

SALEHI RESIDENCE

ABBREVIATIONS

A.B.	ANCHOR BOLT	H.R.	HEADER
ALT.	ALTERNATE	HGR.	HANGER
APPROX.	APPROXIMATE	HORIZ.	HORIZONTAL
ARCH.	ARCHITECT	INT.	INTERIOR
BD.	BOARD	JST.	JOIST
BLDG.	BUILDING	MAX.	MAXIMUM
BM.	BEAM	M.B.	MACHINE BOLT
BOT.	BOTTOM	M.I.F.	MALLEABLE IRON WASHER
BTVN.	BETWEEN	MIN.	MINIMUM
CL.	CLEAR	N.I.C.	NOT IN CONTRACT
COL.	COLUMN	N.T.S.	NOT TO SCALE
CONC.	CONCRETE	O.V.	OVER
CONC. BLK.	CONCRETE BLOCK	O.G.	ON CENTER
CONN.	CONNECTION	O.H.	OVER HANG/OVER HEAD
CONST.	CONSTRUCTION	PL.	PLATE
CONT.	CONTINUOUS	P.I.	PANEL INDEX
CTR.	CENTER	P.T.D.F.	PRESSURE TREATED D.F.
GTSK.	COUNTERSINK	PLYND.	PLYWOOD
DBL.	DOUBLE	REINP.	REINFORCING
D.	DOUGLAS FIR	REQD.	REQUIRED
DIA.	DIAMETER	RDVD.	REDWOOD
DRWG.	DRAWING	S.B.	SOLID BLOCKING
EX.	EXISTING	S.G.	SLAB ON GRADE
E.N.	EDGE NAILING	SGHED.	SGHEDULE
EA.	EACH	SHT.	SHEET
EQ.	EQUAL	SHTS.	SHEATHING
EXP.	EXPANSION	SM.	SIMILAR
EXT.	EXTERIOR	SPCS.	SPECIFICATIONS
F.	FINISH FLOOR	SQ.	SQUARE
F.G.	FINISH GRADE	STD.	STANDARD
F.N.	FIELD NAILING	SYM.	SYMMETRICAL
FNEN.	FOUNDATION	T.# S.	TONGUE & GROOVE
FLR.	FLOOR	T.N.	TOE NAIL
F.O.C.	FACE OF CONCRETE	T.O.C.	TOP OF CONCRETE
F.O.M.	FACE OF MASONRY	T.O.V.	TOP OF WALL
F.O.S.	FACE OF STUD	T.S.	TUBE STEEL
FTG.	FOOTING	TYP.	TYPICAL
GA.	GALVNEE	U.O.N.	UNLESS OTHERWISE NOTED
GALV.	GALVANIZED	VERT.	VERTICAL
G.I.	GULIE LAMINATED	W.	WITH
GUL-LAM.	GULIE LAMINATED	W/O	WITHOUT
GYFBD.	GYPSUM BOARD	W.K.M.	WELDED WIRE MESH

OWNERSHIP NOTES

- OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:
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 - THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE DESIGNERS HEREBY STATE THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
 - THE DESIGNERS DISCLAIM ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.
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COMPACTION NOTE

TO MINIMIZE OFF-SITE VIBRATION, CONTRACTOR SHALL USE THE SMALLEST PIECE OF EQUIPMENT FEASIBLE TO ACHIEVE THE REQUIRED SOIL COMPACTION. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES TO NEIGHBORING PROPERTIES PROVEN TO BE DUE TO CONSTRUCTION ACTIVITIES INCLUDING COMPACTION OPERATIONS.

DEFERRED ITEM

CONTRACTOR SHALL PROVIDE ELECTRICAL PANEL CALCULATIONS AND SPECIFICATIONS FOR THE PROPOSED ELECTRICAL PANEL TO THE CITY OF CARMEL-BY-THE-SEA COMMUNITY PLANNING AND BUILDING DEPARTMENT PRIOR TO SCHEDULING AN ELECTRICAL INSPECTION.

GENERAL NOTES

- CONTRACTOR LICENSE: THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS & SPECIFICATIONS SHALL BE PROPERLY & CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT & SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE: THE CONTRACTOR SHALL PROVIDE & PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT & MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE & ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION & TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL: IT IS THE EXPRESS INTENTION OF THESE PLANS & SPECIFICATIONS TO REQUIRE REASONABLE CARE & COMPETENCE IN THE EXECUTION OF THE CONSTRUCTION PROCESS & PRODUCT. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE DESIGNERS SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK & ALLOWED REVISION TIME IF DEEMED NECESSARY.
- WARRANTY: THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS & EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED & THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS & DEFECTS & IN CONFORMANCE WITH THE CONTRACT DRAWINGS & SPECIFICATIONS.
- PERMITS: UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT & ANY OTHER PERMITS PRIOR TO STARTING THE WORK & SHALL COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL NOTICES GOVERN COMPLIANCE: THE CONTRACTOR SHALL GIVE ALL NOTICES & COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS & OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE DESIGNERS IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS.
- RESPONSIBILITY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES & PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL ACTIVITIES OF WORK WITH THE SCOPE OF THE CONTRACT.
- SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING & PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THIS WORK & SHALL ADHERE TO ALL FEDERAL, LOCAL, STATE & OSHA SAFETY REGULATIONS.
- INSURANCE: LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKER'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH & FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRE CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- INDEMNIFICATION: THE CONTRACTOR AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY & HOLD HARMLESS THE OWNER & THE DESIGNERS FROM & AGAINST ALL CONSEQUENTIAL CLAIMS / DAMAGES / LOSSES & EXPENSES, INCLUDING ATTORNEY'S FEES & LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANING UP: THE CONTRACTOR SHALL KEEP THE PREMISES & SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP & OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP & DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL VISIT THE SITE & VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE DESIGNERS OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS & EXISTING CONDITIONS AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
- ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- NO LAND CLEARING OR GRADING SHALL OCCUR ON THE PROPERTY BETWEEN OCTOBER 15 & APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF PLANNING & BUILDING INSPECTION.
- SHOP DRAWINGS: PRIOR TO FABRICATION, THE CONTRACTOR SHALL SUBMIT TO THE DESIGNER FOR APPROVAL SHOP DRAWINGS FOR ALL STRUCTURAL STEEL, REINFORCING STEEL, GULIE LAMINATED BEAMS & PREFABRICATED TRUSSES, WINDOW & DOORS, FINISH CARPENTRY. SHOP DRAWINGS ARE NOT CHANGE ORDERS, BUT RATHER SERVE TO DEMONSTRATE TO THE DESIGNER AND/OR DESIGNER THAT THE CONTRACTOR UNDERSTANDS THE REQUIREMENTS & DESIGN CONCEPTS OF THE PLAN, DETAILS & SPECIFICATIONS.
- CHANGE ORDERS: NO VERBAL CHANGE ORDERS SHALL BECOME LEGAL & BINDING.
- CONSTRUCTION BRACINGS & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACINGS & SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- SIMILAR CONDITIONS: CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM WITH SIMILAR CONSTRUCTION.
- DISCREPANCIES: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS & CONDITIONS PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER PRIOR TO ORDERING MATERIALS & STARTING CONSTRUCTION.
- TECHNICAL SPECIFICATIONS: ALL TECHNICAL SPECIFICATIONS REFERRED TO IN THESE DRAWINGS ARE BY THIS REFERENCE PART OF THE CONSTRUCTION DOCUMENTS.

FIRE SAFETY REQUIREMENTS

- FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM - THE RESIDENCE & DETACHED GARAGE SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEMS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD.
- SMOKE ALARMS - (SINGLE FAMILY DWELLING) - WHERE A HOUSEHOLD FIRE WARNING SYSTEM OR COMBINATION FIRE/BURGLAR ALARM SYSTEM IS INSTALLED IN (2) OF SINGLE-STATION SMOKE ALARMS BE PROPERLY LOCATED ON THE LOT IS REQUIRED AT THE TIME OF FOOTING REINFORCEMENT INSPECTION. FOUNDATION SHALL BE SITUATED TO PROVIDE A MINIMUM OF 3' SEPARATION BETWEEN THE PROPERTY LINE AND THE FACE OF EXTERIOR WALL COVERINGS.
- ROOF CONSTRUCTION - G80 CLASS 'A' ROOF ASSEMBLY CONSTRUCTION.

ROOF NOTES

- A LICENSED SURVEYOR SHALL SURVEY THE FOUNDATION TO ASSURE ADEQUATE SETBACKS FROM PROPERTY LINES. A SURVEYOR'S LETTER CERTIFYING THAT THE FOUNDATION IS PROPERLY LOCATED ON THE LOT IS REQUIRED AT THE TIME OF FOOTING REINFORCEMENT INSPECTION. FOUNDATION SHALL BE SITUATED TO PROVIDE A MINIMUM OF 3' SEPARATION BETWEEN THE PROPERTY LINE AND THE FACE OF EXTERIOR WALL COVERINGS.
- A LETTER FROM THE SURVEYOR THAT THE ROOF HEIGHT IS IN COMPLIANCE WITH THE APPROVED PLAN SHALL BE PROVIDED TO THE CITY OF CARMEL-BY-THE-SEA BUILDING SAFETY DIVISION PRIOR TO ROOF SHEATHING INSPECTION.
- A LICENSED SURVEYOR SHALL CERTIFY THE LOCATION OF THE FOOTINGS ARE LOCATED IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE FOOTING INSPECTION, AND SHALL CERTIFY THE BUILDING HEIGHTS CONFORMANCE WITH THE APPROVED PLANS PRIOR TO THE ROOF SHEATHING INSPECTION. WRITTEN CERTIFICATIONS BEARING THE SURVEYORS SIGNATURE AND SEAL SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF INSPECTIONS.



PROJECT NOTES

- BUILDING CODES: ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2019 EDITION OF THE CALIFORNIA BUILDING, CALGREEN, ENERGY, PLUMBING & MECHANICAL CODES, 2019 NEC, NFPA FIRE CODE & ANY AMENDMENTS OF PRESIDING CITY OR COUNTY.
- PROTECT ALL TREES DURING CONSTRUCTION PER CITY TREE PROTECTION STANDARDS.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 2,500 PSI.
- ALL REINFORCING STEEL SHALL CONFORM TO THE A.S.T.M. A615 GRADE 60 UNLESS OTHERWISE NOTED ON PLANS. WELDED WIRE FABRIC: WELDED WIRE FABRIC SHALL CONFORM TO A.S.T.M. A108-74.
- LUMBER SPECIES & GRADES SHALL CONFORM TO THE FOLLOWING U.O.N.: MAXIMUM MOISTURE CONTENT OF LUMBER SHALL BE 19%. ALL DOUGLAS FIR LUMBER WHICH IS EXPOSED TO WEATHER SHALL BE PRESSURE TREATED. ALL GRADING SHALL CONFORM TO THE RULES & REGULATIONS OF THE W.P.A. R.A. # A.P. PLYWOOD SHALL BE D.F. CONFORMING TO U.S. PRODUCT STANDARDS PS 1-174 WITH EXTERIOR GLUE, GRADE STAMPED A.P.A. SEE FRAMING PLANS FOR ADDITIONAL REQUIREMENTS.
- WALL CONSTRUCTION SHALL COMPLY WITH CBC SECTION R602 (FOR CONVENTIONAL CONSTRUCTION).
- NAILING TO BE IN COMPLIANCE WITH CBC TABLE R602.3.1
- ALL MANUFACTURER'S INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.
- THE BUILDER/CONTRACTOR TO PROVIDE THE OWNER & THE CITY OF CARMEL WITH A COPY OF THE CF-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.
- PLASTERING WITH GEMENT PLASTER SHALL NOT BE LESS THAN 3-COATS WHEN APPLIED OVER METAL LATH OR WIRE FABRIC LATH. USE MIN. 640 3/4 L.B. LATH AND PAN-HEAD SCREWS TO SECURE LATH TO THE WOOD FRAME.
- LATH AND ATTACHMENT SCREENS SHALL BE MADE IN USA AND MATERIAL LABEL TAGS SHALL BE PROVIDED TO OWNER UPON REQUEST PRIOR TO INSTALLATION.

SPECIAL INSPECTIONS

SEE STRUCTURAL SHEETS FOR SPECIAL INSPECTIONS REQUIRED FOR THIS PROJECT. CONTRACTOR SHALL COORDINATE FORMS AND PROCEDURES WITH THE BUILDING DEPARTMENT

NOTES

- TREE PROTECTION SHALL BE IN PLACE PRIOR TO BUILDING PERMITS BEING ISSUED.
- SEE GEOTECHNICAL ENGINEERING REPORT BY BEACON GEOTECHNICAL, INC., DATED JANUARY 10, 2018 FOR FLOOR AND ROOF DESIGN LOAD REQUIREMENTS. ALL RECOMMENDATIONS CONTAINED IN THE GEOTECH. ENGINEER'S REPORT SHALL BE CONSIDERED REQUIREMENTS FOR APPROVAL OF THE BUILDING PERMIT.
- THIS PROJECT REQUIRES A 1SD FIRE SPRINKLER SYSTEM. FIRE SPRINKLER PLANS, DETAILS & CALCULATIONS PREPARED BY A LICENSED C-16 CONTRACTOR SHALL BE SUBMITTED TO THE CITY OF CARMEL-BY-THE-SEA BUILDING SAFETY DIVISION & PRESIDING FIRE AUTHORITY PRIOR TO INSTALLATION.
- PRIOR TO BEGINNING CONSTRUCTION, A PRE-CONSTRUCTION SITE MEETING WITH THE ENVIRONMENTAL COMPLIANCE MANAGER & BUILDING INSPECTION IS REQUIRED.
- AN 811/USA UNDERGROUND LOCATE TICKET SHALL BE OBTAINED PRIOR TO PERMIT ISSUANCE. THE TICKET SHALL REMAIN ACTIVE THROUGHOUT THE PROJECT & SHALL BE ON SITE AT THE TIME OF INSPECTIONS.

PROJECT DATA

SCOPE OF WORK: REBUILD (E) SINGLE FAMILY RESIDENCE, REBUILD INCLUDES (N) PARTIAL SECOND STORY.
SITE DESCRIPTION: LOT 14 IN BLOCK U (2&9) AS SHOWN ON 'ADDITION NO. 1 TO CARMEL-BY-THE-SEA, IN THE CITY OF CARMEL, COUNTY OF MONTEREY, STATE OF CALIFORNIA' FILED IN ASSESSOR'S MAP BOOK 10, PAGE 26 - CITIES & TOWNS', RECORDS OF MONTEREY COUNTY.

TREE INFORMATION: NO TREES TO BE REMOVED

ZONING: R-1

OCCUPANCY GROUP: RESIDENCE; R-3
GARAGE; U

TYPE OF CONSTRUCTION: V-B

SETBACKS
 REQUIRED FRONT SETBACK = 15'-0"
 EXISTING MAIN HOUSE FRONT SETBACK = 18'-5"
 PROPOSED MAIN HOUSE FRONT SETBACK = 11'-2"
 REQUIRED (N) RESIDENCE SIDE SETBACKS = TOTAL OF 25% OF SITE WIDTH = 10'-0"
 PROPOSED (N) RESIDENCE SIDE SETBACKS = MINIMUM 10'-0" AT ALL NEW STRUCTURE LOCATIONS

LOT AREA: 4,000 S.F.	LOT COVERAGE ALLOWED = 34% S.F.
(N) RESIDENCE FLOOR AREA ALLOWED: 1,600 S.F. MAIN HOUSE 200 S.F. GARAGE 1,800 S.F. BASE FLOOR AREA	+ 4% ADDL. LOT COVERAGE = 160 S.F. 556 S.F. ALLOWED
(N) RESIDENCE FLOOR AREA PROPOSED: (E) GARAGE: 200 S.F. LOWER FLOOR: 54 S.F. MAIN FLOOR: 1,183 S.F. UPPER FLOOR: 353 S.F. TOTAL: 1,800 S.F.	LOT COVERAGE PROPOSED: SEMI-PERMEABLE: FRONT WALK (SEMI-PERM. PAVERS) 20 S.F. DRIVEWAY (TURF BLOCK) 125 S.F. DRIVEWAY (SEMI-PERM. PAVERS) 77 S.F. TRASH AREA (SEMI-PERM. PAVERS) 10 S.F. REAR PATIO (SEMI-PERM. PAVERS) 43 S.F. TOTAL SEMI-PERM. PAVERS & TURF BLOCK: 275 S.F.
	IMPERMEABLE: FRONT DECK 170 S.F. FRONT STEPS (IMPERMEABLE) 33 S.F. COVERED REAR PORCH 44 S.F. REAR STEPS 12 S.F. REAR STEPPING STONES 10 S.F. BBQ 12 S.F.
	TOTAL IMPERMEABLE: 281 S.F.
	TOTAL LOT COVERAGE PROPOSED: 556 S.F.

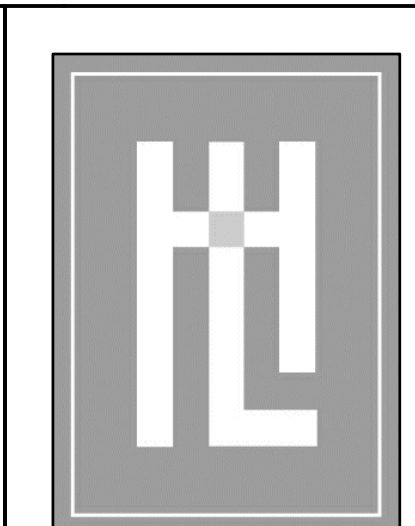
PROJECT TEAM

OWNER:
AMR & ELMIRA SALEHI
16095 ROSE AVENUE
LOS GATOS, CA 95030
PH: 408-214-2276

ARCHITECT:
HOLDREN LIETZKE ARCHITECTURE
225 CANNERY ROW, SUITE A
MONTEREY, CA 93940
PH: 831-644-6001

SURVEYOR:
CENTRAL COAST SURVEYORS
5 HARRIS CT, SUITE N-11
MONTEREY, CA 93940
PH: 831-394-4930

SITE ADDRESS:
SAN ANTONIO, 5 SE OF 8TH AVE.
CARMEL-BY-THE-SEA, CA 93921



**HOLDREN+LIETZKE
ARCHITECTURE**

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
PH: 831.649.6001

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DATE: 10/27/2020

SCALE:

DRAWN: DVD

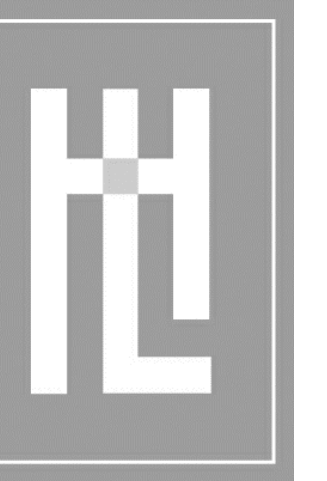
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REVISION

COVER SHEET & PROJECT DATA

SALEHI RESIDENCE
SAN ANTONIO, 5 SE OF 8TH AVE
CARMEL-BY-THE-SEA, CA 93921
A.P.N. 010-268-009

A0.0



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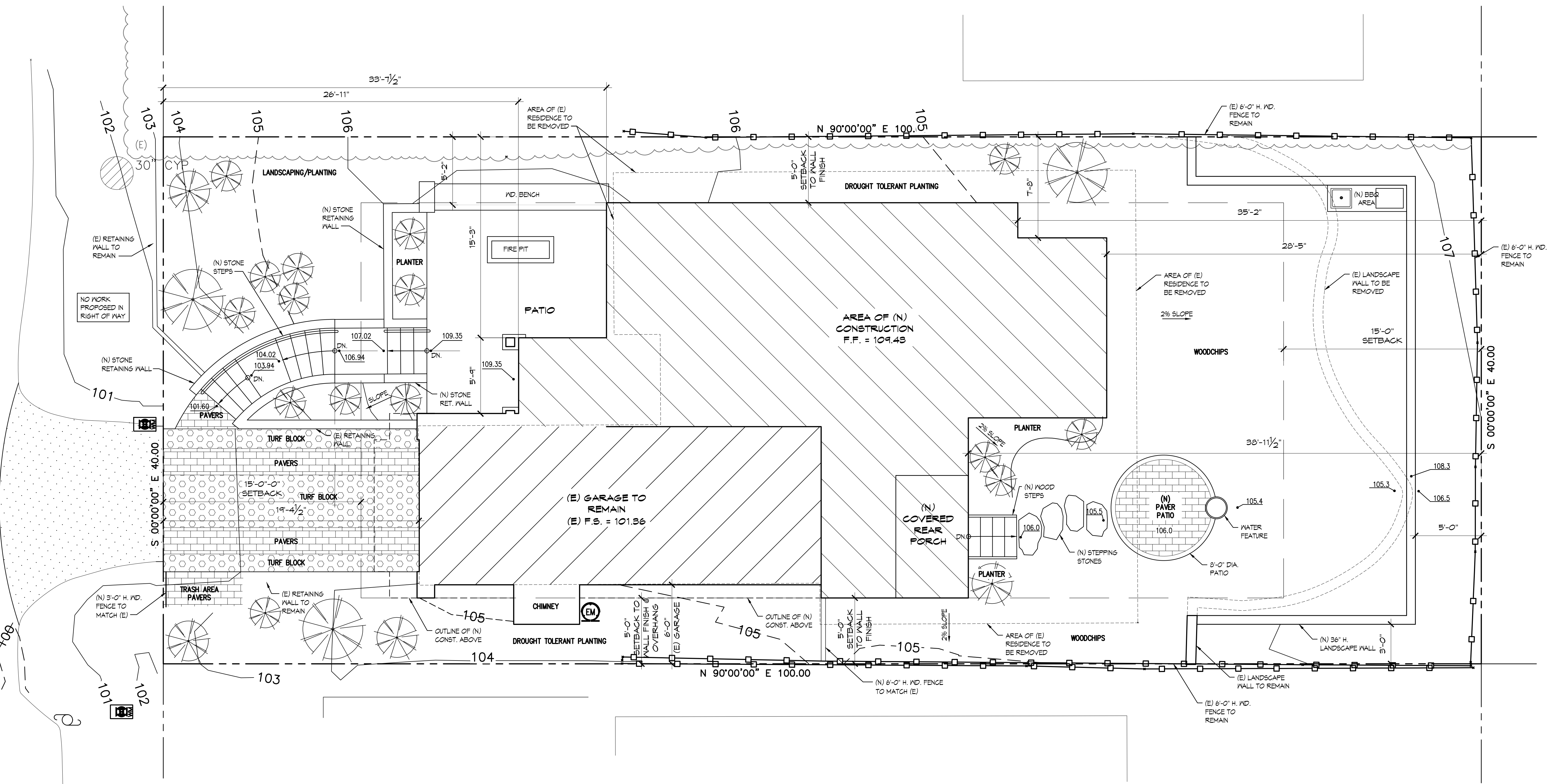
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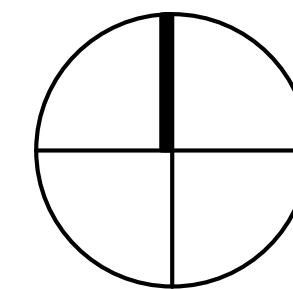
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SAN ANTONIO AVE.
(A 50' WIDE CITY STREET)



NORTH



PROPOSED SITE PLAN

SCALE: 1/4"=1'-0"



LEGEND:

	(E) WATER METER
	(E) ELECTRICAL OUTLET
	(E) ELECTRICAL METER
	(E) CLEANOUT
	(E) HOSE BIB
	(E) UTILITY POLE
	LOCATION OF (E) WOOD FENCE TO REMAIN
	(E) FENCE TO BE REPLACED W/SIMILAR
	(E) PROPERTY LINE
	(E) ADJACENT PROPERTY BOUNDARY LINE
	(E) EASEMENT LINE (TYPE AS SHOWN)
	(E) MAJOR CONTOUR LINE (5' INTERVAL)
	(E) MINOR CONTOUR LINE (1' INTERVAL)
	(E) FENCE (TYPE AS MARKED)
	AREA OF (N) CONSTRUCTION
	(E) GARAGE TO REMAIN
	(E) ASPHALT CONCRETE SURFACE
	(N) FRONT PATIO
	(E) WOODEN SURFACE
	(N) PERMEABLE PAVERS
	(N) TURF BLOCK

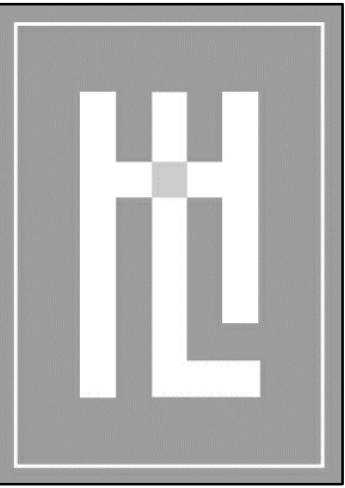
NOTES:

- ELEVATION DATUM IS BASED ON TOPOGRAPHIC MAP.
- DISTANCES & ELEVATIONS ARE EXPRESSED IN FEET & INCHES.
- CHECK FOR DIRECTION OF TREE GROWTH IN FIELD WHERE PERTINENT TO LOCATION OF IMPROVEMENTS.
- CONTOUR INTERVAL = 1'-0"
- ITEMS SHOWN ARE NEW UNLESS OTHERWISE NOTED.

GRADING NOTES:

- ALL GRADING CUT & FILL OCCURS IN LOCATION OF NEW FOOTINGS.
- NO GRADING WILL OCCUR IN PUBLIC RIGHT OF WAY.
- GRADING WILL BE BALANCED ON SITE, NO SOIL EXPORT IS PROPOSED

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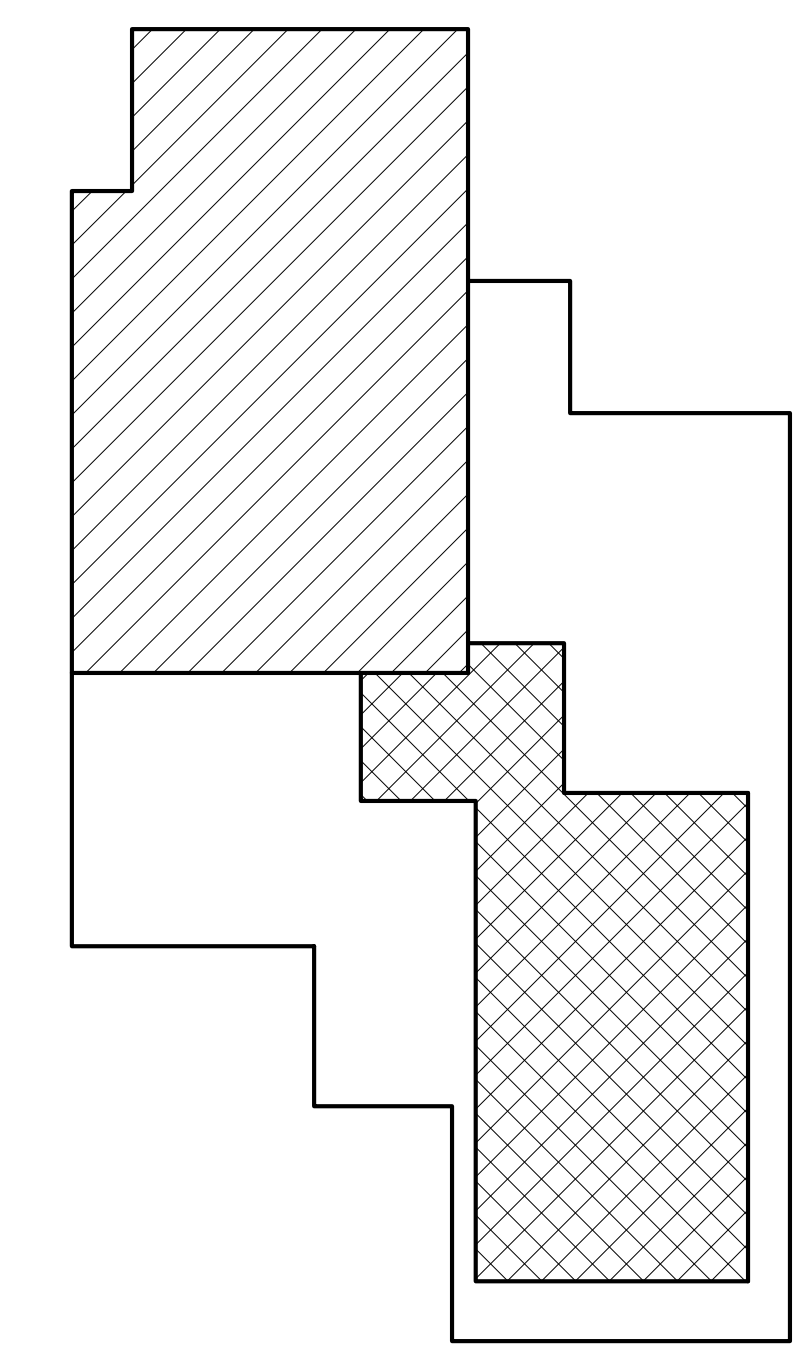
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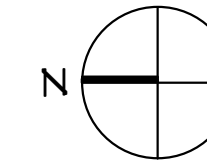
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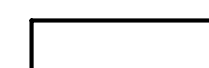

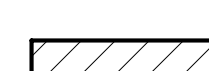
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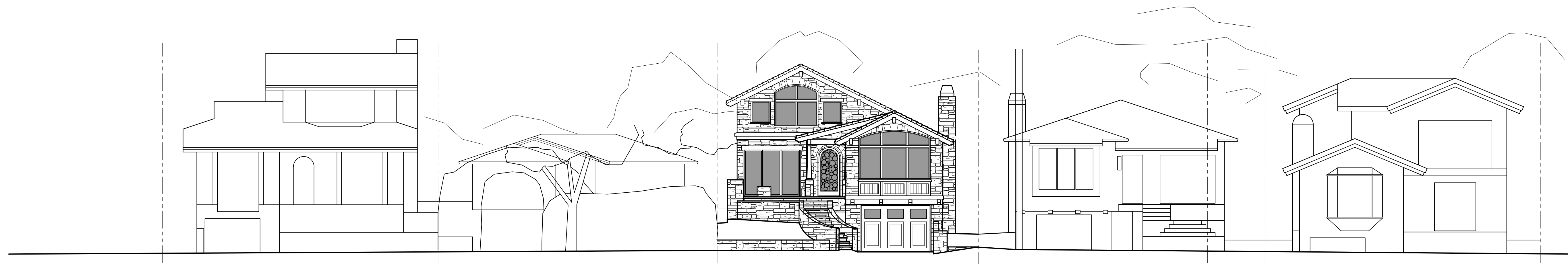
REVISION



 **FLOOR LEVEL MAP**
SCALE: 1/8" = 1'-0"

LEGEND	
	AREA OF MAIN LEVEL
	AREA OF LOWER FLOOR BELOW MAIN FLOOR (NOTE: 100% OF MAIN FLOOR OVERLAPS LOWER FLOOR)
	AREA OF UPPER FLOOR ABOVE MAIN FLOOR (NOTE: 100% OF UPPER FLOOR OVERLAPS MAIN FLOOR)

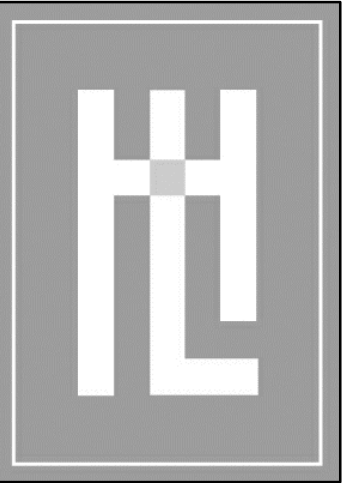
FLOOR AREA TABLE	
LOWER FLOOR:	247 S.F.
MAIN FLOOR:	1,190 S.F.
UPPER FLOOR:	415 S.F.
AREA OF MAIN FLOOR THAT OVERLAPS LOWER FLOOR: 247 S.F.	
AREA OF UPPER FLOOR THAT OVERLAPS MAIN FLOOR: 415 S.F.	



STREET ELEVATION
SCALE: 1/8" = 1'-0"

FLOOR LEVEL MAP & STREET ELEVATION

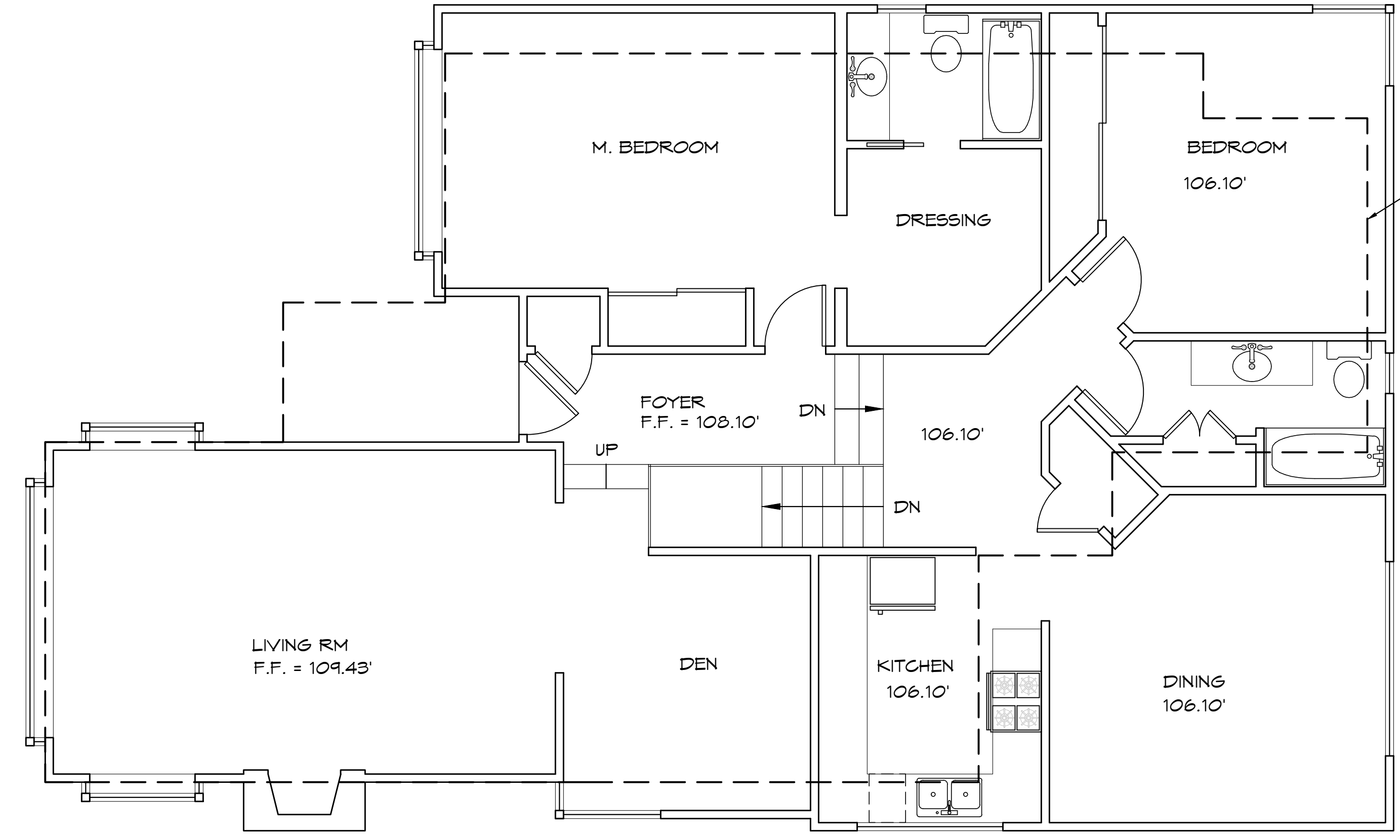
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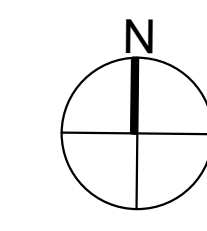
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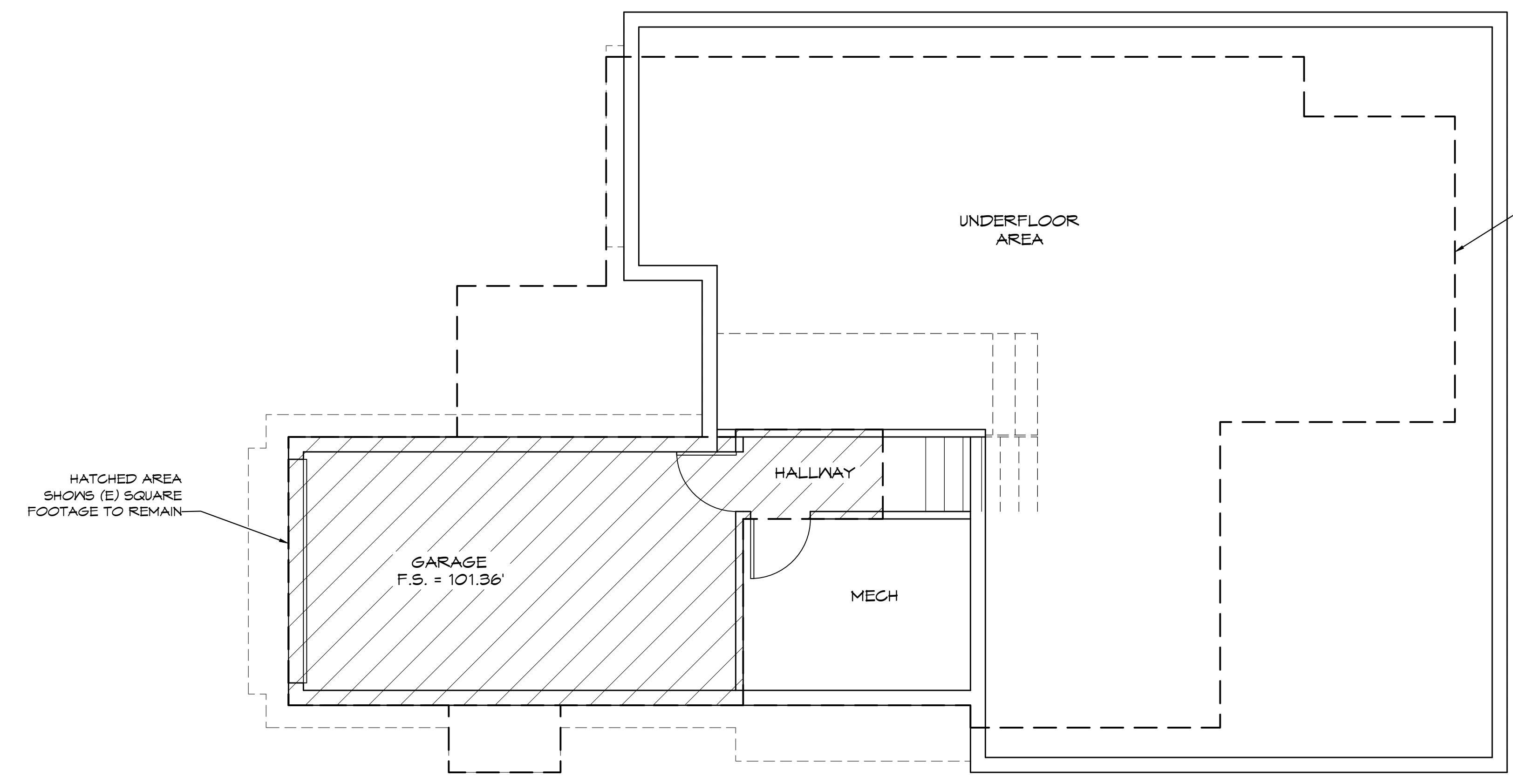
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JOB NUMBER:	20.05
REVISION:	



OUTLINE OF PROPOSED CONSTRUCTION

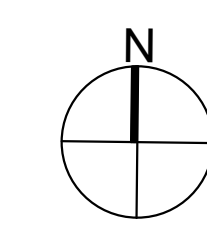


EXISTING MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



OUTLINE OF PROPOSED CONSTRUCTION

HATCHED AREA SHOWS (E) SQUARE FOOTAGE TO REMAIN

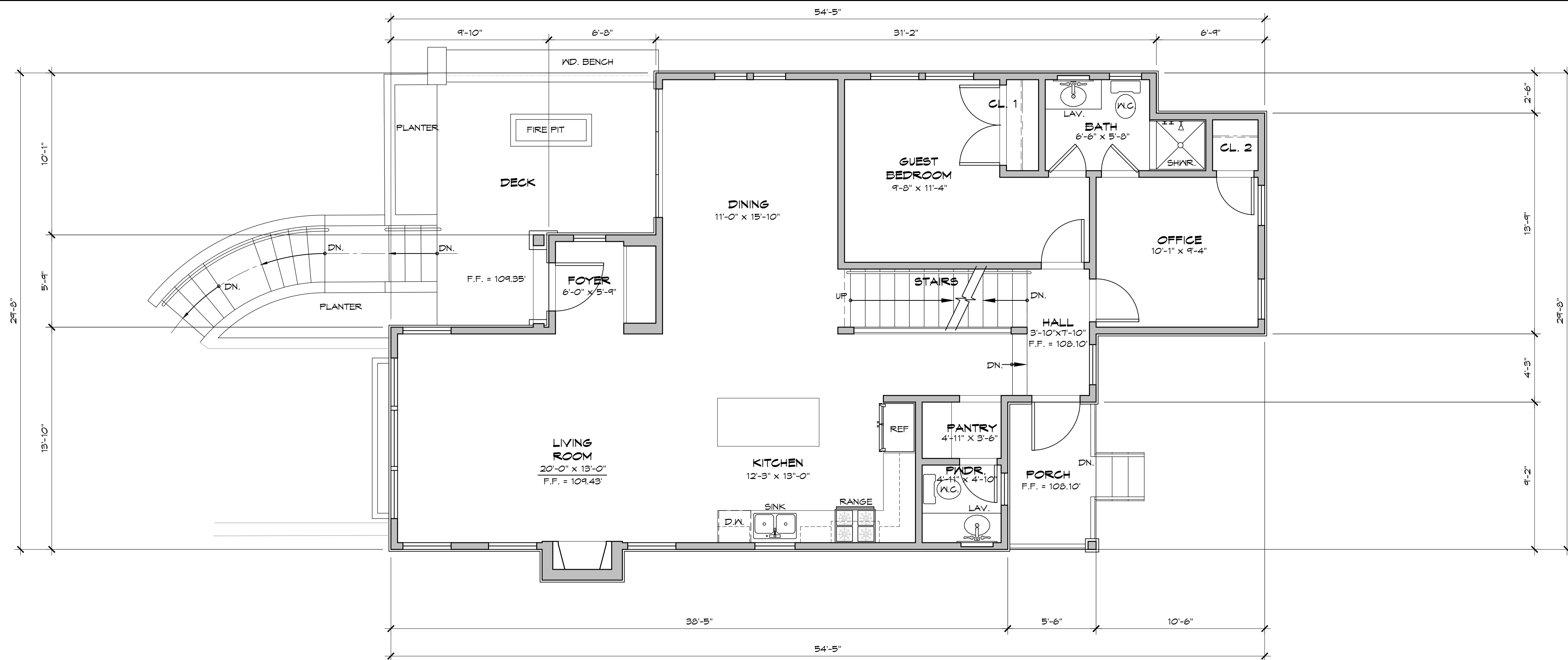


EXISTING LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"

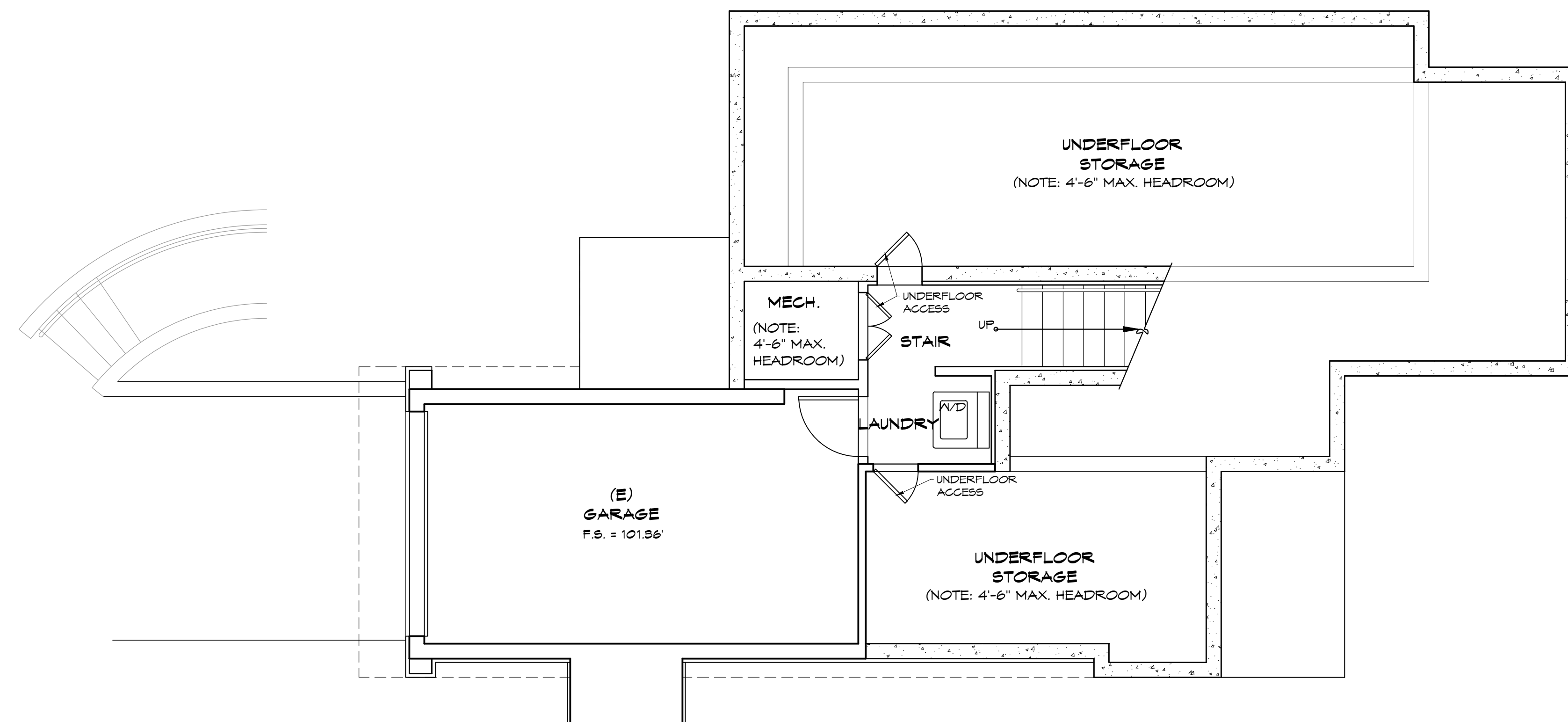
EXISTING FLOOR PLANS

SALEHI RESIDENCE
SAN ANTONIO, 5 SE OF 8TH AVE
CARMEL-BY-THE-SEA, CA 93921
A.P.N. 010-268-009

A2.0



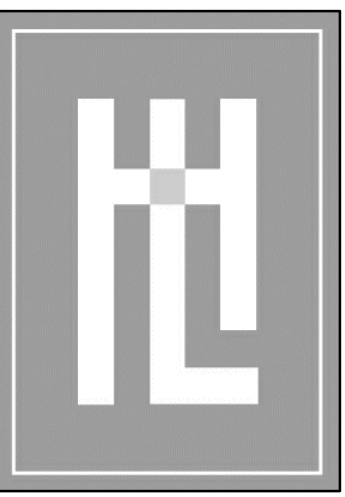
MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND:

- (E) WALL TO REMAIN
- (N) STUD WALL
- (N) RETAINING FOOTING
- (N) FOOTING
- LOCATION OF STRUCTURE ABOVE



**HOLDREN+LIETZKE
ARCHITECTURE**

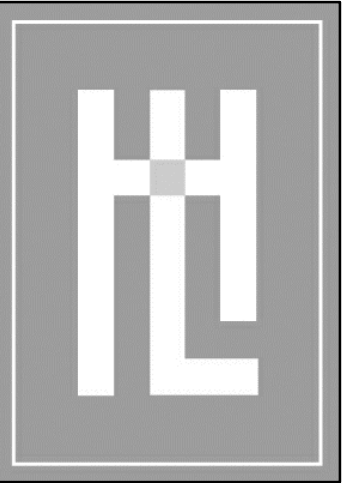
225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
www.hl-arc.com

DATE: 10/27/2020
SCALE: 1/4" = 1'-0"
DRAWN: DWD
JOB NUMBER: 20.05
REVISION

PROPOSED LOWER & MAIN FLOOR PLANS

SALEHI RESIDENCE
SAN ANTONIO, 5 SE OF 8TH AVE
CARMEL-BY-THE-SEA, CA 93921
A.P.N. 010-268-009

A2.1



HOLDREN+LIETZKE
ARCHITECTURE

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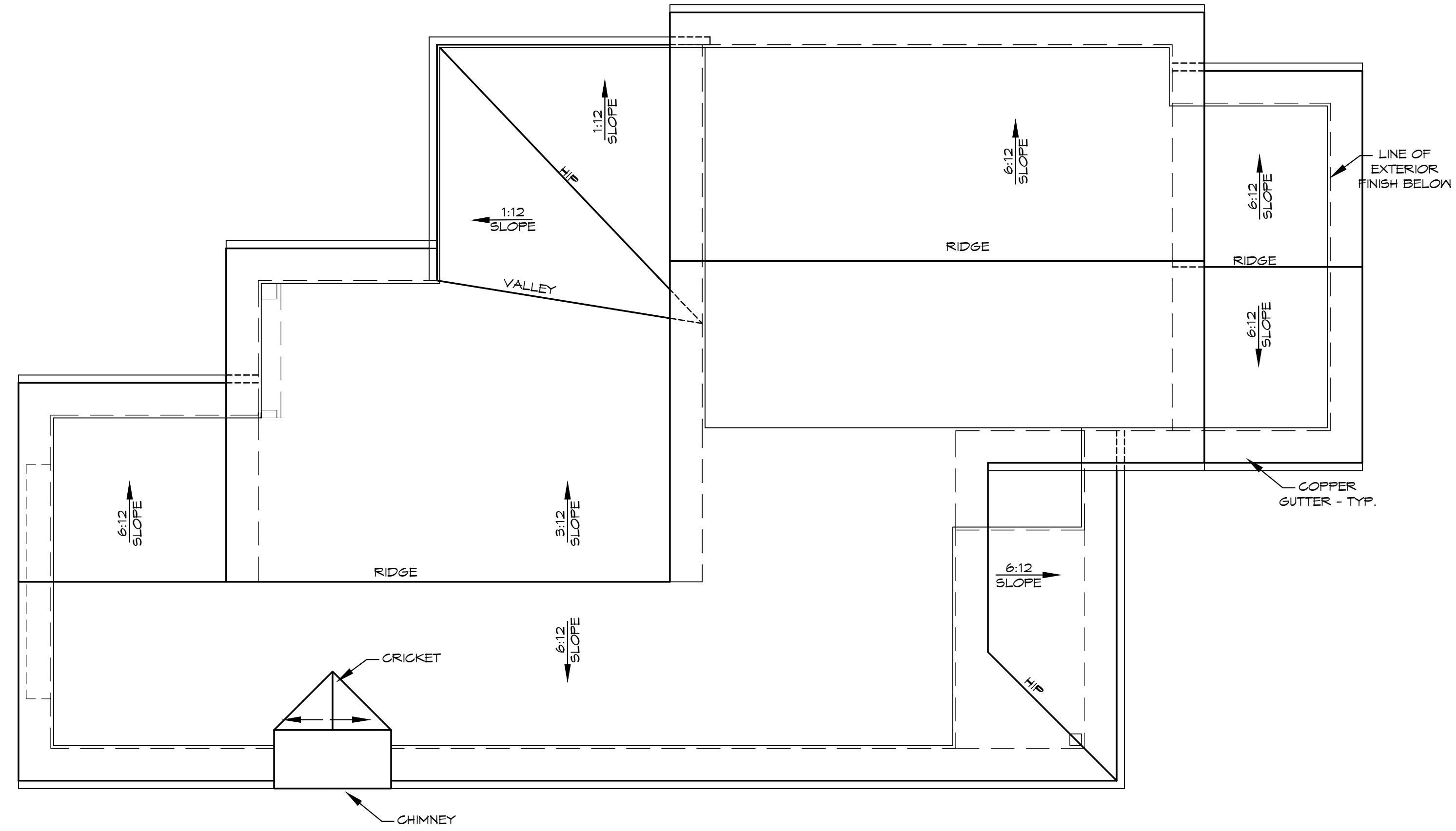
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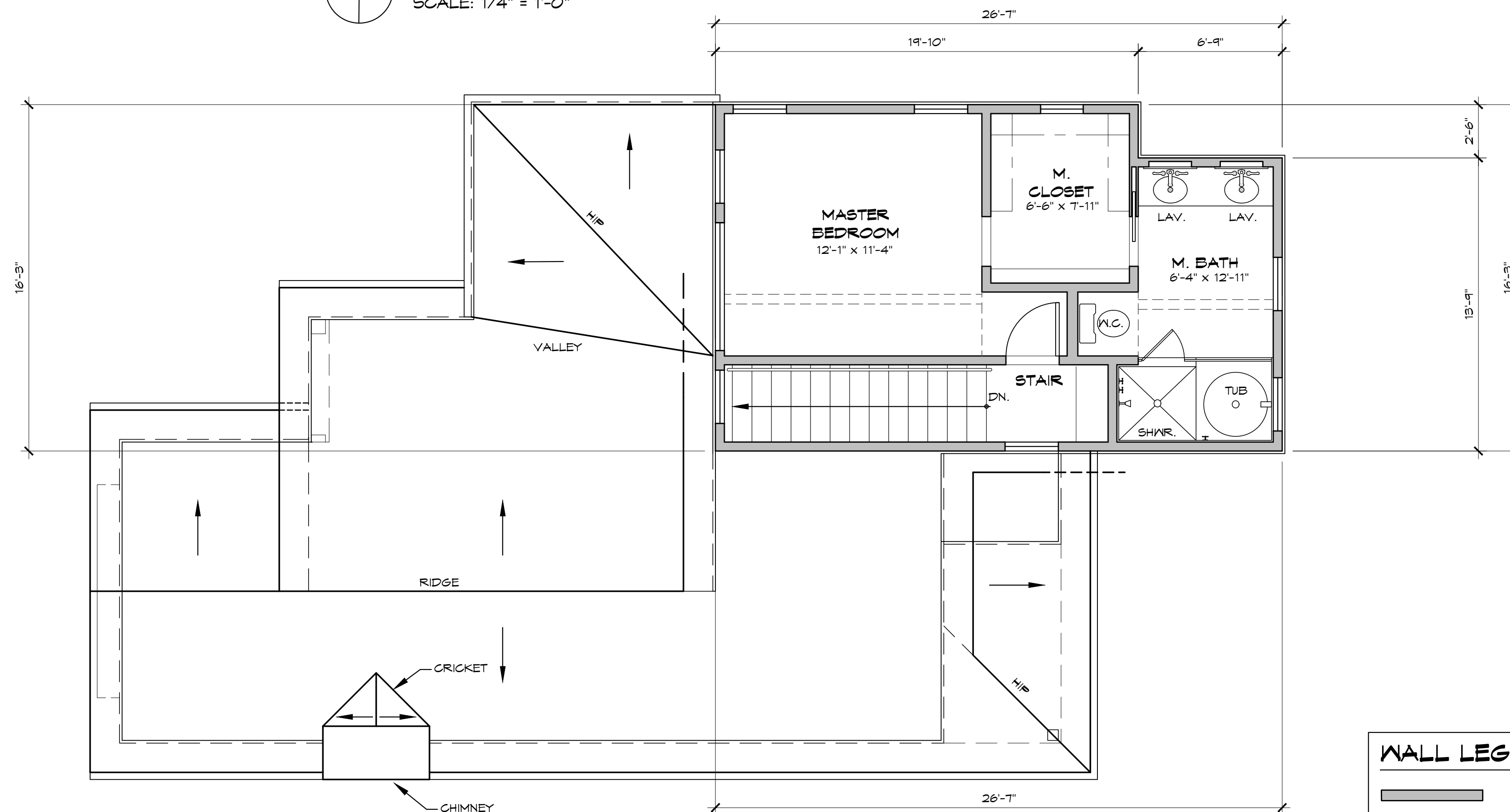
DRAWN: DWD

JOB NUMBER: 20.05

REVISION



UPPER ROOF PLAN
SCALE: 1/4" = 1'-0"



UPPER FLOOR & LOWER ROOF PLAN
SCALE: 1/4" = 1'-0"

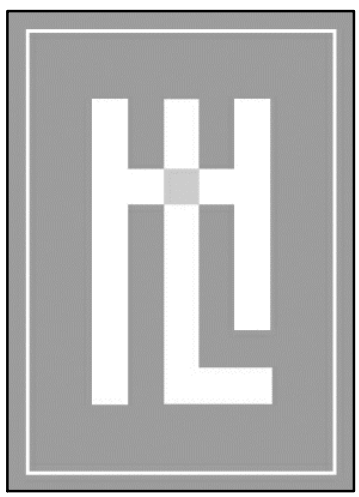
WALL LEGEND:

	(N) STUD WALL
	WALL FINISH
	LOCATION OF STRUCTURE BELOW

PROPOSED UPPER FLOOR & ROOF PLANS

SALEHI RESIDENCE
SAN ANTONIO, 5 SE OF 8TH AVE
CARMEL-BY-THE-SEA, CA 93921
A.P.N. 010-268-009

A2.2

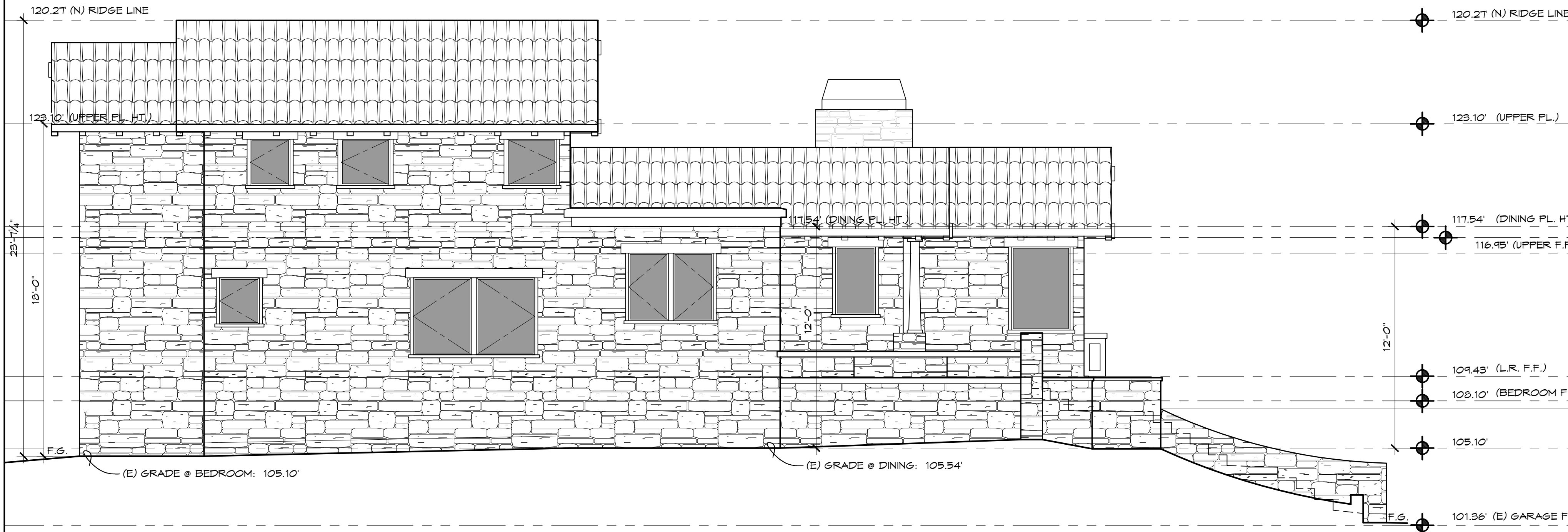


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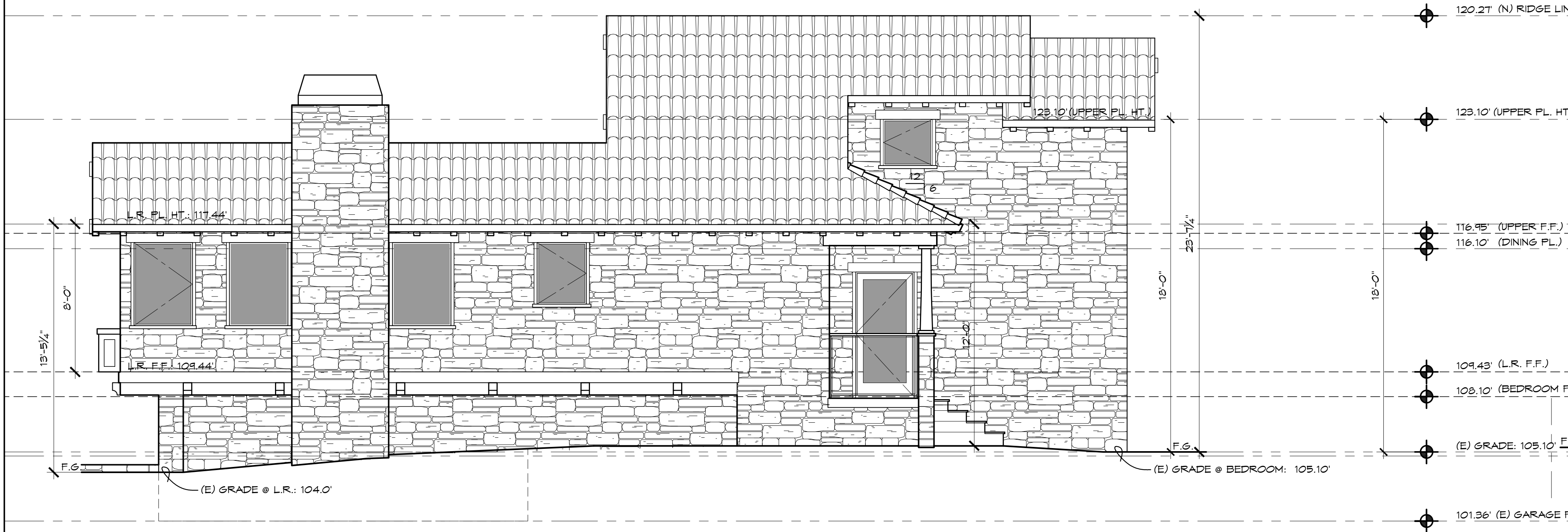
DATE:	10/27/2020
SCALE:	1/4"=1'-0"
DRAWN:	DWD
JOB NUMBER:	20.05
REVISION:	



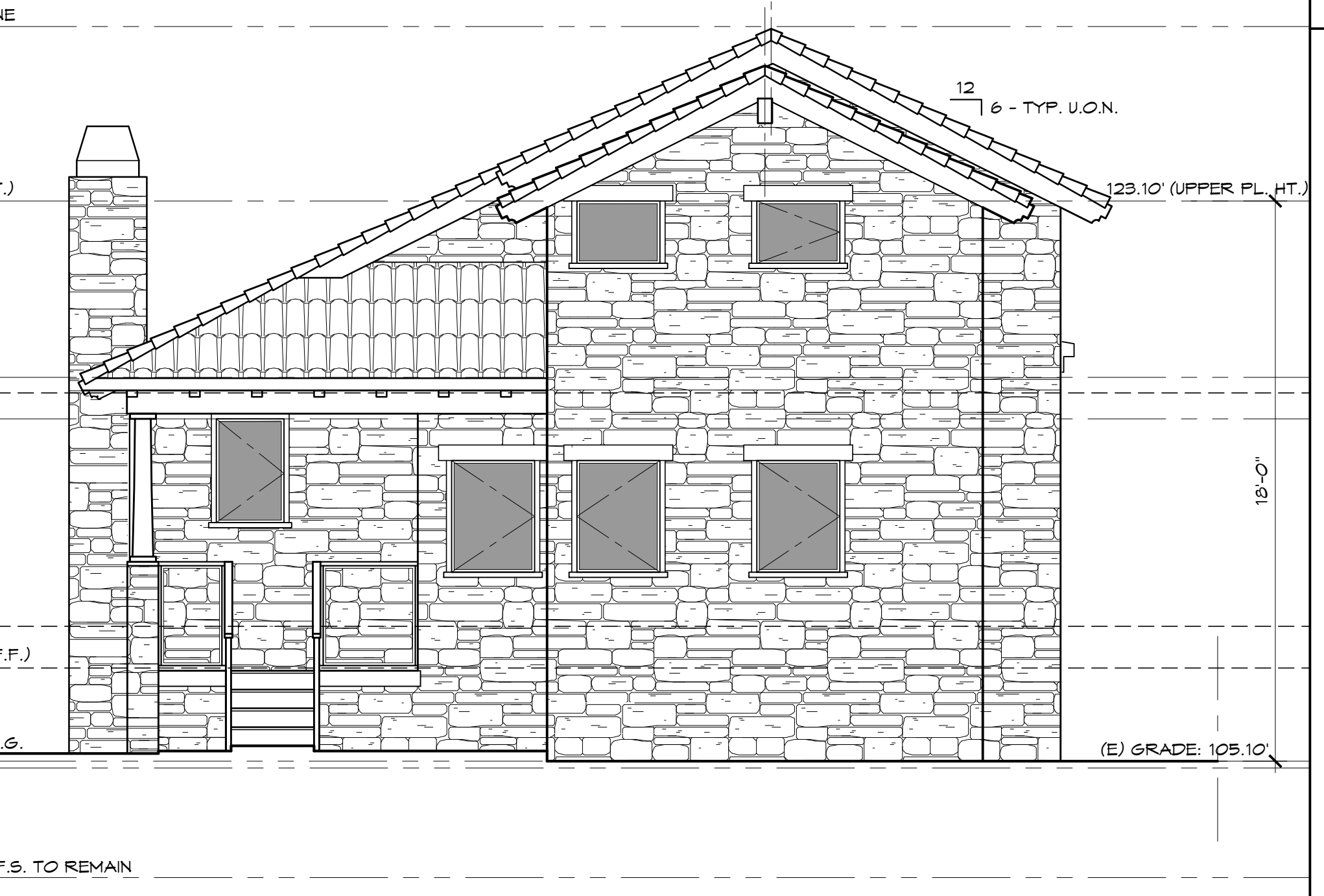
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED EXTERIOR ELEVATIONS

SALEHI RESIDENCE
SAN ANTONIO, 5 SE OF 8TH AVE
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