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GENERAL NOTES

1.DO NOT SCALE DRAWINGS.

2.CONTRACT DOCUMENTS WHICH DESCRIBE EXISTING CONSTRUCTION HAVE BEEN BASED ON FIELD INSPECTION, BUT ARE NOT BASED ON EXTENSIVE FIELD MEASUREMENTS, OPENING OF CONCEALED CONDITIONS OR EXCAVATION OF BURIED ITEMS. NO RELIABLE CONSTRUCTION DOCUMENTS FOR THE EXISTING STRUCTURE WERE AVAILABLE. THESE DRAWINGS ARE INTENDED AS A GUIDE TO THE CONTRACTOR WHO SHALL VERIFY DIMENSIONS BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE DESIGNER BEFORE PROCEEDING WITH WORK REGARDING CHANGES, DISCREPANCIES OR ALTERATIONS THAT ARE INCONSISTENT WITH THESE DRAWINGS. NOTIFY THE DESIGNER IMMEDIATELY OF PRE-EXISTING CONDITIONS WHICH PROHIBIT EXECUTION OF WORK AS DESCRIBED HEREIN.

3..NEW CONSTRUCTION TO MATCH EXISTING DETAILS AND FINISHES. WHERE NEW CONSTRUCTION MEETS EXISTING CONSTRUCTION, PATCH AND MATCH SURFACES AND FINISHES TO ALIGN CONSISTENTLY SO NO VISUAL EVIDENCE OF CORRECTED WORK REMAINS UPON COMPLETION.

4.FLOOR ELEVATIONS = TOP OF PLYWOOD SUB-FLOOR OR TOP OF SLAB.

5.ALL WALLS DIMENSIONED TO FACE OF STUD (UNLESS OTHERWISE NOTED).

REVISION NOTES

CAL GREEN NOTES

A. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED. NOTE THIS REQUIREMENT ON THE PLANS.

B. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHERBASED (4.304.1).

C. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1)

D. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1)

E. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1)

F. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2)

CODE COMPLIANCE NOTES

1. THIS PROJECT SHALL COMPLY WITH THE 2016 CALIFORNIA RESIDENTIAL CODE, 2016 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA FIRE CODE, 2016 CALIFORNIA ELECTRICAL CODE, 2016 CALIFORNIA PLUMBING CODE, 2016 CALIFORNIA MECHANICAL CODE, 2016 CALIFORNIA ENERGY CODE, 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE AND ANY OTHER APPLICABLE CODES.

2. A STATE LICENSED SURVEYOR SHALL CERTIFY IN WRITING THAT THE FOOTINGS/FOUNDATION ARE LOCATED IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE FOOTING/FOUNDATION INSPECTION; AND SHALL CERTIFY THE ROOF HEIGHT IS IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE ROOF SHEATHING INSPECTION. CERTIFICATION SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF THE REFERENCED INSPECTIONS.

3. CONTRACTOR SHALL OBTAIN AN 8-1-1/DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND SHALL MAINTAIN THE TICKET IN ACTIVE STATUS THROUGHOUT THE PROJECT. TICKET SHALL BE KEPT ON SITE FOR INSPECTOR REFERENCE.

4. TO MINIMIZE OFF-SITE VIBRATION AND DAMAGE TO NEARBY PROPERTIES, CONTRACTOR SHALL UTILIZE THE SMALLEST FEASIBLE COMPACTION EQUIPMENT CAPABLE OF ACHIEVING THE DESIRED COMPACTION LEVEL. CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL OFF-SITE DAMAGE AND SHALL REPAIR ANY DAMAGE IN A TIMELY MANNER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE PROJECT.

5. STRUCTURAL WELDING FOR GUARDRAILS OR ANY OTHER WELDED STEEL STRUCTURAL ELEMENTS SHALL BE DONE IN A LISTED APPROVED SHOP OR IF WELDED IN THE FIELD, UNDER SPECIAL INSPECTION.

CONTACT INFORMATION

OWNER - OSBT Investments 831.747.4718
 DESIGNER - Alan Lehman 831.747.4718

PROJECT INFORMATION

OWNER	OSBT
SITE ADDRESS	Lincoln SE corner of 3rd, Carmel By The Sea CA 93921
A P N	APN 010-129-014
LEGAL	Carmel By The Sea Lot 2 Blk 33
LOT/TRACT	LOT 2 BLOCK 33
YEAR BUILT	1933
ZONING	R-1
CONST. TYPE	V-B
OCCUPANCY	R-3
FIRE SPRINKLERS	YES (NEW)
HISTORIC	NO

LOT SIZE	4000 S.F.
EXISTING FIRST STORY	924 S.F.
EXISTING SECOND STORY	608 S.F.
EXISTING TOTAL FLOOR AREA	1532 S.F

NEW FIRST STORY	1202 S.F.
NEW SECOND STORY	398 S.F.
NEW GARAGE	200 S.F.
NEW TOTAL FLOOR AREA	1800 S.F

EXISTING SITE COVERAGE	
CONCRETE DRIVEWAY	486 S.F.
FRONT PATIO	452 S.F.
STAIRS AND LANDINGS	73 S.F.
EXISTING TOTAL SITE COVERAGE	1011 S.F

PROPOSED SITE COVERAGE	
PAVER DRIVEWAY (PERMEABLE)	120 S.F.
FRONT PATIO (PERMEABLE)	250 S.F.
FRONT PAVER PATH (PERMEABLE)	84 S.F.
REAR PAVER PATH (PERMEABLE)	100 S.F.
PROPOSED TOTAL SITE COVERAGE	554 S.F
SITE COVERAGE REDUCTION	(457 S.F.)
SITE COVERAGE ALLOWED	556 S.F.



VICINITY MAP
NO SCALE

SCOPE OF WORK

DEMOLISH EXISTING DUPLEX. NEW 1600 S.F. SINGLE FAMILY RESIDENCE WITH 200 S.F. GARAGE. 3 BEDROOM, 3 BATHS.

DRAWING INDEX

SHEET #	CONTENTS
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A9	STREET VIEW, EXTERIOR LIGHT FIXTURES
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REVISIONS

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Alan Lehman

PROJECT INFORMATION

OSBT Residential Remodel
 Lincoln SE corner of 3rd, Carmel By The Sea CA 93921
 APN 010-129-014

10/16/2020

SHEET

A1

VOLUME 24
SURVEYS
PAGE 34

LOT 20

LOT 19

LINCOLN STREET
(A 60 FOOT WIDE CITY STREET)

THIRD AVENUE
(A 50 FOOT WIDE CITY STREET)

EXISTING RESIDENCE
LOT 2
BRITTON FAMILY TRUST
APN: 010-129-014

VOLUME 33
SURVEYS
PAGE 42

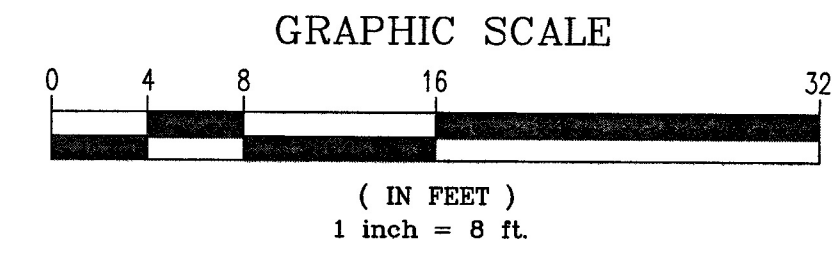
BLOCK 33

NOTES:

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS.
- DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
- THIS PROPERTY MAY BE AFFECTED BY EASEMENTS THAT ARE NOT SHOWN ON THIS MAP.
- CONTOUR INTERVAL = 1 FOOT.
- ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM. THE PROJECT BENCHMARK IS THE FINISHED FLOOR LOCATED AT THE THRESHOLD. ELEVATION = 100.00'.
- TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES.
- 99.99' DENOTES ROOFPEAK ELEVATIONS AS SHOWN.
- DENOTES A FOUND MONUMENT.

LEGEND:

- FENCE LINE
- AC ASPHALTIC CONCRETE
- C CYPRESS
- CONC. CONCRETE
- DI DROP INLET
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- EV ELECTRIC VAULT
- FFE FINISH FLOOR ELEVATION
- GM GAS METER
- HB HOSE BIB
- K OAK
- MRW MASONRY RETAINING WALL
- PL PLANTER BOX
- PG&E PG&E VAULT
- R REDWOOD
- SSCO SANITARY SEWER CLEAN OUT
- SSMH SANITARY SEWER MANHOLE
- T TREE, SPECIES NOT SPECIFIED
- UP UTILITY POLE
- WM WATER METER
- WRW WOOD RETAINING WALL
- WV WATER VALVE



TOPOGRAPHIC SURVEY

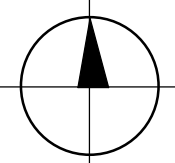
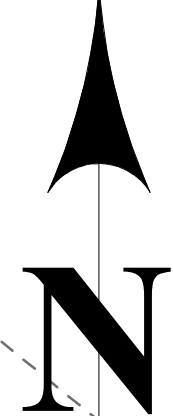
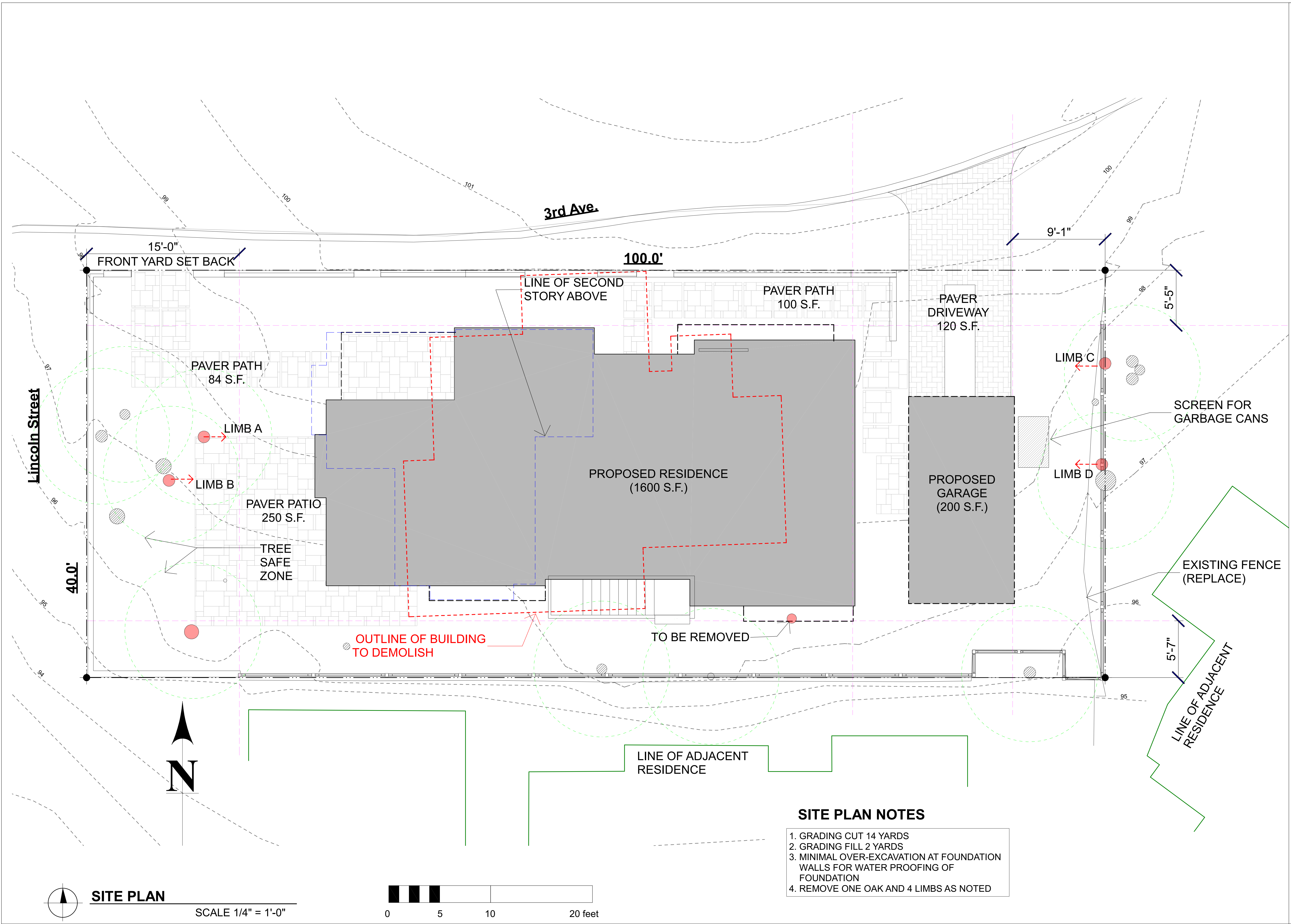
OF
LOT 2, BLOCK 33
CARMEL-BY-THE-SEA
VOLUME 1, CITIES & TOWNS, PAGE 2

CITY OF CARMEL-BY-THE-SEA COUNTY OF MONTEREY STATE OF CALIFORNIA
PREPARED FOR
O.S.B.T

BY
MONTEREY BAY ENGINEERS, INC.
CIVIL ENGINEERING • SUBDIVISIONS • LAND SURVEYING • CONSTRUCTION STAKING
607 Charles Ave Suite B Seaside, California 93955
Phone: (831) 899-7899

SCALE: 1" = 8' JOB No. 20-062 JULY 2020
FIELD: MAL & AL DRAWN BY: AL

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SITE PLAN
SCALE 1/4" = 1'-0"

- SITE PLAN NOTES**
1. GRADING CUT 14 YARDS
 2. GRADING FILL 2 YARDS
 3. MINIMAL OVER-EXCAVATION AT FOUNDATION WALLS FOR WATER PROOFING OF FOUNDATION
 4. REMOVE ONE OAK AND 4 LIMBS AS NOTED

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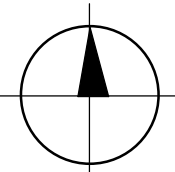
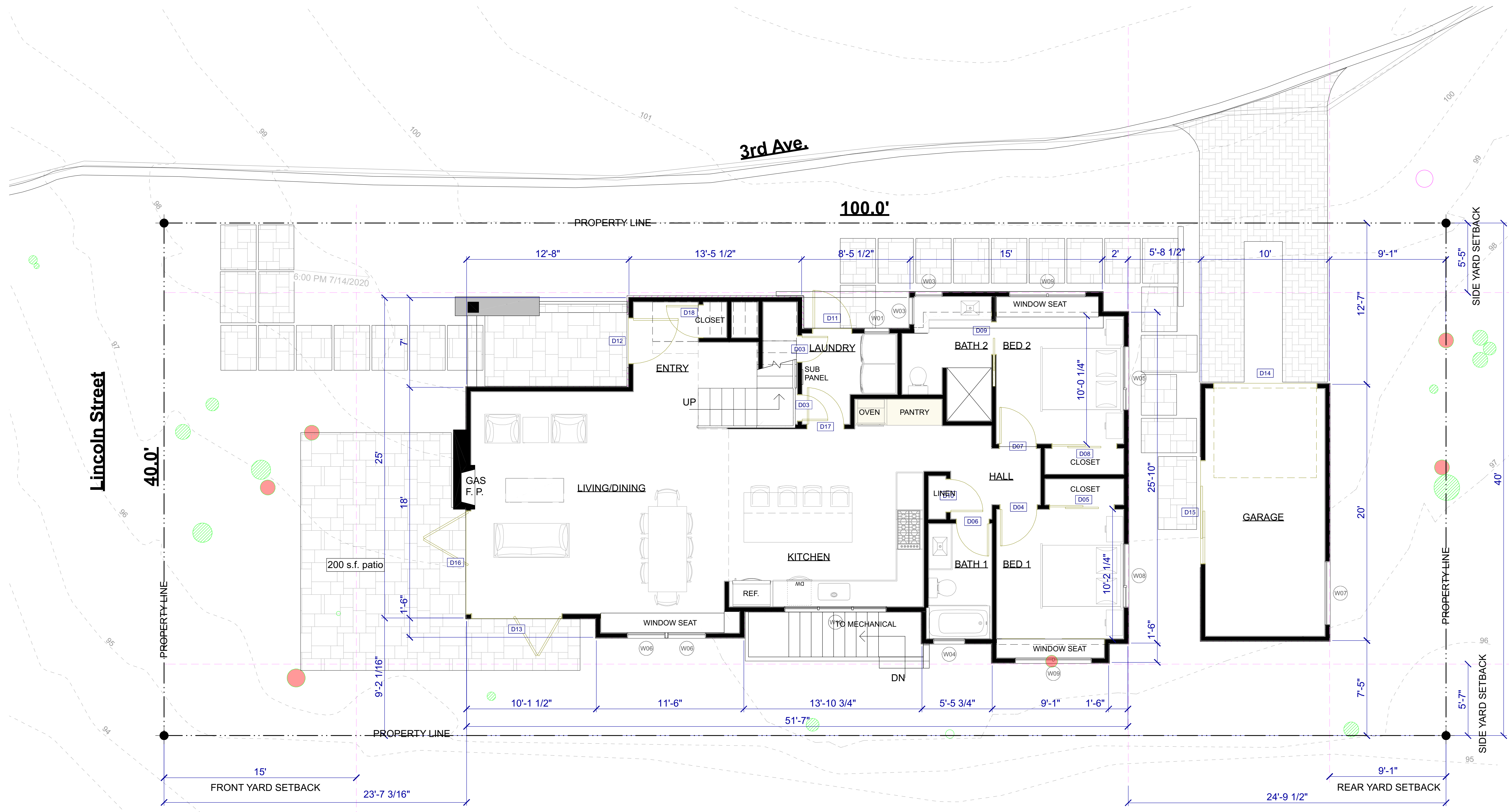
SITE PLAN

OSBT Residential Remodel
Lincoln SE corner of 3rd, Carmel By The Sea CA 93921
APN 010-129-014

10/16/2020

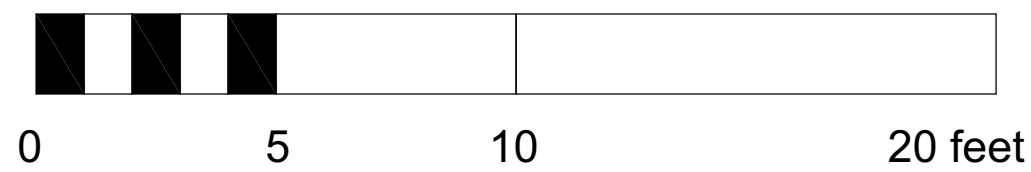
SHEET
A2

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FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"



PLAN LEGEND

- EXISTING WALL
- NEW WALL
- WALL TO BE REMOVED
- EXISTING CONTOUR
- NEW CONTOUR
- HARDSCAPE, STONE PAVERS
- TREE

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FIRST FLOOR PLAN

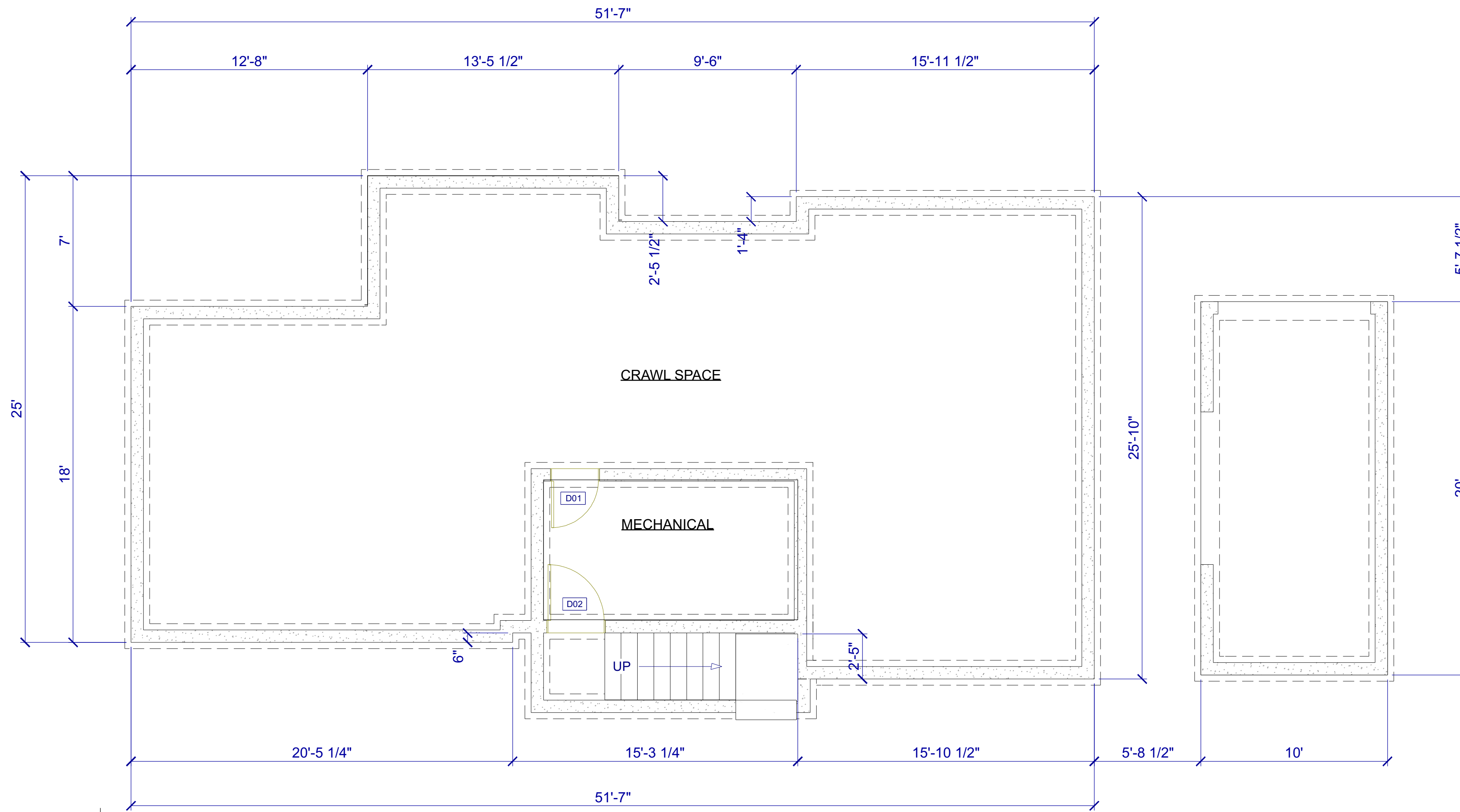
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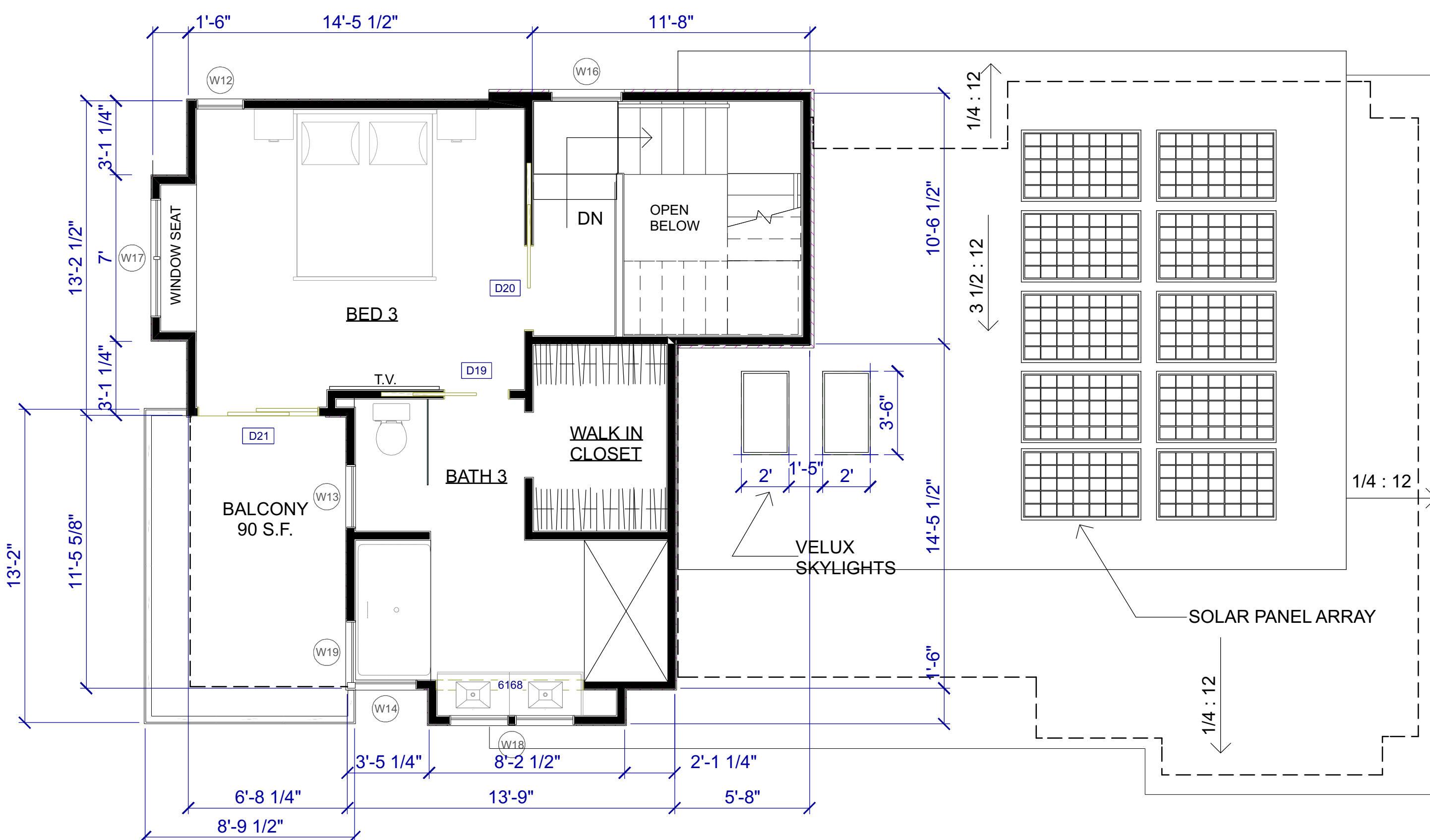
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A3

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FOUNDATION PLAN
SCALE 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

DOOR SCHEDULE									
NUMBER	QTY	FLOOR	ROOM NAME	WIDTH	HEIGHT	R/O	DESCRIPTION	THICKNESS	COMMENTS
D01	1	0	MECHANICAL/UNSPECIFIED	30"	60"		32"x62 1/2"	HINGED-SLAB	1 3/8"
D02	1	0	MECHANICAL/COURT	36"	80"		37"x80 1/2"	EXT. HINGED-SLAB	1 3/4"
D03	2	1	LAUNDRY/CLOSET	24"	80"		26"x82 1/2"	HINGED-DOOR P04	1 3/8"
D04	1	1	BEDROOM 1/KITCHEN	34"	80"		36"x82 1/2"	HINGED-DOOR P04	1 3/8"
D05	1	1	BEDROOM 1/CLOSET	60"	80"		62"x82 1/2"	SLIDER-DOOR P04	1 3/8"
D06	1	1	BATH 1/KITCHEN	30"	80"		32"x82 1/2"	HINGED-DOOR P04	1 3/8"
D07	1	1	BEDROOM 2/KITCHEN	34"	80"		36"x82 1/2"	HINGED-DOOR P04	1 3/8"
D08	1	1	BEDROOM 2/CLOSET	60"	80"		62"x82 1/2"	SLIDER-DOOR P04	1 3/8"
D09	1	1	BEDROOM 2/BATH 2	30"	80"		62"x82 1/2"	POCKET-DOOR P04	1 3/8"
D10	1	1	LINEN/KITCHEN	30"	80"		32"x82 1/2"	HINGED-DOOR P04	1 3/8"
D11	1	1	LAUNDRY	36"	96"		38"x99"	EXT. HINGED-GLASS PANEL	1 3/4"
D12	1	1	LIVING/COURT	42"	96"		44"x99"	EXT. HINGED-7103 THERMAL FRENCH	1 3/4"
D13	1	1	LIVING	84"	96"		86"x98 1/2"	EXT. 2 DR. BIFOLD-DOOR F01	1 3/4"
D14	1	1	GARAGE	96"	84"		98"x87"	GARAGE-SLAB	1 3/4"
D15	1	1	GARAGE	96"	80"		98"x83"	EXT. SLIDER-GLASS PANEL	1 3/4"
D16	1	1	LIVING	96"	96"		98"x98 1/2"	EXT. 2 DR. BIFOLD-DOOR F01	1 3/4"
D17	1	1	LAUNDRY/KITCHEN	34"	80"		36"x82 1/2"	HINGED-DOOR P04	1 3/8"
D18	1	1	CLOSET/LIVING	30"	80"		32"x82 1/2"	HINGED-DOOR P04	1 3/8"
D19	1	2	BATH 3/BEDROOM 3	32"	80"		66"x82 1/2"	POCKET-DOOR P04	1 3/8"
D20	1	2	HALL 2/BEDROOM 3	42"	80"		86"x82 1/2"	POCKET-DOOR P04	1 3/8"
D21	1	2	BEDROOM 3/BALCONY	60"	80"		62"x83"	EXT. SLIDER-GLASS PANEL	1 3/4"

WINDOW SCHEDULE										
NUMBER	QTY	FLOOR	ROOM NAME	WIDTH	HEIGHT	R/O	EGRESS	TEMPERED	DESCRIPTION	COMMENTS
W01	1	1	LAUNDRY	24"	24"				25"x25"	SINGLE AWNING
W03	2	1	BATH 2	26"	42"				27"x43"	SINGLE CASEMENT-HR
W04	1	1	BATH 1	30"	30"			YES	31"x31"	SINGLE AWNING
W05	1	1	BEDROOM 2	60"	18"				61"x19"	LEFT SLIDING
W06	2	1	LIVING	36"	36"				37"x37"	SINGLE CASEMENT-HR
W07	1	1	GARAGE	60"	18"				61"x19"	FIXED GLASS
W08	1	1	BEDROOM 1	60"	18"				61"x19"	LEFT SLIDING
W09	2	1	UNSPECIFIED	72"	66"		YES	YES	73"x67"	DOUBLE CASEMENT-LHL/RHR
W10	2	1	KITCHEN	96"	32"				97"x33"	TRIPLE CASEMENT-LHL/RHR
W11	1	2	BEDROOM 3	24"	24"				25"x25"	SINGLE CASEMENT-HR
W12	1	2	BEDROOM 3	24"	54"				25"x55"	SINGLE CASEMENT-HR
W13	1	2	BATH 3/BALCONY	32"	30"			YES	33"x31"	SINGLE CASEMENT-HR
W14	1	2	BATH 3	32"	30"				33"x31"	SINGLE CASEMENT-HR
W15	1	2	OPEN BELOW	36"	18"				37"x19"	FIXED GLASS
W16	1	2	OPEN BELOW	36"	36"				37"x37"	FIXED GLASS
W17	1	2	BATH 1	60"	60"				61"x61"	DOUBLE CASEMENT-LHL/RHR
W18	1	2	BATH 1	63"	14"				64"x15"	MULLED UNIT-HR
W19	1	2	BATH 3/BALCONY	32"	30"				33"x31"	SINGLE CASEMENT-HR

SCHEDULES

REVISIONS

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**SECOND FLOOR PLAN,
FOUNDATION PLAN**

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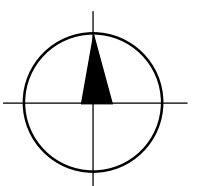
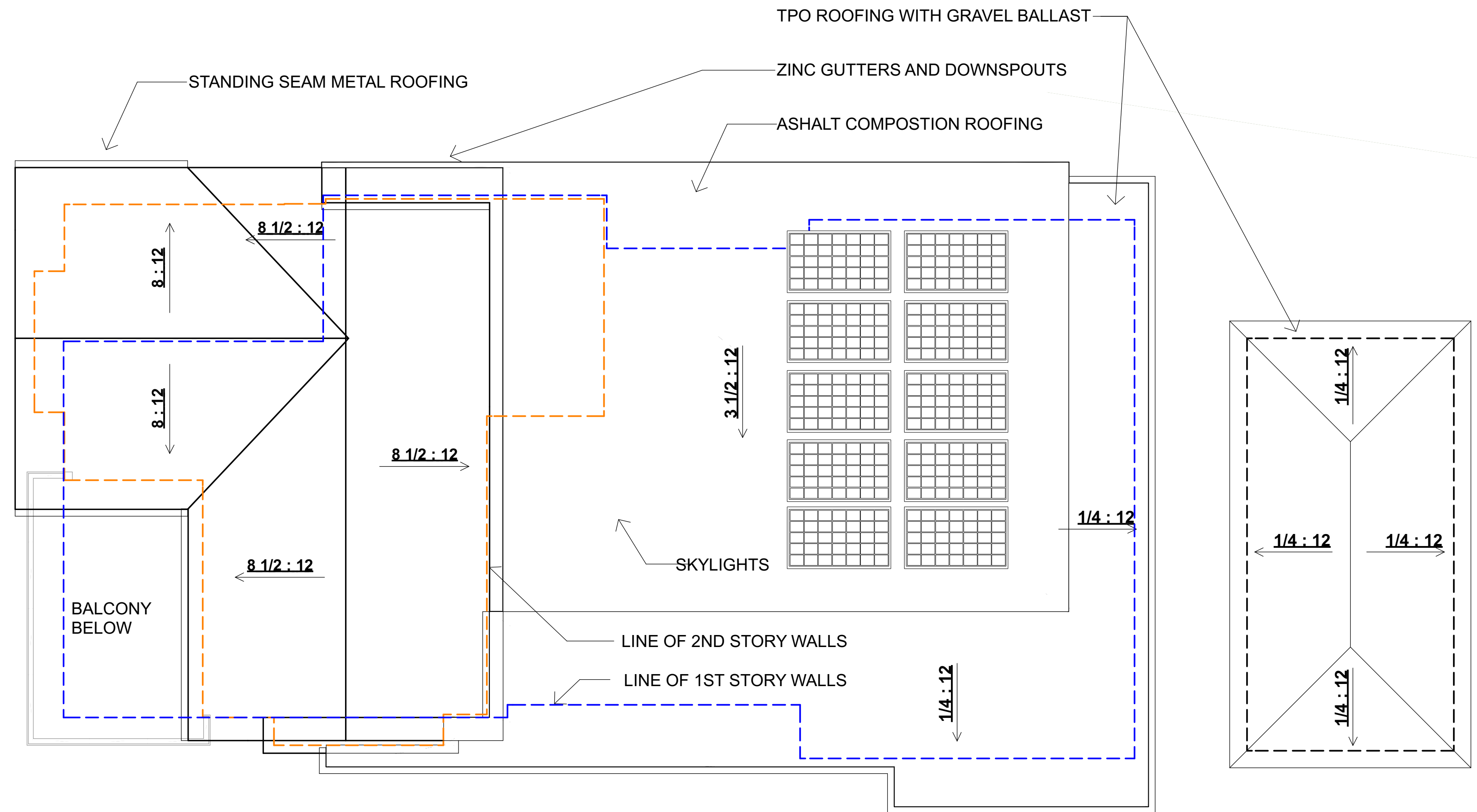
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SHEET
A4

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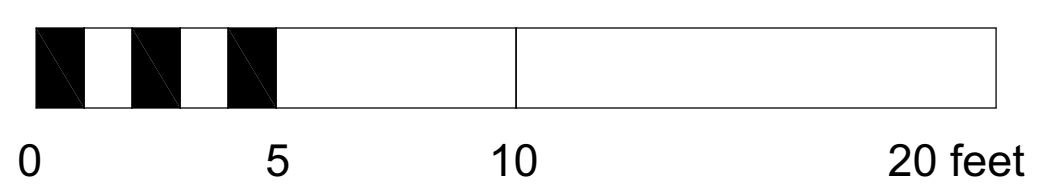


BIRDS EYE VIEW



ROOF PLAN

SCALE 1/4" = 1'-0"



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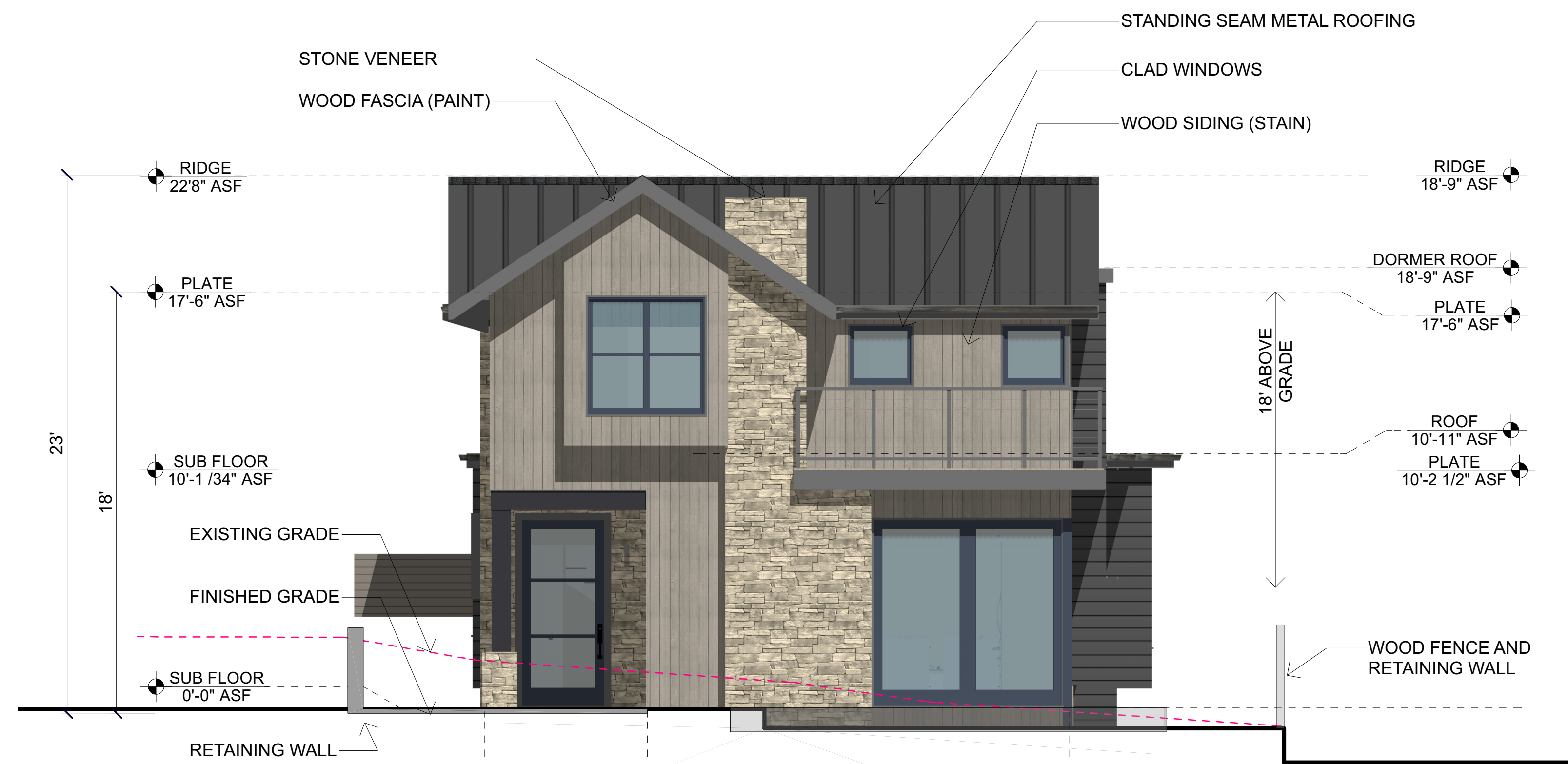
ROOF PLAN

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10/16/2020

SHEET
A5

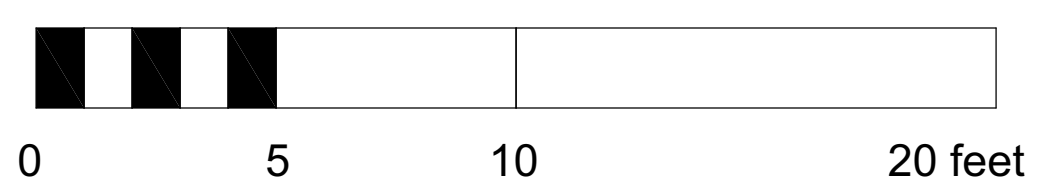
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WEST ELEVATION
SCALE 1/4" = 1'-0"



NORTH ELEVATION
SCALE 1/4" = 1'-0"



REVISIONS

NO.	DESCRIPTION

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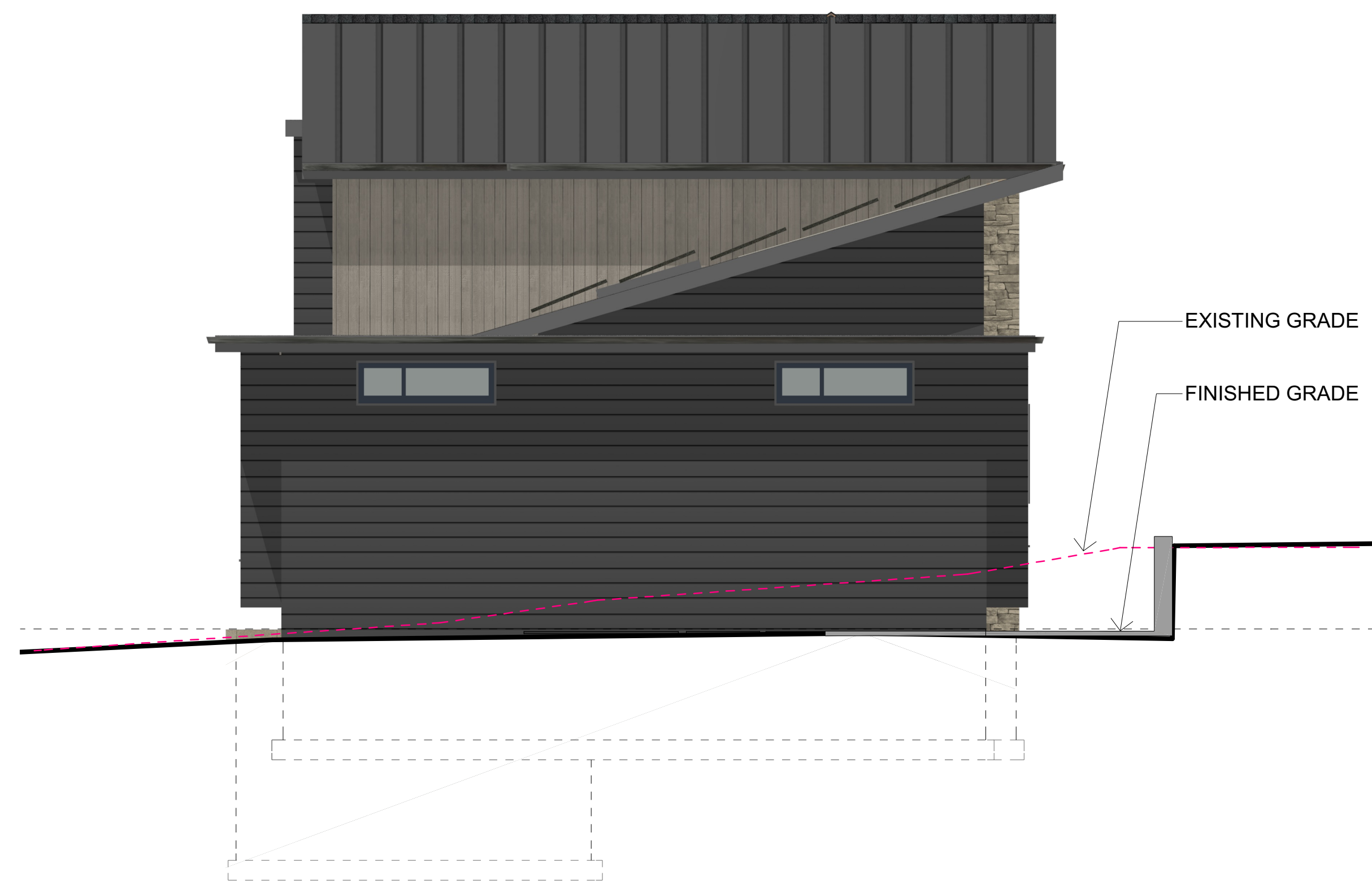
ELEVATIONS

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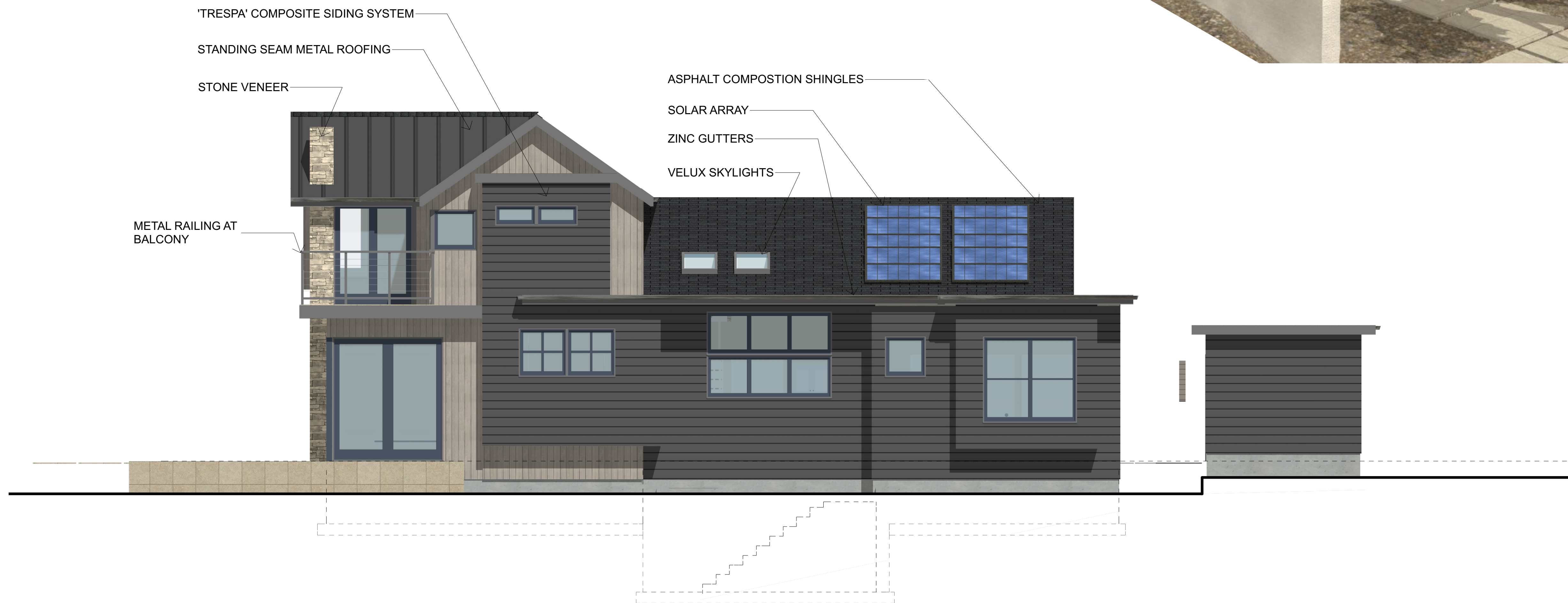
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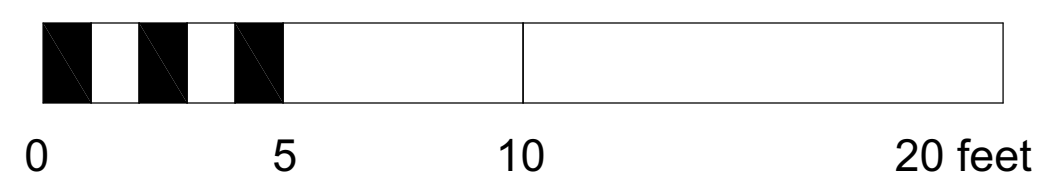
EAST ELEVATION

SCALE 1/4" = 1'-0"



SOUTH ELEVATION

SCALE 1/4" = 1'-0"



REVISIONS

NO.	DESCRIPTION

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ELEVATIONS

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SHEET

A7

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PLANTING LEGEND		QTY	SIZE	WUCOLS
	BUXUS SEMPERVIRENS / BOXWOOD HEDGE	9	5 GAL.	LOW
	THYMUS SERPYLLUM / THYME GROUND COVER	26	1 GAL	LOW
	LAVANDULA HETEROPHYLLA / LAVENDER	21	1 GAL	LOW
	IRIS DOUGLASIANA / IRIS FLOWERS	18	1 GAL	LOW
	FESTUCA MAIREI / FESCUE GRASS PLANT	9	5 GAL	LOW
	HEUCHERA SANGUINEA / CORAL BELLS PLANT	10	5 GAL	MODERATE

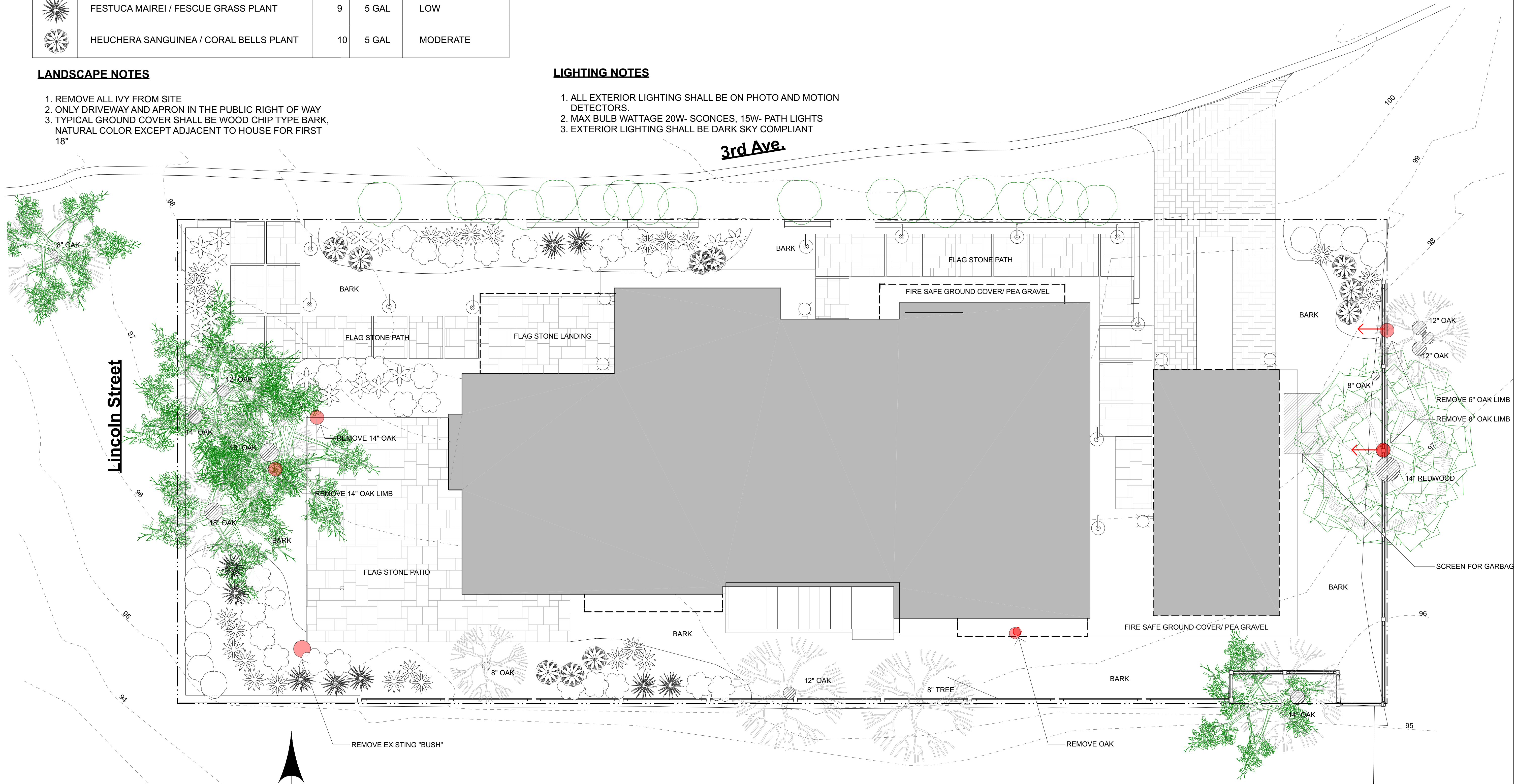
LIGHTING LEGEND	
	PATH LIGHT
	WALL SCNCE

LANDSCAPE NOTES

1. REMOVE ALL IVY FROM SITE
2. ONLY DRIVEWAY AND APRON IN THE PUBLIC RIGHT OF WAY
3. TYPICAL GROUND COVER SHALL BE WOOD CHIP TYPE BARK, NATURAL COLOR EXCEPT ADJACENT TO HOUSE FOR FIRST 18"

LIGHTING NOTES

1. ALL EXTERIOR LIGHTING SHALL BE ON PHOTO AND MOTION DETECTORS.
2. MAX BULB WATTAGE 20W- SCNCES, 15W- PATH LIGHTS
3. EXTERIOR LIGHTING SHALL BE DARK SKY COMPLIANT



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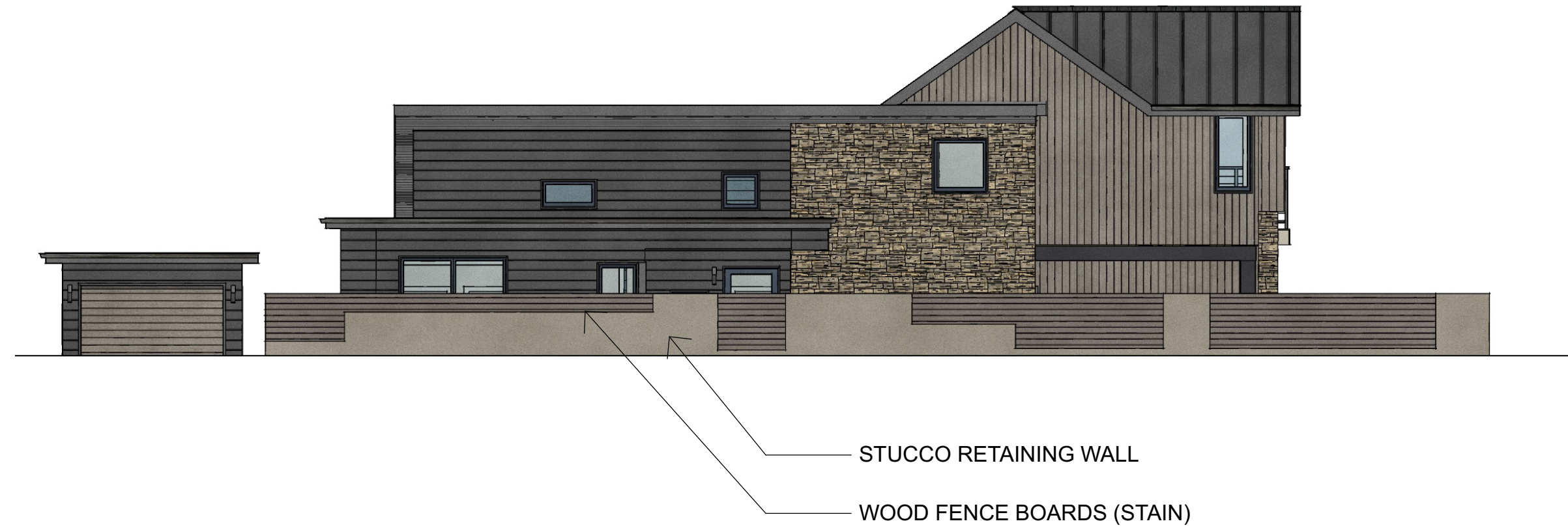
LANDSCAPE AND LIGHTING
 PLAN

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FENCE DESIGN



STREET VIEW LINCOLN SIDE



STREET VIEW 3RD SIDE

Aria Dimmable LED Outdoor Wall Light



Shown in: Black / Mesh

Description:
The Aria Dimmable LED Outdoor Wall Light features a modern silhouette in durable aluminum with a mesh diffuser. Available with a Buckeye Bronze or Black finish. One 6.5 watt 120 volt GU10 base LED bulb is included. Dimmable on any incandescent, low-voltage magnetic, low-voltage electronic, or CL dimmer. 4.5 inch width x 14.5 inch height x 6.75 inch depth. UL listed for wet locations.

Shade Color: Mesh
Body Finish: Black
Lamp: 1 x MR16/GU10/6.5W/120V LED
Wattage: 6.5W
Dimmer: Dimmable
Dimensions: 4.5"W x 14.5"H x 4.75"D

Technical Information
Luminous Flux: 500 lumens
Lumens/Watt: 76.92
Lamp Color: 2700 K
Color Rendering: 80 CRI
Lamp Life: 25000 hours

EXTERIOR WALL SCNCE

Hinkley Harbor Satin Black Outdoor LED Path Light - Style # 7F216

- Sleek modern outdoor path light.
- Satin black finish.
- Cast aluminum construction.
- Etched glass diffuser.
- From the Hinkley Lighting collection.
- Includes one 2.3 watt LED module.
- Light output is 110 lumens, comparable to a 15 watt incandescent light.
- Color temperature is 3000K.
- CRI 80.
- Non-dimmable.
- Includes stake and wiring kit.
- Works with existing low-voltage lighting systems.
- Measures 21" high, 7 1/2" wide.



EXTERIOR PATH LIGHT

REVISIONS

ph 831.747.4718
26463 mission fields road
carmel CA 93923
info @ lehmandesignstudio.com



DRAWN BY
ALAN LEHMAN

Alan Lehman

**STREET VIEW, EXTERIOR LIGHT
FIXTURES**

OSBT Residential Remodel
Lincoln SE corner of 3rd, Carmel By The Sea CA 93921
APN 010-129-014

10/16/2020

SHEET
A9

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'TRESPA' COMPOSITE SIDING



ZINC STANDING SEAM METAL ROOFING



VERTICAL CEDAR SIDING (STAINED)



SHERWIN WILLIAMS - CAVIAR TRIM COLOR



ASPHALT COMPOSITION ROOFING



WHITE MOUNTAIN SELECT FLAG STONE



STONE VENEER (SALIDO QUARRY)

MATERIALS / COLORS

REVISIONS

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ALAN LEHMAN

MATERIALS

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SHEET

A10