



## NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

**Planning Case #:** Design Study 20286

**Owner Name:** HICKEY CHRISTOPHER M & MARIETTA L TRS

**Case Planner:** Catherine Tarone, Assistant Planner

**Date Posted:** \_\_\_\_\_

**Date Approved:** 12/18/2020

**Project Location:** 26245 Dolores Street

**APN #:** 009371041000      **BLOCK/LOT:** 10/ALL LOT 26

**Applicant:** Jim Vocelka

**Project Description:** 1) The construction of a new 16'-2" x 9'-8", 155-square-foot rooftop deck on the roof of the existing attached garage on the south elevation of the property. The south edge of the deck will be located 11'-10" from the south property line and the walking surface of the deck will be 15' above the grade below. The deck railing will be glass panels supported by wood rails. Story poles have been installed at the deck to show the proposed height and massing. 2) The installation of a new south-facing, upper-floor wood door with glass panes accessing the rooftop deck. 3) On the upper-floor rear east elevation, the replacement of a 10' wide row of 5 smaller rectangular, metal windows and skylights with one new 10' x 6'-3" window with thinner metal mullions and fixed lights above in the same footprint.

**Can this project be appealed to the Coastal Commission?** Yes  No

*Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.*



**AUTHORIZATION:**

This approval authorizes: 1) The construction of a new 16'-2" x 9'-8", 155-square-foot rooftop deck on the roof of the existing attached garage on the south elevation of the property. The south edge of the deck will be located 11'-10" from the south property line and the walking surface of the deck will be 15' above the grade below. The deck railing will be glass panels supported by wood rails. Story poles have been installed at the deck to show the proposed height and massing. 2) The installation of a new south-facing, upper-floor wood door with glass panes accessing the rooftop deck. 3) On the upper-floor rear east elevation, the replacement of a 10' wide row of 5 smaller rectangular, metal windows and skylights with one new 10' x 6'-3" window with thinner metal mullions and fixed lights above in the same footprint. All work shall be consistent with the revised plan set submitted on October 30, 2020 on file with the city.

**SPECIAL CONDITIONS:**

1. A Building Permit is required to be submitted for your proposal after the completion of the 10-day appeal period.
2. The owner of the property must sign these conditions of approval. Please then scan and send them back to the project planner at [ctarone@ci.carmel.ca.us](mailto:ctarone@ci.carmel.ca.us). Additionally, all conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.
3. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.
4. The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.
5. You are required to install tree protection, which will need to be reviewed and certified by the City Forester, prior to the issuance of the Building Permit.
6. During construction, no dirt or construction materials may be placed within 6 feet of the base of any tree.
7. No new electrical lighting is currently proposed as part of this Design Study application. However, if new light fixtures are added to the scope of work, exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches

above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.

8. The applicant agrees, at the applicant's sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

\*Acknowledgement and acceptance of conditions of approval.

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Property Owner Signature

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Printed Name

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Date

***Once signed, please return the original to the project Planner at the Community Planning and Building Department.***











# SHEET INDEX

SHEET NUMBER	DESCRIPTION
1	TITLE SHEET, SITE PLAN
2	EXISTING FLOOR PLANS
3	EXISTING EXTERIOR ELEVATIONS
4	PROPOSED FLOOR PLANS
5	PROPOSED EXTERIOR ELEVATIONS

# ABBREVIATIONS

& AND	FOF FACE OF FIN	R RISER
< ANGLE	FOS FACE OF STUDS	RAD RADIUS
@ AT	FFRF FIREPROOF	REINF REINFORCED
C CENTERLINE	FTG FOOTING	REQ REQUIRED
∅ DIA OR ROUND	FURR FURRING	RESIL RESILIENT
⊥ PERPENDICULAR	FUT FUTURE	RO ROUGH OPENING
# POUND OR NO.		RWD REDWOOD
ACOUS ACOUSTICAL	GA GAUGE	SC SOLID CORE
ADJ ADJUSTABLE	GALV GALVANIZED	SCD SEAT COVER DISP.
AFF ABOVE FINISHED FLOOR	GENL GENERAL	SD SOAP DISPENSER
AL ALUMINUM	GL GLASS	SHT SHEET
APX APPROXIMATE	GR GRADE	SIM SIMILAR
ARCH ARCHITECT	GYP GYPSUM	SND SANITARY NAPKIN DISP.
		SPEC SPECIFICATION
BD BOARD	HC HOLLOW CORE	(S) STL STAINLESS STEEL
BOT BOTTOM	HBD HARDBOARD	SSK SERVICE SINK
CAB CABINET	HWD HARDWOOD	STD STANDARD
CPT CARPET	HDW HARDWARE	SUSP SUSPENDED
CEM CEMENT	HOR HORIZONTAL	SURF SURFACE
CER CERAMIC	HGT HEIGHT	SM SURFACE MOUNTED
CI CAST IRON	ID INSIDE DIAMETER	SW SWITCH
CLG CEILING	INSUL INSULATION	SWBD SWITCH BOARD
CLKG CAULKING	INT INTERIOR	SYM SYMMETRICAL
CKT CIRCUIT	JT JOINT	T TREAD
CLR CLEAR	LAM LAMINATE	TB TOWEL BAR
CONC CONCRETE	LAV LAVATORY	TC TERMINAL CAN
C CONDUIT	LT LIGHT	TEL TELEPHONE
CO CONDUIT ONLY	MCWD MARINA COAST WATER DISTRICT	T&G TONGUE AND GROOVE
CONST CONSTRUCTION	MECH MECHANICAL	THK THICK
CONT CONTINUOUS	MEMB MEMBRANE	TPD TOILET PAPER DISP.
CONTR CONTRACTOR	MC MEDICINE CABINET	TV TELEVISION
CTR CENTER	MTL METAL	TYP TYPICAL
	MIR MIRROR	UNF UNFINISHED
DET DETAIL	MNT MOUNT	UON UNLESS OTHERWISE NOTED
DIA DIAMETER	MTD MOUNTED	URINAL
DIM DIMENSION	NIC NOT IN CONTRACT	VERT VERTICAL
DISC DISCONNECT	NOM NOMINAL	WDW WINDOW
DR DOOR	NTS NOT TO SCALE	W WITH
DBL DOUBLE	OBS OBSCURE	WC WATER CLOSET
DN DOWN	OC ON CENTER	WD WOOD
DWG DRAWING	OD OUTSIDE DIAMETER	WH WATER HEATER
	OPNG OPENING	W/O WITHOUT
EA EACH	OPP OPPOSITE	WP WATERPROOF
EL ELEVATION	PRCST PRECAST	WR WATER RESISTANT
ELEC ELECTRICAL	PL PLATE	WGT WEIGHT
ENER EMERGENCY	P PLASTIC	
ENCL ENCLOSURE	PLAS PLASTER	
EQ EQUAL	PLYWD PLYWOOD	
EQPT EQUIPMENT	FR PAIR	
(E) EXISTING	PNT PAINT	
EXPO EXPOSED	PTD PAPER TOWEL DISP.	
EXP EXPANSION	PTN PARTITION	
EXT EXTERIOR	QT QUARRY TILE	
FDN FOUNDATION		
FIN FINISH		
FIX FIXTURE		
FL FLOOR		
FLASH FLASHING		
FLOUR FLOURSCENT		
FOC FACE OF CONCRETE		

# SYMBOLS

	ROOM NUMBER		DETAIL REFERENCES
	DOOR NUMBER		ITEM SHEET
	WINDOW MARK		
	COLUMN LINE		
	BORROW LITE		
	EXISTING SPOT GRADE		
	NEW SPOT GRADE		
	EXISTING CONTOUR		
	NEW CONTOUR		
	ROOM OR CABINET ELEVATION		
	EXTERIOR ELEVATION		
	FLOOR DRAIN		
	WATER CLOSET		
	EARTH IN SECTION		WOOD BLOCKING (SHORT OR SPACED)
	GRANULAR FILL		PLYWOOD
	SAND		STEEL
	ASPHALT		GYPSUM BOARD
	CONCRETE PAVING		CEMENT PLASTER
	CONCRETE IN SECTION		CERAMIC TILE
	CONCRETE BLOCK		ACOUSTIC TILE OR PARTICLE BOARD AS NOTED
	RATT INSULATION		GLASS IN SECTION
	CONTINUOUS WOOD FRAMING		
	FINISH WOOD		

# PERTINENT DATA

ZONING: MDR/2-D(CZ)  
 TYPE OF CONSTRUCTION: V-B  
 OCCUPANCY: R-3

EXISTING LOT SIZE: 10,018 SQUARE FEET

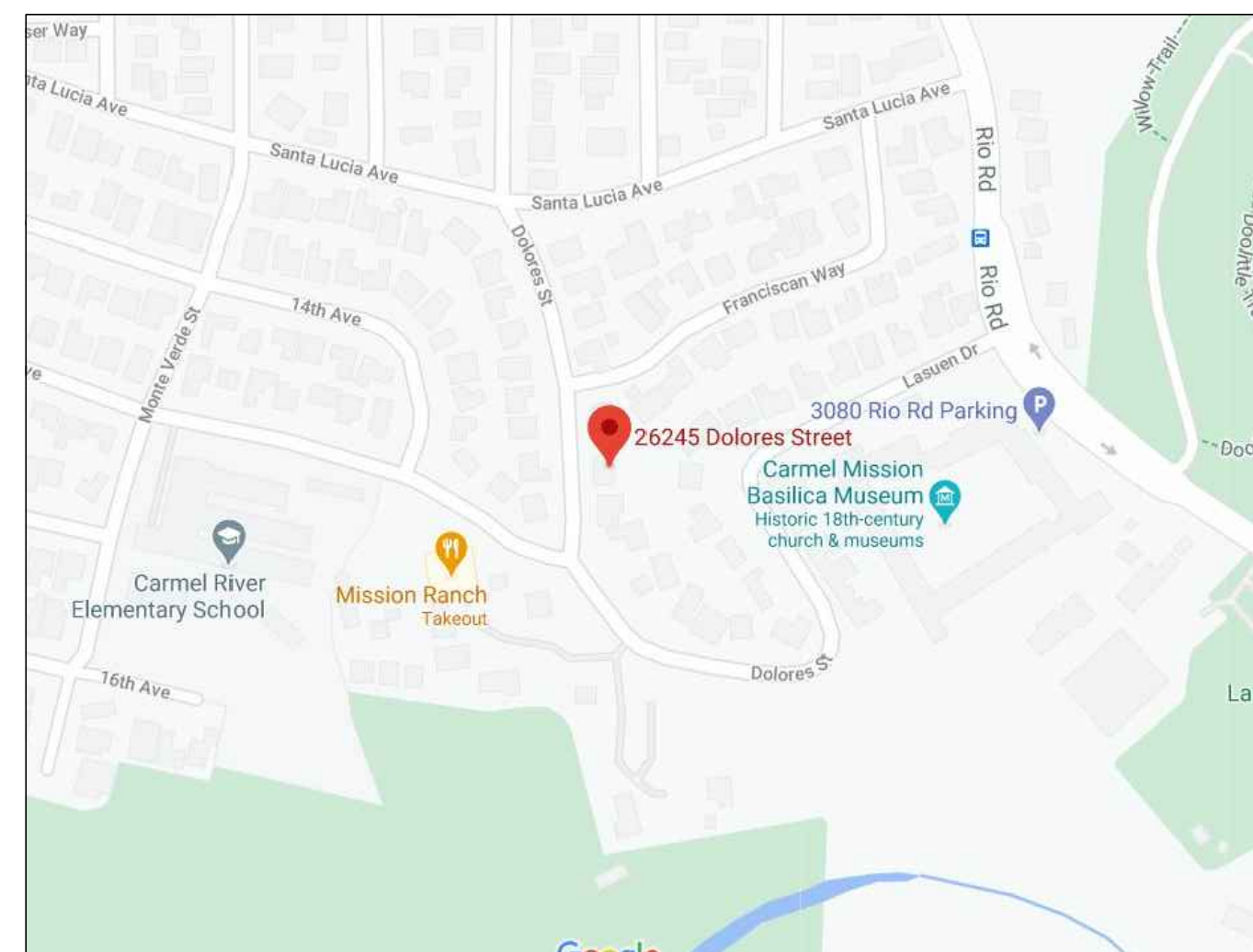
Existing House - 2446 SF  
 Proposed House - 2446 SF

Existing lot coverage - 2446/10,018 = 24.4%  
 Proposed lot coverage - 2446/10,018 = 24.4%

Impervious surfaces  
 No proposed changes to impervious surfaces under this permit.

SCOPE OF WORK:  
 CONSTRUCT NEW OUTDOOR DECK OVER A PORTION OF THE EXISTING GARAGE SIMILAR TO A FEW OF THE NEIGHBORS HOUSES IN THE AREA. USE AN EXISTING WINDOW OPENING FOR A NEW DOOR TO ACCESS THE DECK. REMOVE AN EXISTING HOT TUB AND CONVERT SMALL HOT TUB ROOM TO NEW OFFICE. REPLACE EXISTING WATER DAMAGED WINDOWS IN THE HOT TUB ROOM WITH NEW WINDOWS SIMILAR TO OTHER EXISTING WINDOWS ON THE HOUSE. REMOVE EXISTING TUB IN LOWER BATHROOM AND REPLACE WITH NEW WALK-IN SHOWER. REPLACE EXISTING TILE WITH NEW TILE ON BATHROOM FLOOR AND VANITY.

# VICINITY MAP



All colors and materials to match existing



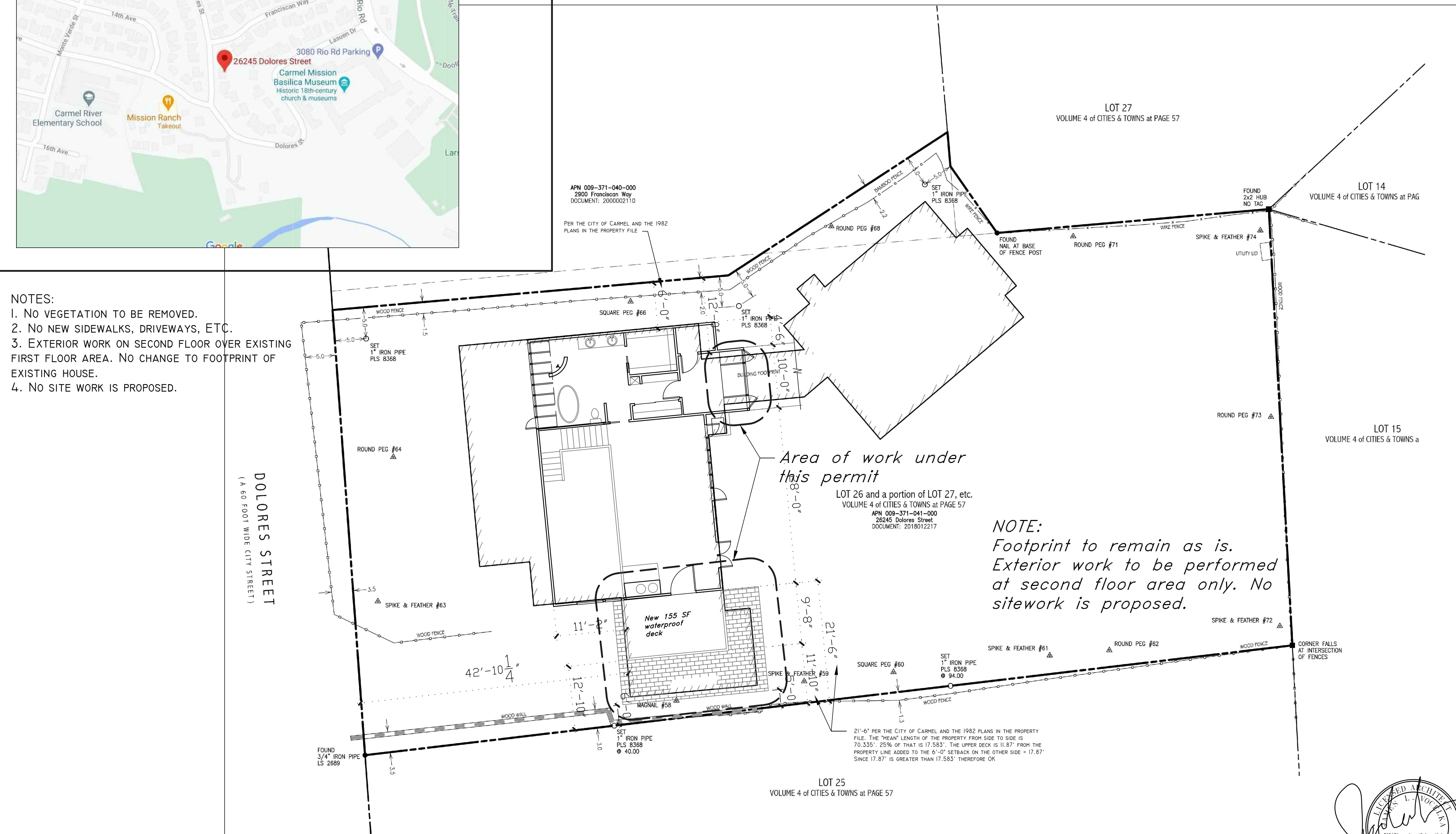
Street view of garage



Rear view of garage

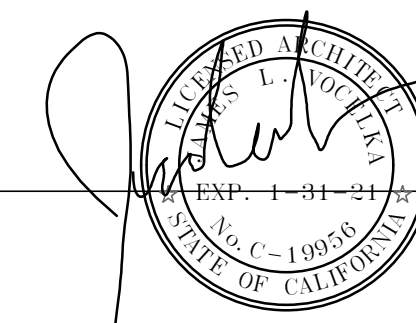


Similar deck nearby



- NOTES:
1. NO VEGETATION TO BE REMOVED.
  2. NO NEW SIDEWALKS, DRIVEWAYS, ETC.
  3. EXTERIOR WORK ON SECOND FLOOR OVER EXISTING FIRST FLOOR AREA. NO CHANGE TO FOOTPRINT OF EXISTING HOUSE.
  4. NO SITE WORK IS PROPOSED.

Site Plan  
 1"=10'



REVISION DATE	KEY

DRAWING DATE:  
 9-15-20

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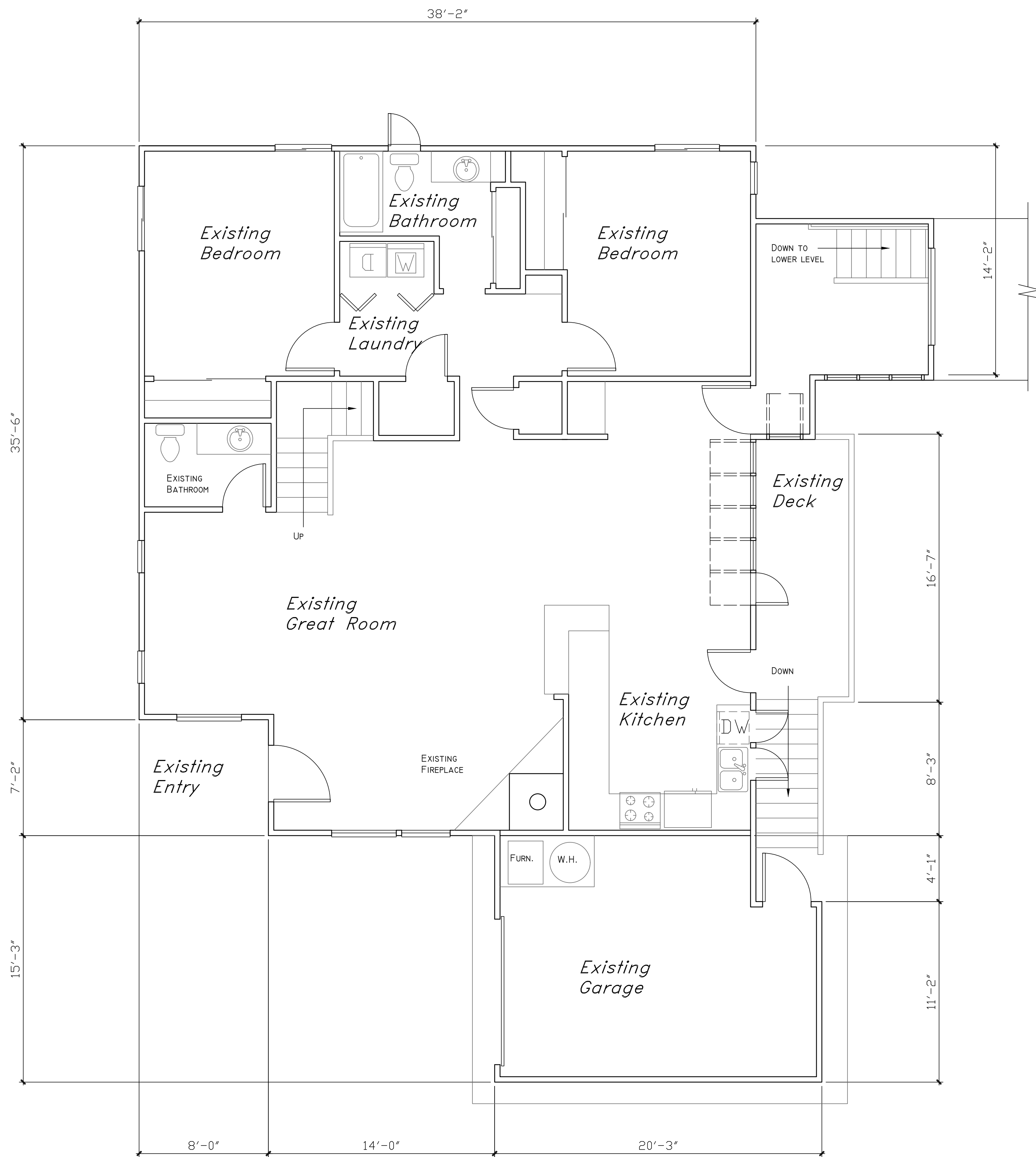
**ABILITY ARCHITECTS INC.**  
 JAMES "JM" VOCELKA  
 ARCHITECT  
 19020 HAREN DRIVE, SUITE 100, CARMEL, CA 95007  
 PHONE: (831)-663-6844  
 FAX: (831)-663-6840  
 LICENSE NUMBER: C-19956

SHEET TITLE  
 Site Plan  
 Notes  
 Vicinity Map  
 Pertinent Data

PROJECT  
 New deck and remodel for:  
**Marietta Hickey**  
 26245 Dolores  
 Carmel, CA  
 A.P. # 009-271-041 PHONE: (831)-655-9507

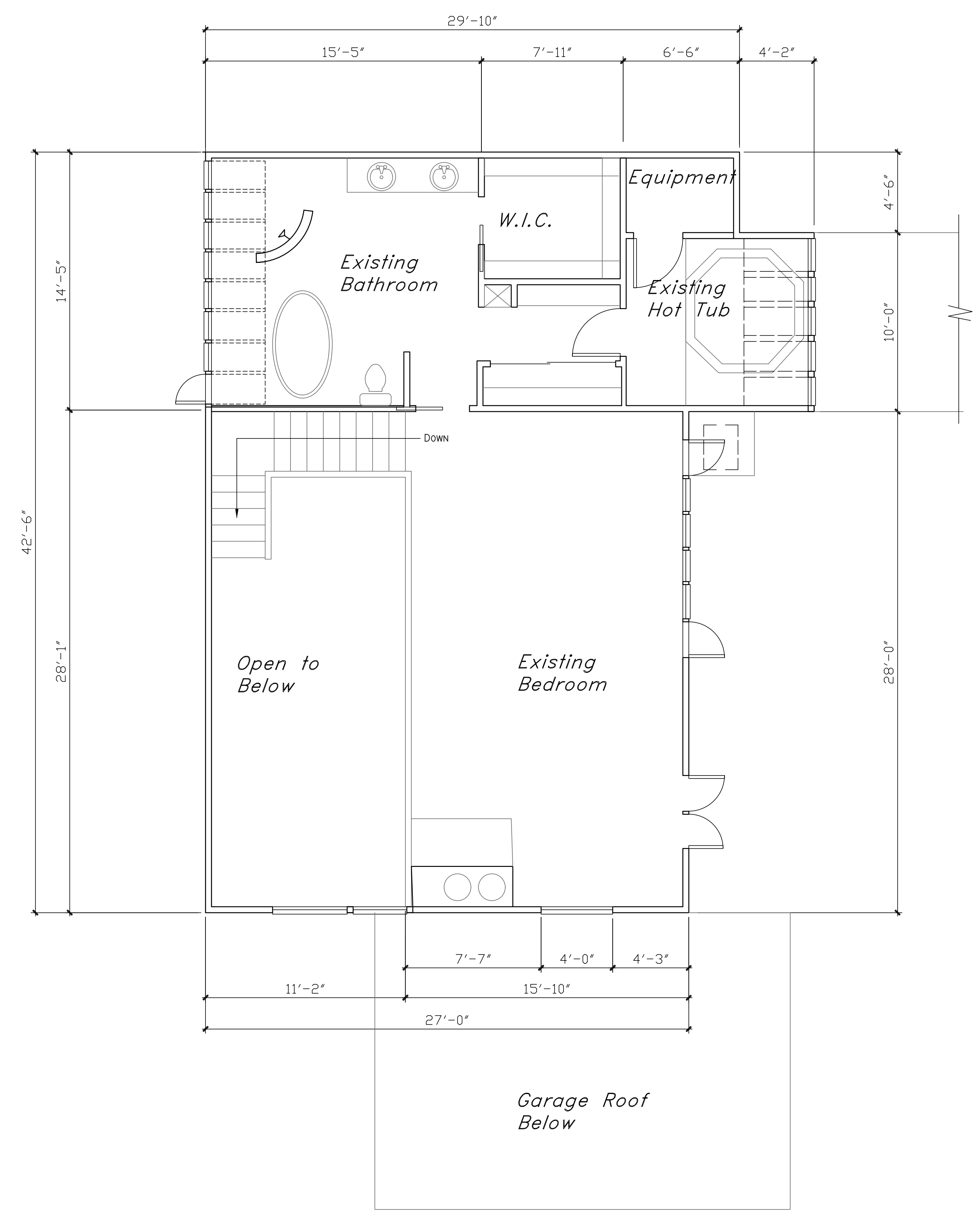
SCALE	AS NOTED
DRAWN	CADD
JOB	-
SHEET	1
OF 5	SHEETS





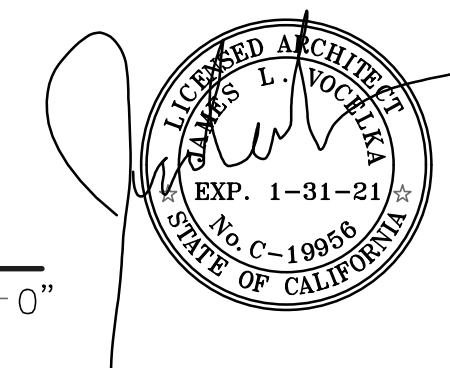
**Existing First Floor Plan**

1/4"=1' 0"



**Existing Second Floor Plan**

1/4"=1' 0"



REVISION DATE	KEY

DRAWING DATE:  
8-5-20

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**JAMES "JM" VOELKA**  
ARCHITECT

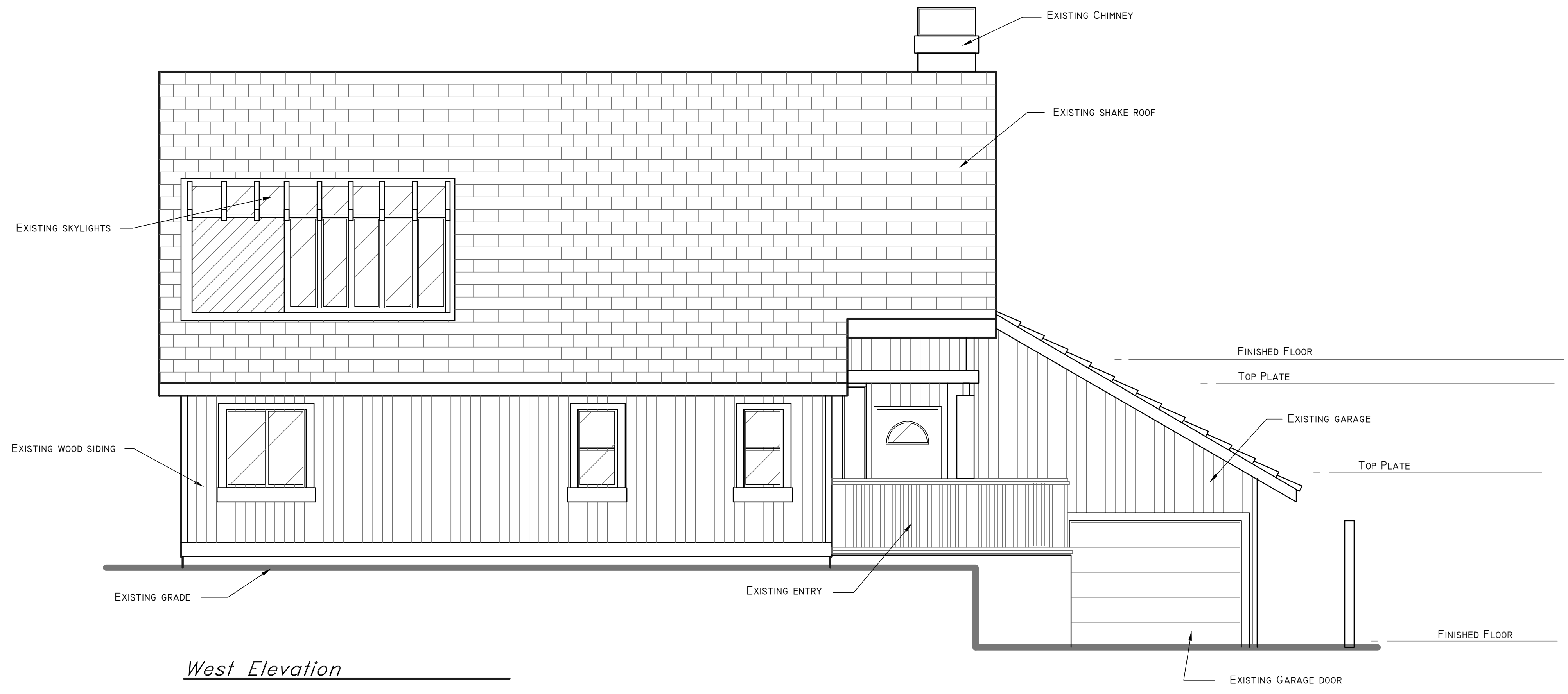
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SHEET TITLE  
**Existing Floor Plans**  
Notes  
Details

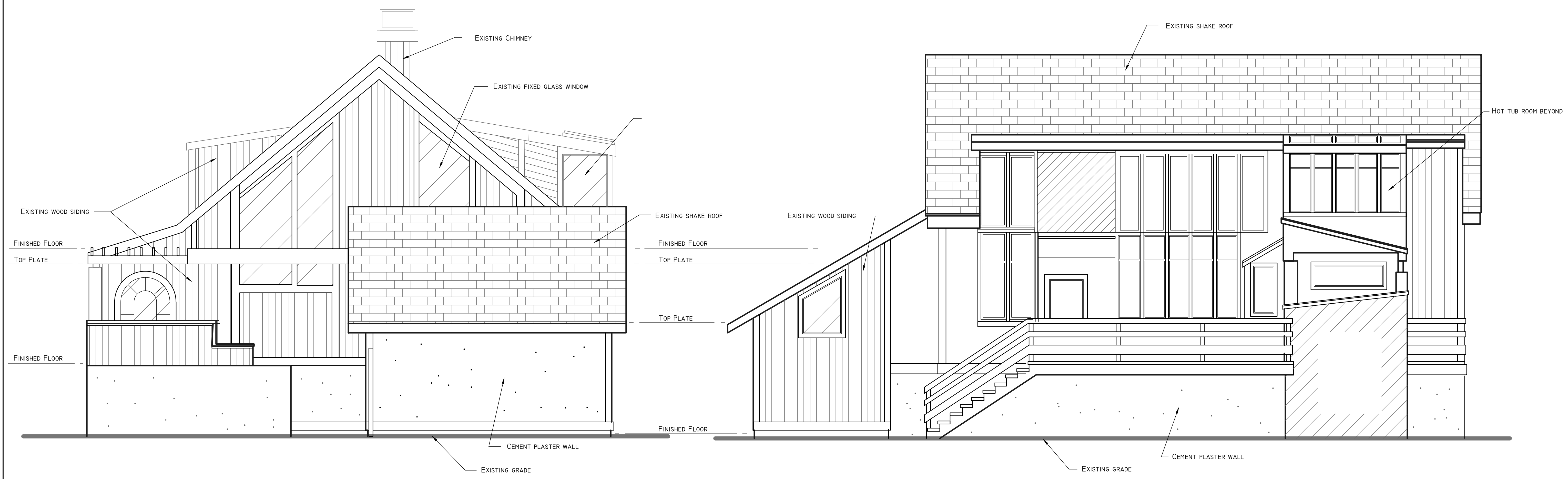
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SCALE AS NOTED  
DRAWN CADD  
JOB -  
SHEET **2**  
OF 5 SHEETS





*West Elevation*



*South Elevation*

*East Elevation*

**Existing Exterior Elevations**

1/4" = 1' 0"



REVISION DATE	KEY

DRAWING DATE:  
8-5-20

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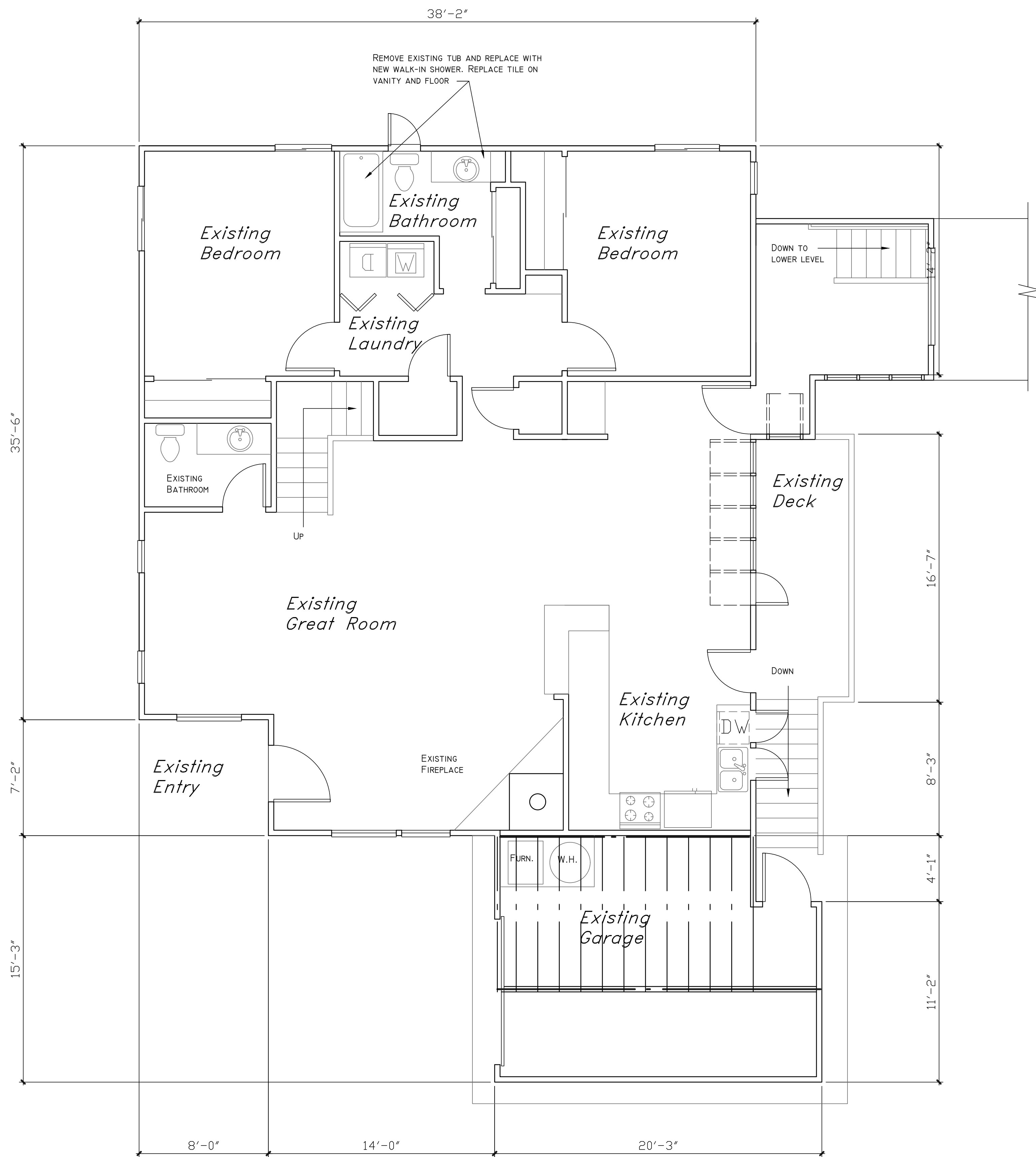
**ABILITY**  
VOELKA ARCHITECTS INC.

JAMES "JM" VOELKA  
ARCHITECT  
19020 KAREN DRIVE, SUITE 100  
CARMEL, CA 95007  
PHONE: 831-663-6844  
FAX: 831-663-6840  
LICENSE NUMBER: C-19956

SHEET TITLE  
**Existing Exterior Elevations**  
Notes  
Details  
1

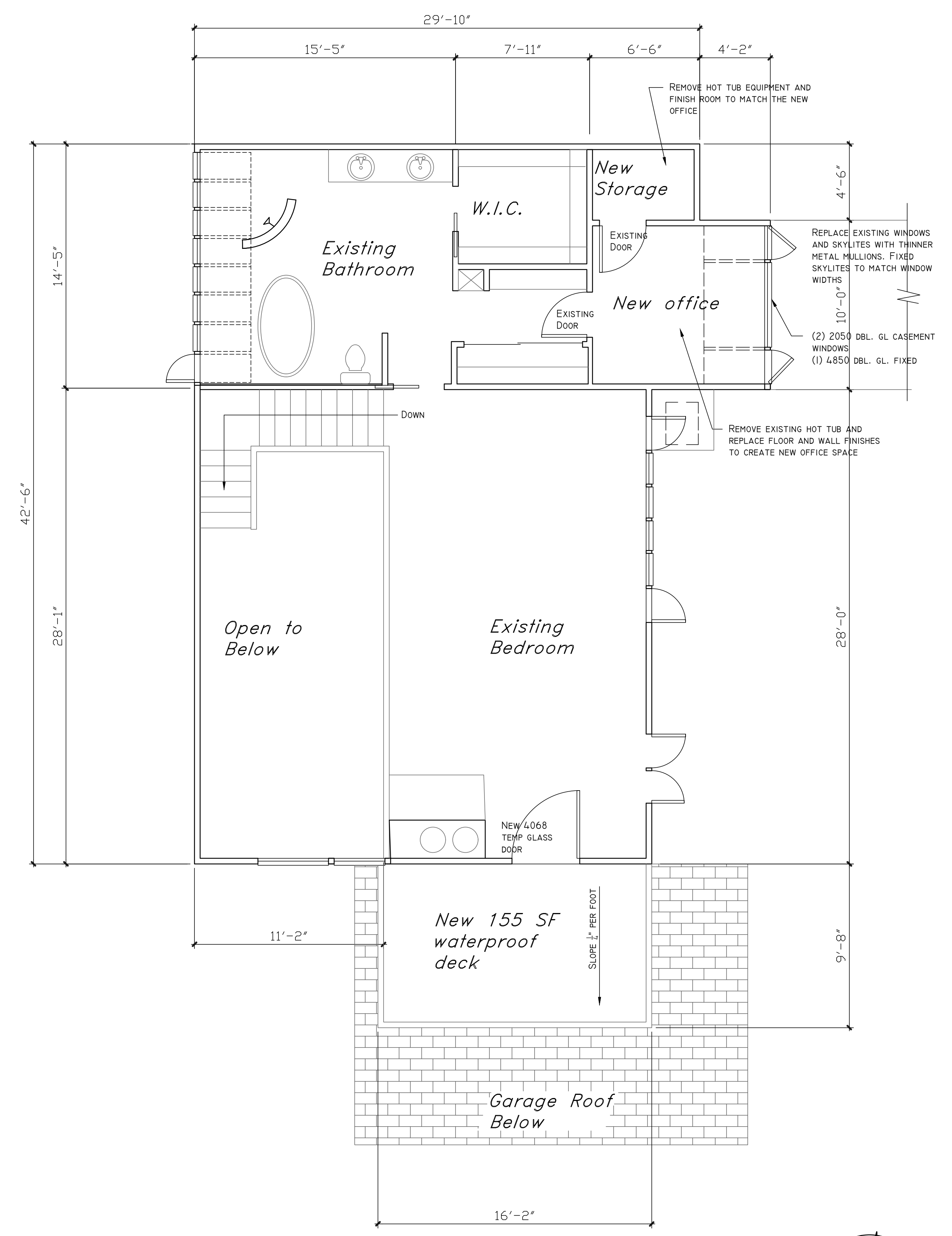
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New deck and remodel for:  
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26245 Dolores  
Carmel, CA  
A.P. # 009-271-041 PHONE: (831)-655-9507

SCALE AS NOTED  
DRAWN CADD  
JOB -  
SHEET **3**  
OF 5 SHEETS



**Proposed First Floor Plan**

1/4" = 1' 0"



**Proposed Second Floor Plan**

1/4" = 1' 0"



REVISION DATE	KEY

DRAWING DATE:  
8-5-20

**JAMES "JM" VOELKA**  
ARCHITECT  
19020 HAREN DRIVE, SUITE 100  
CARMEL, CA 93907  
PHONE: 831-663-6844  
FAX: 831-663-6840  
LICENSE NUMBER: C-19956

**Ability**  
CONSTRUCTORS INC.

SHEET TITLE  
**Proposed Floor Plans**  
Notes  
Details

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SCALE AS NOTED  
DRAWN CADD  
JOB -  
SHEET  
**4**  
OF 5 SHEETS



REVISION DATE	KEY
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	▲
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DRAWING DATE:  
8-5-20

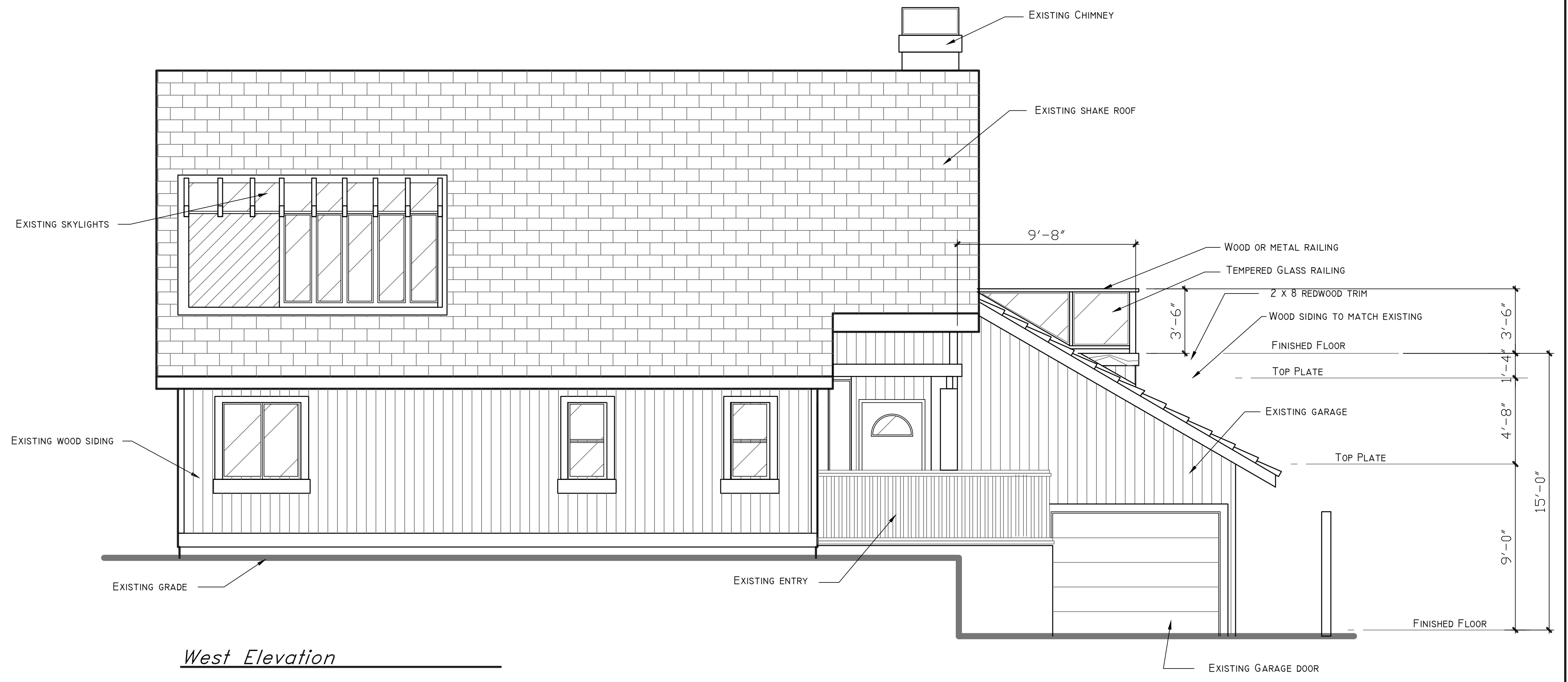
THIS SET OF DRAWINGS IS PREPARED BY AN ARCHITECT REGISTERED IN THE STATE OF CALIFORNIA. THE ARCHITECT'S LICENSE NUMBER IS C-19956. THE ARCHITECT'S OFFICE IS LOCATED AT 15020 KAREN DRIVE, CARMEL, CALIFORNIA 95007. THE ARCHITECT'S PHONE NUMBER IS (831) 663-6844. THE ARCHITECT'S FAX NUMBER IS (831) 663-6840. THE ARCHITECT'S E-MAIL ADDRESS IS JIM@VOCELKA.COM. THE ARCHITECT'S WEBSITE IS WWW.VOCELKA.COM. THE ARCHITECT'S OFFICE IS A MEMBER OF THE CALIFORNIA ARCHITECTURAL BOARD. THE ARCHITECT'S OFFICE IS A MEMBER OF THE CALIFORNIA ARCHITECTURAL ASSOCIATION. THE ARCHITECT'S OFFICE IS A MEMBER OF THE CALIFORNIA ARCHITECTURAL SOCIETY. THE ARCHITECT'S OFFICE IS A MEMBER OF THE CALIFORNIA ARCHITECTURAL INSTITUTE. THE ARCHITECT'S OFFICE IS A MEMBER OF THE CALIFORNIA ARCHITECTURAL SOCIETY OF ARCHITECTS. THE ARCHITECT'S OFFICE IS A MEMBER OF THE CALIFORNIA ARCHITECTURAL SOCIETY OF ARCHITECTS.

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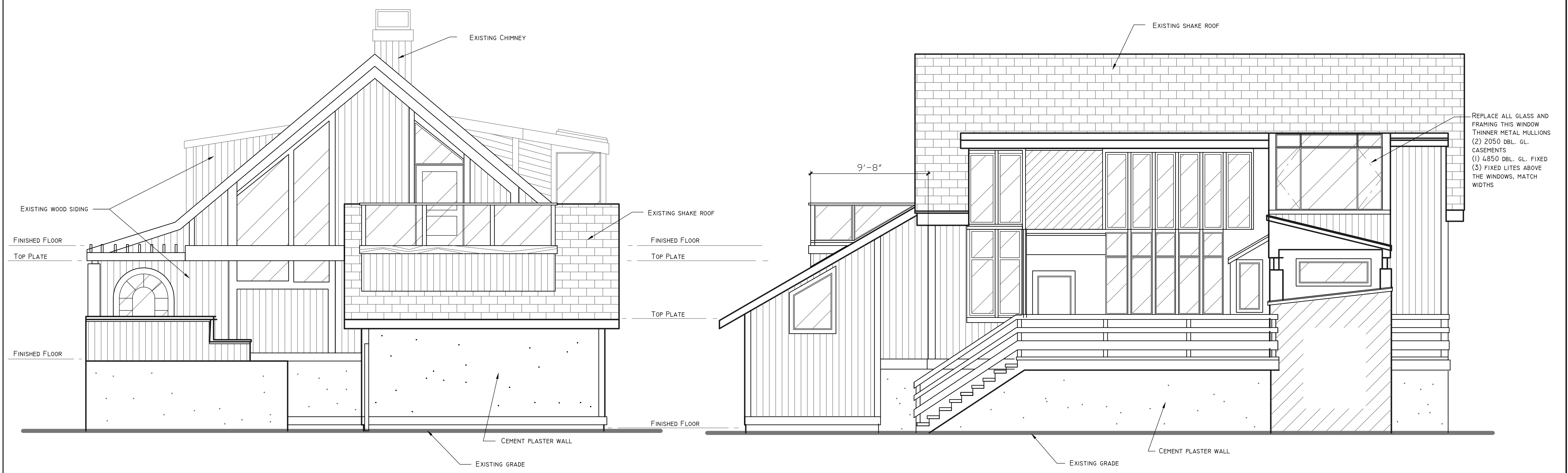
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SCALE AS NOTED  
DRAW CADD  
JOB -  
SHEET  
**5**  
OF 5 SHEETS



*West Elevation*



*South Elevation*

*East Elevation*

**Proposed Exterior Elevations**

1/4" = 1' 0"

