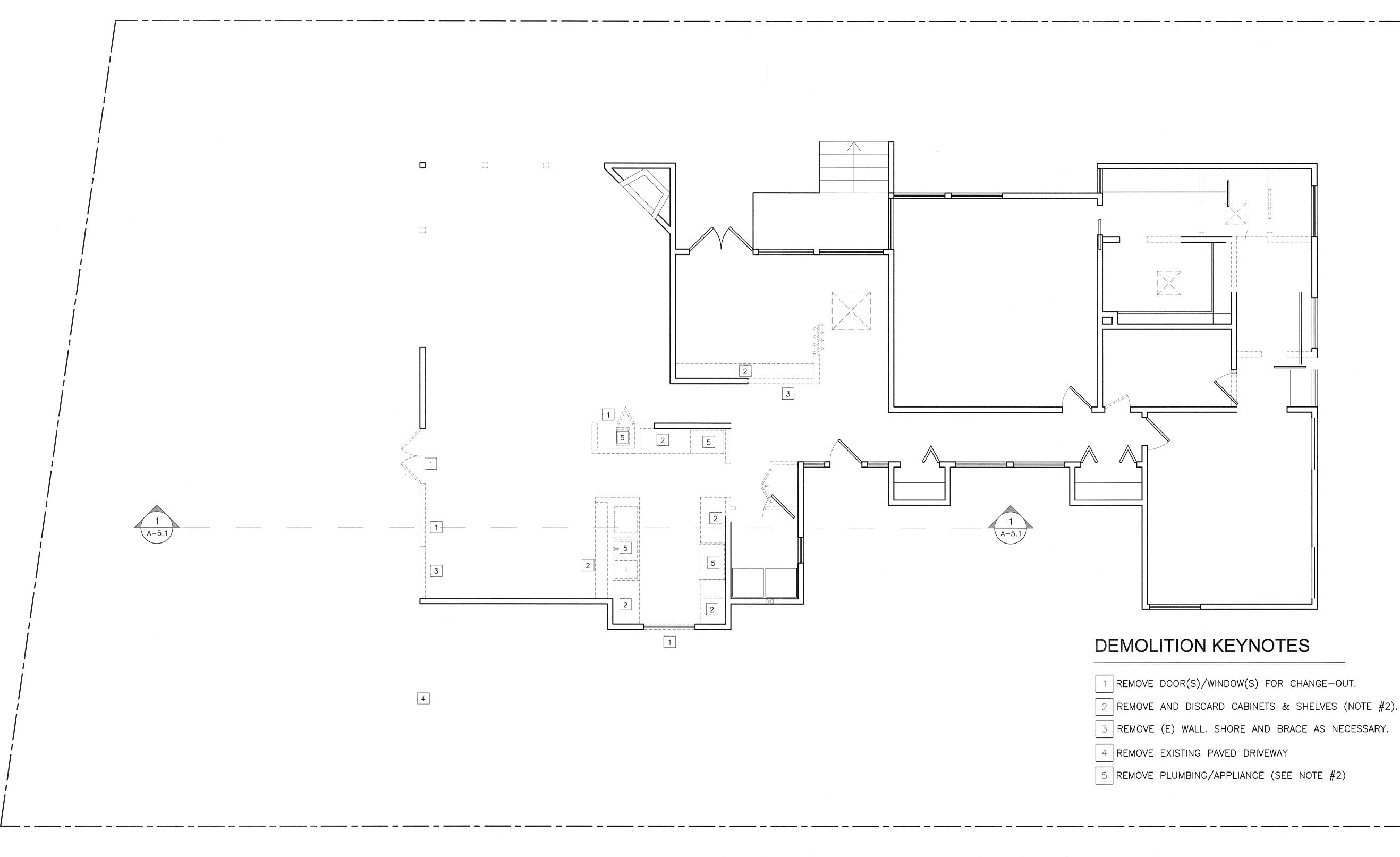
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 PLAN CHECK

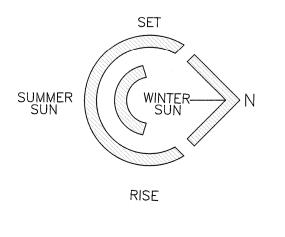
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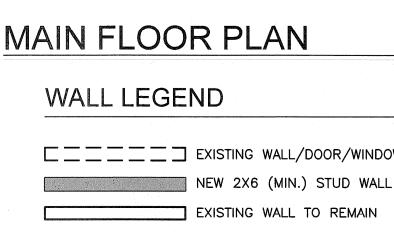
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 12.14.18
 RON BROWN DRAWING REVISIONS 10/22/2020 Date: 05.05.17 Scale: 1/8"=1'-0" Drawn: Description: SITE PLAN

Sheet No: A-1.1



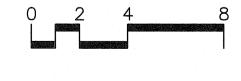




D	M

1.) CONTRACTOR SHALL PROVIDE SAFE SUPPORT FOR FLOOR AND ROOF BEARING POINTS DURING AND AFTER REMOVAL UNTIL SECURELY RESUPPORTED WITH WEIGHT TRANSFER TO PROPER SIZED FOOTING.

2.) CONTRACTOR SHALL COORDINATE RÉCYCLING OF SALVAGEABLE BUILDING MATERIALS WITH LOCAL NONPROFIT OR OTHER.



SCALE: 1/4"=1'-0"

MAIN FLOOR PLAN

EXISTING WALL TO REMAIN

MOLITION GENERAL NOTES

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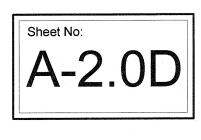
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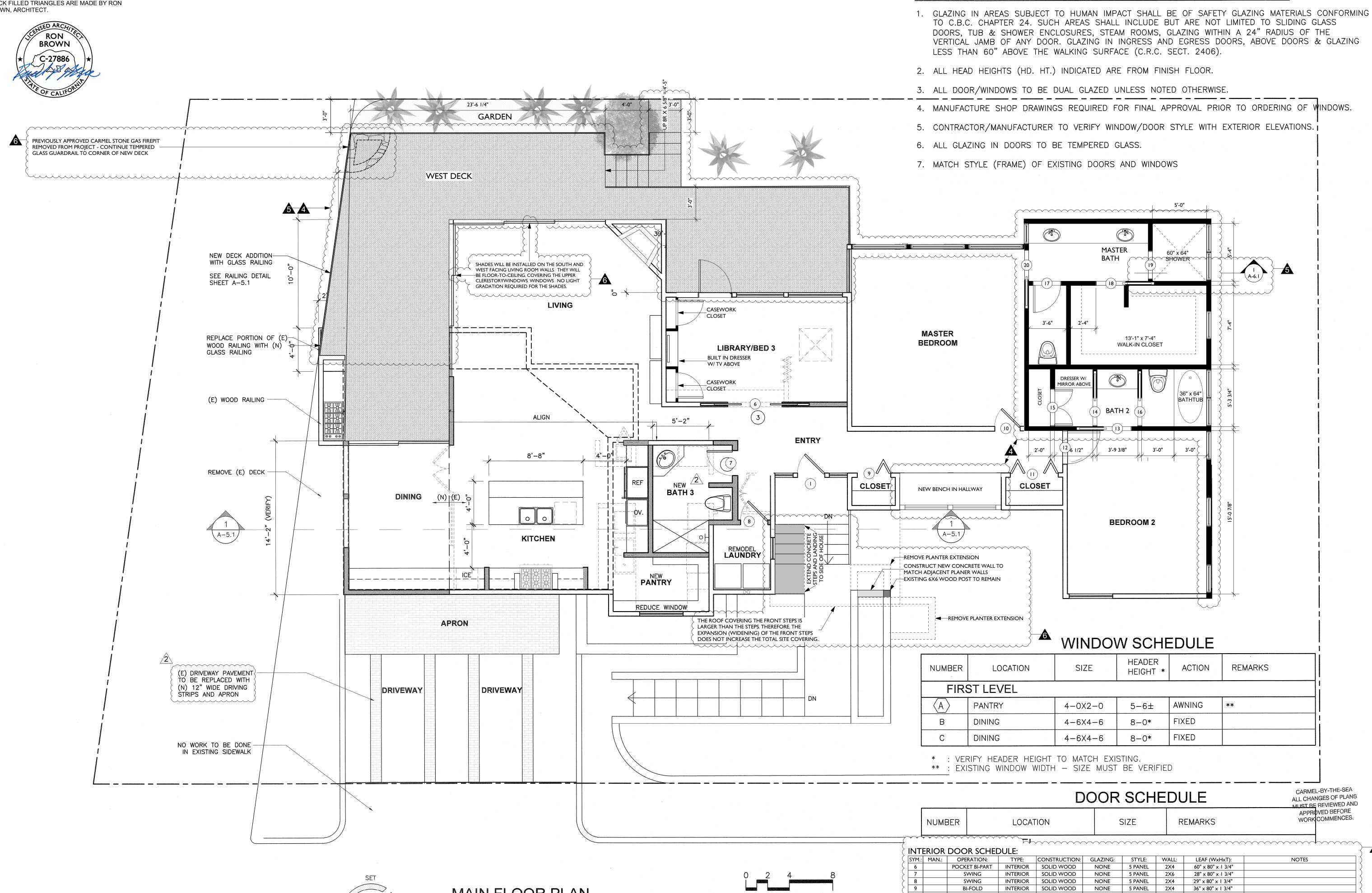
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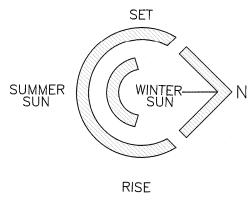


DEMO PLAN

REVISION NOTES

1. ALL DRAWINGS REVISIONS NOTED WITH A BLACK FILLED TRIANGLES ARE MADE BY RON BROWN, ARCHITECT.







WALL LEGEND

	NUMBER	LOCATIO
_	0 0 0 0 0 0 0	

M.: MAN.:	OPERATION:	TYPE:	CONSTRUCTION:	GLAZING:	STYLE:	WALL:	LEAF (WxHxT):	NOTES
6	POCKET BI-PART	INTERIOR	SOLID WOOD	NONE	5 PANEL	2X4	60" × 80" × I 3/4"	
7	SWING	INTERIOR	SOLID WOOD	NONE	5 PANEL	2X6	28" × 80" × I 3/4"	
8	SWING	INTERIOR	SOLID WOOD	NONE	5 PANEL	2X4	29" x 80" x 3/4"	
9	BI-FOLD	INTERIOR	SOLID WOOD	NONE	5 PANEL	2X4	36" × 80" × 1 3/4"	
0	SWING	INTERIOR	SOLID WOOD	NONE	5 PANEL	2X4	28" × 80" × I 3/4"	
	BI-FOLD BI-PART	INTERIOR	SOLID WOOD	NONE	5 PANEL	2X4	52" × 80" × I 3/4"	
2	SWING	INTERIOR	SOLID WOOD	NONE	5 PANEL	2X4	36" × 80" × I 3/4"	
3	POCKET	INTERIOR	SOLID WOOD	NONE	5 PANEL	2X4	30" × 80" × 1 3/4"	
4	POCKET	INTERIOR	SOLID WOOD	NONE	5 PANEL	2X4	30" × 80" × I 3/4"	
5	FRENCH	INTERIOR	SOLID WOOD	NONE	5 PANEL	2X4	40" x 80" x 3/4"	
6	POCKET	INTERIOR	SOLID WOOD	NONE	5 PANEL	2X4	30" × 80" × I 3/4"	
7	SWING	INTERIOR	SOLID WOOD	NONE	5 PANEL	2X4	30" × 80" × I 3/4"	
8	POCKET	INTERIOR	SOLID WOOD	NONE	5 PANEL	2X4	32" × 80" × I 3/4"	
9	CASED OPENING	INTERIOR	SOLID WOOD	NONE	5 PANEL	2X4	30" × 80" × I 3/4"	
0	POCKET	INTERIOR	SOLID WOOD	NONE	5 PANEL	2X4	32" x 80" x 3/4"	

MAIN FLOOR PLAN

SCALE: 1/4"=1'-0"

E = = = = = = = = EXISTING WALL/DOOR/WINDOWS/FIXTURES TO BE REMOVED NEW 2X6 (MIN.) STUD WALL

EXISTING WALL TO REMAIN

DOOR & WINDOW GENERAL NOTES

SIZE	HEADER HEIGHT *	ACTION	REMARKS
4-0X2-0	5-6±	AWNING	**
4-6X4-6	8-0*	FIXED	
4-6X4-6	8-0*	FIXED	



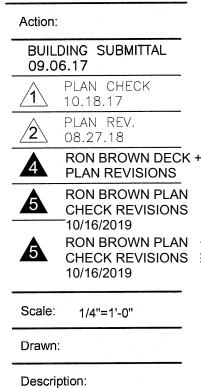
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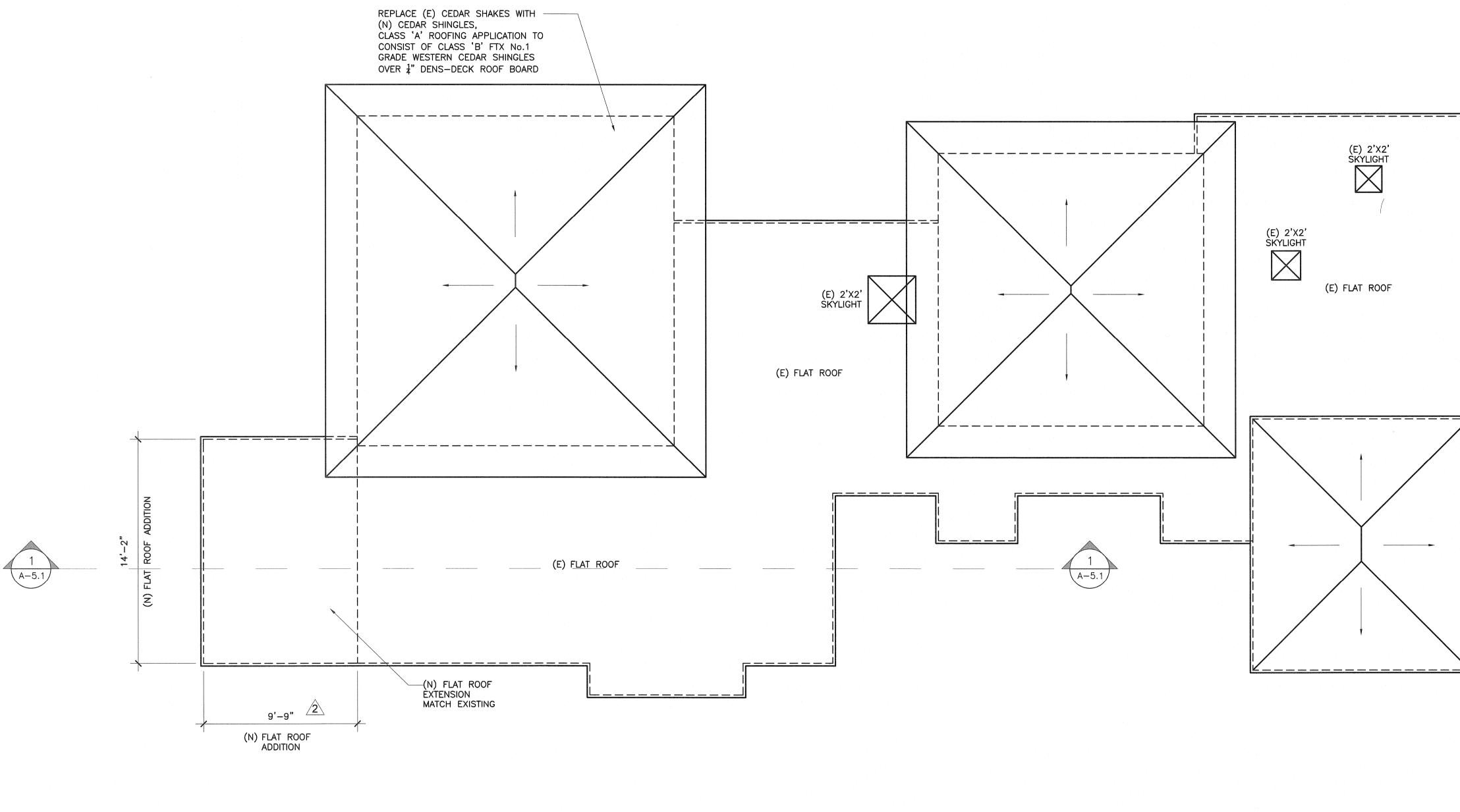
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MAIN FLOOR PLAN



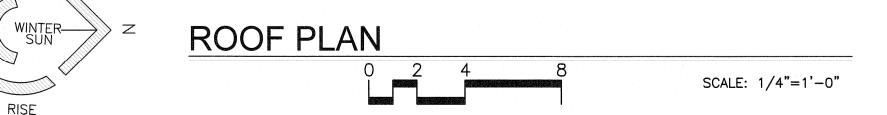


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SUMMER SUN

SET

RISE





STERLING - HUDDLESON A R C H I T E C T U R E

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(E) 2'X2' SKYLIGHT (E) FLAT ROOF -----

CARMEL-BY-THE-SEA ALL CHANGES OF PLANS MUST BE REVIEWED AND APPROVED BEFORE WORK COMMENCES.

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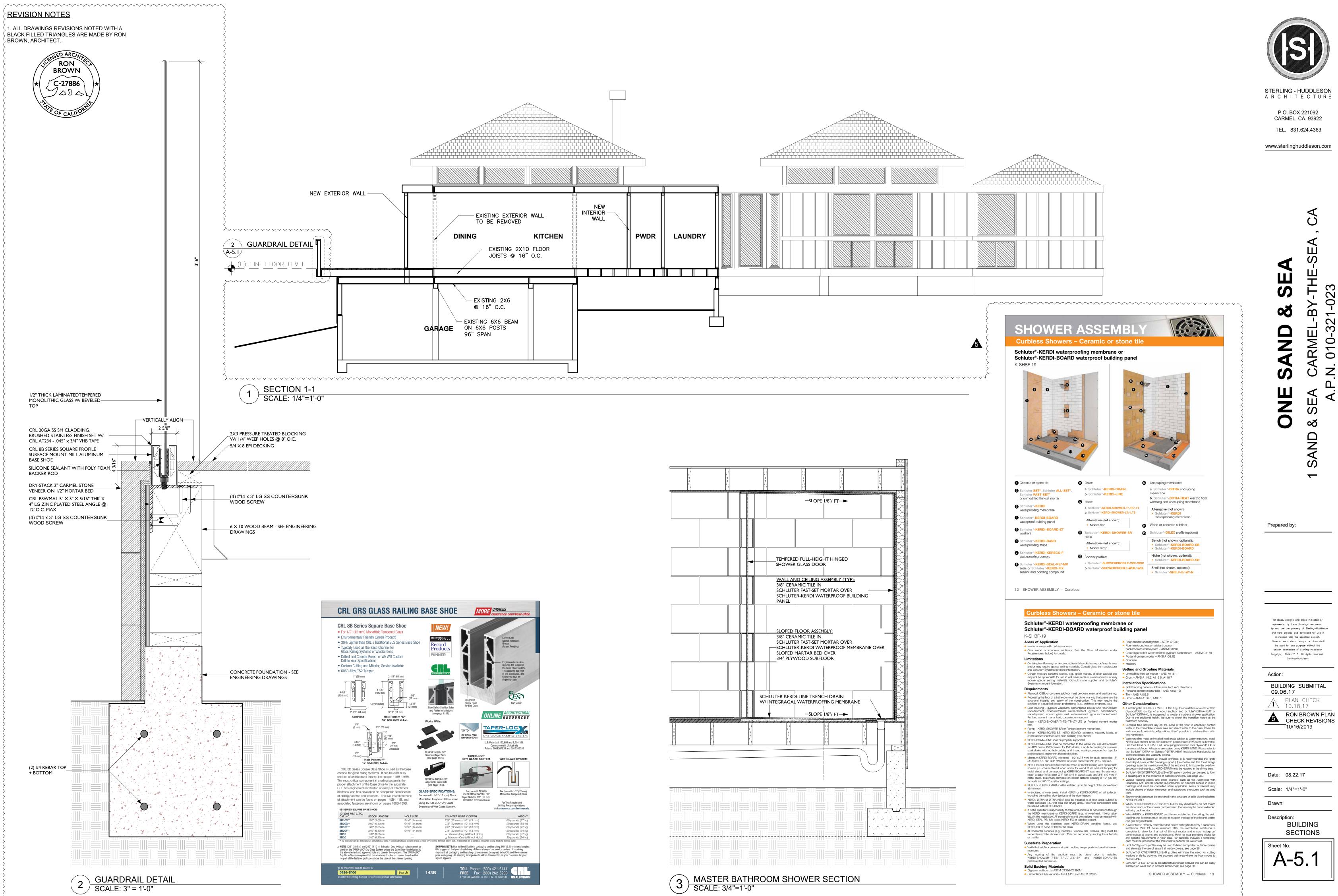
Prepared by:

Action: BUILDING SUBMITTAL 09.06.17
 PLAN CHECK

 10.18.17

 PLAN REV.

 08.27.18
 Date: 05.05.17 Scale: 1/4"=1'-0" Concentration (199 Drawn: Description: ROOF PLAN Sheet No: A-3.1





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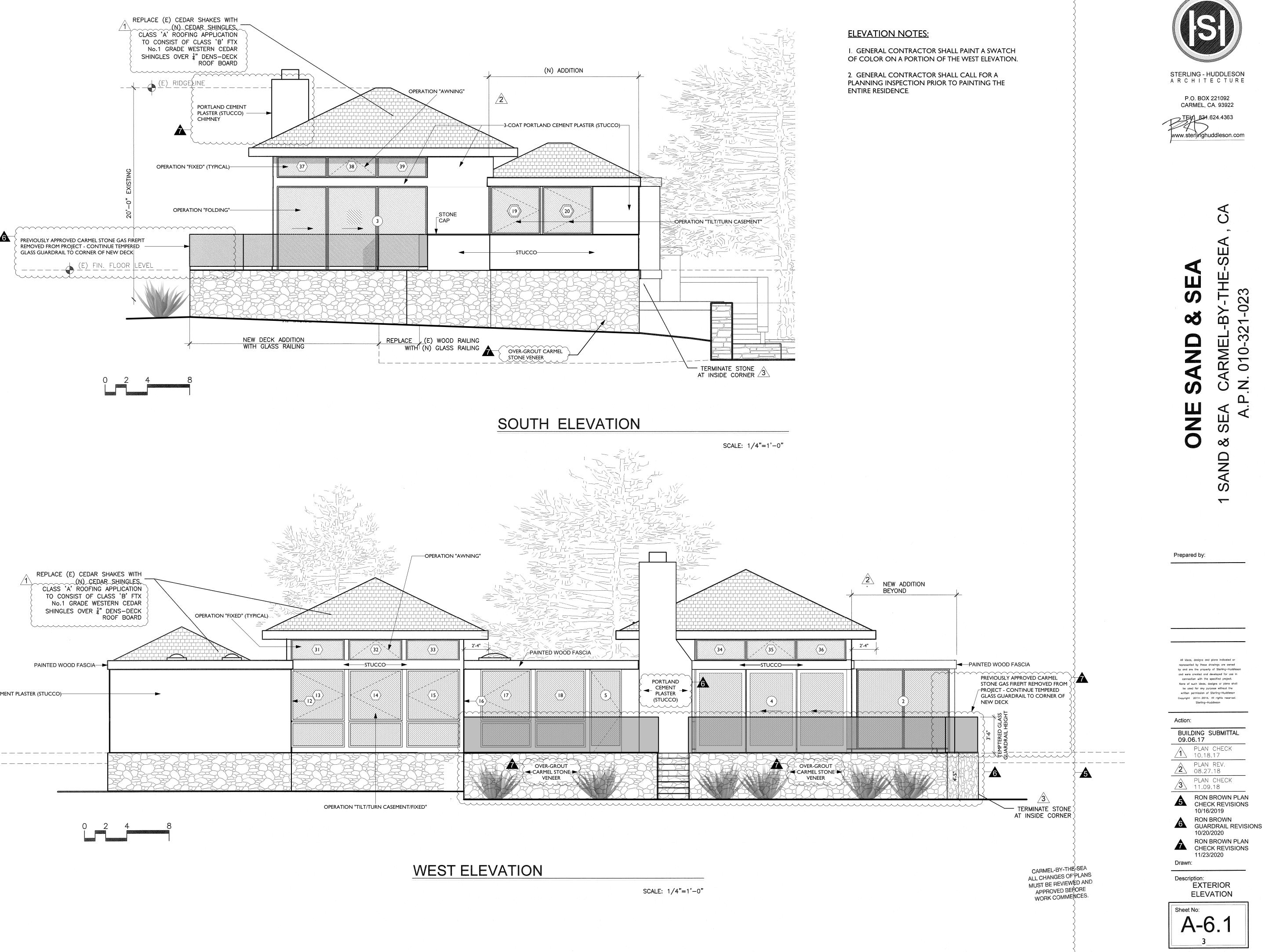
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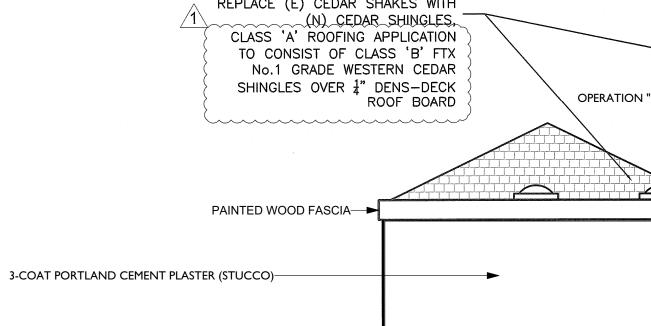
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REVISION NOTES

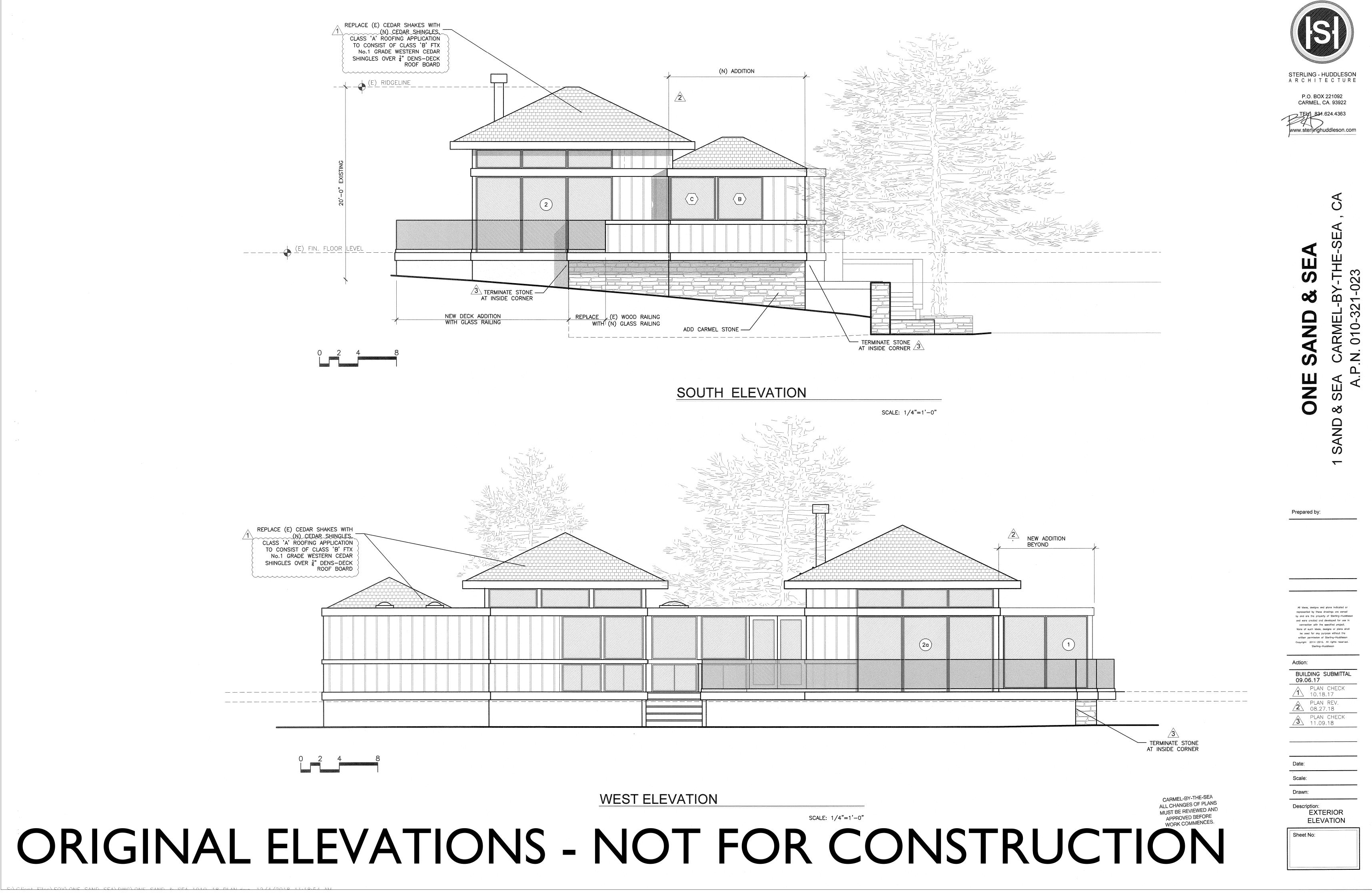
1. ALL DRAWINGS REVISIONS NOTED WITH A BLACK FILLED TRIANGLES ARE MADE BY RON BROWN, ARCHITECT.









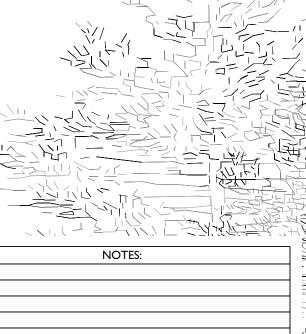


REVISION NOTES

1. ALL DRAWINGS REVISIONS NOTED WITH A BLACK FILLED TRIANGLES ARE MADE BY RON BROWN, ARCHITECT.



VII - 2 2×4 E2 1/2"

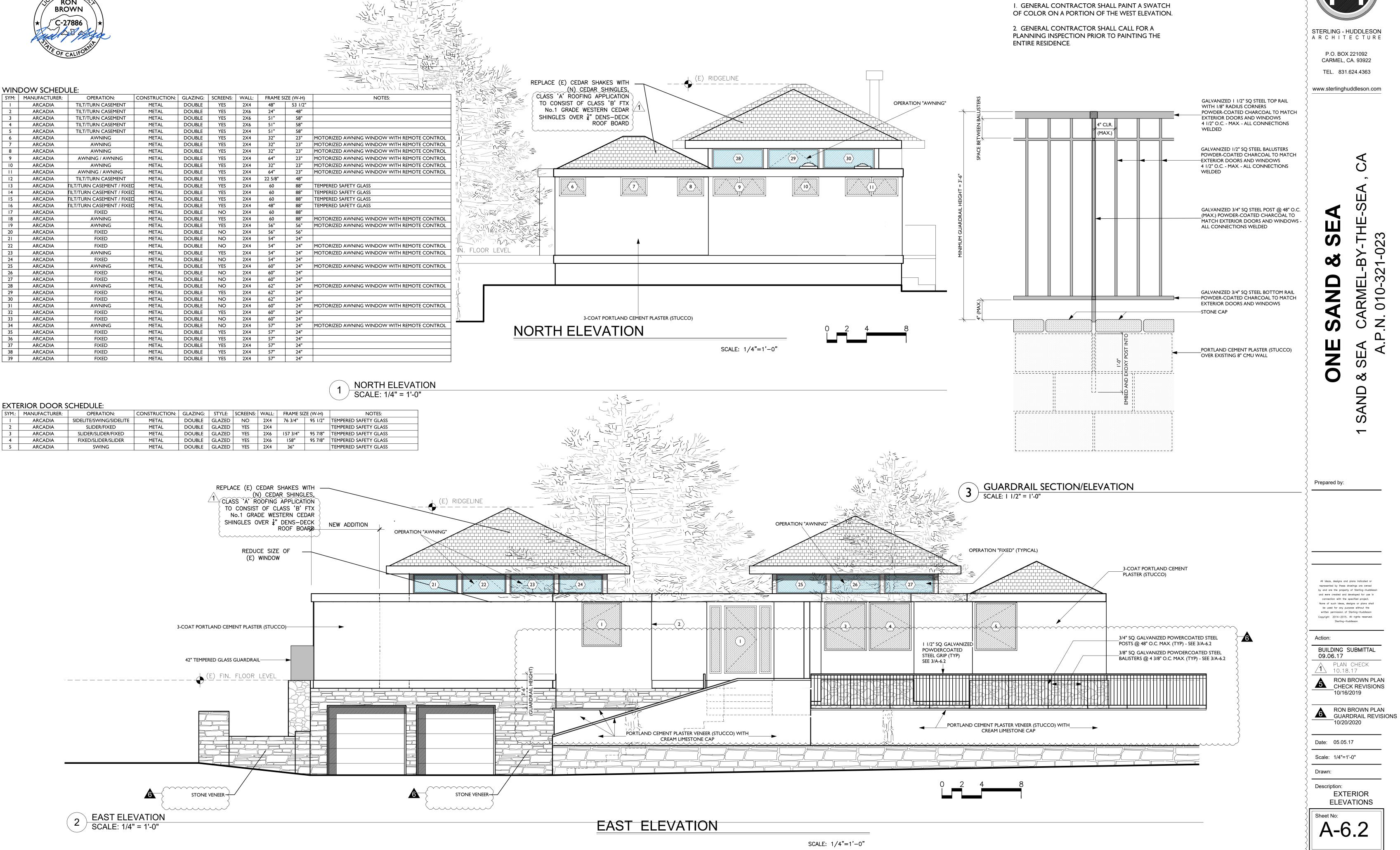


WINDOW SCHEDULE:

ζ I	ARCADIA	TILT/TURN CASEMENT	METAL	DOUBLE	YES	2X4	48"	53 1/2"		
2	ARCADIA	TILT/TURN CASEMENT	METAL	DOUBLE	YES	2X6	24"	48"		
> 3	ARCADIA	TILT/TURN CASEMENT	METAL	DOUBLE	YES	2X6	51"	58"		
> 4	ARCADIA	TILT/TURN CASEMENT	METAL	DOUBLE	YES	2X6	51"	58"		
> 5	ARCADIA	TILT/TURN CASEMENT	METAL	DOUBLE	YES	2X4	51"	58"		
6	ARCADIA	AWNING	METAL	DOUBLE	YES	2X4	32"	23"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL	
(7	ARCADIA	AWNING	METAL	DOUBLE	YES	2X4	32"	23"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL	
(8	ARCADIA	AWNING	METAL	DOUBLE	YES	2X4	32"	23"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL	
9	ARCADIA	AWNING / AWNING	METAL	DOUBLE	YES	2X4	64"	23"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL	
> 10	ARCADIA	AWNING	METAL	DOUBLE	YES	2X4	32"	23"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL	
\geq II	ARCADIA	AWNING / AWNING	METAL	DOUBLE	YES	2X4	64"	23"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL	
2 12	ARCADIA	TILT/TURN CASEMENT	METAL	DOUBLE	YES	2X4	22 5/8"	48"		
(13	ARCADIA	FILT/TURN CASEMENT / FIXED	METAL	DOUBLE	YES	2X4	60	88"	TEMPERED SAFETY GLASS	
(14	ARCADIA	FILT/TURN CASEMENT / FIXED	METAL	DOUBLE	YES	2X4	60	88"	TEMPERED SAFETY GLASS	
5 15	ARCADIA	FILT/TURN CASEMENT / FIXED	METAL	DOUBLE	YES	2X4	60	88"	TEMPERED SAFETY GLASS	
> 16	ARCADIA	FILT/TURN CASEMENT / FIXED	METAL	DOUBLE	YES	2X4	48"	88"	TEMPERED SAFETY GLASS	
> 17	ARCADIA	FIXED	METAL	DOUBLE	NO	2X4	60	88"		
18	ARCADIA	AWNING	METAL	DOUBLE	YES	2X4	60	88"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL	
19	ARCADIA	AWNING	METAL	DOUBLE	YES	2X4	56"	56"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL	
(20	ARCADIA	FIXED	METAL	DOUBLE	NO	2X4	56"	56"		
<u>(</u> 21	ARCADIA	FIXED	METAL	DOUBLE	NO	2X4	54"	24"		
22	ARCADIA	FIXED	METAL	DOUBLE	NO	2X4	54"	24"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL	
23	ARCADIA	AWNING	METAL	DOUBLE	YES	2X4	54"	24"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL	
24	ARCADIA	FIXED	METAL	DOUBLE	NO	2X4	54"	24"		
25	ARCADIA	AWNING	METAL	DOUBLE	YES	2X4	60"	24"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL	
(26	ARCADIA	FIXED	METAL	DOUBLE	NO	2X4	60"	24"		
(27	ARCADIA	FIXED	METAL	DOUBLE	NO	2X4	60"	24"		
28	ARCADIA	AWNING	METAL	DOUBLE	NO	2X4	62"	24"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL	
29	ARCADIA	FIXED	METAL	DOUBLE	YES	2X4	62"	24"		
> 30	ARCADIA	FIXED	METAL	DOUBLE	NO	2X4	62"	24"		
2 31	ARCADIA	AWNING	METAL	DOUBLE	NO	2X4	60"	24"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL	
32	ARCADIA	FIXED	METAL	DOUBLE	YES	2X4	60"	24"		
(33	ARCADIA	FIXED	METAL	DOUBLE	NO	2X4	60"	24"		
34	ARCADIA	AWNING	METAL	DOUBLE	NO	2X4	57"	24"	MOTORIZED AWNING WINDOW WITH REMOTE CONTROL	
35	ARCADIA	FIXED	METAL	DOUBLE	YES	2X4	57"	24"		
> 36	ARCADIA	FIXED	METAL	DOUBLE	YES	2X4	57"	24"		
> 37	ARCADIA	FIXED	METAL	DOUBLE	YES	2X4	57"	24"		
> 38	ARCADIA	FIXED	METAL	DOUBLE	YES	2X4	57"	24"		
2 39	ARCADIA	FIXED	METAL	DOUBLE	YES	2X4	57"	24"		

EXTERIOR DOOR SCHEDULE:

. [SYM.:	MANUFACTURER:	OPERATION:	CONSTRUCTION:	GLAZING:	STYLE:	SCREENS:	WALL:	FRAME SIZ	ZE (W-H)	NOTES:
	Ι	ARCADIA	SIDELITE/SWING/SIDELITE	METAL	DOUBLE	GLAZED	NO	2X4	76 3/4"	95 1/2"	TEMPERED SAFETY GLASS
•	2	ARCADIA	SLIDER/FIXED	METAL	DOUBLE	GLAZED	YES	2X4			TEMPERED SAFETY GLASS
·	3	ARCADIA	SLIDER/SLIDER/FIXED	METAL	DOUBLE	GLAZED	YES	2X6	157 3/4"	95 7/8"	TEMPERED SAFETY GLASS
·	4	ARCADIA	FIXED/SLIDER/SLIDER	METAL	DOUBLE	GLAZED	YES	2X6	158"	95 7/8"	TEMPERED SAFETY GLASS
	5	ARCADIA	SWING	METAL	DOUBLE	GLAZED	YES	2X4	36"		TEMPERED SAFETY GLASS



ELEVATION NOTES:



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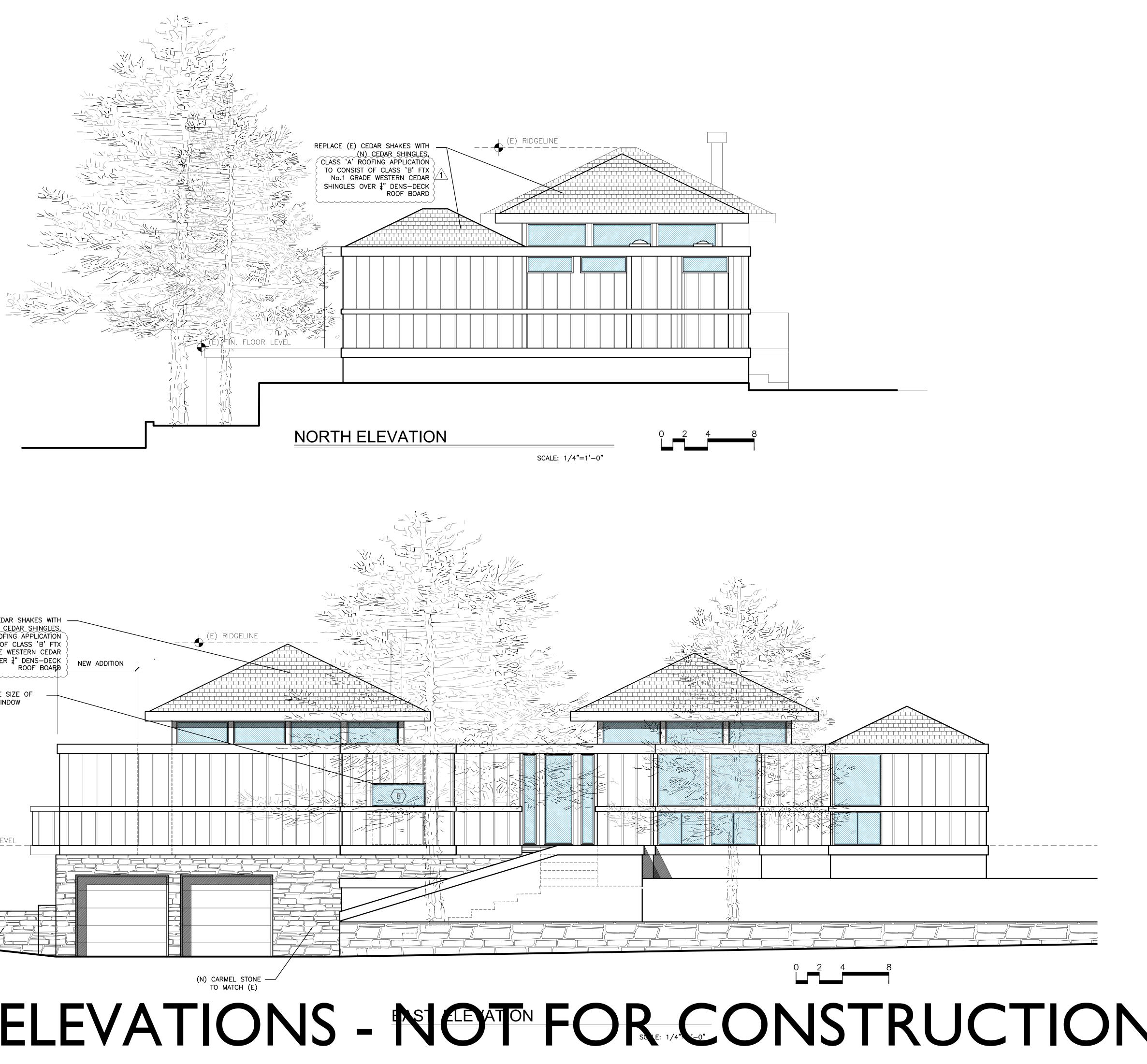
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Action BUILDING SUBMITTAL 09.06.17 PLAN CHECK 10.18.17

Date: 05.05.17 Scale: 1/4"=1'-0" Drawn: Description:

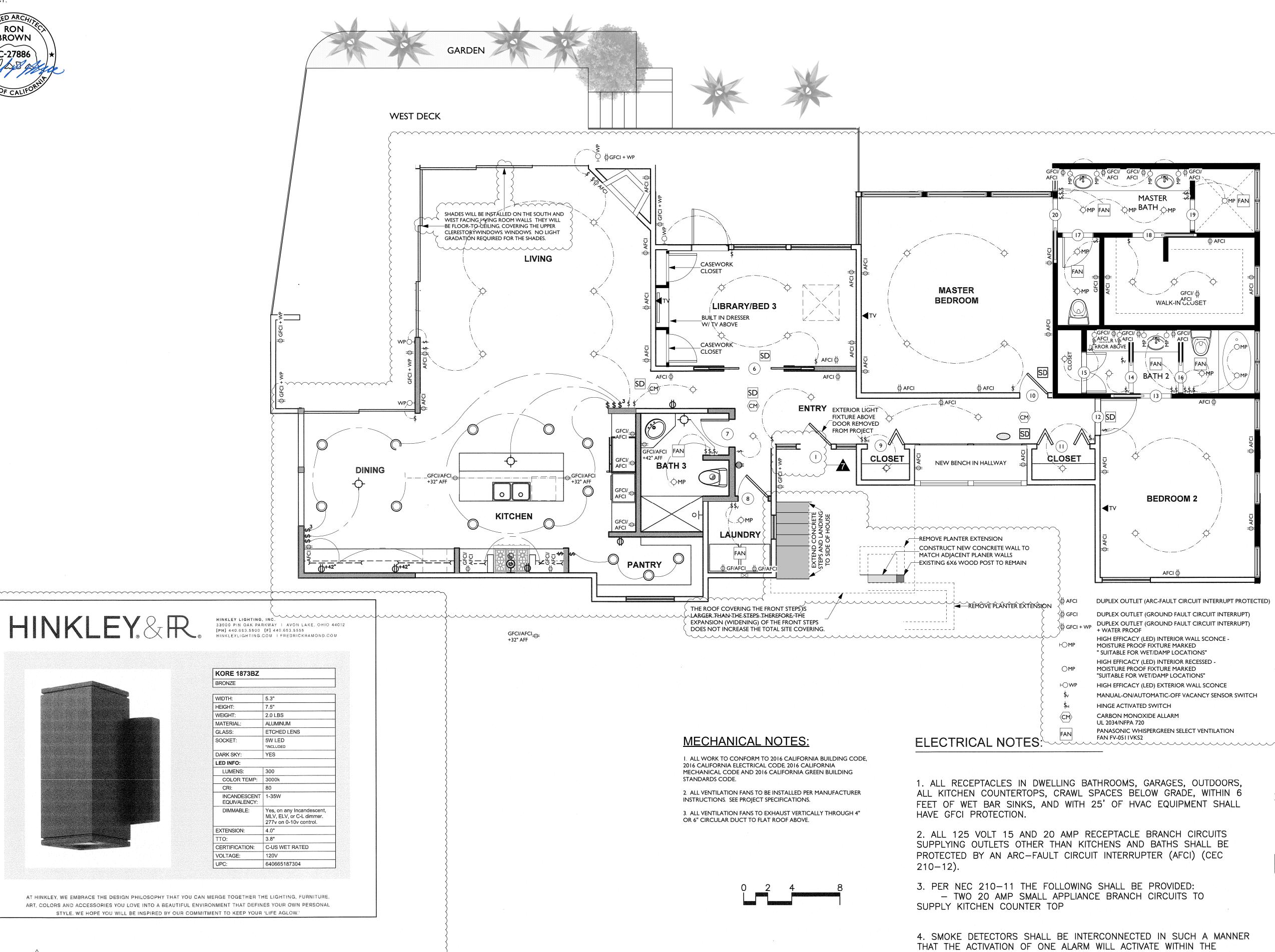
EXTERIOR ELEVATIONS

Sheet No:

REVISION NOTES

1. ALL DRAWINGS REVISIONS NOTED WITH A BLACK FILLED TRIANGLES ARE MADE BY RON BROWN, ARCHITECT.





EXTERIOR LIGHT FIXTURE SPEC

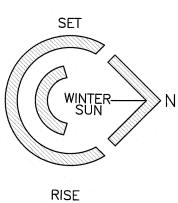
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- TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS TO

CIRCUIT.



SUMMEF

ELECTRICAL PLAN

WALL LEGEND

E = = = = = = = = EXISTING WALL/DOOR/WINDOWS/FIXTURES TO BE REMOVED NEW 2X6 (MIN.) STUD WALL EXISTING WALL TO REMAIN

SCALE: 1/4"=1'-0"



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MASTER COMP BATH ------GFCI/ ₼ WALK-IN CLUSET **BEDROOM 2** DUPLEX OUTLET (ARC-FAULT CIRCUIT INTERRUPT PROTECTED) DUPLEX OUTLET (GROUND FAULT CIRCUIT INTERRUPT) DUPLEX OUTLET (GROUND FAULT CIRCUIT INTERRUPT) HIGH EFFICACY (LED) INTERIOR WALL SCONCE -MOISTURE PROOF FIXTURE MARKED " SUITABLE FOR WET/DAMP LOCATIONS" HIGH EFFICACY (LED) INTERIOR RECESSED MOISTURE PROOF FIXTURE MARKED "SUITABLE FOR WET/DAMP LOCATIONS" HIGH EFFICACY (LED) EXTERIOR WALL SCONCE MANUAL-ON/AUTOMATIC-OFF VACANCY SENSOR SWITCH HINGE ACTIVATED SWITCH CARBON MONOXIDE ALLARM UL 2034/NFPA 720 PANASONIC WHISPERGREEN SELECT VENTILATION FAN FV-0511VKS2 \rightarrow \bigcirc

ELECTRICAL SYMBOLS:

Ф	DUPLEX OUTLET
\	DOUBLE DUPLEX OUTLET
Φ	220V OUTLET
\$	1/2 HOT DUPLEX OUTLET
∯ GFI +12	DUPLEX OUTLET W/ GFI PROTECTION
∲ wP	WATER PROOF OUTLET/GFCI
\$	SINGLE POLE SWITCH
\$3 	THREE WAY SWITCH (D= DIMMER)
\$4	FOUR WAY SWITCH
◀₽	PHONE JACK
₹ ₹	CABLE TV
ф	WALL MOUNTED LIGHT/SCONCE
¢	CEILING MOUNTED, FLOURESCENT LIGHT (FLUOR. FIXT. SHALL 40 WATT OR LESS)
ф-	CEILING FIXTURE OR CHANDELIER
\bigcirc	CEILING FIXTURE OR CHANDELIER
<	UNILUME UNDERCABINET LED 30" 18WATTS 700-UCF3193WLED TECH LIGHTING
9	CEILING MOUNTED EXAUST FAN
5D	SMOKE DETECTOR (120 VOLT W/ HARD-WIRED, W/ BATT BACKUP)
	CEILING MOUNTED FLOURESCENT FIXTURE
J	JUNCTION BOX
	PUSH BUTTON SWITCH
ŀ©	NATURAL GAS SUPPLY
	JAMB SWITCH
	CARBON MONOXIDE ALARM PER CRC R315

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Action: BUILDING SUBMITTAL 09.06.17 PLAN CHECK 12.14.18 RON BROWN PLAN **5** CHECK REVISIONS 10/16/2019

RON BROWN PLAN CHECK REVISIONS 11/23/2020

Date:	05.05.17
Scale:	1/4"=1'-0"
Drawn:	
Descripti ELEC	^{on:} MAIN CTRICAL PLAN

Sheet No: E-1. PLUMBING NOTES:

1. ALL WORK FOR CONFORM TO 2016 CALIFORNIA PLUMBING CODE (CCR TITLE 24 PART 5)

2. THE USE OF SOLDER OR FLUX CONTAINING MORE THAT 0.2% LEAD ON ANY WATER SUPPLY IS PROHIBITED.

3. BATH/SHOWER FAUCETS SHALL HAVE AN ANTI-SCALDING THERMOSTATIC MIXING VALVE.

4. PROVIDE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES AT TUB/SHOWER (MAX. 120 DEGREES F). VERIFY AT ROUGH PLUMBING INSPECTION.

5. SHOWER PROTECTION FROM WATER DAMAGE: WOOD FRAMING MUST HAVE WATER PROTECTION AT SHOWER WALLS, SMOOTH, NONABSORBENT SURFACE MIN FOR 70" ABOVE THE DRAIN INLET PER CBC 1210.2.3. SHOWER WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTEND TO 6' MIN ABOVE THE FLOOR PER CRC 307.7.2.1)

6. MAXIMUM FLOW RATE FOR PLUMBING FIXTURES, PER CALIFORNIA CIVIL CODE 1101.4(A) AND CGBC 4.303, ARE AS FOLLOWS:

WATER CLOSETS:	1.28 GPF MAXIMUM
SHOWER HEADS:	1.8 GPM @ 80 PSI MAXIMUM
LAVATORY FAUCETS:	1.2 GPM @ 60 PSI MAXIMUM
KITCHEN FAUCETS:	1.8 GPM @ 60 PSI MAXIMUM
	2.2 GPM @ 60 PSI MAXIMUM (TEMPORARILY FLOW RATE)

7. GLAZED SHOWER DOORS TO BE FABRICATED WITH TEMPERED SAFETY GLASS.

8. PROVIDE ANTI-SIPHON DEVICES AT ALL HOSE BIBS.

9. VERIFY THAT ALL ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUIT, ETC., ARE FILLED TO PREVENT RODENT INTRUSION, TYP

10. INSULATE ALL HOT WATER PIPES WITH 1" THICK THERMAL HOT WATER PIPE INSULATION.

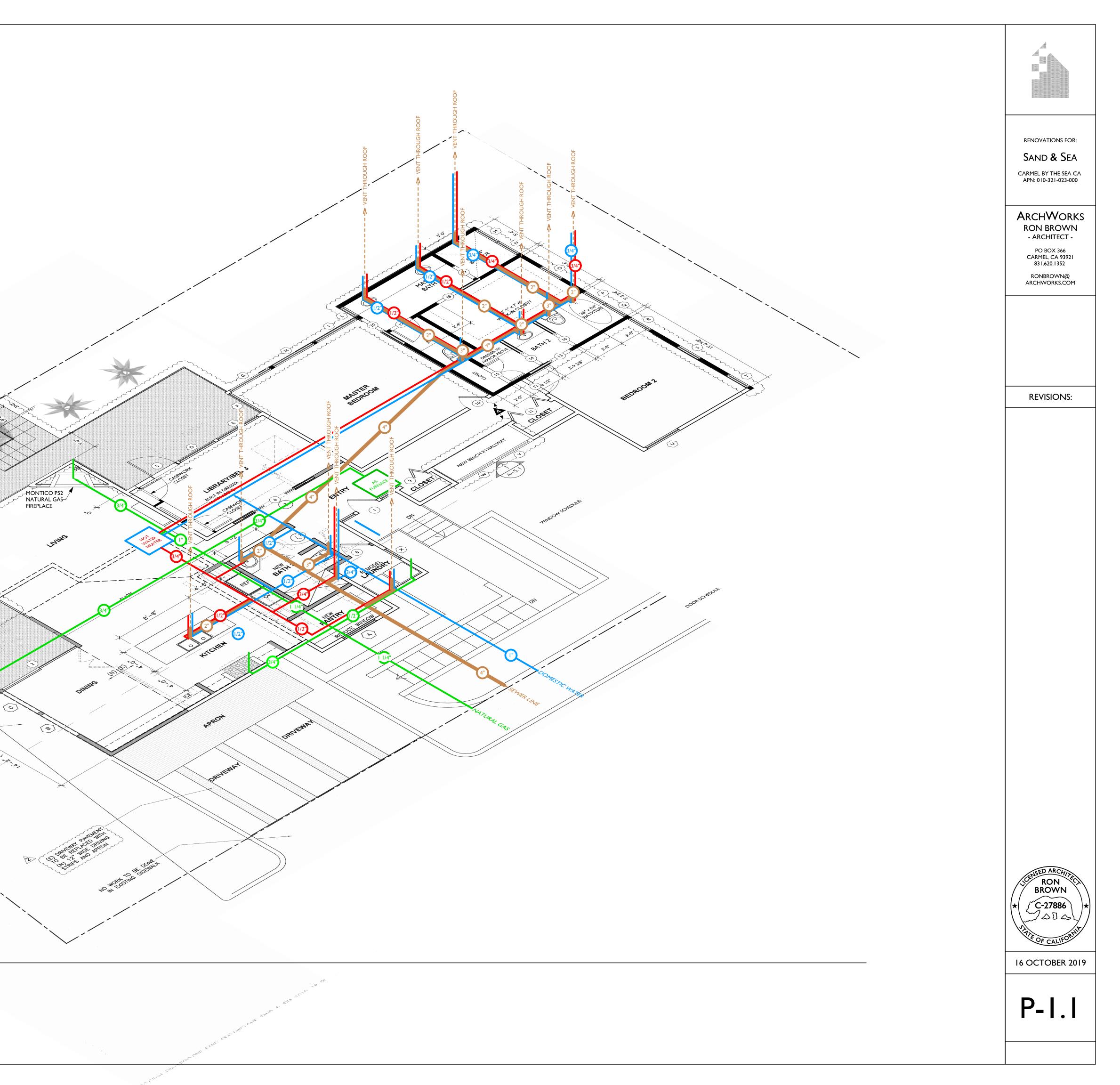
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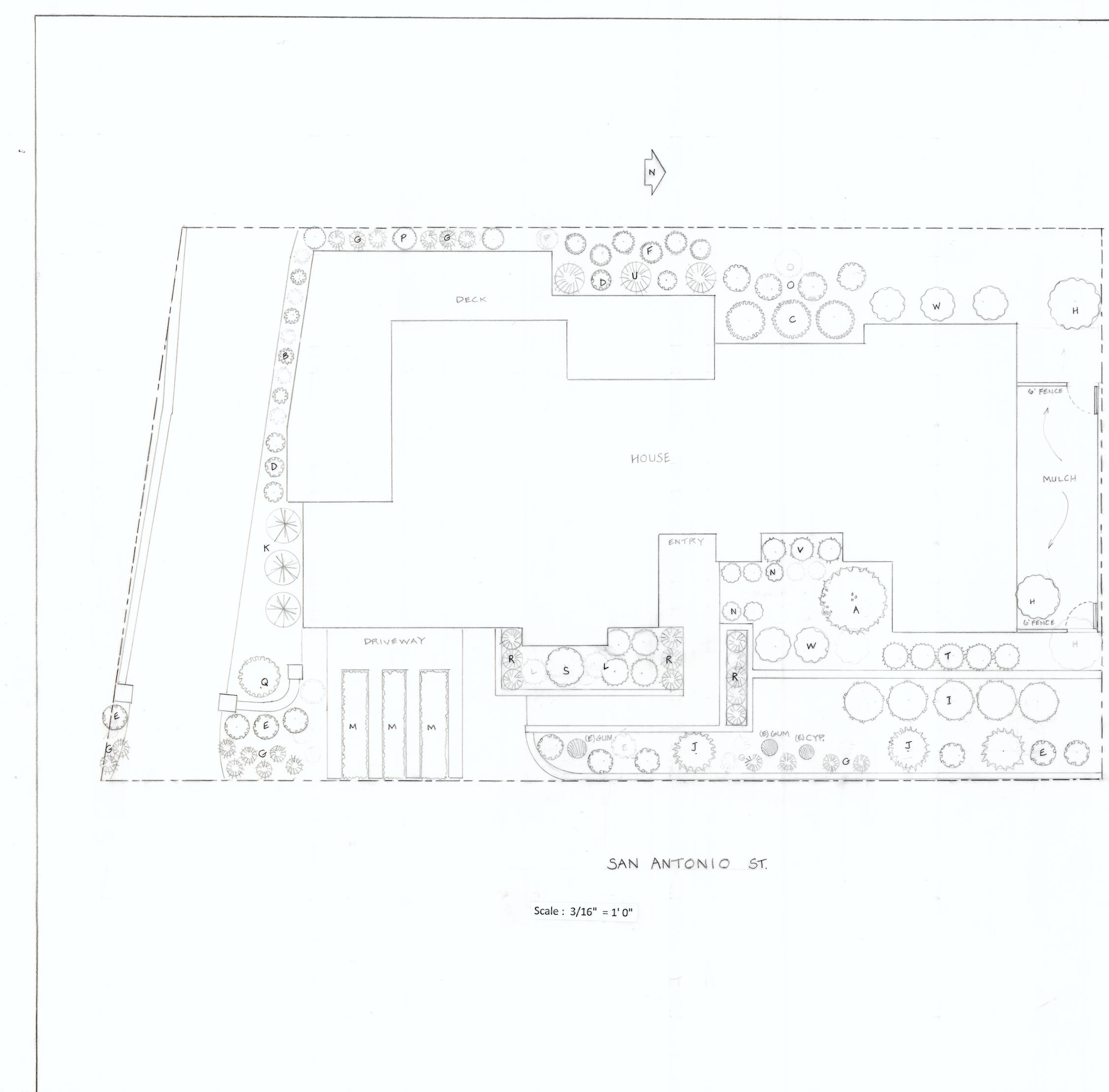
REPLACE PORTION OF (E) REPLACE PORTION OF (N) REPLACE PORTION OF (N) PORTS PARTING

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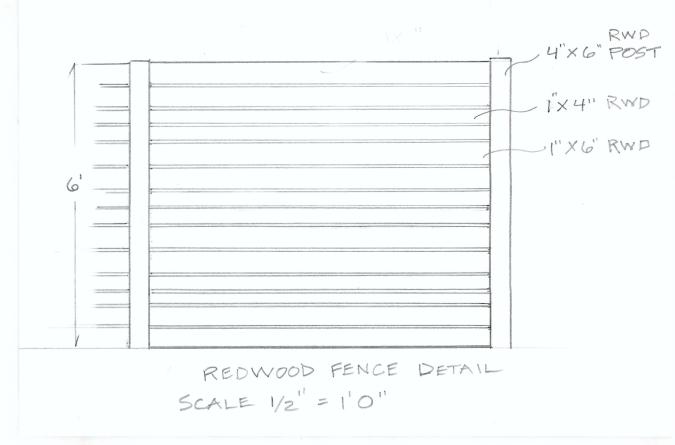




C I	0	<i>c</i> :		
Code	Qty	Size	Botanical Name	Common Name
A	1	15 gal	Acer Palmatum	Red Japanese Maple
В	4	5 gal	Agave 'Blue Glow'	Agave
С	3	5 gal	Adenanthos sericeus	Wooley Bush
D	5	1 gal	Anagazanthus 'Harmony'	Kangaroo Paw
E	10	1 gal	Arctostaphylos 'Carmel Sur'	Manzanita
-	6	1 gal	Bulbine frutescens 'Hallmark'	Bulbine
3	17	1 gal	Calamagrostis foliosa	Pacific Reed Grass
4	2	15 gal	Camellia j. 'Silver Waves'	White Camellia
	5	5 gal	Carpenteria californica	Bush anenome
	3	5 gal	Ceanothus 'Dark Star'	Wild Lilac
(3	5 gal	Chondropetalum 'El Campo'	Small Cape Rush
-	4	5 gal	Correa puchella 'Pink Eyre'	Australian fuchsia
√Î	4	flats	Dymondia margaretae	Silver Carpet
J	5	1 gal	Geranium 'Biokovo'	Geranium
)	4	5 gal	Grevillea 'Coastal Gem'	Grevillea
)	3	1 gal	Helianthemum ' Wisley Primrose'	Sun Rose
2	1	5 gal	Leucadendron 'Tango'	Cone Bush
۲ ×	11	1 gal	Lomandra 'Platanum Beauty'	Matt Rush
-	1	5 gal	Loropetalum chinensis 'Rubrum'	Fringe Flower
-	9	1 gal	Mahonia 'Soft Caress'	Oregon Grape
J	3	5 gal	Muhlenbergia lindheimer	Lindheimer's Muhly
/	3	1 gal	Plectranthus 'Velvet Elvis'	Velvet Elvis Plectranthus

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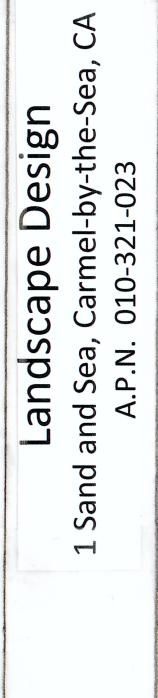




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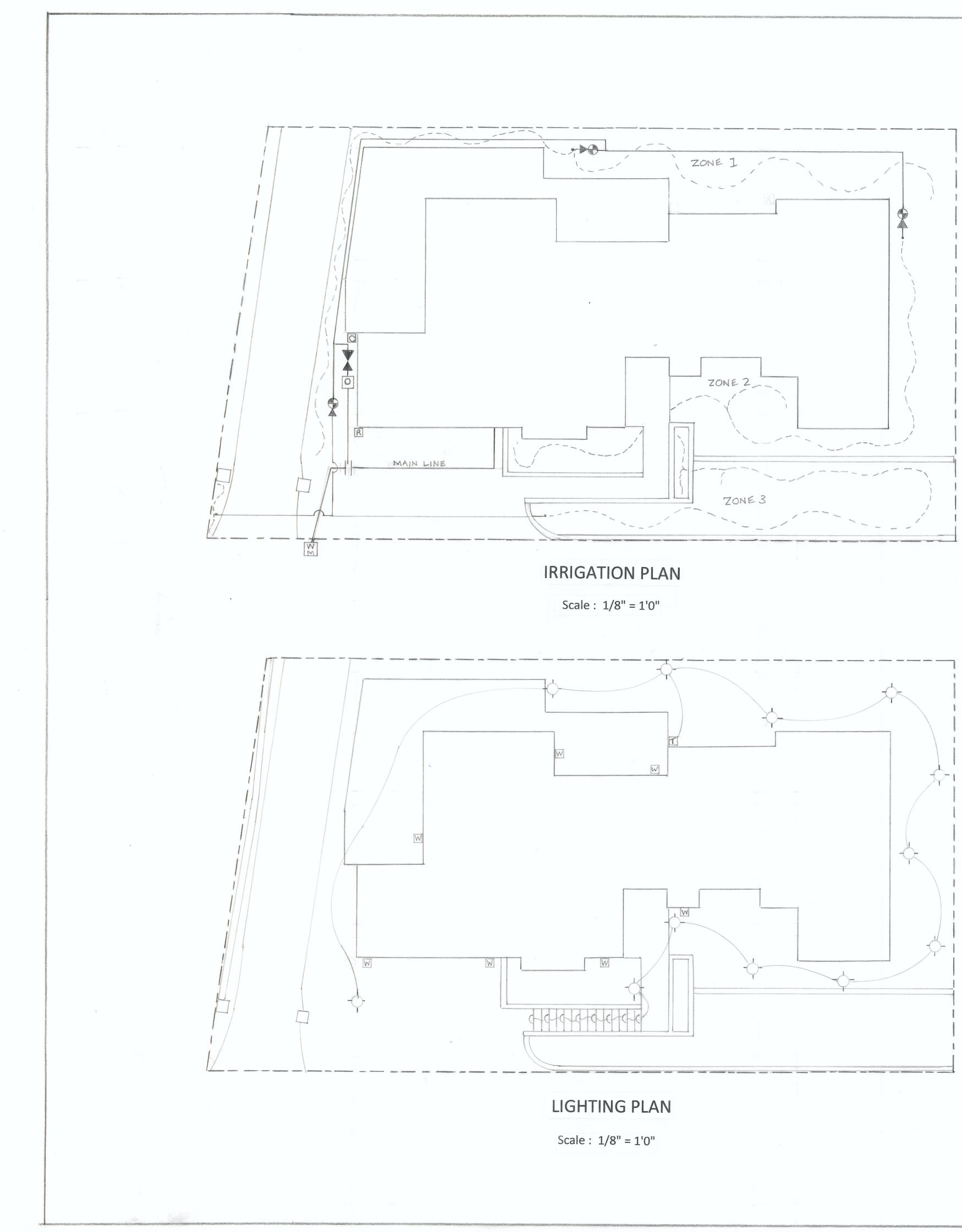
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Robert Shuler Design 2x 2152 RStoweS3@att.net el, CA 93921 831 214-2487 PO Box 2152 Carmel, CA 93921



Date: 10/9/2020 DRAWN BY: RSS

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GENERAL IRRIGATION NOTES:

- 1. Irrigation to be run off separate mainline extension
- with isolation shut off valve 2. All dip lines to have in-line filter
- 3. Pressure for regulator for drip irrigation to be regulated to 25 - 35 PSI
- 4. All valves to be sub-grade within a weatherproof box, gravel base, and lined with gopher wire
- 5. Contractor shall demonstrate the operation to the owner of the irrigation system and provide copy of manual and warranty

IRRIGATION LEGEND:

- Gate shut off valve
- Back-flow Prevention Assembly
- 3/4 " pvc Schedule 40 to valves ▶ ⊕ Control Valve to Drip - Hunter PGV 3/4" globe valve
- with 30 PSI pressure regulator and filter
- Drip Zone Riser from PVC to 1/2" tubing
- ---- Lateral tubing to emitters 1/2" Polyetheline C Controller - Hunter Pro C
- 🕅 Rain Sensor Hunter Rain Clik

ZONES 1 - 3 All Mediterranean climate drought tolerant plant material

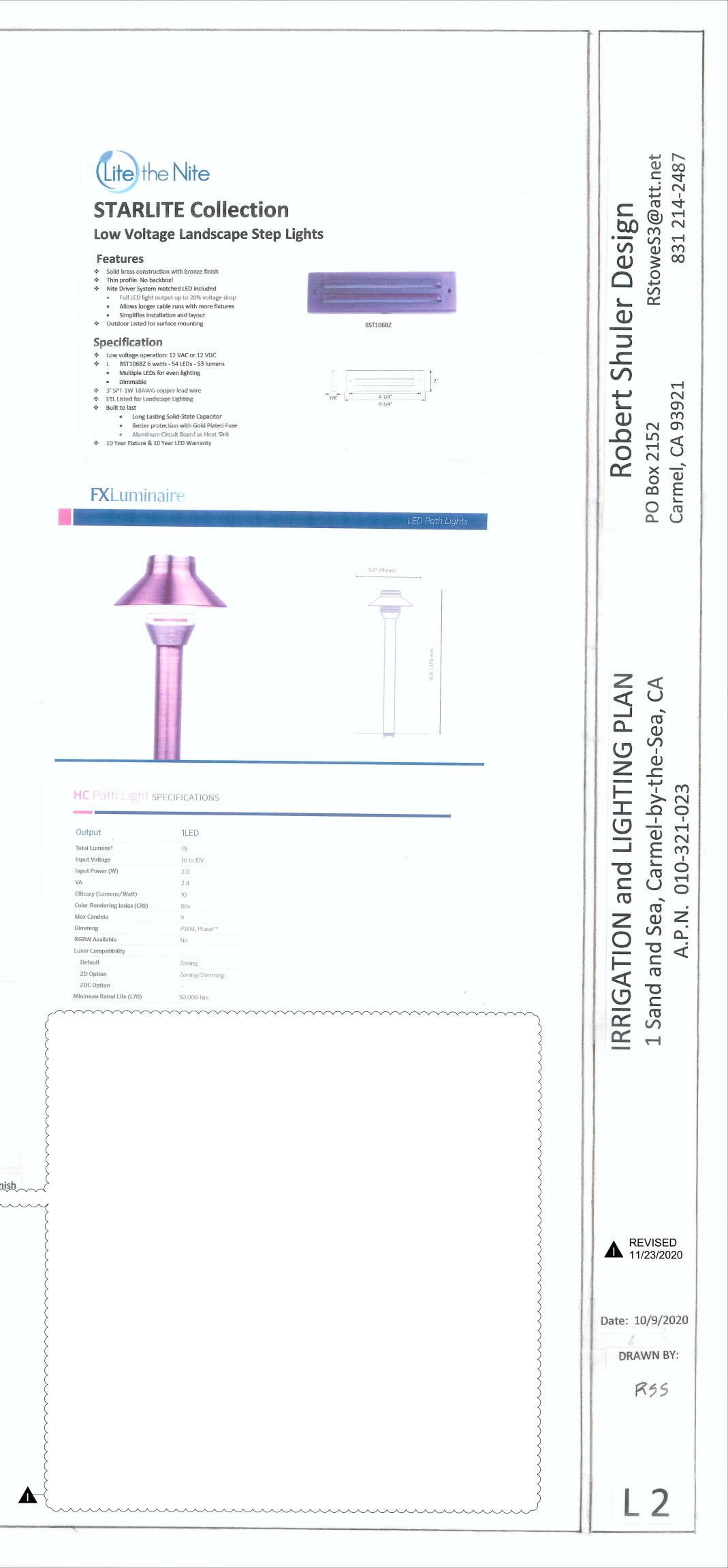
GENERAL LIGHTING NOTES:

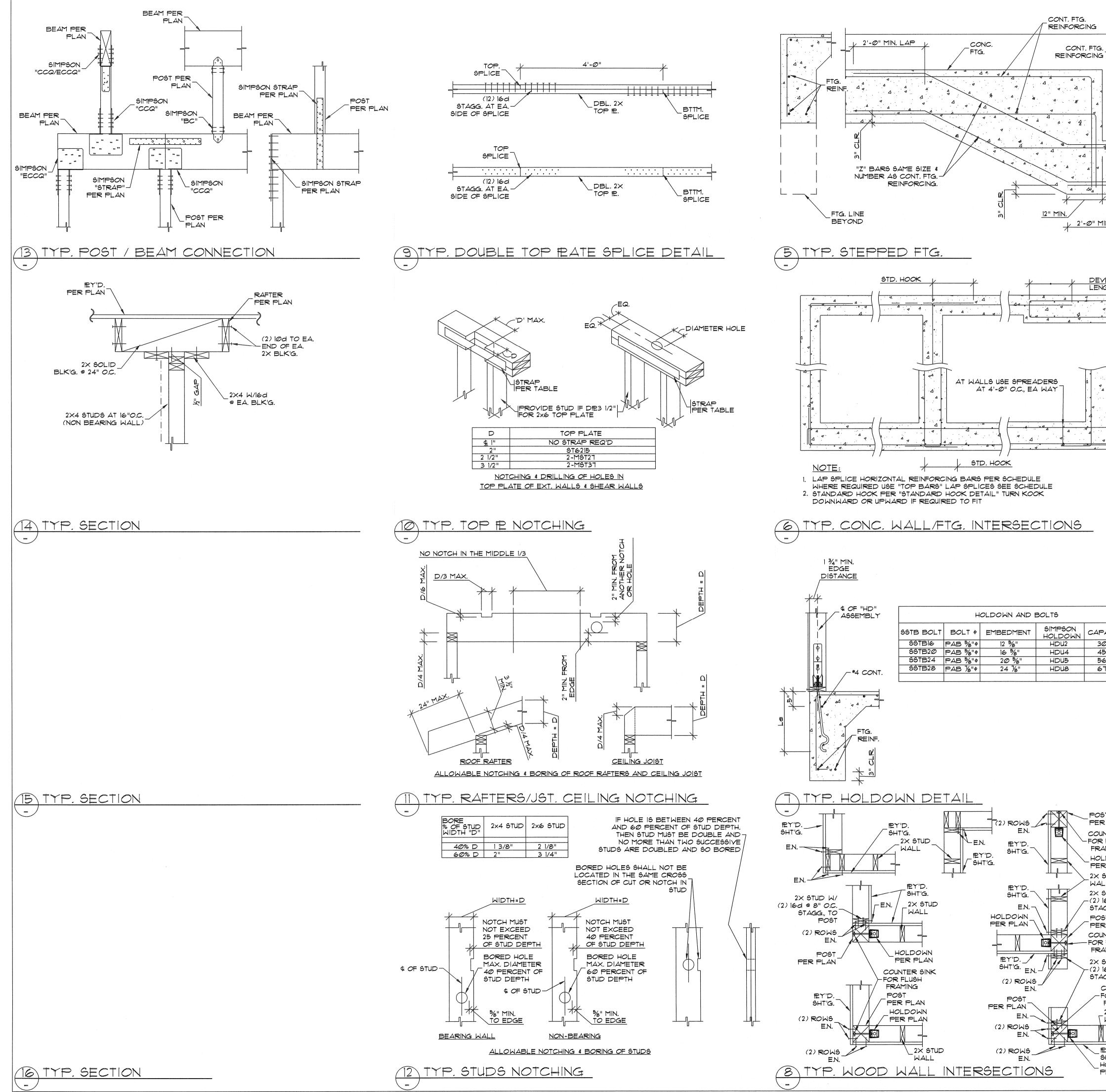
- 1. All lighting shall comply with the requirements of the CA Energy Code, Title 24
- 2. Installing contractor shall verify all dimensions and areas before start of job. 3. All direct burial 12 gauge low volt wiring shall be 6" below grade and
- adjacent to hardscape where possible.
- 4. All materials shall be new and in perfect condition. 5. Contractor shall demonstrate the operation system to the owner and provide copy of operating manual and warranty.

LIGHTING LEGEND

- FX Luminaire 150Watt
 LX Transformer Watts-Stainless Steel Finish

 Hinkley Kore 1873bz (see Sheet E-1.1 For Specifications)
- FX Luminaire HC Path Light
- 📩 LitetheNight LED Step Light 12 Guage direct buriel low voltage wiring





DA.

2'-0" MIN. LAP

CAPACITY

3075

4565

5645

6765

POST

PER PLAN

-FOR FLUSH

FRAMING

HOLDOWN

PER PLAN

2× STUD W/

PER PLAN

-FOR FLUSH

FRAMING

2× STUD W/

FRAMING

2× STUD

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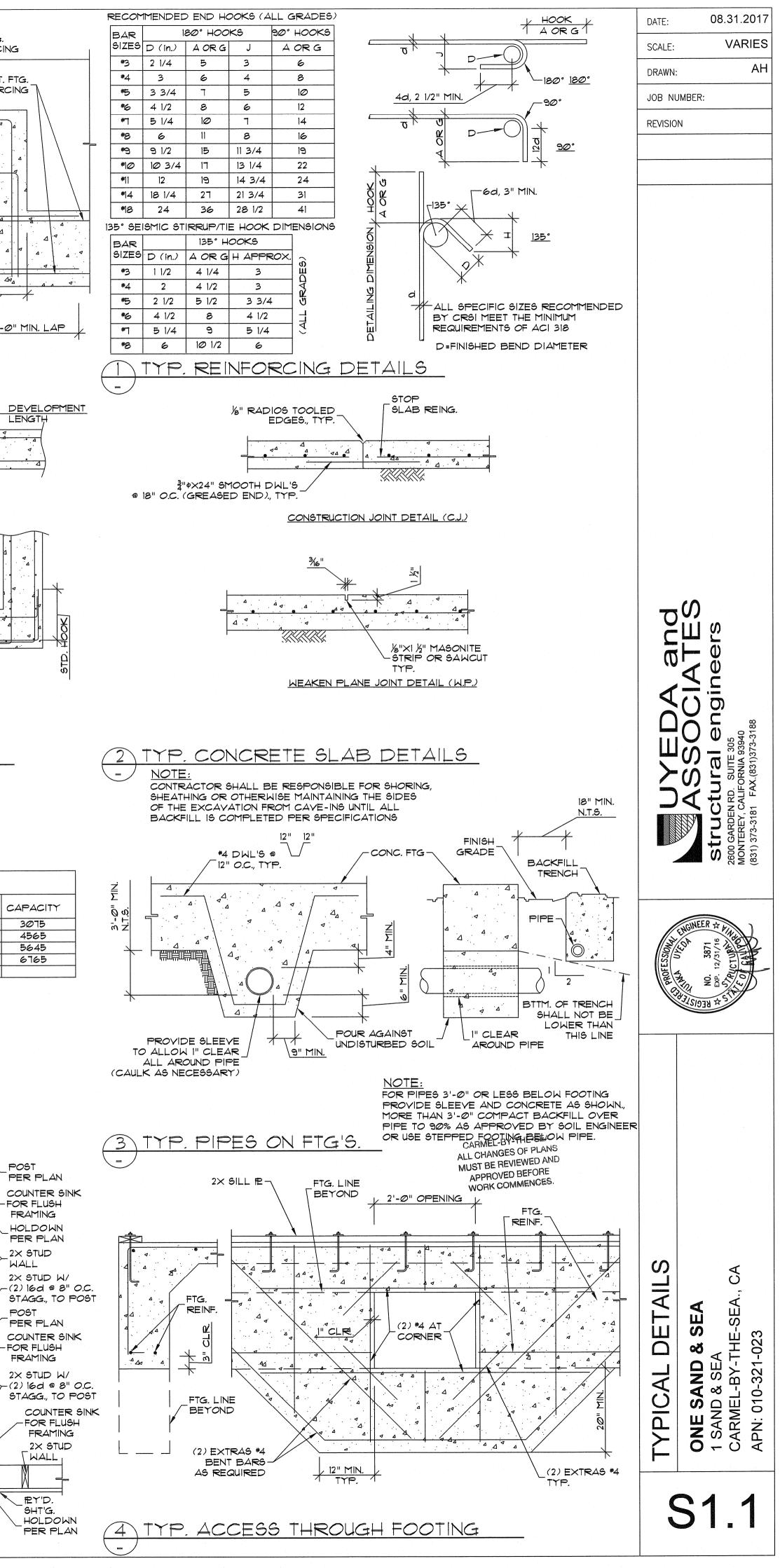
HOLDOWN

PER PLAN

2× STUD

MALL

POST



<u>GENERAL NOTES</u>

1. BASIS DESIGN : CALIFORNIA BUILDING CODE 2016

2. DIMENSIONS AND DATUM

- A. DIMENSIONS, UNLESS OTHERWISE SHOWN, ARE TO CENTERLINE OF COLUMNS AND BEAMS
- OR ROUGH CONCRETE SURFACES.
- B. ELEVATIONS ARE GIVEN WITH REFERENCE TO DATUM GIVEN ON GRADING DRAWINGS.
 C. REFER TO ARCH'L DRAWINGS FOR ANY DIMENSIONS NOT GIVEN.
- D. THERE SERVICE AND DRAFINGS AND DRAFT DIMENSION NOT GIVEN.
- D. THESE STRUCTURAL DRAWINGS ALONE DO NOT INCLUDE ALL DIMENSIONS NECESSARY TO LOCATE STRUCTURAL MEMBERS, SLAB-EDGES, OPENINGS, EMBEDS, CURB DEPRESSIONS, ETC. SHOULD THERE BE DISCREPANCIES BETWEEN DIMENSIONS SPECIFICALLY NOTED, OR BETWEEN DETAILS AND DIMENSIONS NOTED OR INFERRED, CONTRACTOR SHALL BRING THEM TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION, BEFORE FABRICATION.
- E. BASED ON THE DRAWINGS, THE CONTRACTOR SHALL PREPARE A LAYOUT AS NEEDED TO ESTABLISH ELEVATIONS. HORIZONTAL DIMENSIONS AND
- OTHER RELATIONSHIPS NOT SPECIFICALLY SHOWN. F. DO NOT SCALE DIMENSIONS, USE WRITTEN DIMENSIONS.

3. FOUNDATION

SOIL REPORT:

- 1. THE FOLLOWING SOIL REPORT SHALL BE REFERENCED FOR THIS PROJECT IT IS CONTRACTOR RESPONSIBILITY TO GET THE LATEST REPORT INCLUDING THE LATEST AMENDMENTS IF ANY.
- A. ALLOWABLE PRESSURE = 2000 PSF (DL+LL) CLASS 4, SAND. CBC TABLE 1806.2

4. CONCRETE

- A. BASIS FOR DESIGN : F'C = 2500 psi FOR FLOOR SLAB, F'C = 2500 psi FOR FOOTINGS,
- B. ALL CONCRETE SHALL BE REINFORCED UNLESS SPECIFICALLY MARKED NOT REINFORCED
- C. CONCRETE SHALL BE MACHINE MIXED AND DELIVERED IN ACCORDANCE WITH A.S.T.M. C-94.
- D. MINIMUM COVER FOR REINFORCEMENT IN CONCRETE CONSTRUCTION SHALL BE AS FOLLOWS: 3" FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH
 - FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH. FOR FORMED CONCRETE EXPOSED TO EARTH OR WEATHER.
 - 2" 1 1/2"
 - FOR REINFORCEMENT IN BEAMS AND COLUMNS.
 - 3/4" FOR REINFORCING IN SLABS.

5. <u>CONCRETE WORK</u>

- A. PORTLAND CEMENT SHALL CONFIRM TO THE ASTM STANDARD SPECIFICATIONS FOR PORTLAND CEMENT. C-150, LATEST EDITION. TYPE I AT ALL LOCATIONS. ONE BRAND OF CEMENT SHALL BE USED THROUGHOUT. AIR ENTRAINING OR ADMIXTURES MAY BE USED (NONE SHALL CONTAIN CALCIUM CHLORIDE).
- B. <u>AGGREGATES</u> ASTM C-33 LATEST EDITION. AGGREGATES AT FOOTINGS MAY BE ORDINARY LOCAL AGGREGATES, ALL OTHER CONCRETE INCLUDING THAT AT EXTERIOR SIDEWAIKS AND SLABS SHALL HAVE GRANITE OR APPROVED LIMSTONE COARSE AGGREGATE AND FELTON-OLYMPIA SAND FINE AGGREGATE.

C. <u>MIX DESIGN</u>

- 1. <u>CONCRETE MIX DESIGN:</u> ALL CONCRETE DESIGN MIXES SHALL DESIGN BY A TESTING LABORATORY APPROVED BY ENGINEER. ALL MIXES SHALL CONFIRM TO APPLICABLE BUILDING CODE REQUIREMENTS, REGARDLESS OF ANY MINIMUM REQUIREMENTS LISTED HEREIN OR IN THE DRAWINGS. ALL MIX DESIGN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL BEFORE BEING USED. MIX DESIGN SHALL SHOW PROPORATION OF CEMENT, FINE AND COARS AGGREGATE, AND WATER GRADUATION OF COMBINED AGGREGATES.
- 2. <u>MINIMUM MIX REQUIREMENTS</u>: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DESIGN THE MIXES TO PROVIDE THE MINIMUM REQUIREMENTS LISTED BELOW.

MIN STRENGTH @ 28 DAYS		MAX AGGREGATE SIZE	MAX SLUMP	W/C*
FOUNDATION	2500	1 1/2 INCHES	4	.6
SLAB ON GRADE	2500	1 1/2 INCHES	4	.5

- E. ALL REINFORCING, ANCHOR BOLTS, INSERT, ETC., SHALL BE RIGIDLY SECURED IN PLACE PRIOR TO POURING CONCRETE.
- F. ALL HORIZONTAL REINFORCING TO BE SUPPORTED ON GALVANIZED CHAIR, EXCEPT THE MOTOR BLOCKS OR OTHER APPROVED METHOD OF SUPPORT SHALL BE USED AT FOOTINGS AND LAND SLABS ON GRADE.
- G. FROM REMOVAL: EDGE FORMS AT SLAB-24HRS AFTER POURING
- WALLS LESS THAN 4'-0" HIG-36HRS AFTER POURING.

6. STEEL REINFORCEMENT

- A. USE REINFORCING CONFORMING TO A.S.T.M. A-615, GRADE 40 FOR #3 OR SMALLER & GRADE 60 FOR #4 OR LARGER.
- B. ALL REINFORCEMENT IN ITS TRUE HORIZONTAL AND/OR VERTICAL POSITION WITH DEVICES SUFFICIENTLY
- NUMEROUS TO PREVENT DISPLACEMENT. C. ALL REINFORCEMENT SHALL BE CONTINUOUS STAGGER SPLICES IN ADJACENT BARS, LAP 40 DIAMETERS AT SPLICES UNLESS OTHERWISE NOTED.
- D. ALL REINFORCING TO BE WELDED SHALL BE LOW ALLOY A706 STEEL.
- ALL REBAR WELDING TO COMPLY WITH AWS D1.4.

7. LUMBER AND TIMBER FRAMING

A. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH, MANUFACTRED AND GRADED PER NATIONAL DESIGN SPECIFICATION, LATEST ADDITIONS, UNLESS SPECIFICALLY SHOWN OTHERWISE. FOR LUMBER GRADES SEE PLAN, STUDS, BLOCKING AND PLATES SHALL BE *2 OR BETTER. ALL LEDGERS AND NAILERS SHALL BE *1 OR BETTER. LUMBER SHALL BE IN ACCORDANCE WITH NDS SUPPLEMENT TABLES 2A, 4A, 4B, 4C, 4D, 5A, 5B & 5C

#1: 2X OR 4X WIDER	#2: 2× 0R 4× WIDER
BENDING (F6) = 1000 PSI	BENDING (F6) = 900 PSI
SHEAR (FV) = 180 PSI	SHEAR (FV) = 180 PSI
#1: 6X BEAM	*2: 6X BEAM
BENDING (F6) = 1350 PSI	BENDING (F6) = 875 PSI
Shear (F7) = 170 PSI	Shear (FV) = 170 PSI

- B. ROOF SHEATHING SEE PLAN
- C. "GLUE LAMINATED TIMBER" SHALL BE MANUFACTURED FROM SPECIES AND GRADES OF LUMBER WHICH WILL PRODUCE DESIGN VALUES EQUAL OR EXCEEDING THE FOLLOWING WHEN LOADED PERPENDICULAR TO THE WIDE FACES OF THE LAMINATIONS : BENDING (Fb) = 2400 PSI
 - SHEAR (FV) = 165 PSI
 - MODULUS OF ELASTICITY (E) = 1,800,000 PSI

GLU-LAM BEAMS SHALL BE INDUSTRIAL APPEARANCE UNLESS NOTED ON PLANS. PROVIDE TENSION LAM AT TOP AND BITM OF CANTILEVER. PROVIDE AITC CERTIFICAION TO BUILDING DEPT. GLU-LAMINATED WOOD SHALL CONFORM TO & BE ACCOMPANIED BY AN APPROVED EVIDENCE OF COMPLIANCE W/ NATIONAL DESIGN SPECIFICATION & CHAPTER 23 OF C.B.C. SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW & APPROVAL PRIOR TO MANUFACTURE.

D. ALL NAILING SHALL BE AS INDICATED IN TABLE 2304.10.1 EXCEPT AS SHOWN OTHERWISE. NAILS SHALL BE GALVANISED COMMON WIRE NAILS OR GALVANIZED BOX NAILS (NAILING FOR PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED PER C.B.C 2304.3)

MINIMUM PERMISSIBLE NAILING

JOIST, RAFTER	TO BEARING	(3) 16d TOENAILS
	TO PARALLEL MEMBERS	16d a 12" O.C.
BLOCKING	TO JOIST OR RAFTERS	(2) IGO TOENAILS EACH END
HERRINGBONE BRIDGING	TO STUDS	(2) IGO TOENAILS EACH END
MULTIPLE STUDS / JOISTS	EACH LAYER	16d @ 12" O.C STAGGERED

- E. ALL MACHINE BOLTS (M.B.) SHALL BE A3Ø1
- F. BOLT HOLES IN STEEL SHALL BE 1/16" LARGER THAN BOLTS, PROVIDE M.I., WASHERS AT ALL HEADS OR NUTS BEARING AGAINST WOOD, RETIGHTEN ALL BOLTS BEFORE CLOSING IN OR UPON JOB COMPLETION WHERE BOLTS BEAR AGAINST BEAR WOOD, PROVIDE PLATE WASHERS FOR ALL HEADS AND NUTS IN THE FOLLOWING SIZES :

BOLTS SIZES	STEEL PLATE WASHERS
1/2"\$ to 5/8"\$	$2" \times 2" \times 1/4"$
3/4"\$ to 7/8"\$	3" × 3" × 1/4"
1"4 to 1 1/4"4	4" x 4" x 3/8"

- G. ALL REFERENCE OF "SIMPSON" INDICATES STRUCTURAL FASTENERS MANUFACTURED BY "SIMPSON" METAL PRODUCTS. SEE SPECIFICATIONS FOR DETAILS REQUIREMENTS. NAILING SHALL BE IN ACCORDANCE WITH MANUFACTURE'S INSTRUCTIONS, WITH A NAILS PROVIDED FOR EACH PUNCHED HOLES
- H. ALL WOOD IN CONTACT WITH CONCRETE OR MAGONRY SHALL BE PRESSURE TREATED ALL "SIMPSON" CONNECTORS & FASTENERS IN PRESERVATIVE TREATED WOOD SHALL BE A COROSION RESISTANCE APPROVED BY "SIMPSON" SPECIFICATIONS

8. STRUCTURAL OBSERVATIONS

A. THE ENGINEER OF RECORD WILL MAKE PERIODIC SITE INSPECTIONS DURING CONSTRUCTION, THE ENGINEER WILL SUBMIT WRITTEN VERIFICATION THAT STRUCTURE HAS BEEN BUILT IN ACCORDANCE WITH APPROVED PLANS & SPECIFICATIONS. THE ENGINEER WILL SUBMIT COPIES OF HIS REPORTS TO THE OWNER, CONTRACTOR AND BUILDING OFFICIAL

9. SPECIAL INSPECTIONS

/2\

 STRUCTURAL TESTS AND SPECIAL INSPECTIONS SHALL BE IN CONFORMANCE WITH SECTION 1705 OF THE 2016 CBC. THE FOLLOWING CHECKED ITEMS SHALL REQUIRE SPECIAL INSPECTION

ITEM	REQUIRED IF CHECKED	CBC SECTION REFERENCE	
ADHESIVE ANCHORS INSTALLED	YES	17Ø5.3	
STRUCTURAL STEEL WELDING	YES	17Ø5.2	

- 2. FINAL SIGNED SPECIAL INSPECTION REPORTS SHALL BE SUBMITTED BY SPECIAL INSPECTOR IN ACCORDANCE WITH CBC SECTION 1705.1
- 3. IT IS THE OWNER'S SOLE RESPONSIBILITY TO SEE THAT THESE TEST AND INSPECTIONS ARE PERFORMED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER WHEN THESE TESTS ARE TO BE CONDUCTED. THE INSPECTOR SHALL BE EMPLOYED BY THE OWNER

ABBREVIATIONS:

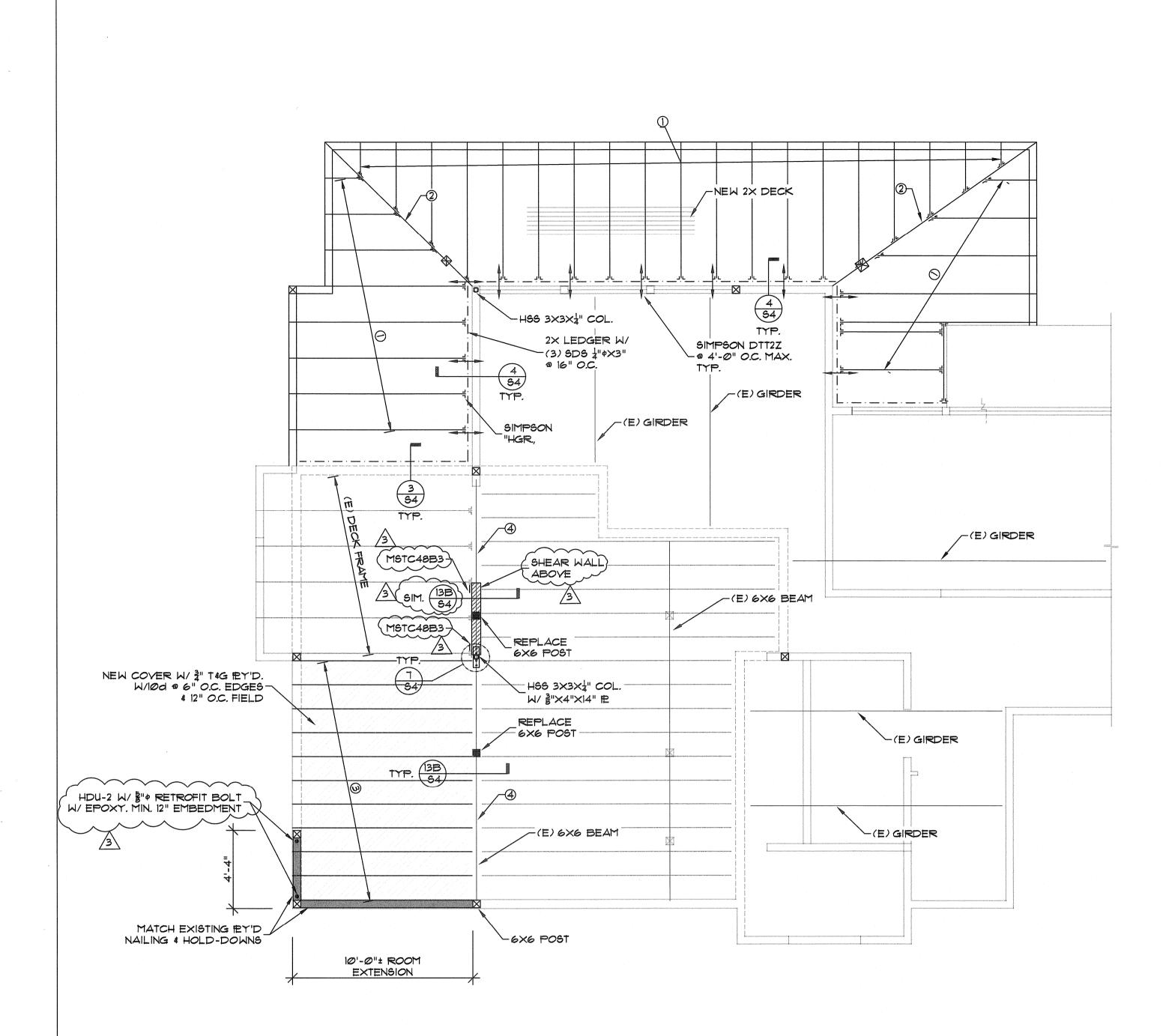
ŧ	AND
ବ ⊈	AT CENTERI INF
φ	CENTERLINE DIAMETER OR ROUND
A.B.	ANCHOR BOLT
ALT.	ALTERNATE
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
BLKG.	BLOCKING
BLDG.	BUILDING
BM.	BEAM.
BTWN.	BETWEEN
BTTM.	BOTTOM
C.B.C. C.J.	CALIFORNIA BUILDING CODE
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONN	CONNECTION
CONSTR.	CONSTRUCTION
CONT.	CONTINUOUS
DBL.	DOUBLE
DET.	DETAIL
D.F.	DOUG FIR/LARCH
DIA.	DIAMETER
DIM.	DIMENSION
DWG.	DRAWING
E	EXISTING
EA.	EACH
E.F.	EACH FACE
E.J.	EXPANSION JOINT
EL.	ELEVATION
E.N.	EDGE NAIL
EQ.	EQUAL
E.W.	EACH WAY
FDN	FOUNDATION
F.F.	FAR FACE
FIN.	FINISH
FL,	FLOOR
F.N.	FIELD NAIL
F.O.C.	FACE OF CONCRETE
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
FRM.	FRAMING
FTG.	FOOTING
GALV.	GALVANIZED
GB	GRADE BEAM
GLB	GLU-LAMINATED BEAM
GR.	GRADE
	HOLDOWN
HDR.	HEADER
HVR. HK.	HOOK
HN. HORIZ.	HORIZONTAL
HURIZ. H.S.B.	HIGH STRENGTH BOLT
I.D.	INGIDE DIAMETER
I.F.	INGIDE FACE
l.J	ISOLATION JOINT

INSUL. INT. LB. LDGR. MAX. M.B. MECH. MFGR. MIN. MISC. MTL. N N.F. N.I.C. NO. NOM. N.T.S. O.C. O.D. O.F. O.H. OPNG. OPP. PL. PLYWD, PSI P.T. REF. REINF. REQ'D S.A.D. SCHED. SECT. SHT. S.J. SIM. S.M.D. 5.O.G. SPEC. STD. STL. SYM. T∉B T≰G THK. Ť.O. T.O.C. T.O.S. TYP. U.O.N. VERT. M/W/O. WP. WT. MME

INSULATION INTERIOR POUND. LEDGER MAXIMUM MACHINE BOL MECHANICAL MANUFACTURER MINIMUM MISCELLANEOUS METAL NEM NEAR FACE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE ON CENTER OUTSIDE DIAMETER OUTSIDE FACE OPPOSITE HAND OPENING OPPOSITE PLATE PLYWOOD POUNDS PER SQUARE INCH PRESSURE TREATED REFERENCE REINFORCED REQUIRED SEE ARCH, DRAWINGS SCHEDULE SECTION SHEET SAWCUT JOINT SIMILAR SEE MECH, DRAWINGS SLAB ON GRADE SPECIFICATION STANDARD STEEL SYMMETRICAL TOP & BOTTOM TONGUE & GROOVE THICK TOP OF TOP OF CONCRETE TOP OF STEEL TYPICAL UNLESS OTHERWISE NOTED VERTICAL MITH WITHOUT WATERPROOF WEIGHT WELDED WIRE FABRIC

CARMEL-BY-THE-SEA ALL CHANGES OF PLANS MUST BE REVIEWED AND APPROVED BEFORE WORK COMMENCES

	DATE: SCALE:		8		2017 RIES
4	DRAWN: JOB NU	IMBER: 1/13/24	018		AH
		()			
	YEDA and	ASSOCIATES	ctural engineers	N RD. SUITE 305 CALIFORNIA 93940	FAX.(831)373-3188
	5	SA	structur	2600 GARDEN RD. SUITE 305 MONTEREY, CALIFORNIA 9394	(831) 373-3181 FAX.(
	PROFESSION	NGINEE	NU. 38/1 2 EXP. 12/31/16 2	FUCTURE ALIFORT	N
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	GENERAL NOTES	ONE SAND & SEA	1 SAND & SEA	CARMEL-BY-THE-SEA., CA	APN: 010-321-023
		S)	1	



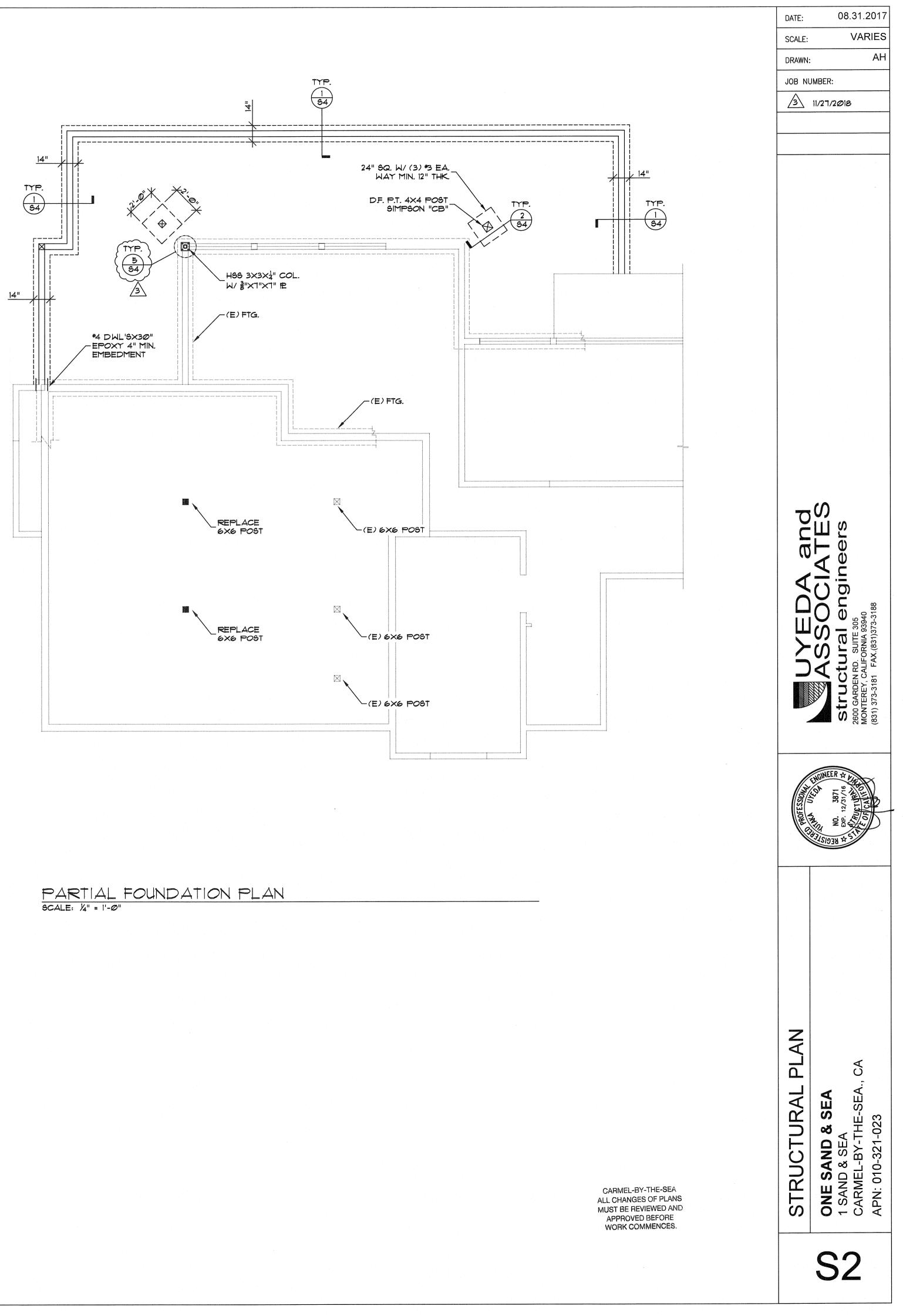
PARTIAL FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"

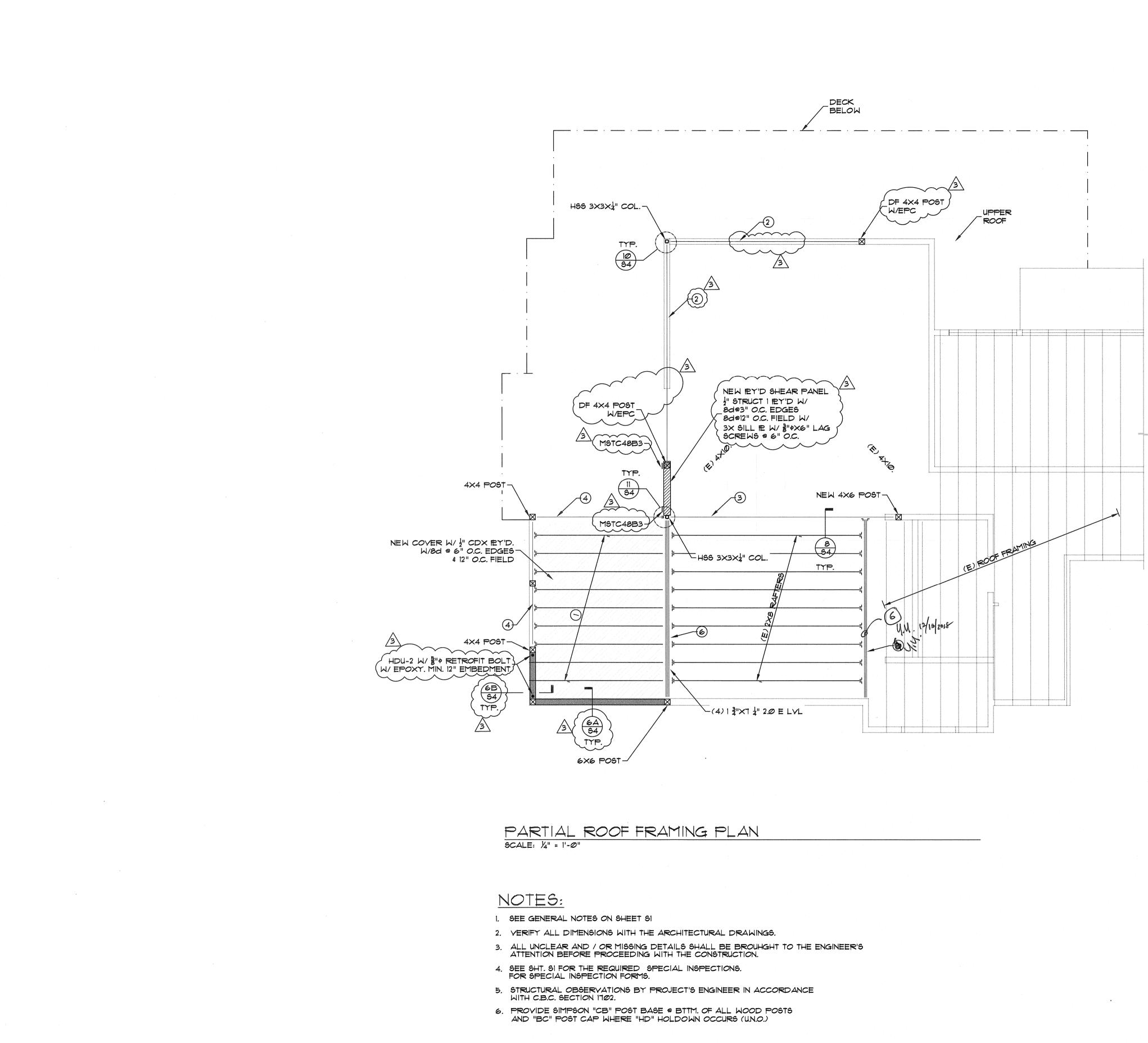
NOTES:

- I. SEE GENERAL NOTES ON SHEET SI
- 2. VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS.
- 3. ALL UNCLEAR AND / OR MISSING DETAILS SHALL BE BROUHGHT TO THE ENGINEER'S ATTENTION BEFORE PROCEEDING WITH THE CONSTRUCTION.
- 4. SEE SHT. SI FOR THE REQUIRED SPECIAL INSPECTIONS. FOR SPECIAL INSPECTION FORMS.
- 5. STRUCTURAL OBSERVATIONS BY PROJECT'S ENGINEER IN ACCORDANCE WITH C.B.C. SECTION 1702.
- 6. PROVIDE SIMPSON "CB" POST BASE @ BTTM. OF ALL WOOD POSTS AND "BC" POST CAP WHERE "HD" HOLDOWN OCCURS (U.N.O.)

FRAMING SCHEDULE

- 1. D.F. P.T. 2×10 @ 24" O.C.
- 2. D.F. P.T. 4×12
- 3. D.F. 2X10 *2 G.R. @ 16" O.C.
- 4. REPLACE EXISTING 6×6 BM. TO 5 1/4"×24" GLB. CUT TO FIT

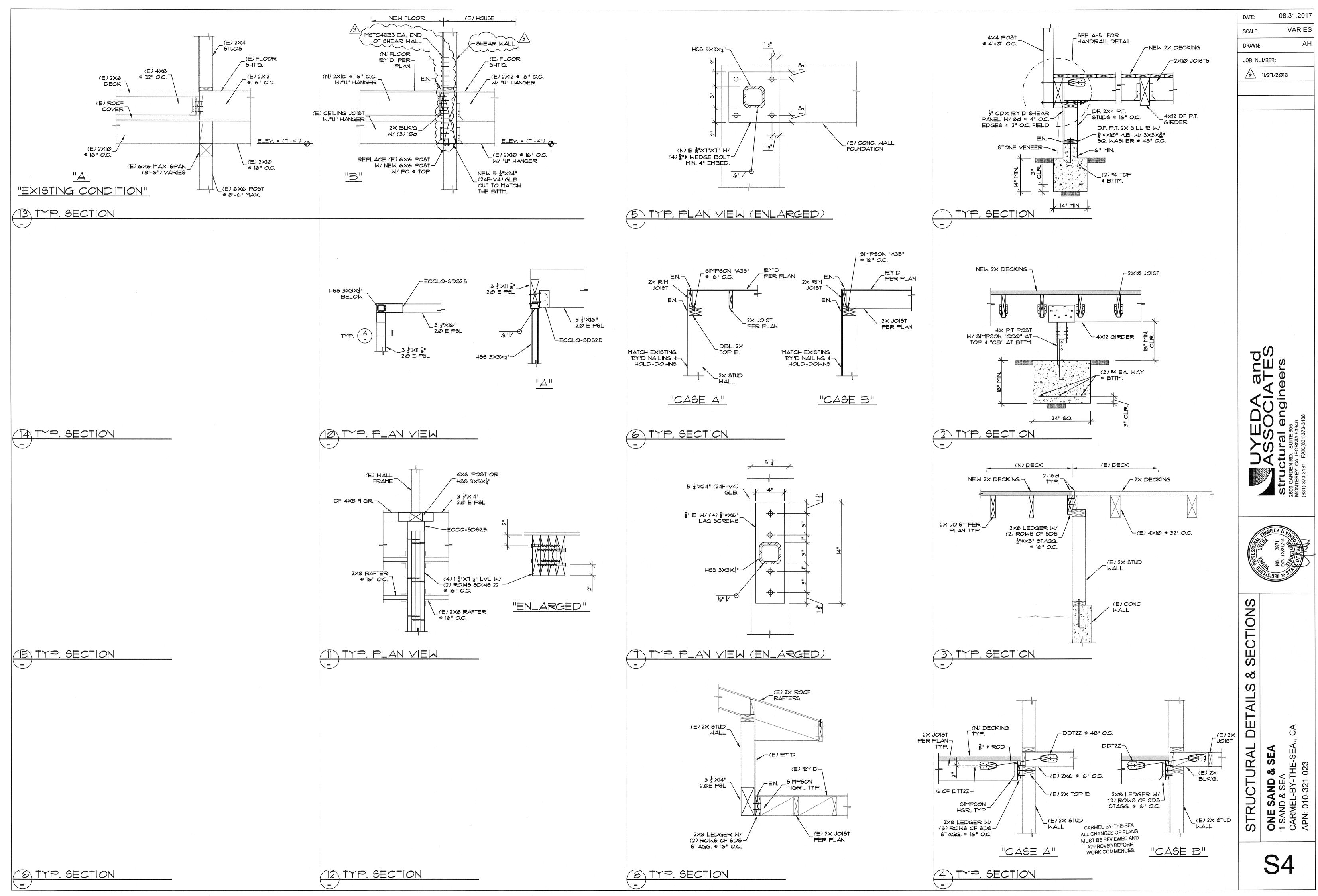




FF	RAMING SCHEDULE
1.	D.F. 2×8 #2 G.R. @ 16" O.C.
2.	3 1/2"×16" 2.0E PSL
З.	3 1/2"×14" 2.0 E PSL
4.	D.F. 4×8 # GR.
5.	3 1/2"×11 7/8" 2.0 E PGL
6.	(4) 1 3/4"XT 1/4" 2.0E LVL
٦.	(3) 3/4"XT /4" 2.0E LVL

	4		1			

08.31.2017 DATE: VARIES SCALE: ΑH DRAWN: JOB NUMBER: 3 11/27/2018 р С Ш Chemist I QF Real Property in Шù V. JAKEN 2600 GARD MONTEREY (831) 373-3 NGINEER -AN Ω CA STRUCTURAL | one sand & sea 1 sand & sea carmel-by-the-sea, apn: 010-321-023 CARMEL-BY-THE-SEA ALL CHANGES OF PLANS MUST BE REVIEWED AND APPROVED BEFORE WORK COMMENCES. **S**3



Project Name: 1 Sand and Sea Calculation Description: Title 24 Analysis	LIANCE METHOD Calculation Date/Time: 11:18, Tue, Sep 05, 2017 Input File Name: 17-464 1 Sand and Sea E+A+A.	_	CERTIFICATE OF COMP Project Name: 1 Sand ar Calculation Description:				i me: 11:18, Tue, Sep 7-464 1 Sand and Se	
GENERAL INFORMATION			OPAQUE SURFACES				(
01 Project Name 1 Sand and Sea			01	02	03	04 05	5 06	07
02 Calculation Description Title 24 Analysis 03 Project Location 1 Sand and Sea								Window & Doc
04 City Carmel-By-The-Sea	05 Standards Vers	sion Compliance 2017	Name	Zone	Construction		tation Gross Area (ft	
06 Zip Code 93923		ion BEMCmpMgr 2016.2.1 (695)	FWall/E	Existing Bedroom Wing Existing Bedroom Wing	R-11 Wall R-11 Wall	90 Fro 180 Let		120
08 Climate Zone CZ3		ion EnergyPro 7.1	BWall/E	Existing Bedroom Wing	R-11 Wall	270 Bac		74
10 Building Type Single Family	11 Front Orientation (deg/Cardin		RWall/E	Existing Bedroom Wing	R-11 Wall	0 Rig	ght 326.8	48
12 Project Scope Addition and/or Alteration 14 Total Cond. Floor Area (ft ²) 2062	13 Number of Dwelling Un 15 Number of Zon		Raised Floor/E		R-0 Floor Crawlspace		946	
16 Slab Area (ft²) 0	17 Number of Stori		EWall2/E	Existing Living Area Wing Existing Living Area Wing	R-11 Wall R-11 Wall	90 Fro 180 Let		81.5
18 Addition Cond. Floor Area 43	19 Natural Gas Availat	ble Yes	BWall2/E	Existing Living Area Wing	R-11 Wall	270 Bad		239.5
20 Addition Slab Area (ft ²) 0	21 Glazing Percentage	(%) 45.1%	RWall2/E	Existing Living Area Wing	R-11 Wall	0 Rig	ght 246.9	6
COMPLIANCE RESULTS			Raised Floor2/E		R-0 Floor Crawlspace		680	
01 Building Complies with Computer Performance			Partition Floor/E	Existing Living Area Wing>>Garage	0 Floor No Crawlspace		393	
02 This building DOES NOT require HERS Verification			FWall	Addition Only	R-15 Wall	90 Fro	ont 24	0
03 This building incorporates one or more Special Features show			LWall	Addition Only	R-15 Wall	180 Le		72
This compliance analysis is val	alid only for permit applications through October 24, 2017		BWall Partition Floor	Addition Only	R-15 Wall 9 Floor No Crawlspace	270 Bao	uck 24 43	20
[ENERGY USE SUMMARY		FWali3/E	Addition Only>>Garage R-1	R-0 Wall	90 Fro		0
04 05	06 07	08	LWall3/E	Garage	R-0 Wall	180 Le		0
Energy Use (kTDV/ft ² -yr) Standard Design	Proposed Design Compliance Ma		BWall3/E	Garage	R-0 Wall	270 Bao		0
Space Heating 50.05	49.50 0.55	1.1%	RWall3/E	Garage	R-0 Wall	0 Rig	ght 240	0
Space Cooling 32.40 IAQ Ventilation 0.00	<u> </u>	-0.3%						
Water Heating12.60	12.60 0.00	0.0%						
Photovoltaic Offset	0.00 0.00							
Compliance Energy Total 95.05	94.60 0.45	0.5%						
REQUIRED SPECIAL FEATURES								
CA Building Energy Efficiency Standards - 2016 Residential Compliance Report V		HERS Provider: Report Generated at: 2017-09-05 11:19:19 CF1R-PRF-01 Page 2 of 7	CERTIFICATE OF COMP	cy Standards - 2016 Residential Complianc	IANCE COMPLIANCE I	F1R-07312017-695	ime: 11:18 Tue Sec	HERS Report
CA Building Energy Efficiency Standards - 2016 Residential Compliance Report V	Version - CF1R-07312017-695	Report Generated at: 2017-09-05 11:19:19 CF1R-PRF-01 Page 2 of 7	CA Building Energy Efficienc	PLIANCE - RESIDENTIAL PERFORM nd Sea	Report Version - Cl	F1R-07312017-695 METHOD Calculation Date/Tin	ime: 11:18, Tue, Sep 7-464 1 Sand and Se	Report
CA Building Energy Efficiency Standards - 2016 Residential Compliance Report V CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPL Project Name: 1 Sand and Sea Calculation Description: Title 24 Analysis HERS FEATURE SUMMARY	Version - CF1R-07312017-695 PLIANCE METHOD Calculation Date/Time: 11:18, Tue, Sep 05, 2017 Input File Name: 17-464 1 Sand and Sea E+A+A.	Report Generated at: 2017-09-05 11:19:19 CF1R-PRF-01 Page 2 of 7 .ribd16x	CA Building Energy Efficienc CERTIFICATE OF COMP Project Name: 1 Sand ar Calculation Description: OPAQUE SURFACES – Cat	PLIANCE - RESIDENTIAL PERFORM nd Sea n: Title 24 Analysis nthedral Ceilings	e Report Version - Cl IANCE COMPLIANCE I (F1R-07312017-695 METHOD Calculation Date/Tin nput File Name: 17	7-464 1 Sand and Se	Report 0 05, 2017 9a E+A+A.ribd16x
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CA Building Energy Efficiency Standards - 2016 Residential Compliance Report V CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPL Project Name: 1 Sand and Sea Calculation Description: Title 24 Analysis HERS FEATURE SUMMARY The following is a summary of the features that must be field-verified by a certified HER provided in the building components tables below. Building-level Verifications: •None Cooling System Verifications: • None HVAC Distribution System Verifications: • None Domestic Hot Water System Verifications: • None	Version - CF1R-07312017-695 PLIANCE METHOD Calculation Date/Time: 11:18, Tue, Sep 05, 2017 Input File Name: 17-464 1 Sand and Sea E+A+A.	Report Generated at: 2017-09-05 11:19:19 CF1R-PRF-01 Page 2 of 7 .ribd16x	CA Building Energy Efficience CERTIFICATE OF COMP Project Name: 1 Sand ar Calculation Description: OPAQUE SURFACES - Cat 01 Name Roof/E Roof/E Roof	PLIANCE - RESIDENTIAL PERFORM nd Sea 1: Title 24 Analysis 1: thedral Ceilings 02 03 2 01 2	Report Version - Cl IANCE COMPLIANCE I 04 05 0rientatio n (ft ²) Right 946 Right 1073 Right 43	F1R-07312017-695 METHOD Calculation Date/Tin nput File Name: 17 06 Skylight Roof Ris	7-464 1 Sand and Se	Report 0 05, 2017 0 2 E+A+A.ribd16x 09 Reflectan ce 01 0.1 0 0.1 0 0.1 0
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-44

READ THIS FIRST

READ THIS FIRST (BUILDING DESIGNER, CONTRACTORS & BUILDING OFFICIAL)

NEW INSULATION VALUES

R-38 ceiling insulation or higher

R-15 wall insulation or higher

R-19 floor insulation or higher

The following values and systems are required for this project to meet the State Energy Code.

EXISTING INSULATION ASSUMPTIONS

R-11 ceiling insulation or higher

R-11 wall insulation or higher

R-0 floor insulation or higher

WINDOW PERFORMANCE

Average U value of existing windows = 0.99, SHGC=0.74 or lower

Average U value of new windows = 0.32, SHGC=0.32 or lower

EXISTING HVAC PERFOMANCE

(2) 80% eff. FAU or higher

No existing or planned AC

R-6 duct insulation

Ducts located in crawl space

EXISTING DHW PERFORMANCE

EF 0.60 water heater or higher

NO HERS INSPECTIONS REQUIRED ON THIS JOB

Due to the limitations of the State Energy Code Software, the CF-1R for this project shows HERS requirements related to an air conditioning system that does not exist and for a ventilation system that is not required. The building department should ignore that part of the CF-1R. Confirmation for this can be obtained from the CEC.

HERS INSPECTIONS REQUIRED

Besides the performance values listed above, the following HERS inspection items are required to meet the State Energy Code. HERS third party inspections are designed to insure proper installation and project efficiency. Failure to meet all of these requirements will likely delay and or make extremely difficult building department final approval. MEG recommends that the GC meet with the HERS inspector before breaking ground to review requirements.

Duct leakage test

Airflow and Fan Efficacy Testing

Indoor air quality inspection

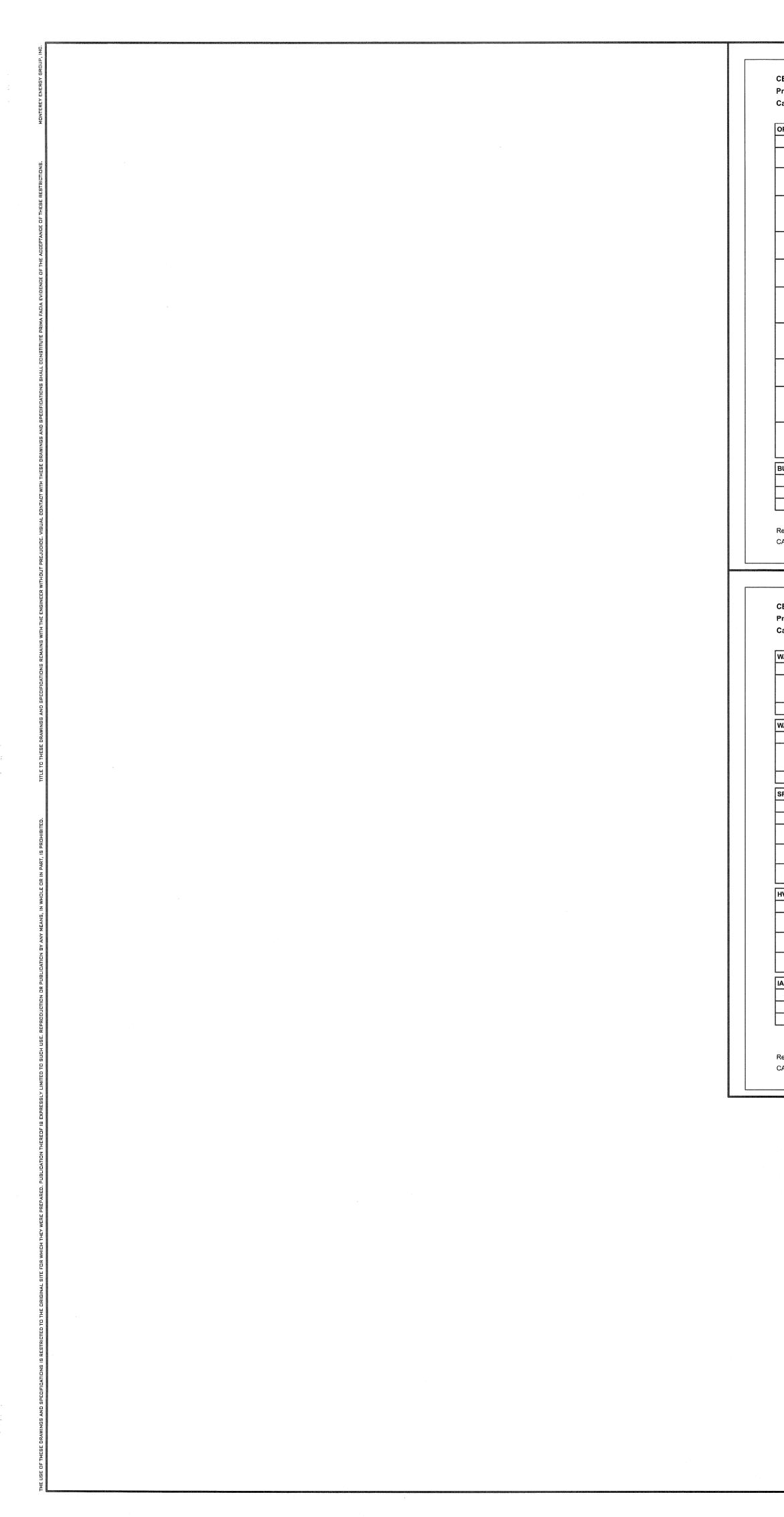
Quality Insulation Inspection (QII)

Refrigerant Charge

CARMEL-BY-THE-SEA ALL CHANGES OF PLANS MUST BE REVIEWED AND APPROVED BEFORE WORK COMMENCES.

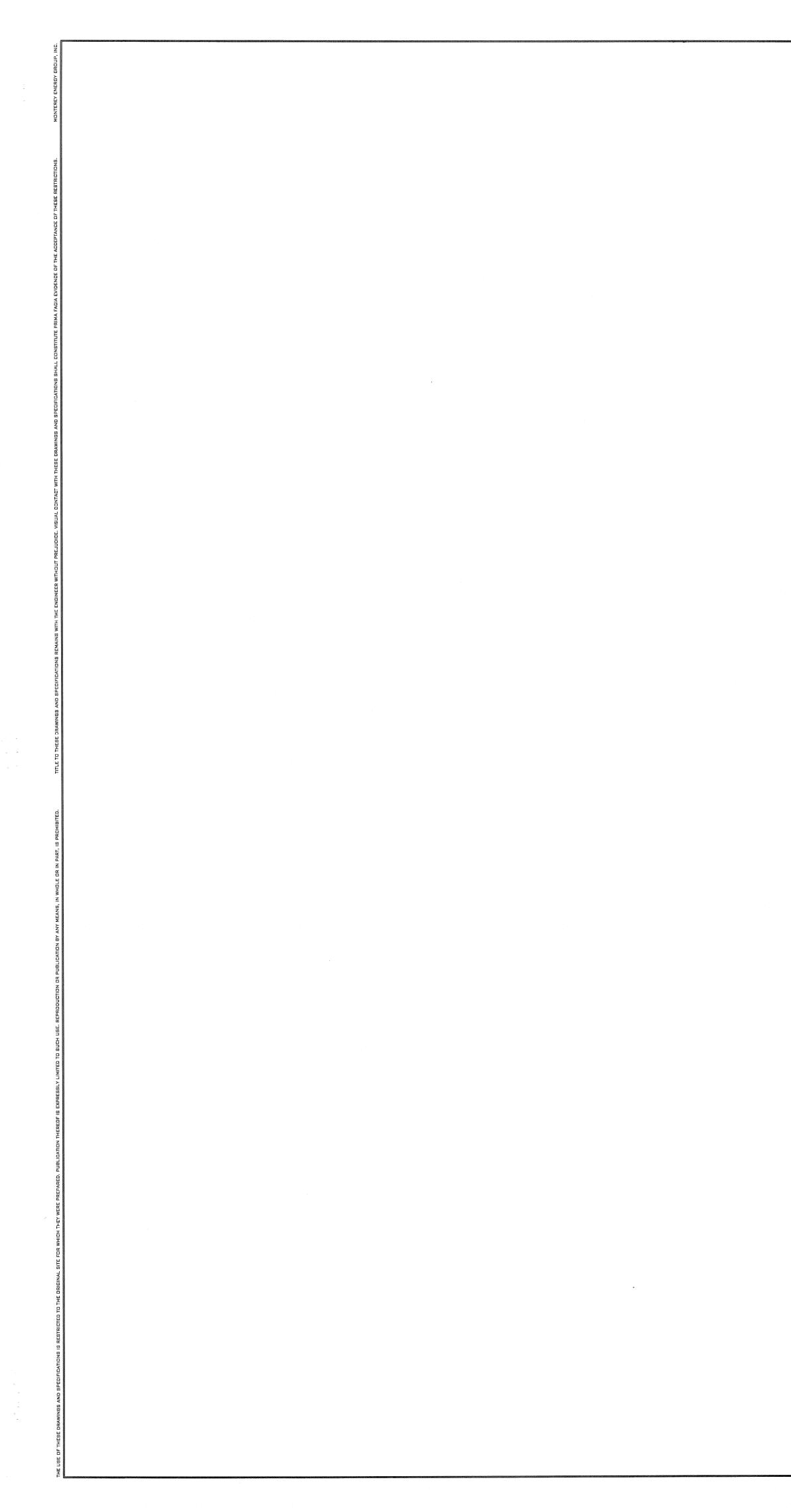
NTEREY ENERGY GROUP sulting Mechanical Engineering	E www.montereyenergygroup.com	cad@meg4.com	
MONTERI Consulting N 26465 Carmel Bar	831-372-8328 VOICE	831-359-4173 FAX	
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SHEET OF SHEETS



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OPAQUE SURFACE C	ONSTRUCTION	IS													DOCUMENT	ATION AUTHOR	'S DECLAR
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Construction Nar	me Su	rface Ty	pe Coi	nstruction	n Type	F	aming	Total Cav R-value		r Design value		Assembly La	yers			on Author Name vid Knight	:
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				****			· · · · · · · · · · · · · · · · · · ·					inish: Gypsum Bo Frame: no insul. /		[Address: 26	465 Carmel	Ranch Bl
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											 Floor De 		sheathing/decking		Company:		
R-0 Floor No Crawls	space Inte	erior Floo	ors Wo	od Frame	d Floor	2x12 @	2 16 in. O.C.	none	0	.196	 Ceiling I 	Frame: no insul. / Below Finish: Gyp inish: Gypsum Bo	sum Board	I -	Address:	erling + Hud	dieson
R-15 Wall	Ext	terior Wa	ills Wo	od Frame	d Wali	2x4 @	16 in. O.C.	R 15	0	.095	 Cavity / 	Frame: R-15 / 2x4 Finish: 3 Coat Stu	4		Ρ.	D. Box 2210	
											 Floor De 	urface: Carpeted eck: Wood Siding/ Frame: R-19 / 2x6	sheathing/decking		City/State/Zi Ca	rmel, CA 93	922
R-19 Floor No Crawls	space Inte	erior Floo	ors Wo	od Frame	d Floor	2x6 @	16 in. O.C.	R 19	0	.048		Below Finish: Gyp Finish: Gypsum Bo					
											 Cavity / 	Frame: R-38 / 2x1					
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BUILDING ENVELOPE	E - HERS VERIF	ICATION	N			02			03		· · · · · · · · · · · · · · · · · · ·	04					
Quality Insul	lation Installati	on (QII)		Quality I	nstallation	of Spray Foa	m Insulatior	n Building I	US Envelope Air	Leakage		CFM	****				
N	lot Required				No	t Required			Not Required								
CERTIFICATE OF Co Project Name: 1 Sar Calculation Descrip	nd and Sea			ERFORM	IANCE C	OMPLIANCE	Calculatio	n Date/Time: 11:1 Name: 17-464 1 S	· · ·	-	ibd16x		CF1R-PRF-01 Page 6 of 7				
WATER HEATING SYS	STEMS									5.							
01		02			03	. * 		04		05	06	07	08				
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WATER HEATERS																	
01	02		03	04	05	06	07	08		09		10	11				
Name	Heater Element Type	Tar	nk Type	Number of Units	Tank Volume	Energy Factor or	Input Rating/Pi		Standl	y Loss /	NEEAL		Tank Location or Ambient				
DHW Heater 1	Gas		ll Storage	1	(gal) 50	0.6 EF	40000 Btu			v ery Eff n/a		leat Pump Type n/a	Condition n/a				
SPACE CONDITIONIN	G SYSTEMS	·															
01	02		Hoati	03	~	Coolir	04 a System	05	06	07	,	08	09				
			пеац	ng Syste			g System	Distribution	Fan	Floor	Area		Verified Existing				
Name	System Type Other Heating a		Name Heating		ucted	Name Cooling	Ducted	Air Distribution	System HVAC Fan	Serv		Status	Condition				
EX. FAUT	Cooling Syste	m	Component	1	Yes	Component	No	System 1	1	94	6	Existing	No				
Ex. FAU 22	Other Heating a Cooling Syste	m	Heating Component :	2	Yes	Cooling Component :	No	Air Distribution System 2	HVAC Fan 2	111	6	Existing	No				
HVAC - DISTRIBUTIO	N SYSTEMS																
01	02	· · · · · · · · · · · · · · · · · · ·	0	3	04 Insula		05 oply Duct	06 Return Duct	07	08		09 Verified Existing	10 HERS				
Name	Туре		Duct Le		R-val		ocation		ypass Duct	Statu		Condition	Verification				
Air Distribution System 1	Ducts located i space)	spec	fied)	6.0	Cra	wl Space	Crawl Space	None	Existi	ng	No	N/A				
Air Distribution System 2	Ducts located i space		l Existin speci		6.0	Cra	wl Space	Crawl Space	None	Existi	ng	No	N/A				
IAQ (Indoor Air Qualit																	
01 Nam				0 IAQ			14	03 Q Fan Type		04 very Effect	ivenece/º/		05 Verification				
SFam IAQ							IA	Default	ING RECO	Very Επect			Required				
Registration Number: CA Building Energy Effi	ciency Standard	ls - 2016	Residential	Complianc		gistration Date port Version -		017-695			HERS Pro Report Ge	ovider: enerated at: 2017-	09-05 11:19:19				

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	Phone: (831) 372-8328			GROUP gineering rmel, CA 9392 yenergygroup.com cad@meg4.com
ATION STATEMENT	for the building design identified on this Co	rtificate of Compliance		B B
f the Business and Professions Code to accept responsibility f s and performance specifications identified on this Certificate of system design features identified on this Certificate of Compl	of Compliance conform to the requirement liance are consistent with the information p	s of Title 24, Part 1 and Part 6 of the California Code of rovided on other applicable compliance documents,	F .	GV EE Montel
s and specifications submitted to the enforcement agency for a	approval with this building permit application Responsible Designer Signature:	n.		ENERGY chanical Er Blvd. Suite 8, C www.monte
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	esidential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance appro respective section for more information. *Exceptions may apply.
(Original 08/2016)	
Building Envelop	e Measures: Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 cfm/ft ² or less when tested per
§ 110.6(a)1:	NFRC-400 or ASTM E283 or AAMA/WDMA/CSA 101/I.S.2/A440-2011.
§ 110.6(a)5:	Labeling. Fenestration products must have a label meeting the requirements of § 10-111(a).
§ 110.6(b):	Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from TABLE 110.6-A and 110.6-B for compliance and must be caulked and/or weatherstripped.
§ 110.7:	Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped.
§ 110.8(a):	Insulation Certification by Manufacturers. Insulation specified or installed must meet Standards for Insulating Material.
§ 110.8(g):	Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).
§ 110.8(i):	Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) when the installation of a cool roof is specified on the CF1R.
§ 110.8(j):	Radiant Barrier. A radiant barrier must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.
§ 150.0(a):	Ceiling and Rafter Roof Insulation. Minimum R-22 insulation in wood-frame ceiling; or the weighted average U-factor must not exceed 0.0 Minimum R-19 or weighted average U-factor of 0.054 or less in a rafter roof alteration. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a continuous roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not lim to placing insulation either above or below the roof deck or on top of a drywall ceiling.*
§ 150.0(b):	Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value.
§ 150.0(c):	Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less (R-19 in 2x6 or U-factor of 0.07 less). Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102, equivalent to an installed value of R-1 wood framed assembly.
§ 150.0(d):	Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.
§ 150.0(f):	Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone wi facings, no greater than 0.3%; have a water vapor permeance no greater than 2.0 perm/inch; be protected from physical damage and UV li deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).
§ 150.0(g)1:	Vapor Retarder. In Climate Zones 1-16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. requirement also applies to controlled ventilation crawl space for buildings complying with the exception to § 150.0(d).
§ 150.0(g)2:	Vapor Retarder. In Climate Zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation. Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have
§ 150.0(q):	maximum U-factor of 0.58; or the weighted average U-factor of all fenestration must not exceed 0.58.
Fireplaces, Deco	rative Gas Appliances, and Gas Log Measures:
§ 150.0(e)1A:	Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.
§ 150.0(e)1B:	Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in an and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device.
§ 150.0(e)1C:	Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control.
§ 150.0(e)2:	Pilot Light. Continuous burning pilot lights and the use of indoor air for cooling a firebox jacket, when that indoor air is vented to the outsid the building, are prohibited.
Space Condition	ing, Water Heating, and Plumbing System Measures:
§ 110.0-§ 110.3:	Certification. Heating, ventilation and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the Energy Commission.
§ 110.2(a):	HVAC Efficiency. Equipment must meet the applicable efficiency requirements in TABLE 110.2-A through TABLE 110.2-K.
§ 110.2(b):	Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heater must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which t cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.
§ 110.2(c):	Thermostats. All unitary heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat.*
§ 110.3(c)5:	Water Heating Recirculation Loops Serving Multiple Dwelling Units. Water heating recirculation loops serving multiple dwelling units n meet the air release valve, backflow prevention, pump priming, pump isolation valve, and recirculation loop connection requirements of § 110.3(c)5.
§ 110.3(c)7:	Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBTU/hr (2 kW) must have isolation valves with hose b or other fittings on both cold water and hot water lines of water heating systems to allow for water tank flushing when the valves are closed
§ 110.5:	Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (appl ances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu/hr are exempt); and pool and spa heat
§ 150.0(h)1:	Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; SMACNA Residential Comfort System Installation Standards Manual; or ACCA Manual J using design conditions specified in § 150.0(h)2.

	2016 Low-Rise Residential Mandatory Measures Summary
§ 150.0(h)3A:	Clearances. Installed air conditioner and heat pump outdoor condensing units must have a clearance of at least 5 feet from the outlet of any dryer vent.
§ 150.0(h)3B:	Liquid Line Drier. Installed air conditioner and heat pump systems must be equipped with liquid line filter driers if required, as specified by manufacturer's instructions.
§ 150.0(j)1:	Storage Tank Insulation. Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water-heating systems, must ha R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.
§ 150.0(j)2A:	Water piping and cooling system line insulation. For domestic hot water system piping, whether buried or unburied, all of the following mu be insulated according to the requirements of TABLE 120.3-A: the first 5 feet of hot and cold water pipes from the storage tank; all piping with nominal diameter of 3/4 inch or larger; all piping associated with a domestic hot water recirculation system regardless of the pipe diameter; piping from the heating source to storage tank or between tanks; piping buried below grade; and all hot water pipes from the heating source to kitchen fixtures.
§ 150.0(j)2B:	Water piping and cooling system line insulation. All domestic hot water pipes that are buried below grade must be installed in a water pro and non-crushable casing or sleeve.
§ 150.0(j)2C:	Water piping and cooling system line insulation. Pipe for cooling system lines must be insulated as specified in § 150.0(j)2A. Distribution piping for steam and hydronic heating systems or hot water systems must meet the requirements in TABLE 120.3-A.*
§ 150.0(j)3:	Insulation Protection. Insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and win
§ 150.0(j)3A:	Insulation Protection. Insulation exposed to weather must be installed with a cover suitable for outdoor service. For example, protected by aluminum, sheet metal, painted canvas, or plastic cover. The cover must be water retardant and provide shielding from solar radiation that ca cause degradation of the material.
§ 150.0(j)3B:	Insulation Protection. Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must hav Class I or Class II vapor retarder.
§ 150.0(n)1:	Gas or Propane Systems. Systems using gas or propane water heaters to serve individual dwelling units must include all of the following: a 120V electrical receptacle within 3 feet of the water heater; a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; a condensate drain that is no more than 2 inches higher than the base of the water heater, and allows natural draining without pump assistance; and a gas supply line with a capacity of at least 200,000 Btu/hr.
§ 150.0(n)2:	Recirculating Loops. Recirculating loops serving multiple dwelling units must meet the requirements of § 110.3(c)5.
§ 150.0(n)3:	Solar Water-heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC) or by a listing agency that is approved by the Executive Director.
Ducts and Fans	
§ 110.8(d)3:	Ducts. Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.
§ 150.0(m)1:	CMC Compliance. All air-distribution system ducts and plenums must be installed, sealed, and insulated to meet the requirements of CMC §§ 601.0, 602.0, 603.0, 604.0, 605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Porti of supply-air and return-air ducts and plenums must be insulated to a minimum installed level of R-6.0 (or higher if required by CMC § 605.0) a minimum installed level of R-4.2 when entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8). Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than ¼ inch, the combination of mastic and either mesh tape must be used. Building cavities, support platforms for air handlers, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used for conveying conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms must not be compressed to cause reductions in the cross-sectional area of the ducts.
§ 150.0(m)2:	Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.
§ 150.0(m)3:	Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction.
§ 150.0(m)7:	Backdraft Dampers. All fan systems that exchange air between the conditioned space and the outside of the building must have backdraft of automatic dampers.
§ 150.0(m)8:	Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.
§ 150.0(m)9:	Protection of Insulation. Insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather must be suitable for outdoor service. For example, protected by aluminum, sheet metal, painted canvas, plastic cover. Cellular foam insulation must be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation.
§ 150.0(m)10:	Porous Inner Core Flex Duct. Porous inner core flex duct must have a non-porous layer between the inner core and outer vapor barrier.
§ 150.0(m)11:	Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with § 150.0(m)11and Reference Residential Appendix RA3.
§ 150.0(m)12:	Air Filtration. Mechanical systems that supply air to an occupiable space through ductwork exceeding 10 feet in length and through a therm conditioning component, except evaporative coolers, must be provided with air filter devices that meet the design, installation, efficiency,

		3)	2016 Low-Rise Residential Mandatory Measures Summary	
			Duct System Sizing and Air Filter Grille Sizing. Space conditioning systems that use forced air ducts to supply cooling to an occupiable space must have a hole for the placement of a static pressure probe (HSPP), or a permanently installed static pressure probe (PSPP) in the	
<form></form>		150.0(m)13:	supply plenum. The space conditioning system must also demonstrate airflow \geq 350 CFM per ton of nominal cooling capacity through the return grilles, and an air-handling unit fan efficacy \leq 0.58 W/CFM as confirmed by field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.3. This applies to both single zone central forced air systems and every zone for zonally controlled central	
<form></form>		150.0(o):	Ventilation for Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2. Neither window operation nor continuous operation of central forced air system air handlers used in central fan integrated ventilation systems are permissible methods of	
		150.0(o)1A:	Field Verification and Diagnostic Testing. Whole-building ventilation airflow must be confirmed through field verification and diagnostic	
			stems and Equipment Measures:	B B 23
		110.4(a):	that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric	CA 93 Paroup.c Bmeg4.c
		110.4(b)1: 110.4(b)2:	 Piping. Any pool or spa heating equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating. Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover. 	GR armel, cado
		110.4(b)3: 110.5:	will allow all pumps to be set or programmed to run only during off-peak electric demand periods. Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light.	G G G N I E n Outer
		150.0(p): .ighting Measu	rate, piping, filters, and valves.' es:	Nite Suite
Second of the s	 Marchen einer ein	110.9:	of § 110.9.*	Blyd
Second of the s	 Marchen einer ein	110.9(e):	be certified to the Energy Commission according to Reference Joint Appendix JA8.	
Image: Note: Image:			Blank Electrical Boxes. The number of electrical boxes that are more than 5 feet above the finished floor and do not contain a luminaire or	
Image: Note: Image:		150.0(K)1B:	fan speed control. Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must meet all of the requirements for: insulation contact (IC)	AX OIC R
	Status	150.0(k)1C: 150.0(k)1D:	labeling; air leakage; sealing; maintenance; and socket and light source as described in § 150.0(k)1C. A JA8-2016-E light source rated for elevated temperature must be installed by final inspection in all recessed downlight luminaires in ceilings. Electronic Ballasts. Ballasts for fluorescent lamps rated 13 watts or greater must be electronic and must have an output frequency no less than	NT Sulti 8328 V 4173 F
Big and the plane is from the information and the plane informatio	Status	150.0(k)1E:	Night Lights. Permanently installed night lights and night lights integral to installed luminaires or exhaust fans must be rated to consume no	000 11-372 1-372 1-359
Image: Additional and the additional additional and the additional additionaldditional additionadditin additionadditional additionadditional ad			by vacancy sensors. Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods)	
model model <th< td=""><td></td><td></td><td>Screw based luminaires. Screw based luminaires must not be recessed downlight luminaires in ceilings and must contain lamps that comply</td><td></td></th<>			Screw based luminaires. Screw based luminaires must not be recessed downlight luminaires in ceilings and must contain lamps that comply	
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Image: Note of the state of the st	Image: Display of the second	150.0(k)2B:	Interior Switches and Controls. Luminaires must be switched with readily accessible controls that permit the luminaires to be manually	
19.19. Every field as a Contrac Sure at charter for any same United Field and Every state 19.19. Every field as a Contrac Sure at Contrac A field and Every Sure at Contrac A f		150.0(k)2C: 150.0(k)2D:	switched ON and OFF. Interior Switches and Controls. Controls and equipment must be installed in accordance with manufacturer's instructions.	
Implied a lender a lender a lender a lender of an approximation of a lender a le	Example interformation and the system interformation in the system in the system interformation in the system interformation in the system interformation in the system in the system interformation in the system interformation in the system in the system interformation in the system interformation in the system interformation in the system interformation in the system in the system interformation in the system interformation in the system in the system interformation in the system interformation in the system interformation in the system in	150.0(k)2E:	Interior Switches and Controls. No control must bypass a dimmer or vacancy sensor function if the control is installed to comply with § 150.0(k).	
19 (B) Comparison of the second secon	15:30.00 15:30	150.0(k)2F:	Interior Switches and Controls. An energy management control system (EMCS) may be used to comply with dimmer requirements if it:	
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10:0000 Internet field and a charge graphing the state of the s	193000000000000000000000000000000000000	3 150.0(k)2H:	following: it functions as a vacancy sensor according to § 110.9; the Installation Certificate requirements of § 130.4; the EMCS requirements of §	
19-3022. More the blocks and accounts, in tary congrue, grange, factory occes, and all ty come, and all ty comes, and all ty comes, and all ty comes and the all ty comes and th	Here you behavior Swedewa and Costing Is, hotheron, pagesa, kandy yours, and killer an unitable in add of the solution term in the solution of the solution o	3 100.0(K)21.	provides the functionality of a dimmer according to § 110.9, and complies with all other applicable requirements in § 150.0(k)2.	
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1900.00,0.1 Selection 10 and exc to mainter to main 15 00.000 (MOX MOX MOX MOX MOX MOX MOX MOX MOX MOX	biddings on the same it. and reset to registrement is the \$150,000,000 and of the statistic rest in the statis		Interior Switches and Controls. In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by a vacancy sensor. Interior Switches and Controls. Dimmers or vacancy sensors must control all luminaires required to have light sources compliant with	
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Minimum Area. The solar zone must have a minimum thal area as described below. The solar zone must be comprised of areas that have no dimension less than 56 supare feet each for buildings with roor areas as specified in Tile 42. Part 9 or the Parts of Tile 24 or in any requirements adopted by a local jurisdicion. The solar zone total area must be comprised of areas that have no dimension less than 160 square feet each for buildings with roor areas as specified in Tile 42. Part 9 or the Parts of Tile 24 or in any requirements adopted by a local area no less than 250 square feet. For low-les multi-lamity building the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. For low-les multi-lamity building the solar zone must be located on the roof or overhang of the building area no less than 250 square feet. For low-les multi-lamity building, or no coverd parking installed with the building project, and have a total area no less than 250 square feet. Structure located with a 250 feet of the building, or no coverd parking installed with the building project, and have a total area no less than 250 square feet. The located on the roof or any other part of the building and nave a stoal area no less than 250 square feet as for building. Structure located with a solar zone, including but not limited to: weak, chinneys, architectural features, and moof mounted squipment." Structural Design Loads on Construction hocuments. For areas of the roof designated as solar zone, the structure in the notizontal plane, of the height difference between the highest point of the obstruction and postful to the costruction documents. Indicate the located to the cocareant in the write challenge square. 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each for buildings with nod areas less than or equal to 10,000 square feet or no less than 160 square feet each for building with nod areas greater than 10,000 square feet. For wing feamily residences the solar zone must be located on the roof or overhang of the building or overhang of the building or overhang of the building and varea total area no less than 250 square feet. 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For areas of the solar zone to the solar zone	each for buildings with root areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with root areas To reingle family residences the solar zone must be located on the root or overhang of the building and have a total area no less than 250 guare feet. For low-fee multi-family buildings are solar areas. 110.10(b): Orientation. All sections of the building correan must be located on the root or overhang of the building project, and have a total area no less than 15 percent of the building activity areas. 110.10(b): Orientation. All sections of the solar zone located on steep-sloped roots must be coated by events, chinneys, architectural features, and root mounted equipment. ⁴ 110.10(b): Shading. Any obstruction located on the root or any other part of the building project, and have a total area no related to a steep sloped roots must be coated at less twice the the nearest point of the solar zone, measured in the vertical pane. ⁶ 110.10(b): Must be charal structure located on the cost roution documents. 110.10(c): Interconnection Pathways, The consent colon for inverters and metering equipment and a pathway for 110.10(c): Interconnection Pathways for counting of plumbing from the solar zone, the siturctural design loads for root deal laad and root live load must be clearly indicated on the cost routers and metering equipment and a pathway for 110.10(c): Interconnection Pathways, The counting plumbing from the solar zone to the work of the cost zone to the waters and metering equipment and a pathway for 110.10(c): Interconnection planeting must have a reserved space to allow for the installation of a double pole circuit 110.10(c): Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit 110.10(c): Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit 110.10(c): Main Electric	 § 150.0(k)2K: § 150.0(k)2L: § 150.0(k)3A: § 150.0(k)3B: § 150.0(k)3C: § 150.0(k)3D: § 150.0(k)3D: § 150.0(k)5: § 150.0(k)6A: § 150.0(k)6B: § 150.0(k)6B: § 150.0(k)6B: § 110.10(a)1: 	Interior Switches and Controls. In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by a vacancy sensor. Interior Switches and Controls. Dimmers or vacancy sensors must control all luminaires required to have light sources compliant with Reference Joint Appendix JA8, except luminaires in closets less than 70 square feet and luminaires in hallways. Interior Switches and Controls. Dimmers or vacancy sensors must control all luminaires in hallways. Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must meet the requirement in them \$150.0(k)3AI (ON and OFF switch) and the requirements in either item \$150.0(k)3Aii (photo control and automatic time switch control, astronomical time clock, or EMCS). Residential Outdoor Lighting. For low-rise multifamily residential buildings, outdoor lighting for private patos, entrances, balconies, and porches; and outdoor lighting for residential buildings with four or more dwelling units, outdoor lighting not regulated by \$150.0(k)3A or with the applicable requirements in \$\$110.9, 130.0, 130.2, 130.4, 140.7 and 141.0. Residential Outdoor Lighting. For low-rise residential buildings with four or more dwelling units, outdoor lighting not regulated by \$150.0(k)3B or §150.0(k)3D must comply with the applicable requirements in \$\$110.9, 130.0, 130.2, 130.4, 140.7, and 141.0. Residential Outdoor Lighting. Outdoor lighting for residential parking lots and residential carports with a total of eight or more whices per site must comply with the applicable requirements in \$\$110.9, 130.0, 130.2, 130.4, 140.7, and 141.0. Residential Outdoor	DNE SAND AND SEA ARMEL-BY-THE-SEA, CA. 9392
of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less han 15 percent of the total root area of the building excluding any skylight area: (10.10(b))2: Orientation. All sections of the solar zone located on steep-sloped roots must be oriented between 110 degrees and 270 degrees of true north. (10.10(b))3A: Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chinneys, architectural features, and roof mounted equipment. (10.10(b)3B: distance, measured in the hord or any other part of the building that projects above as calar zone must be located at least wice the distance, measured in the hord root area yo there part of the building that projects above as calar zone must be located at least wice the distance, measured in the hord root area yo there part of the building that projects above as calar zone on the hord root the nearest point of the solar zone, measured in the vertical plane. (10.10(c)): Structural Design Loads on Construction documents. (10.10(c)): Construction Documents, For areas of the root dissignated as solar zone to the water-heating system. Documentation A copy of the main service panel); and a pathway for routing of plumbing from the solar zone to the water-heating system. (10.10(c)): Main Electrical Service Panel. The main electrical service panel must have a envirous of accounts the occupant. (10.10(c)): Main Electrical Service Panel. The main electrical service panel must have a minimum busber rating of 200 amps. (10.10(c)): Main Electrical Service Panel. The main electrical service panel must have a served space to allow for the installation of a double pole circuit (10.10(c)): Main Electrical Service Panel. The main electrical service panel must have a served space to allow for the installation of (10.10(c)): Main Electrical Service Panel. The main electrical service panel must have a served space to allow for the installation or main	of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less than 15 percent of the total or dare of the building activations, including but not limited to: vents, chinneys, architectural feetures, and roof mounted equipment. Shading, Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the height difference between the highest point of the bostruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane. ¹ 10.10(b): Structural Design Loads on Construction Documents. For areas of the roof designated as solar zone, the structural design loads for roof dead load and roof wile load runs to the deadly indicated on the construction documents. 10.10(b): Documentation, Acoyo of the construction documents must indicate: a location for inverters and metring equipment and a pathway for routing of condition from the solar zone, the other point of interconnection will be the excluse alwave (for single family residences the point of interconnection service panel), and a pathway for routing of plumhing from the solar zone to the velatical service panel must have a reserved space to allow for the installation of a double pole circuit 10.10(e): Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit 10.10(e): Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit 10.10(e): Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation or Must Electrical Service Panel. The main electrical s	 § 150.0(k)2K: § 150.0(k)2L: § 150.0(k)3A: § 150.0(k)3B: § 150.0(k)3C: § 150.0(k)3D: § 150.0(k)3D: § 150.0(k)5: § 150.0(k)6A: § 150.0(k)6A: § 150.0(k)6B: Solar Ready Bu § 110.10(a)1: 	Interior Switches and Controls. In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by a vacancy sensor. Interior Switches and Controls. Dimmers or vacancy sensors must control all luminaires required to have light sources compliant with Reference Joint Appendix JA8, except luminaires in alcosets less than 70 square feet and luminaires in hallways.' Interior Switches and Controls. Undercabinet lighting must be switched separately from other lighting systems. Residential Outdoor Lighting, For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other building for total and automatic time switch control, astronomical time clock, or EMCS). Residential Outdoor Lighting, For inder-family residential buildings, outdoor lighting for private patios, entrances, balconies, and porches, and outdoor lighting for residential buildings with four or more dwelling units, outdoor lighting not regulated by § 150.0(k)3A or with the applicable requirements in §§ 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0. Residential Outdoor Lighting, For iow-rise residential buildings with four or more dwelling units, outdoor lighting not regulated by § 150.0(k)3B or § 150.0(k)3D must comply with the applicable requirements in §§ 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0. Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements in §§ 110.9, 130.0, 130.2, 130.4, 140.7, and 141.0. Interior Common Areas of Low-rise metally fing for residential parking garages for eight or more vehicles must comply with the applicable requirements in §§ 110.9, 130.0, 13	DNE SAND AND SEA ARMEL-BY-THE-SEA, CA. 9392
than 15 percent of the building excluding any skylight area.". i110.10(b): Orientation. All sections of the solar zone located on steep-sloped roofs must be oriented between 110 degrees and 270 degrees of true north. i110.10(b): Shading. Any obstruction located on the roof any obstructions, including but not limited to: vents, chinneys, architectural features, and roof i110.10(b): Shading. Any obstruction located on the roof arey other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane. i110.10(b): Structural Design Loads on Construction Documents. For areas of the roof designated as solar zone, the surve of the construction documents. i110.10(c): Interconnection with the solar zone, measured in the vertical plane. i110.10(c): Functural Design Loads on Construction Documents must indicate: a location for inverters and metering equipment and a pathway for routing of plumbing from the solar zone to the point of the construction documents. i110.10(c): Documentation. A copy of the construction documents or a comparable document indicating when indicates a solar dom to the valet-heading system. i110.10(e): Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be: positioned at the opposite (load) end from the input feeder location or main circuit location; and permanently marked as "For Future Solar Electric". QARMEL-BY-THE-	than 15 percent of the total roof area of the building excluding any skylight area." 110.10(b)2: Orientation. All sections of the solar zone located on subsex boiled between 110 degrees and 270 degrees of true north. 110.10(b)3A: Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chinneys, architectural features, and roof mounted equipment. If a control of the solar zone must not contain any obstructions, including but not limited to: vents, chinneys, architectural features, and roof distance, measured in the horizontal place, of the building that projects above a solar zone must be located at least twice the distance, measured in the vortical place. If a control of the solar zone measure in the vertical place. 110.10(b)3B: Shading. Any control descent on the ordinated as solar zone, the structural design loads for roof solar descent as solar zone to the valar-heating system. If a control design loads for roof design loads for roof design loads for roof solar descent as solar zone to the valar-heating system. 110.10(c): Interconnection Pathways. The construction documents or comparable document indicates a loading of plumbing from the solar zone to the valar-heating system. If a control descent as a comparable document indicates a loading of 200 amps. 110.10(c): Main Electrical Service panel. The main electrical service panel must have a service panel as a room pathe docadin or main circuit location; and permanently marked as "For Future Solar Electric". If a control docontrol document and control document and cont	 \$ 150.0(k)2K: \$ 150.0(k)2L: \$ 150.0(k)3A: \$ 150.0(k)3B: \$ 150.0(k)3B: \$ 150.0(k)3D: \$ 150.0(k)3D: \$ 150.0(k)5: \$ 150.0(k)6A: \$ 150.0(k)6B: \$ 50lar Ready But \$ 110.10(a)1: \$ 110.10(a)2: 	Interior Switches and Controls. In bahrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by a vacancy sensor. Interior Switches and Controls. Dimmers or vacancy sensors must control all luminaires required to have light sources compliant with Reference Joint Appendix JA8, except luminaires in diosets less than 70 square feet and luminaires in diptivays. Intervior Switches and Controls. Undercabine lighting must be switched separately from other lighting untavys. Single family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must meet the requirement in item § 150.0(k)3Al (ON and OFF switch) and the requirements in either item § 150.0(k)3Ai (photo control and automatic time switch control, astronomical time clock, or EMCS). Residential Outdoor Lighting. For low-rise multifamily residential buildings, outdoor light go private patios, entrances, balconies, and porches; and outdoor lighting for residential parking tots and residential carports with less than eight vehicles per sile must comply with eight residential parking to and residential corports with less than eight vehicles per sile must comply with the applicable requirements in §§ 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0. Residential Outdoor Lighting. For low-rise excellential parking to and residential acroports with a total of eight or more vehicles per sile must comply with the applicable requirements in §§ 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0. Residential dudress signs. Internally illuminated address signs must comply with § 140.8; or must consume no more than 5 watts of power as determined according to § 150.0(k)3.0 must comply with the applicable requirements in § § 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0. Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements in § 110.9, 130.0, 130.2, 130.4,	ONE SAND AND SEA CARMEL-BY-THE-SEA, CA. 9392
110.10(b)3A: Shading. The solar 201e filter for Contain any destructions, including but not minded to verify, chainledy, a durated at least twice the mounted equipment. 110.10(b)3B: Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the formation of the head at formation and the horizontal plane, or the height difference between the highest point of the obstruction and the horizontal plane, or the height difference between the highest point of the obstruction and the horizontal plane, or the height difference between the highest point of the obstruction and the horizontal plane, indicated on the cost construction documents. 110.10(b)4: Structural Design Locads on Construction documents is a construction documents. 110.10(c): Interconnection Pathways. The construction documents must indicate: a location for inveters and metering equipment and a pathway for routing of conduct from the solar zone to the solar zone to the solar zone to the water-heating system. 110.10(c): Documentation. A copy of the construction document indicating the information from § 110.10(b) through § 110.10(c) must be provide to the occupant. 110.10(e)1: Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit plane. 110.10(e)2: Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation or a double pole circuit or main circuit location; and permanently marked as "For Future Solar Electric". CARMEL-BY-THE-SEA ALL CHANGE	110.10(b)3A: Shading: The solar Zoine must not contain any Dustructions, including but not influe to versite, and not not index to versite, and not not index to versite, and not in	 \$ 150.0(k)2K: \$ 150.0(k)2L: \$ 150.0(k)3A: \$ 150.0(k)3B: \$ 150.0(k)3B: \$ 150.0(k)3D: \$ 150.0(k)3D: \$ 150.0(k)5: \$ 150.0(k)6A: \$ 150.0(k)6B: \$ 50lar Ready But \$ 110.10(a)1: \$ 110.10(a)2: 	Interior Switches and Controls. In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by a vacancy sensor. Interior Switches and Controls. Dimmers or vacancy sensors must control all luminaires required to have light sources compliant with Reference Joint Appendix JAB, except luminaires in closels less than 70 square feet and luminaires in halways. ¹ Interior Switches and Controls. Undercabine lighting must be witched separately from other lighting systems. Residential Outdoor Lighting, For single-family residential building, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must meet the requirement lime § 150.0(k)3A1 (iphoto control and automatic time switch control, astronomical time close, or EMCS). Residential Outdoor Lighting. For low-rise multifamily residential carports with less than eight vehicles per sile must comply with eights garant endorring lots and residential carports with a eight vehicles per sile must comply with eights § 150.0(k)3A0 (with the applicable requirements in §§ 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0. Residential Outdoor Lighting. For low-rise residential parking lots and residential carports with a total of eight or more Realing units, outdoor lighting not regulated by § 150.0(k)3A0 with the applicable requirements in §§ 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0. Residential Outdoor Lighting. Outdoor lighting for residential parking lots and residential carports with a total of eight or more vehicles per site must comply with the applicable requirements in §§ 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0. Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements in §§ 110.9, 130.0, 130.1, 130.4, 140.8, and 141.0. Interior Common Areas of Low-rise Multi-Family Residential Buildings. In a low-rise multi-family residential building where the total interior	JRY
Structural Design Loads on Construction Documents. For areas of the roof designated as solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents. Interconnection Pathways. The construction documents must indicate: a location for inverters and metering equipment and a pathway for routing of conduit from the solar zone to the point of interconnection with the electrical service (for single family residences the point of interconnection with the solar zone to the point of interconnection with the electrical service (for single family residences the point of interconnection with the solar zone to the point of interconnection with the electrical service (for single family residences the point of interconnection with the solar zone to the point of interconnection with the electrical service panel), and a pathway for routing of plumbing from the solar zone to the water-heading system. Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c): Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps. Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must he: positioned at the opposite (load) end from the input feeder location or main circuit location; and permanently marked as "For Future Solar Electric". CARMEL-BY-THE-SEA ALL CHANGES OF PLANS MUST BE REVIEWED AND APPROVED BEFORE DRAWN: MEG	110.10(b)4: Structural Design Loads on Construction Documents. For areas of the roof dead load and roof live load must be clearly indicated on the construction documents. 110.10(b)4: Structural Design Loads on Construction documents. For areas of the roof dead load and roof live load must be clearly indicated on the construction documents. 110.10(c): Interconnection Pathways. The construction documents must indicate: a location for inverters and metering equipment and a pathway for routing of condult from the solar zone to the point of finterconnection with the electrical service (for single family residences the point of interconnection with bethermise on a comparable document indicating the information from § 110.10(b) through § 110.10(c) must be provided to the occupant. 110.10(e)1: Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be: positioned at the opposite (load) end from the input feeder location or main circuit location; and permanently marked as "For Future Solar Electric". CARIMEL-BY-THE-SEA SIGN ALL CHANGES OF PLANS SIGN MUST BE REVIEWED AND APPROVED BEFORE WORK COMMENCES. DRAWN:	 § 150.0(k)2K: § 150.0(k)2L: § 150.0(k)3A: § 150.0(k)3B: § 150.0(k)3C: § 150.0(k)3D: § 150.0(k)3D: § 150.0(k)6A: § 150.0(k)6A: § 150.0(k)6B: Solar Ready Bus § 110.10(a)1: § 110.10(a)2: § 110.10(b)1: 	Interior Switches and Controls. In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controled by a vacancy sensor. Interior Switches and Controls. Dimmers or vacancy sensors must control all luminaires required to have light sources compliant with Reference. Joint Appendix JAB, except luminaires in closels less than 70 square feet and luminaires in hallways. Interior Switches and Controls. Undercalibine lighting must be switched separately from other lighting systems. Residential building, For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must meet the requirement in item § 150.0(k)3Ai (0hot coll and automatic time switch control, astronomical time clock, or EMCS). Residential Outdoor Lighting, For iow-rise multifamily residential carports with less than eight vehicles per sile must comply with either § 150.0(k)3A or with the applicable requirements in § § 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0. Residential Outdoor Lighting, For low-rise residential parking lots and residential carports with less than eight vehicles per sile must comply with either § 150.0(k)3A or with the applicable requirements in § 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0. Residential Outdoor Lighting, For low-rise residential parking lots and residential carports with a total of eight or more vehicles must comply with the applicable requirements in § 110.9, 130.0, 130.2, 130.4, 140.7, and 141.0. Residential Gutdoor Lighting, Outdoor lighting for residential parking lots and residential carports with a total of eight or more vehicles must comply with the applicable requirements in § 110.9, 130.0, 130.1, 130.4, 140.7, and 141.0. Internally liluminated address signs. Internally liluminated address signs must comply with § 140.8, or must consume no more than 5 watts of powers as teatmined according to § 130.0, (130.0, 130.1, 130.4, 140.6, and 141.0. Internally liluminated address signs	TDRY ARY CARMEL-BY-THE-BEA, CA. 9392
Structural Design Loads on Construction Documents. For areas of the roof designated as solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents. Interconnection Pathways. The construction documents was indicate: a location for inverters and metering equipment and a pathway for routing of conduit from the solar zone to the point of interconnection with the electrical service (for single family residences the point of interconnection with the solar zone to the point of interconnection with the electrical service (for single family residences the point of interconnection with the solar zone to the point of interconnection with the electrical service (for single family residences the point of interconnection with the solar zone to the point of interconnection with the electrical service panel, and a pathway for routing of plumbing from the solar zone to the water-heading system. Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c): Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps. Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be: positioned at the opposite (load) end from the input feeder location or main circuit location; and permanently marked as "For Future Solar Electric". CARMEL-BY-THE-SEA ALL CHANGES OF PLANS MUST BE REVIEWED AND APPROVED BEFORE DRAWN: MEG	110.10(b)4: Structural Design Loads on Construction Documents. For areas of the roof dead load and roof live load must be clearly indicated on the construction documents. 110.10(b)4: Structural Design Loads on Construction documents. For areas of the roof dead load and roof live load must be clearly indicated on the construction documents. 110.10(c): Interconnection Pathways. The construction documents must indicate: a location for inverters and metering equipment and a pathway for routing of condult from the solar zone to the point of finterconnection with the electrical service (for single family residences the point of interconnection with bethermise on a comparable document indicating the information from § 110.10(b) through § 110.10(c) must be provided to the occupant. 110.10(e)1: Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be: positioned at the opposite (load) end from the input feeder location or main circuit location; and permanently marked as "For Future Solar Electric". CARIMEL-BY-THE-SEA SIGN ALL CHANGES OF PLANS SIGN MUST BE REVIEWED AND APPROVED BEFORE WORK COMMENCES. DRAWN:	 \$ 150.0(k)2K: \$ 150.0(k)2L: \$ 150.0(k)3A: \$ 150.0(k)3B: \$ 150.0(k)3C: \$ 150.0(k)3D: \$ 150.0(k)3D: \$ 150.0(k)6A: \$ 150.0(k)6A: \$ 150.0(k)6B: Solar Ready Bu \$ 110.10(a)1: \$ 110.10(a)2: \$ 110.10(b)1: \$ 110.10(b)2: 	Interior Switches and Controls. In batmorms, garages, laundy rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by avcancy sensor. Interior Switches and Controls. Dimmers or vacancy sensors must control all luminaires in hallways. Interior Switches and Controls. Dimmers or vacancy sensors must control all luminaires in hallways. Interior Switches and Controls. Undercabine tilghting must be switched separately from other lighting systems. Residential Dutidon; JAB, except luminaires in hallways. Interior Switches and Controls. Undercabine tilghting must be switched separately from other lighting systems. 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Tor low-rise Multi-Raming Residential Carpors with § 140.8; or must comply with the applicable requirements in § 1109, 1300, 1302, 1304, 1407, and 1410. Residential Cargos for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements in § 1109, 1300, 1301, 1304, 1402, and 1410. Internaly Elization of the statistic sethermited accord	BE DATORY MARY MARY CARMEL-BY-THE-SEA, CA. 9392
§ 110.10(c): routing of conduit form the solar zone to the point of interconnection with the electrical service (for single family residences the point of interconnection will be the main service panel); and a pathway for routing of plumbing from the solar zone to the water-heating system. § 110.10(c): Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c) must be provided to the occupant. § 110.10(e)1: Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be: positioned at the opposite (load) end from the input feeder location or main circuit location; and permanently marked as "For Future Solar Electric". CARIMEL-BY-THE-SEA Scale Electric ALL CHANGES OF PLANS MUST BE REVIEWED AND APPROVED BEFORE DRAWN:	110.10(c): routing of conduit from the solar zone to the point of interconnection with the electrical service (for single family residences the point of interconnection will be the main service panel); and a pattway for routing of public growthe solar zone to the water-heating system. 110.10(c): Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c) must be provided to the occupant. Image: Construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c) must be provided to the occupant. Image: Construction documents or a comparable document indicating the information form § 110.10(b) through § 110.10(c) must be provided to the occupant. Image: Construction documents or a comparable document indicating the information form § 110.10(b) through § 110.10(c) must be provided to the occupant. 110.10(e)!: Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps. Image: Construction documents or a comparable document indicating the information form the input feeder location or main circuit location; and permanently marked as "For Future Solar Electric". CARMEL-BY-THE-SEA ALL CHANGES OF PLANS Image: Construction documents or a comparable document document document documents or a comparable document docu	 \$ 150.0(k)2K: \$ 150.0(k)2L: \$ 150.0(k)3A: \$ 150.0(k)3B: \$ 150.0(k)3C: \$ 150.0(k)3D: \$ 150.0(k)3D: \$ 150.0(k)6A: \$ 150.0(k)6B: \$ 50lar Ready Bu \$ 110.10(a)1: \$ 110.10(a)2: \$ 110.10(b)1: \$ 110.10(b)2: \$ 110.10(b)3A: 	Interior Switches and Controls. In betrooms, garages, laundy rooms, and uillity rooms, at least one luminaire in each of these spaces must be controlled by a vacancy sensor. Interior Switches and Controls. Undercabinet lighting must be switched separately from other lighting systems. Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must meet the requirement in them § 150.0(k)3Ail (0) And OT Fighting systems. Residential Outdoor Lighting. For isongle-family residential buildings, outdoor lighting permanently mounted to a residential building system. Residential Outdoor Lighting. For low-rise multifamily residential buildings, outdoor lighting for private patios, entrones, balconies, and porches, and outdoor lighting for residential buildings, outdoor lighting for private patios, entrones, balconies, and porches, per low-rise residential buildings, outdoor lighting for private patios, entrones, balconies, and porches, per low-rise multifamily residential buildings, outdoor lighting, for more them set is 150.0(k)3B or with the applicable requirements in §§ 110.9, 130.0, 1302, 130.4, 140.7 and 141.0. Residential Outdoor Lighting. For low-rise residential parking lots and residential carports with a total of elight or more vehices per is timat orangly with the applicable requirements in §§ 110.9, 130.0, 130.2, 130.4, 140.7, and 141.0. Residential Outdoor Lighting, 6 130.0(c). Interior Common Areas of Low-rise Multi-Family Residential Buildings. In a low-rise multifamily residential building where the total interior common area in a single building equals to rescent of the fora raw, permanentivi installed lighting for the in	RISE NDATDRY MMARY MMARY CARMEL-BY-THE-SEA, CA. 9392
Documentation A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c): Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps. Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be: positioned at the opposite (load) end from the input feeder location or main circuit location; and permanently marked as "For Future Solar Electric". DATE: 9/0.5/1.7 CARMEL-BY-THE-SEA ALL CHANGES OF PLANS MUST BE REVIEWED AND APPROVED BEFORE DATE: 9/0.5/1.7 MECG DRAWN: MECG	Interconnection will be the infail served panel), and a paritively informing information from § 110.10(b) through Interconnection A coupant. 110.10(d): S 110.10(c) must be provided to the occupant. 110.10(e)1: Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps. 110.10(e)2: Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be: positioned at the opposite (load) end from the input feeder location or main circuit location; and permanently marked as "For Future Solar Electric". CARMEL-BY-THE-SEA U MIUST BE REVIEWED AND DATE: MIUST BE REVIEWED AND APPROVED BEFORE WORK COMMENCES. DRAWN:	§ 150.0(k)2K: § 150.0(k)2L: § 150.0(k)3A: § 150.0(k)3B: § 150.0(k)3C: § 150.0(k)3D: § 150.0(k)3D: § 150.0(k)6A: § 150.0(k)6A: § 150.0(k)6B: Solar Ready Bu § 110.10(a)1: § 110.10(a)1: § 110.10(b)1: § 110.10(b)3A: § 110.10(b)3B:	Interior Switches and Controls. In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controled by a vacancy sensor. Interior Switches and Controls. Undercabinel lighting must be switched separately from other lighting systems. Residential Outdoor Lighting, For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on these must be requirements in lens (51.00,104.34) (O Nan Of EF) switch) and the requirements in each for system multifamily residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the sense lot, must meet the requirements in lens (51.00,104.34) (O Nan Of EF) switch) and the requirements in each (51.00,104.34) (D Nan Of EF) switch) and the requirements in each (51.00,104.34) (D Nan Of EF) switch) and the requirements in each (51.00,104.34) (D Nan Of EF) switch) and the requirements in each (51.00,104.34) (D Nan Of EF) switch) and the reguirements in each (51.00,104.34) (D Nan Of EF) switch and the reguirements in §5.110.9, 130.0, 130.2, 130.4, 140.7 and 141.0. Residential Outdoor Lighting, For low-rise residential buildings with our rom or dwellide aryors with latel a draptic turn regulated by § 150.0(130.0 regulated by § 150.0(130.0 regulated buildings, without or more dwellides per sile must comply with the applicable requirements in §§ 110.9, 130.0, 130.2, 130.4, 140.7, and 141.0. Residential Outdoor Lighting, For fow-rise residential parting the sile and residential aryors with latel and regulate runne as single building signs. Internally illuminated address signs. Internally illuminated address signs. Internally illuminated address signs must comply with the applicable requirements in § 110.9, 130.0, 130.2, 130.4, 140.7, and 141.0. Residential Outdoor Lighting, For fow-rise hostical flagsting in a twitten with the applicable requirements in § 10.0, 130.1, 130.4, 140.8, and 141.0. Internor Common Areas of Low-Yise M	-RISE ANDATORY UMMARY CARMEL-BY-THE-SEA, CA. 9392
S 110.10(e)1: Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps. Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be: positioned at the opposite (load) end from the input feeder location or main circuit location; and permanently marked as "For Future Solar Electric". CARMEL-BY-THE-SEA DATE: 9/05/17 Scale: AS NOTED MUST BE REVIEWED AND DRAWN: MEG	110.10(e)1: Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps. 110.10(e)2: Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be: positioned at the opposite (load) end from the input feeder location or main circuit location; and permanently marked as "For Future Solar Electric". CARIMEL-BY-THE-SEA DATE: 9/0.5/1.7 ALL CHANGES OF PLANS DATE: 9/0.5/1.7 MUST BE REVIEWED AND APPROVED BEFORE DRAWN: ME G WORK COMMENCES. CHECKED: CHECKED:	§ 150.0(k)2K: § 150.0(k)2L: § 150.0(k)3A: § 150.0(k)3B: § 150.0(k)3D: § 150.0(k)3D: § 150.0(k)3D: § 150.0(k)6A: § 150.0(k)6A: § 150.0(k)6B: Solar Ready Bu § 110.10(a)1: § 110.10(a)1: § 110.10(a)2: § 110.10(b)1: § 110.10(b)3A: § 110.10(b)3B: § 110.10(b)4:	Interior Switches and Controls. In bathcoms, garages, laundy rooms, and ultity rooms, at least one luminaire in each of these spaces must be controlled by avacancy sensor. Interior Switches and Controls. Dimmes or vacancy sensors must control all unmainers enquined to have light sources compliant with Reference Joint Appendix J.A.g. except luminaires in classics hand 70 square let and Minimize in hallways. Interior Switches and Controls. Undercabinet lighting must be switched separately from other lighting systems. Residential Outdoor Lighting. For ingel-amily residential buildings, outdoor lighting permanently mounde to a residential building, or to other buildings on the same lot, must meet the requirement in time 3 (50.01)(X) (V) and OF Evoluti) and the requirements in either liem \$ 150.01)(X) at (Indoor Lighting. For low-fase multifemily residential buildings, outdoor lighting for private patios, entrances, balconies, and portes, and outdoor lighting for residential pathing its and residential coports with less than sight vehicles per site must comply with either \$ 150.01)(X) or with the applicable requirements in § 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0. Residential Outdoor Lighting. For low-fase residential admings with burst on these stems lines to other buildings on the same is an analysis of the same residential carging performs with a total eight or hince and portes; angle site of the same residential parking base must comply with estimates and the same stems of the same residential parking parages for eight or none vehicles must comply with the applicable requirements for nonesidential garking programs usus comply with \$ 140.8, cm and 141.0. Residential Davidsor Lighting and the same residential administing transformed must comply with the applicable requirements is a single building expression for the same residential building where the total interior common areas in a single building equals 2D percent of the loca research must consure no more than 5 wasts of power a detamined ad	LOW-RISE L MANDATORY S SUMMARY S SUMMARY I SAND AD SEA CARMEL-BY-THE-SEA, CA. 9392
S 110.10(e)2: wain Electrical service panel. The main electrical served space must be: positioned at the opposite (load) end from the input feeder location or main circuit location; and permanently marked as "For Future Solar Electric". S 110.10(e)2: CARIMEL-BY-THE-SEA Multical service panel. The main electrical served space must be: positioned at the opposite (load) end from the input feeder location or main circuit location; and permanently marked as "For Future Solar Electric". CARIMEL-BY-THE-SEA ALL CHANGES OF PLANS MUST BE REVIEWED AND APPROVED BEFORE NUEXT BE REVIEWED AND DRAWN:	110.10(e)2: breaker for a future solar electric installation. The reserved space must be: positioned at the opposite (load) end from the input feeder location or 110.10(e)2: breaker for a future solar electric installation. The reserved space must be: positioned at the opposite (load) end from the input feeder location or CARMEL-BY-THE-SEA Scale: ALL CHANGES OF PLANS Scale: MUST BE REVIEWED AND DRAWN: APPROVED BEFORE WORK COMMENCES.	§ 150.0(k)2K: § 150.0(k)2L: § 150.0(k)3A: § 150.0(k)3B: § 150.0(k)3D: § 150.0(k)3D: § 150.0(k)3D: § 150.0(k)6A: § 150.0(k)6A: § 150.0(k)6B: Solar Ready Bu § 110.10(a)1: § 110.10(a)2: § 110.10(b)1: § 110.10(b)1: § 110.10(b)2: § 110.10(b)3B: § 110.10(b)3B: § 110.10(b)4: § 110.10(c):	Interior Switches and Controls. In bathrooms, gazages, laundy rooms, and ultity rooms, at least one luminaire in each of these spaces must be controlled by avacancy sensor. Interior Switches and Controls. Dimmes or vacancy sensors must control all unmaines neutined to have light sources compliant with Reference Joint Appendix J.A. except luminaires in classifies in and 3avas. Interior Switches and Controls. Undercabinst lighting must be suitched separately from other lighting systems. Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, mast meet the requirement in lime 1500.0(3/All (bnob Control and automatic lime switch control, astronomical time obck, or EMCS). Residential Outdoor Lighting. For low-rise multifamily residential buildings, outdoor lighting for private patios, entrances, balconies, and porties, and outdoor lighting for residential parking lots and residential caports with lots the gipticable sequested by § 150.0(3/S) or with the applicable requirements in §§ 1102, 1302, 1302, 1304, 1407, and 1410. Residential Outdoor Lighting. For low-rise methinimated address sign must coundy with exist in sub coundy with the applicable requirements in §§ 1103, 1300, 1302, 1304, 1407, and 1410. Residential Outdoor Lighting. Choice residential parking lots and residential acting lots, 1303, 1304, 1407, and 1410. Residential Outdoor Lighting. The New Yehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements in §§ 1103, 1300, 1302, 1304, 1407, and 1410. Residential Datages For Eight or More Yehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for controls and the admites and automatice and antice and the sub- privation. These Sub-Sub-Sub-Sub-Sub-Sub-Sub-Sub-Sub-Sub-	LOW-RISE AL MANDATORY ES SUMMARY ES SUMMARY I SAND AD SEA I SAND AD SEA I SAND AD SEA
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CARMEL-BY-THE-SEA ALL CHANGES OF PLANS MUST BE REVIEWED AND APPROVED BEFORE NORK COMMENCES	CARMEL-BY-THE-SEA CARMEL-BY-THE-SEA ALL CHANGES OF PLANS MUST BE REVIEWED AND APPROVED BEFORE WORK COMMENCES. CHECKED:	§ 150.0(k)2K: § 150.0(k)2L: § 150.0(k)3A: § 150.0(k)3B: § 150.0(k)3B: § 150.0(k)3D: § 150.0(k)3D: § 150.0(k)6A: § 150.0(k)6A: § 150.0(k)6B: Solar Ready Bu § 110.10(a)1: § 110.10(a)1: § 110.10(a)2: § 110.10(b)1: § 110.10(b)3A: § 110.10(b)3B: § 110.10(b)3B: § 110.10(b)4: § 110.10(c): § 110.10(d):	Instinct Switches and Contols. In bathrooms, granges, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by variancy series of the second late the variance spaces must be controlled by variance spaces in halfways. Instinct Switches and Controls. Undercalantel lighting must be switched separately from other lighting systems. Readantial Outdoor Lighting, Francipe Family esidential buildings, outdoor lighting premaneating in must be switch control, astronomical time colcx, or Evol Silva Silva Controls. Undercalantel lighting must be switch control, astronomical time colcx, or Evol Silva Silva Controls. The main meet the requirement in liem § 150.0(K)34.0(N and OFF switch) and the requirements in either tells and the colcx or Evol Silva Controls. The rol row-iser multifamily residential buildings, outdoor lighting for private patise, natronces, haloronies, and portoes; and outdoor Lighting. Fra Tow-iser multifamily residential buildings, outdoor lighting for tregulated by § 150.0(K)30 must be applicable requirements in § 110.9, 310.0, 310.2, 310.4, 410.0, and 141.0. Residential Outdoor Lighting. Fra Tow-iser existential buildings with bur or more dwilling units, outdoor lighting for tregulated by § 150.0(K)30 must be applicable requirements in § § 110.9, 310.0,	ZD16 LOW-RISE DENTIAL MANDATORY ASURES SUMMARY ASURES SUMMARY CARMEL-BY-THE-SEA, CA. 9392
CARMEL-BY-THE-SEA 9713717 ALL CHANGES OF PLANS SCALE: AS NOTED MUST BE REVIEWED AND DRAWN: MEG	CARMEL-BY-THE-SEA SCALE: SCALE: AS NOTED ALL CHANGES OF PLANS MUST BE REVIEWED AND DRAWN: MEG APPROVED BEFORE WORK COMMENCES. CHECKED:	§ 150.0(k)2K: § 150.0(k)2L: § 150.0(k)3A: § 150.0(k)3B: § 150.0(k)3B: § 150.0(k)3D: § 150.0(k)3D: § 150.0(k)6A: § 150.0(k)6A: § 150.0(k)6B: Solar Ready Bu § 110.10(a)1: § 110.10(a)1: § 110.10(a)2: § 110.10(b)1: § 110.10(b)3B: § 110.10(b)3B: § 110.10(b)3B: § 110.10(b)3B: § 110.10(b)3B: § 110.10(c): § 110.10(c): § 110.10(c): § 110.10(c): § 110.10(c):	Instinct Switches and Contols. In bathrooms, granges, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by variancy series of the second late the variance spaces must be controlled by variance spaces in halfways. Instinct Switches and Controls. Undercalantel lighting must be switched separately from other lighting systems. Readantial Outdoor Lighting, Francipe Family esidential buildings, outdoor lighting premaneating in must be switch control, astronomical time colcx, or Evol Silva Silva Controls. Undercalantel lighting must be switch control, astronomical time colcx, or Evol Silva Silva Controls. The main meet the requirement in liem § 150.0(K)34.0(N and OFF switch) and the requirements in either tells and the colcx or Evol Silva Controls. The rol row-iser multifamily residential buildings, outdoor lighting for private patise, natronces, haloronies, and portoes; and outdoor Lighting. Fra Tow-iser multifamily residential buildings, outdoor lighting for tregulated by § 150.0(K)30 must be applicable requirements in § 110.9, 310.0, 310.2, 310.4, 410.0, and 141.0. Residential Outdoor Lighting. Fra Tow-iser existential buildings with bur or more dwilling units, outdoor lighting for tregulated by § 150.0(K)30 must be applicable requirements in § § 110.9, 310.0,	ZOI 6 LOW-RISE IDENTIAL MANDATORY EASURES SUMMARY CARMEL-BY-THE-SEA, CA. 9392 CARMEL-BY-THE-SEA, CA. 9392
MUST BE REVIEWED AND APPROVED BEFORE DRAWN: MEG	MUST BE REVIEWED AND APPROVED BEFORE WORK COMMENCES. CHECKED:	§ 150.0(k)2K: § 150.0(k)2L: § 150.0(k)3A: § 150.0(k)3B: § 150.0(k)3B: § 150.0(k)3D: § 150.0(k)3D: § 150.0(k)6A: § 150.0(k)6A: § 150.0(k)6B: Solar Ready Bu § 110.10(a)1: § 110.10(a)1: § 110.10(a)2: § 110.10(b)1: § 110.10(b)3B: § 110.10(b)3B: § 110.10(b)3B: § 110.10(b)3B: § 110.10(b)4: § 110.10(c): § 110.10(c): § 110.10(c): § 110.10(c)1: §	Instinct Switches and Contols. In bathrooms, granges, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by variancy series of the second late the variance spaces must be controlled by variance spaces in halfways. Instinct Switches and Controls. Undercalantel lighting must be switched separately from other lighting systems. Readantial Outdoor Lighting, Francipe Family esidential buildings, outdoor lighting premaneating in must be switch control, astronomical time colcx, or Evol Silva Silva Controls. Undercalantel lighting must be switch control, astronomical time colcx, or Evol Silva Silva Controls. The main meet the requirement in liem § 150.0(K)34.0(N and OFF switch) and the requirements in either tells and the colcx or Evol Silva Controls. The rol row-iser multifamily residential buildings, outdoor lighting for private patise, natronces, haloronies, and portoes; and outdoor Lighting. Fra Tow-iser multifamily residential buildings, outdoor lighting for tregulated by § 150.0(K)30 must be applicable requirements in § 110.9, 310.0, 310.2, 310.4, 410.0, and 141.0. Residential Outdoor Lighting. Fra Tow-iser existential buildings with bur or more dwilling units, outdoor lighting for tregulated by § 150.0(K)30 must be applicable requirements in § § 110.9, 310.0,	ZD16 LOW-RISE SDENTIAL MANDATORY MEASURES SUMMARY CARMEL-BY-THE-SEA, CA. 9392 CARMEL-BY-THE-SEA, CA. 9392
	WORK COMMENCES.	 \$ 150.0(k)2K: \$ 150.0(k)2L: \$ 150.0(k)3A: \$ 150.0(k)3B: \$ 150.0(k)3B: \$ 150.0(k)3D: \$ 150.0(k)3D: \$ 150.0(k)6A: \$ 150.0(k)6A: \$ 150.0(k)6B: Solar Ready Bu \$ 110.10(a)1: \$ 110.10(a)2: \$ 110.10(b)1: \$ 110.10(b)2: \$ 110.10(b)3A: \$ 110.10(b)3A: \$ 110.10(b)3B: \$ 110.10(b)4: \$ 110.10(c): \$ 110.10(d): \$ 110.10(c)1: 	<text><text></text></text>	ZOII6 LOW-RISE RESIDENTIAL MANDATORY MEASURES SUMMARY CARMEL-BY-THE-SEA, GA, 9392 CARMEL-BY-THE-SEA, GA, 9392
		150.0(k)2K: 150.0(k)2L: 150.0(k)3A: 150.0(k)3B: 150.0(k)3B: 150.0(k)3D: 150.0(k)3D: 150.0(k)6A: 150.0(k)6A: 150.0(k)6B: 50lar Ready Bu 110.10(a)1: 110.10(a)1: 110.10(a)2: 110.10(b)1: 110.10(b)3B: 110.10(b)3B: 110.10(b)3B: 110.10(b)3B: 110.10(b)3B: 110.10(c): 110.10(c): 110.10(c): 110.10(c): 110.10(c):	Interior Switches and Controls. In bathcome, gazages, laurdy come, and stilly come, and stall one kunnater in back of these spaces must be controled by a wearing sense. Interior Switches and Controls. Understalling must be switched separately from cher lights sources compliant with Reference Juin Appendix AB, escoge theorem in them § 1500,0134. (No and OFF switches) and the negatements in either lifeling 1500,0134 (Date of Lighting, For Insele Semigration and Lighting, suddor lighting premarently mounts to a residential building, or to other 1510,01524 (Date of Lighting, For Insele Semigration and Lighting, suddor lighting premarently mounts to a residential building, or to other 1510,01524 (Date of Lighting, For Insele Semigration and Lighting, suddor lighting for private paties, entranses, buildense, and proches, and control Lighting, For Ionse mediating building, suddor lighting for private paties, entranses, buildense, 1510,01324 (Date of Lighting, For Ionse mediating building) and the angularense in the stall of application and the set 1510,01324 (Date of Lighting, For Ionse mediating building) and the submit and the submit of the stall of application and the 1510,01324 or with the applicable requirements in §§ 1109, 1300, 1302, 1302, 1302, 1302, 1302, 1407, and 1410. Periadential Outdor Lighting, For Ionse mediating building and the stall of the stall of application and the 1510,01324 or with the applicable requirements in §§ 1109, 1300, 1302, 1304, 1407, and 1410. Internast Illuminater to constrained and garges in §§ 1101, 1300, 1301, 1302, 1302, 1302, 1304, 1407, and 1410. Periadential Outdor Lighting, Controls and garges in §§ 1101, 1300, 1301, 1304, and 1406, and (140). Internast Internation common and the stall buildings, in a low-tes multilimity residential building where the total interior common areas in a single building equals and the total organization and the stall of the Ions and the stall Stall of the history and the stall states and the stall buildings, in a low-tes multilim	DATE: SUMMARY MEASURES SUMMARY MEASURES SUMMARY RESIDENTIAL MANDATORY MEASURES SUMMARY REAL-BY-THE-SEA, GA 9392 CARMEL-BY-THE-SEA, GA 9392

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