



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 20265

Owner Name: LONERGAN SCOTT G & ROBBIN E TRS

Case Planner: Evan Kort, Associate Planner

Date Posted: _____

Date Approved: 01/06/2021

Project Location: NE Corner of Dolores & 12th, Carmel CA 93921

APN #: 010154005000 **BLOCK/LOT:** 131/ALL LOT 14

Applicant: Scott Lonergan

Project Description: This approval of Design Study (DS 20-265) authorizes repairs to existing double garage doors are suffering from wood rot and wood deterioration. The project shall be in substantial compliance with the plans received by Community Planning & Building on December 22, 2020, unless modified by the conditions of approval.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

FINDINGS FOR DESIGN STUDY APPROVAL OF HISTORIC RESOURCES

DS 20-265 (Loneragan)

NEC Dolores & 12th

Block/Lot: 131/14

APN: 010-154-005

Date of Action: January 6, 2021

PROJECT DESCRIPTION

Design Study (DS 20-265) Application for exterior repairs to a historic garage located at the NEC of Dolores & 12th in the Single Family Residential (R-1) Zoning District.

FINDINGS OF FACT:

1. The project site is located at the NEC of Dolores and 5th in the Single Family Residential (R-1) Zoning District. The lot is currently developed with a historic residence.
2. On September 29, 2020 a Design Study application was submitted for repairs and alterations to the historic garage.
3. Pursuant to CMC 17.10.010 (Purpose), the purpose of the Single Family Residential (R-1) Zoning District is to establish standards and requirements for physical development in the R-1 single-family residential district.
4. Pursuant to CMC 17.32.150, the project qualifies as a minor alteration to a historic resource. For minor alterations to historic resources, Staff shall issue a determination of consistency for minor alterations that comply with the Secretary's Standards. A qualified professional was retained to assist in the preparation of the Determination of Consistency consistent with CMC 17.32.140.A.
5. A Design Study Application is required to ensure consistency with the Secretary of the Interior's Standards for Rehabilitation and for preparation of the associated determination of consistency.
6. The Phase II Evaluation, prepared by Seth Bergstein dated December 14, 2020, found the portions of the project to be consistent with the Secretary's Standards subject to the attached Conditions of Approval; the project has been conditioned so only the consistent portions of the project are authorized under this approval.
7. The project qualifies for a Class 31 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to 15331 (Historical resource restoration/rehabilitation) of the State CEQA Guidelines. Class 31 exemptions consists of projects limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation, or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitation, Restoring, and Reconstructing Historic Buildings. The project consist of an in-kind re-roof; as conditioned the project is consistent with the Secretary of the Interior's Standards for Rehabilitation.

CONDITIONS OF APPROVAL

1. **Authorization:** This approval of Design Review (DS 20-265) authorizes repairs to existing double garage doors are suffering from wood rot and wood deterioration. The project shall be in substantial compliance with the plans received by Community Planning & Building on December 22, 2020, unless modified by the conditions of approval contained herein.
2. **Codes and Ordinances.** The project shall be carried out in conformance with all requirements of the Single Family Residential Zoning District. All adopted design guidelines and applicable Municipal Code regulations shall be adhered to in carrying out the project, including those relating to Historic Preservation. Any changes to the project or any additional modifications to the building are subject to review and approval by the Community Planning & Building Department.
3. **Permit Validity.** This approval shall be valid for a period of 12 months from the date of action.
4. **Building Permit.** The approval of a building permit application issued by the Building Department shall be obtained prior to commencing work.
5. **Printed Conditions.** These conditions of approval shall be printed in the building plan set.
6. **Appeal Period.** Design Review application and associated Determination of Consistency is subject to the 10-calendar day appeal period. Should the Design Review Approval or Determination of Consistency be appealed by the Historic Resources Board or any member of the public within the 10-day appeal period, this approval shall be withheld until it has been determined the project is consistent with the Secretary of the Interior's Standards.
7. **Determination of Consistency.** The project shall be consistent with the guidance direction outlined in the Determination of Consistency prepared by Seth Bergstein of Past Consultants dated December 14, 2020. The proposed modifications found to be not consistent with the Secretary of the Interior's Standards, as outlined in the subject Determination of Consistency, are not authorized under this approval.
8. **Garage Door Repair/Replacement.** Replacement of the existing garage doors should match the original design as closely as possible.
9. **Tree Protection A.** You are required to install tree protection, which will need to be reviewed and certified by the City Forester, prior to the issuance of the Building Permit.
10. **Tree Protection B.** During construction, no dirt or construction materials may be placed within 6 feet of the base of any tree.
11. **Tree Roots.** If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may be reached at (831) 620-2073.

12. **Water Supply.** Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be voided.

13. **Modifications.** The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.

14. **Indemnification.** The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

***Acknowledgement and acceptance of conditions of approval.**

_____	_____	_____
Property Owner Signature	Printed Name	Date

Once signed, please return to the Community Planning and Building Department.

P A S T
CONSULTANTS LLC

Seth A. Bergstein
415.515.6224
seth@pastconsultants.com

December 14, 2020

Evan Kort, Assistant Planner
City of Carmel-by-the-Sea
PO Box CC
Carmel, CA 93921

Re: Historic Assessment, NE Corner of Dolores St. and 12th Ave., Carmel, CA
APN 010-154-005; DS 20-265 (Lonergan)

Dear Mr. Kort:

This letter evaluates the proposed alterations to the property located at the NE Corner of Dolores Street and 12th Avenue, in Carmel, CA. PAST Consultants, LLC (PAST) completed a site visit to the property on December 3, 2020 to view the property's existing conditions and to evaluate project drawings for proposed alterations to the garage on the subject property.

The subject property (Block 131, Lot 14) contains the Lloyd C. Miller Cottage, a single-story, Vernacular Cottage-style building and detached garage, both constructed in 1930. The building was designed and constructed by noted Carmel builder Frederick Bigland and is listed on the Carmel Historic Resources Inventory. In addition, the current owners applied for and received a Mills Act contract with the city of Carmel-by-the-Sea in 2016. Because of the property's historic significance and Mills Act contract, all proposed exterior changes to the property must conform to the *Secretary of the Interior's Standards for the Treatment of Historic Properties* (the *Standards*). In this case, the appropriate treatment approach is Rehabilitation.

This historic assessment report analyzes proposed changes to the detached garage only. The proposed changes include replacing the garage's west-elevation window with a pair of metal French doors. In addition, the present double garage doors are suffering from wood rot and wood deterioration and require replacement. Two alternatives for door replacement are offered in the DS 20-265 design package, which will be reviewed as part of this historic assessment. This historic assessment report evaluates the proposed garage alterations only, as presented in the DS 20-265 design package dated November 19, 2020.

The following Historic Assessment Report provides a methodology, a summary history of the property, a project description and an evaluation of the proposed alterations for conformance with the *Secretary of the Interior's Standards for Rehabilitation*.

P.O. Box 721
Pacific Grove, CA 93950
www.pastconsultants.com

Project Methodology

PAST reviewed the State of California, Department of Parks and Recreation (DPR) forms for the subject property prepared by Kent L. Seavey, architectural historian, on June 14, 2014 and all relevant project drawings submitted by the architect. In addition, PAST attended a site visit to the subject property on December 3, 2020 to view the property and assess the level of wood deterioration in the existing garage doors.

Summary Property History

Lloyd C. Miller, a local fuel station owner, commissioned noteworthy Carmel builder, Frederick Bigland, to design a home in a tasteful and simplistic style. The subject house and garage are constructed in a woodsy Vernacular Cottage style that displayed the Craftsman design aesthetic that remained in Carmel into the 1930s.

These character-defining features include roofs with overhanging eaves and exposed rafter tails, steel casement windows and shingle exterior wall cladding rendered in a staggered butt pattern. The detached garage, built at the same time as the house, is constructed of the same vernacular materials and is finished with an exterior wood-shingle pattern that matches the house. The 2014 DPR523 forms by Kent L. Seavey conclude that the subject property is eligible under California Register Criterion 3, in the area of architecture. The document notes:

Its listing in the Carmel Historic Resource Inventory will fill a gap in Mr. Bigland's known works. Perhaps more importantly the property can be seen, as noted in Carmel's Historic Context Statement, as a visual reminder of the communities (sic) earlier taste for the kind of simplicity, articulated by the use of local building materials, that continues to transcend the divisions of time and architectural fashions. The Lloyd C. Miller cottage retains its historical significance and sufficient physical integrity as the only known example of vernacular residential design by noted Carmel contractor/builder Frederick Bigland. It qualifies for listing in the Carmel Historic Resource Inventory, at the local level of significance, under the theme of Architectural Development in Carmel (1888-1965), as established in the 2008 Historical (sic) Context Statement for Carmel-by-the-Sea.¹

¹ Seavey, Kent L. *Lloyd C. Miller Cottage* (DPR523 Forms), 6/14/2014.

Project Description

The garage is located southeast of the house and faces 12th Avenue. It is constructed to match the house and has a hipped roof with replaced roofing material, overhanging eaves with exposed and shaped rafter tails, and a staggered-butt shingle pattern that matches the house. The shingle wall cladding was replaced and matched to the original design by the current owners in 2009. The vertical-plank Redwood doors facing 12th Avenue appear to be original (**Figures 1 and 2**).



Figures 1 and 2. Left image shows the garage’s south elevation and the existing vertical-plank Redwood doors. Right image shows the garage’s west elevation, with fixed-sash window.

Field Inspection Observations

Inspection of the Redwood doors revealed significant deterioration of the bottom boards near the ground and wood rot and deterioration expanding outward from various seams between the individual Redwood boards.

Evaluation of Proposed Alterations

The Secretary of the Interior’s Standards

The *Secretary of the Interior’s Standards for the Treatment of Historic Properties (Standards)* provides the framework for evaluating the impacts of additions and alterations to historic buildings. The *Standards* describe four treatment approaches: preservation, rehabilitation, restoration and reconstruction. The *Standards* require that the treatment approach be determined first, as a different set of standards apply to each approach. For the proposed project, the treatment approach is rehabilitation. The *Standards* describe rehabilitation as:

In *Rehabilitation*, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation; however, an assumption is made prior to work that existing historic fabric has become damaged or deteriorated over time and,

as a result, more repair and replacement will be required. Thus, latitude is given in the Standards for Rehabilitation and Guidelines for Rehabilitation to replace extensively deteriorated, damaged, or missing features using either traditional or substitute materials. Of the four treatments, only Rehabilitation includes an opportunity to make possible an efficient contemporary use through alterations and additions.²

The ten *Standards* for rehabilitation are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

² *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (accessed via <http://www.nps.gov/hps/tps/standguide/>).

Evaluation of Proposed Alterations



Figure 3. View of north and west elevations of garage.

The *Rehabilitation Standards* applicable for this project are *Standards 2, 5 and 6 and 9*. The following lists these *Standards* in italics, with an evaluation given below each *Standard*.

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The proposed French doors impact the garage's west elevation by removing the fixed window and a considerable portion of the distinctive historic wall materials. Given that there is access into the garage via the north elevation doorway, the proposed French doors are not required as a secondary entrance to the garage, are out of character with the garage's original design and are not recommended.

- 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The garage's west elevation contains distinctive character defining features of the garage, including the wood shingling and the fixed window. Removal of these features for installation of the French doors is not recommended.

- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

Inspection of the existing double garage doors on the south elevation revealed that they are deteriorated considerably. Replacement of the existing garage doors should match the original design as closely as possible. Alternative 2 of the design documents is recommended for replacement of the existing garage doors.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

The proposed metal French doors are not compatible with the historic materials of the garage. The proposed French doors are large, occupy a considerable portion of the garage's west elevation and appear to be out of scale with the garage. The proposed French doors do not satisfy this *Standard*.

Conclusion

Based on the *Secretary of the Interior's Standards for Rehabilitation*, the installation of the proposed French doors on the subject garage's west elevation is not recommended. Alternative 2 for replacement of the deteriorated vehicle doors on the south elevation is recommended.

Please contact me if you have any questions about this evaluation.

Sincerely,



Seth A. Bergstein, Principal

22-Dec-2020 Resubmission for:

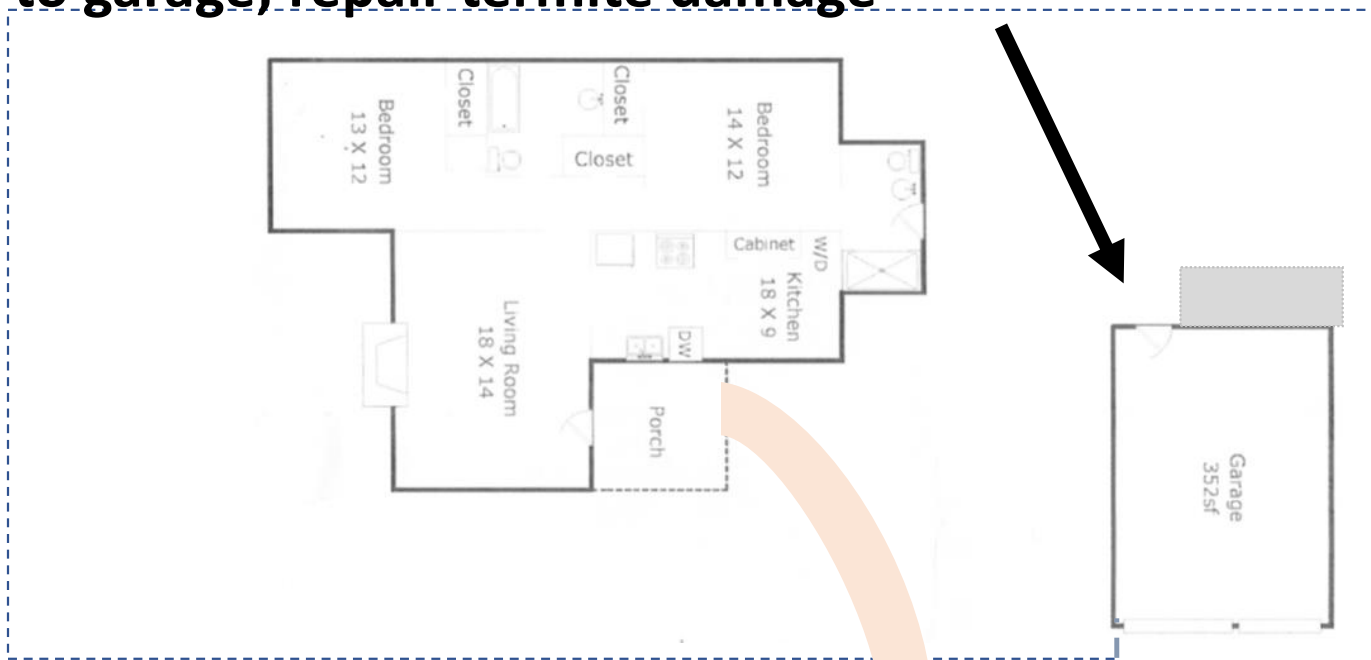
Design Study Application DS 20-265 (Loneragan)

NEC Dolores & 12th

Block 131; Lot: 14 APN: 010-154-005

Replace main garage door; move washer & dryer from house to garage; repair termite damage

Dolores Street



12th Avenue

Replace Main Garage Doors



Existing doors are a patchwork of repairs, and are rotted across bottom



Wood rot

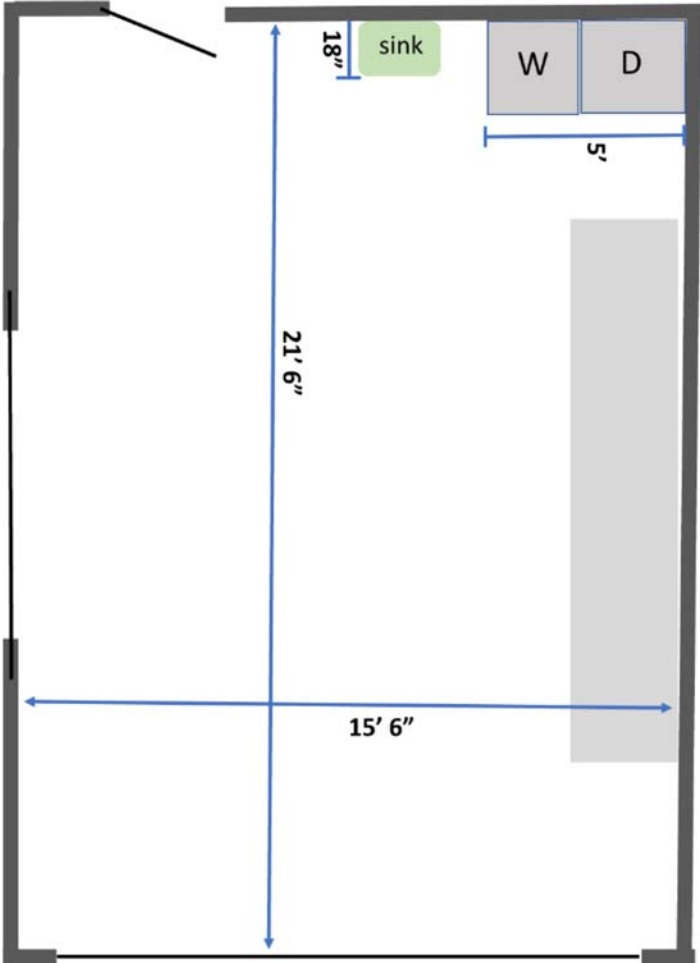
EXISTING: South elevation of garage at 12th Ave.



Proposed Garage Doors (South Elevation)

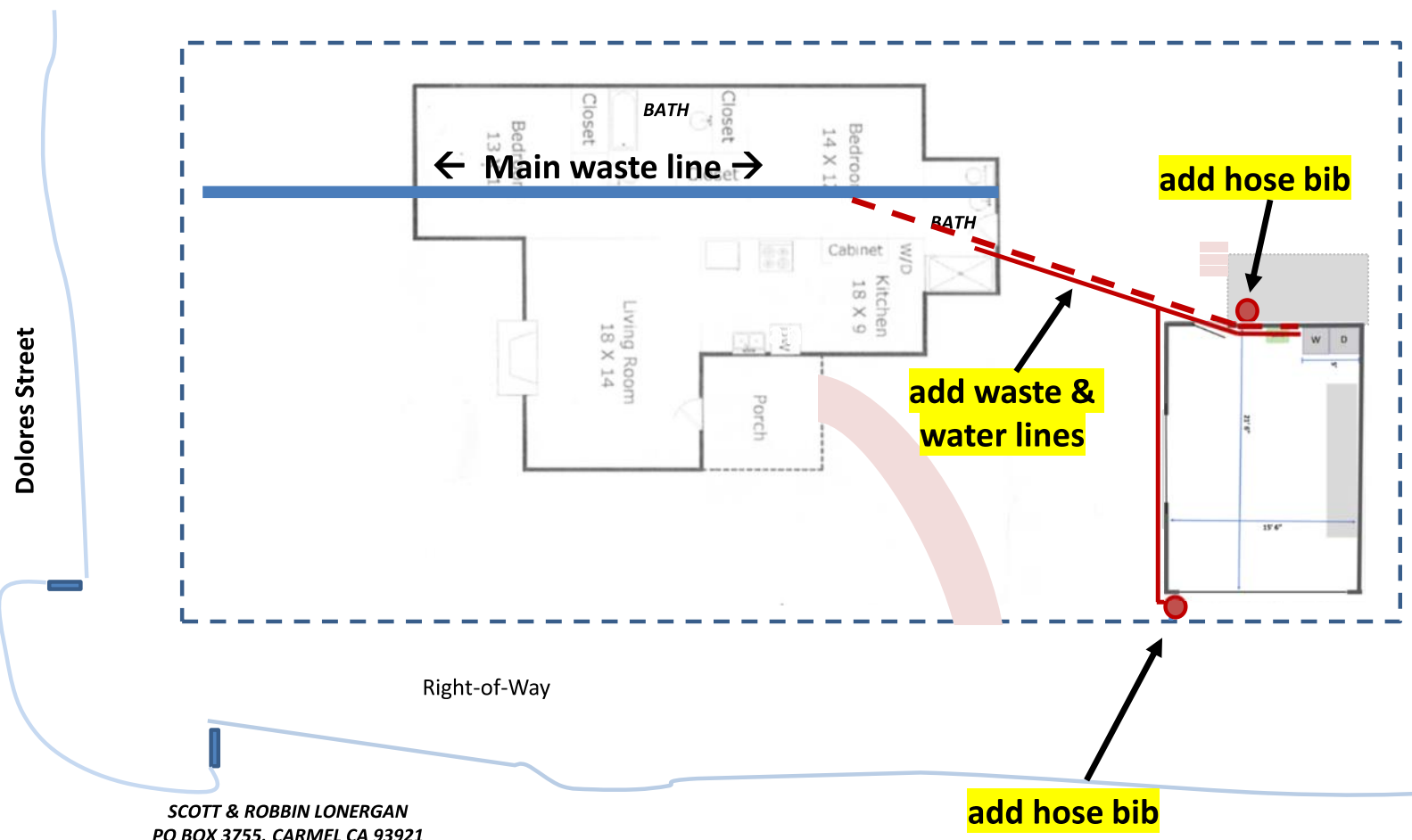


Garage Dimensions



12th Ave
Driveway

Add Plumbing for Washer/Sink and Hose Bibs



SCOTT & ROBBIN LONERGAN
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(650) 804-5611
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12/22/2020

12th Avenue

APN: 010-154-005