



NOTICE OF APPLICATION SUBMITTAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has received an application for a Design Study Track 1 Minor staff-level project. As a courtesy, this Notice of Application Submittal is being distributed to immediately adjacent property owners. Any persons interested in the project are encouraged to contact the Project Planner listed below at (831) 620-2027 or ctarone@ci.carmel.ca.us.

Planning Application: DS 20-295 (Oceanview Ventures) **Location:** 26174 Dolores Street

Date Mailed: 12/2/2020 **Project Planner:** Catherine Tarone, Assistant Planner

Block: 8 Mission Tract **Lot(s):** 8 **APN:** 009-381-008

Applicant/Property Owner: Oceanview Ventures LLC.

Project Description Consideration of a Track 1 Minor Design Study application for: 1) The installation of a new hot tub in the rear yard of the property located approximately 7 feet from the south side property line and 13 feet from the rear west property line. 2) The removal of 170 square feet of the south sand-set stone walkway and the expansion of the rear patio. 3) The installation of a new gas fire pit in the rear yard at the newly-expanded patio area, located approximately 15 feet from the north side property line and approximately 20 feet from the rear west property line. 4) The installation of a new retaining wall around the rear yard area of the property. Staff has requested additional information from the applicant about any proposed grading. 5) The re-configuration of several patios and walkways. The current proposal proposes to reduce site coverage by 133.5 square feet (however staff is requiring the applicant to submit additional information and include the square footage of the hot tub, which is not currently included). Staff will continue to work with the applicant to bring the site coverage changes into compliance. This project is currently under review by the Carmel Planning Department.

Plans are available on the City's website at <https://ci.carmel.ca.us/post/current-planning-applications>.

Is this project appealable to the Coastal Commission? No

26174 Dolores Carmel, CA



PROJECT DATA

PROPERTY OWNER: OCEAN VIEW VENTURES, LLC
2826 BALMORAL ROAD
BIRMINGHAM, AL. 35223

PROJECT ADDRESS: 26174 DOLORES STREET
CARMEL, CA 93921

APPLICANT: STOCKER & ALLAIRE, INC.
21B MANDEVILLE CT.
MONTEREY, CA. 93940
PH: (831) 375-1890

A.P.#: 009-381-008

ZONING: R-1

PROJECT CODE COMPLIANCE: ALL CA. CODES 2016

OCCUPANCY GROUP: R-3

CONSTRUCTION TYPE: TYPE 5 AND U

TOPOGRAPHY: SLOPES FROM STREET TO REAR YARD

TREE REMOVAL: NONE

GRADING: NONE

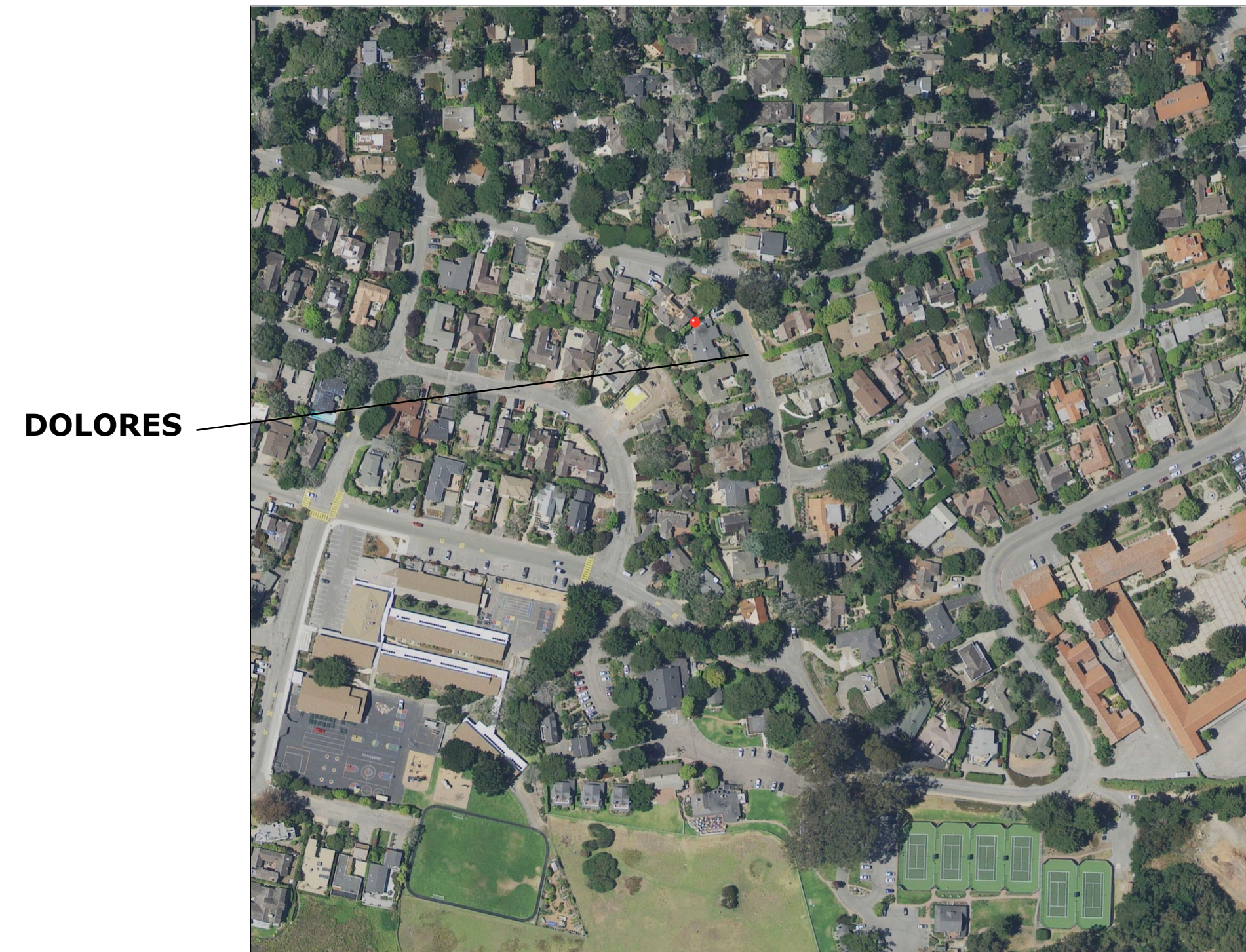
BUILDING HEIGHT: EXISTING 27.2'
NO CHANGE PROPOSED

LOT SIZE:	8288.97 SQ FT														
SITE COVERAGE:	<table border="0"> <tr> <td>GRAVEL PARKING AREA</td> <td>149.5 SQ FT</td> </tr> <tr> <td>STONE FRONT PATIO OVER SAND</td> <td>457.6 SQ FT</td> </tr> <tr> <td>STONE FRONT WALK OVER SAND</td> <td>106.3 SQ FT</td> </tr> <tr> <td>GRAVEL SIDE PATIO & WALKWAYS.</td> <td>322.2 SQ FT</td> </tr> <tr> <td>STONE REAR PATIO OVER SAND</td> <td>430.7 SQ FT</td> </tr> <tr> <td>TOTAL</td> <td>1534.8 SQ FT</td> </tr> </table>	GRAVEL PARKING AREA	149.5 SQ FT	STONE FRONT PATIO OVER SAND	457.6 SQ FT	STONE FRONT WALK OVER SAND	106.3 SQ FT	GRAVEL SIDE PATIO & WALKWAYS.	322.2 SQ FT	STONE REAR PATIO OVER SAND	430.7 SQ FT	TOTAL	1534.8 SQ FT		
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PROJECT DESCRIPTION

REDUCTIONS IN PERMEABLE AREA. REPLACING SOUTH GRAVEL WALKWAY WITH WOOD CHIPS. ADDITION OF SPA & RETAINING WALL IN THE BACK YARD. REMODELING STONE & GRAVEL PATIO AND ADJUSTING BOTH FOOTPRINTS.

VICINITY MAP



Stocker & Allaire
General Contractors, Inc.
Lic. # 504797

831.375.1860 Fax 831.375.1480
21 Mandeville Court Monterey, CA 93940

26174 DOLORES STREET
CARMEL, CA. 93921

October 06, 2020 APN: 009-381-008

26174 DOLORES STREET
Cover Sheet and Project Data

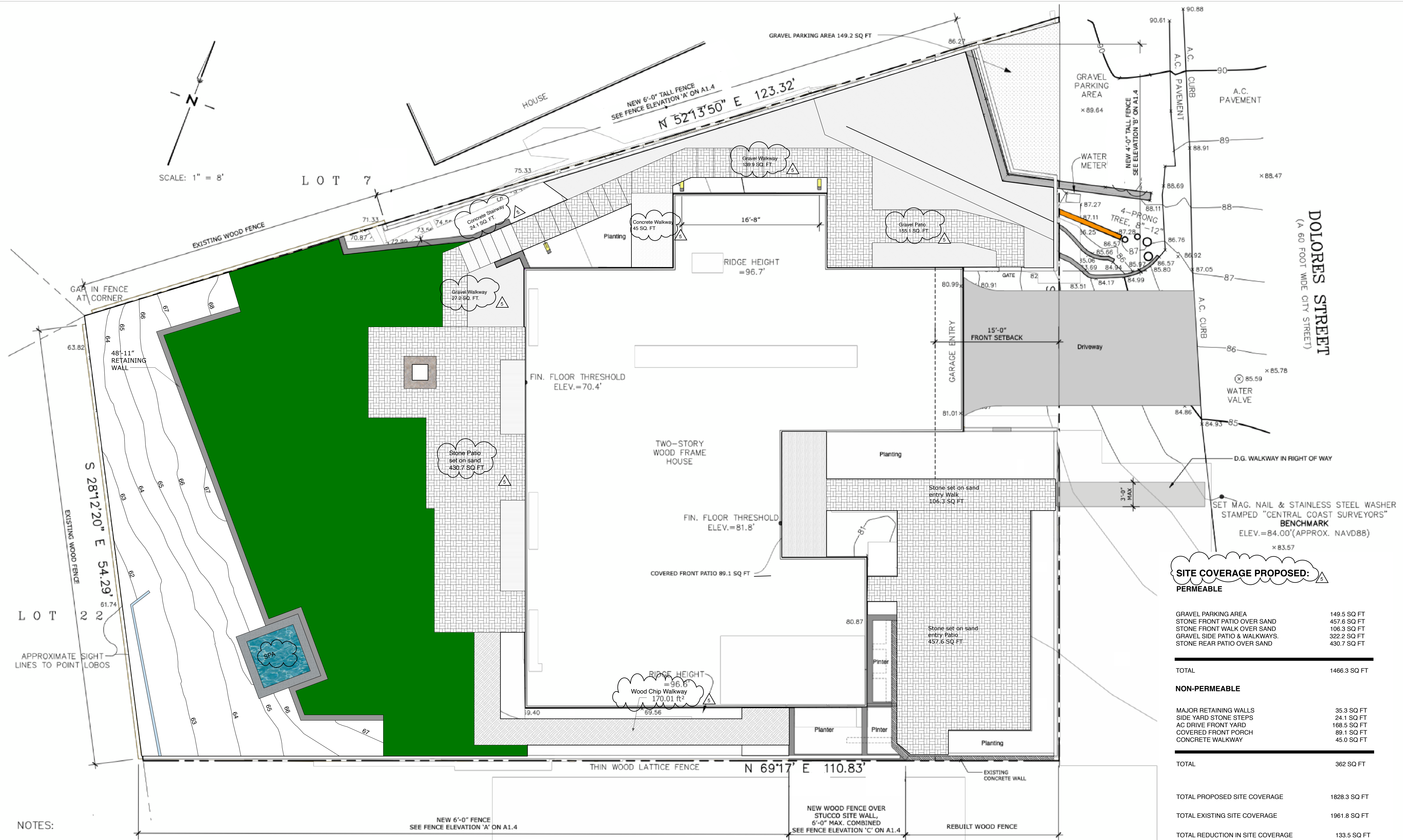
Revisions:

CS 0.0



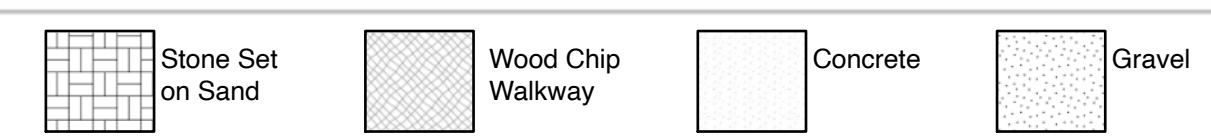
SCALE: 1" = 8'

LOT 7



DOLORES STREET
(A 60 FOOT WIDE CITY STREET)

- NOTES:**
- ALL DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 - BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
 - ELEVATIONS SHOWN ARE BASED ON AN ASSUMED DATUM THAT APPROXIMATES THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). PROJECT BENCHMARK IS A MAG. NAIL & STAINLESS STEEL WASHER STAMPED "CENTRAL COAST SURVEYORS" SET IN THE A.C. PAVEMENT OF DOLORES STREET NEAR THE FRONT GATE OF THE SUBJECT PROPERTY, AS SHOWN HEREON.
ELEVATION = 84.00 FEET (APPROX. NAVD88)
 - CONTOUR INTERVAL = ONE FOOT.
 - TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" ARE NOT SHOWN.
 - FIELDWORK FOR THIS SURVEY WAS COMPLETED ON MARCH 21, 2018.



SITE COVERAGE PROPOSED:
PERMEABLE

GRAVEL PARKING AREA	149.5 SQ FT
STONE FRONT PATIO OVER SAND	457.6 SQ FT
STONE FRONT WALK OVER SAND	106.3 SQ FT
GRAVEL SIDE PATIO & WALKWAYS	322.2 SQ FT
STONE REAR PATIO OVER SAND	430.7 SQ FT

TOTAL 1466.3 SQ FT

NON-PERMEABLE

MAJOR RETAINING WALLS	35.3 SQ FT
SIDE YARD STONE STEPS	24.1 SQ FT
AC DRIVE FRONT YARD	168.5 SQ FT
COVERED FRONT PORCH	89.1 SQ FT
CONCRETE WALKWAY	45.0 SQ FT

TOTAL 362 SQ FT

TOTAL PROPOSED SITE COVERAGE 1828.3 SQ FT

TOTAL EXISTING SITE COVERAGE 1961.8 SQ FT

TOTAL REDUCTION IN SITE COVERAGE 133.5 SQ FT

TOTAL COVERAGE (BUILDING + SITE)

BUILDING	2175 SQ FT
SITE	1828 SQ FT
TOTAL	4003 SQ FT
MAXIMUM IMPERVIOUS AREA	2856 SQ FT

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CARMEL, CA 92921
October 2020
APN: 009-381-008-000

OCEANVIEW VENTURES RESIDENCE
PROPOSED SITE PLAN

Revisions:

1	11/7/18
2	12/7/18
3	8/26/19
4	10/23/19 REVISION - RFI #
5	10/06/20

A1.2

SITE PLAN

scale: 3/16"=1'-0"

