



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 20273

Owner Name: FOGG RICHARD & SHARON NEBEN TRS

Case Planner: Marnie R. Waffle, AICP, Senior Planner

Date Posted: _____

Date Approved: 12/07/2020

Project Location: Junipero 3 SE of Ocean

APN #: 010084021000 **BLOCK/LOT:** 88/ALL LOT 14

Applicant: Brian Congleton

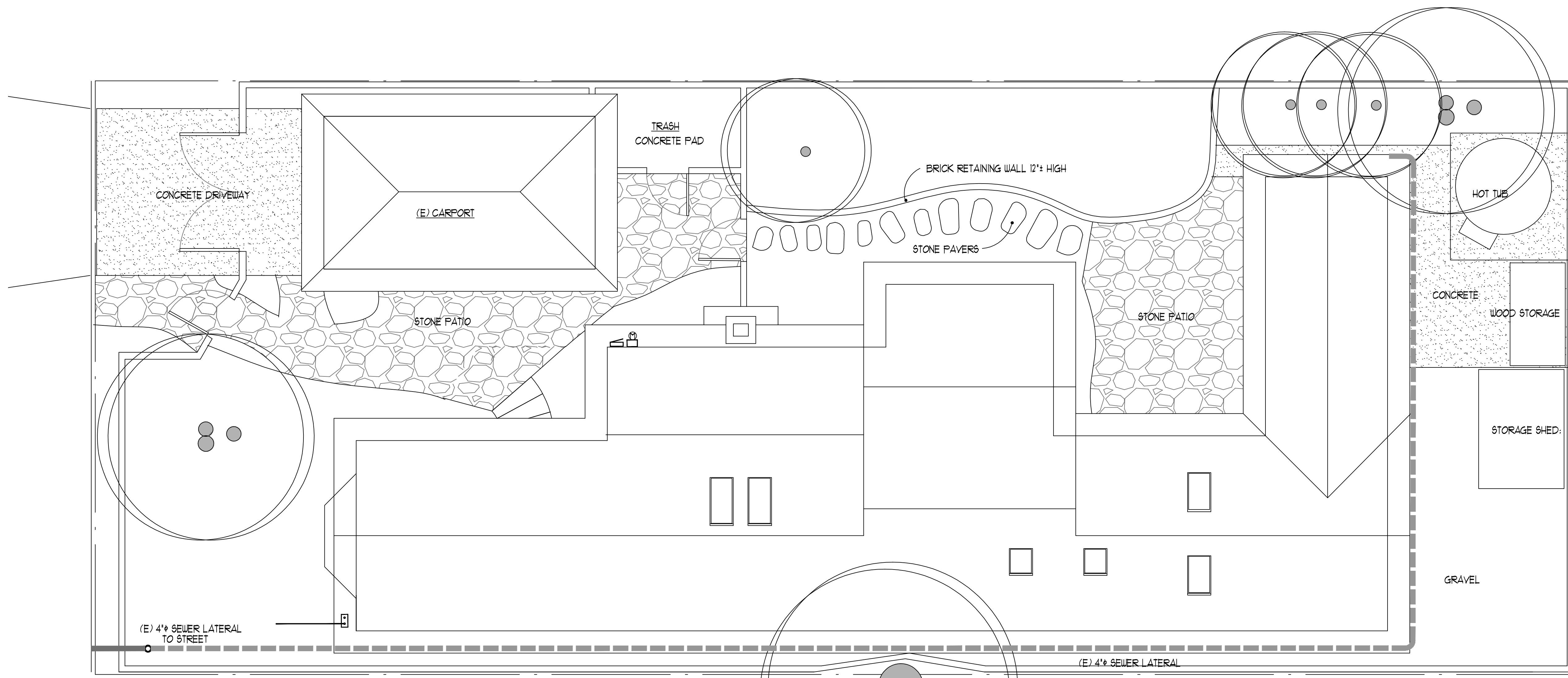
Project Description: Approval of Design Study (DS 20-273, Fogg-Neben) authorizes minor window and door modifications to an existing single-family dwelling located on Junipero 3 SE of Ocean in the R-1 Single Family Residential District. All project construction shall conform to the plans prepared by Brian Congleton Architect stamped approved and on file in the Community Planning & Building Department, unless modified by the conditions of approval.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

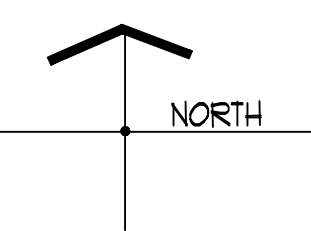
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DRAWN: BTC
DATE: 10-26-20
REVISED:



EXISTING SITE/ROOF PLAN

1/4" = 1'-0"



GENERAL NOTE: THIS SITE/ROOF PLAN SHOWS EXISTING CONDITIONS. THERE ARE NO CHANGES TO SITE OR ROOF.

**CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED**

Permit #: DS 20-273 (Fogg-Neben)
Date Approved: 12/07/2020
Planner: M. Waffle

PROJECT DATA:

BATHROOM & KITCHEN ALTERATIONS TO EXISTING RESIDENCE
MINOR WINDOW AND EXTERIOR WALL CHANGES

PROPERTY LOCATION:
JUNIPERO STREET 3 SE OCEAN AVENUE
APN 010-004-021-000
BLOCK 88, LOT 14, CARMEL-BY-THE-SEA

OWNERS:
RICHARD FOGG & SHARON NEBEN-FOGG
3951 AVENIDA BRISA
RANCHO SANTA FE CA 92091
EMAIL: richard@foggfamilys

LOT SIZE: (40x100): 4,000 SQUARE FEET

FLOOR AREA:

EXISTING HOUSE:	1,300 SQUARE FEET
EXISTING CARPORT:	188 SQUARE FEET
EXISTING STORAGE SHED:	41 SQUARE FEET
TOTAL EXISTING (NO CHANGE):	1,535 SQUARE FEET
MAXIMUM ALLOWED FLOOR AREA:	1,800 SQUARE FEET

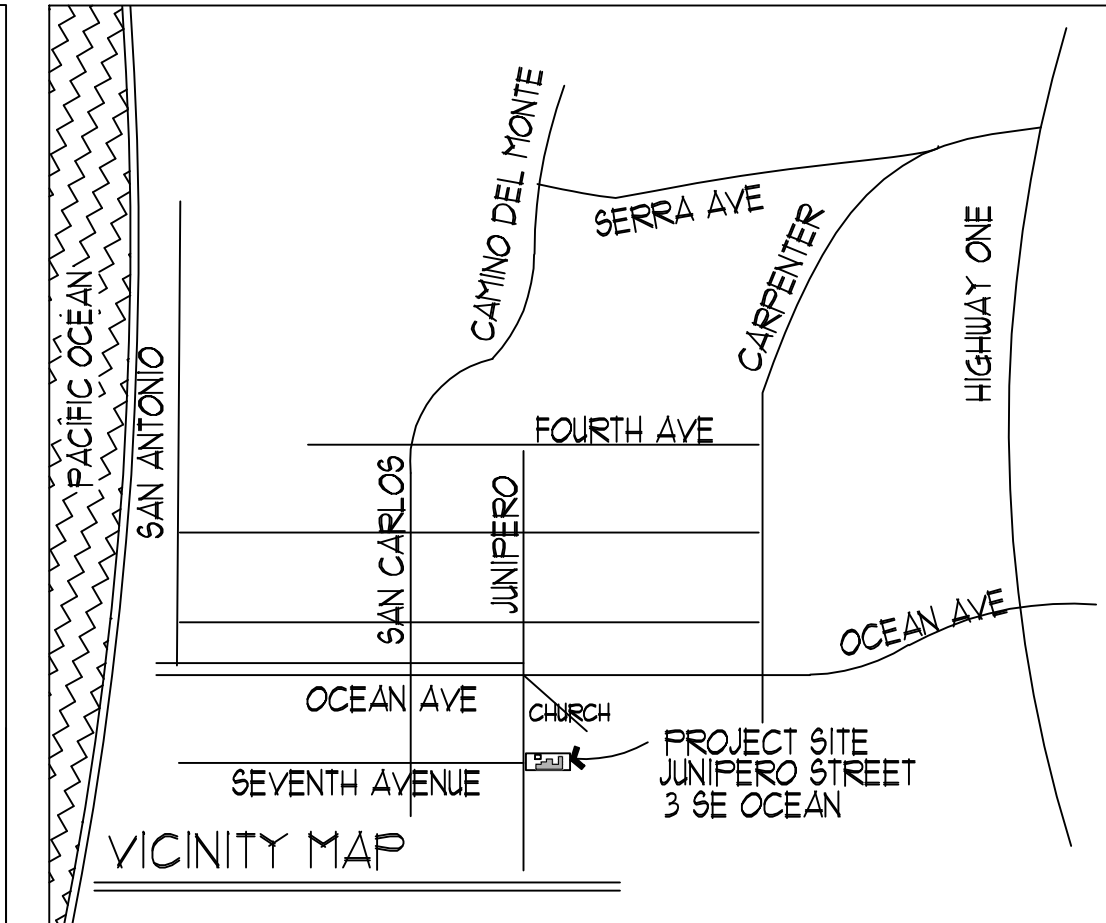
APPLICABLE BUILDING CODES

CONSTRUCTION TYPE: V-B (EXISTING)

APPLICABLE CODES:

2019 CALIFORNIA BUILDING CODE	2019 CALIFORNIA RESIDENTIAL CODE
2019 CBC-PLUMBING	2019 CBC-FIRE
2019 CBC-MECHANICAL	2019 CA RESIDENTIAL CODE
2019 CBC-ELECTRICAL	2019 GREEN BUILDING CODE

APPLICABLE CONDITIONS OF APPROVAL & CITY PROGRAM REQUIREMENTS:
CARMEL CONSTRUCTION & DEMOLITION RECYCLING REQUIREMENTS
MBARD HAZARDOUS MATERIAL REMOVAL AND DISPOSAL REQUIREMENTS
CARMEL BMP IMPLEMENTATION

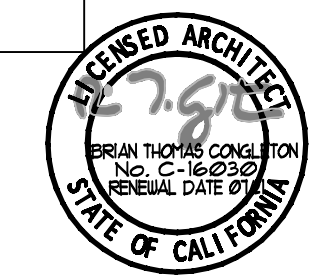


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- 2 FLOOR PLANS
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- 4 PROPOSED BUILDING ELEVATIONS
- 5 INTERIOR KITCHEN & BATH ELEVATIONS
- DOOR & WINDOW SCHEDULES, BUILDING DETAILS
- 6 PROJECT SPECIFICATIONS

BMP 142 BEST METHODS PRACTICES SHEETS
FS FIRE SPRINKLER CALCULATIONS (SPRINKLERS NOT REQUIRED)

**REVISED DESIGN SUBMITTAL
PLANNING - DESIGN REVIEW
BUILDING - PLAN CHECK
OCTOBER 26, 2020**



GENERAL NOTES - DEMOLITION WORK

THIS PLAN IS A GUIDE TO REMOVAL OF EXISTING IMPROVEMENTS IN CONJUNCTION WITH ADDITIONS & ALTERATIONS OF THE EXISTING RESIDENCE. WHERE EXISTING CONDITIONS ARE IN CONFLICT WITH INFORMATION INDICATED HEREIN, NOTIFY OWNER AND ARCHITECT FOR REVIEW AND INPUT PRIOR TO PROCEEDING.

- REMOVAL OF IMPROVEMENTS:**
- REMOVE CABINETRY AND MILLWORK, WALL AND FLOOR FINISHES AS NOTED.
 - REMOVE ANY PLUMBING ELEMENTS NOT TO BE A PART OF THE NEW WORK AND CAP BELOW FLOOR OR IN WALL.
 - REMOVE ANY ELECTRICAL ELEMENTS NOT TO BE A PART OF THE NEW WORK BACK TO PANEL OR JUNCTION BOX. REMOVE EXTRA OR 'WILD' WIRING. REVIEW ALL CIRCUITS AND CLOSE OPEN J-BOXES.
 - REMOVE NON-STRUCTURAL PARTITIONS OR PORTIONS THEREOF AS INDICATED BY DASHED LINE ON PLAN.
- PRESERVE AND PROTECT ELEMENTS NOT TO BE REMOVED, OR ITEMS SET ASIDE FOR RELOCATION AND REUSE.

WHERE NEW WORK ADJOINS EXISTING, PROVIDE ATTACHMENT OF THE ELEMENTS FOR TIGHT FIT, SECURE CONSTRUCTION, PROPER ALIGNMENT AND PROPER VISUAL APPEARANCE WITHOUT PATCHES, GUNGES IN PAINT OR WALLCOVERING, OR BUTT JOINTING OF TRIM ELEMENTS. IF NECESSARY FOR INTEGRATION OF ELEMENTS, REMOVE SURFACE OF EXISTING ELEMENT AND INSTALL NEW.

NOTE: PROVIDE TEMPORARY SHORING & BRACING AS REQUIRED TO PROTECT EXISTING ELEMENTS DURING REMOVAL & CONSTRUCTION. SHORING & BRACING DESIGN IS NOT A PART OF THESE DOCUMENTS.

PLUMBING FIXTURE SCHEDULE

TYPE	F.U.	EXISTING	PROPOSED
KIT. SINK/ D.W.	2.0	1	2.0
KIT. SINK W/ LOW-FLOW D.W.	1.5	-	1.5
WASHER	2.0	1	2.0
LOW FLOW WASHER	1.0	-	1.0
TUB OR STALL SHOWER	2.0	2	4.0
TUB PLUS SHOWER @ MASTER	3.0	-	3.0
LAV.	1.0	2	2.0
2 LAVS @ MASTER	1.0	-	1.0
W.C.	1.0	2	3.6
HET W.C.	1.3	-	2
HOT WATER LOOP	-0.5	-	-0.5
TOTAL		13.6	11.6

MECHANICAL/ELECTRICAL SYMBOLS

EXISTING ELEMENTS TO REMAIN ARE NOT SHOWN. ITEMS TO BE REMOVED ARE NOT SHOWN - SEE DEMOLITION NOTES

- HIGH-EFFICACY RECESSED DOWNLIGHT
- SURFACE MOUNTED CEILING LIGHT
- WALL MOUNTED LIGHT
- HIGH-EFFICACY UNDERCABINET LIGHT
- EF EXHAUST FAN W/HUMIDISTAT CONTROL
- DISP DISPOSER
- SD SMOKE DETECTOR - MOUNT ON CEILING OR @ TOP OF WALL - 110V AC POWERED W/ BATTERY BACKUP.
- CA CARBON MONOXIDE ALARM. MAY BE A COMBINATION UNIT WITH SMOKE DETECTOR
- EP ELECTRICAL PANEL
- EMB ELECTRIC METER/MAIN BREAKER
- WP WATERPROOF/WEATHERPROOF
- HE HIGH-EFFICACY LIGHT FIXTURE
- (E) EXISTING OUTLET, SWITCH OR LIGHT TO REMAIN
- \$ WALL SWITCH
- \$ DIMMER WALL SWITCH
- \$ THREE WAY WALL SWITCH
- 110 V OUTLET
- 110 V, DUPLEX WALL OUTLET
- GFI GROUND FAULT CIRCUIT INTERRUPTER
- 220 V. OUTLET
- RECESSED WASHER HOOKUP W/ HOT & COLD FAUCETS & 2" DRAIN

NOTES - MECHANICAL/ELECTRICAL:

LAYOUT
ELECTRICAL LAYOUT SHOWN ON THESE PLANS IS PROVIDED AS A GUIDE. OWNER TO MAKE FINAL DETERMINATION OF FIXTURE, SWITCH AND OUTLET LOCATIONS, BUT IN ACCORDANCE WITH CODE REQUIREMENTS. OWNER LAYOUT AND/OR CODE REQUIREMENTS MAY RESULT IN VARIATIONS FROM ELEMENTS SHOWN. FIELD VERIFY WITH OWNER PRIOR TO INSTALLATION.

SMOKE DETECTORS
CENTRALLY LOCATED IN CORRIDOR LEADING TO SLEEPING AREAS.
ON CEILING OF UPPER LEVEL IN CLOSE PROXIMITY TO THE STAIRWAY.

ARC FAULT CIRCUIT INTERRUPTER REQUIRED IN ALL AREAS EXCEPT BATHROOM:
ARC-FAULT CIRCUIT INTERRUPTER CIRCUIT BREAKERS @ PANEL OR OUTLET.

TUBS & SHOWERS: PRESSURE VALVE OR THERMOSTATIC MIXING VALVE TO LIMIT WATER TEMP TO 120 DEGREES F.

BATHROOM FAN SHALL BE ENERGY STAR RATED W/HUMIDISTAT CONTROL.

LIGHT SOURCES SHALL BE CONTROLLED BY DIMMER OR VACANCY SENSOR.

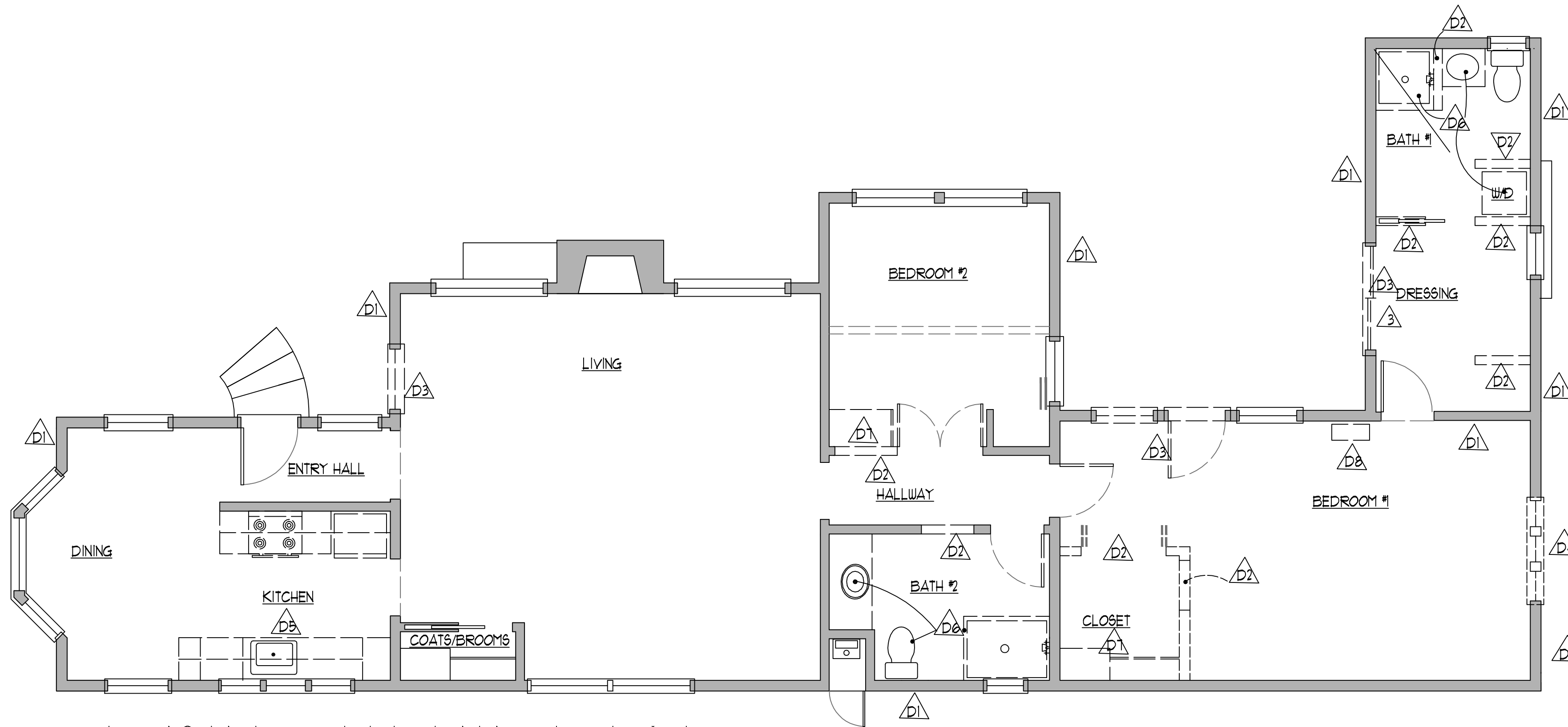
- A. CEILING RECESSED DOWNLIGHTS
- B. GU-24 SOCKETS CONTAINING LED LIGHT SOURCES
- C. ANY LIGHT SOURCE LISTED AS COMPLYING WITH REFERENCE JOINT APPENDIX J.4.2

D. ONE BATH LIGHT SHALL BE CONTROLLED BY VACANCY SENSOR LOCATED IN CLOSETS LESS THAN 10 SF OR IN HALLWAYS ARE EXEMPT.

ALL LIGHTS TO BE HIGH-EFFICACY PER TABLE 1508.4 OF CEC 150K(A) LA

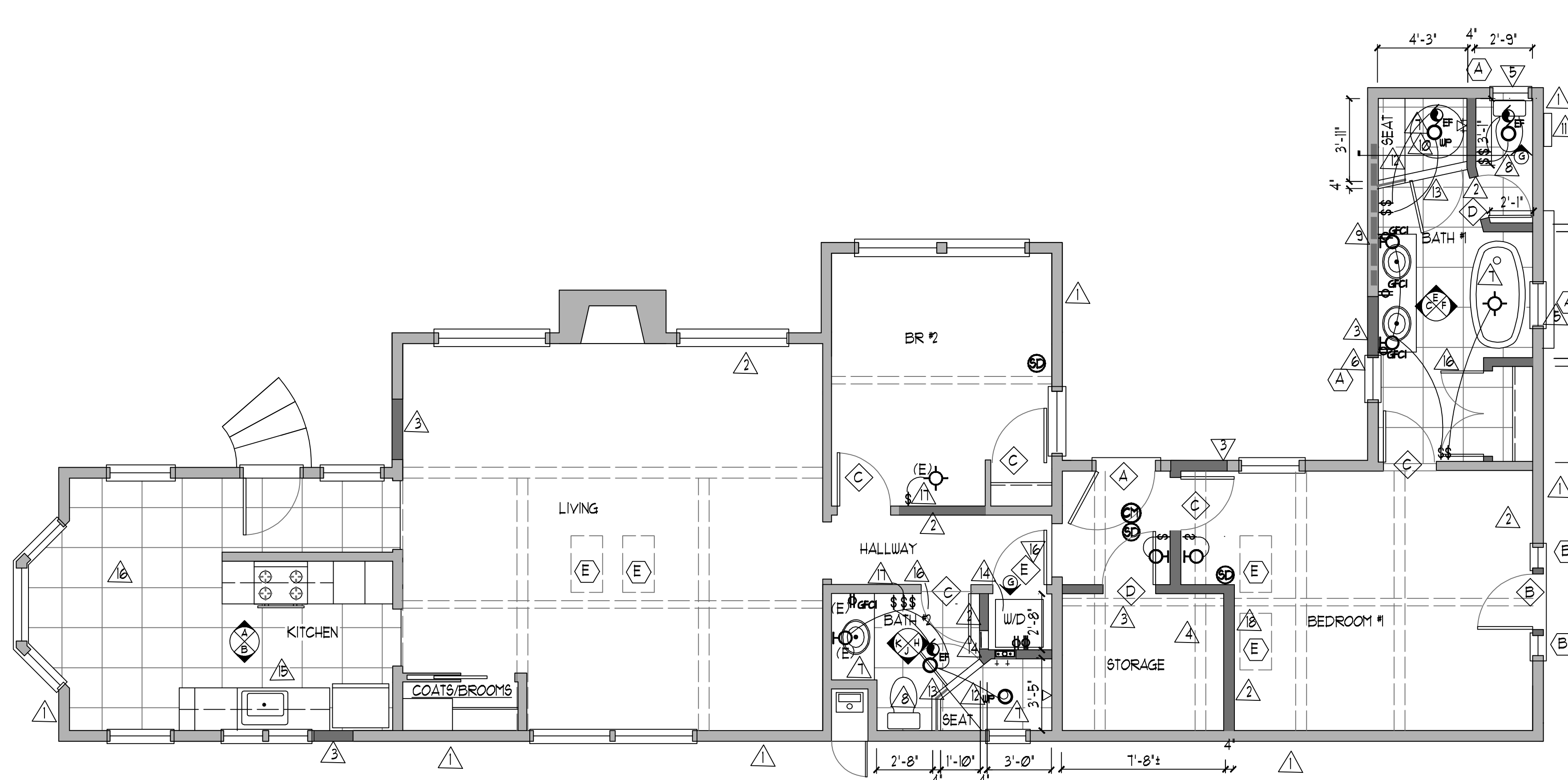
PLUMBING FIXTURES SHALL MEET THE FOLLOWING WATER CONSERVATION REQUIREMENTS (2019 CEC 69C):

- TOILETS: 1.28 GALLONS PER FLUSH
- SHOWERS: 1.8 GALLONS PER MINUTE FLOW.
- FAUCETS: 1.2 GALLONS PER MINUTE FLOW.



EXISTING/DEMOLITION PLAN

1/4" = 1'-0"



PROPOSED FLOOR PLAN

1/8" = 1'-0"

DEMOLITION FLAG NOTES-

- SEE DEMOLITION NOTES THIS SHEET. SHORE EXISTING ELEMENTS TO REMAIN DURING MODIFICATIONS.
- EXISTING WALL TO REMAIN, SHOWN AS: [Symbol] PROTECT ELEMENTS DURING CONSTRUCTION.
- REMOVE EXISTING WALL, SHOWN AS: [Symbol] REMOVAL INCLUDES DOORS, WINDOWS, OR OTHER ELEMENTS INCLUDED IN WALL.
- REMOVE EXISTING DOOR/WINDOW, INFILL WALL - SEE CONSTRUCTION PLAN & ELEVATIONS.
- REMOVE (E) WINDOW WALL AS SHOWN ON BUILDING ELEVATIONS. PREPARE WALL FOR NEW ELEMENT INSTALLATION.
- REMOVE KITCHEN CABINETS & APPLIANCES:
 - REMOVE COUNTERTOPS, UPPER AND LOWER CABINETS
 - REMOVE FLOOR COVERINGS
 - PLUMBING ROUGH TO REMAIN
 - ELECTRICAL CIRCUITS, OUTLETS, LIGHTS AND SWITCHES TO REMAIN. UPGRADE TO COMPLY WITH CURRENT CODE.
- REMOVE BATHROOM PLUMBING FIXTURES AND FINISHES. PLUMBING ROUGH TO FIXTURES TO REMAIN.
- REMOVE SHELVING OR CABINET ELEMENTS SHOWN DASHED.
- REMOVE (E) WALL FURNACE.

FLAG NOTES

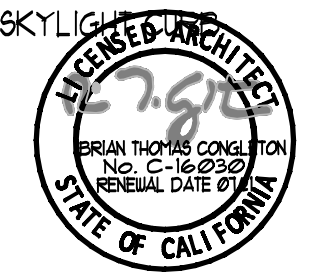
- EXISTING WALL TO REMAIN, SHOWN AS: [Symbol] PROTECT ELEMENTS DURING CONSTRUCTION.
- NEW INTERIOR WALL: [Symbol] 2x4'S @ 16' O.C. SINGLE PRESSURE-TREATED BOTTOM PLATE, DOUBLE TOP PLATE 3/2" SOUND BATTS 1/2" GYPSUM DRYWALL, SMOOTH FINISH & PAINTED.
- INFILL OPENING FOLLOWING REMOVAL OF WINDOW OR DOOR MATCH ADJACENT (E) WALL MATERIALS. SEE ELEVATIONS.
- NEW DOOR IN (E) WALL.
- NEW WINDOW IN EXISTING ROUGH OPENING REPLACES EXISTING ALUMINUM WINDOW. ALUMINUM CLAD WOOD, TYPFERED INSULATED GLASS.
- NEW WINDOW FRAMED INTO NEW INFILL WALL @ FORMER SLIDING GLASS DOOR. MATCH WINDOW ON EAST WALL OPPOSITE.
- CONNECT NEW PLUMBING FIXTURE (TUB, SHOWER, LAV) TO EXISTING ROUGH WATER AND WASTE FOLLOWING REMOVAL OF EXISTING FIXTURES.
- NEW HET TOILET REPLACES (E) TOILET. NO CHANGE TO PLUMBING ROUGH OR TOILET LOCATION.
- EXTEND WATER & WASTE IN WALL FROM SHOWER TO RELOCATED LAVS.
- STEAM SHOWER @ BATH #: TYPFERED GLASS ENCLOSURE TO CEILING -SEE ELEVATIONS. SLOPE SHOWER CEILING 1" TO NORTH TO DRAIN DOWN NORTH WALL.
- STEAM GENERATOR ON EAST EXTERIOR WALL. STEAM1ST ELITE STEAM1 1.5' x 6' x 15.5' WALL MOUNT. 240V, 15 KW.
- TILE SEAT IN SHOWER. SEE BATH ELEVATIONS.
- TEMPERED GLASS SHOWER ENCLOSURE.
- RELOCATED STACK WASHER/DRYER:
 - CONNECT WASTE, HOT & COLD WATER PIPES IN CRAWL SPACE.
 - PLUMBING VENT AND DRYER VENT THROUGH ROOF.
 - PAN UNDER STACK UNIT - DRAIN TO EXTERIOR.
 - ACCESS PANEL IN BATH #2 TO ACCESS HOOKUPS.
 - SEE INTERIOR ELEVATION G/5.
- REPLACE KITCHEN CABINETS, FIXTURES, APPLIANCES AND FLOORING.
 - ALL EXISTING ELECTRICAL, PLUMBING ROUGH, AND FINISHES TO REMAIN.
 - UPGRADE ELECTRICAL LIGHTING AND OUTLETS TO COMPLY WITH CODE.
 - REPLACE (E) ELECTRIC RANGE W/ GAS RANGE.
- STONE OR TILE FLOORING IN KITCHEN/ENTRY, BATHROOMS & LAUNDRY. INSTALL TILE OVER CEMENTITIOUS BACKING BOARD IN ALL AREAS EXCEPT SHOWERS. INSTALL SHOWER PANS AS SHOWN IN DETAIL D/6. NON-SLIP TILE IN BATHROOM AREAS. OWNER TO SELECT TILE & GROUT.
- WIDEN DOOR OPENING TO ACCOMMODATE 2'-8" MIN. DOOR FOR WASHER/DRYER INSTALLATION.
- RELOCATE LIGHT SWITCH ADJACENT TO RELOCATED DOOR.
- ALIGN EAST FACE OF NEW WALL TO WEST SIDE OF (E) SKYLIGHT.

EXISTING & PROPOSED PLANS

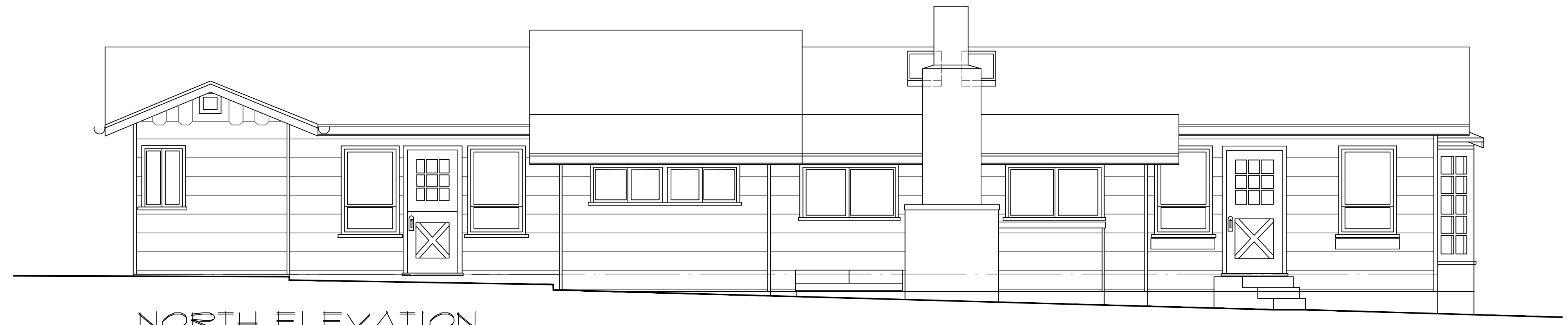
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DRAWN BY TC
DATE 10-10-20
REVISED

Brian Congleton Architect
Box 4116 Carmel, CA 93921 (831) 620-1928 License No. C-16030 brian@congletonarchitect.com

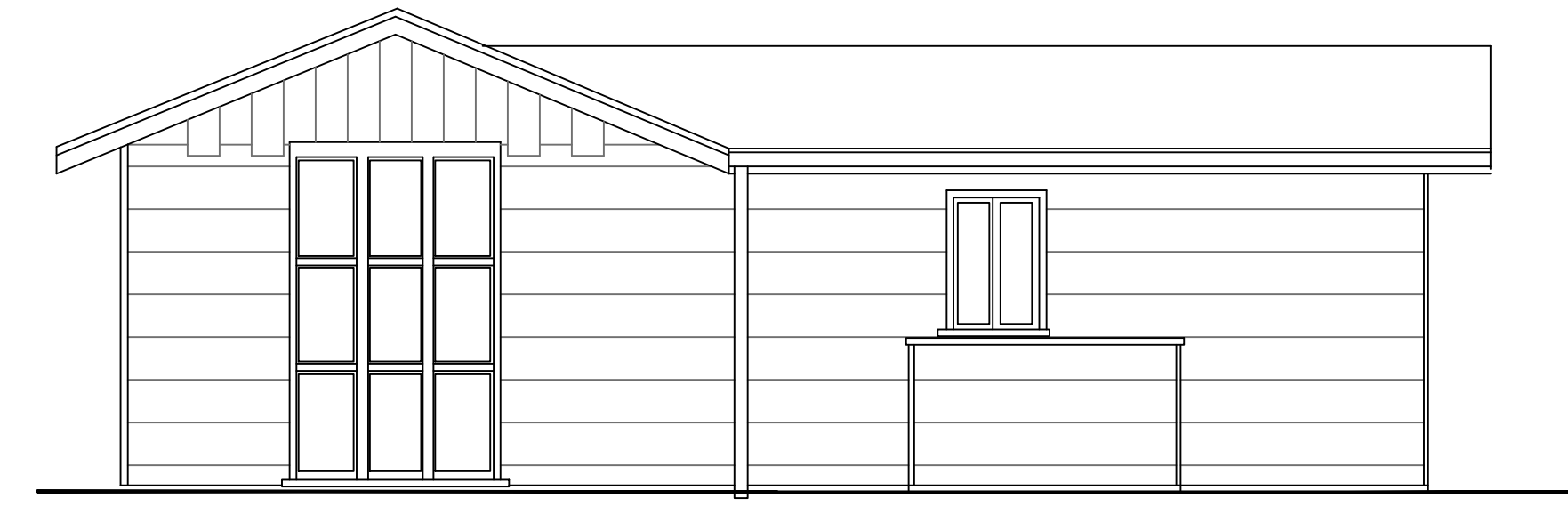
NEBEN-FOGG RESIDENCE
JUNIPERO 3 SE OCEAN - CARMEL, CALIFORNIA



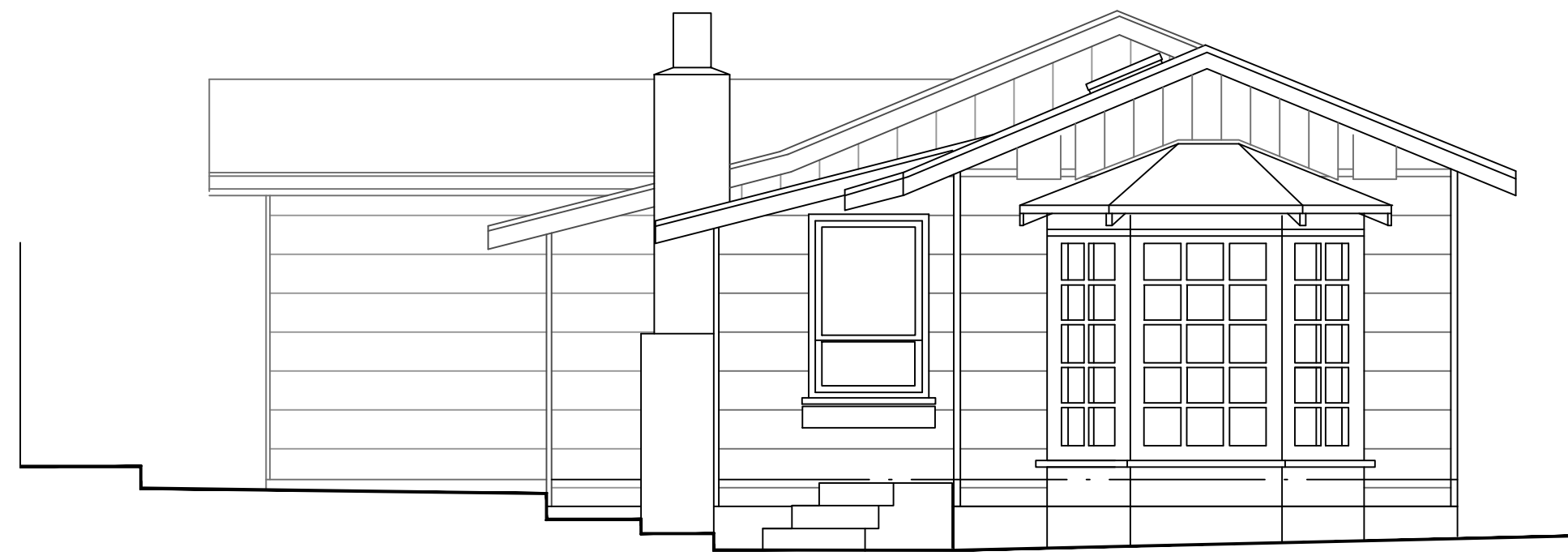
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2 OF 6



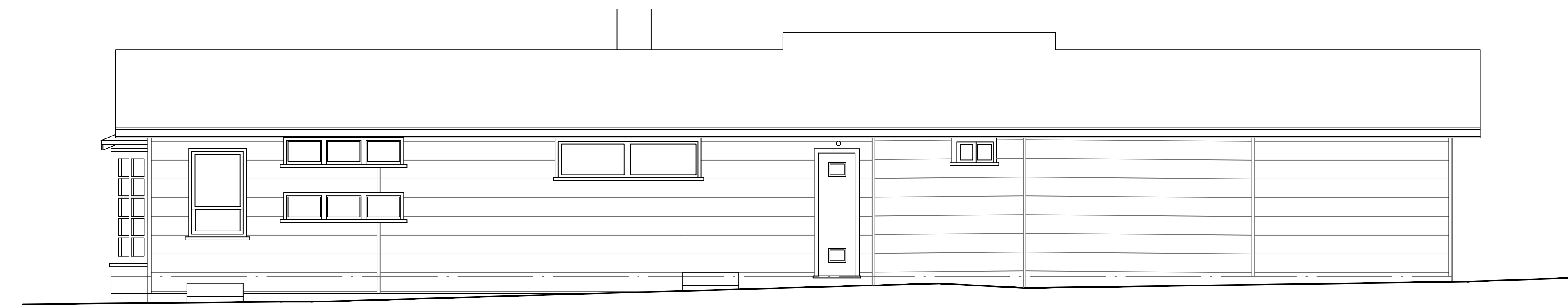
NORTH ELEVATION



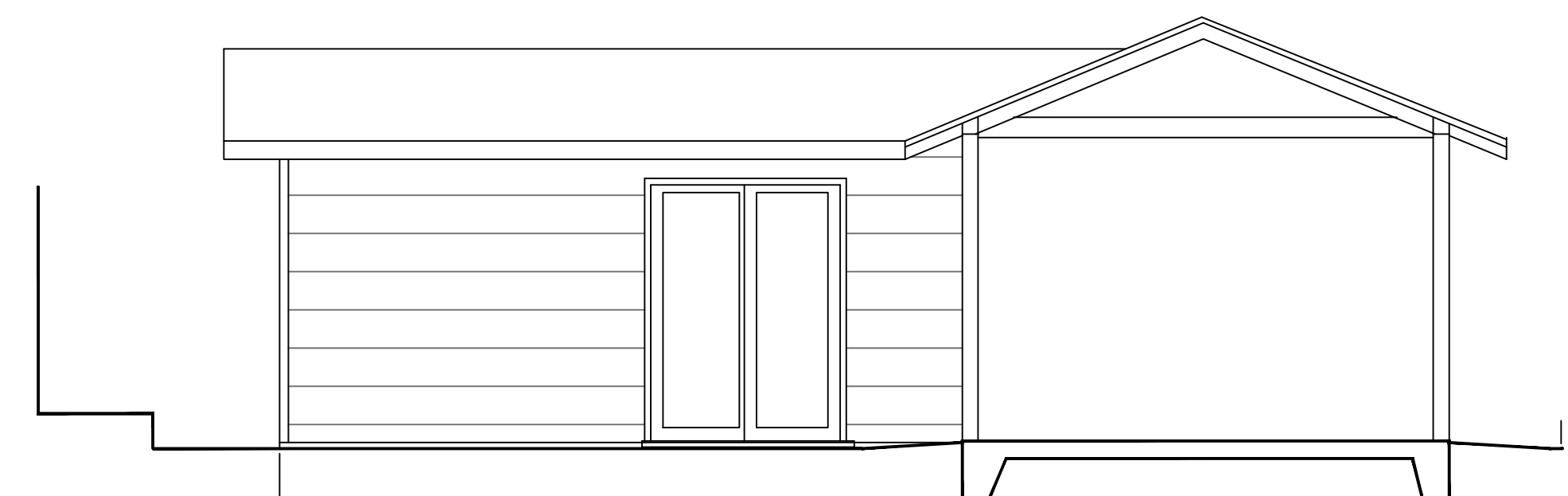
EAST ELEVATION



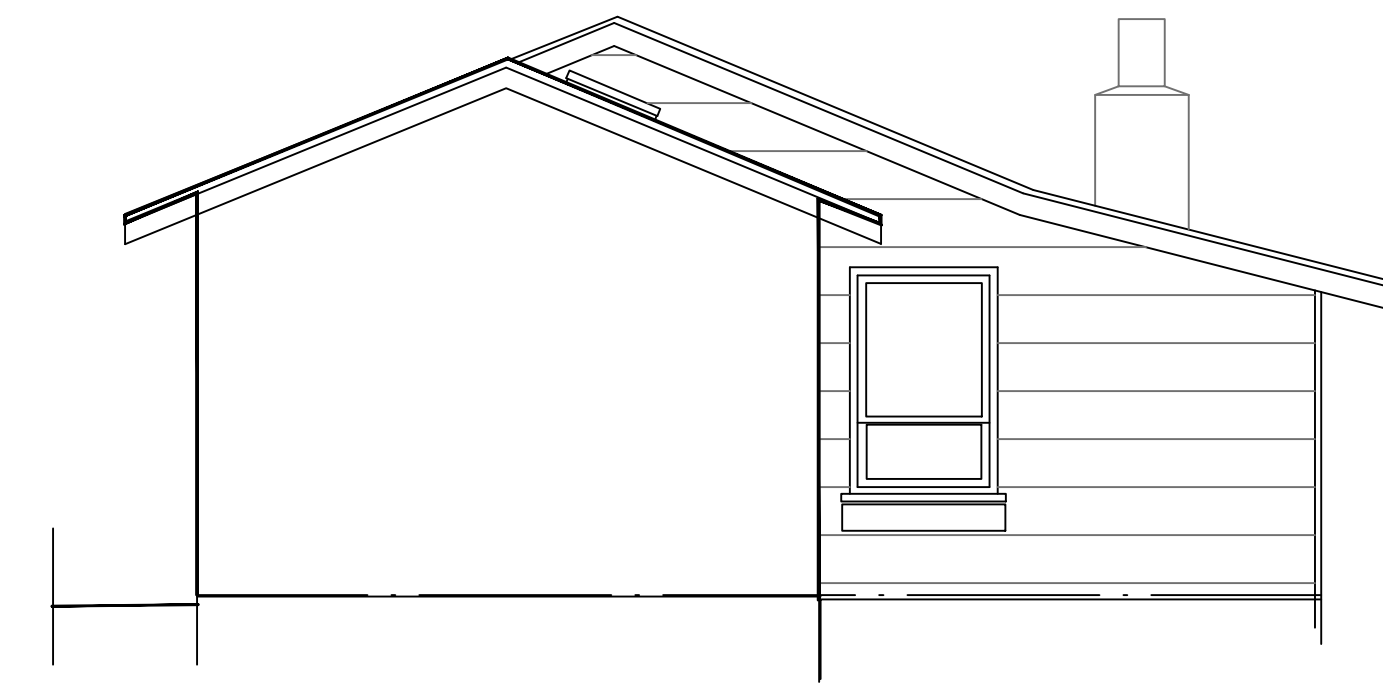
WEST ELEVATION



SOUTH ELEVATION

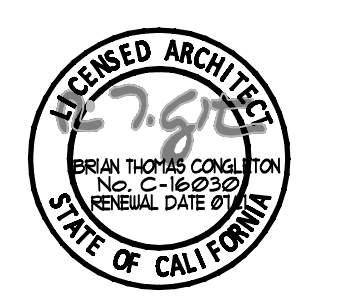


PATIO EAST WALL



PATIO WEST WALL

EXISTING ELEVATIONS



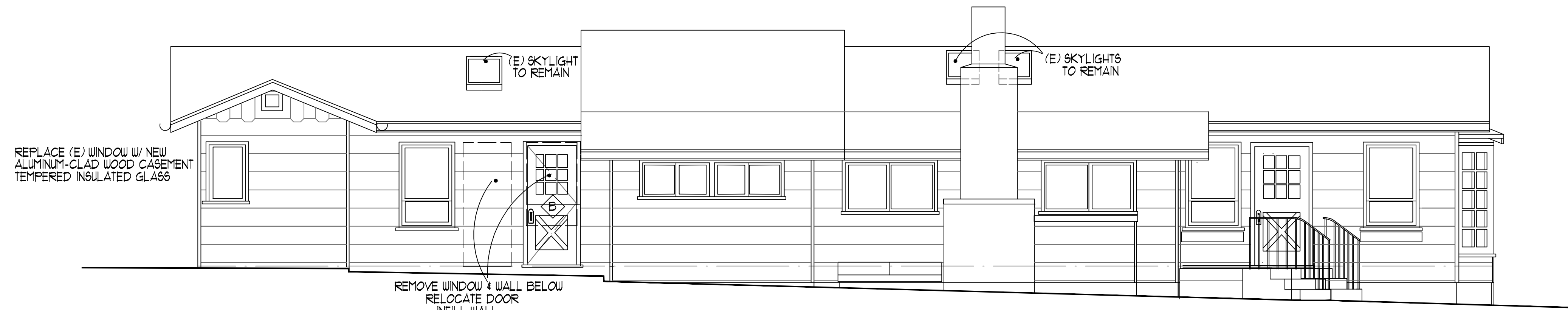
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DATE: 10-26-20
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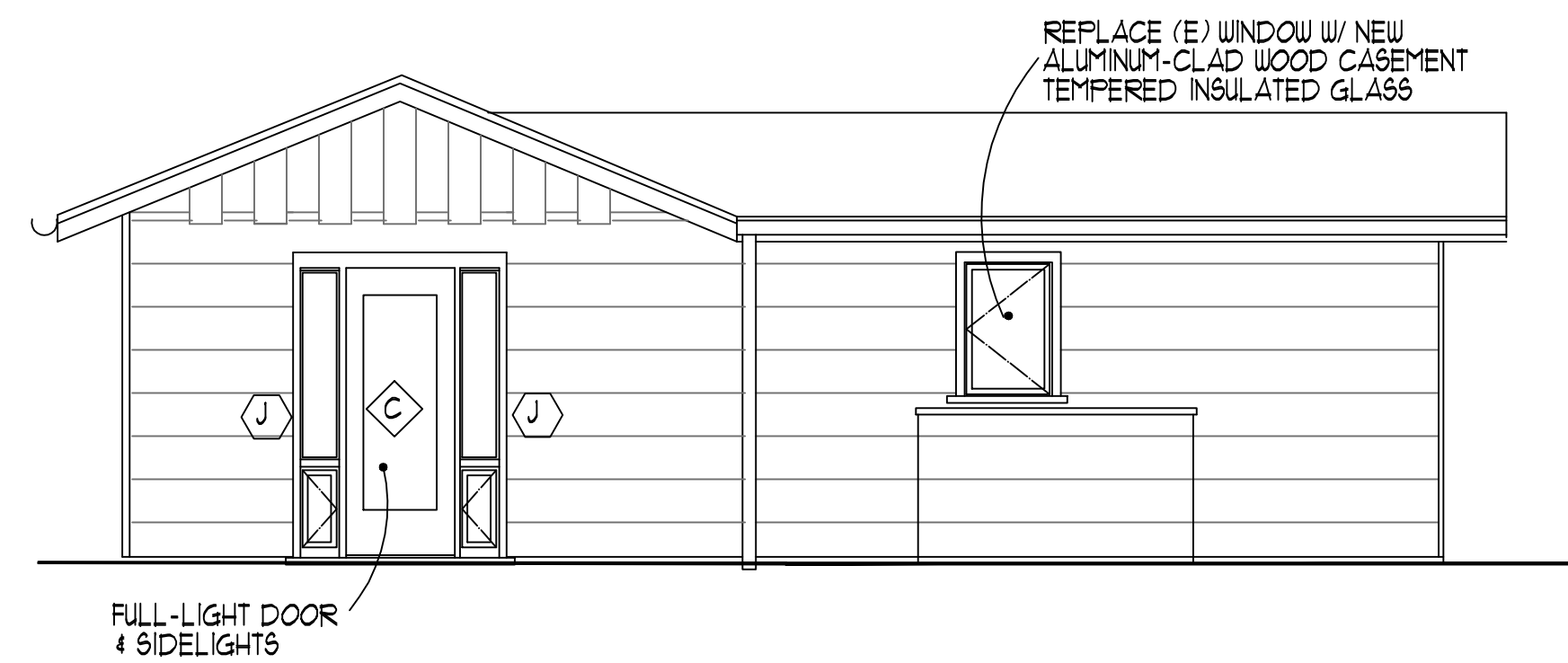
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JUNIPERO 3 SE OCEAN - CARMEL, CALIFORNIA

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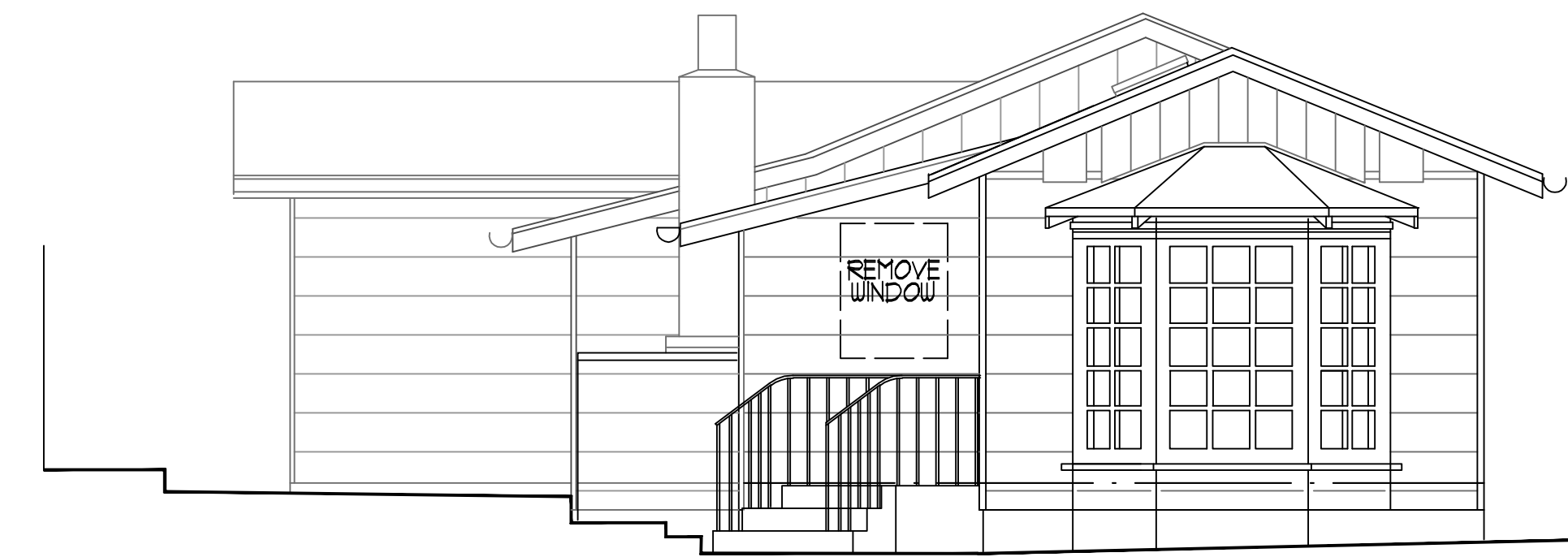
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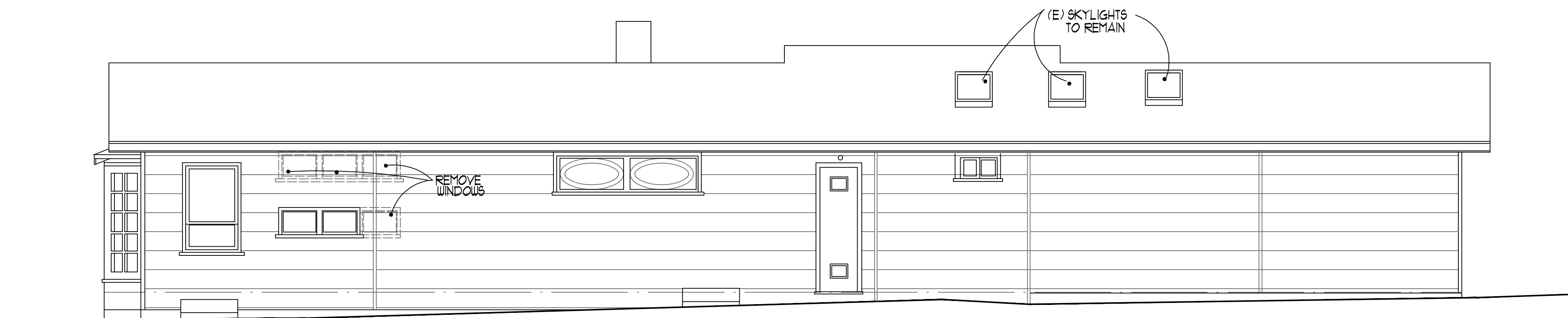
NORTH ELEVATION



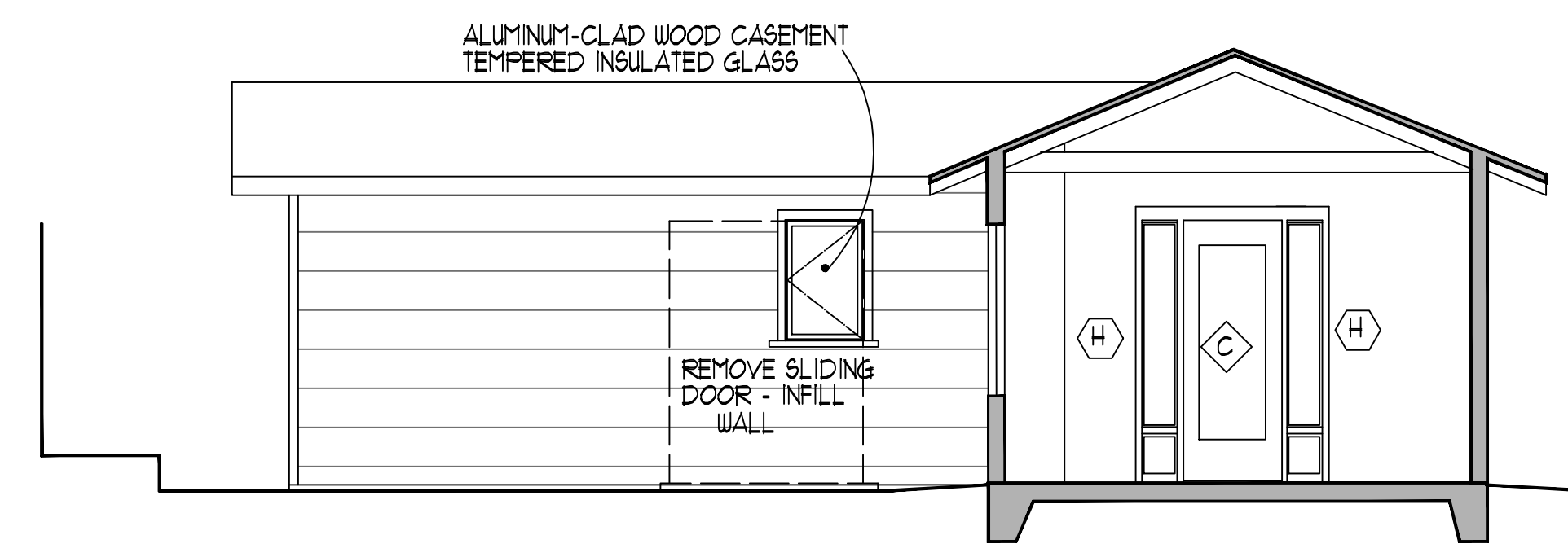
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

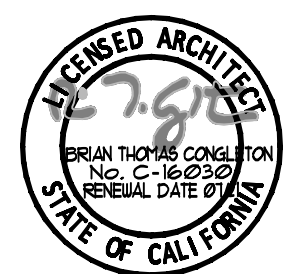


BATH WEST WALL FACING PATIO

PROPOSED ELEVATIONS

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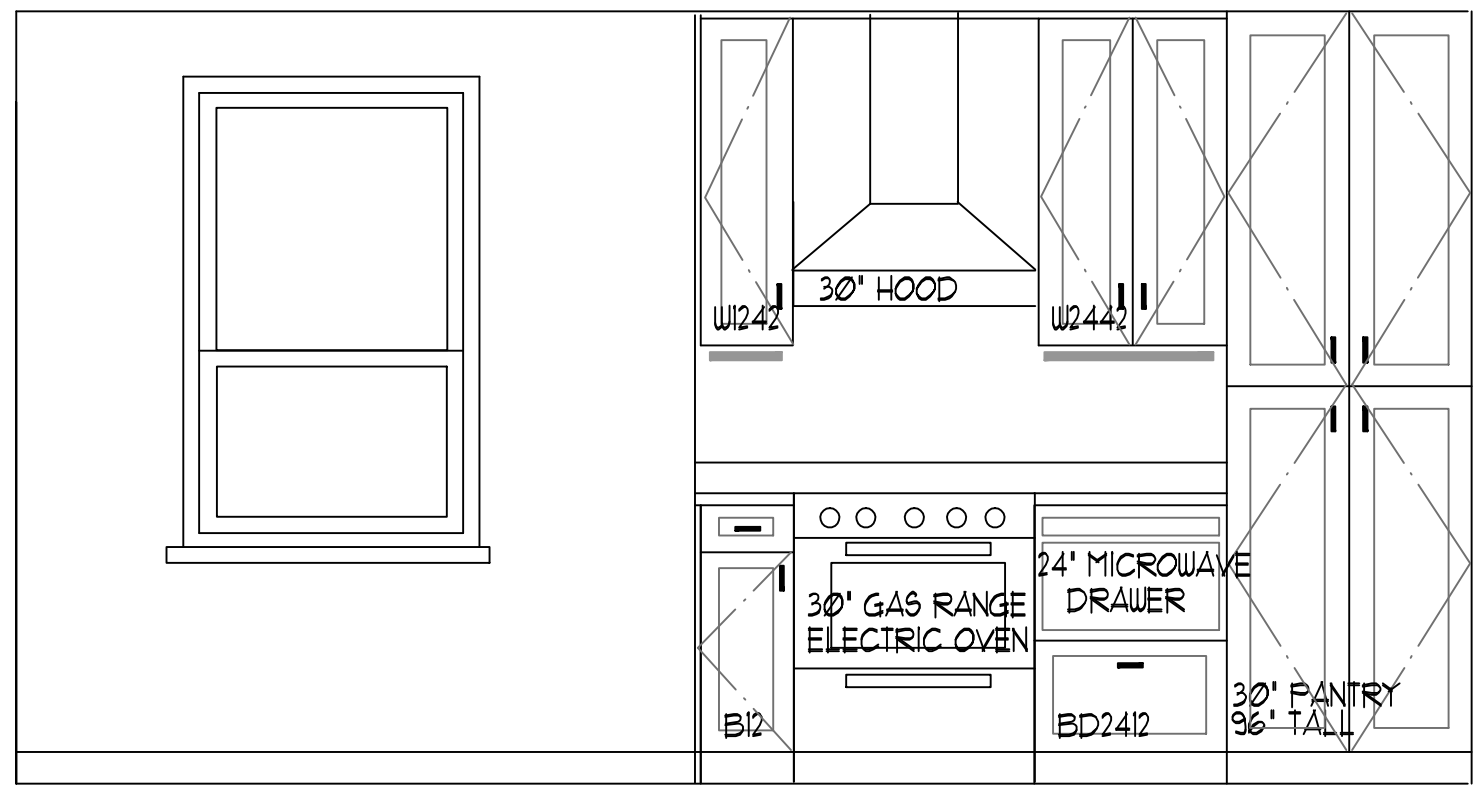
NEBEN-FOGG RESIDENCE
 JUNIPERO 3 SE OCEAN - CARMEL, CALIFORNIA



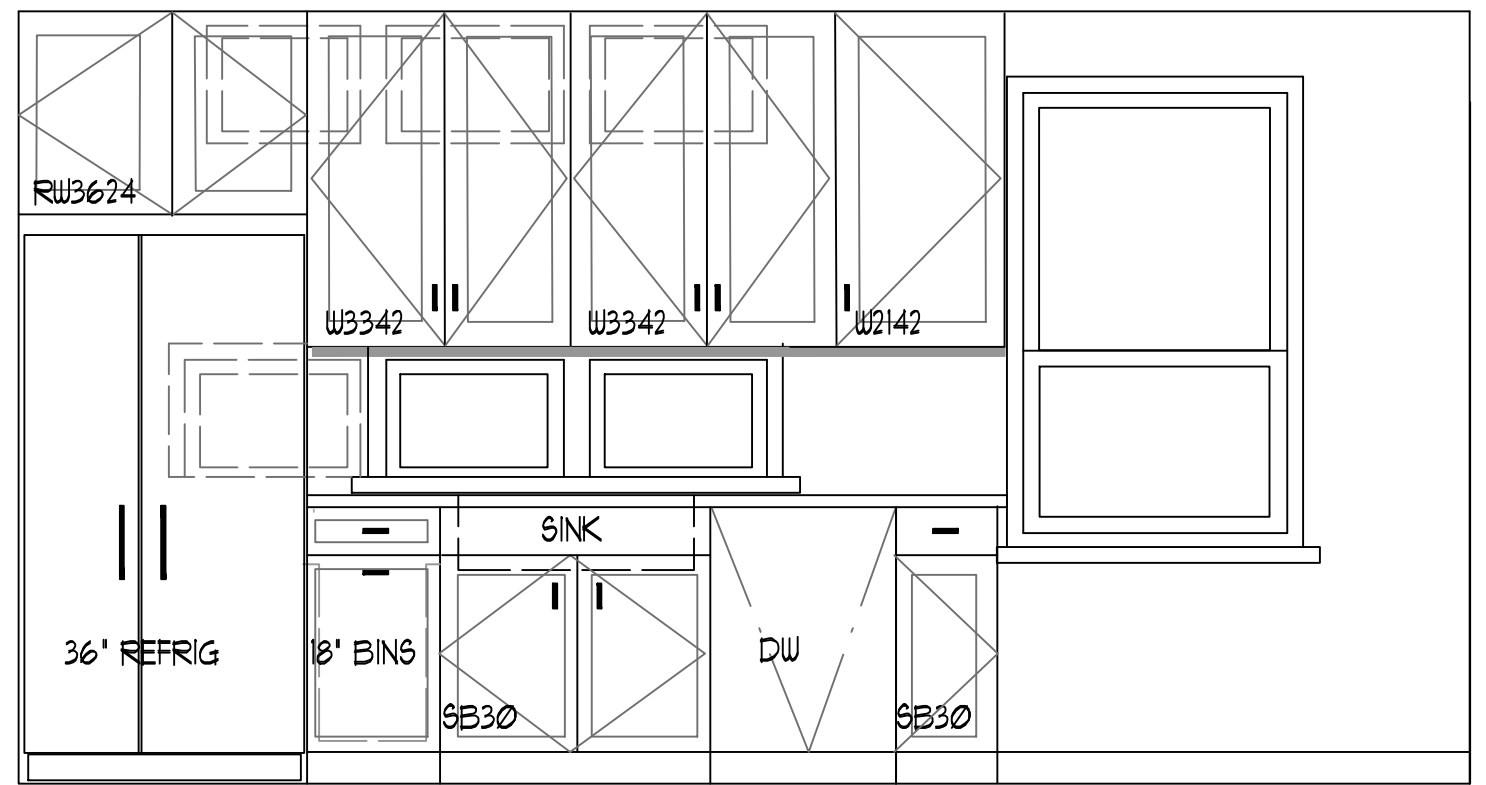
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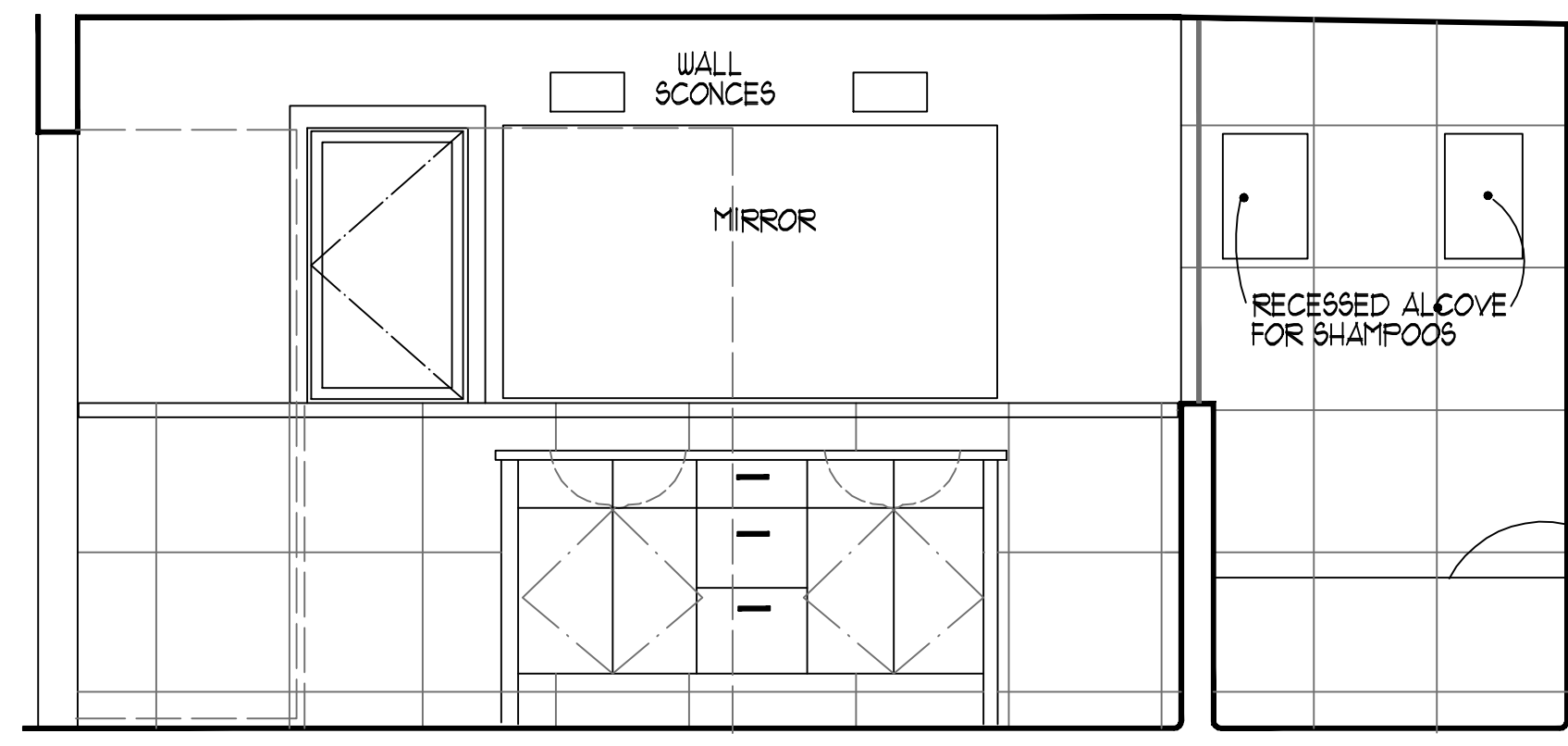


Ⓐ KITCHEN NORTH WALL

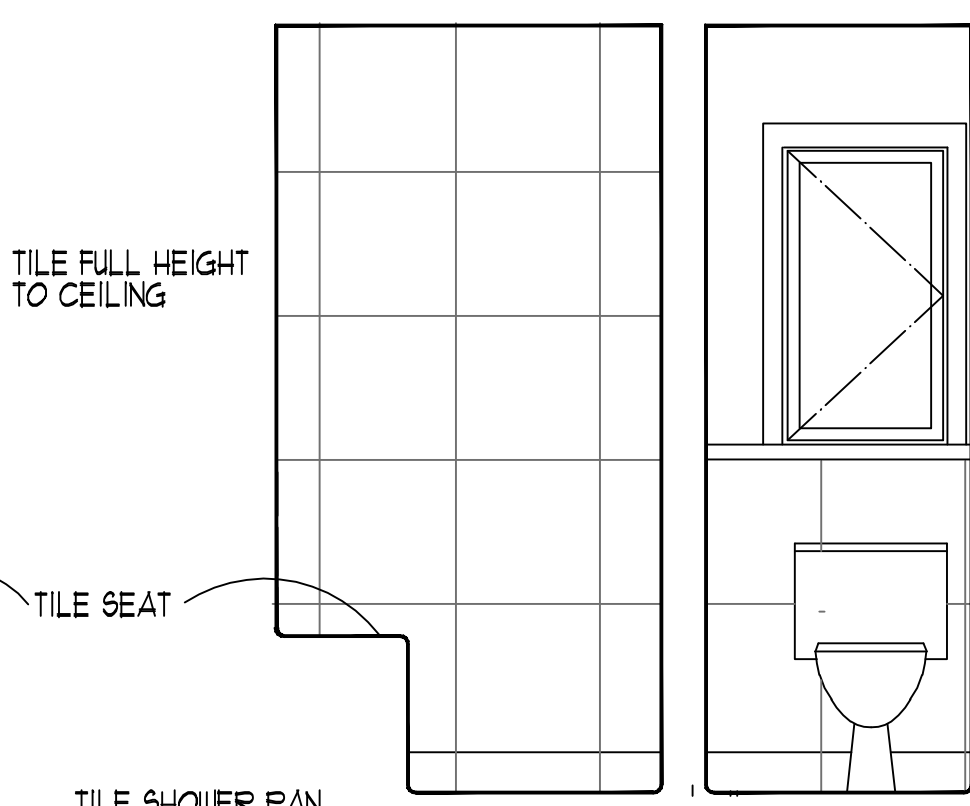


Ⓑ KITCHEN SOUTH WALL

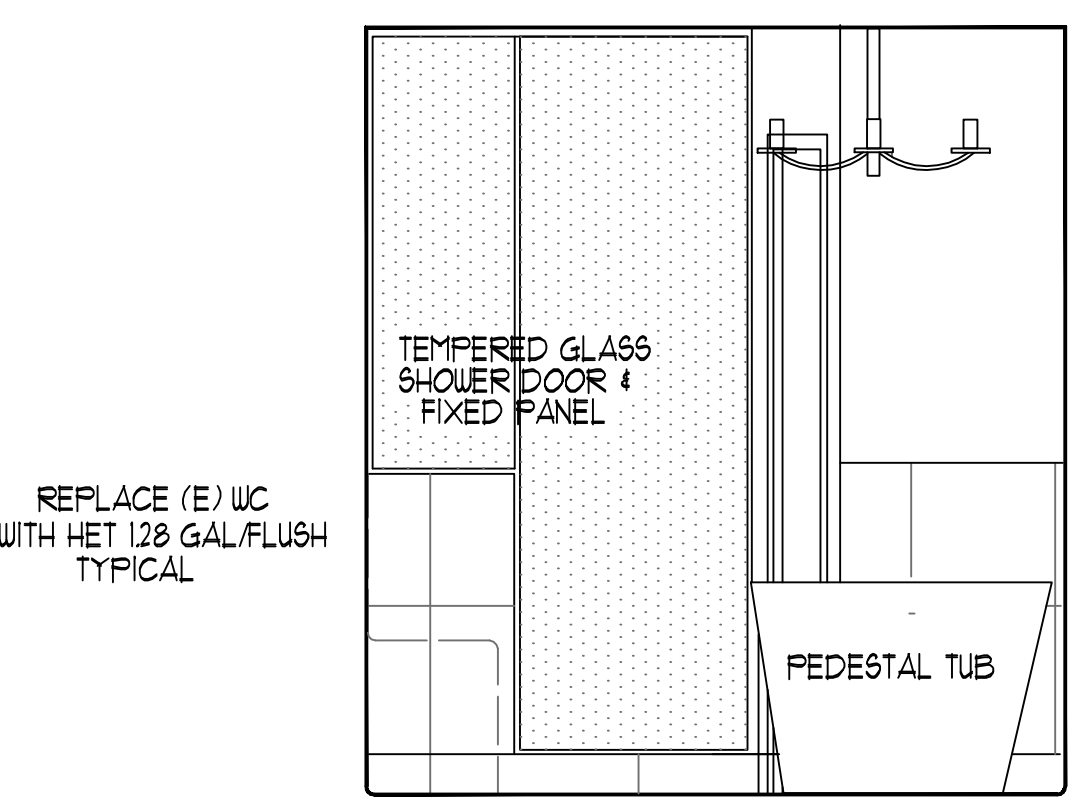
KITCHEN ELEVATIONS



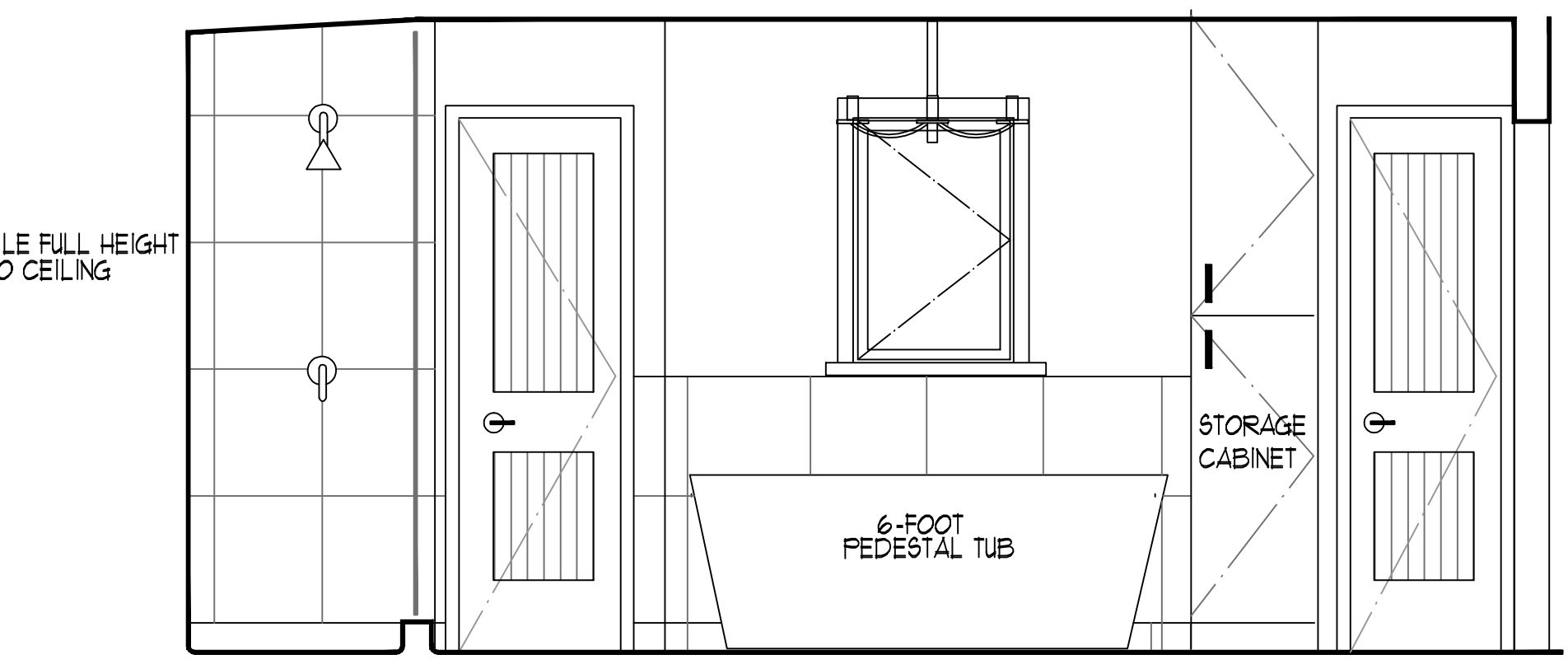
Ⓒ BATH #1 WEST WALL



Ⓓ BATH #1 NORTH WALL/SHOWER

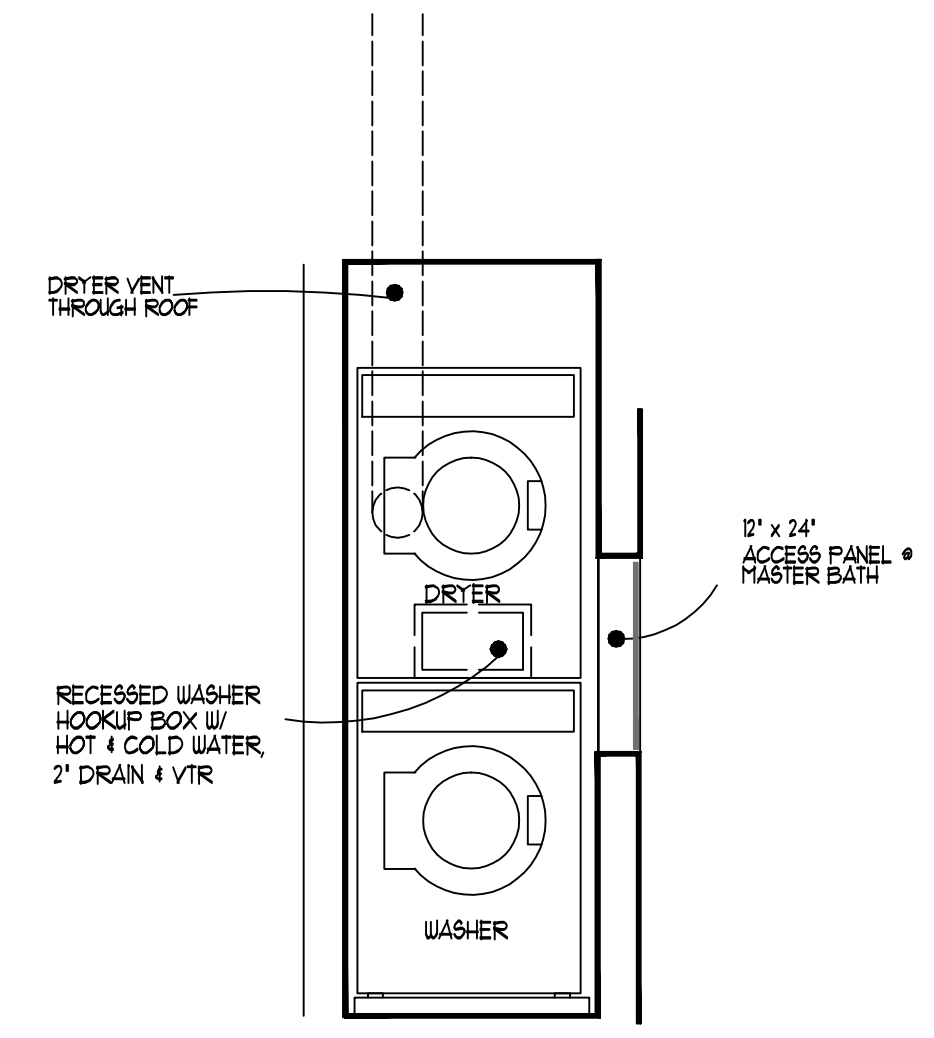


Ⓔ BATH #1 NORTH WALL

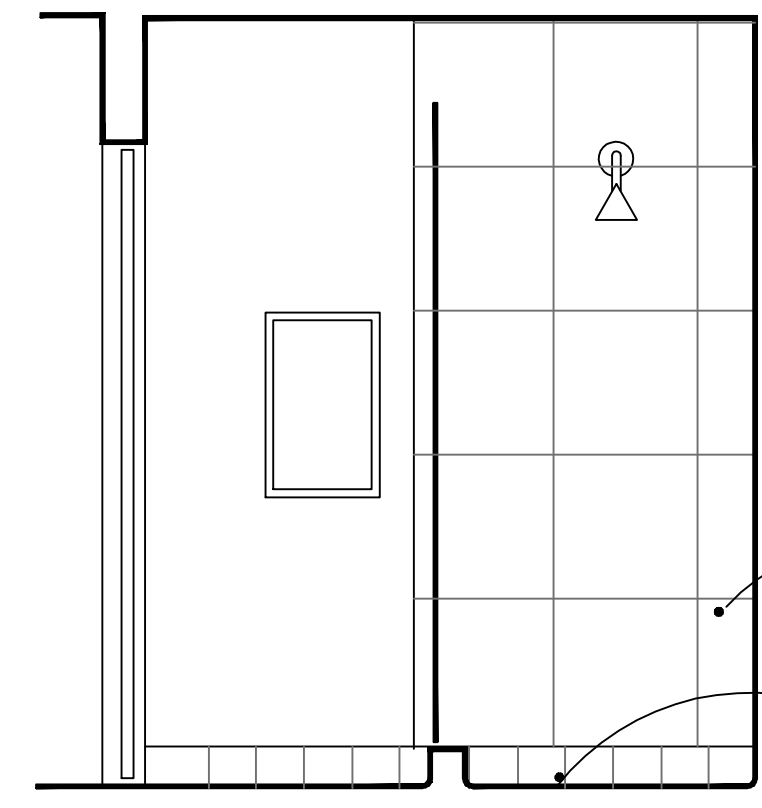


Ⓕ BATH #1 EAST WALL

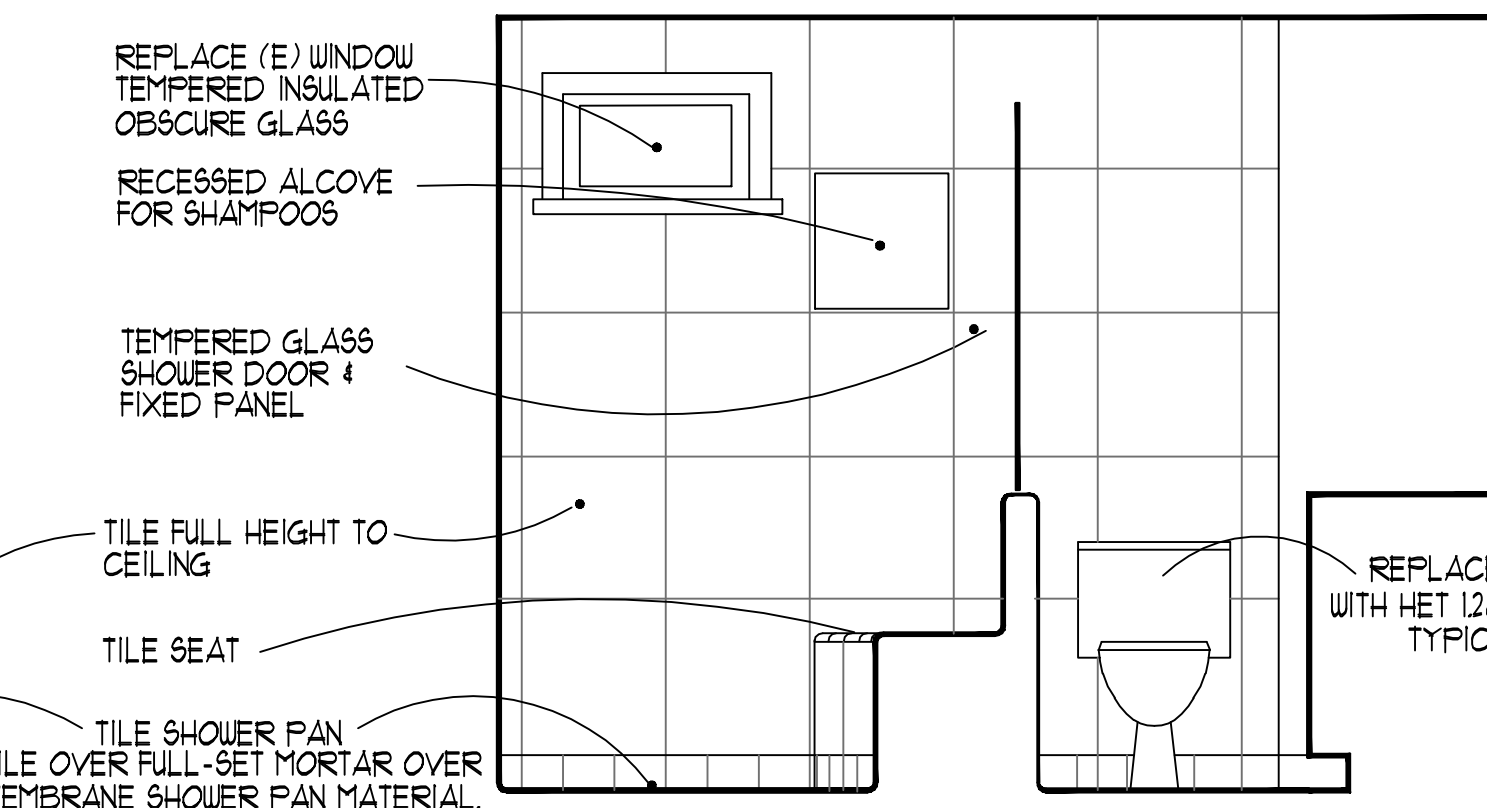
BATH #1 ELEVATIONS



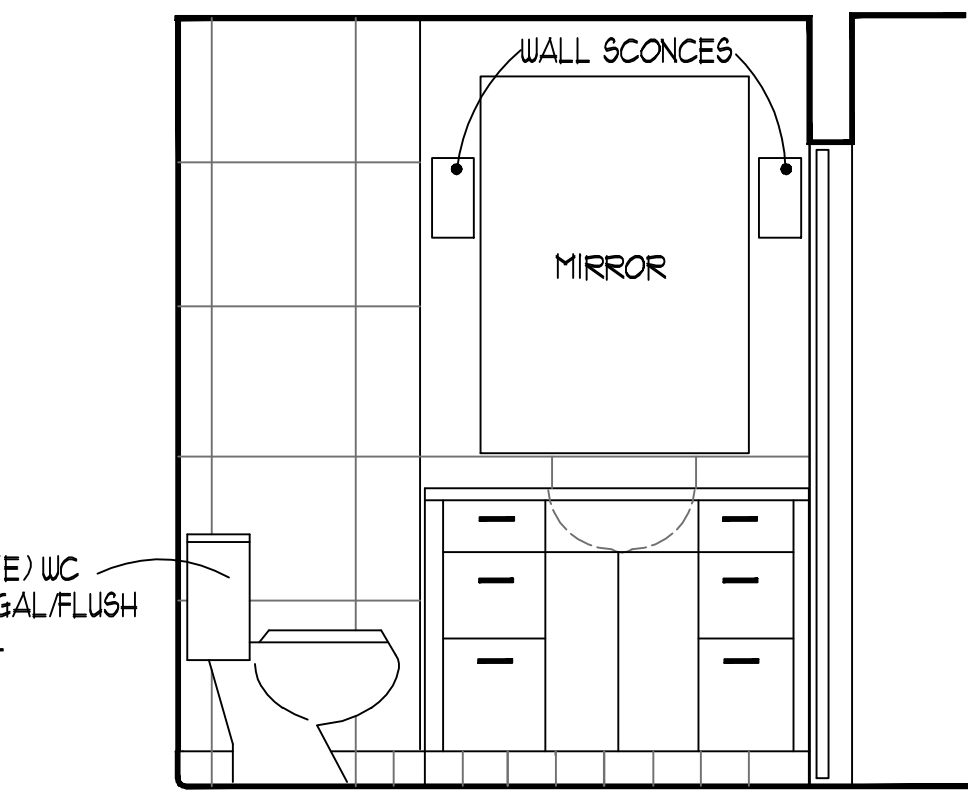
Ⓖ WASHER/DRYER



Ⓖ BATH #2 EAST WALL

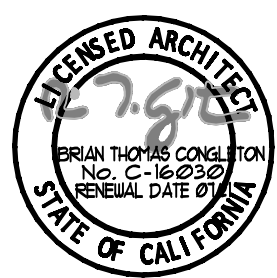


Ⓙ BATH #2 SOUTH WALL



Ⓚ BATH #2 WEST WALL

BATH #2 ELEVATIONS



SPECIFICATIONS

DIVISION I - GENERAL REQUIREMENTS

1.01 Description of Project:

Interior (bath, kitchen) alterations to existing residence.
Exterior alterations - window and door revisions.

1.04 Instructions to Contractor:

Unless otherwise stated, all items herein are instructions to the contractor in his execution of the work. All references refer to the general contractor; the general contractor is responsible for coordination of all subcontractors, trades, and suppliers.

1.05 Licensed and qualified contractor:

These drawings and designs are prepared for use by a properly licensed and certified contractor, having experience in executing projects of this scope and difficulty. By contracting to perform the work, contractor assumes responsibility for performance of the work in accordance with all applicable codes and ordinances, building and construction standards. These drawings are not prepared for use by an owner/contractor, or other unlicensed or unqualified person or entity, and architect holds no liability for said use of the drawings.

1.06 Use of Alternate Materials or Methods:

The use of alternative materials or methods or "equals" is prohibited unless submitted to and approved by the architect in writing prior to execution of the work. Contractor shall be responsible for any modifications required to incorporate said alternate into the work, including additional architect fees incurred to accommodate said incorporation. Where brand specification is not provided herein, contractor shall submit samples and cut sheets to owner and architect for approval prior to work.

1.12 Architect/Engineer review of work & project support:

The architect will make periodic review of work during active periods of construction. The contractor shall notify the architect when work elements are in place but not covered over. Some review points include: concrete placement prior to pour, framing and systems installation prior to wall covering, roof and waterproofing elements, and other elements unique to the project. Architect is also available to assist in interpretation and clarification of the design and drawings, and to resolve conflicts between the design and site conditions. Architect shall be contacted immediately if such conflicts are encountered, allowed to view the work and provide input for appropriate resolution. Obtain said input prior to proceeding with or covering work.

1.12 Existing Hazardous Materials:

These drawings do not include assessment or recommendations regarding possible presence of hazardous materials. The Architect does not have knowledge regarding presence of hazardous materials. If potential exists or required by code, have material tested by certified consultant.

1.09 Project Closeout:

At completion of project:

- Remove waste materials, debris and rubbish.
- Remove grease, dust, dirt, stains, labels, fingerprints and foreign materials from surfaces.
- Repair, patch and touch up marred surfaces.
- Vacuum clean all interior spaces inc. inside cabinets.
- Broom clean paved surfaces, rake clean grounds.
- Assemble and provide for the owner all spare parts and maintenance materials, operation and maintenance manuals.

DIVISION SIX: WOODS

6.03 Finish Carpentry:

Materials and workmanship shall conform to "Custom" grade requirements of the WIC quality standard specification.

- Trim: Clear pine, paint grade. Fingerjoint ok for non-structural elements.
- Hardware: Red oak, apple, ash, or approved equal clear, stain grade.
- Stain: To be determined and approved by owner.
- Cabinets: Selected by owner.
- Countertops Selected by owner.

DIVISION SEVEN: THERMAL AND MOISTURE PROTECTION

7.05 Flashings and Sheet Metal:

Provide flashings and sheet metal necessary to make building weather-tite, whether or not indicated. Perform in accordance with Sheet Metal and Air Conditioning Contractor's Manual, "Architectural Sheet Metal Manual". Materials shall be galvanized steel, zinc coated sheet steel, Class D, ASTM A93, minimum 24-gauge US Standard. Solder for galvanized sheet metal shall conform to ASTM B32, Alloy grade 40A. Flux shall be rosin; use non-corrosive flux where application conditions prohibit use of rosin. Fastenings shall not support galvanic action. Installed sheet metal shall not be distorted, nor fastenings stressed from expansion or contraction. Expansion joints shall be provided where necessary, constructed weather-tite. Exposed edges shall be smooth, free from burrs and cuts. Exposed surfaces shall be painted, color to be selected by architect.

7.06 Caulking and Sealants:

- Guarantee: Sealants shall be guaranteed by the contractor for a minimum of two years.
- Materials:
 - General Exterior Caulking: One-part acrylic terpolymer (or approved equal) as manufactured by Tremco.
 - General Interior Caulking: One-part acrylic caulking, "Sashco" water-release type, or approved equal.
 - Back-Up Material: Untanned oakum, fiberglass, polyurethane or polyethylene foam. No oily or asphaltic type materials may be used.
 - Colors: Shall be approved by architect.
- Application: Surfaces must be clean, dry and free of corrosion, scale, rust, oil, wax, paint and other contaminants before primer is applied. Where necessary, pack joint with back-up material for desired sealant depth. Depth shall not be greater than the width and not less than 1/4" wide. Work that is exposed to view shall have a uniform surface with neat, straight edges and no excess material on adjacent surface.

DIVISION EIGHT: DOORS, WINDOWS AND GLASS

8.02 Wood stile and panel doors: Shall be manufactured door units, by T.M.Cobb or equal. Units shall be prehung assembly, with douglas fir, alder or pine stile-and-rail frames and inset panels. Door & frames shall be stain or paint grade, selected by the owner from standard T.M.Cobb patterns.

8.04 Hardware:

- Hinges: As manufactured by Stanley, Hager, Johnson or approved equal. Minimum of 1-1/2" pair of 4-1/2" butts per leaf. Exterior hinges shall have non-removable pin.
 - Locks: As manufactured by Schlage or approved equal. Cylinders shall be 6-pin type, keyed according to owner requirements. Use Schlage D series or better lock sets. Keying shall be by Schlage Lock Company or a locksmith approved by the owner. Backsets shall be 2-3/4" unless otherwise noted.
 - Finish: Shall be selected by owner/architect based on contractor submittal.
- 8.07 Wood Windows: Manufactured by Marvin, Sierra-Pacific, or equal approved by owner and architect. Windows shall be aluminum clad stain or paint grade wood. See door & window schedule. Provide submittals & measure openings prior to ordering.

DIVISION NINE: FINISHES

9.02 Gypsum Wall Board: Shall be sheetrock, gypsum panels of the thickness indicated on the drawings or required by code. Gypsum board shall be taped and finished with a smooth finish. Joint treatment products, perforated tape and joint compound shall be applied in accordance with manufacturer's instructions. Install wonderboard wherever ceramic tile is to be applied. Radius (bullnose) gypsum board corners.

9.04 Painting: All exposed surfaces not factory finished, shall receive paint or stain as follows:

- Exterior Walls: Primer plus two coats latex house paint.
- Exterior Trim: Primer plus two coats exterior latex semigloss.
- Interior Walls and Ceilings: Two coats latex flat.
- Interior Trim: Primer plus two coats latex semigloss.
- Bathroom Walls, Ceilings, Trim: Two coats latex semigloss.
- G.I. sheetmetal flashings, gutters, downspouts, etc.: Metal primer plus two coats latex semigloss.
- Colors: Selected by owner.

DIVISION FIFTEEN - MECHANICAL

15.01 Plumbing:

- Interior water piping: Copper tube, type L, wrought-copper fittings, soldered joints, 3/4" main lines, 1/2" fixture branch lines. Install hot water loop. Solder: Max. 2% lead (meet UPC requirement).
- Interior water piping (Contractor option): Pex supply water system. Install per mfg. recommendations.
- Above-ground soil waste & vent piping: Cast-iron or ABS plastic. Wrap ABS with sound insulation.
- Gas supply piping: Black iron.
- Plumbing fixtures shall meet the following water conservation requirements:
 - Toilets: 0.8 gallons per flush; showers: 18 gallon per minute flow; faucets: 1.5 gpm flow.
- Trim shall be as manufactured by Delta, Moen, Kohler or approved equal. See allowances.
- Fixtures selected by owner.

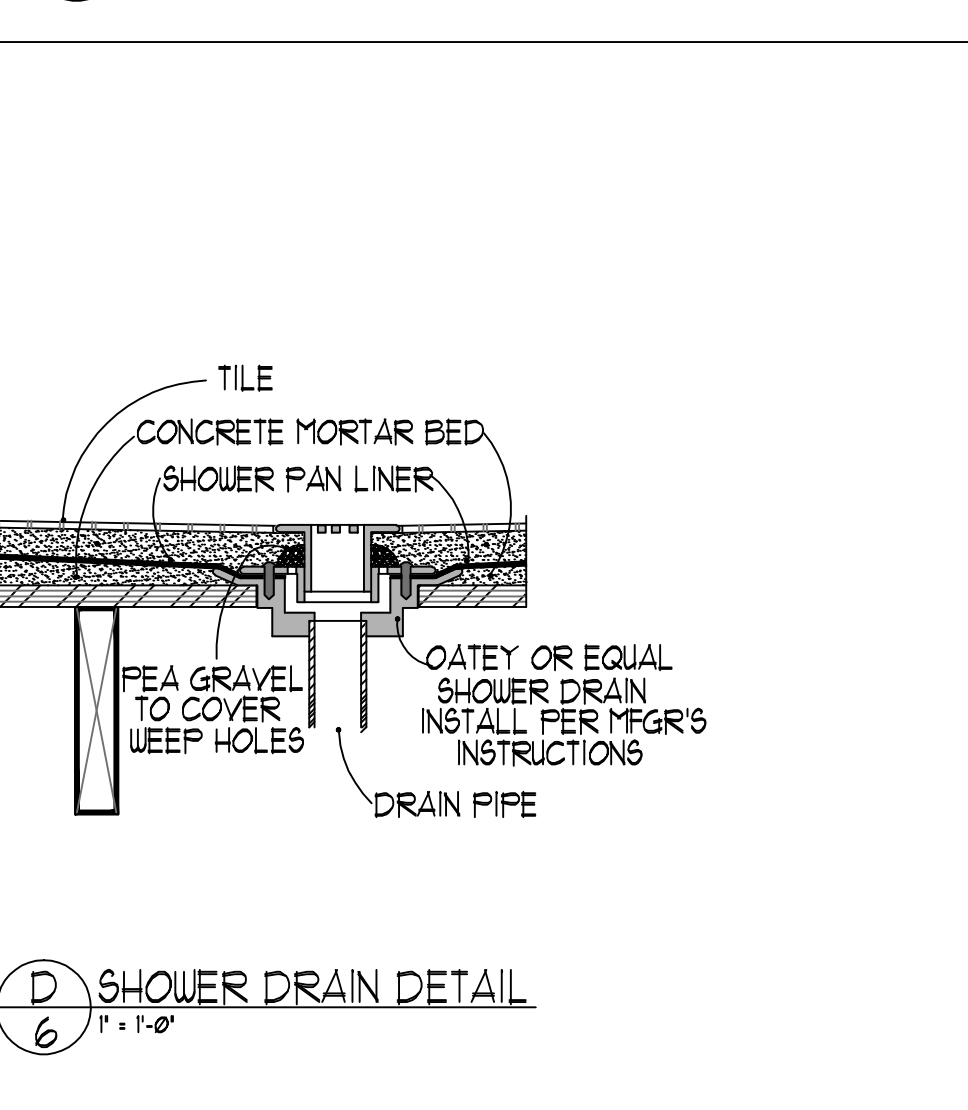
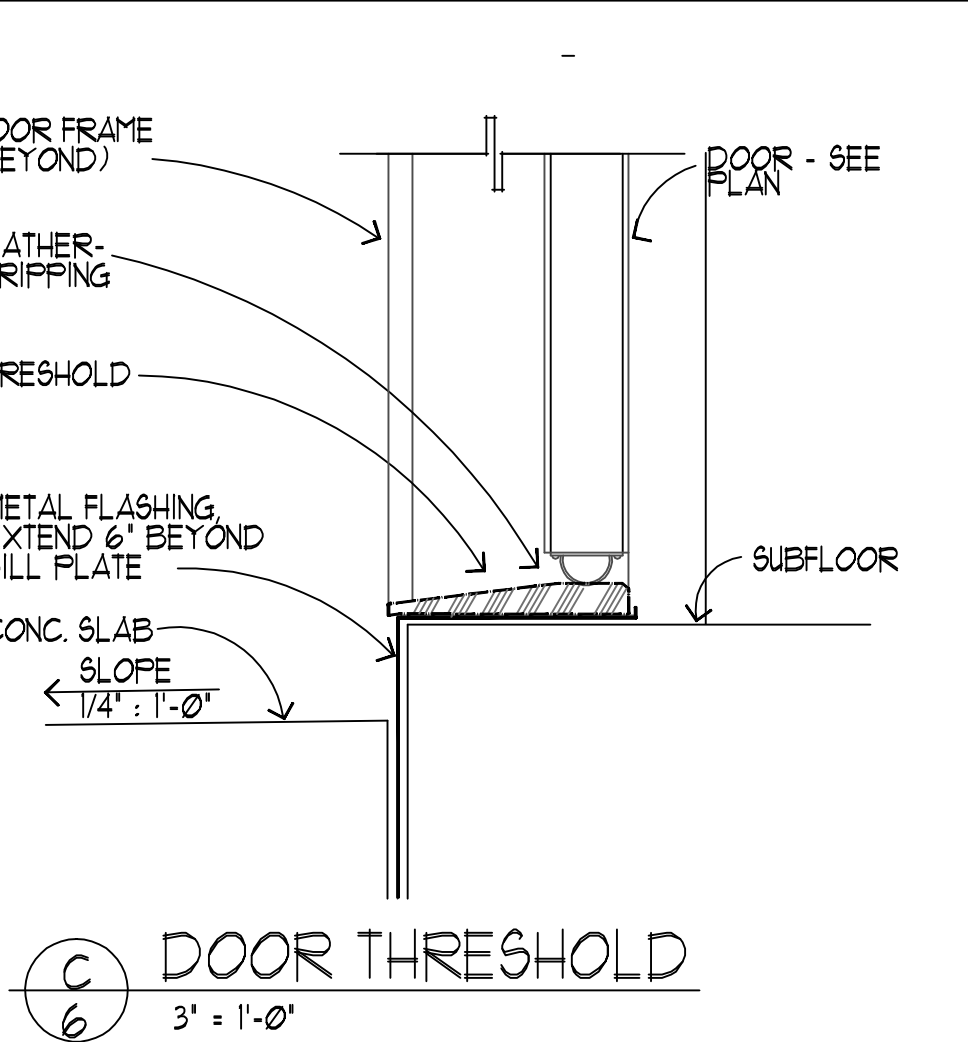
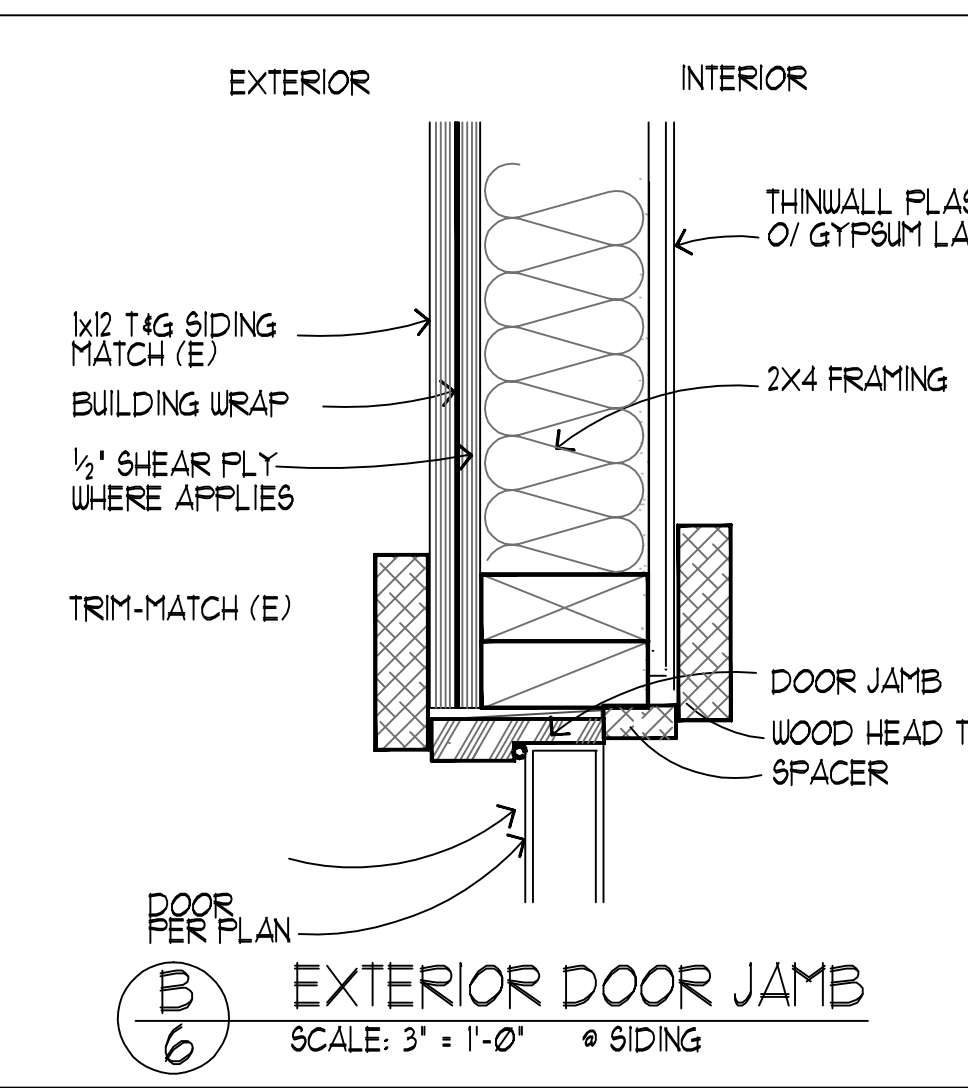
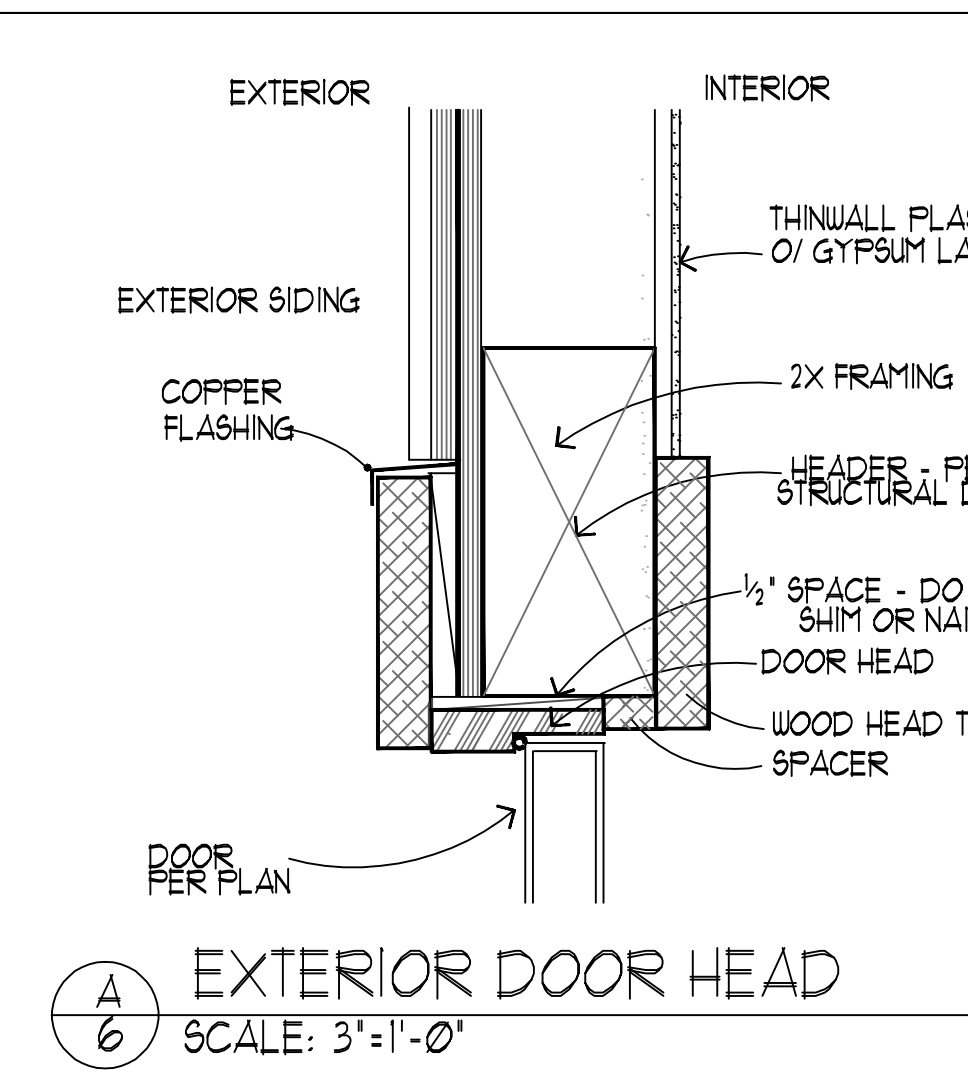
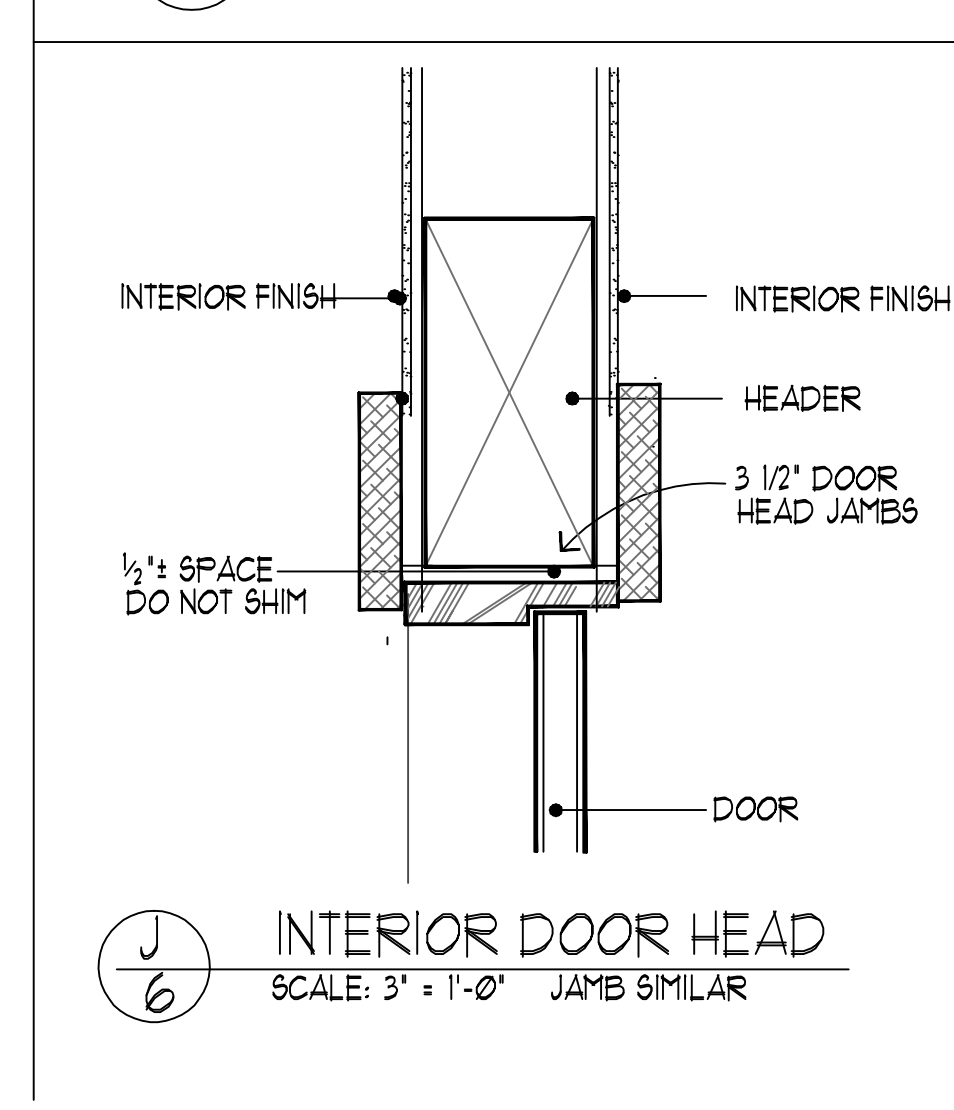
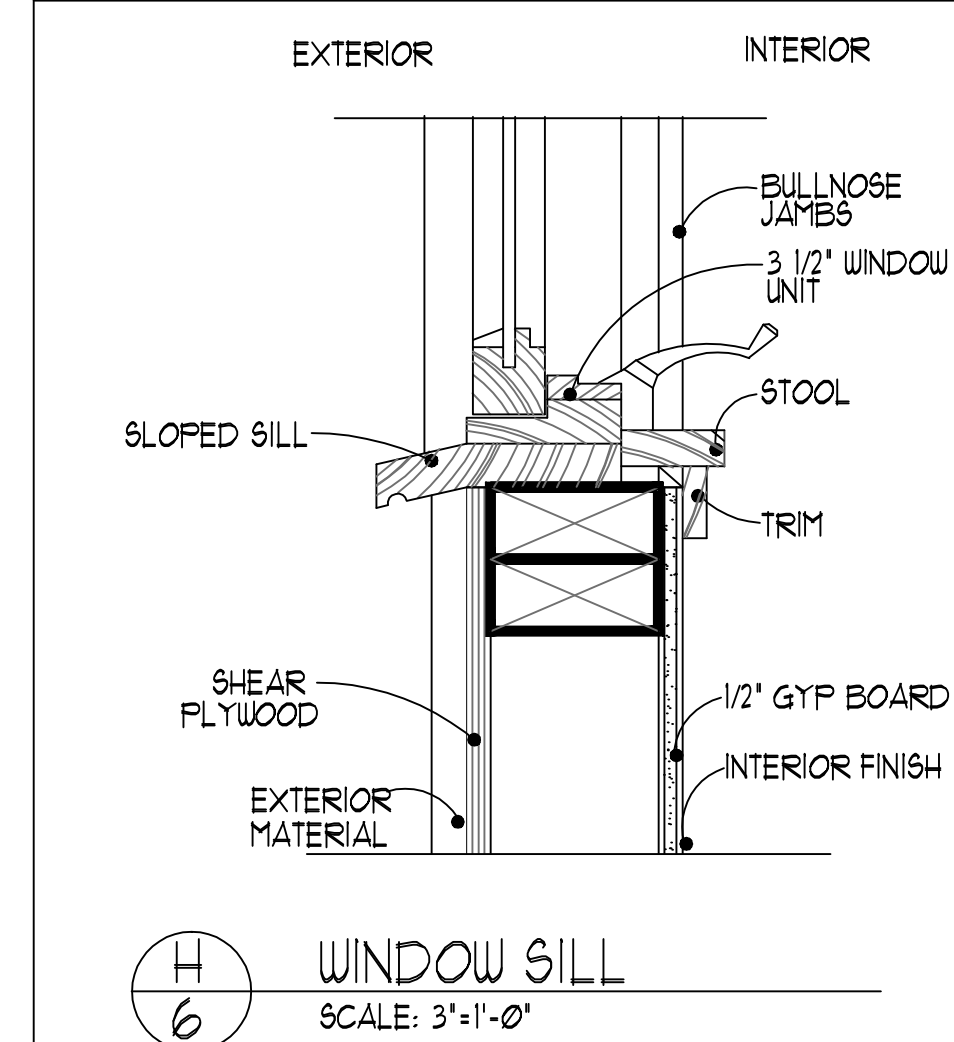
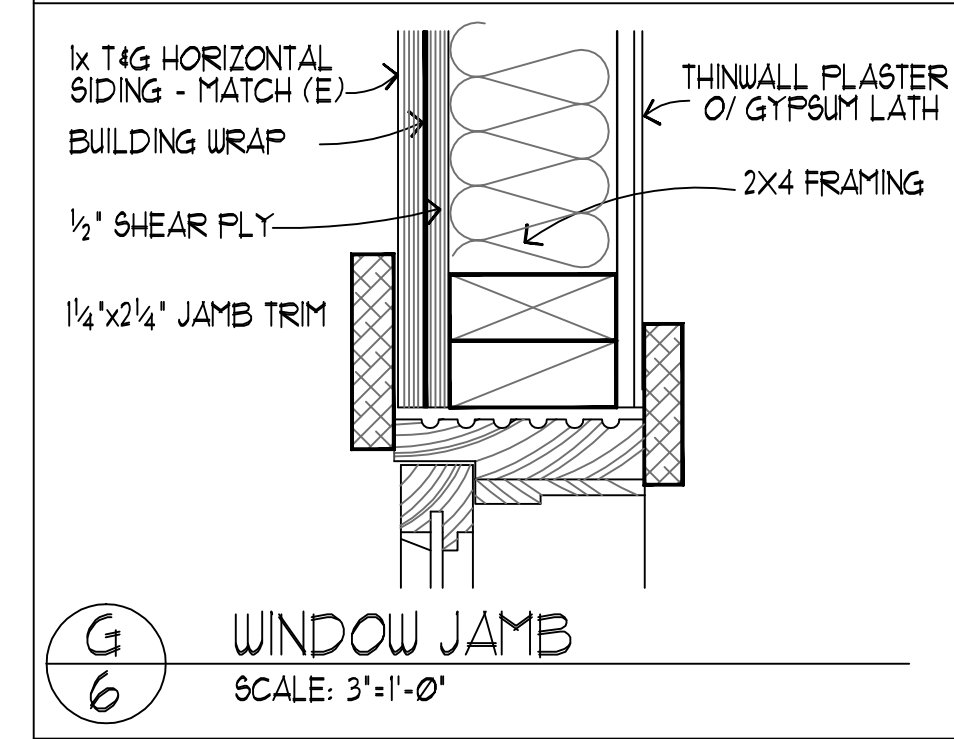
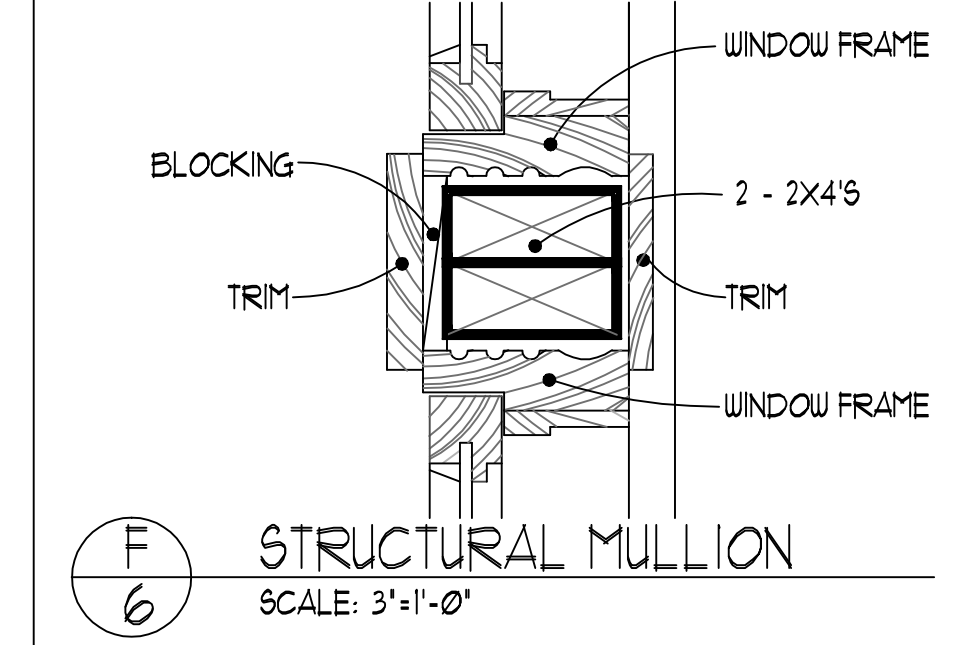
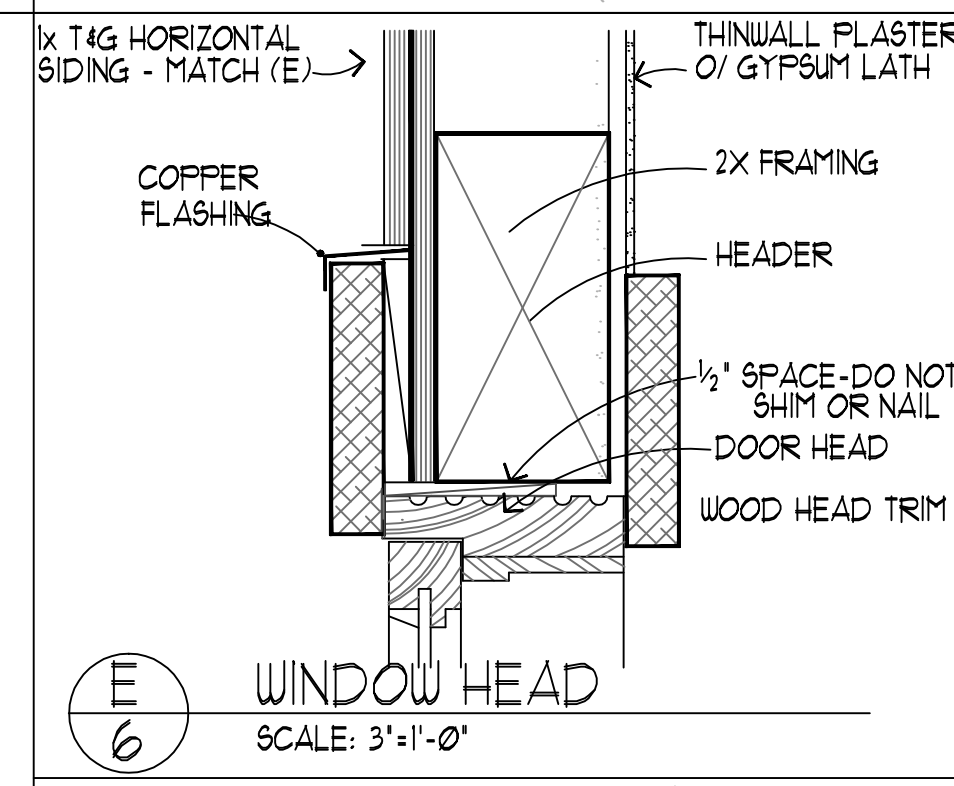
15.02 Heating & Ventilating:

- Exhaust Fans: Location as shown on plans, as manufactured by Moen, Penn-Zephr or approved equal. Provide submittal.
- Steam shower: Electric steam generator, Steamist 'Elite Steam ELS-7 steam generator, 240V, 7.5 KW

DIVISION SIXTEEN: ELECTRICAL

16.01 Electrical Service and Branch Wiring:

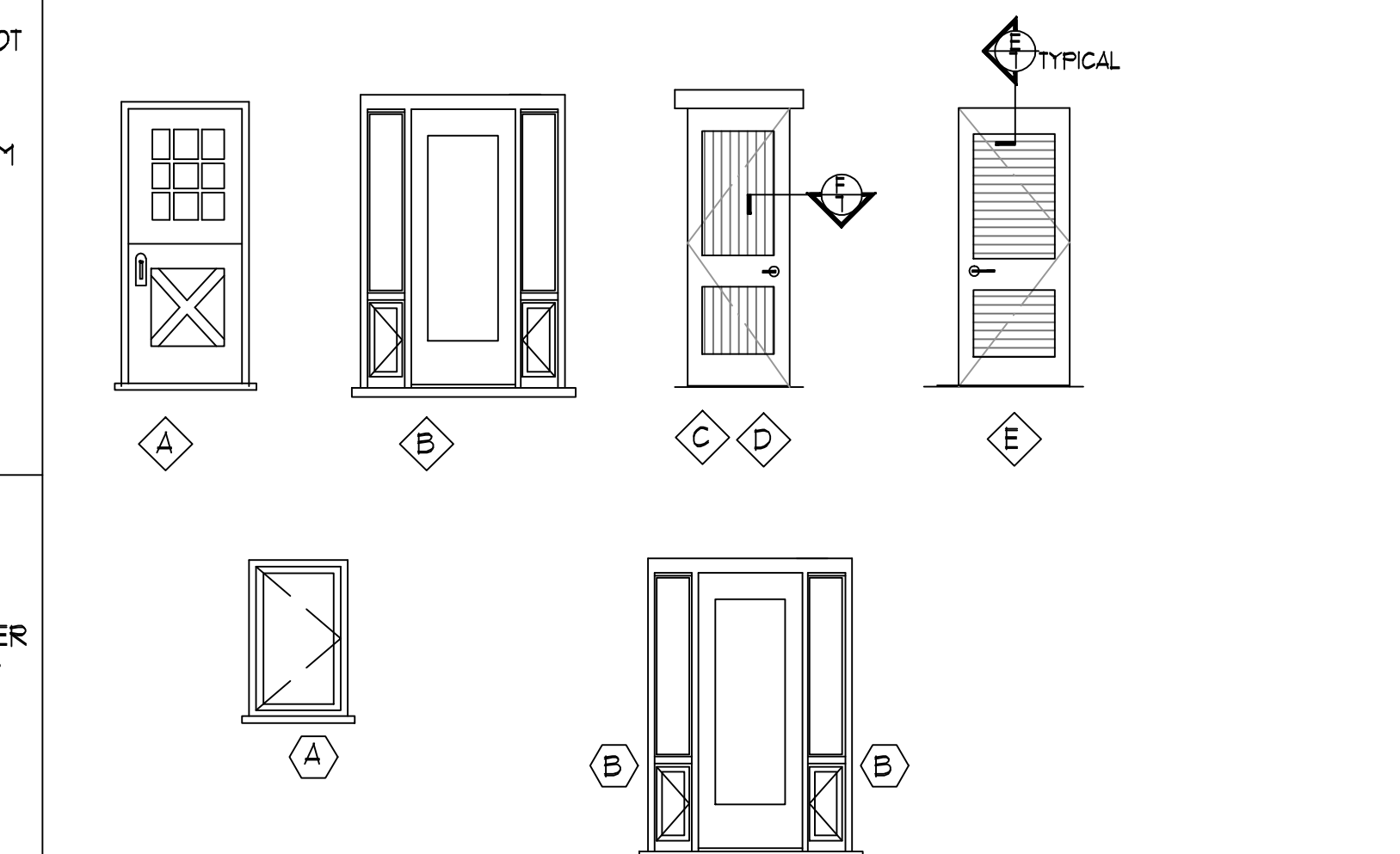
Light, outlet, and switch locations are shown in these drawings. Locations are schematic, and provide a guide for permit review and construction layout. Verify locations of all elements with owner in open frame building prior to commencement of installation. Final location of elements shall be made by owner and contractor, but must be code-compliant.



DOOR TYPES

NOTE: DO NOT ORDER FROM THIS SCHEDULE ALONE.
REVIEW PLAN & FIELD CONDITIONS FOR DOOR LOCATIONS AND SIZES

TYPE	LOCATION	WIDTH	HEIGHT	TYPE	MATL	HARDWARE	REMARKS
A	HALLWAY TO NORTH PATIO	2'-6"	6'-8"	DUTCH DIVIDED LIGHT	CLAD WD	L5,DB,1	TEMPERED GLASS
B	BEDROOM #1 TO EAST PATIO	2'-6"	6'-8"	FULL LIGHT W/ FIXED/C&MT SIDELIGHT	CLAD WD	L5,DB,1	TEMPERED GLASS
C	INTERIOR - BDRMS BATHRMS, CLOSETS	2'-6"	6'-8"	WOOD PANEL	WD	FS	PRV # BATH 2
D	TOILET ROOM	2'-0"	6'-8"	WOOD PANEL	WD	PRV	
E	LAUNDRY	2'-8"	6'-8"	WOOD LOUVERED	WD	FS	



WINDOW TYPES

WDO UNIT TYPE	UNIT WIDTH	UNIT HEIGHT	MATERIAL	TYPE	FLOOR TO SILL	FLOOR TO HEAD	REMARKS
A	2'-6" x	3'-0"	CLAD WOOD		3'-8"	6'-8"	CLAD COLOR: WHITE TEMPERED GLASS
B	1'-10" x	6'-6"	CLAD WOOD	FIXED/CASEMENT SIDELIGHT DOOR	0'-2"	6'-8"	CLAD COLOR: WHITE TEMPERED GLASS

LEGEND

T	THRESHOLD
DB	DEADBOLT
L5	LOCKSET
FS	PASSAGE SET
PRV	PRIVACY SET
TEMP.	TEMPERED
INSUL.	INSULATED
FR	PAIR

DOOR/WINDOW NOTES

- FIELD VERIFY ALL OPNG. SIZES PRIOR TO WINDOW FABRICATION. OPNGS MAY VARY PARTICULARLY WHERE MULTIPLE UNITS FORM A "WINDOW WALL".
- NEW WINDOW UNITS SHALL BE CLAD WOOD SIERRA PACIFIC
- ALL WINDOW TRIM, DOORS & TRIM SHALL BE PAINTED WOOD.
- MULLIONS ON WINDOWS & DOORS SHALL BE TRUE DIVIDED LIGHT.
- WINDOWS NOT LABELLED ON ELEVATIONS ARE EXISTING WINDOWS.
- PROVIDE SCREENS W/ ALL OPERABLE WINDOWS.
- INSTALL HEAD & SILL FLASHING @ ALL WINDOWS & DOORS.
- INSULATED GLASS ALL NEW WDOCS.
- TEMPERED GLASS WHERE REQUIRED BY CODE, WHETHER OR NOT INDICATED ON PLANS.

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DRAWN BY: B.T.C.
DATE: 10-26-20
REVISED:

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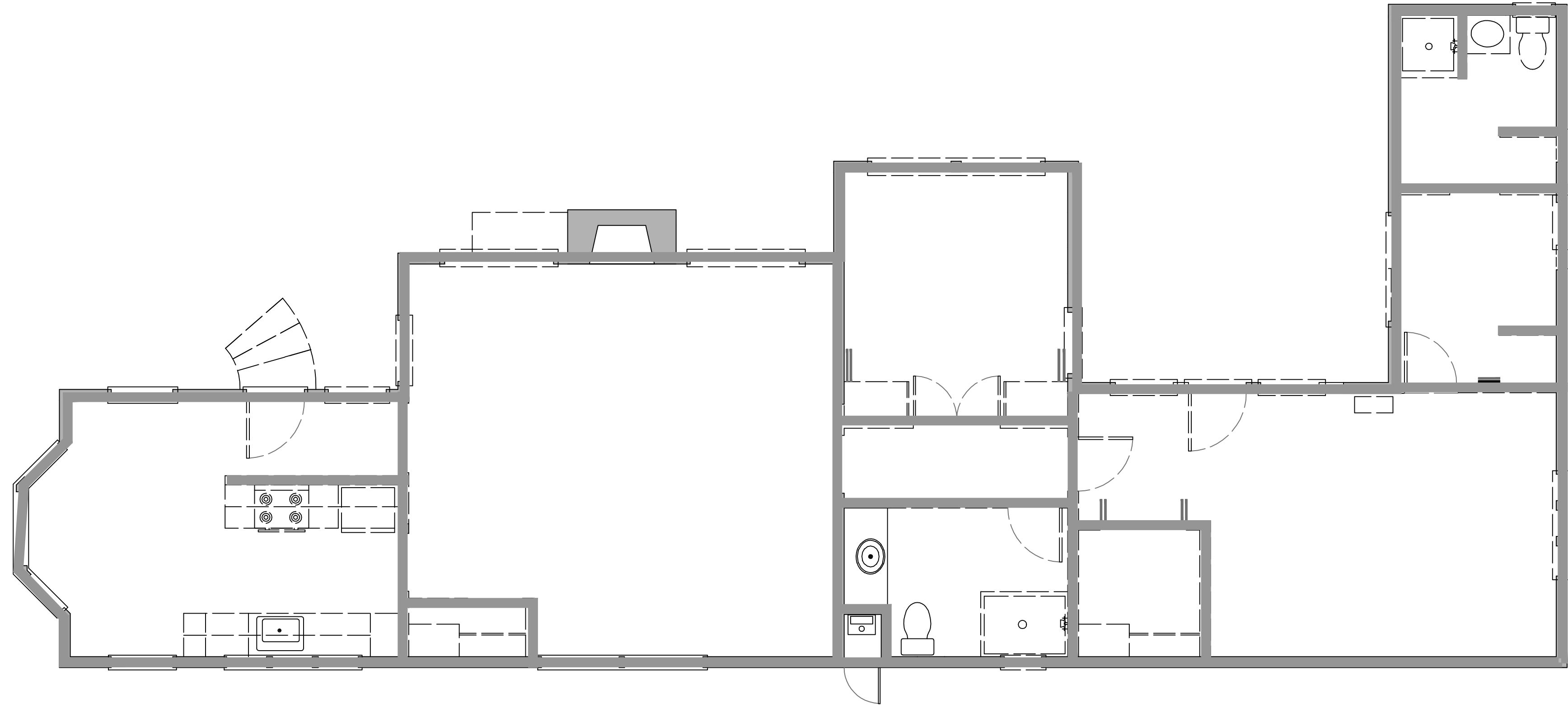
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SHEET NUMBER
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DOOR & WINDOW SCHEDULES DOOR & WINDOW DETAILS SPECIFICATIONS

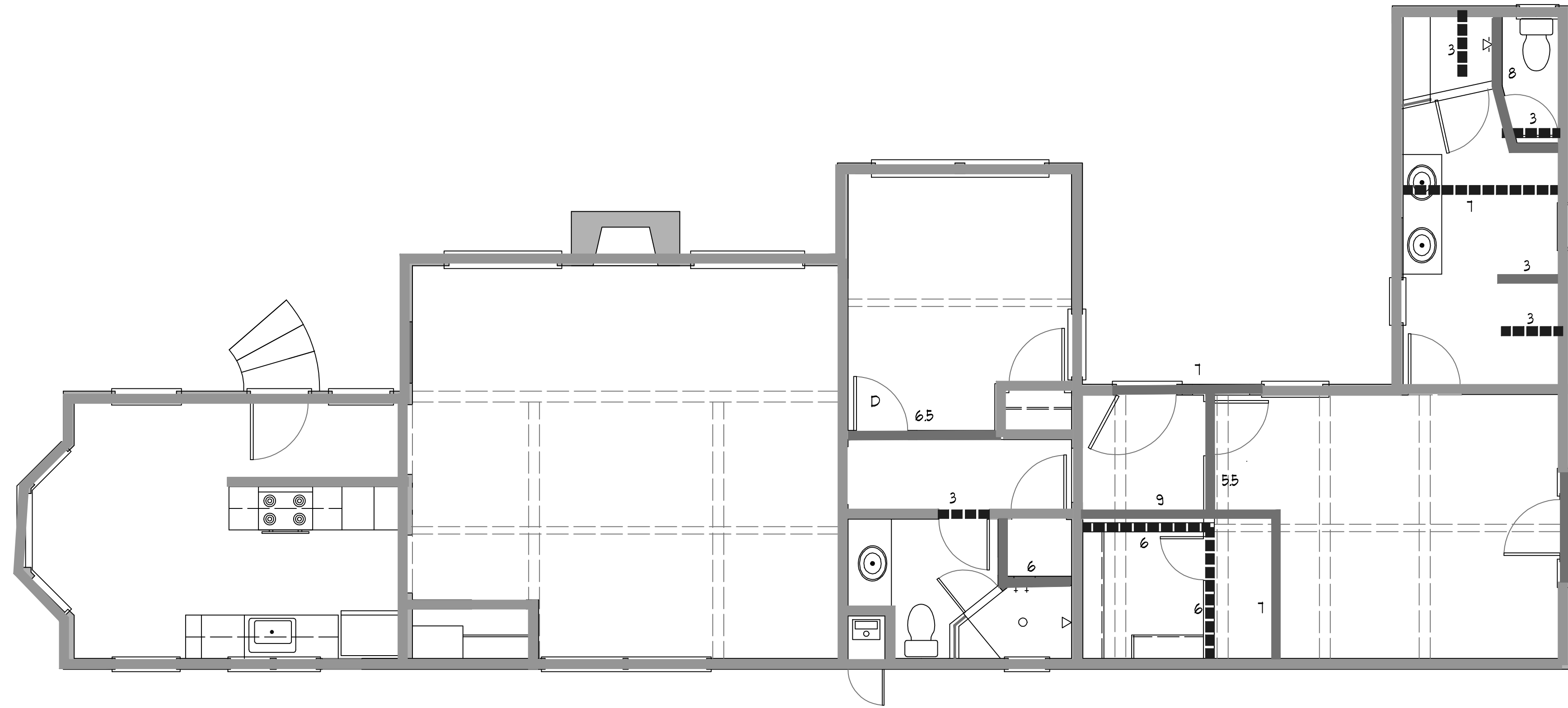


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DRAWN BTC
DATE 10-26-20
REVISED



TOTAL LENGTH OF EXISTING WALLS: 345.5 LINEAR FEET



- A. TOTAL LENGTH OF EXISTING WALLS: 345.5 LINEAR FEET
- B. TOTAL LENGTH OF REMOVED WALLS: 28.0 LINEAR FEET
- C. TOTAL LENGTH OF MODIFIED/ADDED WALLS: 63.5 LINEAR FEET
- D. TOTAL LENGTH OF B + C: 92.5 LINEAR FEET
- E. LENGTH D DIVIDED BY LENGTH A: $92.5/345.5 = 26.7\%$ LESS THAN 50%
SPRINKLERS NOT REQUIRED

SPRINKLER CALCULATIONS
SPRINKLERS NOT REQUIRED



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