



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 20264

Owner Name: LINFESTY JOHN W & MARIANNA S TRS

Case Planner: Marnie R. Waffle, AICP, Senior Planner

Date Posted: _____

Date Approved: 12/29/2020

Project Location: 4 Oak Knoll Way

APN #: 009201008000 **BLOCK/LOT:** 1/8

Applicant: Michelle Chu

Project Description: Authorization. Approval of Design Study (DS 20-264, Linfesty) authorizes the following alterations to an existing single-family dwelling located at 4 Oak Knoll Way in the R-1 Single Family Residential District: 1) Minor window and door modifications along the rear portions of the residence at the kitchen, kitchen patio and living room (first floor) and master bath (second floor). 2) New exterior paint. 3) New standing seam metal awning roof over garage and front entry. 4) New garage door. 5) New exterior light fixtures. 6) New 24" retaining wall with stone veneer in the rear (north) yard. 7) Skylight modifications including, replacing one existing skylight in the same location; removing a second existing skylight; and, installing a new skylight. 8) New 3-foot high side yard fence and gates on the east and west sides of the residence. 9) Reduction and reconfiguration of the existing living room patio at the northeast corner of the residence. 10) Minor modification to the existing driveway to replace the stone paver "river" with new concrete to match existing conditions. All project construction shall conform to the plans prepared by Michelle M Chu Interiors stamped approved and on file in the Community Planning & Building Department, unless modified by the conditions of approval.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	<p>Authorization. Approval of Design Study (DS 20-264, Linfesty) authorizes the following alterations to an existing single-family dwelling located at 4 Oak Knoll Way in the R-1 Single Family Residential District:</p> <ol style="list-style-type: none"> 1) Minor window and door modifications along the rear portions of the residence at the kitchen, kitchen patio and living room (first floor) and master bath (second floor). 2) New exterior paint. 3) New standing seam metal awning roof over garage and front entry. 4) New garage door. 5) New exterior light fixtures. 6) New 24" retaining wall with stone veneer in the rear (north) yard. 7) Skylight modifications including, replacing one existing skylight in the same location; removing a second existing skylight; and, installing a new skylight. 8) New 3-foot high side yard fence and gates on the east and west sides of the residence. 9) Reduction and reconfiguration of the existing living room patio at the northeast corner of the residence. 10) Minor modification to the existing driveway to replace the stone paver "river" with new concrete to match existing conditions. <p>All project construction shall conform to the plans prepared by Michelle M Chu Interiors stamped approved and on file in the Community Planning & Building Department, unless modified by the conditions of approval contained herein.</p>	✓
2.	<p>Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.</p>	✓
3.	<p>Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.</p>	✓
4.	<p>Landscape Plan. All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Community Planning & Building Department and to the City Forester <u>prior to the issuance of a building permit</u>. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a</p>	✓

	drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on-site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	
5.	Tree Removal. Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
7.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.	✓
8.	Modifications. The applicant shall submit in writing to the Community Planning & Building Director any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Service Laterals. All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).	✓
10.	Fire Sprinklers - Residential. Additions, alterations or repairs to existing structures that involve the addition, removal or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require	✓

	installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135).	
11.	Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.	✓
12.	Skylights. All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color. <u>Skylight shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness.</u> The manufacturer's specifications for the skylights and skylight shades shall be included in the construction drawings submitted with the building permit application.	✓
13.	Stone Facades (including chimneys). Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or his/her designee. The masonry pattern shall be clearly identified in the construction drawings submitted with the building permit application.	✓
14.	Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
15.	Hazardous Materials Waste Survey. A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓

16.	Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
17.	USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
18.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
ENVIRONMENTAL COMPLIANCE CONDITIONS		
19.	Drainage Plan. Provide a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused into one corner of the property, infiltration features must be sized appropriately and must be located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas.	✓
20.	BMP Tracking Form. A completed BMP Tracking form will need to be submitted with the Building Permit Application.	✓
21.	Semi-Permeable Surfaces. Provide cross-section details for semi-permeable surfaces.	✓
22.	Erosion and Sediment Control Plan. Provide an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access with Building Permit application.	✓
SPECIAL CONDITIONS		
23.	New Retaining Wall & New (East) Side Yard Fence/Gate. All footings for the new retaining wall and the new (east) fence/gate shall be dug using a pneumatic excavator to preserve and protect the root systems of adjacent trees. If any roots are encountered, all work shall cease until the Forester inspects the root systems. No roots shall be cut unless authorized by the City Forester.	✓

ABBREVIATIONS

Not all of these abbreviations will apply to this project.

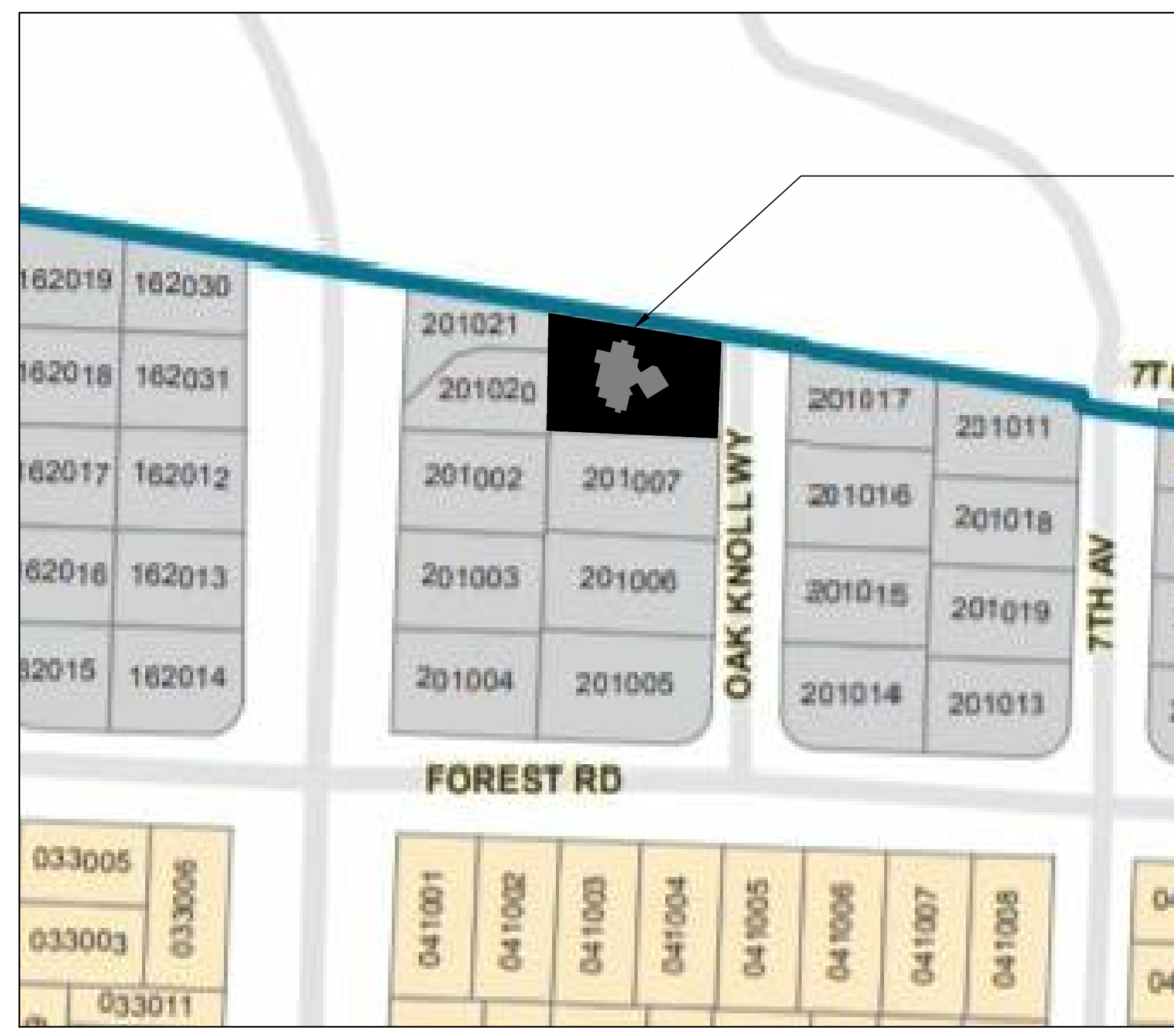
AT	ANCHOR BOLTS	AC	ADDDN	AGG	ALM	APPROX	ARCH	BLDG	BLK	BLKG	BM	BN	BOC	BOF	BOT	BRG	BRG PL	BTW	CCJ	CC	CCP	CJ	CTR	CL	CLC	CLR	CMU	COL	CONC	CONN	CONSTR JT	CONT	CTSK	DBL	DEPR	DIA	DIA (Ø)	DIAG	DIM	DN	DWG	(E)	EA	EF	EN	EW	EL	EDS	EQ	EXP B	EXT	FF	FG	FWWS	FN	FND	FOC	FOM	FOS	FT	FT (')	FTG	GA	GALV	GL	GNB	HAS	HDR	HK	HORIZ	HSB	HT	IN (')	INT	IOS	JT	JH	LH	LLV	LS	LT	LG	LWC	MAX	MB	MCJ	MECH	MEZZ	MIN	MISC	MW	MTL	NC	NOM	N	(N)	OC	OD	OPG	OPH	PCC	PERP	PL	PLYWD	PSF	PSI	PT	R	REINFC	REQ'D	SAD	SIM	SJ	SLH	SLV	SM	SOG	SQ	SS	STD	STL	SWS	SYM	T4	TEN	THK	TOP OF CONCRETE	TOP OF FOOTING	TOP OF SLAB	TOP OF STEEL	TOW	TYP	T&B	TN	UNDISTURBED NATURAL GRADE	UNLESS OTHERWISE NOTED	W	W/	W/	NOT TO SCALE	NEW	ON CENTER	OUTSIDE DIAMETER	OPENING	OPPOSITE HAND	PRECAST CONCRETE	PERPENDICULAR	PLATE	POUNDS PER SQUARE FOOT	POUNDS PER SQUARE INCH	PRESSURE TREATED	RADIUS	REINFORCING	REQUIRED	SEE ARCHITECTURAL DRAWINGS	SHRINKAGE JOINT	SHORT LEG HORIZONTAL	SHORT LEG VERTICAL	SHEET METAL	SQUARE	SQUARE	STAINLESS STEEL	STANDARD	STEEL	STL	SHEAR WALL SCHEDULE	SYMMETRICAL	TITLE 24 CALIFORNIA CODE	TYPICAL EDGE NAILING	THICK	TOP OF CONCRETE	TOP OF FOOTING	TOP OF SLAB	TOP OF STEEL	TYPICAL	TOP AND BOTTOM	TOP NAILING	UNDISTURBED NATURAL GRADE	UNLESS OTHERWISE NOTED	WELDED WIRE FABRIC	WITH
----	--------------	----	-------	-----	-----	--------	------	------	-----	------	----	----	-----	-----	-----	-----	--------	-----	-----	----	-----	----	-----	----	-----	-----	-----	-----	------	------	-----------	------	------	-----	------	-----	---------	------	-----	----	-----	-----	----	----	----	----	----	-----	----	-------	-----	----	----	------	----	-----	-----	-----	-----	----	--------	-----	----	------	----	-----	-----	-----	----	-------	-----	----	--------	-----	-----	----	----	----	-----	----	----	----	-----	-----	----	-----	------	------	-----	------	----	-----	----	-----	---	-----	----	----	-----	-----	-----	------	----	-------	-----	-----	----	---	--------	-------	-----	-----	----	-----	-----	----	-----	----	----	-----	-----	-----	-----	----	-----	-----	-----------------	----------------	-------------	--------------	-----	-----	-----	----	---------------------------	------------------------	---	----	----	--------------	-----	-----------	------------------	---------	---------------	------------------	---------------	-------	------------------------	------------------------	------------------	--------	-------------	----------	----------------------------	-----------------	----------------------	--------------------	-------------	--------	--------	-----------------	----------	-------	-----	---------------------	-------------	--------------------------	----------------------	-------	-----------------	----------------	-------------	--------------	---------	----------------	-------------	---------------------------	------------------------	--------------------	------

SHEET INDEX

A-000	COVER SHEET AND GENERAL NOTES
RA001	EXISTING SITE PLAN
A-001	PROPOSED SITE PLAN
AD101	DEMOLITION FLOOR PLAN - 1ST FLOOR
AD102	DEMOLITION FLOOR PLAN - 2ND FLOOR
AD103	DEMOLITION FLOOR PLAN - ATTIC
A-101	PROPOSED FLOOR PLAN - 1ST FLOOR
A-102	PROPOSED FLOOR PLAN - 2ND FLOOR
A-103	PROPOSED FLOOR PLAN - ATTIC
A-104	PROPOSED ROOF PLAN - LOWER LEVEL
A-105	PROPOSED ROOF PLAN - UPPER LEVEL
I-104	PROPOSED REFLECTED CEILING PLAN - 1ST FLOOR
I-105	PROPOSED REFLECTED CEILING PLAN - 2ND FLOOR
I-106	PROPOSED REFLECTED CEILING PLAN - ATTIC
I-205	PROPOSED EXTERIOR ELEVATIONS
I-206	PROPOSED EXTERIOR ELEVATIONS
G-601	PROPOSED FF&E SCHEDULE - WINDOWS & DOORS
S0	PROPOSED STRUCTURAL - GENERAL NOTES
S1	PROPOSED STRUCTURAL - FOUNDATION PLAN
S2	PROPOSED STRUCTURAL - 2ND FLOOR & LOWER ROOF PLANS
S3	PROPOSED STRUCTURAL - 2ND FLOOR & UPPER ROOF PLANS
D1	PROPOSED STRUCTURAL - DETAILS
R1	PROPOSED STRUCTURAL - RETAINING WALL & DETAILS

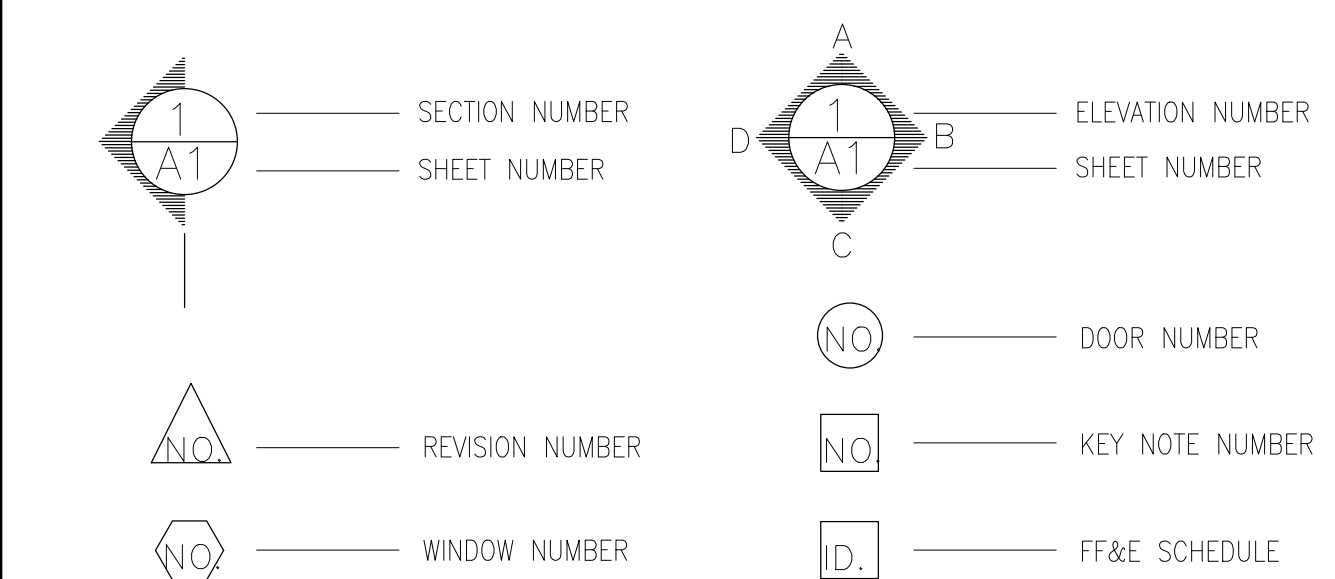
PARCEL MAP

NOT TO SCALE



APN: 009-201-008-000
BLOCK: 1 LOT: 8

SYMBOLS



PROVIDE A COPY OF THE OPERATION & MAINTENANCE MANUAL TO HOME OWNERS

At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

- Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
- Operation and maintenance instructions for the following:
 - Equipment and appliances, including water-saving devices and systems, HVAC systems, water-heating systems and other major appliances and equipment.
 - Furniture, fixtures, and finishes care, instructions and maintenance.
 - Space conditioning systems, including condensers and air filters.
 - Landscape irrigation systems.
 - Water reuse systems.
- Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
- Public transportation and/or carpool options available in the area.
- Educational material on the positive impacts of an interior relative humidity between 30 & 60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
- Information about water-conserving landscape and irrigation design and controllers which conserve water.
- Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
- Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
- A copy of all special inspection verifications required by the enforcing agency or this code.

2019 CalGreen Mandatory Measures

- Protect annular spaces around pipes, electric cables, conduits at exterior walls against the passage of rodents (4.406.1)
- Cover duct openings and other related air distribution component openings during construction. (4.504.1)
- Adhesives, sealant and caulks shall be compliant with VOC and other toxic compounds limits. (4.504.2.1)
- Paints, stains and other coating shall be compliant with VOC limits. (4.504.2.2)
- Aerosol paints and coatings shall be compliant with product weighted MIR limits for R0C and other toxic compounds. (4.504.2.3) Verification of compliance shall be provided.
- Carpet and carpet system shall be compliant with VOC limits. (4.504.3)
- Exhaust fans in bathrooms must be Energy Star (noted on Plan), and minimum 80% of floor area receiving resilient flooring shall comply with Section(4.504.4)
- Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior
- Install capillary break and vapor retarder slab on grade foundation. (4.504.2)
- Check moisture content of building material used in wall and floor framing before enclosure. (4.504.3)
- Duc systems are sized, designed, and equipment is selected per Section (405.2) HVAC system installers must be trained and certified and special inspectors employed by the enforcing agency must be qualified.

PROJECT INFORMATION

LOT SIZE:	6,570 SQ.FT.
A.P.N.:	0901008000
LEGAL DESCRIPTION:	BLOCK:1 LOT: 8
ZONING:	R-1, SINGLE-FAMILY
CONST. TYPE:	TYPE V
BLDG. OCCUPANCY:	RESIDENTIAL
FIRE SPRINKLERS:	N/A
SETBACKS (MIN. ALLOWED):	FRONT: N/A BACK: N/A SIDE: N/A
HEIGHT (MAX. ALLOWED):	N/A

SCOPE OF WORK

- TO REMODEL EXISTING TWO-STORY, SINGLE FAMILY DWELLING WITH AN ATTACHED GARAGE.
- NO ADDITIONAL SQUARE FOOTAGE ADDED, ALL IMPROVEMENTS MADE WITHIN THE EXISTING FLOOR AREA.
- PROJECT INCLUDES EXTERIOR AND INTERIOR MODIFICATIONS AND BRINDING STRUCTURE CLOSER TO COMPLIANCE BY REMOVING SOME NON-CONFIRMING CONDITIONS: GUARDRAIL & HANDRAIL HEIGHTS, REAR PATIOS & RETAINING WALL TO MEET SETBACKS, CODE COMPLIANT & ENERGY EFFICIENT APPLIANCES, LOW-FLOW PLUMBING & HIGH-EFFICACY LIGHT FIXTURES.
- INTERIOR REMODEL (KITCHEN, MASTER SUITE, & RELOCATED LAUNDRY) LESS THAN 25% OF EXISTING STRUCTURE.
- REPLACE EXTERIOR EXPOSED DECORATIVE BEAMS W/WATERPROOF AWNING @ FRONT EXTERIOR.

EXTERIOR LIGHTING NOTES

- ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10-FEET ABOVE THE GROUND AND MAY NOT EXCEED 9-WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
- LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10-FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFETY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.

DEFERRED SUBMITTALS

- DEFERRED SUBMITTALS SHALL BE REVIEWED AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO BEGINNING WORK. THE FOLLOWING TRADES ARE DEFERRED:
- PLUMBING CONTRACTOR TO SUBMIT, DETAILS AND LINE DIAGRAM LAYOUT PLAN TO BUILDING DEPT. "PRIOR TO BEGINNING INSTALLATION OF THE DEFERRED ELEMENT".
 - FIRE SPRINKLER CONTRACTOR TO SUBMIT FIRE SPRINKLER LAYOUT PLAN TO THE FIRE MARSHALL "PRIOR TO BEGINNING INSTALLATION OF THE DEFERRED ELEMENT".
 - ELECTRICIAN CONTRACTOR TO SUBMIT, DETAILS AND LOAD CALCULATIONS TO BUILDING DEPT. "PRIOR TO BEGINNING INSTALLATION OF THE DEFERRED ELEMENT".
 - MECHANICAL DIAGRAM AND LAYOUT PLAN TO THE BUILDING DEPT. "PRIOR TO BEGINNING INSTALLATION OF THE DEFERRED ELEMENT"

ADDRESS IDENTIFICATION

Buildings shall be provided with approved address identification. This identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be all Arabic numbers or alphabetic letters. Numbers shall not be spelled out. Each character shall not be less than 4 inches in height with a stroke width of not less than 0.5 inch. Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building address cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained.

PROJECT TEAM

DESIGNER: MICHELLE M. CHU INTERIORS 82 LAUREL DR. CARMEL VALLEY, CA 93924 TEL. (510) 410-7570 MICHELLE@MICHELLEMCHUINTERIORS.COM	STRUCTURAL ENGINEER: WILLIAMSON CHAVEZ DESIGN PO BOX 222277 CARMEL-BY-SEA, CA 94923 TEL. (661) 910-3977	OWNER: JOHN & MARI LINFESEY 4 OAK KNOLL WAY CARMEL-BY-THE-SEA, CA 93923 TEL. (510) 213-5800
CONTRACTOR: GROZA CONSTRUCTION 883 ABRIGO ST. MONTEREY, CA 93940 TEL. (831) 655-7605 ADMIN@GROZACONSTRUCTION.COM		

GENERAL NOTES

- THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:
- 2019 CALIFORNIA BUILDING CODE
 - 2019 CALIFORNIA PLUMBING CODE
 - 2019 CALIFORNIA FIRE CODE
 - 2019 CALIFORNIA ELECTRICAL CODE
 - 2019 CALIFORNIA ENERGY CODE
 - 2019 CALIFORNIA RESIDENTIAL CODE
 - 2019 CALIFORNIA MECHANICAL CODE
 - 2019 CALIFORNIA GREEN BUILDING STANDARD

- All construction, workmanship and materials shall conform with the requirements of the 2019 California Code Edition, and any other governing code.
- The contractor shall verify all dimensions, elevations and site conditions and shall become completely familiar with the construction documents prior to starting construction.
- Designer and Engineer shall be notified of any omissions or discrepancies in the working drawing and/or specifications before proceeding with any work so involved.
- All dimensions take precedence over scale shown on plans, sections and details.
- Specific notes and details take precedence over structural notes and typical details.
- Where specific details are not provided, construction can follow details for similar conditions, unless conflicts occur.
- The contractor shall be responsible for the design, installation and maintenance of all bracing and shoring required during construction until all construction is finalized.
- Job site safety and code compliance is the sole responsibility of the contractor.
- See architectural drawings for the size and location of all door and window openings, location of nonbearing partitions, roof on floor elevations, roof slopes, architectural finishes, and other related information not indicated on the structural drawings.
- See mechanical, electrical and/or architectural drawing for the size and location of pipes, conduits, floor drains, vents, ducts, and other similar penetrations not indicated on the structural drawings.
- PROVIDE WATER PIPES & GAS PIPELINES & SCHEMATICS SHOWING THE SIZE OF DIFFERENT BRANCHES, VARIOUS LOAD DEMANDS, AND THE LOCATION OF POINT OF DELIVERY TO BUILDING DEPARTMENT PRIOR TO INSTALLATION & INSPECTION.
- Fire Sprinklers- Provide Sprinkler Drawings to the Fire Marshal for Review & Approval prior to installation.

PROJECT DATA

FLOOR AREA		
FLOOR AREA ALLOWED	2,870 SQ.FT.	
EXISTING		
SECOND FLOOR	1,404 SQ.FT.	
FIRST FLOOR (Garage Included)	1,754 SQ.FT.	
TOTAL GROSS FLOOR AREA:	2,158 SQ.FT.	
PROPOSED		
SECOND FLOOR	0 SQ.FT.	(NO SF ADDED)
FIRST FLOOR (Garage Included)	0 SQ.FT.	
TOTAL GROSS FLOOR AREA:	0 SQ.FT.	0%
BUILDING SITE COVERAGE		
COVERAGE ALLOWED		
EXISTING		
MAIN DWELLING	1,754 SQ.FT.	
DECKS	69 SQ.FT.	
TOTAL GROSS FLOOR AREA:	1,823 SQ.FT.	
PROPOSED REMODEL		
MAIN DWELLING	280 SQ.FT.	(NO SF ADDED)
DECKS	0 SQ.FT.	
TOTAL GROSS FLOOR AREA:	280 SQ.FT.	16%

**CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED**

Permit #: DS 20-264 (Linfesty)
Date Approved: 12/29/2020
Planner: M. Waffle

LEGEND:

NOTES:

REVISION DATES:

- NOV. 14, 2019
- DEC. 02, 2019
- AUG. 30, 2020

michelle.m chu
INTERIORS

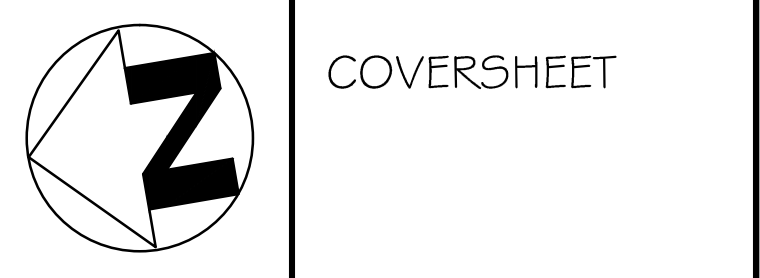
82 LAUREL DRIVE, CARMEL VALLEY, CA 93924
www.michellemchuinteriors.com
NO 510.410.7570
michelle@michellemchuinteriors.com

PROJECT NAME:

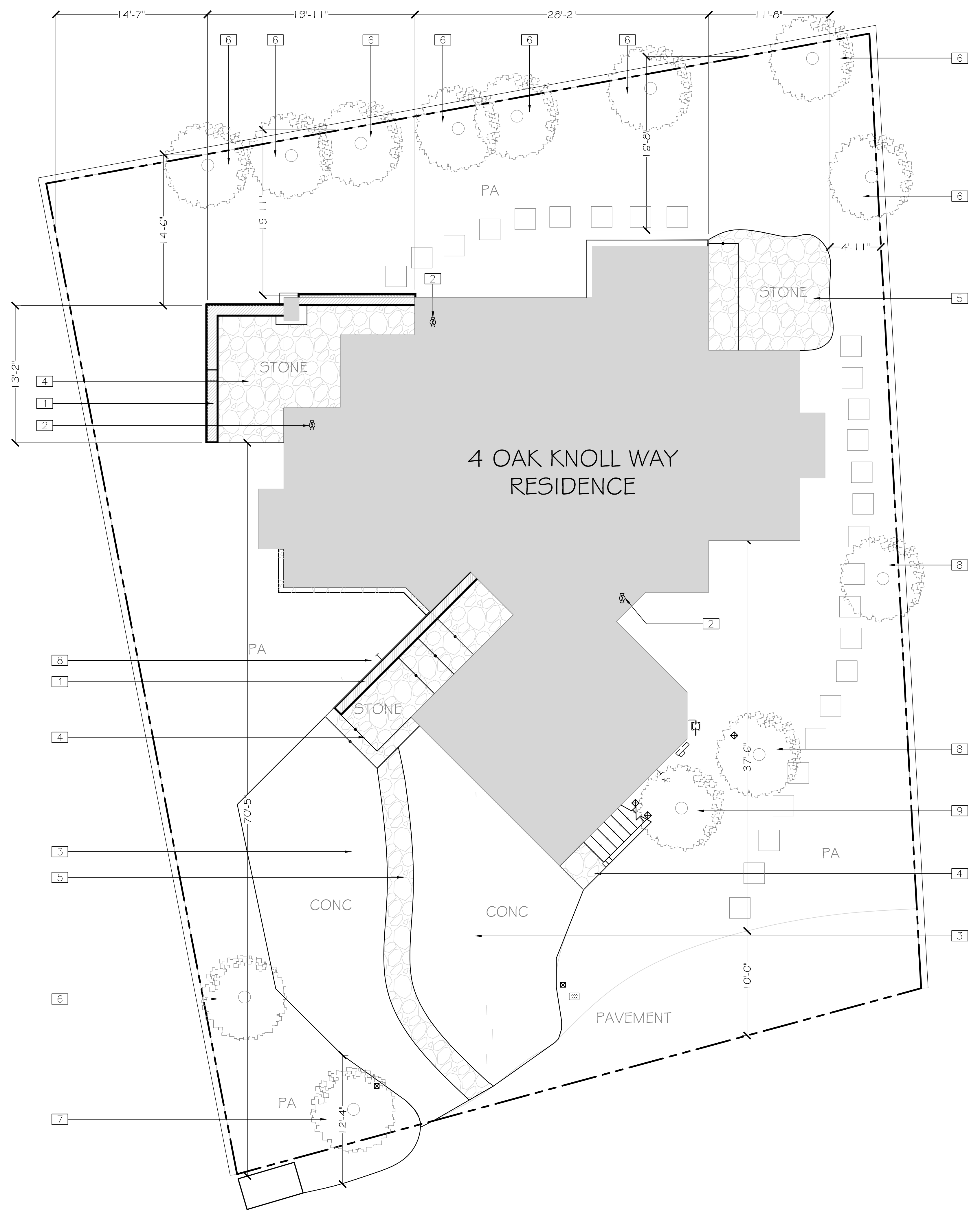
LINFESTY RESIDENCE
4 OAK KNOLL WAY
CARMEL-BY-THE-SEA, CA
93923

APN: 009-201-008-000

DRAWN BY:	M. CHU
SCALE:	NTS
DATE:	FEB. 17, 2020



A-000

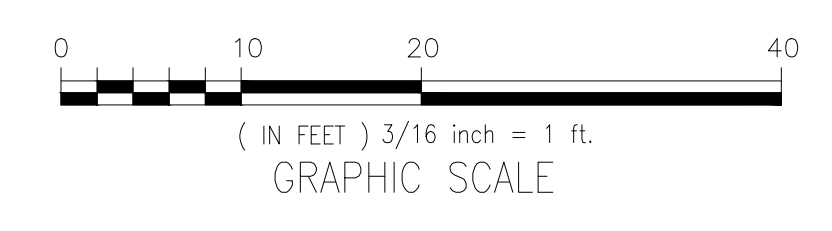


LEGEND

- APPROX. BOUNDARY
- (E) FENCE
- ☆ = STREET LIGHT
- ⊠ = STREET SIGN / POST
- ⊕ = UTILITY POLE
- ⊞ = AIR CONDITIONER
- ⊞ = UTILITY BOX
- = TREE
- ⊞ = WATER METER
- ⊞ = DRAIN
- ⊞ = FIRE HYDRANT
- ⊞ = SEWER / MAN HOLE
- ⊞ = IRRIGATION CONTROL VALVE
- ⊞ = HOSE BIBB
- ⊞ = GAS METER
- ⊞ = ELECTRIC METER
- ⊞ = NATURAL GAS LINE
- ⊞ = DOWNSPOUT
- BR = BRICK
- WF = WATER FEATURE
- PA = PLANTING AREA
- EQ = EQUIPMENT
- CONC = CONCRETE
- STONE = STONE
- NO = KEY NOTE
- ID = FF#E SCHEDULE
- RETAINING WALL
- STONE PAVERS

KEY NOTES

- 1 (E) RETAINING WALL 3'-0" HT. A.F.F., W/STONE VENEER
- 2 (E) GAS LINE
- 3 (E) CONCRETE
- 4 (E) STONE PAVERS SET IN CONCRETE
- 5 (E) STONE PAVERS SET IN CONCRETE - REPAIR
- 6 (E) SEQUOIA SEMPERVIRENS - COASTAL REDWOOD
- 7 (E) QUERCUS AGRIFOLIA - CALIFORNIA LIVE OAK
- 8 (E) PINUS RADIATA - MONTEREY PINE
- 9 (E) PODACARPUS - FERN PINE



NOTES:
1. ALL DIMS. ARE APPROX. V.I.F.

DRAFTED BY:

3626 E. PACIFIC COAST
HIGHWAY | 2ND FLOOR
LONG BEACH, CA | 90804
T 562.621.9100
F 888.698.2966
WWW.PPMCO.NET

(AS-BUILT DRAWINGS ONLY)

REVISION DATES:

- 02/19/20
- 02/26/20
- 03/24/20
- 04/10/20
- 05/30/20

michelle.m chu
INTERIORS

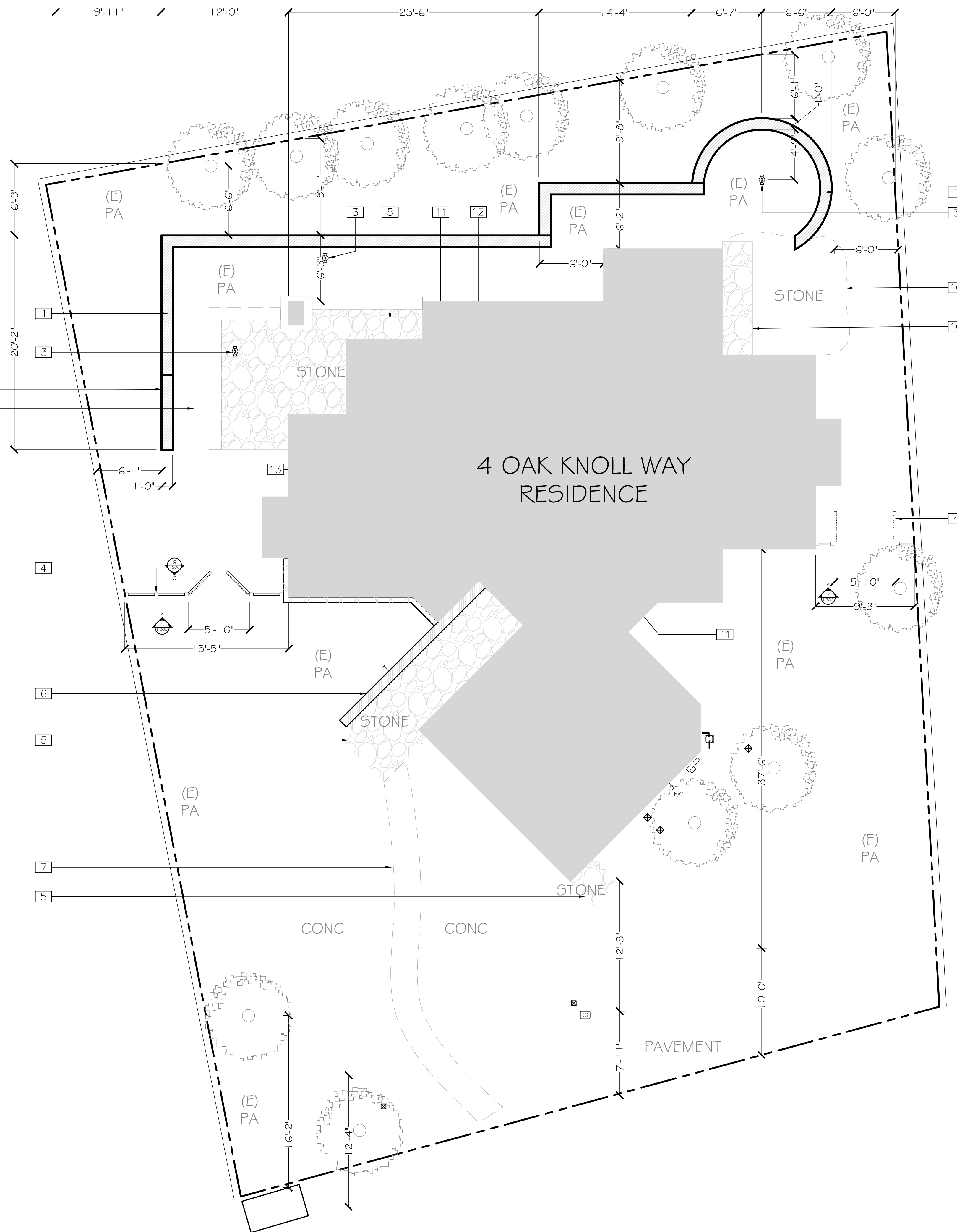
82 LAUREL DRIVE, CARMEL VALLEY, CA 93924
www.michellemchuinteriors.com
NO 510.410.7570
michelle@michellemchuinteriors.com

PROJECT NAME:
LINFESTY RESIDENCE
4 OAK KNOLL WAY
CARMEL-BY-THE-SEA, CA 93923
APN: 009-201-008-000

DRAWN BY: PPM
SCALE: 3/16" = 1'-0"
DATE: FEB. 17, 2020

EXISTING
SITE PLAN

RAOO I



LEGEND

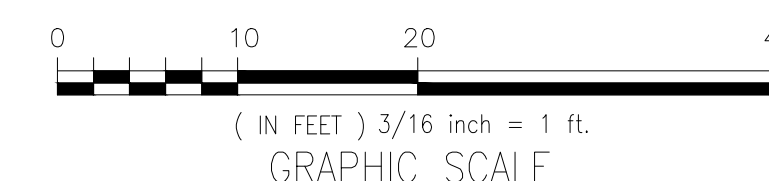
- APPROX. BOUNDARY
- (E) FENCE
- (N) PROPOSED DEMO
- ☆ = STREET LIGHT
- = STREET SIGN / POST
- ⊕ = UTILITY POLE
- ⊗ = AIR CONDITIONER
- ⊞ = UTILITY BOX
- ⊙ = TREE
- ⊞ = WATER METER
- ⊙ = DRAIN
- ⊙ = FIRE HYDRANT
- ⊙ = SEWER / MAN HOLE
- ⊞ = IRRIGATION CONTROL VALVE
- HVC = HOSE BIBB
- ⊞ = GAS METER
- ⊞ = ELECTRIC METER
- ⊞ = NATURAL GAS LINE
- ⊞ = DOWNSPOUT
- BR = BRICK
- WF = WATER FEATURE
- PA = PLANTING AREA
- EQ = EQUIPMENT
- CONC = CONCRETE
- STONE = STONE
- NO. = KEY NOTE
- ID. = FF#E SCHEDULE
- RETAINING WALL
- STONE PAVERS

KEY NOTES

- 1 (N) RETAINING WALL 2'-0" HT. A.F.F., W/STONE VENEER (MATCH EXISTING)
- 2 (N) RETAINING WALL 1'-3" HT. A.F.F., W/STONE VENEER (MATCH EXISTING)
- 3 (N) GAS/PROPANE LINE STUBBED FOR FUTURE USE
- 4 (N) GATE 3'-0" HT. A.F.F.
- 5 (E) REPAIR HARDSCAPE, STONE PAVERS (MATCH EXISTING, AS NEEDED)
- 6 (E) RETAINING WALL W/(E) STONE VENEER
- 7 (E) LANDING & STEPS W/STONE PAVERS
- 7 (E) REPAIR W/CONCRETE
- 8 (N) GARDEN HOSE BIB
- 9 (E) PLANTING AREA
- 10 (E) HARDSCAPE FOOTPRINT, RE-SHAPED
- 11 (E) GAS LINE (WATER HEATER)
- 12 (N) GAS LINE (HVAC)
- 13 (N) GAS LINE (HVAC) - ATTIC

HARDSCAPE COVERAGE

EXISTING PROPERTY NOTES		
LOT SIZE	6,570 SF	
BASE FLOOR AREA	1,837 SF	
MAX. FLOOR AREA PER SITE [6,570 (LOT SIZE) X 0.45 - (6,570 X .002)/1000]	2,870 SF	
ALLOWED		
22% OF ALLOWED FLOOR AREA [2,870 (BASE FLOOR) X 22%]	631 SF	
50% PERMEABLE BONUS [6,569 (LOT SIZE) X 4%]	263 SF	
	894 SF	
EXISTING (NON-PERMEABLE)		
DRIVEWAY	835 SF	
ENTRY RETAINER WALL + STAIRS	122 SF	
GUEST (SOUTH) STAIR LANDING	10 SF	
KITCHEN PATIO + RETAINING WALL	189 SF	
DINING ROOM PATIO	129 SF	
	1,285 SF	
EXISTING (NON-PERMEABLE) REQUIRED REDUCTION		
	391 SF	
PROPOSED		
RETAINING WALL	105 SF	NON-PERMEABLE
KITCHEN PATIO + RETAINING WALL (REDUCTION)	-34 SF	NON-PERMEABLE
DINING ROOM PATIO (REDUCTION)	-99 SF	NON-PERMEABLE
	-28 SF	



NOTES:

1. ALL DIMS ARE APPROX. V.I.F..
2. DRAIN TO EXISTING SEWER LINE

DRAFTED BY:



3626 E. PACIFIC COAST
HIGHWAY | 2ND FLOOR
LONG BEACH, CA | 90804
T 562.621.9100
F 888.698.2966
WWW.PPMCO.NET

(AS-BUILT DRAWINGS ONLY)

REVISION DATES:

- 02/19/20
- 02/26/20
- 03/24/20
- 04/10/20
- 05/30/20
- 06/30/20

michelle.m chu
INTERIORS

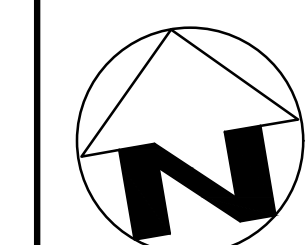
82 LAUREL DRIVE, CARMEL VALLEY, CA 93924
www.michellemchuinteriors.com
NO 510.410.7570
michelle@michellemchuinteriors.com

PROJECT NAME:

LINFESTY RESIDENCE
4 OAK KNOLL WAY
CARMEL-BY-THE-SEA, CA 93923

APN: 009-201-008-000

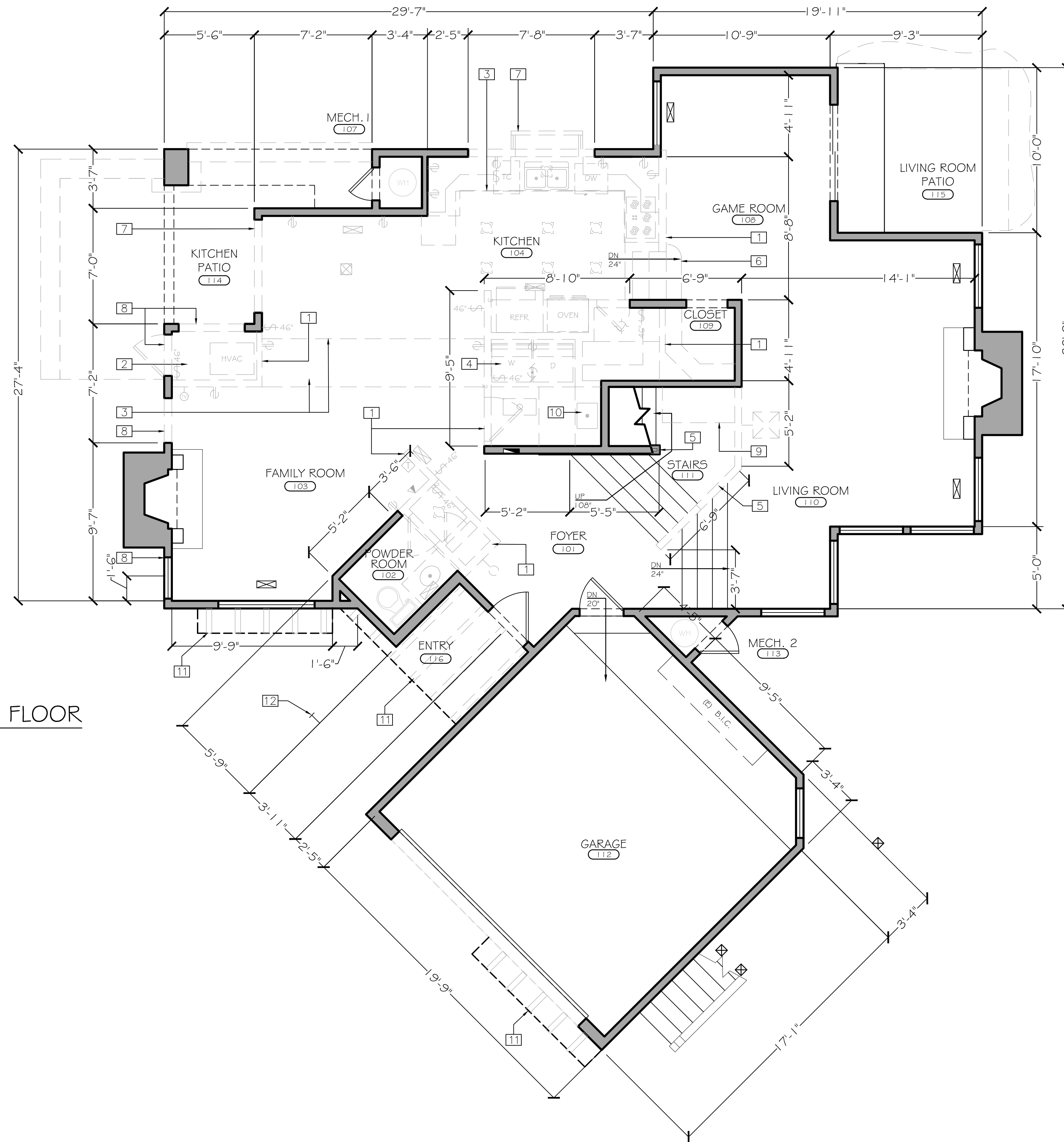
DRAWN BY:	M. CHU
SCALE:	3/16" = 1'-0"
DATE:	FEB. 17, 2020



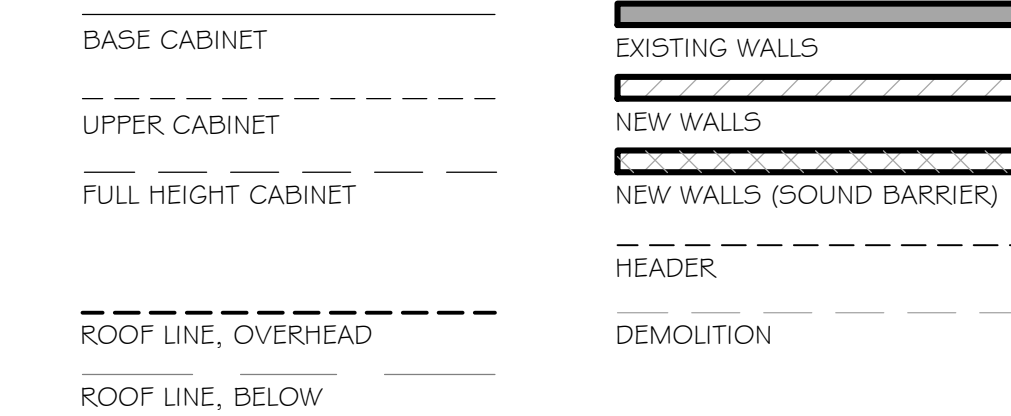
PROPOSED
SITE PLAN

A-001

1ST FLOOR



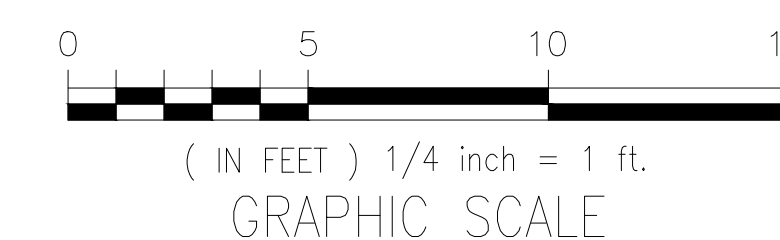
LEGEND



- | | | | |
|---|--------------|----|-----------------|
| # | = (N) WINDOW | # | = KEY NOTE |
| # | = (N) DOOR | ID | = FF&E SCHEDULE |
-
- | | | | |
|----------|------------------------------|---|---|
| W | = WASHER/DRYER COMBO | S | = SWITCH |
| W | = WASHER | ○ | = OUTLET, SINGLE |
| D | = DRYER | ○ | = OUTLET, SINGLE W/GFCI |
| R | = RANGE | ○ | = OUTLET, DUPLEX |
| RF | = REFRIGERATOR | ○ | = OUTLET, QUADRUPLEX |
| O | = OVEN | ○ | = OUTLET, 220V |
| DW | = DISH WASHER | ○ | = OUTLET, FLOOR DUPLEX |
| TC | = TRASH COMPACTOR | ○ | = OUTLET, FLOOR QUADRUPLEX |
| H | = HOSE BIB | ○ | = OUTLET, CEILING |
| GP | = GAS/PROPANE | ○ | = OUTLET, GFCI DUPLEX |
| EPF | = ELECTRICAL PANEL - FLUSH | ○ | = OUTLET, SPECIAL PURPOSE |
| EPM | = ELECTRICAL PANEL - MOUNTED | ○ | = WALL MOUNT CAMERA |
| TJ | = TELEPHONE JACK | ○ | = COVER PLATE ON WALL |
| DIJ | = DATA/INTERNET JACK | ○ | = THERMOSTAT |
| CTJ | = CABLE TV JACK | ○ | = AUDIO VOLUME CONTROLS |
| EQ | = EQUIPMENT- MISC. | ○ | = SPEAKER - WALL |
| PP | = POWER POLE | ○ | = DISCONNECT SWITCH |
| B | = BLANK | ○ | = WALL-MOUNTED FIXTURE |
| AV | = AUDIO / VIDEO | ○ | = UNDERCABINET/INTERIOR B.I.C. - RECESSED |
| R | = ROUTER | ○ | = LED TRACK LIGHTING |
| SKP | = SECURITY KEY PAD | ○ | = RECESSED, LED DIRECTIONAL |
| RDR | = REMOTE DOOR RELEASE | ○ | = RECESSED, LED |
| S | = SENSOR | ○ | = FAN/VENT W/SENSOR |
| C | = CONDUIT | ○ | = CEILING, SURFACE MOUNTED FIXTURE |
| J | = J-BOX | ○ | = RECESSED, LED - WALL |
| HVAC V | = HVAC VENT - FLOOR | | |
| HVAC VCB | = HVAC VENT - CABINET BASE | | |
| FSA | = FIRE/SAFETY ALARM | | |
| GM | = GAS METER | | |
| EM | = ELECTRIC METER | | |

KEY NOTES

- 1 (E) DEMO. WALLS
- 2 (E) DEMO. # MOVE MECH. CLOSET
- 3 (E) DEMO. SOFFIT
- 4 (E) WASHER/DRYER, MOVED TO (N) 2ND FLOOR LAUNDRY CLOSET
- 5 (E) PARTIAL WALL/GUARDRAIL, REPLACE W/NEW GUARDRAIL (SEE ELEVATIONS & SECTION)
- 6 (E) DEMO. STEPS
- 7 (E) EXTERIOR SLIDER, REPLACE W/(N) DOOR
- 8 (E) EXTERIOR WALL, ADD (N) FENESTRATION
- 9 (E) WALL UNDER LANDING, ADD (N) STORAGE ACCESS @ (N) CLOSET (SEE SECTION)
- 10 (E) LAUNDRY SINK, MOVE TO (N) KITCHEN ISLAND
- 11 (E) DEMO. EXTERIOR DECORATIVE BEAMS
- 12 (E) REMOVE # RELOCATE HOSE BIB



NOTES:

- 1. ALL DIMS. ARE APPROX. V.I.F.

DRAFTED BY:



3626 E. PACIFIC COAST
HIGHWAY | 2ND FLOOR
LONG BEACH, CA | 90804
T 562.621.9100
F 888.698.2966
WWW.PPMCO.NET

(AS-BUILT DRAWINGS ONLY)

REVISION DATES:

- 02/19/20
- 02/26/20
- 03/24/20
- 04/10/20
- 05/30/20
- 08/30/20

michelle.m chu
INTERIORS

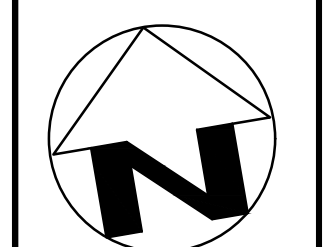
82 LAUREL DRIVE, CARMEL VALLEY, CA 93924
www.michellemchuinterior.com
NO 510.410.7570
michelle@michellemchuinterior.com

PROJECT NAME:

LINFESTY RESIDENCE
4 OAK KNOLL WAY
CARMEL-BY-THE-SEA, CA 93923

APN: 009-201-008-000

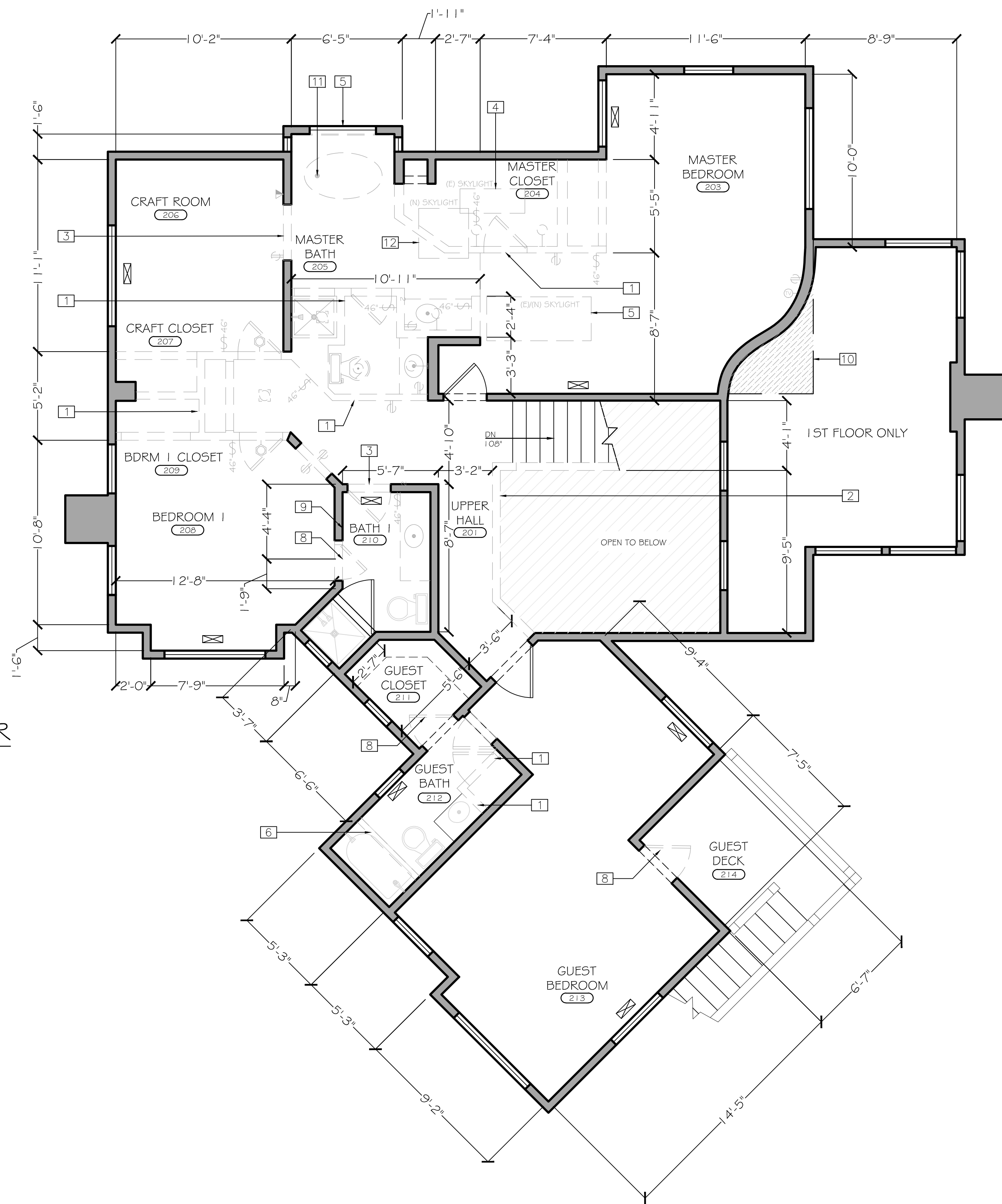
DRAWN BY: M. CHU
SCALE: 1/4" = 1'-0"
DATE: JANUARY 17, 2020



PROPOSED DEMO
FLOOR PLAN -
FIRST FLOOR

AD101

2ND FLOOR

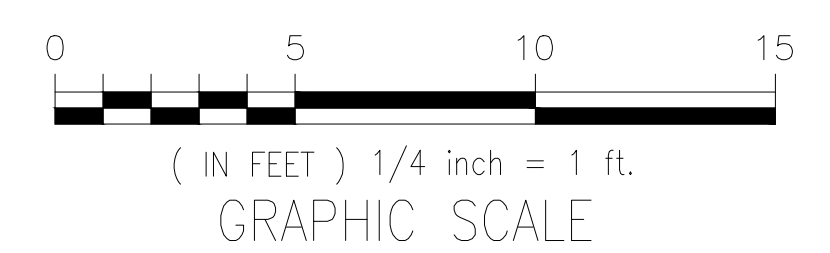


LEGEND

- | | | | |
|-------|---------------------|---|---------------------------|
| — | BASE CABINET | — | EXISTING WALLS |
| - - - | UPPER CABINET | — | NEW WALLS |
| — | FULL HEIGHT CABINET | — | NEW WALLS (SOUND BARRIER) |
| — | ROOF LINE, OVERHEAD | — | HEADER |
| — | ROOF LINE, BELOW | — | DEMOLITION |
-
- | | | | |
|---|-------------|----|----------------|
| ⊕ | =(N) WINDOW | NO | =KEY NOTE |
| ⊕ | =(N) DOOR | ID | =FF&E SCHEDULE |
-
- | | | | |
|---|----------------------|---|---|
| ⊕ | = WASHER/DRYER COMBO | ⊕ | = SWITCH |
| ⊕ | = WASHER | ⊕ | = OUTLET, SINGLE |
| ⊕ | = DRYER | ⊕ | = OUTLET, SINGLE W/GFCI |
| ⊕ | = RANGE | ⊕ | = OUTLET, DUPLEX |
| ⊕ | = REFRIGERATOR | ⊕ | = OUTLET, QUADRUPLEX |
| ⊕ | = OVEN | ⊕ | = OUTLET, 220V |
| ⊕ | = DISH WASHER | ⊕ | = OUTLET, FLOOR DUPLEX |
| ⊕ | = TRASH COMPACTOR | ⊕ | = OUTLET, FLOOR QUADRUPLEX |
| ⊕ | | ⊕ | = OUTLET, CEILING |
| ⊕ | | ⊕ | = OUTLET, GFCI DUPLEX |
| ⊕ | | ⊕ | = OUTLET, SPECIAL PURPOSE |
| ⊕ | | ⊕ | = WALL MOUNT CAMERA |
| ⊕ | | ⊕ | = COVER PLATE ON WALL |
| ⊕ | | ⊕ | = THERMOSTAT |
| ⊕ | | ⊕ | = AUDIO VOLUME CONTROLS |
| ⊕ | | ⊕ | = SPEAKER - WALL |
| ⊕ | | ⊕ | = DISCONNECT SWITCH |
| ⊕ | | ⊕ | = WALL-MOUNTED FIXTURE |
| ⊕ | | ⊕ | = UNDERCABINET/INTERIOR B.I.C. - RECESSED |
| ⊕ | | ⊕ | = LED TRACK LIGHTING |
| ⊕ | | ⊕ | = RECESSED, LED DIRECTIONAL |
| ⊕ | | ⊕ | = RECESSED, LED |
| ⊕ | | ⊕ | = FAN/VENT W/SENSOR |
| ⊕ | | ⊕ | = CEILING, SURFACE MOUNTED FIXTURE |
| ⊕ | | ⊕ | = RECESSED, LED - WALL |
-
- | | |
|---|------------------------------|
| ⊕ | = HOSE BIB |
| ⊕ | = GAS/PROPANE |
| ⊕ | = ELECTRICAL PANEL - FLUSH |
| ⊕ | = ELECTRICAL PANEL - MOUNTED |
| ⊕ | = TELEPHONE JACK |
| ⊕ | = DATA/INTERNET JACK |
| ⊕ | = CABLE TV JACK |
| ⊕ | = EQUIPMENT - MISC. |
| ⊕ | = POWER POLE |
| ⊕ | = BLANK |
| ⊕ | = AUDIO / VIDEO |
| ⊕ | = ROUTER |
| ⊕ | = SECURITY KEY PAD |
| ⊕ | = REMOTE DOOR RELEASE |
| ⊕ | = SENSOR |
| ⊕ | = CONDUIT |
| ⊕ | = J-BOX |
| ⊕ | = HVAC VENT - FLOOR |
| ⊕ | = HVAC VENT - CABINET BASE |
| ⊕ | = FIRE/SAFETY ALARM |
| ⊕ | = GAS METER |
| ⊕ | = ELECTRIC METER |

KEY NOTES

- 1 (E) DEMO. WALLS
- 2 (E) DEMO. PARTIAL WALL/GUARDRAIL
- 3 (E) WALL, INSTALL WINDOW/DOOR
- 4 (E) DEMO. SKYLIGHT
- 5 (E) DEMO. WINDOW/DOOR, REPLACE W/NEW
- 6 (E) DEMO. HEADER @ SHOWER
- 7 (E) DEMO. MASTER BATH TUB, CONTRACTOR TO DOCUMENT WATER CREDIT FOR FUTURE USE.
- 8 (E) SWITCH DOOR HANDING
- 9 (E) MOVE SWITCH PLATES
- 10 (N) FILL (E) GYP. CEILING DETAIL, MATCH (E) CEILING SLOPE
- 11 (E) NOTE WATER CREDIT - TUB REMOVAL
- 12 (N) SKYLIGHT
- 13 (E) NOTE WATER CREDIT - GUEST WASHER/DRYER



NOTES:
1. ALL DIMS. ARE APPROX. V.I.F.

DRAFTED BY:

3626 E. PACIFIC COAST HIGHWAY | 2ND FLOOR
LONG BEACH, CA | 90804
T 562.621.9100
F 888.698.2966
WWW.PPMCO.NET

(AS-BUILT DRAWINGS ONLY)

REVISION DATES:

- 02/19/20
- 02/26/20
- 03/24/20
- 04/10/20
- 05/30/20
- 08/30/20

michelle.m chu
INTERIORS

82 LAUREL DRIVE, CARMEL VALLEY, CA 93924
www.michellemchuinteriors.com
NO 510.410.7570
michelle@michellemchuinteriors.com

PROJECT NAME:

LINFESTY RESIDENCE
4 OAK KNOLL WAY
CARMEL-BY-THE-SEA, CA 93923

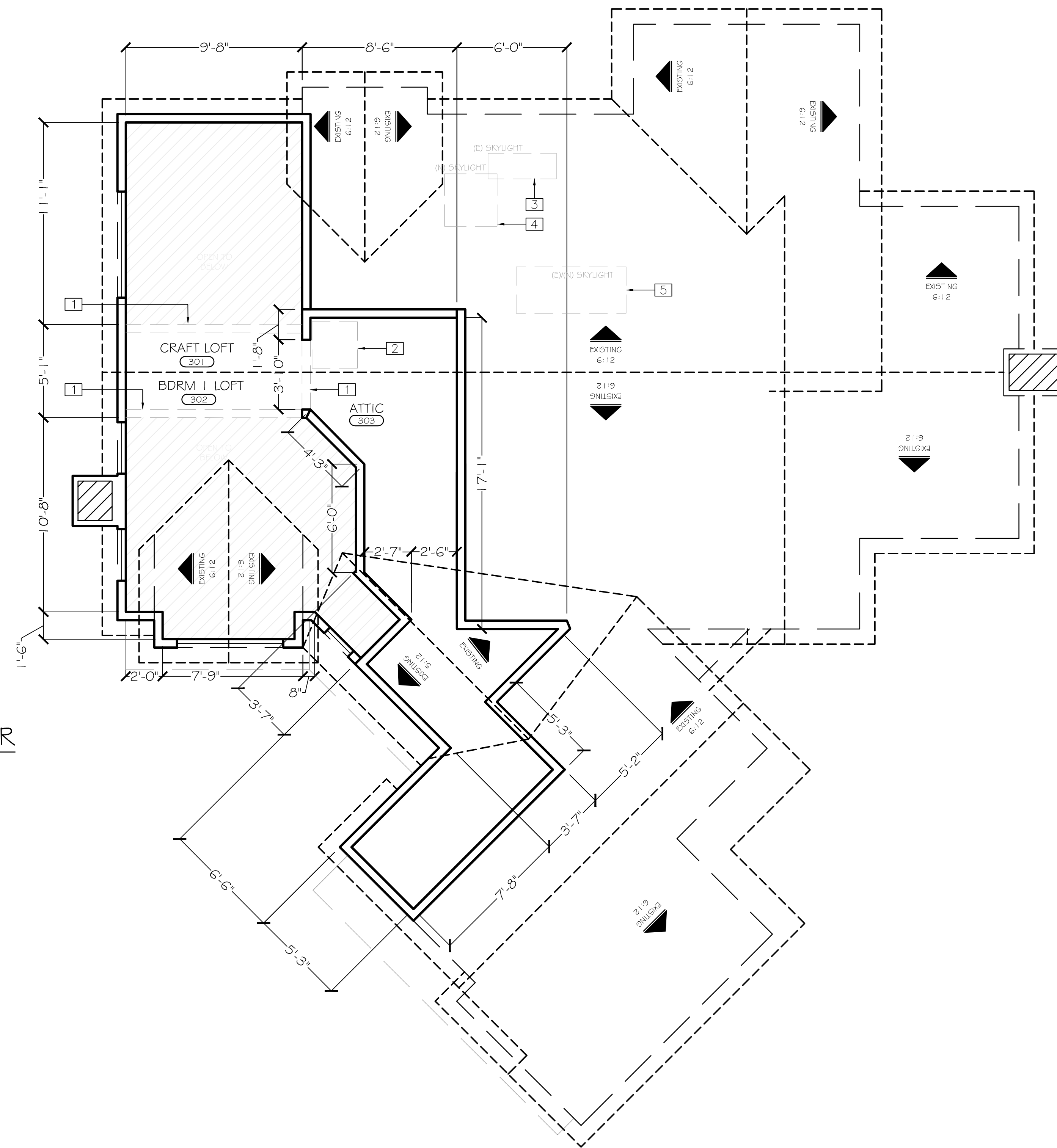
APN: 009-201-008-000

DRAWN BY: M. CHU
SCALE: 1/4" = 1'-0"
DATE: JANUARY 17, 2020

PROPOSED DEMO FLOOR PLAN - SECOND FLOOR

AD102

3RD FLOOR



LEGEND

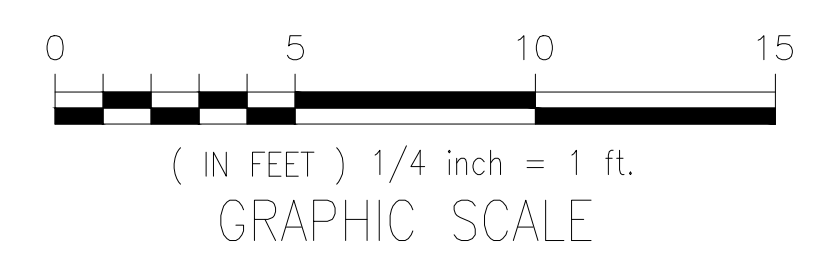
- = BASE CABINET
- - - = UPPER CABINET
- - - = FULL HEIGHT CABINET
- - - = ROOF LINE, OVERHEAD
- - - = ROOF LINE, BELOW
- ▬ = EXISTING WALLS
- ▬ = NEW WALLS
- ▬ = NEW WALLS (SOUND BARRIER)
- - - = HEADER
- - - = DEMOLITION

- # = (N) WINDOW
- # = (N) DOOR
- NO = KEY NOTE
- ID. = FF&E SCHEDULE

- ☐ = WASHER/DRYER COMBO
- ☐ = WASHER
- ☐ = DRYER
- ☐ = RANGE
- ☐ = REFRIGERATOR
- ☐ = OVEN
- ☐ = DISH WASHER
- ☐ = TRASH COMPACTOR
- HC = HOSE BIB
- ⊕ = GAS/PROPANE
- ⊕ = ELECTRICAL PANEL - FLUSH
- ⊕ = ELECTRICAL PANEL - MOUNTED
- ⊕ = TELEPHONE JACK
- ⊕ = DATA/INTERNET JACK
- ⊕ = CABLE TV JACK
- ⊕ = EQUIPMENT- MISC.
- ⊕ = POWER POLE
- ⊕ = BLANK
- ⊕ = AUDIO / VIDEO
- ⊕ = ROUTER
- ⊕ = SECURITY KEY PAD
- ⊕ = REMOTE DOOR RELEASE
- ⊕ = SENSOR
- ⊕ = CONDUIT
- ⊕ = J-BOX
- ⊕ = HVAC VENT - FLOOR
- ⊕ = HVAC VENT - CABINET BASE
- ⊕ = FIRE/SAFETY ALARM
- ⊕ = GAS METER
- ⊕ = ELECTRIC METER
- ⊕ = SWITCH
- ⊕ = OUTLET, SINGLE
- ⊕ = OUTLET, SINGLE W/GFCI
- ⊕ = OUTLET, DUPLEX
- ⊕ = OUTLET, QUADRUPLX
- ⊕ = OUTLET, 220V
- ⊕ = OUTLET, FLOOR DUPLEX
- ⊕ = OUTLET, FLOOR QUADRUPLX
- ⊕ = OUTLET, CEILING
- ⊕ = OUTLET, GFCI DUPLEX
- ⊕ = OUTLET, SPECIAL PURPOSE
- ⊕ = WALL MOUNT CAMERA
- ⊕ = COVER PLATE ON WALL
- ⊕ = THERMOSTAT
- ⊕ = AUDIO VOLUME CONTROLS
- ⊕ = SPEAKER - WALL
- ⊕ = DISCONNECT SWITCH
- ⊕ = WALL-MOUNTED FIXTURE
- ⊕ = UNDERCABINET/INTERIOR B.I.C. - RECESSED
- ⊕ = LED TRACK LIGHTING
- ⊕ = RECESSED, LED DIRECTIONAL
- ⊕ = RECESSED, LED
- ⊕ = FAN/VENT W/SENSOR
- ⊕ = CEILING, SURFACE MOUNTED FIXTURE
- ⊕ = RECESSED, LED - WALL

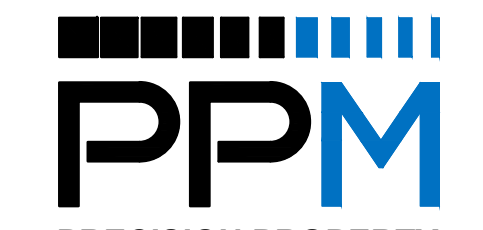
KEY NOTES

- 1 (E) DEMO. WALLS
- 2 (E) DEMO. CEILING ACCESS
- 3 (E) DEMO. SKYLIGHT, REPAIR ROOF/CEILING
- 4 (N) SKYLIGHT
- 5 (E) SKYLIGHT, REPLACE WITH (N) SYLIGHT



NOTES:
1. ALL DIMS. ARE APPROX. V.I.F.

DRAFTED BY:



PRECISION PROPERTY MEASUREMENTS
3626 E. PACIFIC COAST HIGHWAY | 2ND FLOOR
LONG BEACH, CA | 90804
T 562.621.9100
F 888.698.2966
WWW.PPMCO.NET

(AS-BUILT DRAWINGS ONLY)

REVISION DATES:

- 02/19/20
- 02/26/20
- 03/24/20
- 04/10/20
- 05/30/20
- 08/30/20

michelle.m chu
INTERIORS

82 LAUREL DRIVE, CARMEL VALLEY, CA 93924
www.michellemchuiinteriors.com
NO 510.410.7570
michelle@michellemchuiinteriors.com

PROJECT NAME:

LINFESTY RESIDENCE
4 OAK KNOLL WAY
CARMEL-BY-THE-SEA, CA 93923
APN: 009-201-008-000

DRAWN BY:

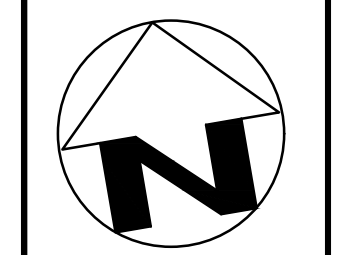
M. CHU

SCALE:

1/4" = 1'-0"

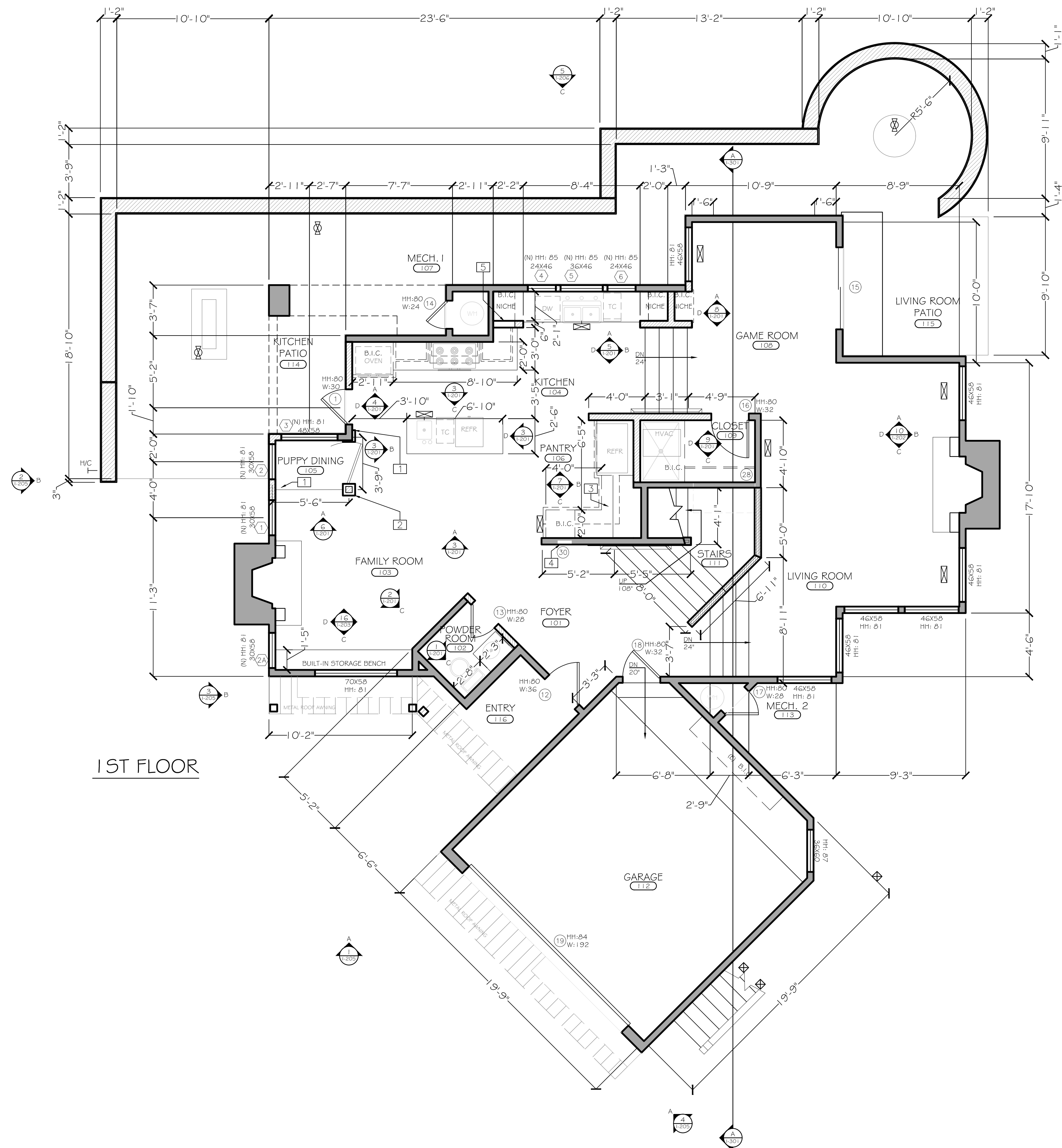
DATE:

JANUARY 17, 2020



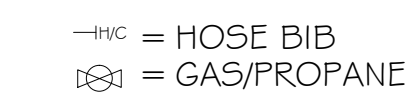
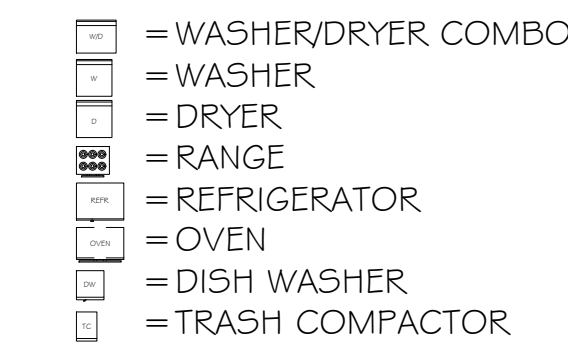
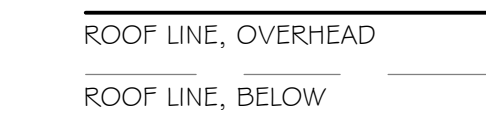
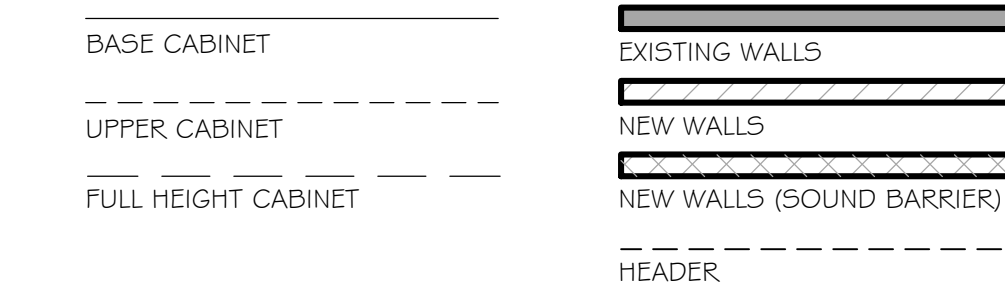
PROPOSED DEMO FLOOR PLAN - THIRD/LOFT FLOOR

AD103



1ST FLOOR

LEGEND



KEY NOTES

- 1 (N) PILASTER, DECORATIVE RECLAIMED WOOD
- 2 (N) STRUCTURAL POST, WRAPPED W/RECLAIMED WOOD
- 3 (N) B.I.C., WALK-IN PANTRY
- 4 (N) ELEC. BOX @ FOYER ACCESS
- 5 (N) OPEN WALL @ BASE FOR CORNER OPTIMIZER

NOTES:

- 1. ALL DIMS. ARE APPROX. V.I.F.

DRAFTED BY:



3626 E. PACIFIC COAST
HIGHWAY | 2ND FLOOR
LONG BEACH, CA | 90804
T 562.621.9100
F 888.698.2966
WWW.PPMCO.NET

(AS-BUILT DRAWINGS ONLY)

REVISION DATES:

- 02/19/20
- 02/26/20
- 03/24/20
- 04/10/20
- 04/28/20
- 05/30/20
- 06/30/20
- 08/30/20

michelle.m chu
INTERIORS

82 LAUREL DRIVE, CARMEL VALLEY, CA 93924
www.michellemchuinteriors.com
NO 510.410.7570
michelle@michellemchuinteriors.com

PROJECT NAME:

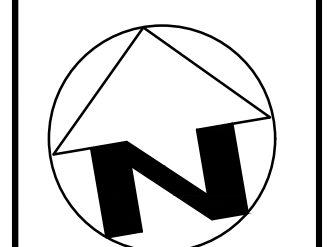
LINFESTY RESIDENCE
4 OAK KNOLL WAY
CARMEL-BY-THE-SEA, CA 93923

APN: 009-201-008-000

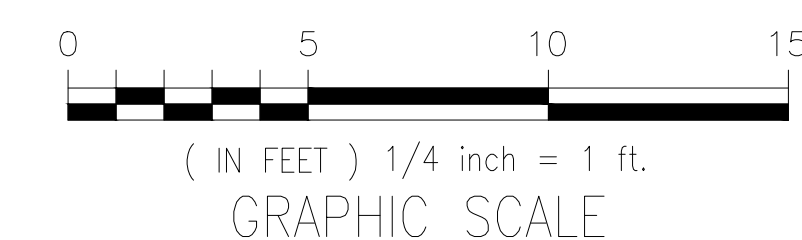
DRAWN BY: M. CHU

SCALE: 1/4" = 1'-0"

DATE: JANUARY 17, 2020

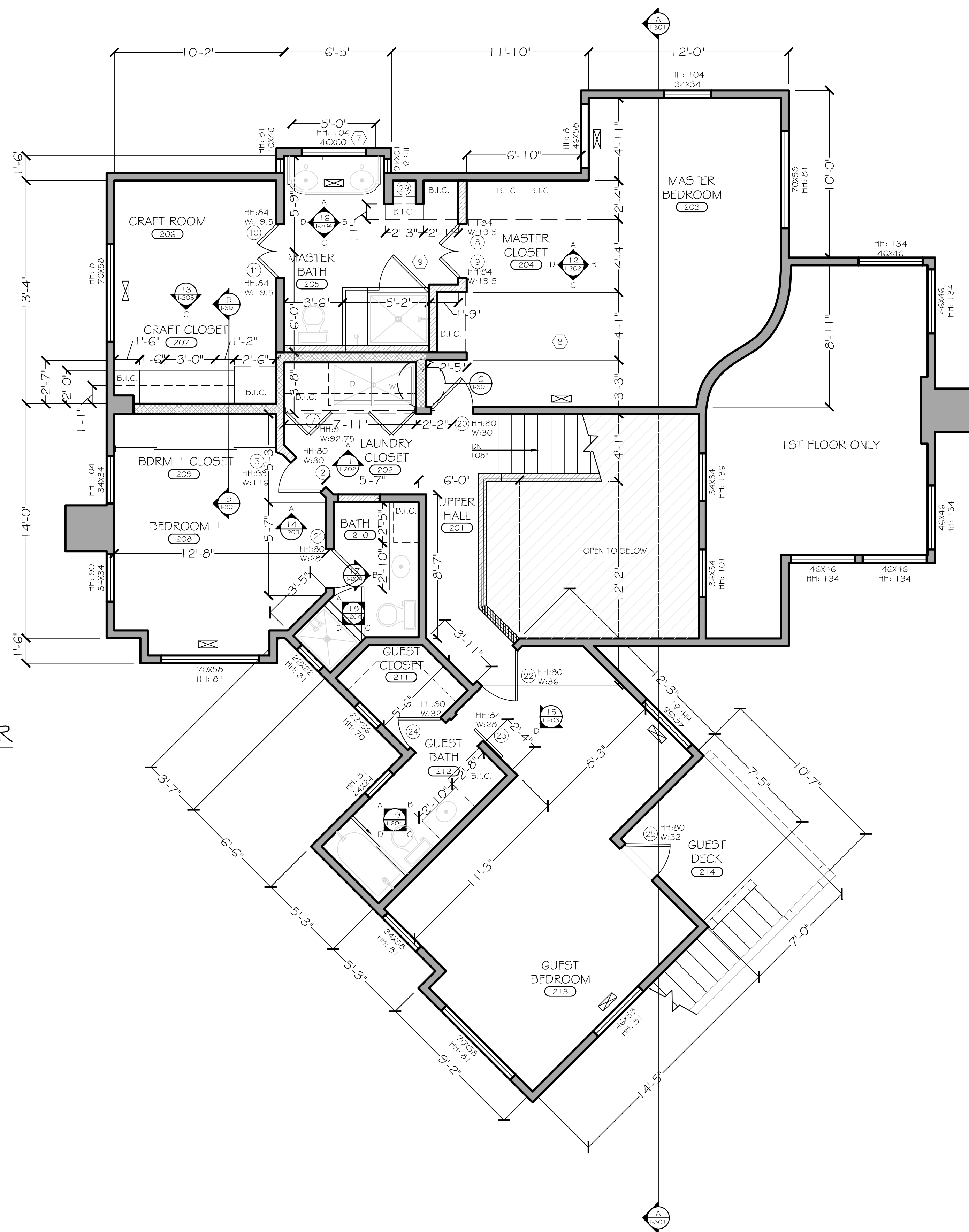


PROPOSED
FLOOR PLAN -
FIRST FLOOR

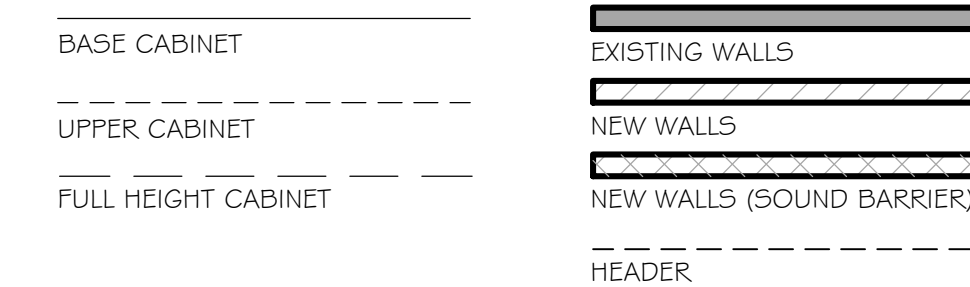


A-101

2ND FLOOR



LEGEND



(N) = (N) WINDOW
 (D) = (N) DOOR
 (N) = KEY NOTE
 (S) = FF+E SCHEDULE

☐ = WASHER/DRYER COMBO
 ☐ = WASHER
 ☐ = DRYER
 ☐ = RANGE
 ☐ = REFRIGERATOR
 ☐ = OVEN
 ☐ = DISH WASHER
 ☐ = TRASH COMPACTOR

—HC = HOSE BIB
 Ⓜ = GAS/PROPANE

NOTES:

1. ALL DIMS. ARE APPROX. V.I.F.

DRAFTED BY:



3626 E. PACIFIC COAST
 HIGHWAY | 2ND FLOOR
 LONG BEACH, CA | 90804
 T 562.621.9100
 F 888.698.2966
 WWW.PPMCO.NET

(AS-BUILT DRAWINGS ONLY)

REVISION DATES:

02/19/20
 02/26/20
 03/24/20
 04/10/20
 04/28/20
 05/30/20
 06/30/20
 08/30/20

michelle.m chu
 INTERIORS

82 LAUREL DRIVE, CARMEL VALLEY, CA 93924
 www.michellemchuinteriors.com
 NO 510.410.7570
 michelle@michellemchuinteriors.com

PROJECT NAME:

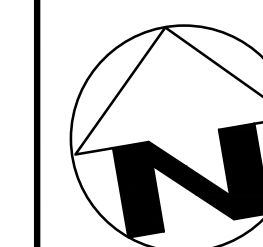
LINFESTY RESIDENCE
 4 OAK KNOLL WAY
 CARMEL-BY-THE-SEA, CA 93923

APN: 009-201-008-000

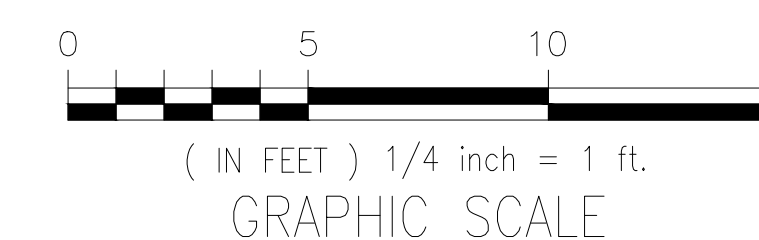
DRAWN BY: M. CHU

SCALE: 1/4" = 1'-0"

DATE: JANUARY 17, 2020

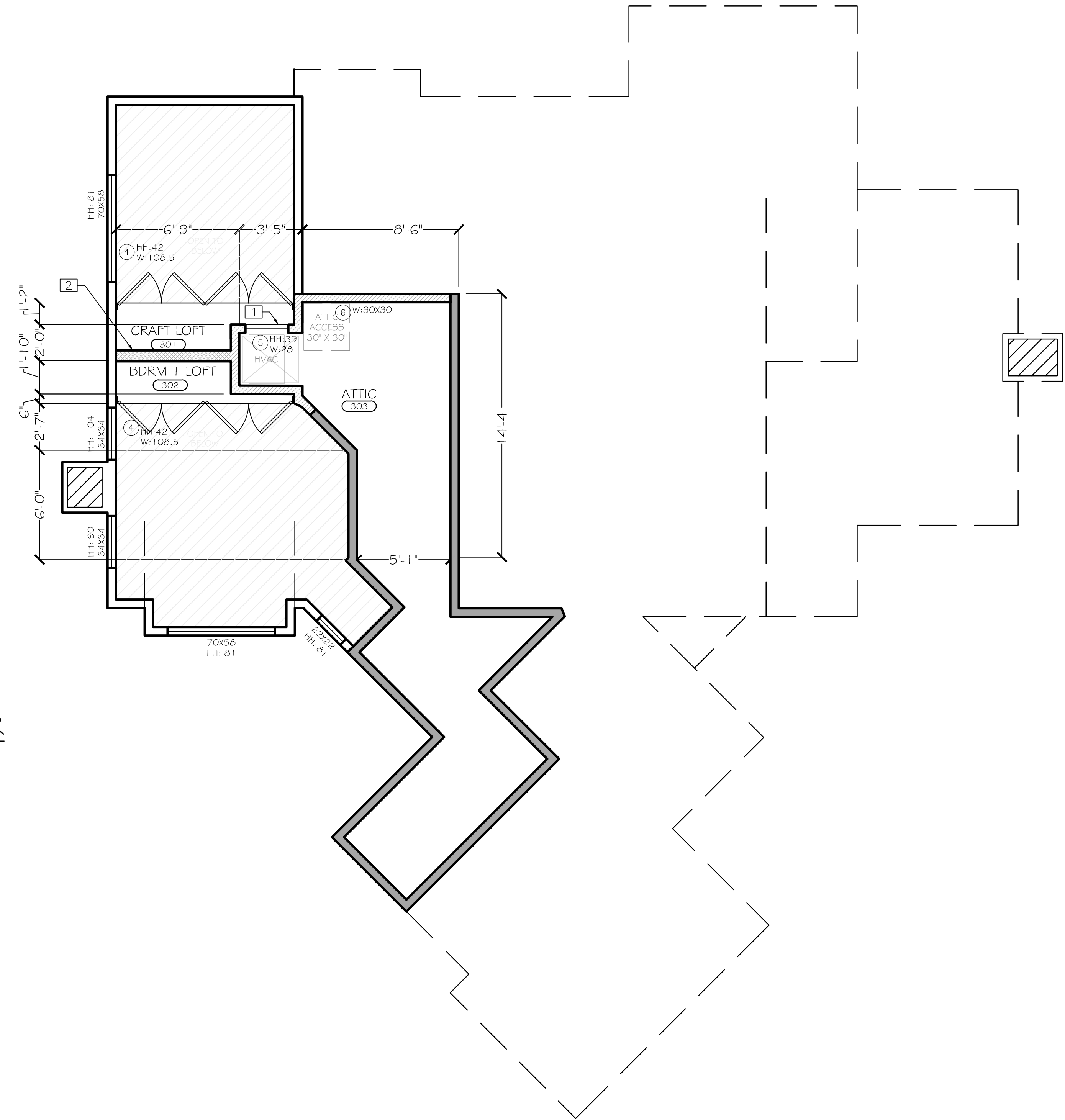


PROPOSED
 FLOOR PLAN -
 SECOND FLOOR

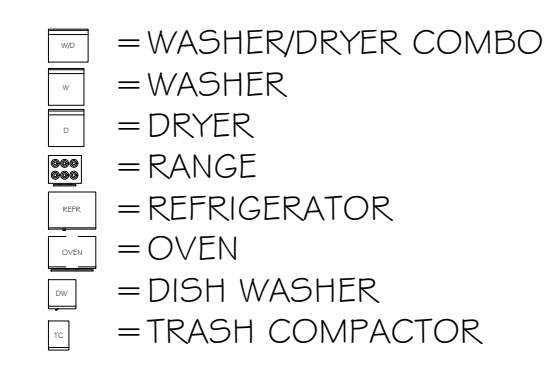
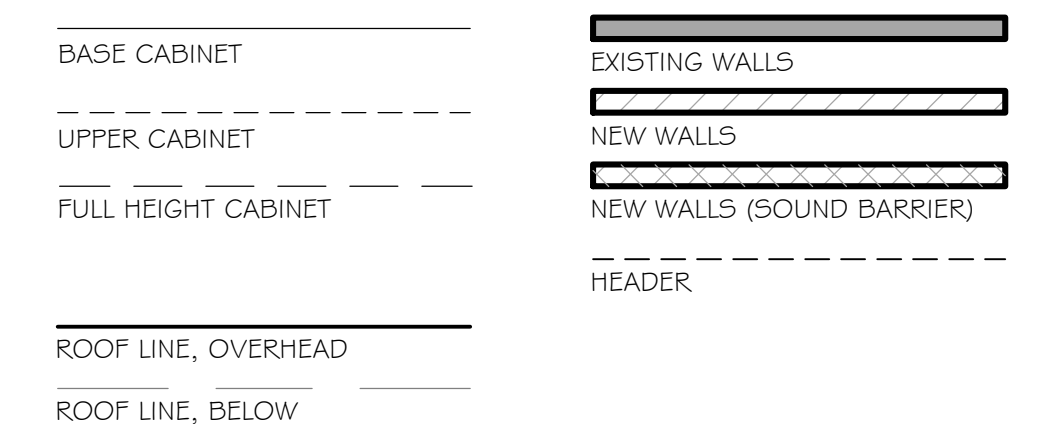


A-102

3RD FLOOR

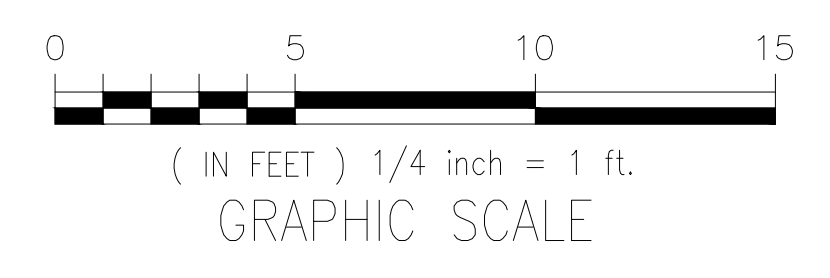


LEGEND



KEY NOTES

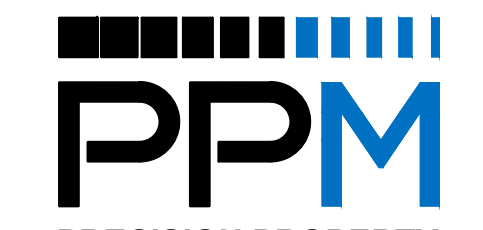
- 1 (N) HVAC & ATTIC ACCESS
- 2 (N) LOFT @ CRAFT ROOM & BEDROOM I - SOUND BARRIER PARTITION TO BE EASILY REMOVED IN FUTURE



NOTES:

- 1. ALL DIMS. ARE APPROX. V.I.F.

DRAFTED BY:



3626 E. PACIFIC COAST
 HIGHWAY | 2ND FLOOR
 LONG BEACH, CA | 90804
 T 562.621.9100
 F 888.698.2966
 WWW.PPMCO.NET

(AS-BUILT DRAWINGS ONLY)

REVISION DATES:

- 02/19/20
- 02/26/20
- 03/24/20
- 04/10/20
- 04/28/20
- 05/30/20
- 06/30/20
- 08/30/20

michelle.m chu
INTERIORS

82 LAUREL DRIVE, CARMEL VALLEY, CA 93924
 www.michellemchuinteriors.com
 NO 510.410.7570
 michelle@michellemchuinteriors.com

PROJECT NAME:

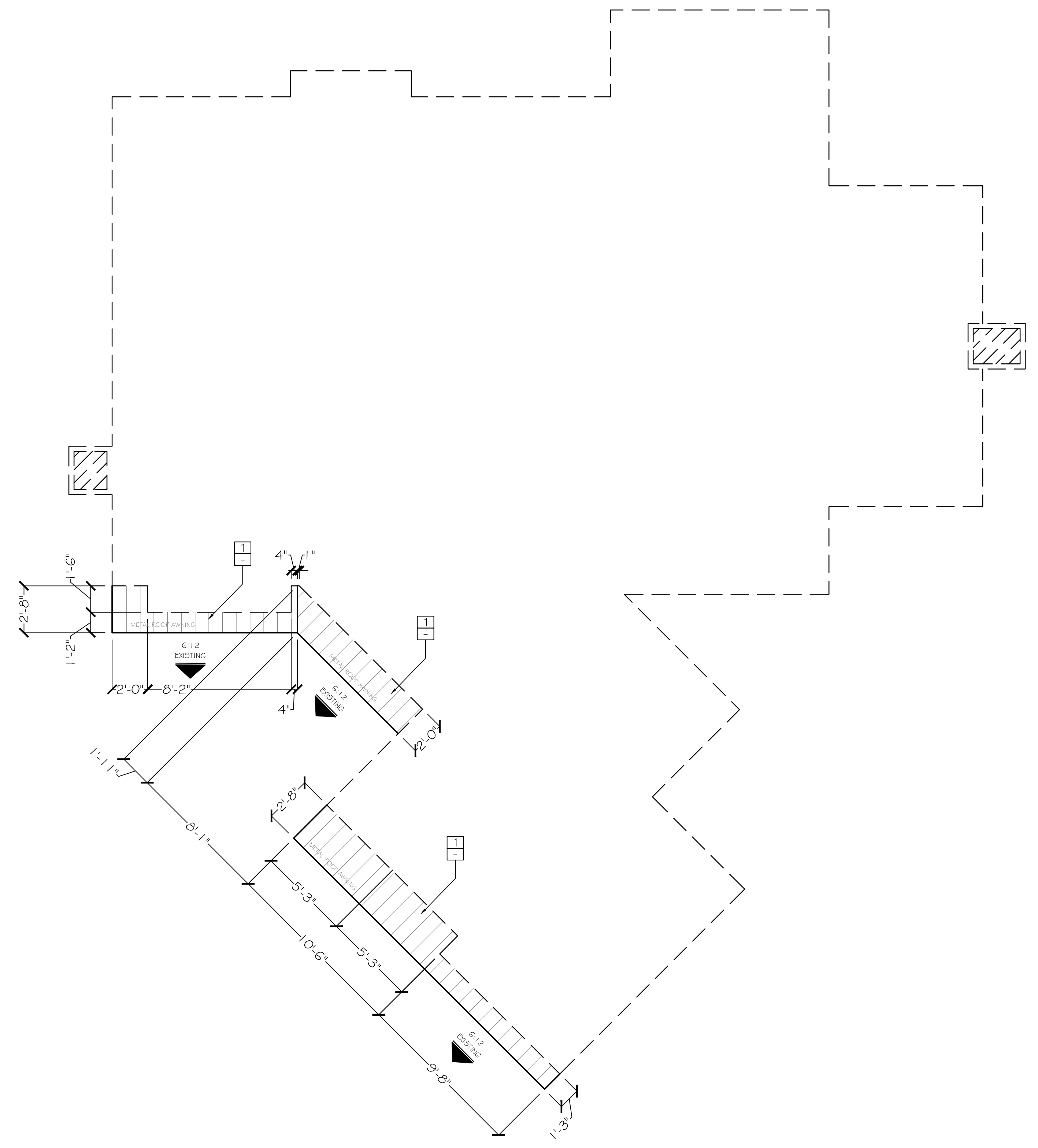
LINFESTY RESIDENCE
 4 OAK KNOLL WAY
 CARMEL-BY-THE-SEA, CA 93923

APN: 009-201-008-000

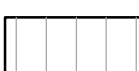
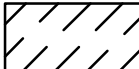
DRAWN BY:	M. CHU
SCALE:	1/4" = 1'-0"
DATE:	JANUARY 17, 2020



A-103

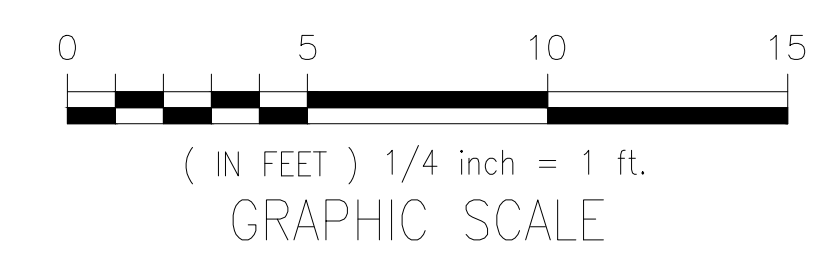


LEGEND

- BLDG. FOOTPRINT
- ROOF LINE
- - - SKYLIGHT
-  ROOF, METAL
-  CHIMNEY

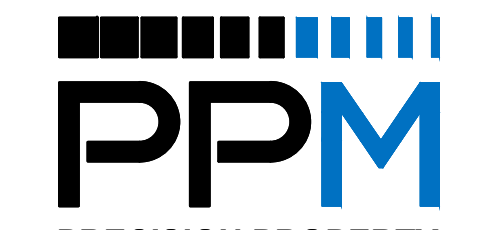
KEY NOTES

- 1 (N) METAL, STANDING SEAM ROOF @ AWNING. SEE ELEVATIONS FOR DETAILS



NOTES:
1. ALL DIMS. ARE APPROX. V.I.F.

DRAFTED BY:



PRECISION PROPERTY MEASUREMENTS
3626 E. PACIFIC COAST HIGHWAY | 2ND FLOOR
LONG BEACH, CA | 90804
T 562.621.9100
F 888.698.2966
WWW.PPMCO.NET

(AS-BUILT DRAWINGS ONLY)

REVISION DATES:

- 03/24/20
- 04/10/20
- 05/30/20
- 06/30/20
- 08/30/20

michelle.m chu
INTERIORS

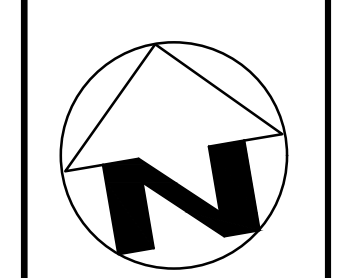
82 LAUREL DRIVE, CARMEL VALLEY, CA 93924
www.michellemchuinterior.com
NO 510.410.7570
michelle@michellemchuinterior.com

PROJECT NAME:

LINFESTY RESIDENCE
4 OAK KNOLL WAY
CARMEL-BY-THE-SEA, CA 93923

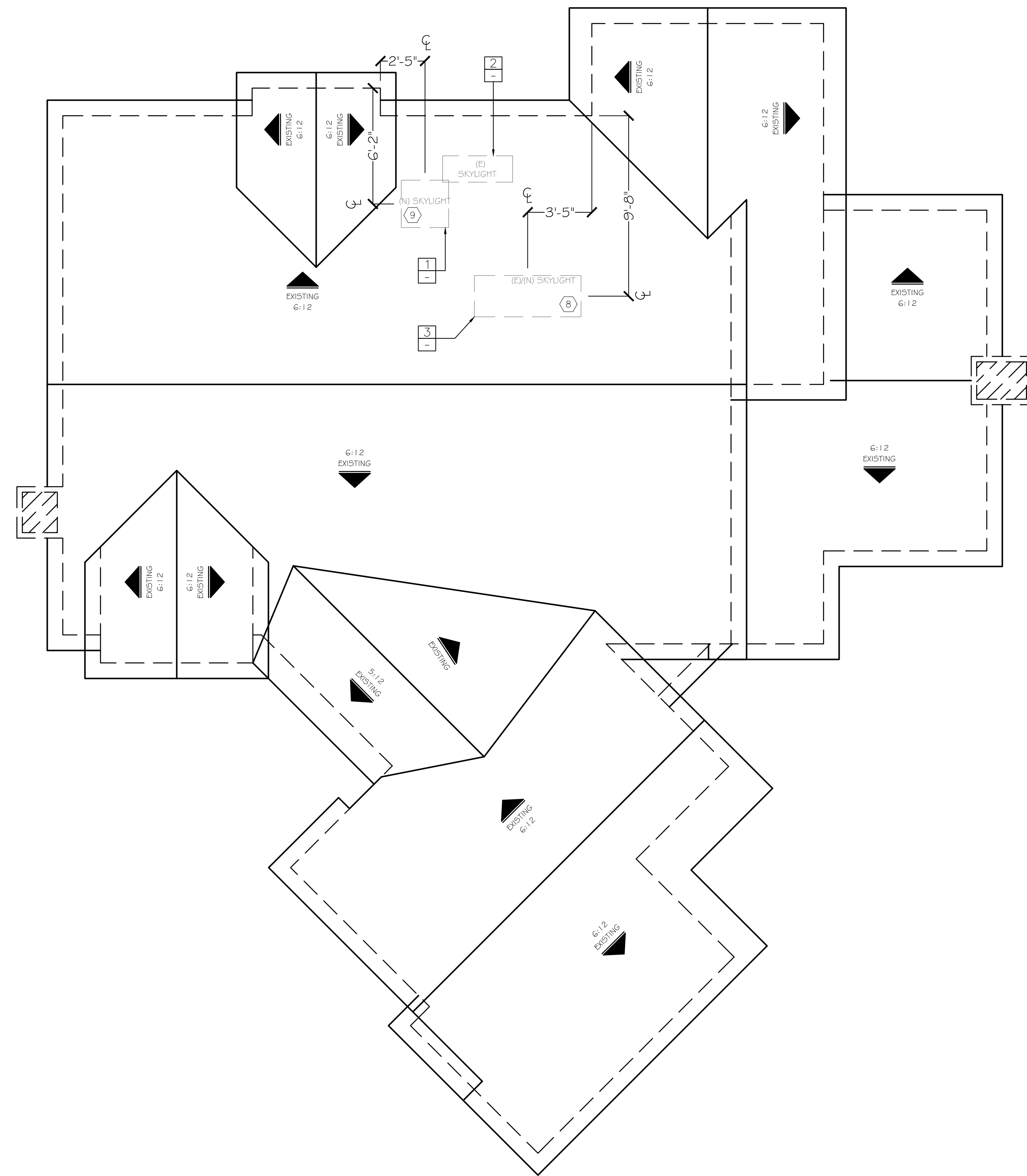
APN: 009-201-008-000

DRAWN BY:	M. CHU
SCALE:	1/4" = 1'-0"
DATE:	JAN. 17, 2020





PROPOSED
ROOF PLAN -
LOWER LEVEL

A-104

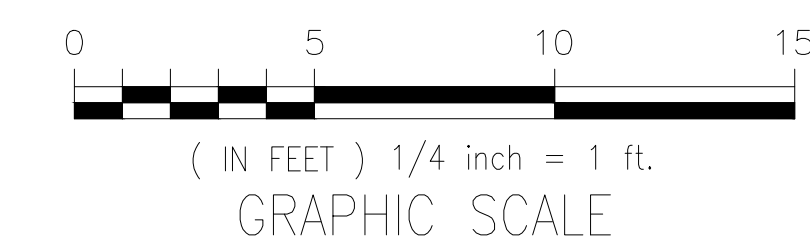


LEGEND

- BLDG. FOOTPRINT
- ROOF LINE
- - - SKYLIGHT
-  ROOF, METAL
-  CHIMNEY

KEY NOTES

- 1 (N) SKYLIGHT - CONTRACTOR TO CONFIRM LOCATION, FLASHING TO MATCH (E) ROOF COLOR, SEE ELEVATIONS & WINDOW/DOOR SCHEDULE FOR SPECIFICATIONS
- 2 (E) REMOVE EXISTING SKYLIGHT, REPAIR ROOF TO MATCH EXISTING
- 3 (N) SKYLIGHT - SIZE TO MATCH EXISTING, FLASHING TO MATCH (E) ROOF COLOR, SEE ELEVATIONS & WINDOW/DOOR SCHEDULE FOR SPECIFICATIONS



NOTES:
1. ALL DIMS. ARE APPROX. V.I.F.

DRAFTED BY:



PRECISION PROPERTY MEASUREMENTS
3626 E. PACIFIC COAST HIGHWAY | 2ND FLOOR
LONG BEACH, CA | 90804
T 562.621.9100
F 888.698.2966
WWW.PPMCO.NET

(AS-BUILT DRAWINGS ONLY)

REVISION DATES:

- 03/24/20
- 04/10/20
- 05/30/20
- 06/30/20
- 08/30/20

michelle.m chu
INTERIORS

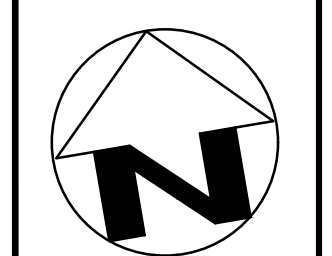
82 LAUREL DRIVE, CARMEL VALLEY, CA 93924
www.michellemchuiinteriors.com
NO 510.410.7570
michelle@michellemchuiinteriors.com

PROJECT NAME:

LINFESTY RESIDENCE
4 OAK KNOLL WAY
CARMEL-BY-THE-SEA, CA 93923

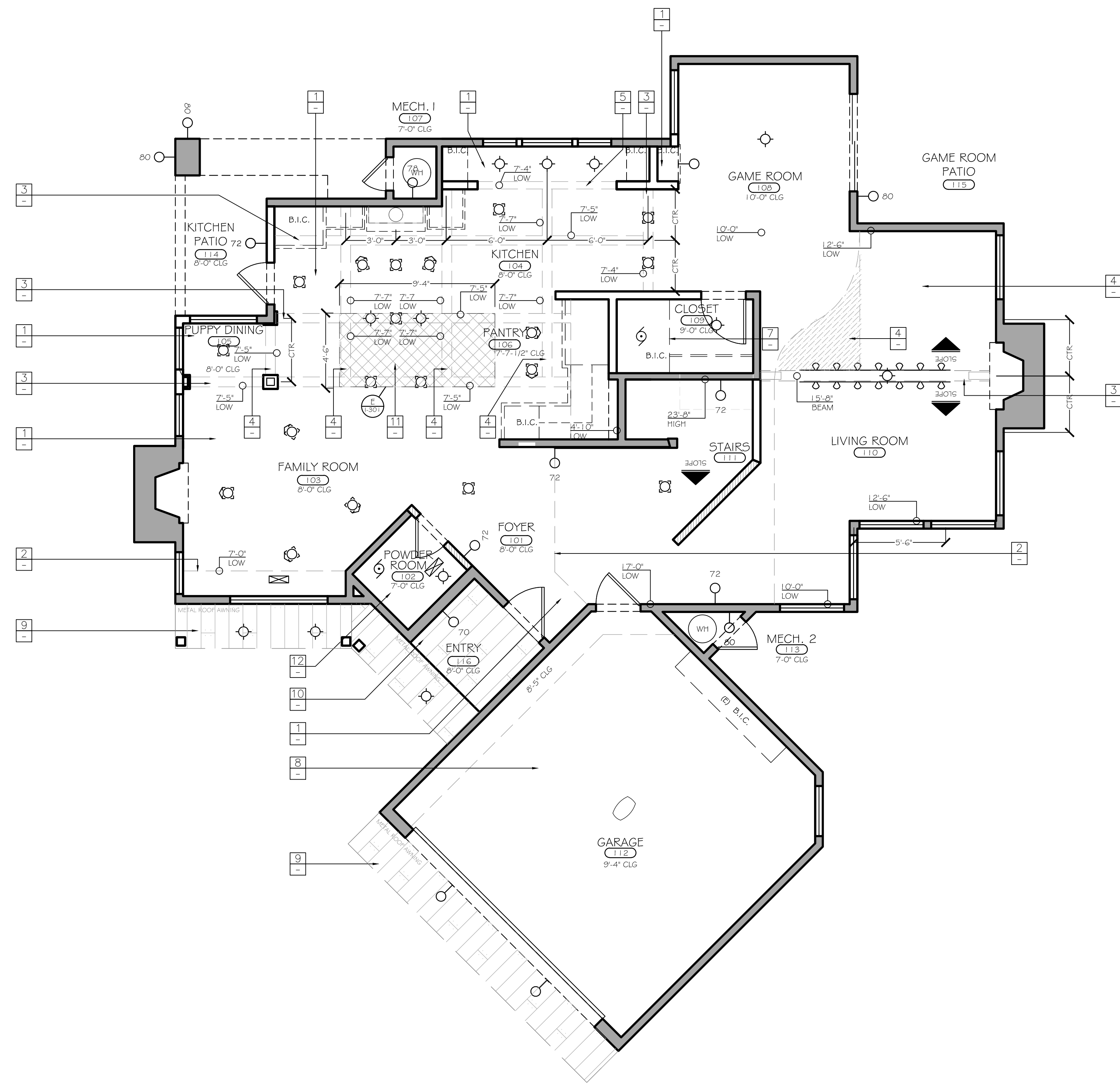
APN: 009-201-008-000

DRAWN BY: M. CHU
SCALE: 1/4" = 1'-0"
DATE: JAN. 17, 2020



PROPOSED
ROOF PLAN -
UPPER LEVEL

A-105



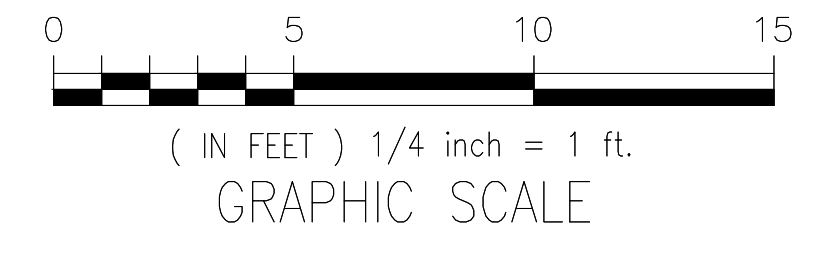
LEGEND

- | | |
|---------------------|-----------------------------------|
| BASE CABINET | EXISTING WALLS |
| UPPER CABINET | NEW WALLS |
| FULL HEIGHT CABINET | NEW WALLS (SOUND BARRIER) |
| ELECTRICAL LINE | HEADER |
| ROOF LINE, OVERHEAD | CEILING BEAMS/MILLWORK |
| ROOF LINE, BELOW | DECORATIVE CEILING BEAMS/MILLWORK |

- | | | | |
|----------------------------------|----------------------------|-------------------------------|--|
| (#) = (N) WINDOW | (#) = (N) DOOR | (#) = KEY NOTE | (#) = FF#E SCHEDULE |
| [] = WASHER/DRYER COMBO | [] = WASHER | [] = DRYER | [] = RANGE |
| [] = REFRIGERATOR | [] = OVEN | [] = DISH WASHER | [] = TRASH COMPACTOR |
| [] = SWITCH | [] = OUTLET, SINGLE | [] = OUTLET, SINGLE W/GFCI | [] = OUTLET, DUPLEX |
| [] = OUTLET, QUADRUPLEX | [] = OUTLET, 220V | [] = OUTLET, FLOOR DUPLEX | [] = OUTLET, FLOOR QUADRUPLEX |
| [] = OUTLET, CEILING | [] = OUTLET, GFCI DUPLEX | [] = OUTLET, SPECIAL PURPOSE | [] = WALL MOUNT CAMERA |
| [] = COVER PLATE ON WALL | [] = THERMOSTAT | [] = AUDIO VOLUME CONTROLS | [] = SPEAKER - WALL |
| [] = DISCONNECT SWITCH | [] = WALL-MOUNTED FIXTURE | [] = UNDERCABINET - RECESSED | [] = LED TRACK LIGHTING |
| [] = RECESSED, LED DIRECTIONAL | [] = RECESSED, LED | [] = FAN/VENT W/SENSOR | [] = CEILING, SURFACE MOUNTED FIXTURE |
| [] = RECESSED, LED - WALL | [] = HOSE BIB | [] = GAS/PROPANE | [] = ELECTRICAL PANEL - FLUSH |
| [] = ELECTRICAL PANEL - MOUNTED | [] = TELEPHONE JACK | [] = DATA/INTERNET JACK | [] = CABLE TV JACK |
| [] = EQUIPMENT- MISC. | [] = POWER POLE | [] = BLANK | [] = AUDIO / VIDEO |
| [] = ROUTER | [] = SECURITY KEY PAD | [] = REMOTE DOOR RELEASE | [] = SENSOR |
| [] = CONDUIT | [] = J-BOX | [] = HVAC VENT - CEILING | [] = HVAC VENT - CABINET BASE |
| [] = FIRE/CARBON MONOXIDE ALARM | | | |

KEY NOTES

- 1 (N) REPAIR GYP. BD., TEXTURE & PRIME (MATCH EXISTING)
- 2 (E) SOFFIT EDGE, REPAIR AS NEEDED (MATCH EXISTING)
- 3 (N) BOXED BEAM (MAJOR) - MILLWORK W/RECESSED LIGHT
- 4 (E) REFINISH CEILING HEIGHT CHANGE, REMOVE S-CURVE @ CEILING VOID, GYP. BD. FINISH & SLOPE TO MATCH EXISTING
- 5 (N) BOXED BEAM (MINOR) - MILLWORK
- 6 (N) REPAIR GYP. BD., TEXTURE W/EASED OUTER EDGE (MATCH EXISTING)
- 7 (N) MECHANICAL IN CEILING PLENUM, GYP. BD. TEXTURE & PRIME (MATCH EXISTING)
- 8 (E) CEILING, AS IS
- 9 (N) AWNING SOFFIT, T&G WOOD, STAIN GRADE (MATCH MILLWORK @ AWNING)
- 10 (N) REMOVE EXISTING DECO. BEAMS, CEILING FINISHED WITH T&G WOOD, PAINT GRADE (MATCH TRIM)
- 11 (N) GYP. BD., ACOUSTIC SOUND CONTROL CEILING
- 12 (N) GYP. BD., PAINT



NOTES:
1. ALL DIMS. ARE APPROX. V.I.F.

DRAFTED BY:

PPM
PRECISION PROPERTY MEASUREMENTS
3626 E. PACIFIC COAST HIGHWAY | 2ND FLOOR
LONG BEACH, CA | 90804
T 562.621.9100
F 888.698.2966
WWW.PPMCO.NET

(AS-BUILT DRAWINGS ONLY)

REVISION DATES:

- 02/19/20
- 02/26/20
- 03/24/20
- 04/10/20
- 05/30/20
- 06/30/20

michelle.m chu
INTERIORS

82 LAUREL DRIVE, CARMEL VALLEY, CA 93924
www.michellemchuinteriors.com
NO 510.410.7570
michelle@michellemchuinteriors.com

PROJECT NAME:

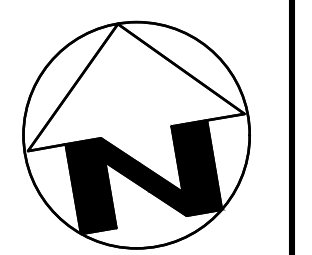
LINFESTY RESIDENCE
4 OAK KNOLL WAY
CARMEL-BY-THE-SEA, CA 93923

APN: 009-201-008-000

DRAWN BY: M. CHU

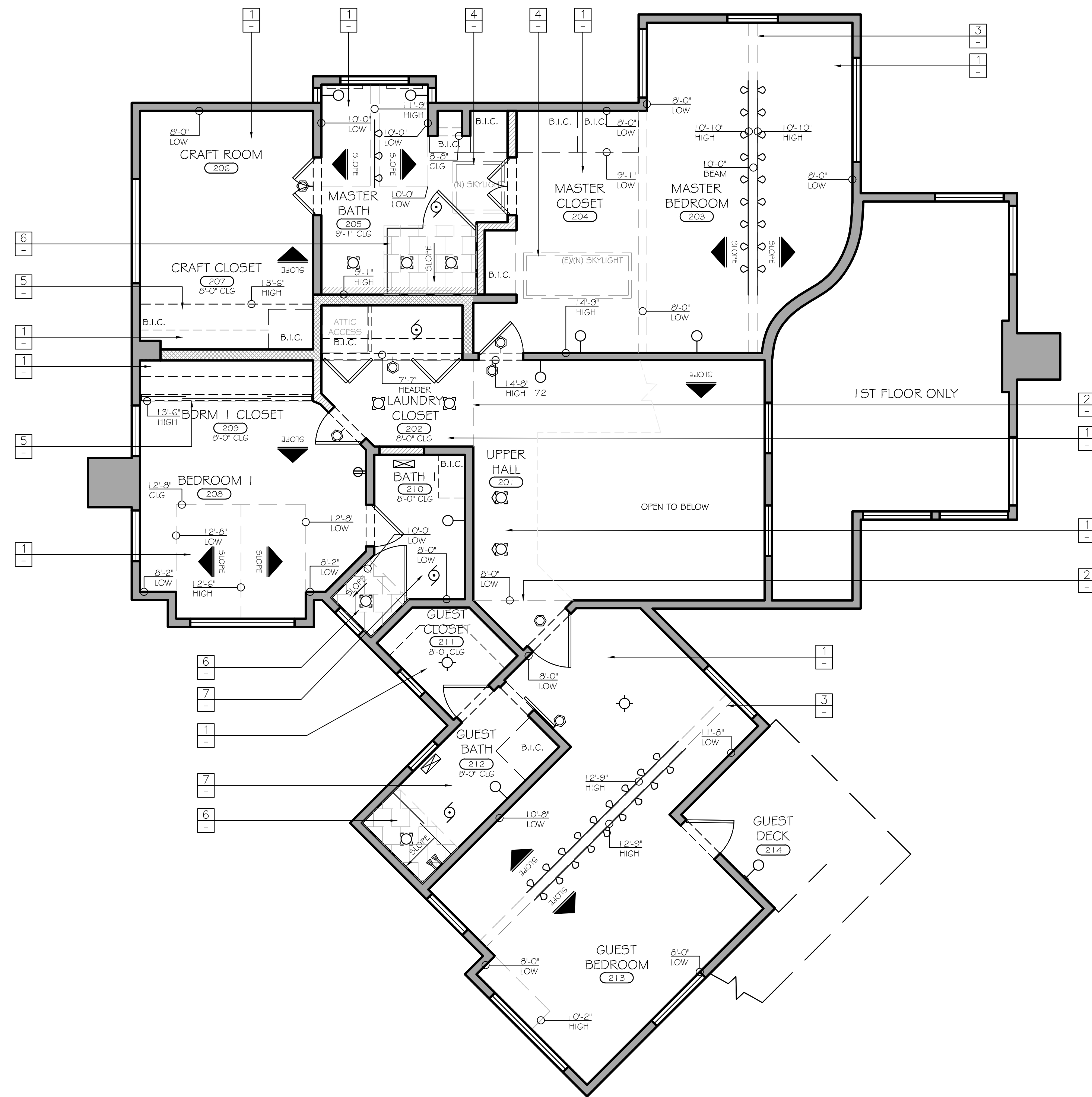
SCALE: 1/4" = 1'-0"

DATE: JANUARY 17, 2020



PROPOSED REFLECTED CEILING PLAN - FIRST FLOOR

1-104



LEGEND

BASE CABINET	EXISTING WALLS
UPPER CABINET	NEW WALLS
FULL HEIGHT CABINET	NEW WALLS (SOUND BARRIER)
ELECTRICAL LINE	HEADER
ROOF LINE, OVERHEAD	CEILING BEAMS/MILLWORK
ROOF LINE, BELOW	DECORATIVE CEILING BEAMS/MILLWORK

# = (N) WINDOW	# = KEY NOTE
# = (N) DOOR	# = FF#E SCHEDULE

<ul style="list-style-type: none"> [Symbol] = WASHER/DRYER COMBO [Symbol] = WASHER [Symbol] = DRYER [Symbol] = RANGE [Symbol] = REFRIGERATOR [Symbol] = OVEN [Symbol] = DISH WASHER [Symbol] = TRASH COMPACTOR 	<ul style="list-style-type: none"> [Symbol] = SWITCH [Symbol] = OUTLET, SINGLE [Symbol] = OUTLET, SINGLE W/GFCI [Symbol] = OUTLET, DUPLEX [Symbol] = OUTLET, QUADRUPLEX [Symbol] = OUTLET, 220V [Symbol] = OUTLET, FLOOR DUPLEX [Symbol] = OUTLET, FLOOR QUADRUPLEX [Symbol] = OUTLET, CEILING [Symbol] = OUTLET, GFCI DUPLEX [Symbol] = OUTLET, SPECIAL PURPOSE [Symbol] = WALL MOUNT CAMERA [Symbol] = COVER PLATE ON WALL [Symbol] = THERMOSTAT [Symbol] = AUDIO VOLUME CONTROLS [Symbol] = SPEAKER - WALL [Symbol] = DISCONNECT SWITCH [Symbol] = WALL-MOUNTED FIXTURE [Symbol] = UNDERCABINET - RECESSED [Symbol] = LED TRACK LIGHTING [Symbol] = RECESSED, LED DIRECTIONAL [Symbol] = RECESSED, LED [Symbol] = FAN/VENT W/SENSOR [Symbol] = CEILING, SURFACE MOUNTED FIXTURE [Symbol] = RECESSED, LED - WALL
<ul style="list-style-type: none"> [Symbol] ROOF, METAL [Symbol] TILE [Symbol] LEVEL 5 - WALL COVERING [Symbol] GYP. BD. W/SOUND BARRIER [Symbol] WOOD 	<ul style="list-style-type: none"> -HWC = HOSE BIB [Symbol] = GAS/PROPANE [Symbol] = ELECTRICAL PANEL - FLUSH [Symbol] = ELECTRICAL PANEL - MOUNTED [Symbol] = TELEPHONE JACK [Symbol] = DATA/INTERNET JACK [Symbol] = CABLE TV JACK [Symbol] = EQUIPMENT- MISC. [Symbol] = POWER POLE [Symbol] = BLANK [Symbol] = AUDIO / VIDEO [Symbol] = ROUTER [Symbol] = SECURITY KEY PAD [Symbol] = REMOTE DOOR RELEASE [Symbol] = SENSOR [Symbol] = CONDUIT [Symbol] = J-BOX [Symbol] = HVAC VENT - CEILING [Symbol] = HVAC VENT - CABINET BASE [Symbol] = FIRE/CARBON MONOXIDE ALARM

KEY NOTES

- 1 (N) GYP. BOARD, TEXTURED & PAINT TO MATCH EXISTING (AS NEEDED)
- 2 (E) SOFFIT, OUTER CORNER RADIUS EASED EDGE (STANDARD)
- 3 (N) BOXED BEAM (MAJOR) - MILLWORK W/RECESSED TRACK
- 4 (N) SKYLIGHT, GYP. BOARD TEXTURED & PAINTED (MATCH EXISTING)
- 5 (N) REMOVE HEADER, OPEN ATTIC SPACE ABOVE TO BEDROOM, OUTER CORNER RADIUS EASED EDGE (MATCH EXISTING)
- 6 (N) TILE, PREP CEILING (CONFIRM ON SLOPE @ 2:1:2 TO RECEIVE TILE)
- 7 (N) CEILING, 8'-0" HEIGHT W/GYP. BOARD, TEXTURE & PAINT (MATCH EXISTING)
- 8 (E) DEMO. - REMOVE SKYLIGHT



NOTES:

- 1. ALL DIMS. ARE APPROX. V.I.F.

DRAFTED BY:



3626 E. PACIFIC COAST
HIGHWAY | 2ND FLOOR
LONG BEACH, CA | 90804
T 562.621.9100
F 888.698.2966
WWW.PPMCO.NET

(AS-BUILT DRAWINGS ONLY)

REVISION DATES:

- 02/19/20
- 02/26/20
- 03/24/20
- 04/10/20
- 05/30/20
- 06/30/20

michelle.m chu
INTERIORS

82 LAUREL DRIVE, CARMEL VALLEY, CA 93924
www.michellemchuinteriors.com
NO 510.410.7570
michelle@michellemchuinteriors.com

PROJECT NAME:

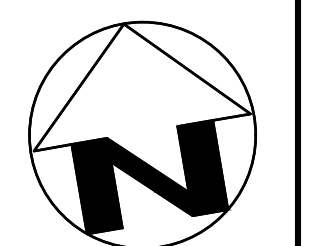
LINFESTY RESIDENCE
4 OAK KNOLL WAY
CARMEL-BY-THÉ-SEA, CA 93923

APN: 009-201-008-000

DRAWN BY: M. CHU

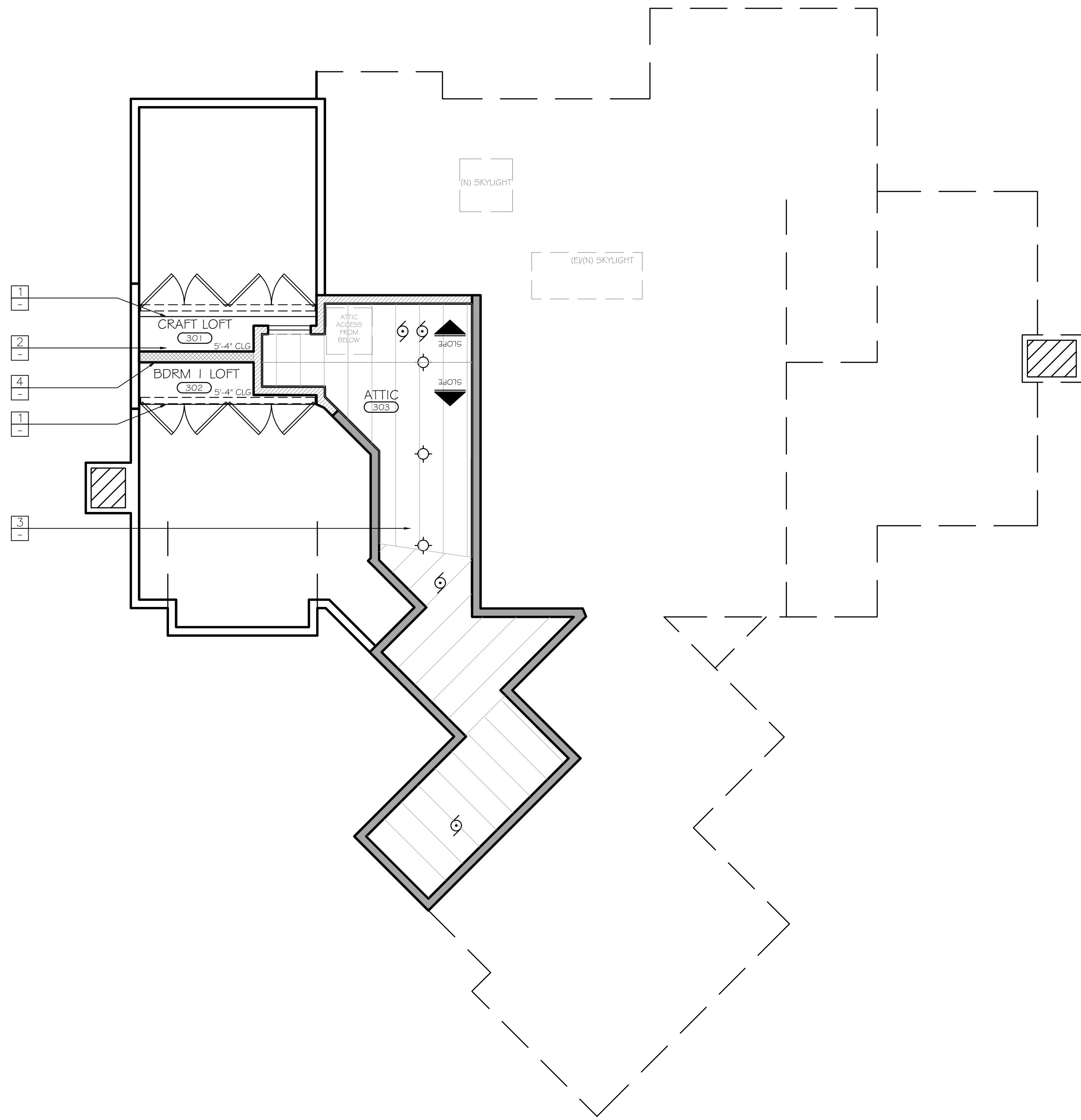
SCALE: 1/4" = 1'-0"

DATE: JANUARY 17, 2020



PROPOSED
REFLECTED
CEILING PLAN -
SECOND FLOOR

1-105



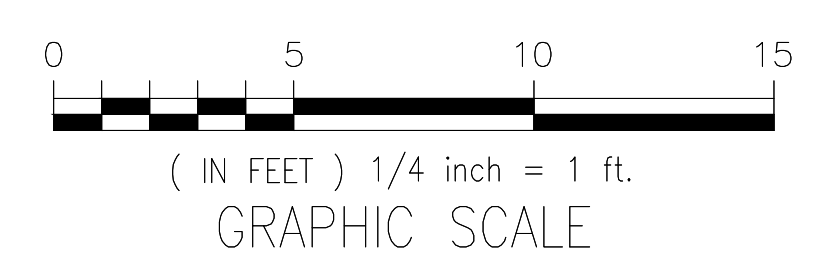
LEGEND

BASE CABINET	EXISTING WALLS
UPPER CABINET	NEW WALLS
FULL HEIGHT CABINET	NEW WALLS (SOUND BARRIER)
ELECTRICAL LINE	HEADER
ROOF LINE, OVERHEAD	CEILING BEAMS/MILLWORK
ROOF LINE, BELOW	DECORATIVE CEILING BEAMS/MILLWORK
BLDG. FOOTPRINT	

- # = (N) WINDOW
- # = (N) DOOR
- # = WASHER/DRYER COMBO
- # = WASHER
- # = DRYER
- # = RANGE
- # = REFRIGERATOR
- # = OVEN
- # = DISH WASHER
- # = TRASH COMPACTOR
- # = SWITCH
- # = OUTLET, SINGLE
- # = OUTLET, SINGLE W/GFCI
- # = OUTLET, DUPLEX
- # = OUTLET, QUADRUPLX
- # = OUTLET, 220V
- # = OUTLET, FLOOR DUPLEX
- # = OUTLET, FLOOR QUADRUPLX
- # = OUTLET, CEILING
- # = OUTLET, GFCI DUPLEX
- # = OUTLET, SPECIAL PURPOSE
- # = WALL MOUNT CAMERA
- # = COVER PLATE ON WALL
- # = THERMOSTAT
- # = AUDIO VOLUME CONTROLS
- # = SPEAKER - WALL
- # = DISCONNECT SWITCH
- # = WALL-MOUNTED FIXTURE
- # = UNDERCABINET - RECESSED
- # = LED TRACK LIGHTING
- # = RECESSED, LED DIRECTIONAL
- # = RECESSED, LED
- # = FAN/VENT W/SENSOR
- # = CEILING, SURFACE MOUNTED FIXTURE
- # = RECESSED, LED - WALL
- # = HOSE BIB
- # = GAS/PROPANE
- # = ELECTRICAL PANEL - FLUSH
- # = ELECTRICAL PANEL - MOUNTED
- # = TELEPHONE JACK
- # = DATA/INTERNET JACK
- # = CABLE TV JACK
- # = EQUIPMENT- MISC.
- # = POWER POLE
- # = BLANK
- # = AUDIO / VIDEO
- # = ROUTER
- # = SECURITY KEY PAD
- # = REMOTE DOOR RELEASE
- # = SENSOR
- # = CONDUIT
- # = J-BOX
- # = HVAC VENT - CEILING
- # = HVAC VENT - CABINET BASE
- # = FIRE/CARBON MONOXIDE ALARM

KEY NOTES

- 1 (N) HEADER @ 3'-6"H, OUTER CORNER RADIUS EASED EDGE (MATCH EXSITING)
- 2 (N) CEILING, GYP. BOARD, TEXTURED & PAINTED (MATCH EXISTING)
- 3 (N) EXPOSED FRAMING ABOVE
- 4 (N) ACOUSTIC SOUND CONTROL WALL



NOTES:
1. ALL DIMS. ARE APPROX. V.I.F.

DRAFTED BY:

PPM
PRECISION PROPERTY
MEASUREMENTS
3626 E. PACIFIC COAST
HIGHWAY | 2ND FLOOR
LONG BEACH, CA | 90804
T 562.621.9100
F 888.698.2966
WWW.PPMCO.NET

(AS-BUILT DRAWINGS ONLY)

REVISION DATES:

- 02/19/20
- 02/26/20
- 03/24/20
- 04/10/20
- 05/30/20
- 06/30/20

michelle.m chu
INTERIORS

82 LAUREL DRIVE, CARMEL VALLEY, CA 93924
www.michellemchuinteriors.com
NO 510.410.7570
michelle@michellemchuinteriors.com

PROJECT NAME:

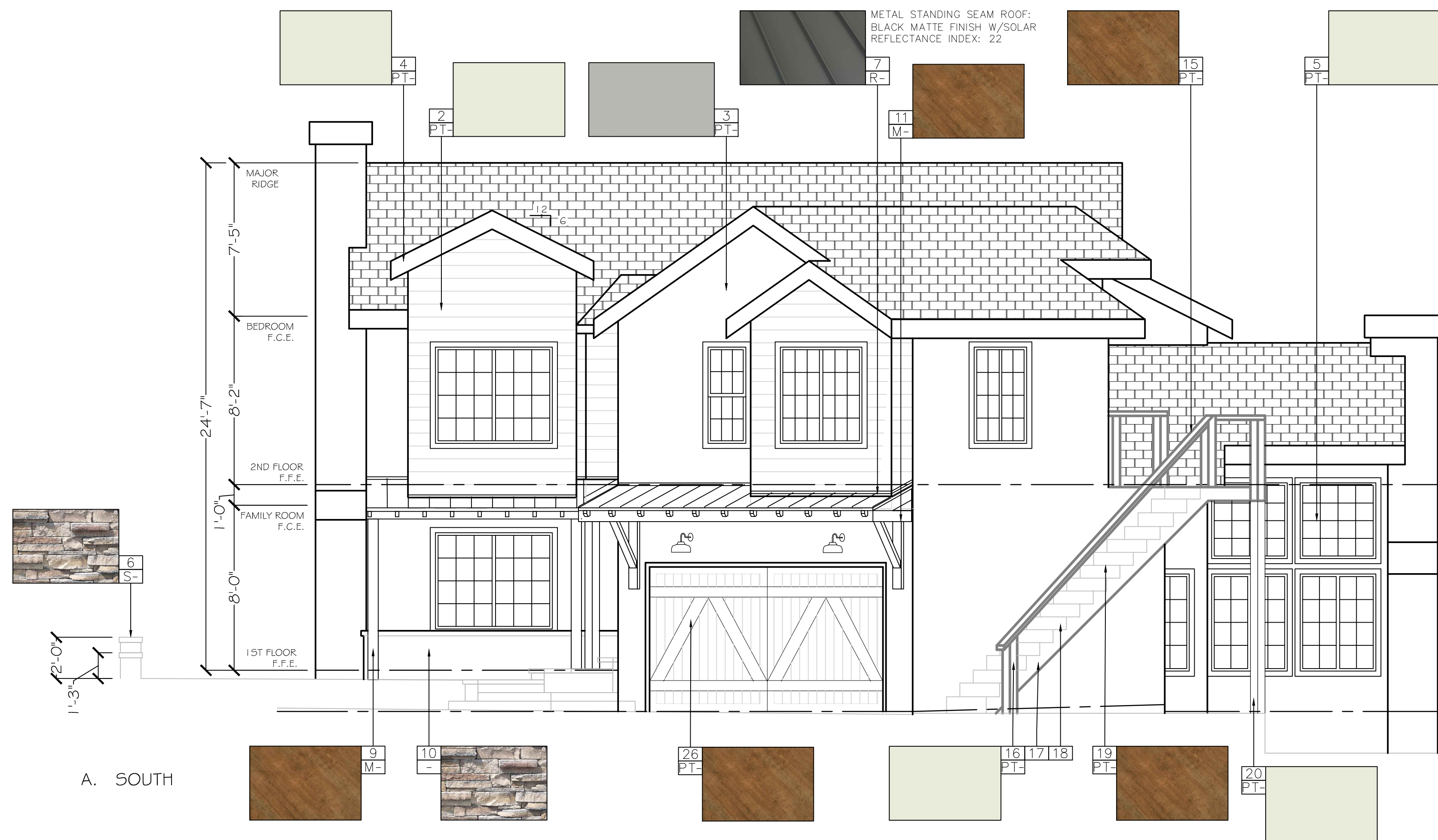
LINFESTY RESIDENCE
4 OAK KNOLL WAY
CARMEL-BY-THE-SEA, CA 93923

APN: 009-201-008-000

DRAWN BY:	M. CHU
SCALE:	1/4" = 1'-0"
DATE:	JANUARY 17, 2020

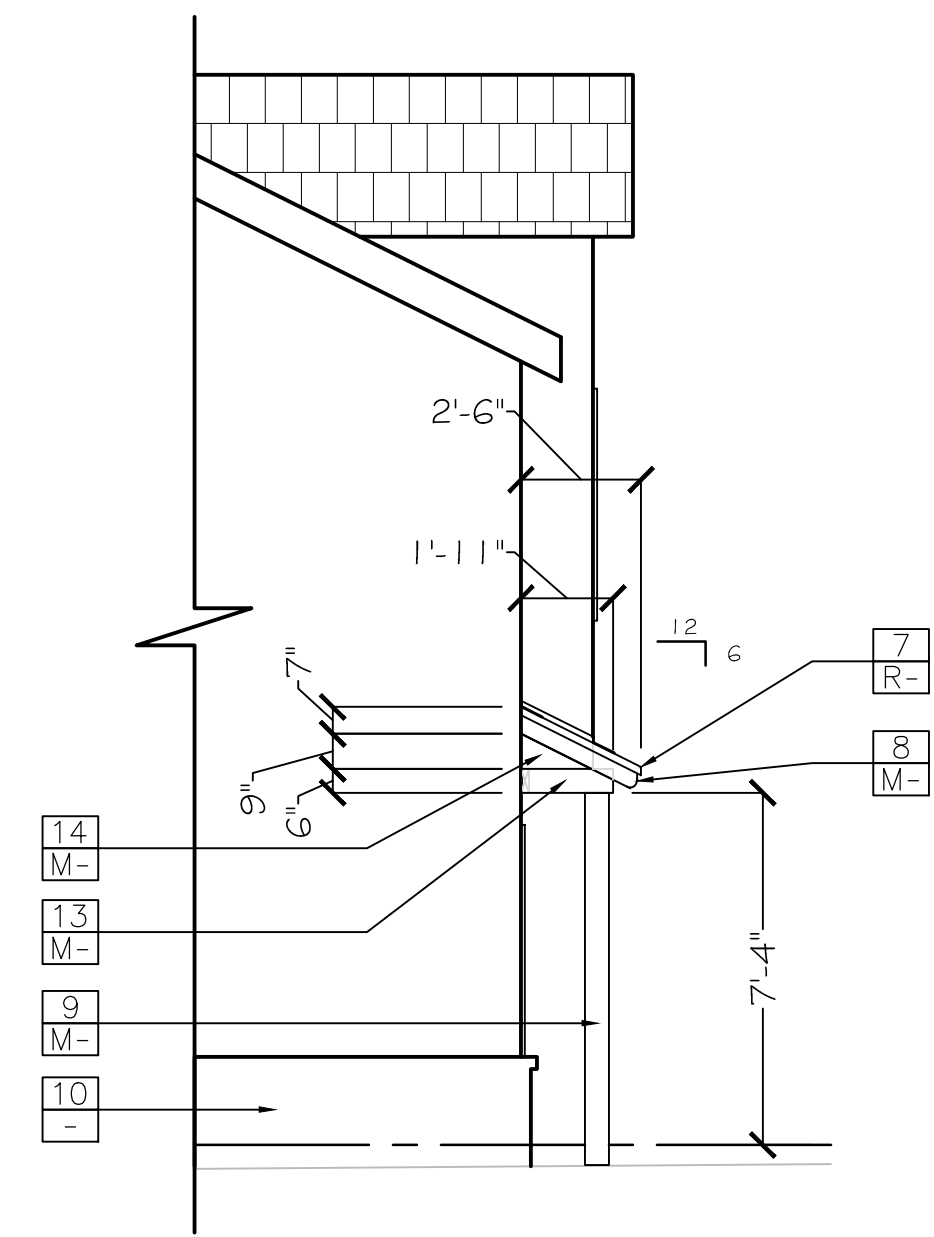
PROPOSED REFLECTED CEILING PLAN - THIRD FLOOR/LOFT

1-106



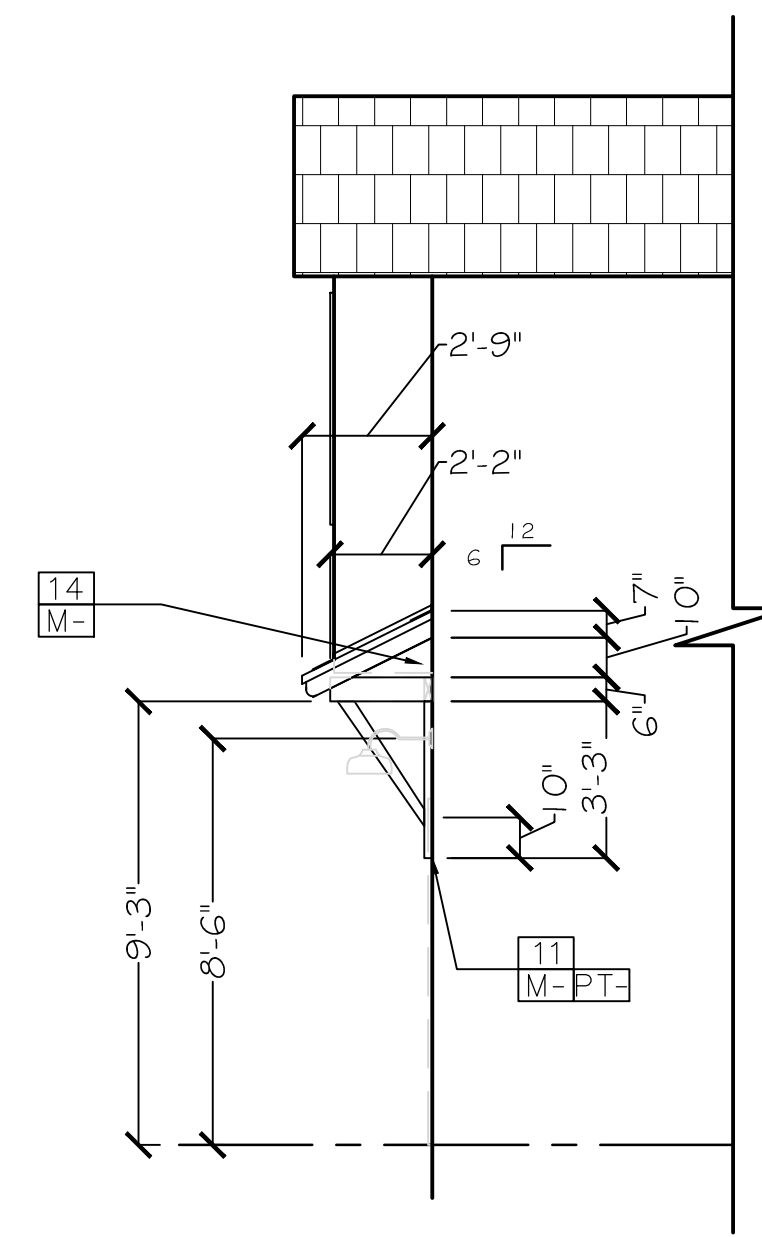
A. SOUTH

1 EXTERIOR ELEVATION - GARAGE DOOR



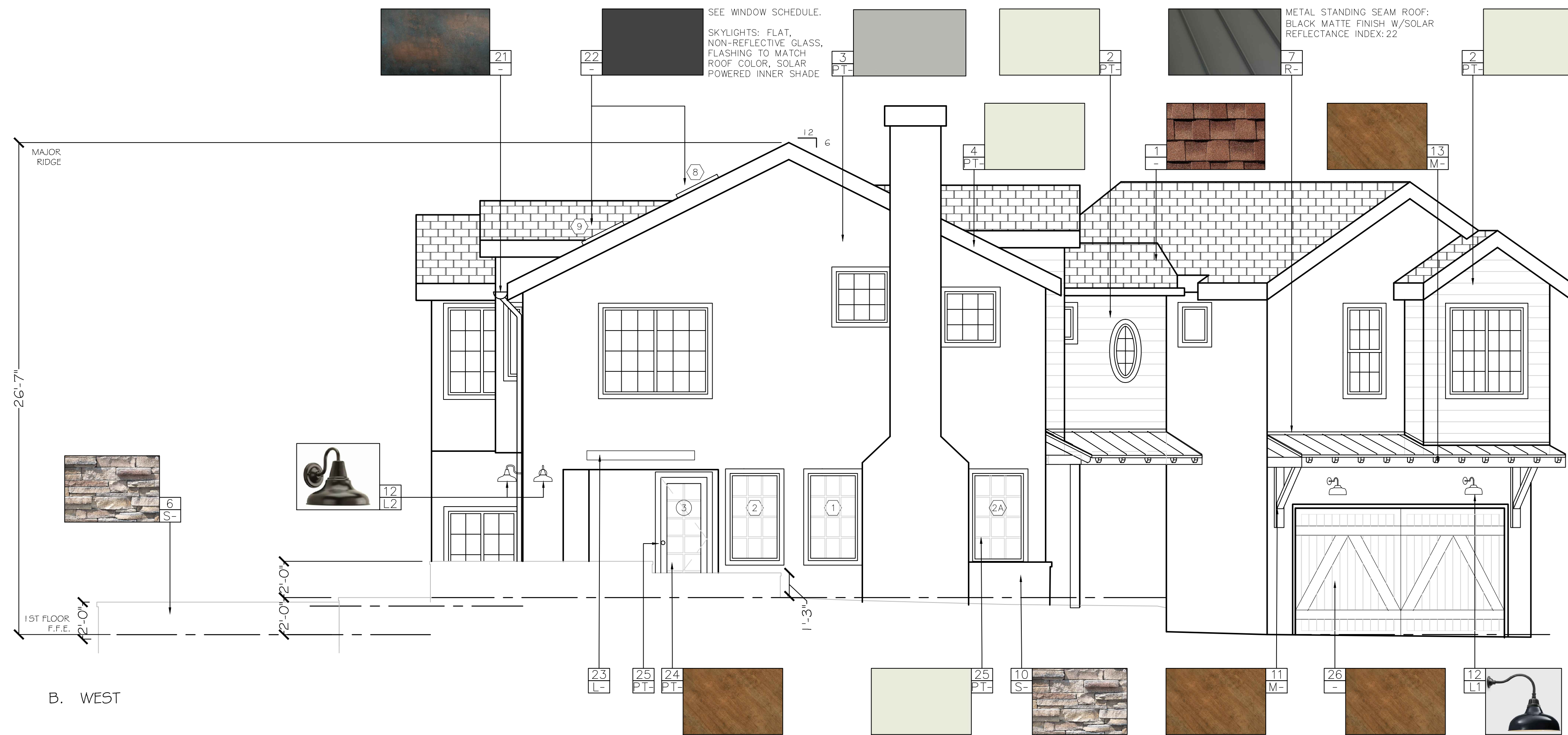
B. WEST (@ AWNING)

3 EXTERIOR ELEVATION



A. SOUTHEASTN (@ AWNING)

4 EXTERIOR ELEVATION

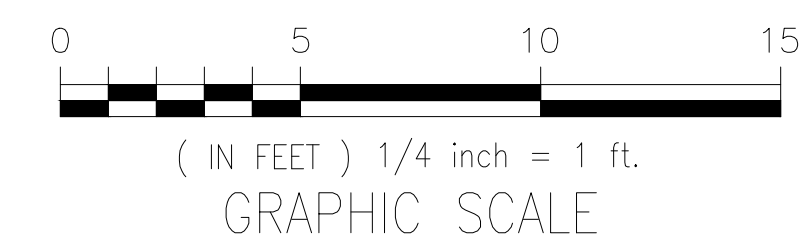


B. WEST

2 EXTERIOR ELEVATION

KEY NOTES

- 1 (E) ROOF TILES, REPAIR AS NEEDED (MATCH EXISTING)
- 2 (E) T&G, (N) PAINT
- 3 (E) STUCCO, (N) PAINT
- 4 (E) ROOF FASCIA, (N) PAINT
- 5 (E) TRIM, (N) PAINT
- 6 (N) RETAINING WALL W/STONE VENEER (MATCH EXISTING)
- 7 (N) AWNING ROOF, STANDING SEAM FULL INTERLOCK
- 8 (N) AWNING RAFTER, STAIN GRADE
- 9 (N) AWNING POST, STAIN GRADE
- 10 (E) STONE VENEER
- 11 (N) AWNING SUPPORT BRACKET SUPPORTS FASCIA, STAIN GRADE
- 12 (N) LIGHT, WALL SCONCE (OUTDOOR, LED WET-RATED, ON TIMER)
- 13 (N) AWNING FASCIA, STAIN GRADE
- 14 (N) AWNING WRAP AROUND FASCIA BOARD, STAIN GRADE
- 15 (E) GUARDRAIL, (N) PAINT (MATCH TRIM)
- 16 (E) HANDRAIL, (N) STAIN (MATCH AWNING)
- 17 (E) NEWEL POST/BALUSTRADE, (N) PAINT (MATCH TRIM)
- 18 (E) STRINGER, (N) PAINT (MATCH BALUSTRADE)
- 19 (E) RISERS, (N) PAINT (MATCH STRINGER/BALUSTRADE)
- 20 (E) TREAD, (N) STAIN (MATCH DECK/AWNING)
- 21 (E) DECK POST, (N) PAINT (MATCH STRINGER/BALUSTRADE)
- 22 (E) RAIN GUTTER SYSTEM, COPPER (AS IS), DRAIN TO EXISTING SEWER
- 23 (N) SKYLIGHT
- 24 (N) INSTALL ELEC. # GAS, FOR FUTURE WALL MOUNTED HEATER
- 25 (N) DOOR, NATURAL CLEAR COAT
- 26 (N) TRIM, PROFILE # PAINT (MATCH EXISTING)
- 27 (N) DOOR W/STAIN GRADE (MATCH AWNING)



NOTES:
1. ALL DIMS. ARE APPROX. V.I.F.

DRAFTED BY:



PRECISION PROPERTY MEASUREMENTS
3626 E. PACIFIC COAST HIGHWAY | 2ND FLOOR
LONG BEACH, CA | 90804
T 562.621.9100
F 888.698.2966
WWW.PPMCO.NET

(AS-BUILT DRAWINGS ONLY)

REVISION DATES:

- 03/24/20
- 04/10/20
- 05/30/20
- 06/30/20
- 08/30/20

michelle.m chu
INTERIORS

82 LAUREL DRIVE, CARMEL VALLEY, CA 93924
www.michellemchuinterior.com
NO 510.410.7570
michelle@michellemchuinterior.com

PROJECT NAME:

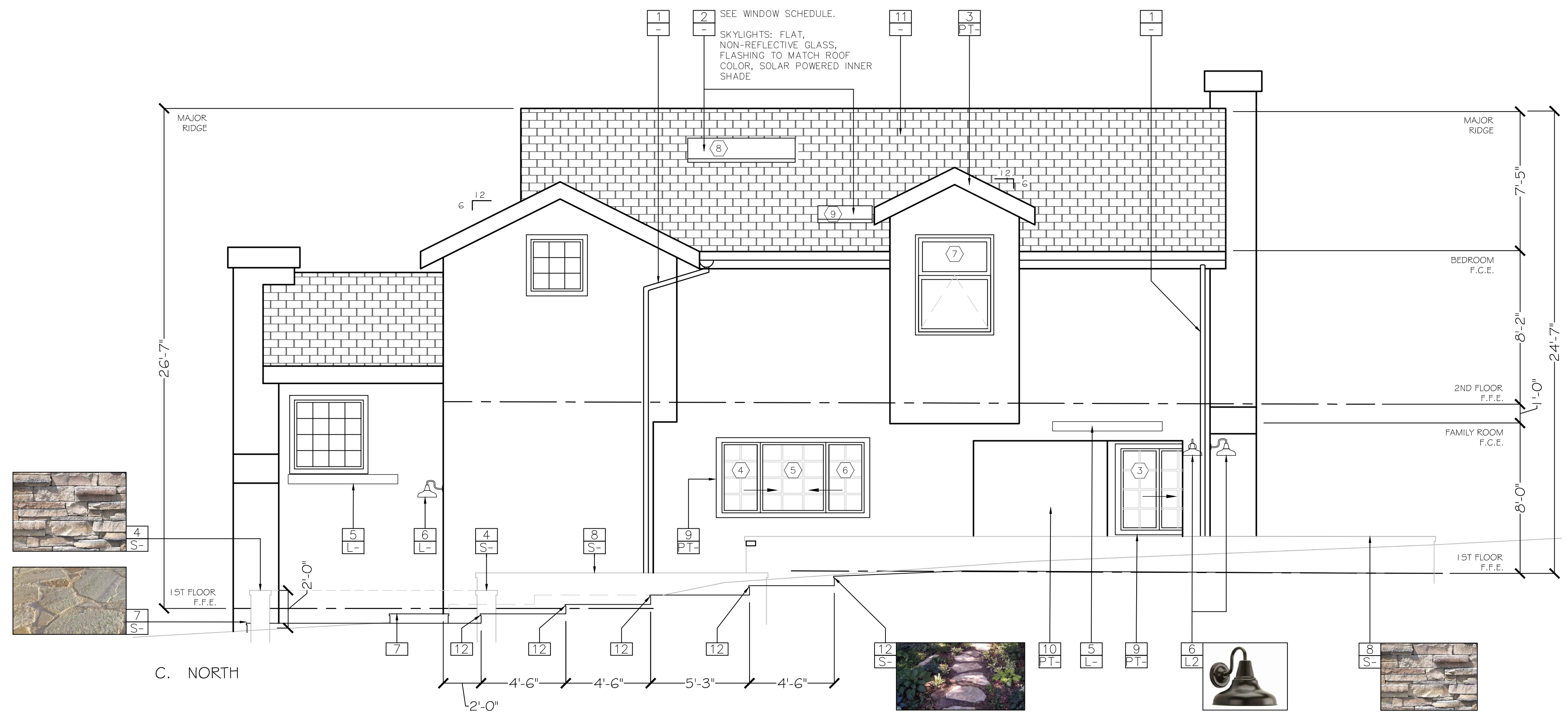
LINFESTY RESIDENCE
4 OAK KNOLL WAY
CARMEL-BY-THE-SEA, CA 93923

APN: 009-201-008-000

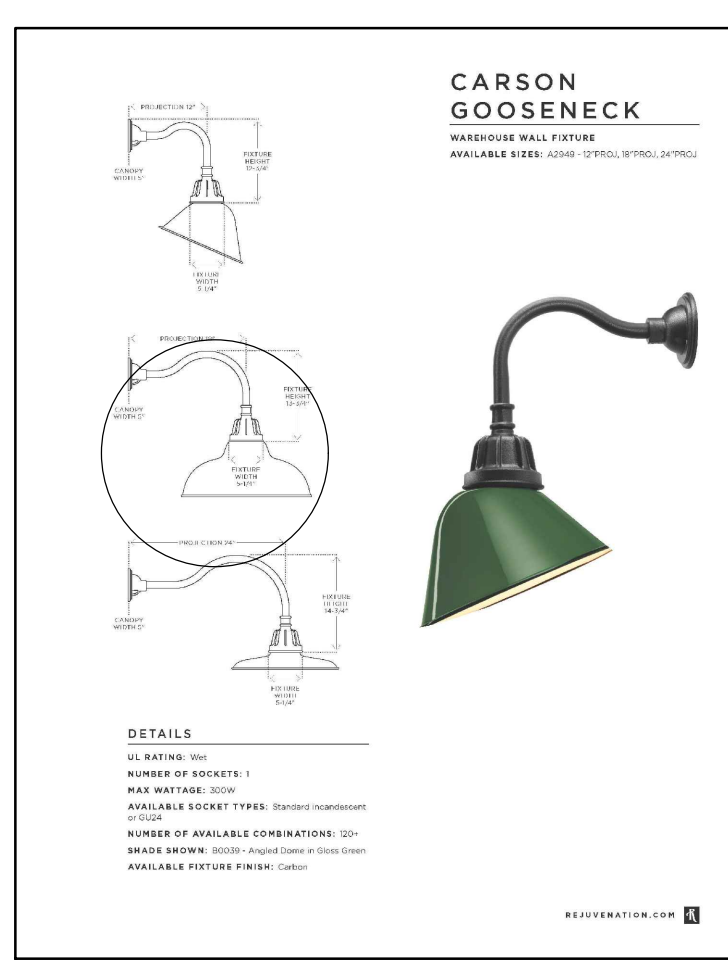
DRAWN BY: M. CHU
SCALE: 1/4" = 1'-0"
DATE: JAN. 17, 2020

PROPOSED EXTERIOR ELEVATIONS

1-205



5 EXTERIOR ELEVATION



12 L1 EXTERIOR LIGHT @ GARAGE
 - SHIELD DOWN
 - WET-RATED
 - SUBSTITUTE BULB WITH 375 LUMENS/25W INCANDESCENT



6 L2 EXTERIOR LIGHT @ PATIO
 - SHIELD DOWN
 - WET-RATED
 - SUBSTITUTE BULB WITH 375 LUMENS/25W INCANDESCENT



15 L3 EXTERIOR LIGHT @ RETAINING WALL
 - SHIELD DOWN
 - WET-RATED
 - BUILT-IN LED 4W

NOTES:
 1. ALL DIMS. ARE APPROX. V.I.F.

DRAFTED BY:

 3626 E. PACIFIC COAST HIGHWAY | 2ND FLOOR
 LONG BEACH CA | 90804
 T 562.621.9100
 F 888.698.2966
 WWW.PPMCO.NET
 (AS-BUILT DRAWINGS ONLY)

REVISION DATES:
 03/24/20
 04/10/20
 05/30/20
 06/30/20
 08/30/20

michelle.m chu
 INTERIORS
 82 LAUREL DRIVE, CARMEL VALLEY, CA 93924
 www.michellemchuinteriors.com
 NO 510.410.7570
 michelle@michellemchuinteriors.com

PROJECT NAME:
 LINFESTY RESIDENCE
 4 OAK KNOLL WAY
 CARMEL-BY-THE-SEA, CA 93923
 APN: 009-201-008-000

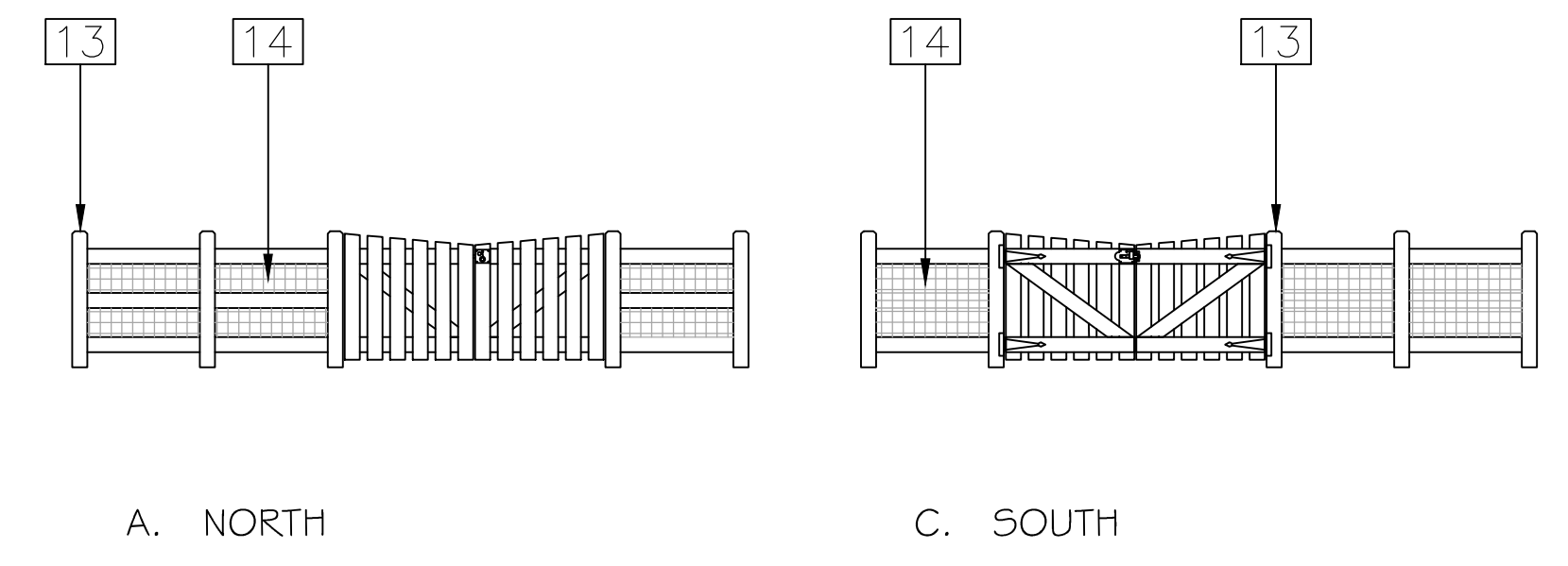
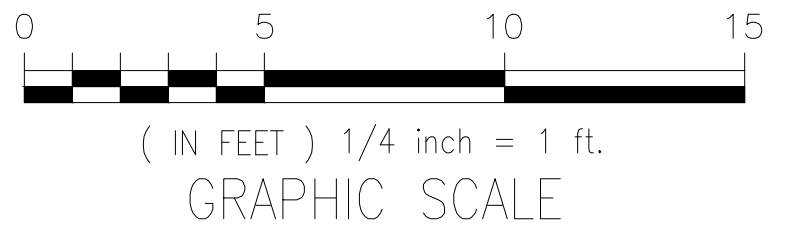
DRAWN BY: M. CHU
 SCALE: 1/4" = 1'-0"
 DATE: JAN. 17, 2020

PROPOSED EXTERIOR ELEVATIONS

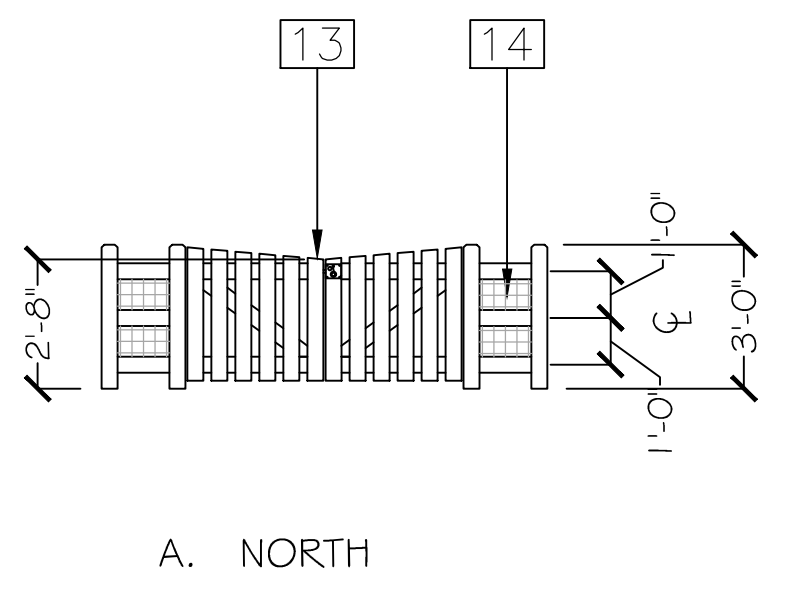
1-206

KEY NOTES

- 1 (E) RAIN GUTTER SYSTEM, COPPER (AS IS), DRAIN TO EXISTING SEWER
- 2 (N) SKYLIGHT, MATCH (E) STYLE & MATERIAL
- 3 (E) ROOF FASCIA, (N) PAINT
- 4 (N) CIRCULAR RETAINING WALL W/STONE VENEER (MATCH EXISTING)
- 5 (N) INSTALL ELEC. & GAS, FOR FUTURE WALL MOUNTED HEATER
- 6 (N) LIGHT, WALL SCONCE (OUTDOOR, WET-RATED)
- 7 (E) EXTERIOR STONE PAVERS (MATCH EXISTING, REPAIR AS NEEDED)
- 8 (N) RETAINING WALL W/STONE VENEER (MATCH EXISTING)
- 9 (N) TRIM, PAINT GRADE (PROFILE TO MATCH EXISTING)
- 10 (E) STUCCO REPAIR AS NEEDED, (N) PAINT
- 11 (E) ROOF TILES, REPAIR AS NEEDED (MATCH EXISTING)
- 12 (E) EXTERIOR STONE PAVER PATH, SAND SET (MATCH EXISTING)
- 13 (N) GATE POST, CEDAR FINISH TO MATCH AWNING
- 14 (N) GALVANIZED 3" x 3" METAL SCREEN
- 15 (N) LIGHT, RETAINING WALL (OUTDOOR, WET-RATED - SEE MEP PLANS)



6 GATE ELEVATION

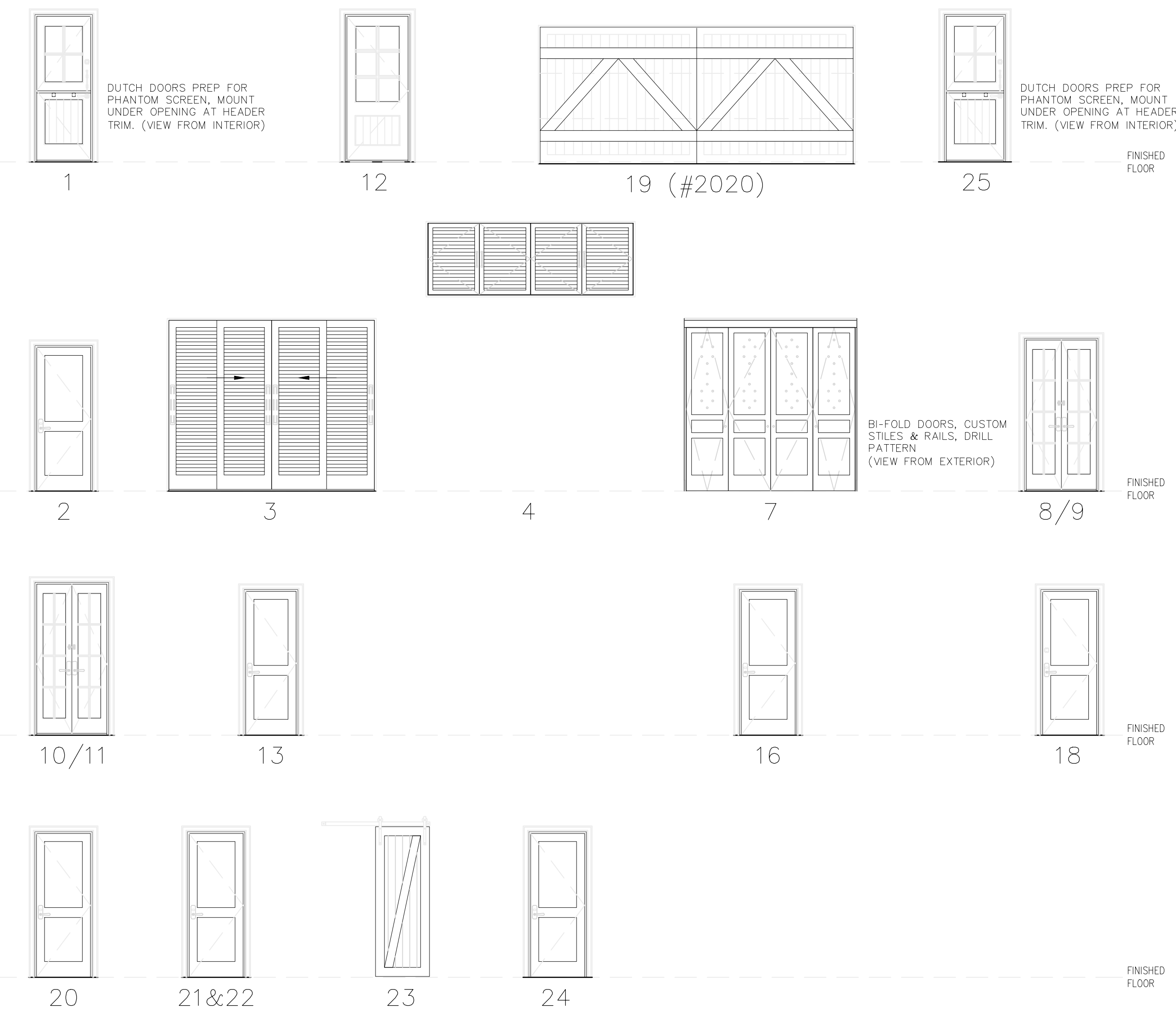


7 GATE ELEVATION

WINDOW ELEVATIONS



DOOR ELEVATIONS



WINDOW SCHEDULE

ID.	RM. NO.	TYPE	ROOM DESCRIPTION	MATERIAL	BRAND	SKU/STYLE	FINISH/COLOR	REMARKS	HARDWARE	INT./EXT.	MATERIAL	GLAZING	TEMPERED
1	103	-	BREAKFAST NOOK	PREMIUM VINYL LOW-E ANNEALED	JELD-WEN VINYL MATCH EXISTING	FIXED, 8-LITE MATCH EXISTING	WHITE	V.I.F., MATCH (E) SILL & HEADER HT., MATCH (E) TRIM	---	EXT.	---	YES	YES
2	103	-	BREAKFAST NOOK	PREMIUM VINYL LOW-E ANNEALED	JELD-WEN VINYL MATCH EXISTING	FIXED, 8-LITE MATCH EXISTING	WHITE	V.I.F., MATCH (E) SILL & HEADER HT., MATCH (E) TRIM	---	EXT.	---	YES	YES
2A	103	-	BREAKFAST NOOK	PREMIUM VINYL LOW-E ANNEALED	JELD-WEN VINYL MATCH EXISTING	FIXED, 8-LITE MATCH EXISTING	WHITE	V.I.F., MATCH (E) SILL & HEADER HT., MATCH (E) TRIM	---	EXT.	---	YES	YES
3	103	-	BREAKFAST NOOK	PREMIUM VINYL LOW-E ANNEALED	JELD-WEN VINYL MATCH EXISTING	SLIDER, 8-LITE MATCH EXISTING	WHITE	V.I.F., MATCH (E) SILL & HEADER HT., MATCH (E) TRIM	WHITE	EXT.	---	YES	YES
4	104	-	KITCHEN	PREMIUM VINYL LOW-E ANNEALED	JELD-WEN VINYL MATCH EXISTING	SLIDER, 8-LITE MATCH EXISTING	WHITE	V.I.F., MATCH (E) TRIM, (N) STONE SILL, (N) ROUGH OPENING	WHITE	EXT.	---	YES	YES
5	104	-	KITCHEN	PREMIUM VINYL LOW-E ANNEALED	JELD-WEN VINYL MATCH EXISTING	FIXED, 12-LITE MATCH EXISTING	WHITE	V.I.F., MATCH (E) TRIM, (N) STONE SILL, (N) ROUGH OPENING	---	EXT.	---	YES	YES
6	104	-	KITCHEN	PREMIUM VINYL LOW-E ANNEALED	JELD-WEN VINYL MATCH EXISTING	SLIDER, 8-LITE MATCH EXISTING	WHITE	V.I.F., MATCH (E) TRIM, (N) STONE SILL, (N) ROUGH OPENING	WHITE	EXT.	---	YES	YES
7	205	-	MASTER BATH	PREMIUM VINYL LOW-E ANNEALED	JELD-WEN VINYL MATCH EXISTING	FIXED (UPPER) & CRANK OUT (LOWER)	WHITE, MATT OBSCURE PRIVACY GLASS @ LOWER ONLY	MATCH INSTALLATION W/(E) TRIM, (N) ROUGH OPENING	WHITE	EXT.	---	YES	YES
8	204	-	MASTER CLOSET	LOW-E TEMPERED, OVER LAMI	VELUX MATCH EXISTING	FIXED, MATCH EXISTING	FLAT, NON-REFLECTIVE GLASS, W/INNER SHADE	REPLACE (E) W/(N), V.I.F. TO ROUGH OPENING, CURB MOUNT	BRONZE, FLASHING TO MATCH ROOF COLOR	EXT.	---	YES	YES
9	205	-	MASTER BATH	LOW-E TEMPERED, OVER LAMI	VELUX MATCH EXISTING	FIXED, MATCH EXISTING	FLAT, NON-REFLECTIVE GLASS, W/INNER SHADE	MATCH INSTALLATION W/(E) TRIM, (N) ROUGH OPENING, CURB MOUNT	BRONZE, FLASHING TO MATCH ROOF COLOR	EXT.	---	YES	YES

DOOR SCHEDULE

ID.	RM. NO.	TYPE	ROOM DESCRIPTION	MATERIAL	BRAND	SKU/STYLE	FINISH/COLOR	REMARKS	HARDWARE	INT./EXT.	MATERIAL	GLAZING	TEMPERED
1	104	-	KITCHEN	IWP SOLID WHITE OAK RIFT CUT, LOW-E TEMP.	JELD-WEN	444 4-LITE, DUTCH W/PHANTOM SCREEN	PRE-FINISHED FLAT/MATTE CLEAR COAT	(E) CASING & TRIM DUTCH W/PHANTOM SCREEN TRUE DIVIDED 6-LITE, FLAT V-GROOVE	CYLINDRICAL LOCK W/DEADBOLT ASHLEY NORTON, BALL TIP HINGE (ORB)	EXT.	WOOD	YES	YES
12	101	-	ENTRY	IWP SOLID WHITE OAK RIFT CUT, LOW-E TEMP.	JELD-WEN	444 6-LITE	PRE-FINISHED FLAT/MATTE CLEAR COAT	(E) CASING & TRIM, FLAT V-GROOVE	MORTISE LOCK W/DEADBOLT ASHLEY NORTON, BALL TIP HINGE (ORB)	EXT.	WOOD	YES	YES
19	112	-	GARAGE	SELECT BLONDE CEDAR	REAL CARRIAGE DOORS	2020, REVERSE PATTERN	HAND HEWN, STAINED TO MATCH CEDAR AWNING	(E) CASING & TRIM LIFMASTER 8500	---	EXT.	WOOD	NO	NO
25	213	-	GUEST BEDROOM	IWP SOLID WHITE OAK RIFT CUT, LOW-E TEMP.	JELD-WEN	444 4-LITE, DUTCH W/PHANTOM SCREEN	PRE-FINISHED FLAT/MATTE CLEAR COAT	(E) CASING & TRIM DUTCH W/PHANTOM SCREEN TRUE DIVIDED 6-LITE, FLAT V-GROOVE, SWITCH HANDING	CYLINDRICAL LOCK W/DEADBOLT ASHLEY NORTON, BALL TIP HINGE (ORB)	EXT.	WOOD	YES	YES
2	208	-	BEDROOM 1	SOLID CORE WHITE OAK RIFT CUT	TRU-STILE	TS2020	PRE-FINISHED FLAT/MATTE CLEAR COAT	(N) CASING & TRIM, PAINT GRADE	PRIVACY, BALL TIP HINGE (ORB)	INT.	WOOD	NO	---
3	209	-	BEDROOM 1 CLOSET	SOLID CORE, LOUVERED WHITE OAK RIFT CUT	TRU-STILE	LVR2020, BI-PASS 4 DOOR	PRE-FINISHED FLAT/MATTE CLEAR COAT	(N) CASING, PAINT GRADE (SEE ELEVATIONS & SECTION)	BI-PASS FLUSH PULL, BALL TIP HINGE (ORB)	INT.	WOOD	NO	---
4	302	-	BEDROOM 1 LOFT	SOLID CORE, LOUVERED WHITE OAK RIFT CUT	TRU-STILE	LVR1000, REVERSE LOUVER, CTR HUNG	PRE-FINISHED FLAT/MATTE CLEAR COAT	(N) CASING, PAINT GRADE (SEE ELEVATIONS & SECTION)	CL11 TOUCH LATCH, IVES PIVOT SET, CTR HUNG PIVOT OUT, BALL TIP (ORB)	INT.	WOOD	NO	---
4	301	-	CRAFT LOFT	SOLID CORE, LOUVERED WHITE OAK RIFT CUT	TRU-STILE	LVR1000, REVERSE LOUVER, CTR HUNG	PRE-FINISHED FLAT/MATTE CLEAR COAT	(N) CASING, PAINT GRADE (SEE ELEVATIONS & SECTION)	CL11 TOUCH LATCH, IVES PIVOT SET, CTR HUNG PIVOT OUT, BALL TIP HINGE (ORB)	INT.	WOOD	NO	---
5	301	-	CRAFT LOFT	METAL, LHR SWING OUT	JL INDUSTRIES	FD-2436 UW	POWDER COATED, PRIMED, (SEE PAINT SCHEDULE)	FIRE-RATED, TYP. DRYWALL WALL MOUNT	UNIVERSAL LATCH	INT.	METAL	NO	---
6	202	-	LAUNDRY	METAL, PUSH UP	JL INDUSTRIES	FD2CI 3030A	POWDER COATED, PRIMED, (SEE PAINT SCHEDULE)	FIRE-RATED, TYP. DRYWALL CLG. MOUNT	ALLEN WRENCH LATCH	INT.	METAL	NO	---
7	202	-	LAUNDRY	SOLID CORE, WHITE OAK RIFT CUT	TRU-STILE	TS3070, 4 PANEL BI-FOLD	PRIMED WHITE, PAINT GRADE (SEE PAINT SCHEDULE)	(N) CASING & TRIM, FLUSH CASED OPENINGS, CUSTOM DRILL PATTERN BY CONTRACTOR	FLUSH CARRIERS (ORB)	INT.	WOOD	NO	---
8/9	205	-	MASTER CLOSET/ MASTER BATH	SOLID CORE WHITE OAK RIFT CUT	TRU-STILE	FL800 W/OBSCURE MATT FROSTED TEMP. GLASS, PAIR	PRE-FINISHED FLAT/MATTE CLEAR COAT	(N) CASING & TRIM	PRIVACY LATCH, BALL TIP HINGE (ORB)	INT.	WOOD	YES	YES
10/11	205	-	MASTER BATH/ CRAFT ROOM	SOLID CORE WHITE OAK RIFT CUT	TRU-STILE	FL800 W/OBSCURE MATT FROSTED TEMP. GLASS, PAIR	PRE-FINISHED FLAT/MATTE CLEAR COAT	(N) CASING & TRIM	PRIVACY LATCH, BALL TIP HINGE (ORB)	INT.	WOOD	YES	YES
13	102	-	POWDER ROOM	SOLID CORE WHITE OAK RIFT CUT	TRU-STILE	TS2020	PRE-FINISHED FLAT/MATTE CLEAR COAT	(N) CASING & TRIM	PRIVACY, BALL TIP HINGE (ORB)	INT.	WOOD	NO	---
14	107	-	MECH. 1	(E) AS IS	---	---	(N) PAINT TO MATCH TRIM	---	---	EXT.	WOOD	---	---
15	108	-	GAME ROOM	(E) SLIDER, AS IS	---	---	(N) PAINT AT (E) TRIM	---	---	EXT.	WOOD	---	---
16	109	-	CLOSET	SOLID CORE WHITE OAK RIFT CUT	TRU-STILE	TS2020	PRE-FINISHED FLAT/MATTE CLEAR COAT	(E) CASING & TRIM, FIRE-RATED, SELF-CLOSE	PASSAGE, BALL TIP HINGE (ORB)	INT.	WOOD	NO	---
17	110	-	MECH. 2	(E) AS IS	---	---	(N) PAINT TO MATCH TRIM	---	---	EXT.	WOOD	---	---
18	112	-	GARAGE	SOLID CORE WHITE OAK RIFT CUT	TRU-STILE	TS2020	PRE-FINISHED FLAT/MATTE CLEAR COAT	(E) CASING & TRIM, FIRE-RATED, SELF-CLOSE	PRIVACY W/DEADBOLT, BALL TIP HINGE (ORB)	INT.	WOOD	NO	---
20	203	-	MASTER BEDROOM	SOLID CORE WHITE OAK RIFT CUT	TRU-STILE	TS2020	PRE-FINISHED FLAT/MATTE CLEAR COAT	(E) CASING & TRIM	PRIVACY, BALL TIP HINGE (ORB)	INT.	WOOD	NO	---
21	210	-	BATH 1	SOLID CORE WHITE OAK RIFT CUT	TRU-STILE	TS2020	PRE-FINISHED FLAT/MATTE CLEAR COAT	(E) CASING & TRIM, SWITCH HANDING	PRIVACY, BALL TIP HINGE (ORB)	INT.	WOOD	NO	---
22	213	-	GUEST BEDROOM	SOLID CORE WHITE OAK RIFT CUT	TRU-STILE	TS2020	PRE-FINISHED FLAT/MATTE CLEAR COAT	(E) CASING & TRIM	PRIVACY, BALL TIP HINGE (ORB)	INT.	WOOD	NO	---
23	212	-	GUEST BATH	SOLID CORE WHITE OAK RIFT CUT	TRU-STILE	VG4050, BARN DOOR	PRE-FINISHED FLAT/MATTE CLEAR COAT	REMOVE (E) TRIM, REFINISH OPENING W/ROLLED EDGE GYP. BD. & PGM CASING	FLUSH PULL, BOTTOM GUIDE, TOP HANGER (ORB)	INT.	WOOD	NO	---
24	211	-	GUEST CLOSET	SOLID CORE WHITE OAK RIFT CUT	TRU-STILE	TS2020	PRE-FINISHED FLAT/MATTE CLEAR COAT	(E) CASING & TRIM, SWITCH HANDING	PASSAGE, BALL TIP HINGE (ORB)	INT.	WOOD	NO	---
26/27	203	-	MASTER BEDROOM	SOLID CORE WHITE OAK RIFT CUT	TRU-STILE	FL800, CLEAR TEMPERED, PAIR	PRE-FINISHED FLAT/MATTE CLEAR COAT	(N) CASING & TRIM	PASSAGE, SURFACE BOLT (TOP & BOTTOM) BALL TIP HINGE (ORB)	INT.	WOOD	YES	YES
28	109	-	CLOSET	METAL, LHR SWING OUT	JL INDUSTRIES	FD-3030 UW	POWDER COATED, PRIMED, (SEE PAINT SCHEDULE)	FIRE-RATED, TYP. DRYWALL WALL MOUNT	UNIVERSAL LATCH	INT.	METAL	NO	---
29	205	-	MASTER BATH	METAL, LHR SWING OUT	JL INDUSTRIES	FD-1930 UW	POWDER COATED, PRIMED, (SEE PAINT SCHEDULE)	FIRE-RATED, V.I.F., TYP. DRYWALL WALL MOUNT	UNIVERSAL LATCH	INT.	METAL	NO	---
30	101	-	ENTRY	(E) SWITCH ACCESS	---	---	(E) POWDER COATED, PRIMED, (SEE PAINT SCHEDULE)	TYP. DRYWALL WALL MOUNT	---	INT.	METAL	NO	---

NOTES:

1. ALL DIMS. ARE APPROX. V.I.F.

DRAFTED BY:



3626 E. PACIFIC COAST HIGHWAY | 2ND FLOOR
LONG BEACH, CA | 90804
T 562.621.9100
F 888.698.2966
WWW.PPMCO.NET

(AS-BUILT DRAWINGS ONLY)

REVISION DATES:

02/19/20
02/26/20
03/24/20
04/10/20
05/30/20
06/30/20
08/30/20

michelle.m chu
INTERIORS

82 LAUREL DRIVE, CARMEL VALLEY, CA 93924
www.michellemchuinterior.com
NO 510.410.7570
michelle@michellemchuinterior.com

PROJECT NAME:

LINFESTY RESIDENCE
4 OAK KNOLL WAY
CARMEL-BY-THE-SEA, CA 93923

APN: 009-201-008-000

DRAWN BY:

M. CHU

SCALE:

1/4" = 1'-0"

DATE:

JANUARY 17, 2020

PROPOSED WINDOW & DOOR SCHEDULE

G-601

ABBREVIATIONS

AB.	ANCHOR BOLT	LB.	POUND
ALT.	ALTERNATE	LG.	LONG
ARCH.	ARCHITECT	MAX.	MAXIMUM
BLDG.	BUILDING	M.B.	MACHINE BOLT
BLKG.	BLOCK, BLOCKING	AT	
BM.	BEAM	M.L.	MICRO-LAM
BOTT.	BOTTOM	M.W.	MALLEABLE IRON WASHER
CL.	CENTER LINE	(N)	NULL
CLG.	CEILING	N.T.S.	NOT TO SCALE
CLR.	CLEAR	O.C. OR O/C	ON CENTER
COL.	COLUMN	PAM	PARALLAM
CONC.	CONCRETE	FL.	FLATE
CONT.	CONTINUOUS	P.S.I.	POUNDS PER SQUARE INCH
D.F.	DOUGLAS FIR	P.T.	PRESSURE TREATED
DIAM. OR 1	DIAMETER	REINF.	REINFORCING
DBL.	DOUBLE	R.W.D.	REDWOOD
DWG.	DRAWING	S.B.	SOLID BLOCKING
(E)	EXISTING	SECT.	SECTION
EA.	EACH	SHT.	SHEET
EL. OR ELEV.	ELEVATION	SIM.	SIMILAR
EXT.	EXTERIOR	SPECS.	SPECIFICATIONS
FIN.	FINISHED	SQ.	SQUARE
FL. OR FLR.	FLOOR	S.S.	SELECT STRUCTURAL
F.O.	FACE OF	STD.	STANDARD
F.O.C.	FACE OF CONCRETE	T.E.N.	TYPICAL EDGE NAILING, FASTENING
F.O.M.	FACE OF MASONRY	T.O.BEAM	TOP OF BEAM
F.O.S.	FACE OF STUDS	T.O.FOOTING	TOP OF FOOTING
FT.	FOOT	T.G.	TONGUE AND GROOVE
FTG.	FOOTING	T.O.CONCRETE	TOP OF CONCRETE
GA.	GAGE	T.O.SLAB	TOP OF SLAB
GALV.	GALVANIZED	T.O.STEEL	TOP OF STEEL
GL.	GLUE LAMINATED BEAM	T.O.WALL	TOP OF WALL
H. OR HORIZ.	HORIZONTAL	TYP.	TYPICAL
H.D.	HOLD-DOWN	U.ON.	UNLESS OTHERWISE NOTED
HDR.	HEADER	W/	WITH
JH.	JOIST HANGER	W.U.F.	WELDED WIRE FABRIC
		V. OR VERT.	VERTICAL

STRUCTURAL NOTES:

- A. GENERAL**
- SITE CONDITIONS: THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS AND MATERIALS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 - CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION PROJECT, INCLUDING SAFETY OF ALL PERSONS & PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY & NOT BE LIMITED TO NORMAL WORKING HOURS; & THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
 - ALL CONSTRUCTION NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM WITH SIMILAR CONSTRUCTION SHOW ALL CONSTRUCTION SHALL BE PER THE PER THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE (CBC), 2019.
- B. STRUCTURAL STEEL**
- STRUCTURAL SECTIONS SHALL BE ASTM A992 STEEL (Fy = 50ksi). STRUCTURAL TUBING SHALL CONFORM TO ASTM A500 OR A501, GRADE B (Fy = 46ksi). ALL OTHER STRUCTURAL STRUCTURAL STEEL SHALL BE ASTM A36, FABRICATED AND ERIGED IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES. THREE SHOP COATS OF PRIMER SHALL BE REQUIRED ON ALL STEEL NOT ENCASED IN CONCRETE. THE CONTRACTOR SHALL ACQUIRE FROM THE STEEL FABRICATOR AN AFFIDAVIT STATING THAT THE STRUCTURAL STEEL FURNISHED MEETS THE REQUIREMENTS OF THE GRADE SPECIFIED. TREAT FIELD WELDS WITH 3 COATS OF PRIMER.
 - WELDING: ALL WELDING SHALL BE BY THE SHIELDED ARC PROCESS, AND SHALL BE DONE BY A CERTIFIED WELDER, PREQUALIFIED BY A.W.S. STANDARDS. USE E70XX ELECTRODES. FIELD WELDS TO BE INSPECTED PER USC CHAPTER 17 REQUIREMENTS.
 - MACHINE BOLTS SHALL COMPLY TO ASTM A307 FOR ALL CONNECTIONS, UNLESS OTHERWISE SHOWN. SEE PLANS AND DETAILS. HOLES SHALL BE 1/16" INCH LARGER IN DIAMETER, UNLESS OTHERWISE NOTED.
- C. LUMBER**
- LUMBER SHALL BE DOUGLAS FIR LARCH AS FOLLOWS:
JOISTS AND STUDS... AND BETTER POSTS... AND BETTER BEAMS AND HEADERS... AND BETTER BLOCKING AND SECONDARY FRAMING... AND BETTER SILL PLATE AND ALL WOOD IN CONTACT WITH CONCRETE... PRESSURE TREATED *1
 - NAILING SHALL BE COMMONWIRE NAILS, GALVANIZED WHEN EXPOSED TO THE EXTERIOR. SIZE, SPACING AND NUMBER SHALL BE PER TABLE 2304.10.1 OF THE CBC 2019.
PLYWOOD... SEE PLANS OR SECTIONS
ALL OTHERS... SEE TABLE 2304.10.1 CBC 2019 EDITION
U.ON. AS SHOWN OR NOTED IN THE PLANS.
 - JOIST HANGERS, SHEET METAL CLIPS AND OTHER CONNECTIONS SHALL BE MANUFACTURED BY "SIMPSON CO." OR APPROVED EQUAL. "USP" LUMBER CONNECTORS WITH REFERENCE NUMBERS FOR SUBSTITUTION MAY BE USED IN LIEU OF SIMPSON HARDWARE. ALL METAL CLIPS IN CONTACT WITH P.T.D.F. LUMBER SHALL BE HOT -DIP GALVANIZED STEEL (Z MAX) WHEN AVAILABLE.
 - GLUED LAMINATED BEAMS SHALL BE COMBINATION 24F-V4 FOR INTERIOR SPANS AND COMBINATION 24F-V4 FOR END SPANS WITH CANTILEVER. ALL GLUED LAMINATED BEAMS MAY BE COMBINATION 24F-V4
 - MICRO-LAM BEAMS SHALL BE 13E WITH Fy = 2,600psi & Fv = 285psi AS MANUFACTURED BY TRUS JOIST OR APPROVED EQUAL.
 - PARALLAM BEAMS SHALL BE 20E BY TRUS JOIST OR APPROVED EQUAL.
 - TJI JOISTS SHALL BE BY TRUS JOIST OR APPROVED EQUAL.
- D. CONCRETE**
- CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH Fc = 2,800psi AT 28 DAYS. MAXIMUM AGGREGATE SIZE = 3/4". CONCRETE SHALL BE MIXED PLACED AND CURED IN ACCORDANCE WITH A.C.I. 318 - LATEST EDITION.
 - REINFORCING STEEL SHALL CONFORM WITH ASTM A-615, GRADE 40 FOR #4 BARS & SMALLER GRADE 60 FOR #5 & LARGER BARS SHALL HAVE A MINIMUM LAP LENGTH OF 40 BAR DIAMETERS OR 12" MINIMUM. MINIMUM CONCRETE COVER TO BARS SHALL BE AS PER SECTION 7.11 OF A.C.I. 318 UNLESS OTHERWISE SHOWN.
 - ANCHOR BOLTS SHALL BE ASTM A307, GALVANIZED STEEL PER ASTM A446 WHEN INSTALLED IN PRESSURE TREATED MU/SILLS.
- E. CONCRETE MASONRY WALLS**
- CONCRETE MASONRY UNITS SHALL BE HOLLOW OPEN END GRADE N-1 CONFORMING TO ASTM C-90 WITH A MINIMUM COMPRESSIVE STRENGTH Fm = 1,500 PSI. NO SPECIAL INSPECTION IS REQUIRED FOR MASONRY UNITS UNLESS OTHERWISE INDICATED.
 - MORTAR SHALL BE TYPE S CONFORMING TO ASTM C-270 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1,800 PSI. MORTAR SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI.

FASTENING SCHEDULE

2019 CALIFORNIA BUILDING CODE TABLE 2304.10.1

ELEMENT/CONNECTION	FASTENER	LOCATION
ROOF		
1. Blocking between ceiling joists, rafters or trusses to top plate or other framing below	3 - 8d common (2 1/2" x 0.131") 3-10d box (3"x0.128") 3 - 3" x 0.131" nails 3 - 3" 14 gage staples, 7/16" crown	Toenail each end
Blocking between rafters or truss not at the wall top plate, to rafter or truss	2 - 8d common (2 1/2" x 0.131") 2 - 3" x 0.131" nails 2 - 3" 14 gage staples 2-16d common (3 1/2"x0.162") 3-3"x0.131" nails 3-3" 14 gage staples	toenail each end end nail
Flat blocking to truss and web filler	16d common (3 1/2"x0.162") @6" o.c. 3-3"x0.131" nails @ 6" o.c. 3-3" 14 gage staples @ 6" o.c.	Face nail
2. Ceiling joists to top plate	3-8d common 3-10d box 3-3"x0.131" nails 3-3" 14 gage staples, 7/16" crown	Toenail each joist
3. Ceiling joist not attached to parallel rafter, laps over partitions (no truss) (Table and Section 2308.7.3.1)	3-16d common 4-10d box 4-3"x0.131" nails 4-3" 14 gage staples, 7/16" crown	Face nail
4. Ceiling joists attached to parallel rafter (heel joint) (Table and Section 2308.7.3.1)	Table 2308.7.3.1	Face nail
5. Collar tie to rafter	3-10d common 4-10d box 4-3"x0.131" nails 4-3" 14 gage staples, 7/16" crown	Face nail
6. Rafter or roof truss to top plate (Table and section 2308.7.5)	3-10 common 3-16d box 4-10d box 4-3"x0.131" nails 4-3" 14 gage staples, 7/16" crown	Toenail (e)
7. Roof rafters to ridge valley	2-16d common	End nail
or hip rafters; or roof rafter to 2" ridge beam	3-10d box 3-3"x0.131" nails 3-3" 14 gage staples, 7/16" crown	Toenail
WALL		
8. Stud to Stud (not at braced wall panels)	16d common 10d box 3"x0.131" nails 3" 14 gage staples, 7/16" crown	24" o.c. face nail 16" o.c. face nail
9. Stud to stud and abutting studs at intersecting wall corners (at braced wall panels)	16d common 16d box 3"x0.131" nails 3" 14 gage staples, 7/16" crown	16" o.c. face nail 12" o.c. face nail
10. Built-up header	16d common 16d box	16" o.c. each edge, face nail 12" o.c. each edge, face nail
11. Continuous header to stud	4-8d common 4-10d box	Toenail
12. Top plate to top plate	16d common 10d box 3"x0.131" nails 3" 14 gage staples, 7/16" crown	16" o.c. face nail 12" o.c. face nail
13. Top plate to top plate, at end joints	8-16d common 12-10d box 12-3"x0.131" nails 12-3" 14 gage staples, 7/16" crown	Each side of end joint, face nail (min 24" lap splice length each side of end joint)
14. Bottom plate to joist, rim joist, band joist or blocking (not at braced wall panels)	16d common 16d box 3"x0.131" nails 3" 14 gage staples, 7/16" crown	16" o.c. face nail 12" o.c. face nail
15. Bottom plate to joist, rim joist, band joist or blocking at braced wall panels	2-16d common 3-16d box 4-3"x0.131" nails 4-3" 14 gage staples, 7/16" crown	16" o.c. face nail
16. Stud to top or bottom plate	4-8d common 4-10d box 4-3"x0.131" nails 4-3" 14 gage staples, 7/16" crown	Toenail End nail
17. Top or bottom plate to stud	2-16d common 3-10d box 3-3"x0.131" nails 3-3" 14 gage staples, 7/16" crown	End nail
18. Top plates, laps at corners and intersections	2-16d common 3-10d box 3 - 3"x0.131" nails 3-3" 14 gage staples, 7/16" crown	Face nail
19. 1" brace to each stud and plate	2-8d common 2-10d box 2 - 3"x0.131" nails 2 - 3" 14 gage staples, 7/16" crown	Face nail
20. 1"x6" sheathing to each bearing	2-8d common 2-10d box	Face nail
21. 1"x8" and wider sheathing to each bearing	3-8d common 3-10d box	Face nail
FLOOR		
22. Joist to sill, top plate, or girder	3-8d common 3-10d box 3-3"x0.131" nails 3-3" 14 gage staples, 7/16" crown	Toenail
23. Rim joist, band joist, or blocking to top plate, sill or other framing below	8d common 10d box 3"x0.131" nails 3" 14 gage staples, 7/16" crown	6" o.c., toenail
24. 1"x6" subfloor or less to each joist	2-8d common 2-10d box	Face nail
25. 2" subfloor to joist or girder	2-16d common	Face nail
26. 2" plank	2-16d common	Each bearing, face nail
27. Built up girders and beams, 2" lumber layers	20d common	32" o.c. face nail at top and bottom staggered on opposite sides 24" o.c. face nail at top and bottom staggered on opposite sides
28. Ledger strip supporting joists or rafters	10d box 3"x0.131" nails 3" 14 gage staples, 7/16" crown And 2-20d common 3-10dbox 3 - 3"x0.131" nails 3 - 3" 14 gage staples, 7/16" crown	Ends and at each splice, face nail
29. Joist to band joist or rim joist	3-16d common 4-10d box 4-3"x0.131" nails 4-3" 14 gage staples, 7/16" crown	Each joist or rafter, face nail
30. Bridging or blocking to	3-16d common 4-10d box 4-3"x0.131" nails 4-3" 14 gage staples, 7/16" crown	End nail

	joist, rafter or truss	2-10d box 2-3"x0.131" nails 2-3" 14 gage staples, 7/16" crown	
WOOD STRUCTURAL PANELS SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING (a)			
31.	3/8"-1/2"	6d common or deformed (2"x0.113") (subfloor and wall) 8d box or deformed (roof) 2 3/8"x0.113" nail (subfloor and wall) 1 1/2" 16 gage staple, 7/16" crown 2 3/8"x0.113" nail (roof) 2 - 3" x 0.131" nails 2 - 3" 14 gage staples 1 1/2" 16 gage staple, 7/16" crown (roof)	6" edge 12" intermediate supports 4" edge 8" intermediate supports 3" edge 6" intermediate supports
32.	19/32"-3/4"	8d common 6d deformed 2 3/8"x0.113 nail 2" 16" gage staple, 7/16" crown	6" edge 12" intermediate supports 4" edge 8" intermediate supports
33.	7/8" - 1 1/4"	10d common 8d deformed	6" edge 12" intermediate supports
OTHER EXTERIOR WALL SHEATHING			
34.	1/2" fiberboard sheathing(b)	1 1/2" galvanized roof nail 1 1/2" 16 gage staple with 7/16" or 1" crown	3" edge 6" intermediate supports
35.	25/32" fiberboard sheathing (b)	1 1/2" galvanized roof nail 1 1/2" 16 gage staple with 7/16" or 1" crown	3" edge 6" intermediate supports
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING			
36.	1/2" and less	8d common 6d deformed	6" edge 12" intermediate supports
37.	7/8"-1"	8d common 8d deformed	6" edge 12" intermediate supports
38.	1 1/8"-1 1/2"	10d common 8d deformed	6" edge 12" intermediate supports
PANEL SIDING TO FRAMING			
39.	1/2" or less	6d corrosion-resistant siding 6d corrosion-resistant casing	6" edge 12" intermediate supports
40.	5/8"	8d corrosion-resistant siding 8d corrosion-resistant casing	6" edge 12" intermediate supports
INTERIOR PANELING			
41.	1/2"	4d casing 4d finish	6" edge 12" intermediate supports
42.	3/8"	6d casing 6d finish	6" edge 12" intermediate supports

GENERAL NOTES

DESIGN AND CONSTRUCTION GOVERNED BY THE 2019 CALIFORNIA BUILDING CODE (2019 CBC).

TYPICAL DETAILS AND GENERAL NOTES APPLY IN ALL CASES UNLESS SPECIFICALLY SHOWN OTHERWISE ON THE DRAWINGS.

WHERE NO DETAIL IS SHOWN, CONSTRUCTION SHALL BE AS SHOWN FOR OTHER SIMILAR WORK.

NO DEVIATION FROM THE DRAWINGS IS PERMITTED WITHOUT THE PERMISSION OF THE ENGINEER.

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING BUILDING ELEMENTS AND DIMENSIONS SHOWN ON THE DRAWINGS.

IF FIELD CONDITIONS ARE NOT AS SHOWN ON THE DRAWINGS, OR IF INTERFERENCES TO CONSTRUCTION ARE DISCOVERED, CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION, NOR THE SAFETY ON THE JOB SITE. THESE RESPONSIBILITIES ARE INTENDED TO BE AND TO REMAIN SOLELY THOSE OF THE BUILDER.

STRUCTURAL NOTES

CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 P.S.I. AT 28 DAYS, AND SHALL CONTAIN TYPE II CEMENT.

ALL FRAMING LUMBER SHALL BE DOUGLAS FIR NO. 2 OR BETTER (UNLESS NOTED OTHERWISE). ALL GLU-LAMINATED BEAMS SHALL BE 24F-V4 (UNLESS NOTED OTHERWISE).

ALL FOUNDATION PLATES IN CONTACT WITH CONCRETE SHALL BE TREATED LUMBER.

NAILING TO BE IN ACCORDANCE WITH TABLE 2304.9.1 OF THE 2016 CBC.

ALL WALLS TO BE FIRE STOPPED WITH 2" NOMINAL WOOD OR OTHER APPROVED NON-COMBUSTIBLE MATERIAL AT FLOOR CEILING ASSEMBLY AND AT INTERVALS NOT TO EXCEED 10'-0" MAXIMUM (VERTICAL).

BLOCK ENDS OF JOISTS AND RAFTERS AT ALL SUPPORTS.

ROOF COVERING SHALL CONFORM TO THE REQUIREMENTS OF THE 2016 CBC SECTIONS 1503 AND 1504.

GYPSUM BOARD SHALL CONFORM TO THE REQUIREMENTS OF THE 2016 CBC CHAPTER 25.

FLOOR JOIST WITH A DEPTH TO WIDTH RATIO OF 8 OR MORE TO BE SUPPORTED Laterally BY BRIDGING AT 8'-0" O.C. MAXIMUM OR FLOOR SHEATHING PER SECTION 2308.8.5 OF THE 2016 CBC.

2x4 WALL STUDS TO HAVE A MAXIMUM UNSUPPORTED LENGTH OF 10'-0".

DOUBLE JOIST AND/OR PROVIDE BLOCKING UNDER ALL PARTITION WALLS.

INSTALL HOLD DOWN STRAPS AND ANCHORS PER MANUFACTURER'S RECOMMENDATIONS. HARDWARE MUST BE SECURED IN-PLACE PRIOR TO FOUNDATION INSPECTION.

STRUCTURAL STEEL, ALL PLATES AND SHAPES SHALL CONFORM TO THE REQUIREMENTS OF ASTM A36. ALL BOLTS SHALL BE ASTM A307 UNLESS THE PLAN SHOW OTHERWISE. BOLT HOLES SHALL BE 1/16" LARGER IN DIAMETER THAN THE BOLT.

WELDED WIRE MESH SHALL CONFORM WITH THE REQUIREMENTS OF ASTM A185. IT SHALL BE INSTALLED IN AS LONG LENGTHS AS PRACTICABLE AND MUST LAP AT LEAST ONE FULL MESH AT SIDES AND ENDS WHERE PIECES JOIN.

REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING: #4 AND SMALLER BARS SHALL BE INTERMEDIATE GRADE DEFORMED BARS CONFORMING TO ASTM A615, GRADE40 (Fy = 40,000 PSI MINIMUM). SPLICES SHALL LAP A MINIMUM OF 30 DIAMETERS IN CONCRETE. #5 BARS AND LARGER SHALL BE DEFORMED BARS CONFORMING TO ASTM 1615, GRADE 60 (Fy = 60,000 PSI MINIMUM). SPLICES SHALL LAP A MINIMUM OF 36 DIAMETERS IN CONCRETE.

STRUCTURAL SHEET INDEX

- S0 STRUCT. NOTES, SYMBOLS, SCHEDULES, PROJECT DESIGN BASIS, GENERAL INFORMATION
- S1 FOUNDATION PLAN SHEET, NOTES & DETAILS
- S2 2ND FLOOR FRAMING PLAN, NOTES & DETAILS
- S3 UPPER ROOF FRAMING PLAN & DETAILS
- D1 STRUCTURAL DETAILS
- R1 RETAINING WALL DETAILS

REVISION DATE :

SPECIAL INSPECTION & TESTING SCHEDULE

THE FOLLOWING ITEMS SHALL BE INSPECTED. "SPECIAL INSPECTION" SHALL CONFORM TO SECTION 1704 OF THE 2016 CALIFORNIA BUILDING CODE. SPECIAL INSPECTION AGENCIES AND/OR INDIVIDUALS SHALL BE RETAINED BY THE OWNER AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO ANY WORK FOR MATERIAL TESTING REQUIREMENTS, SEE SPECIFICATIONS AND/OR GENERAL NOTES. TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE BUILDING OFFICIAL AND ENGINEER.

ITEM	REQ'D.	REMARKS
EPOXY ANCHORS	YES	INSTALLATION ONLY WHEN USED
STEEL WELDS	YES	INSTALLATION ONLY WHEN USED

SYMBOLS & MATERIALS

	CONTINUOUS MEMBER	DETAIL/SECTION CUTS
	BLOCKING	
	SHEAR WALL SYMBOL (SEE SCH.)	
	SHEAR WALL LENGTH	
	HOLD-DOWN "SIMPSON"	
	HDUB OR HTB WITH 4X POST & ANCHOR BOLT TO BE 56T24 (OR) Optional HD5B W/ 4XPOST & 56T20, (OR) 5THD14	
	HD8B W/ 4x4 POST & 56T20	

LATERAL ANALYSIS

N/A

GRAVITY LOADS:

- ROOF : DEAD 18PSF & LIVE 20PSF
- FLOOR : DEAD 12PSF & LIVE 40PSF
- DECK : DEAD 10PSF & LIVE 60PSF

ENGINEERED BY:
WILLIAMSON CHAVEZ DESIGN
 P.O. BOX 222277
 CARMEL, CA 93922
 PH. (661) 910-3977 williamsonchavez@yahoo.com

GENERAL NOTES
CBC 2019

STRUCTURAL PLANS FOR:
LINFESTY RESIDENCE
 4 OAK KNOLL WAY
 CARMEL BY THE SEA, CA



DRAWN:	PAC
DATE:	9-9-2020
SCALE:	N.T.S.
JOB:	2020 DB
LOCATION:	MICHELLE CHU
SHEET:	



CONTRACTOR SHALL NOTIFY WILLIAMSON CHAVEZ DESIGN IMMEDIATELY OF ANY DISCREPANCIES OR ERRORS DETECTED IN THE APPROVED SET OF PLANS.

WILLIAMSON CHAVEZ DESIGN ASSUMES NO RESPONSIBILITY FOR ITEMS NOT A PART OF THE APPROVED AND SIGNED PLANS.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. DO NOT SCALE PLANS.

ALL EXISTING ROOF TO REMAIN

18" DEEP FOOTINGS MINIMUM-TYP

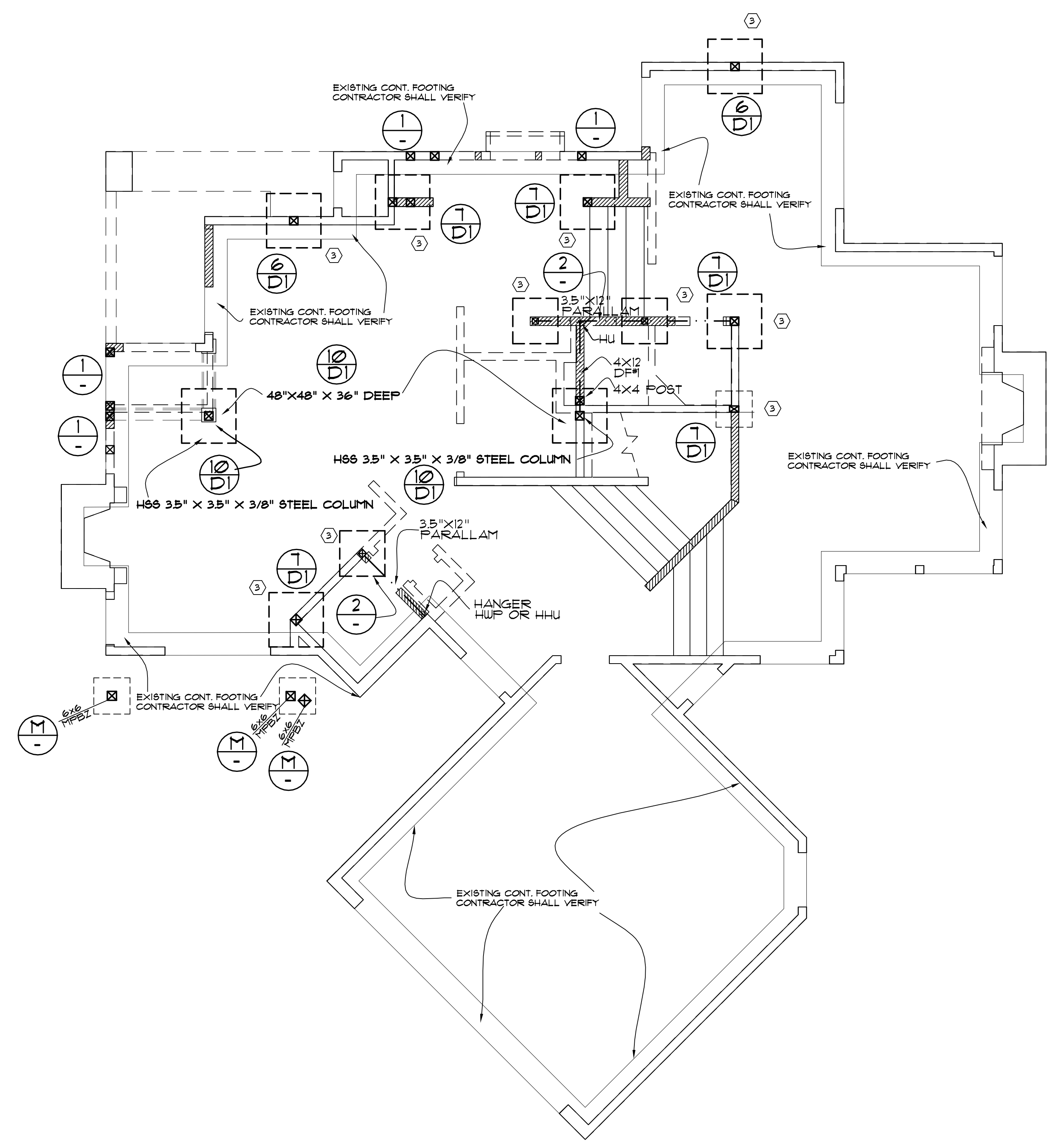
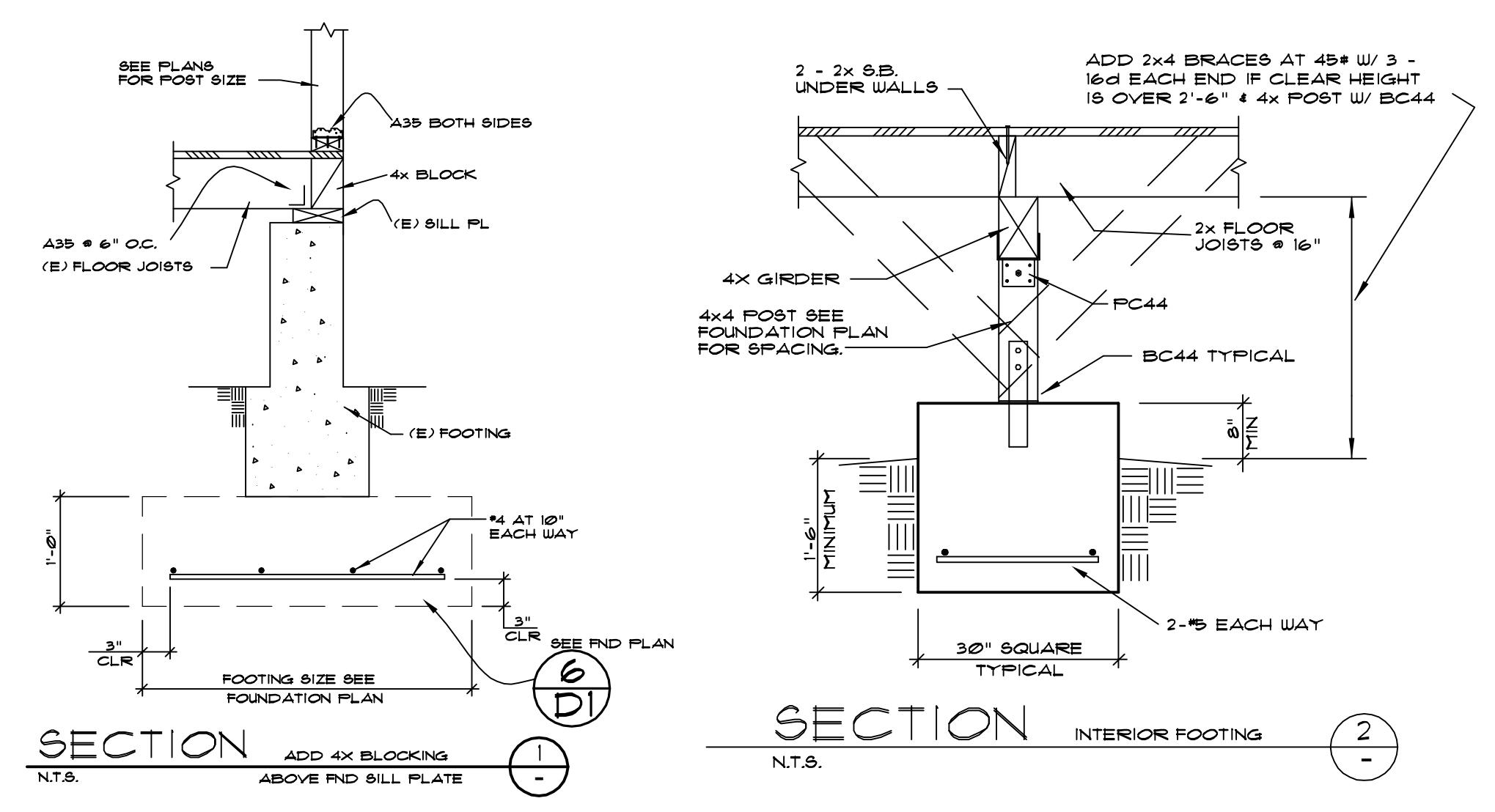
4X = DF #1
6X = DF #1

CONTRACTOR SHALL VERIFY ALL DIMENSIONS !!
ALL HOLDDOWNS MUST BE TIED IN PLACE PRIOR TO FOUNDATION INSPECTION.

TREATED WOOD MUST BE USED FOR ALL SILL PLATES OR WOOD IN CONTACT WITH CONCRETE OR MASONRY

CONCRETE STRENGTH SHALL BE 2500 PSI @ 28 DAYS.

- ② = 2'-0" SQ. FTG. W/2-#4 EA. WAY
- ③ = 2'-6" SQ. FTG. W/3-#4 EA. WAY
- ④ = 3'-0" SQ. FTG. W/3-#4 EA. WAY
- ⑤ = 3'-6" SQ. FTG. W/4-#4 EA. WAY



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

ENGINEERED BY:
WILLIAMSON CHAVEZ DESIGN
P.O. BOX 222277
CARMEL, CA 93922
PH. (661) 910-3977 williamsonchavez@yahoo.com

STRUCTURAL PLANS FOR:
LINFESTY RESIDENCE
4 OAK KNOLL WAY
CARMEL BY THE SEA, CA

FOUNDATION
PLAN



DRAWN: PAC
DATE: 9-9-2020
SCALE: N.T.S.
JOB: 2020 DB
DESIGNER: MICHELLE CHU
SHEET:

S1

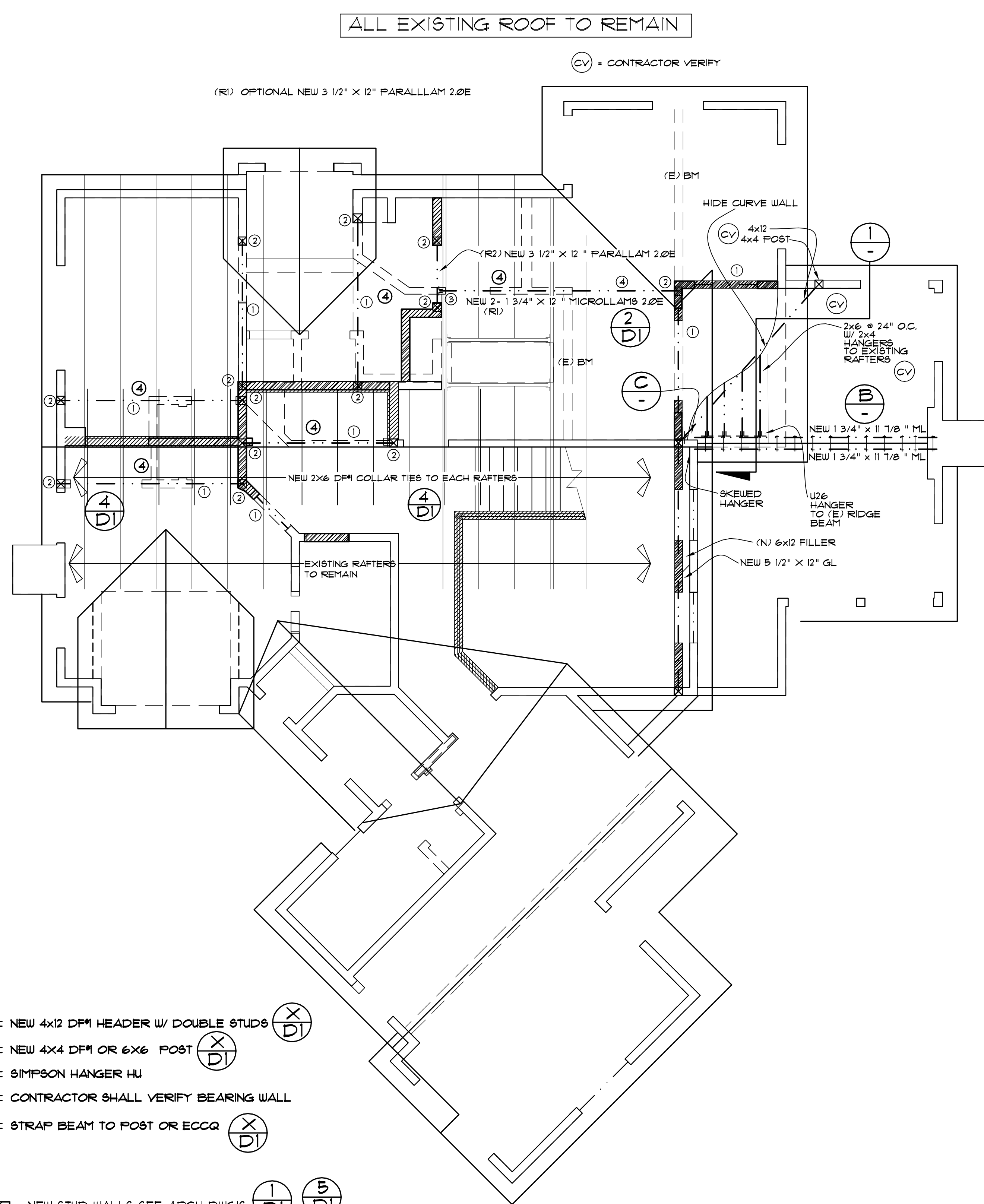
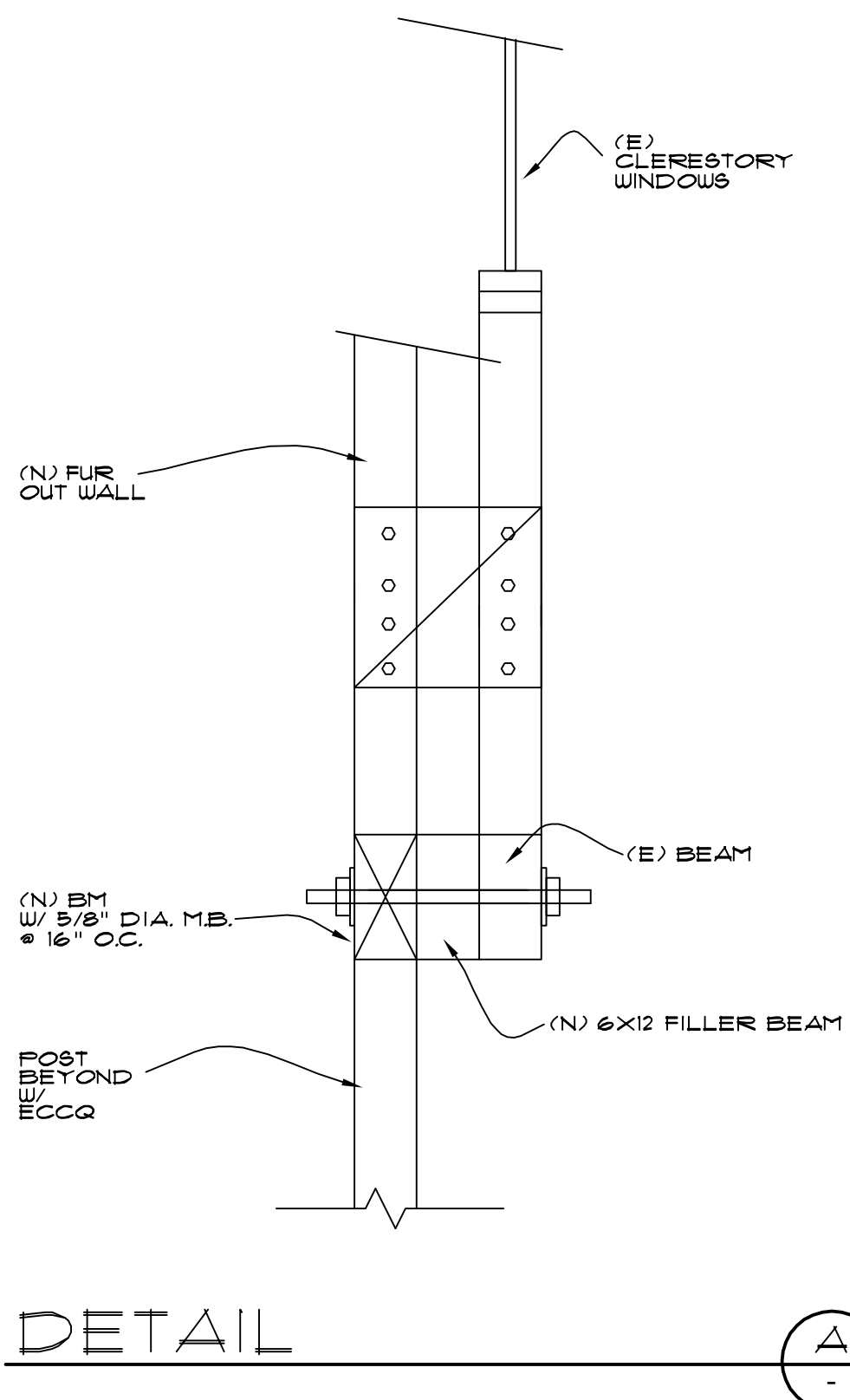
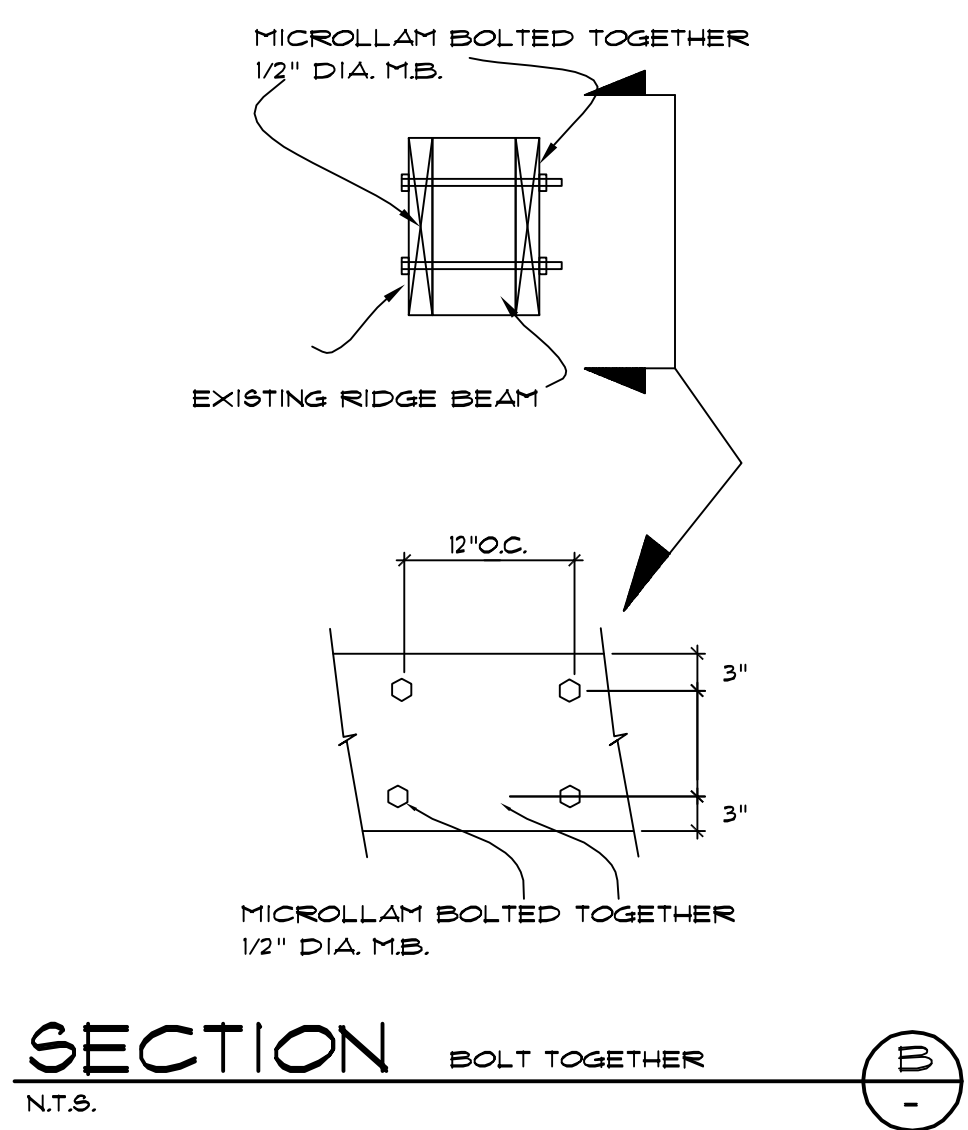
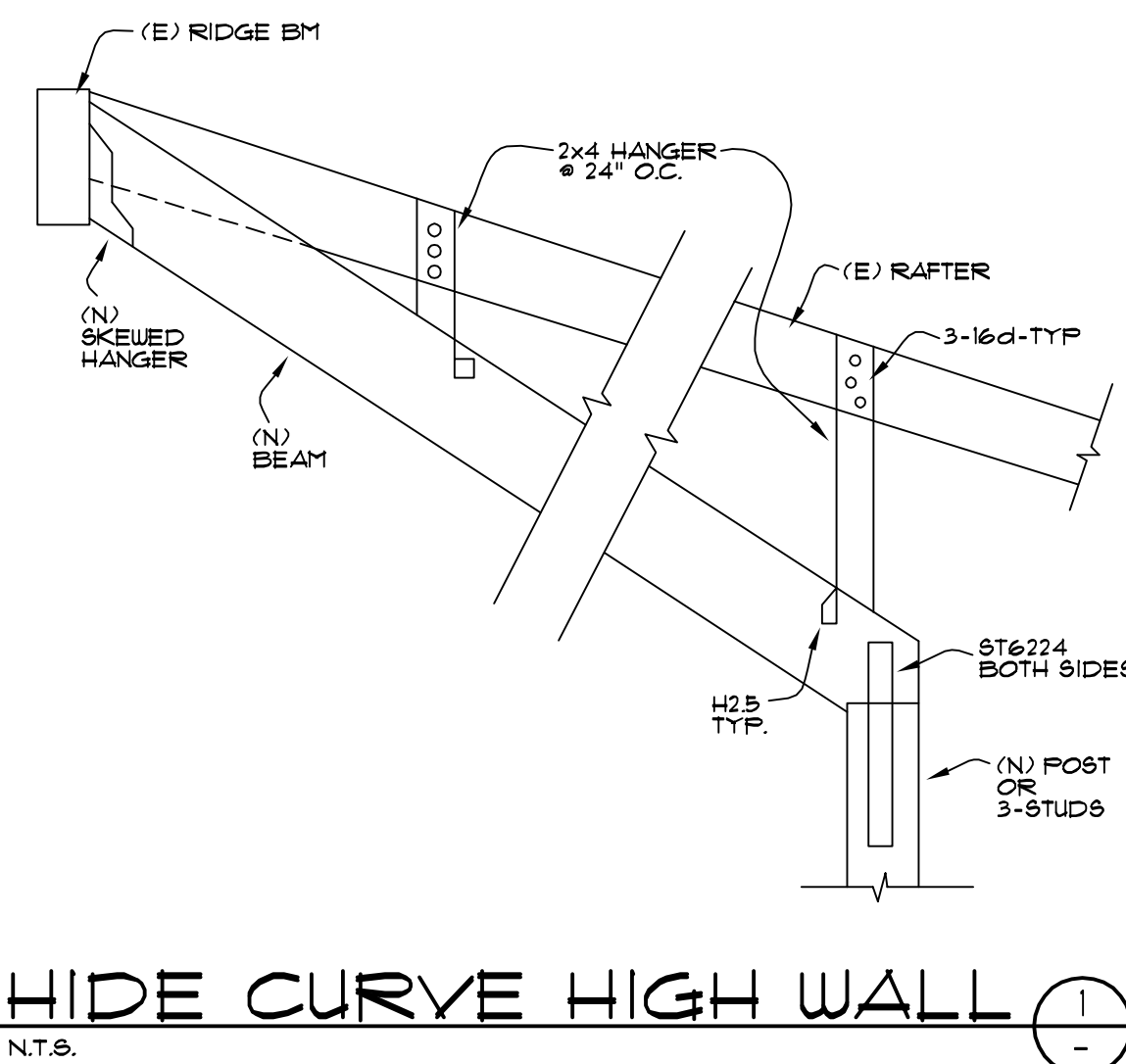
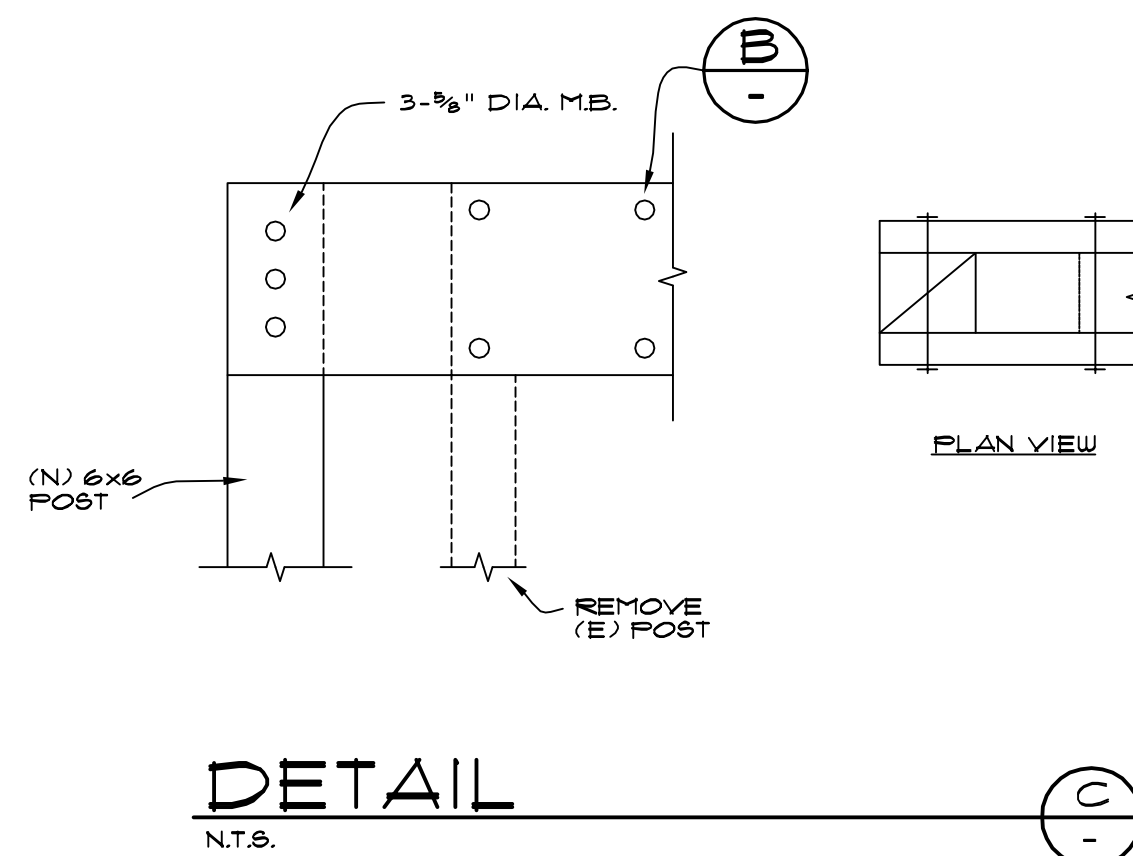
CONTRACTOR SHALL NOTIFY WILLIAMSON CHAVEZ DESIGN IMMEDIATELY OF ANY DISCREPANCIES OR ERRORS DETECTED IN THE APPROVED SET OF PLANS.

WILLIAMSON CHAVEZ DESIGN ASSUMES NO RESPONSIBILITY FOR ITEMS NOT A PART OF THE APPROVED AND SIGNED PLANS.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. DO NOT SCALE PLANS.

ROOF NOTES:

1. ALL HEADERS TO BE 4x12 DFM UNLESS OTHERWISE NOTED (UON)
- STUDS:
 1. ALL WALL UNDER 10 FEET HT COULD BE 2x4 STUDS @16" O.C.
 2. ALL WALLS OVER 10 FEET SHALL BE 2x6 STUDS @16" O.C. - 14' MAX HT
 3. ALL WALLS OVER 15' TALL SHALL BE 2x8 STUDS @16" O.C. - 18 FT MAX HT OR 2-2x6 @16" O.C.
 4. ALL WALLS OVER 18 FEET HT SHALL BE 2-2x8 STUDS @16" O.C. - 20' MAX HT (NAILED TOGETHER WITH 16d @6" O.C.)



- ① = NEW 4x12 DFM HEADER W/ DOUBLE STUDS (X/DI)
- ② = NEW 4x4 DFM OR 6x6 POST (X/DI)
- ③ = SIMPSON HANGER HU
- ④ = CONTRACTOR SHALL VERIFY BEARING WALL
- ⊗ = STRAP BEAM TO POST OR ECCQ (X/DI)
- ▨ = NEW STUD WALLS SEE ARCH DWG'S (1/DI) (5/DI)
- = EXISTING STUD WALLS TO BE REMOVE SEE ARCH DWG'S

UPPER ROOF PLAN

SCALE: 1/4" = 1'-0"

ENGINEERED BY:
WILLIAMSON CHAVEZ DESIGN
 P.O. BOX 222277
 CARMEL, CA 93922
 PH. (661) 910-3977 williamsonchavez@yahoo.com

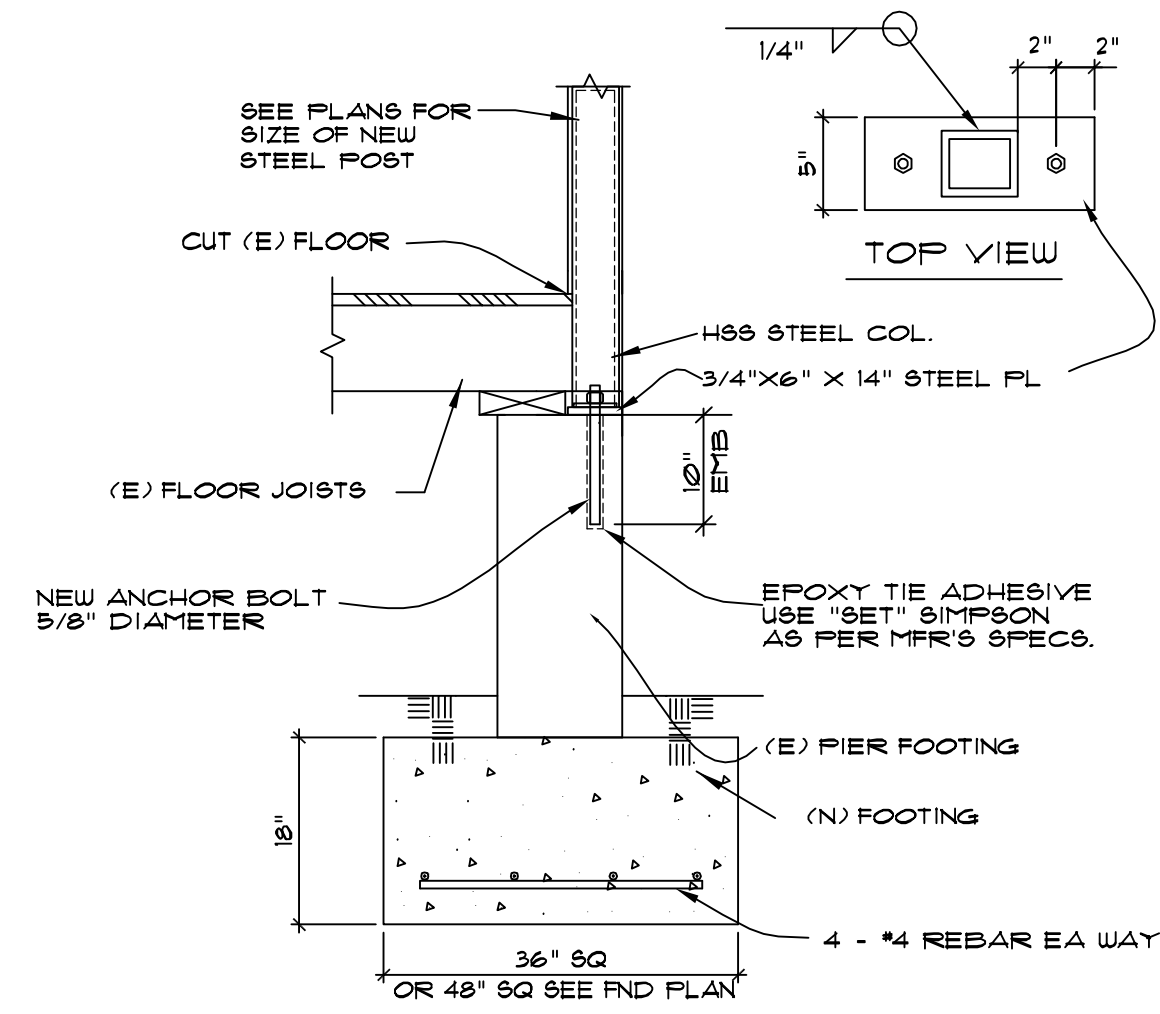
STRUCTURAL PLANS FOR:
LINFESTY RESIDENCE
 4 OAK KNOLL WAY
 CARMEL BY THE SEA, CA

STRUCTURAL PLANS FOR:
LINFESTY RESIDENCE
 4 OAK KNOLL WAY
 CARMEL BY THE SEA, CA

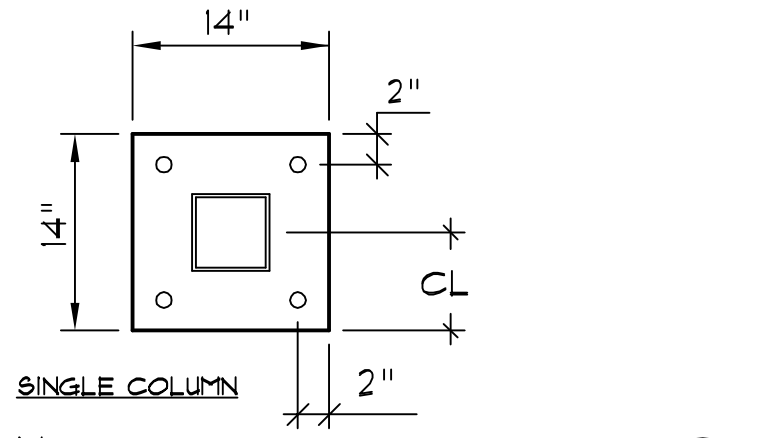


DRAWN: PAC
 DATE: 9-9-2020
 SCALE: N.T.S.
 JOB: 2020 DB
 FILE: MICHELLE CHU
 SHEET:

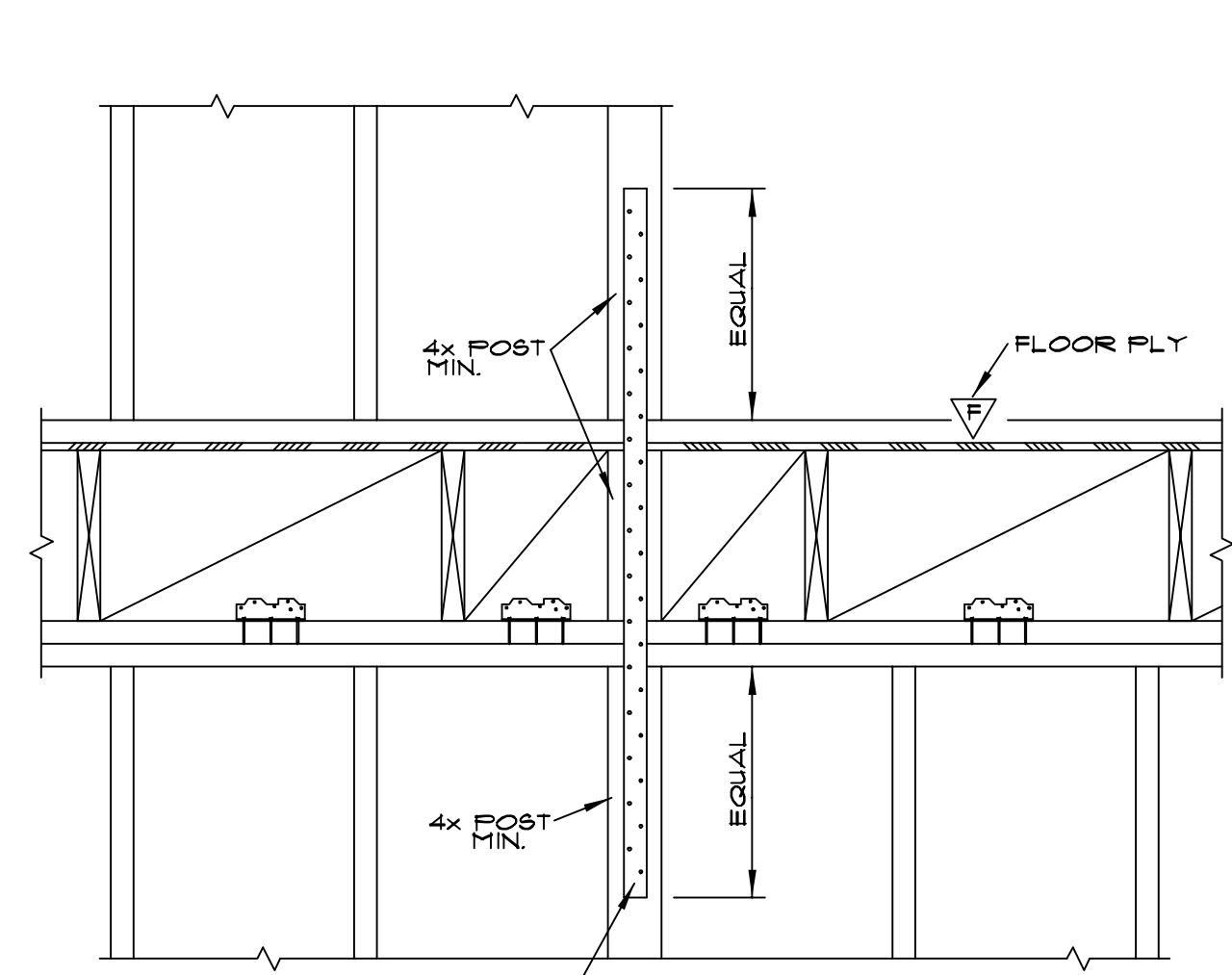




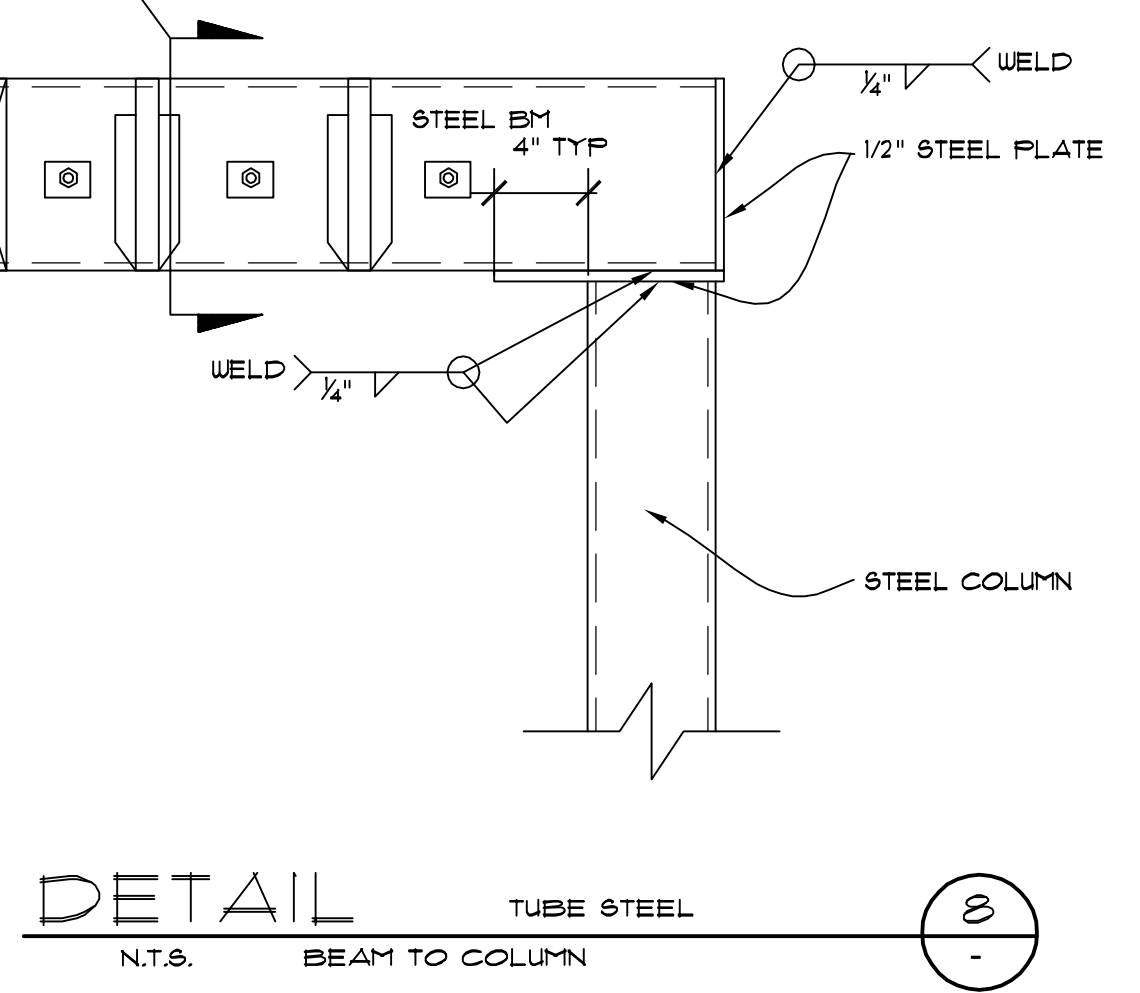
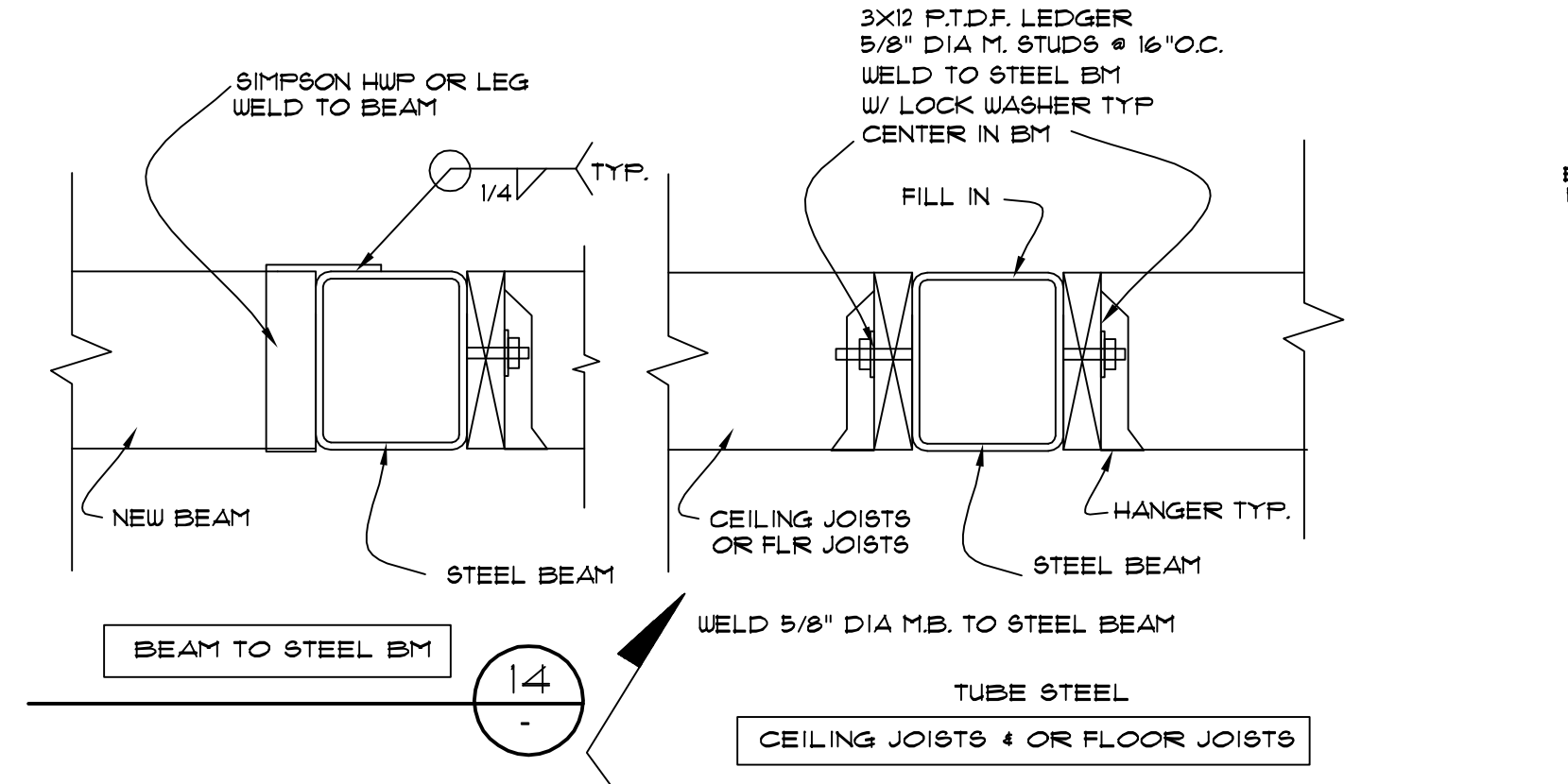
DETAIL 11
STEEL COLUMN POST ABOVE NEW FOOTING
N.T.S.



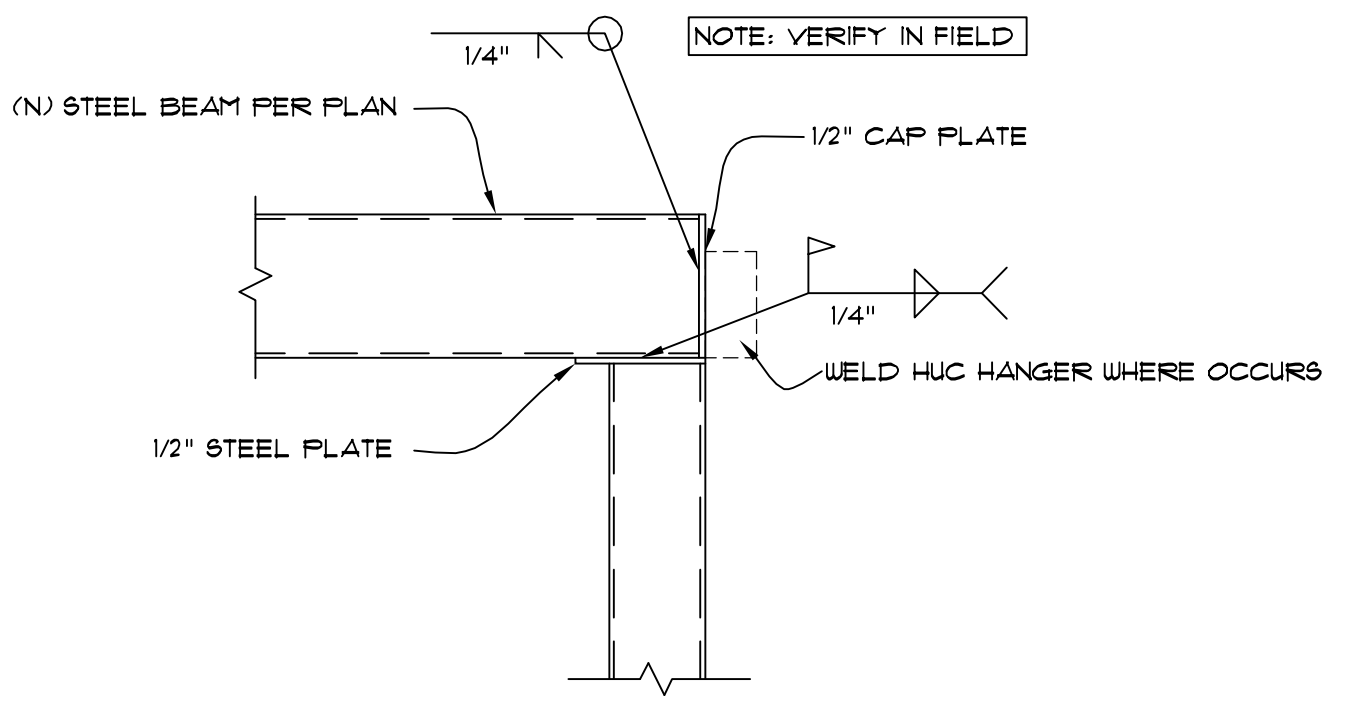
DETAIL 12
SINGLE COLUMN
N.T.S.



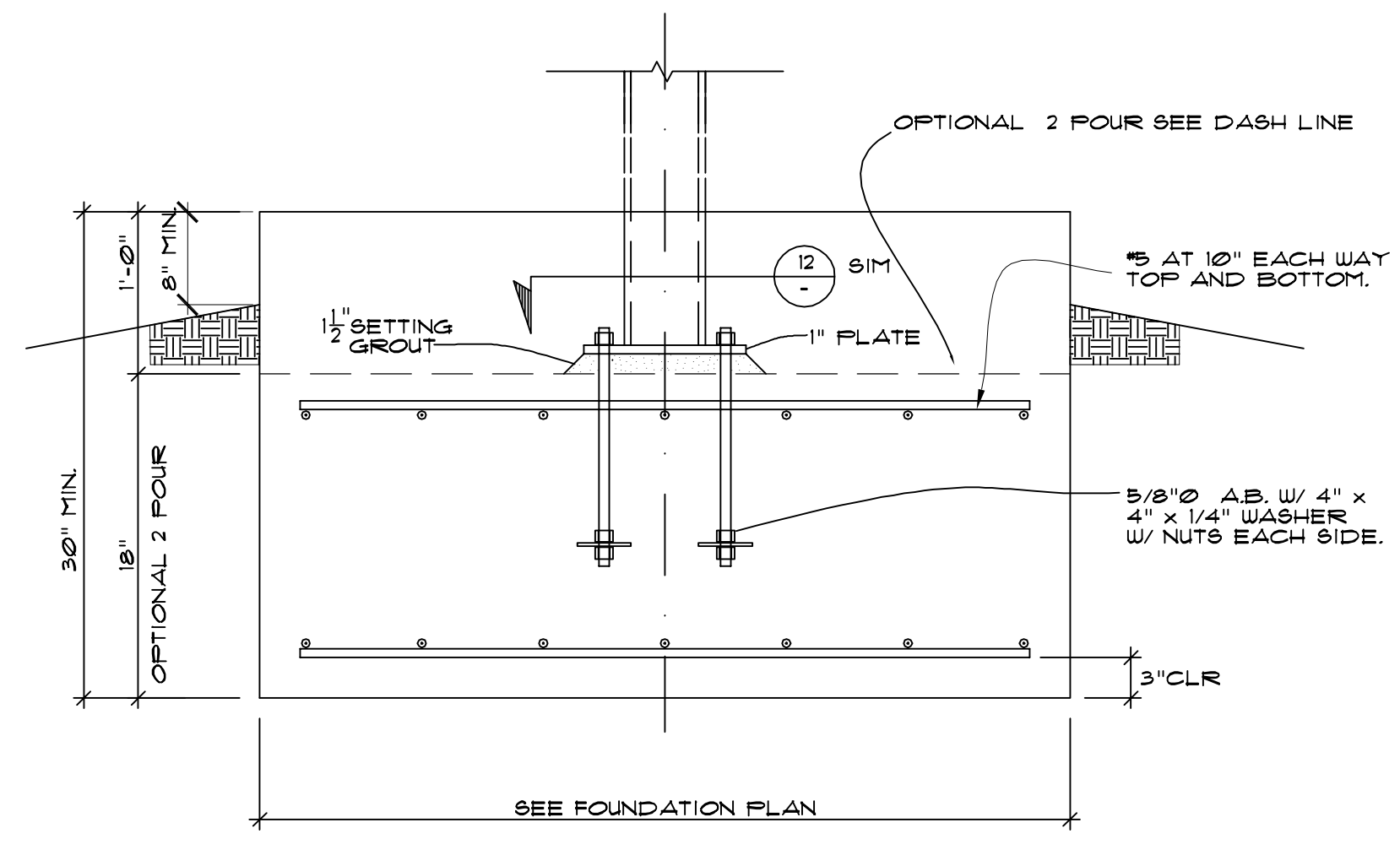
SECTION 13
POST STRAPS TO POST
N.T.S.



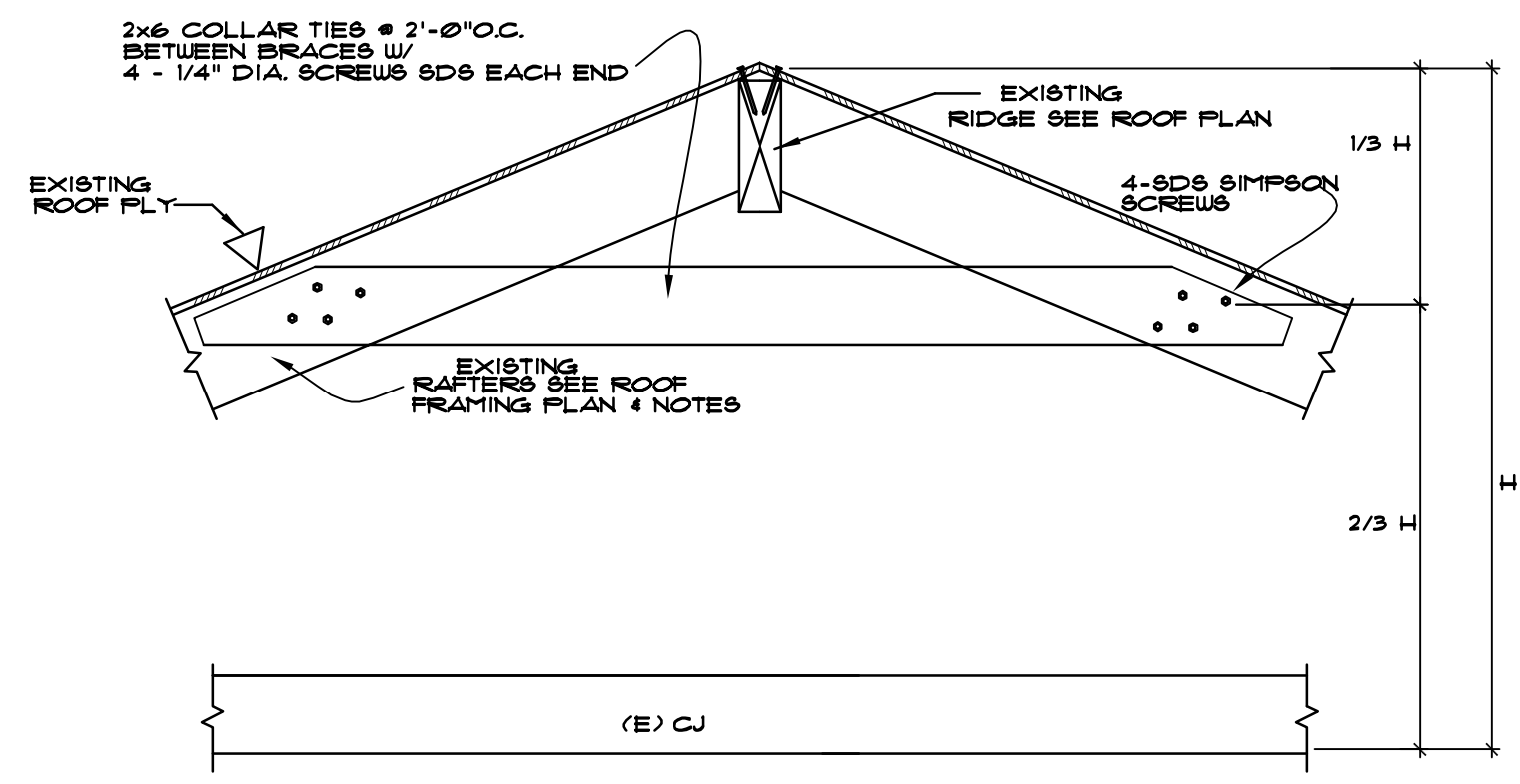
DETAIL 8
TUBE STEEL BEAM TO COLUMN
N.T.S.



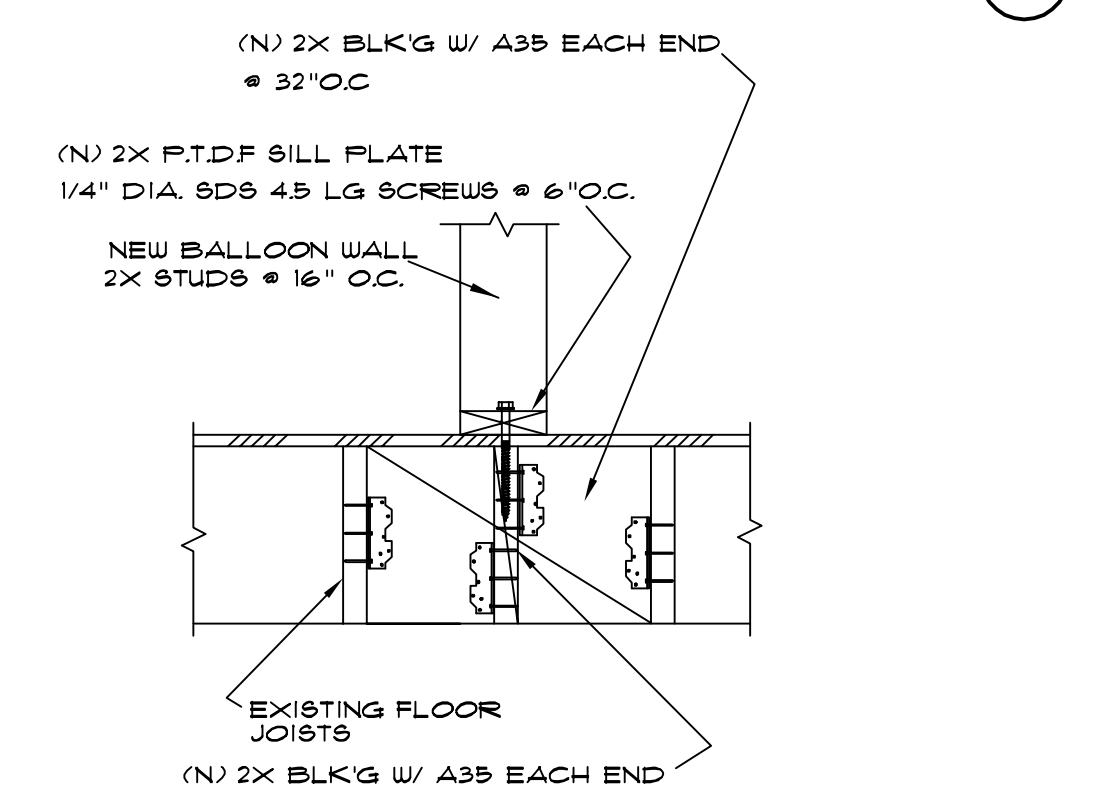
DETAIL 10
N.T.S.



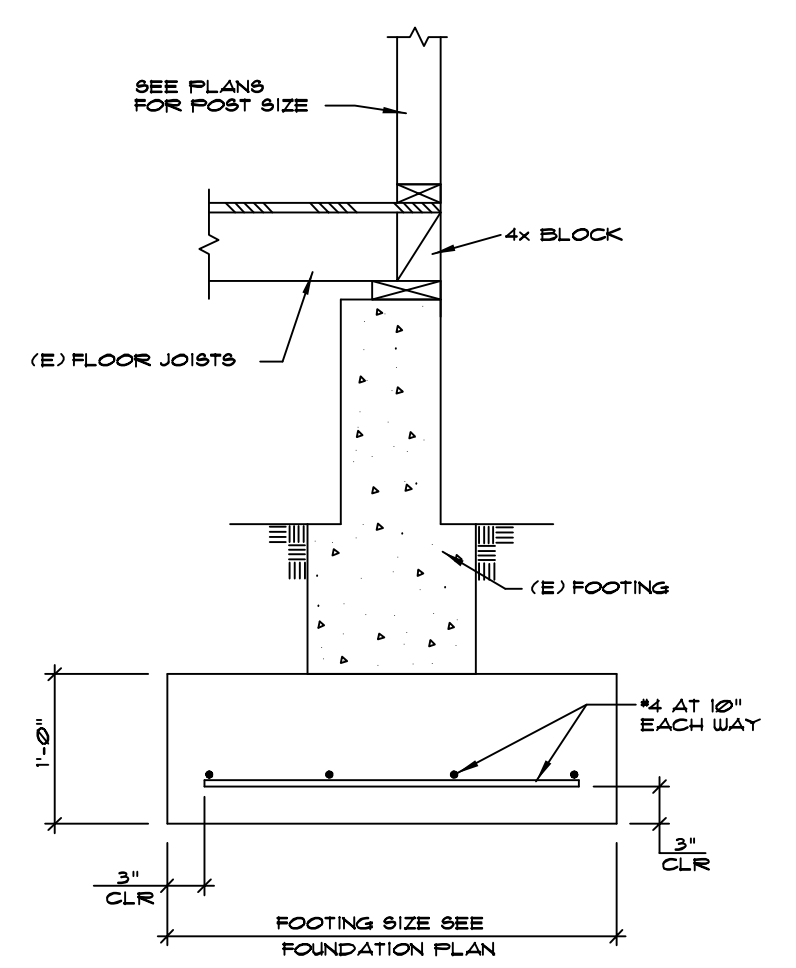
DETAIL 10
ONE FOUR OR TWO FOUR SEE DASH LINE ABOVE
N.T.S.



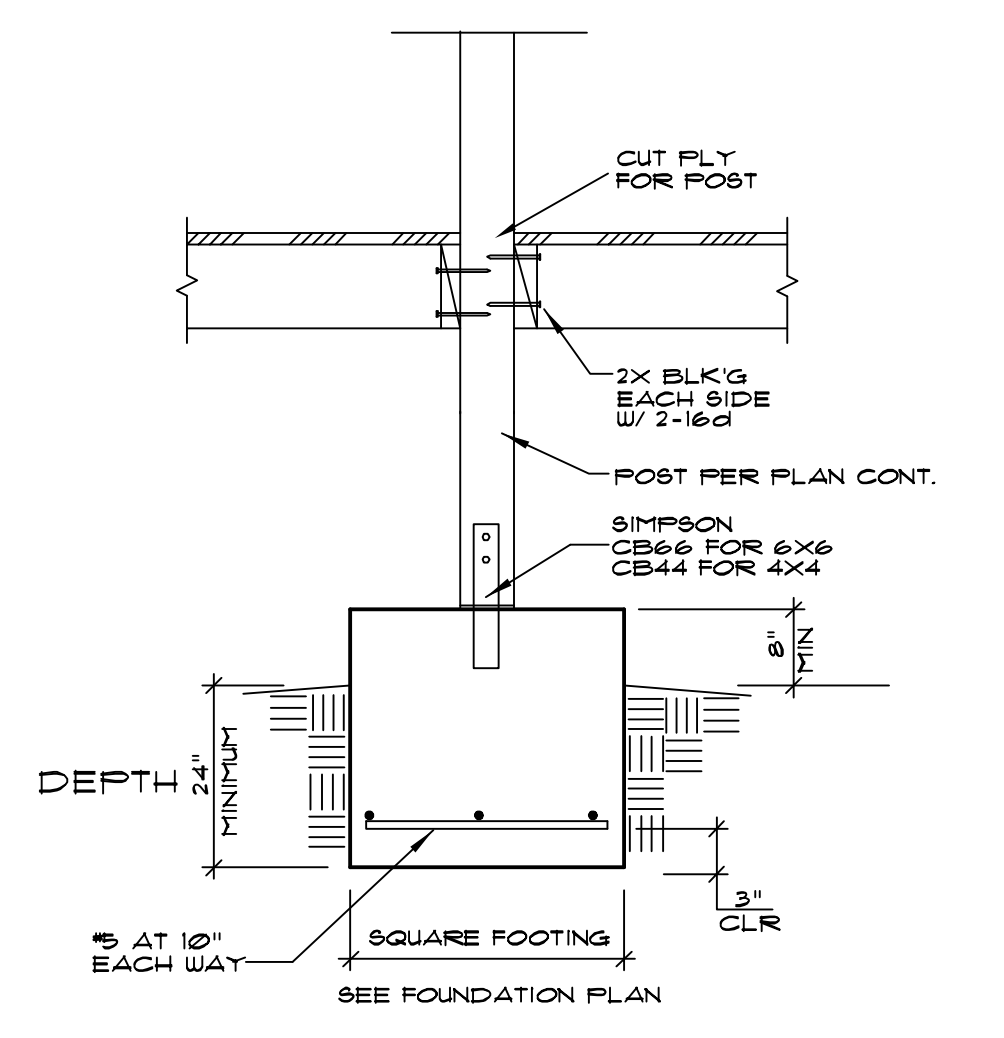
SECTION 4
NEW COLLAR TIES
N.T.S.



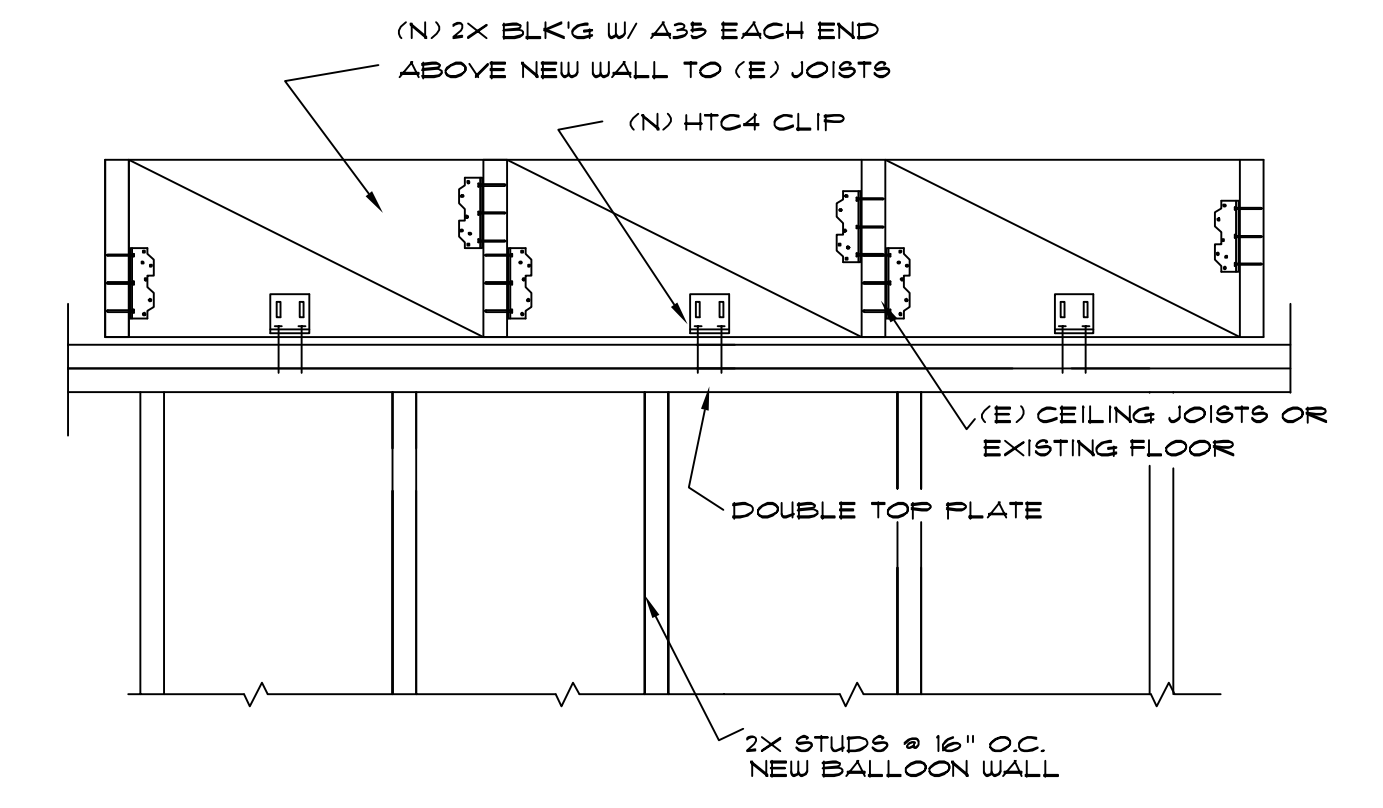
SECTION 5
NEW NON-BEARING WALL
N.T.S.



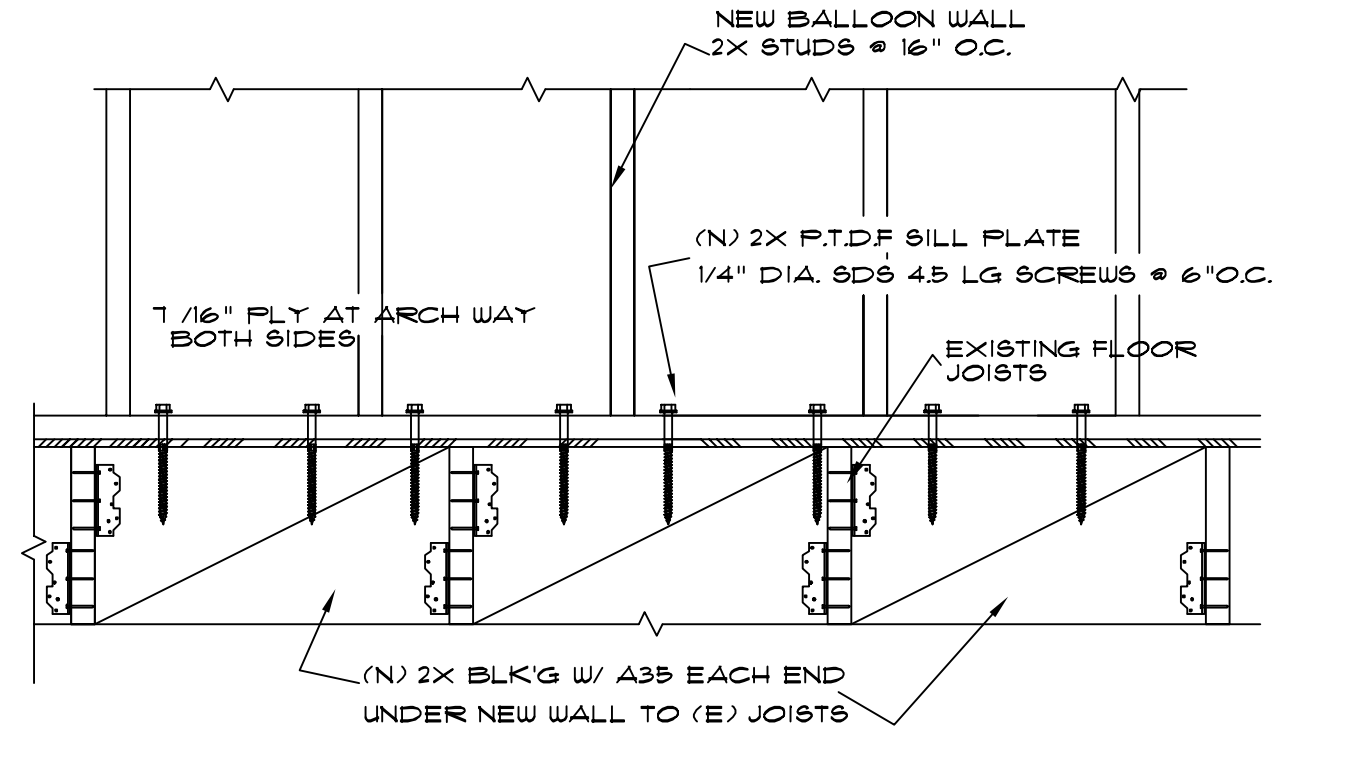
SECTION 6
UNDERPINNING FOR POST ABOVE NEW FOOTING
N.T.S.



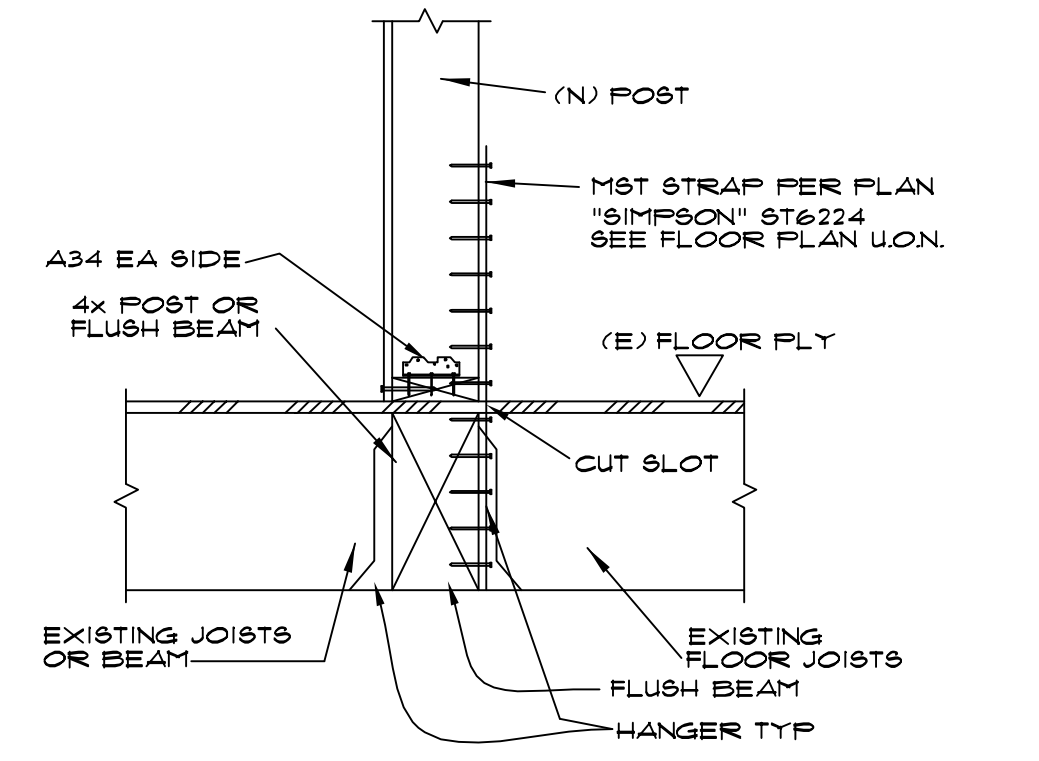
SECTION 7
SQUARE FOOTING
N.T.S.



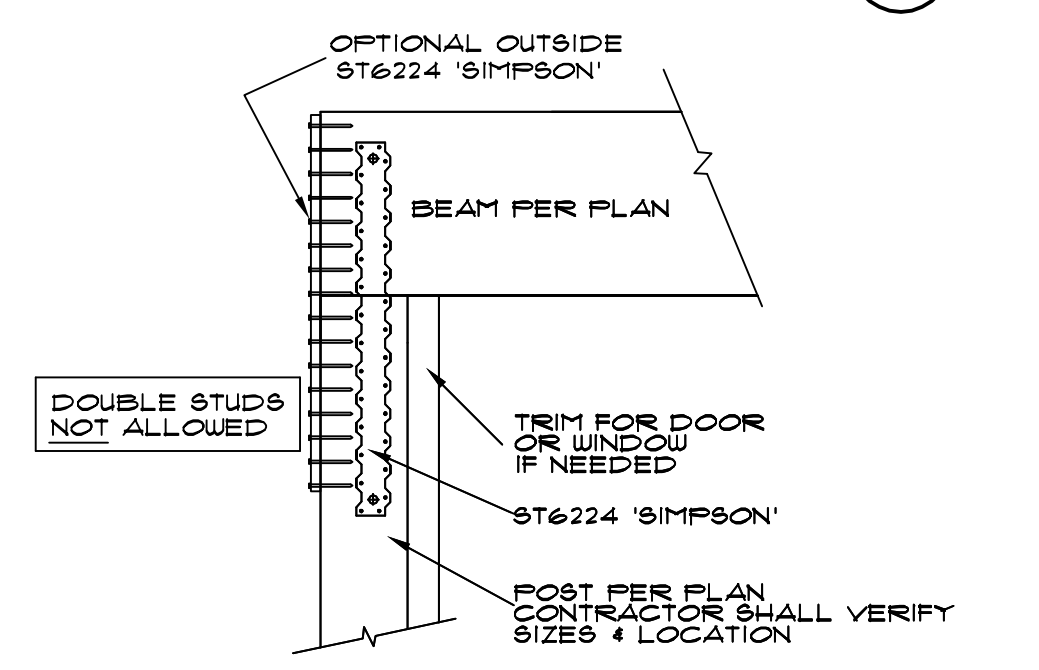
SECTION 1
NEW NON-BEARING WALL
N.T.S.



SECTION 2
BOLT TOGETHER
N.T.S.



SECTION 3
NEW BEAM
N.T.S.



SECTION X
BEAM TO POST
N.T.S.

CONTRACTOR SHALL NOTIFY WILLIAMSON CHAVEZ DESIGN IMMEDIATELY OF ANY DISCREPANCIES OR ERRORS DETECTED IN THE APPROVED SET OF PLANS.

WILLIAMSON CHAVEZ DESIGN ASSUMES NO RESPONSIBILITY FOR ITEMS NOT A PART OF THE APPROVED AND SIGNED PLANS.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. DO NOT SCALE PLANS.

ENGINEERED BY:
WILLIAMSON CHAVEZ DESIGN
P.O. BOX 222277
CARMEL, CA 93922
PH. (661) 910-3977 williamsonchavez@yahoo.com

STRUCTURAL PLANS FOR:
LINFESTY RESIDENCE
4 OAK KNOLL WAY
CARMEL BY THE SEA, CA

REGISTERED PROFESSIONAL ENGINEER
DAVID ANTONIO LARA
No. 87203
Exp. 3-31-2021
CIVIL
STATE OF CALIFORNIA

DRAWN: PAC
DATE: 9-9-2020
SCALE: N.T.S.
JOB: 2020 DB
FILE: MICHELLE CHU
SHEET:

D1

STRUCTURAL NOTES:

- A. GENERAL**
- A1. SITE CONDITIONS: THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS AND MATERIALS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 - A2. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS & PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY & NOT BE LIMITED TO NORMAL WORKING HOURS; & THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
 - A3. ALL CONSTRUCTION NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM WITH SIMILAR CONSTRUCTION SHOWN, ALL CONSTRUCTION SHALL BE PER THE PER THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE (CBC), 2019.
- B. STRUCTURAL STEEL**
- B1. STRUCTURAL I SECTIONS SHALL BE ASTM A992 STEEL (F_y = 50ksi). STRUCTURAL TUBING SHALL CONFORM TO ASTM A500 OR A501, GRADE B (F_y = 46ksi). ALL OTHER STRUCTURAL STEEL SHALL BE ASTM A36, FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES. THREE SHOP COATS OF PRIMER SHALL BE REQUIRED ON ALL STEEL NOT ENCASED IN CONCRETE. THE CONTRACTOR SHALL ACQUIRE FROM THE STEEL FABRICATOR AN AFFIDAVIT STATING THAT THE STRUCTURAL STEEL FURNISHED MEETS THE REQUIREMENTS OF THE GRADE SPECIFIED. TREAT FIELD WELDS WITH 3 COATS OF PRIMER.
 - B2. WELDING: ALL WELDING SHALL BE BY THE SHIELDED ARC PROCESS, AND SHALL BE DONE BY A CERTIFIED WELDER, PREQUALIFIED BY AWS STANDARDS. USE E70XX ELECTRODES. FIELD WELDS TO BE INSPECTED PER USC CHAPTER I REQUIREMENTS.
 - B3. MACHINE BOLTS SHALL COMPLY TO ASTM A307 FOR ALL CONNECTIONS, UNLESS OTHERWISE SHOWN, SEE PLANS AND DETAILS. HOLES SHALL BE 1/16" INCH LARGER IN DIAMETER, UNLESS OTHERWISE NOTED.
- D. CONCRETE**
- D1. CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH F_c = 2500PSI AT 28 DAYS. MAXIMUM AGGREGATE SIZE = 3/4". CONCRETE SHALL BE MIXED PLACED AND CURED IN ACCORDANCE WITH A.C.I. 318 - LATEST EDITION.
 - D2. REINFORCING STEEL SHALL CONFORM WITH ASTM A-615, GRADE 40 FOR #4 BARS & SMALLER, GRADE 60 FOR #5 & LARGER. BARS SHALL HAVE A MINIMUM LAP LENGTH OF 40 BAR DIAMETERS OR 12" MINIMUM. MINIMUM CONCRETE COVER TO BARS SHALL BE AS PER SECTION 7.11 OF A.C.I. 318 UNLESS OTHERWISE SHOWN.
 - D3. ANCHOR BOLTS SHALL BE ASTM A307, GALVANIZED STEEL PER ASTM A446 WHEN INSTALLED IN PRESSURE TREATED MUDSILLS.
- E. CONCRETE MASONRY WALLS**
- E1. CONCRETE MASONRY UNITS SHALL BE HOLLOW OPEN END GRADE N-1 CONFORMING TO ASTM C-90 WITH A MINIMUM COMPRESSIVE STRENGTH F_m = 1500 PSI. NO SPECIAL INSPECTION IS REQUIRED FOR MASONRY UNITS UNLESS OTHERWISE INDICATED.
 - E2. MORTAR SHALL BE TYPE S CONFORMING TO ASTM C-270 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI. GROUT SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI.

CONTRACTOR SHALL NOTIFY WILLIAMSON CHAVEZ DESIGN IMMEDIATELY OF ANY DISCREPANCIES OR ERRORS DETECTED IN THE APPROVED SET OF PLANS.

WILLIAMSON CHAVEZ DESIGN ASSUMES NO RESPONSIBILITY FOR ITEMS NOT A PART OF THE APPROVED AND SIGNED PLANS.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. DO NOT SCALE PLANS.

GENERAL NOTES

DESIGN AND CONSTRUCTION GOVERNED BY THE 2019 CALIFORNIA BUILDING CODE (2019 CBC).

TYPICAL DETAILS AND GENERAL NOTES APPLY IN ALL CASES UNLESS SPECIFICALLY SHOWN OTHERWISE ON THE DRAWINGS.

WHERE NO DETAIL IS SHOWN, CONSTRUCTION SHALL BE AS SHOWN FOR OTHER SIMILAR WORK.

NO DEVIATION FROM THE DRAWINGS IS PERMITTED WITHOUT THE PERMISSION OF THE ENGINEER.

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING BUILDING ELEMENTS AND DIMENSIONS SHOWN ON THE DRAWINGS.

IF FIELD CONDITIONS ARE NOT AS SHOWN ON THE DRAWINGS, OR IF INTERFERENCES TO CONSTRUCTION ARE DISCOVERED, CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION, NOR THE SAFETY ON THE JOB SITE. THESE RESPONSIBILITIES ARE INTENDED TO BE AND TO REMAIN SOLELY THOSE OF THE BUILDER.

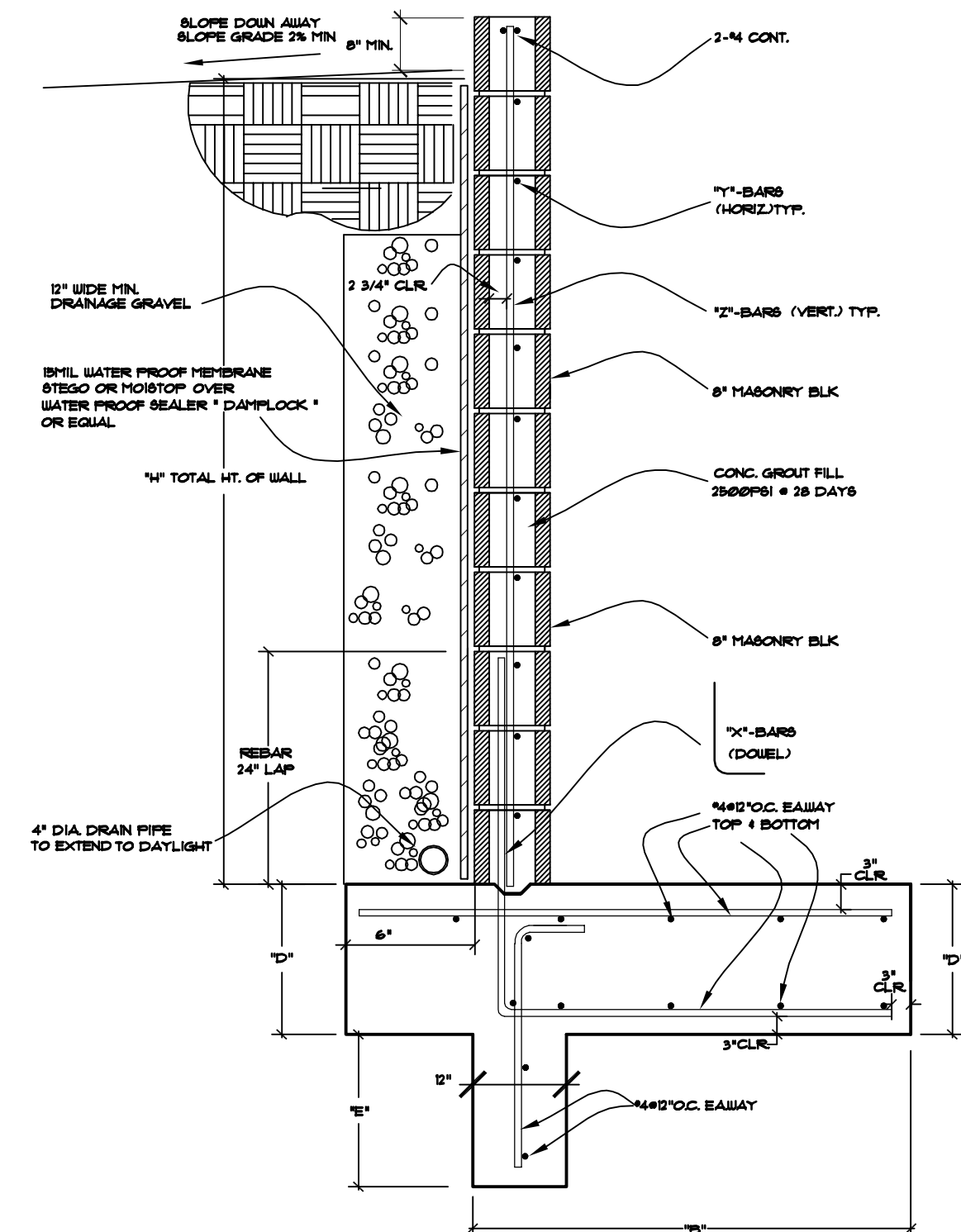
STRUCTURAL NOTES

CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 P.S.I. AT 28 DAYS, AND SHALL CONTAIN TYPE II CEMENT.

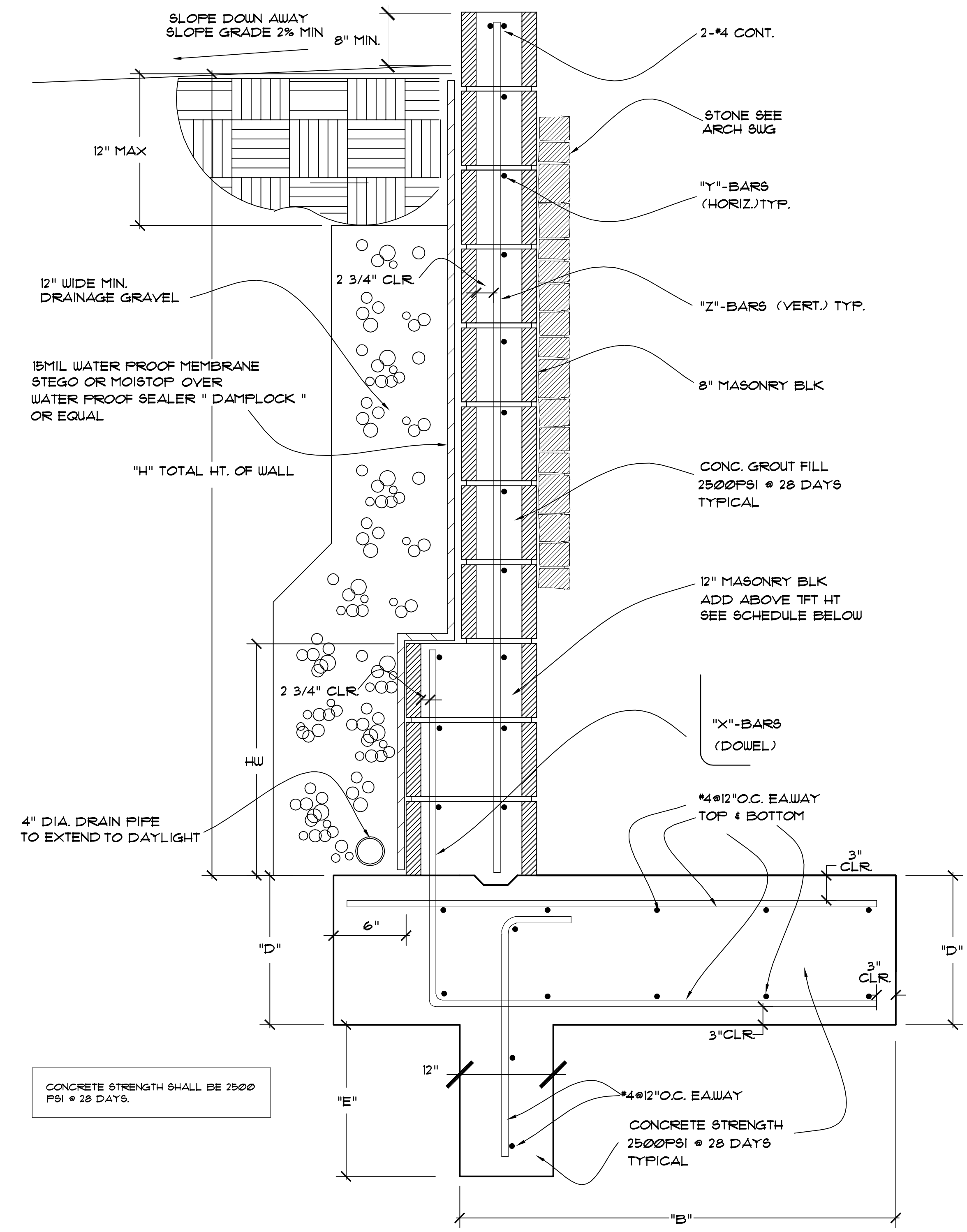
ALL FRAMING LUMBER SHALL BE DOUGLAS FIR NO. 2 OR BETTER (UNLESS NOTED OTHERWISE). ALL GLU-LAMINATED BEAMS SHALL BE 24F-V4 (UNLESS NOTED OTHERWISE).

ALL FOUNDATION PLATES IN CONTACT WITH CONCRETE SHALL BE TREATED LUMBER.

REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING: #4 AND SMALLER BARS SHALL BE INTERMEDIATE GRADE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 40 (F_y = 40,000 PSI MINIMUM). SPLICES SHALL LAP A MINIMUM OF 30 DIAMETERS IN CONCRETE. #5 BARS AND LARGER SHALL BE DEFORMED BARS CONFORMING TO ASTM 1615, GRADE 60 (F_y = 60,000 PSI MINIMUM). SPLICES SHALL LAP A MINIMUM OF 36 DIAMETERS IN CONCRETE.



RETAINING WALL
N.T.S. MASONRY BLK REBAR PLACEMENT



CONCRETE STRENGTH SHALL BE 2500 PSI @ 28 DAYS.

		(VERT.)	(HORIZ.)	12" WIDE BLK	(VERT.)		
"H"	"B"	"D"	"E"	"X"-BARS	"Y"-BARS	HW HT	"Z"-BARS
8'-0"	6'-0"	1'-2"	12"	#5 @ 8" O.C.	#5 @ 16" O.C.	24" HT	#5 @ 16" O.C.
7'-0"	5'-0"	1'-2"	6"	#5 @ 16" O.C.	#5 @ 16" O.C.	NONE	#5 @ 16" O.C.
6'-0"	4'-6"	12"	0"	#4 @ 8" O.C.	#4 @ 16" O.C.	NONE	#4 @ 16" O.C.
5'-0"	4'-0"	12"	0"	#4 @ 16" O.C.	#4 @ 16" O.C.	NONE	#4 @ 16" O.C.
4'-0"	3'-0"	12"	0"	#4 @ 16" O.C.	#4 @ 16" O.C.	NONE	#4 @ 16" O.C.
3'-0"	2'-0"	12"	0"	#4 @ 16" O.C.	#4 @ 16" O.C.	NONE	#4 @ 16" O.C.

SPECIAL INSPECTION & TESTING SCHEDULE

THE FOLLOWING ITEMS SHALL BE INSPECTED. "SPECIAL INSPECTION" SHALL CONFORM TO SECTION 1704 OF THE 2016 CALIFORNIA BUILDING CODE. SPECIAL INSPECTION AGENCIES AND/OR INDIVIDUALS SHALL BE RETAINED BY THE OWNER AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO ANY WORK FOR MATERIAL TESTING REQUIREMENTS. SEE SPECIFICATIONS AND/OR GENERAL NOTES. TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE BUILDING OFFICIAL AND ENGINEER.

ITEM	REQ'D.	REMARKS
REBAR PLACEMENT	YES	RETAINING WALLS & FOOTINGS

RETAINING WALL

N.T.S. MASONRY BLK

SEE LANDSCAPE PLANS FOR LOCATION OF RETAINING WALLS

ENGINEERED BY:
WILLIAMSON CHAVEZ DESIGN
P.O. BOX 222377
CARMEL, CA 93922
PH. (661) 910-3977 williamsonchavez@yahoo.com

RETAINING WALL
& DETAILS

STRUCTURAL PLANS FOR:
LINFESTY RESIDENCE
4 OAK KNOLL WAY
CARMEL BY THE SEA, CA



DRAWN: PAC
DATE: 9-9-2020
SCALE: N.T.S.
JOB: 2020 DB
DESIGNER: MICHELLE CHU
SHEET: R1

R1

Williamson Chavez Design

P.O. Box 222277

Carmel CA 93922

(661)-910-3977 williamsonchavez@yahoo.com

Project:

Linfesty Residence
4 Oak Knoll Way
Carmel by the Sea, CA

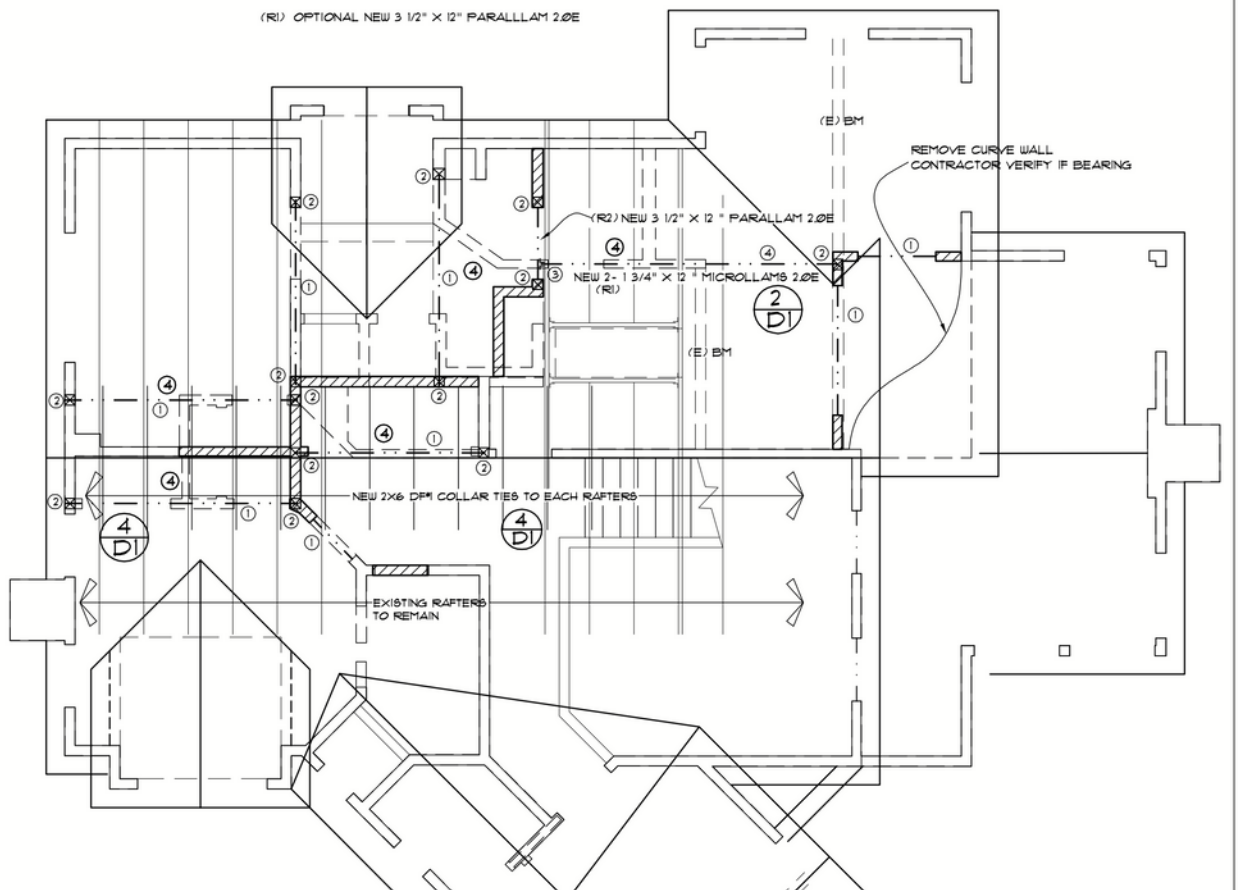
Prepared for:

Michelle M Chu
82 Laurel Drive
Carmel Valley, CA

Job # 20200330

CBC 2019
3-30-2020
BY PAC 1/ 13

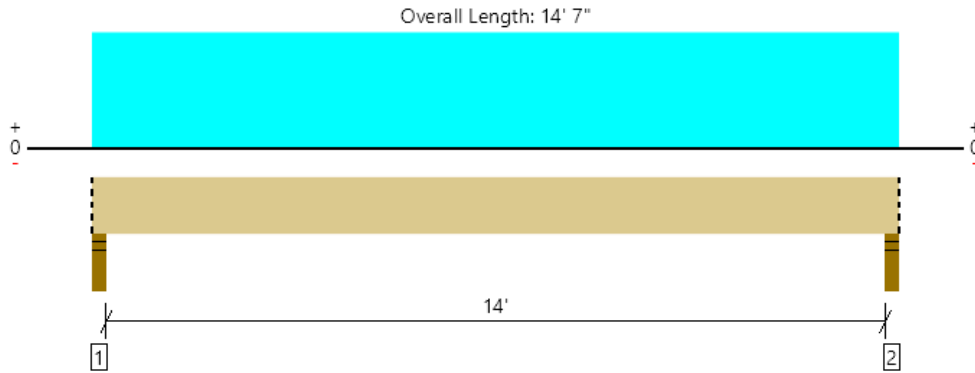
CODE: California Building Code (CBC) 2019 Remodel



Level, R1

2 piece(s) 1 3/4" x 11 7/8" 2.0E Microllam® LVL

2



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	2859 @ 2"	5206 (3.50")	Passed (55%)	--	1.0 D + 1.0 Lr (All Spans)
Shear (lbs)	2357 @ 1' 3 3/8"	9871	Passed (24%)	1.25	1.0 D + 1.0 Lr (All Spans)
Moment (Ft-lbs)	9953 @ 7' 3 1/2"	22310	Passed (45%)	1.25	1.0 D + 1.0 Lr (All Spans)
Live Load Defl. (in)	0.204 @ 7' 3 1/2"	0.712	Passed (L/838)	--	1.0 D + 1.0 Lr (All Spans)
Total Load Defl. (in)	0.400 @ 7' 3 1/2"	0.950	Passed (L/427)	--	1.0 D + 1.0 Lr (All Spans)

System : Roof
 Member Type : Drop Beam
 Building Use : Residential
 Building Code : IBC 2018
 Design Methodology : ASD
 Member Pitch : 0/12

- Deflection criteria: LL (L/240) and TL (L/180).
- Top Edge Bracing (Lu): Top compression edge must be braced at 14' 7" o/c based on loads applied, unless detailed otherwise.
- Bottom Edge Bracing (Lu): Bottom compression edge must be braced at 14' 7" o/c based on loads applied, unless detailed otherwise.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Roof Live	Total	
1 - Stud wall - SPF	3.50"	3.50"	1.92"	1401	1458	2859	Blocking
2 - Stud wall - SPF	3.50"	3.50"	1.92"	1401	1458	2859	Blocking

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Roof Live (non-snow: 1.25)	Comments
0 - Self Weight (PLF)	0 to 14' 7"	N/A	12.1	--	
1 - Uniform (PSF)	0 to 14' 7" (Front)	10'	18.0	20.0	Default Load

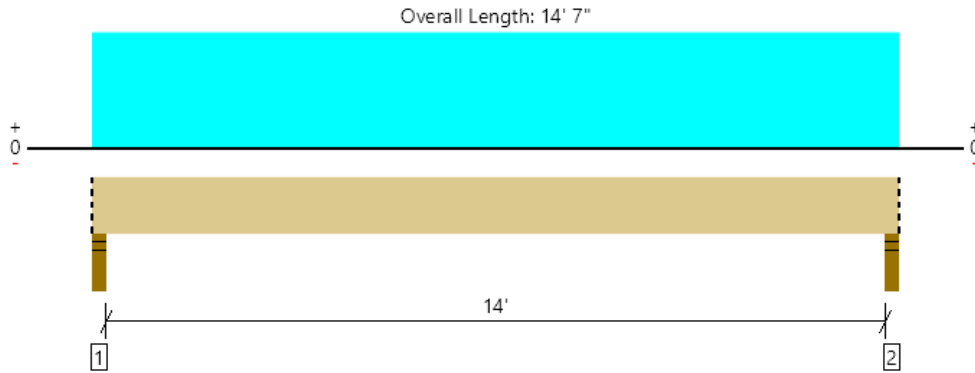
Weyerhaeuser Notes

Weyerhaeuser warrants that the sizing of its products will be in accordance with Weyerhaeuser product design criteria and published design values. Weyerhaeuser expressly disclaims any other warranties related to the software. Use of this software is not intended to circumvent the need for a design professional as determined by the authority having jurisdiction. The designer of record, builder or framer is responsible to assure that this calculation is compatible with the overall project. Accessories (Rim Board, Blocking Panels and Squash Blocks) are not designed by this software. Products manufactured at Weyerhaeuser facilities are third-party certified to sustainable forestry standards. Weyerhaeuser Engineered Lumber Products have been evaluated by ICC-ES under evaluation reports ESR-1153 and ESR-1387 and/or tested in accordance with applicable ASTM standards. For current code evaluation reports, Weyerhaeuser product literature and installation details refer to www.weyerhaeuser.com/woodproducts/document-library.

The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

ForteWEB Software Operator	Job Notes
Pete Chavez Williamson Chavez Design (661) 910-3977 williamsonchavez@yahoo.com	MICHELLE CHU 2020





All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	2865 @ 2"	5206 (3.50")	Passed (55%)	--	1.0 D + 1.0 Lr (All Spans)
Shear (lbs)	2362 @ 1' 3 3/8"	10044	Passed (24%)	1.25	1.0 D + 1.0 Lr (All Spans)
Moment (Ft-lbs)	9975 @ 7' 3 1/2"	24878	Passed (40%)	1.25	1.0 D + 1.0 Lr (All Spans)
Live Load Defl. (in)	0.204 @ 7' 3 1/2"	0.712	Passed (L/838)	--	1.0 D + 1.0 Lr (All Spans)
Total Load Defl. (in)	0.401 @ 7' 3 1/2"	0.950	Passed (L/427)	--	1.0 D + 1.0 Lr (All Spans)

System : Roof
 Member Type : Drop Beam
 Building Use : Residential
 Building Code : IBC 2018
 Design Methodology : ASD
 Member Pitch : 0/12

- Deflection criteria: LL (L/240) and TL (L/180).
- Top Edge Bracing (Lu): Top compression edge must be braced at 14' 7" o/c based on loads applied, unless detailed otherwise.
- Bottom Edge Bracing (Lu): Bottom compression edge must be braced at 14' 7" o/c based on loads applied, unless detailed otherwise.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Roof Live	Total	
1 - Stud wall - SPF	3.50"	3.50"	1.93"	1407	1458	2865	Blocking
2 - Stud wall - SPF	3.50"	3.50"	1.93"	1407	1458	2865	Blocking

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Roof Live (non-snow: 1.25)	Comments
0 - Self Weight (PLF)	0 to 14' 7"	N/A	13.0	--	
1 - Uniform (PSF)	0 to 14' 7" (Front)	10'	18.0	20.0	Default Load

Weyerhaeuser Notes

Weyerhaeuser warrants that the sizing of its products will be in accordance with Weyerhaeuser product design criteria and published design values. Weyerhaeuser expressly disclaims any other warranties related to the software. Use of this software is not intended to circumvent the need for a design professional as determined by the authority having jurisdiction. The designer of record, builder or framer is responsible to assure that this calculation is compatible with the overall project. Accessories (Rim Board, Blocking Panels and Squash Blocks) are not designed by this software. Products manufactured at Weyerhaeuser facilities are third-party certified to sustainable forestry standards. Weyerhaeuser Engineered Lumber Products have been evaluated by ICC-ES under evaluation reports ESR-1153 and ESR-1387 and/or tested in accordance with applicable ASTM standards. For current code evaluation reports, Weyerhaeuser product literature and installation details refer to www.weyerhaeuser.com/woodproducts/document-library.

The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

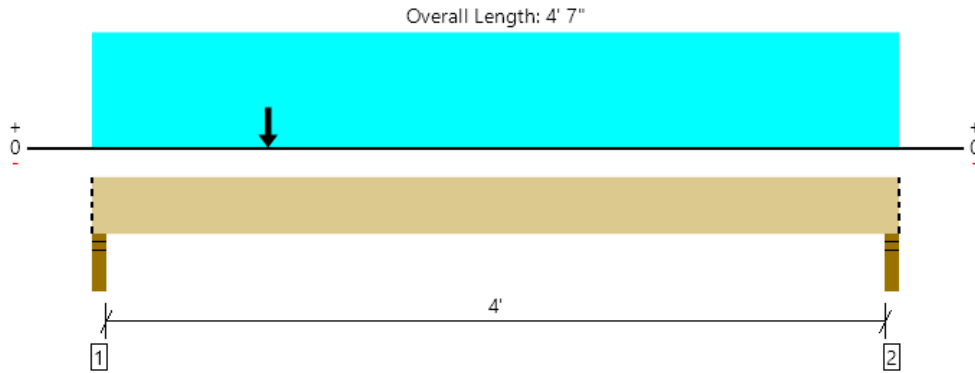
ForteWEB Software Operator	Job Notes
Pete Chavez Williamson Chavez Design (661) 910-3977 williamsonchavez@yahoo.com	MICHELLE CHU 2020



Level, R2

1 piece(s) 3 1/2" x 11 7/8" 2.OE Parallam® PSL

4



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	2790 @ 2"	5206 (3.50")	Passed (54%)	--	1.0 D + 1.0 Lr (All Spans)
Shear (lbs)	1645 @ 1' 3 3/8"	7232	Passed (23%)	0.90	1.0 D (All Spans)
Moment (Ft-lbs)	2131 @ 1'	17912	Passed (12%)	0.90	1.0 D (All Spans)
Live Load Defl. (in)	0.001 @ 2' 3 5/8"	0.213	Passed (L/999+)	--	1.0 D + 1.0 Lr (All Spans)
Total Load Defl. (in)	0.011 @ 2' 15/16"	0.283	Passed (L/999+)	--	1.0 D + 1.0 Lr (All Spans)

System : Roof
 Member Type : Drop Beam
 Building Use : Residential
 Building Code : IBC 2018
 Design Methodology : ASD
 Member Pitch : 0/12

- Deflection criteria: LL (L/240) and TL (L/180).
- Top Edge Bracing (Lu): Top compression edge must be braced at 4' 7" o/c based on loads applied, unless detailed otherwise.
- Bottom Edge Bracing (Lu): Bottom compression edge must be braced at 4' 7" o/c based on loads applied, unless detailed otherwise.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Roof Live	Total	
1 - Stud wall - SPF	3.50"	3.50"	1.88"	2606	183	2789	Blocking
2 - Stud wall - SPF	3.50"	3.50"	1.50"	783	183	966	Blocking

- Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Roof Live (non-snow: 1.25)	Comments
0 - Self Weight (PLF)	0 to 4' 7"	N/A	13.0	--	
1 - Uniform (PSF)	0 to 4' 7" (Front)	4'	18.0	20.0	Default Load
2 - Point (lb)	1' (Front)	N/A	3000	-	

Weyerhaeuser Notes

Weyerhaeuser warrants that the sizing of its products will be in accordance with Weyerhaeuser product design criteria and published design values. Weyerhaeuser expressly disclaims any other warranties related to the software. Use of this software is not intended to circumvent the need for a design professional as determined by the authority having jurisdiction. The designer of record, builder or framer is responsible to assure that this calculation is compatible with the overall project. Accessories (Rim Board, Blocking Panels and Squash Blocks) are not designed by this software. Products manufactured at Weyerhaeuser facilities are third-party certified to sustainable forestry standards. Weyerhaeuser Engineered Lumber Products have been evaluated by ICC-ES under evaluation reports ESR-1153 and ESR-1387 and/or tested in accordance with applicable ASTM standards. For current code evaluation reports, Weyerhaeuser product literature and installation details refer to www.weyerhaeuser.com/woodproducts/document-library.

The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

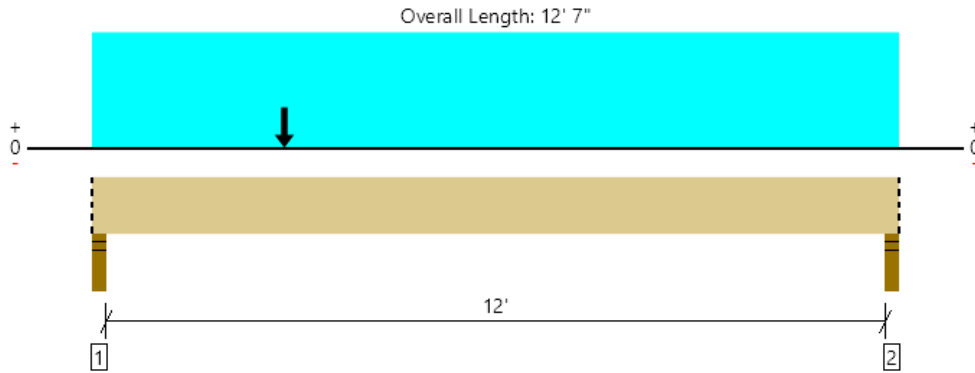
ForteWEB Software Operator	Job Notes
Pete Chavez Williamson Chavez Design (661) 910-3977 williamsonchavez@yahoo.com	MICHELLE CHU 2020



Level, F1

5

1 piece(s) 5 1/4" x 11 7/8" 2.0E Parallam® PSL



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	2200 @ 2"	7809 (3.50")	Passed (28%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	1909 @ 1' 3 3/8"	12053	Passed (16%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	5802 @ 5' 3 5/16"	29854	Passed (19%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.061 @ 6' 3 1/2"	0.408	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.118 @ 6' 1 1/8"	0.613	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)

System : Floor
 Member Type : Drop Beam
 Building Use : Residential
 Building Code : IBC 2018
 Design Methodology : ASD

- Deflection criteria: LL (L/360) and TL (L/240).
- Top Edge Bracing (Lu): Top compression edge must be braced at 12' 7" o/c based on loads applied, unless detailed otherwise.
- Bottom Edge Bracing (Lu): Bottom compression edge must be braced at 12' 7" o/c based on loads applied, unless detailed otherwise.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Stud wall - SPF	3.50"	3.50"	1.50"	1193	1007	2200	Blocking
2 - Stud wall - SPF	3.50"	3.50"	1.50"	656	1007	1663	Blocking

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
0 - Self Weight (PLF)	0 to 12' 7"	N/A	19.5	--	
1 - Uniform (PSF)	0 to 12' 7" (Front)	4'	12.0	40.0	Default Load
2 - Point (lb)	3' (Front)	N/A	1000	-	

Weyerhaeuser Notes

Weyerhaeuser warrants that the sizing of its products will be in accordance with Weyerhaeuser product design criteria and published design values. Weyerhaeuser expressly disclaims any other warranties related to the software. Use of this software is not intended to circumvent the need for a design professional as determined by the authority having jurisdiction. The designer of record, builder or framer is responsible to assure that this calculation is compatible with the overall project. Accessories (Rim Board, Blocking Panels and Squash Blocks) are not designed by this software. Products manufactured at Weyerhaeuser facilities are third-party certified to sustainable forestry standards. Weyerhaeuser Engineered Lumber Products have been evaluated by ICC-ES under evaluation reports ESR-1153 and ESR-1387 and/or tested in accordance with applicable ASTM standards. For current code evaluation reports, Weyerhaeuser product literature and installation details refer to www.weyerhaeuser.com/woodproducts/document-library.

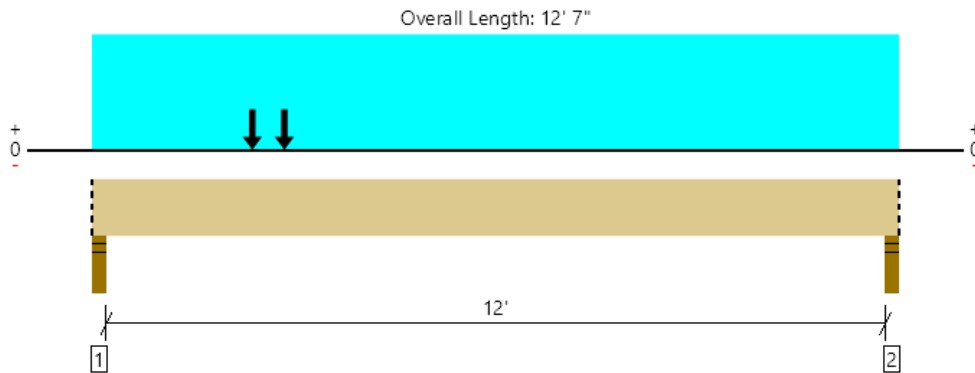
The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

ForteWEB Software Operator	Job Notes
Pete Chavez Williamson Chavez Design (661) 910-3977 williamsonchavez@yahoo.com	MICHELLE CHU 2020



Level, F2
1 piece(s) 7" x 11 7/8" 2.OE Parallam® PSL

6



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	3051 @ 2"	10413 (3.50")	Passed (29%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	2751 @ 1' 3 3/8"	16071	Passed (17%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	7353 @ 4' 5 7/8"	39805	Passed (18%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.046 @ 6' 3 1/2"	0.408	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.111 @ 5' 11 7/8"	0.613	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)

System : Floor
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2018
Design Methodology : ASD

- Deflection criteria: LL (L/360) and TL (L/240).
- Top Edge Bracing (Lu): Top compression edge must be braced at 12' 7" o/c based on loads applied, unless detailed otherwise.
- Bottom Edge Bracing (Lu): Bottom compression edge must be braced at 12' 7" o/c based on loads applied, unless detailed otherwise.
- Member should be side-loaded from both sides of the member or braced to prevent rotation.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Stud wall - SPF	3.50"	3.50"	1.50"	2044	1007	3051	Blocking
2 - Stud wall - SPF	3.50"	3.50"	1.50"	888	1007	1895	Blocking

- Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
0 - Self Weight (PLF)	0 to 12' 7"	N/A	26.0	--	
1 - Uniform (PSF)	0 to 12' 7" (Front)	4'	12.0	40.0	Default Load
2 - Point (lb)	3' (Front)	N/A	1000	-	
3 - Point (lb)	2' 6" (Front)	N/A	1000	-	

Weyerhaeuser Notes

Weyerhaeuser warrants that the sizing of its products will be in accordance with Weyerhaeuser product design criteria and published design values. Weyerhaeuser expressly disclaims any other warranties related to the software. Use of this software is not intended to circumvent the need for a design professional as determined by the authority having jurisdiction. The designer of record, builder or framer is responsible to assure that this calculation is compatible with the overall project. Accessories (Rim Board, Blocking Panels and Squash Blocks) are not designed by this software. Products manufactured at Weyerhaeuser facilities are third-party certified to sustainable forestry standards. Weyerhaeuser Engineered Lumber Products have been evaluated by ICC-ES under evaluation reports ESR-1153 and ESR-1387 and/or tested in accordance with applicable ASTM standards. For current code evaluation reports, Weyerhaeuser product literature and installation details refer to www.weyerhaeuser.com/woodproducts/document-library.

The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

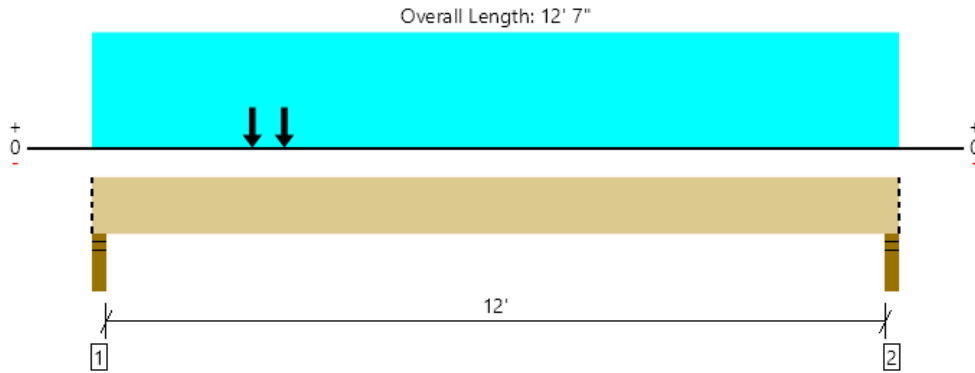
ForteWEB Software Operator	Job Notes
Pete Chavez Williamson Chavez Design (661) 910-3977 williamsonchavez@yahoo.com	MICHELLE CHU 2020



Level, F3

1 piece(s) 5 1/4" x 11 7/8" 2.OE Parallam® PSL

7



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	4903 @ 2"	7809 (3.50")	Passed (63%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	4612 @ 1' 3 3/8"	12053	Passed (38%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	11772 @ 3'	29854	Passed (39%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.061 @ 6' 3 1/2"	0.408	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.217 @ 5' 10 1/16"	0.613	Passed (L/677)	--	1.0 D + 1.0 L (All Spans)

System : Floor
 Member Type : Drop Beam
 Building Use : Residential
 Building Code : IBC 2018
 Design Methodology : ASD

- Deflection criteria: LL (L/360) and TL (L/240).
- Top Edge Bracing (Lu): Top compression edge must be braced at 12' 7" o/c based on loads applied, unless detailed otherwise.
- Bottom Edge Bracing (Lu): Bottom compression edge must be braced at 12' 7" o/c based on loads applied, unless detailed otherwise.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Stud wall - SPF	3.50"	3.50"	2.20"	3897	1007	4904	Blocking
2 - Stud wall - SPF	3.50"	3.50"	1.50"	1353	1007	2360	Blocking

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
0 - Self Weight (PLF)	0 to 12' 7"	N/A	19.5	--	
1 - Uniform (PSF)	0 to 12' 7" (Front)	4'	12.0	40.0	Default Load
2 - Point (lb)	3' (Front)	N/A	2200	-	
3 - Point (lb)	2' 6" (Front)	N/A	2200	-	

Weyerhaeuser Notes

Weyerhaeuser warrants that the sizing of its products will be in accordance with Weyerhaeuser product design criteria and published design values. Weyerhaeuser expressly disclaims any other warranties related to the software. Use of this software is not intended to circumvent the need for a design professional as determined by the authority having jurisdiction. The designer of record, builder or framer is responsible to assure that this calculation is compatible with the overall project. Accessories (Rim Board, Blocking Panels and Squash Blocks) are not designed by this software. Products manufactured at Weyerhaeuser facilities are third-party certified to sustainable forestry standards. Weyerhaeuser Engineered Lumber Products have been evaluated by ICC-ES under evaluation reports ESR-1153 and ESR-1387 and/or tested in accordance with applicable ASTM standards. For current code evaluation reports, Weyerhaeuser product literature and installation details refer to www.weyerhaeuser.com/woodproducts/document-library.

The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

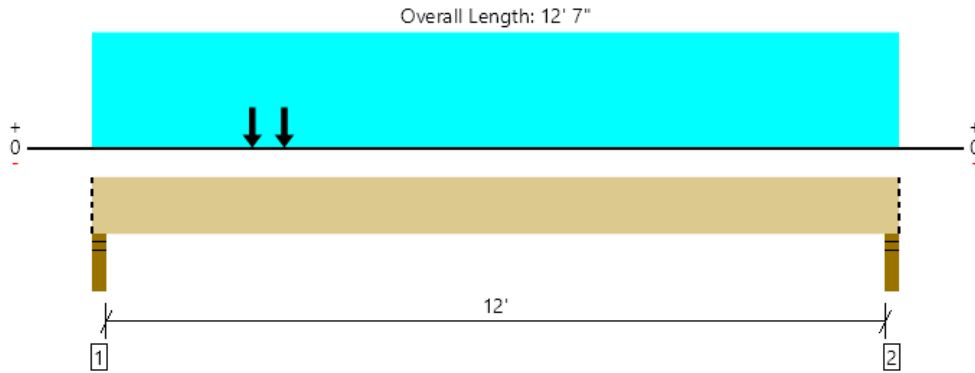
ForteWEB Software Operator	Job Notes
Pete Chavez Williamson Chavez Design (661) 910-3977 williamsonchavez@yahoo.com	MICHELLE CHU 2020



Level, F4

1 piece(s) 5 1/4" x 11 7/8" 2.OE Parallam® PSL

8



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	4903 @ 2"	7809 (3.50")	Passed (63%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	4612 @ 1' 3 3/8"	12053	Passed (38%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	11772 @ 3'	29854	Passed (39%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.061 @ 6' 3 1/2"	0.408	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.217 @ 5' 10 1/16"	0.613	Passed (L/677)	--	1.0 D + 1.0 L (All Spans)

System : Floor
 Member Type : Drop Beam
 Building Use : Residential
 Building Code : IBC 2018
 Design Methodology : ASD

- Deflection criteria: LL (L/360) and TL (L/240).
- Top Edge Bracing (Lu): Top compression edge must be braced at 12' 7" o/c based on loads applied, unless detailed otherwise.
- Bottom Edge Bracing (Lu): Bottom compression edge must be braced at 12' 7" o/c based on loads applied, unless detailed otherwise.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Stud wall - SPF	3.50"	3.50"	2.20"	3897	1007	4904	Blocking
2 - Stud wall - SPF	3.50"	3.50"	1.50"	1353	1007	2360	Blocking

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
0 - Self Weight (PLF)	0 to 12' 7"	N/A	19.5	--	
1 - Uniform (PSF)	0 to 12' 7" (Front)	4'	12.0	40.0	Default Load
2 - Point (lb)	3' (Front)	N/A	2200	-	
3 - Point (lb)	2' 6" (Front)	N/A	2200	-	

Weyerhaeuser Notes

Weyerhaeuser warrants that the sizing of its products will be in accordance with Weyerhaeuser product design criteria and published design values. Weyerhaeuser expressly disclaims any other warranties related to the software. Use of this software is not intended to circumvent the need for a design professional as determined by the authority having jurisdiction. The designer of record, builder or framer is responsible to assure that this calculation is compatible with the overall project. Accessories (Rim Board, Blocking Panels and Squash Blocks) are not designed by this software. Products manufactured at Weyerhaeuser facilities are third-party certified to sustainable forestry standards. Weyerhaeuser Engineered Lumber Products have been evaluated by ICC-ES under evaluation reports ESR-1153 and ESR-1387 and/or tested in accordance with applicable ASTM standards. For current code evaluation reports, Weyerhaeuser product literature and installation details refer to www.weyerhaeuser.com/woodproducts/document-library.

The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

ForteWEB Software Operator	Job Notes
Pete Chavez Williamson Chavez Design (661) 910-3977 williamsonchavez@yahoo.com	MICHELLE CHU 2020



Steel Beam

File = C:\Users\Pete\Dropbox\PROJEC-4\2017AL-1\engineering 2017 ALL.ec6 .
 Software copyright ENERCALC, INC. 1983-2020, Build:12.20.1.31 .

Lic. # : KW-06005528

JORDAN ENGINEERING

DESCRIPTION: 2020 CARMEL MICHELLE S1 NEW BEAM TUBE

Load Combination	Segment Length	Span #	Max Stress Ratios		Summary of Moment Values						Summary of Shear Values			
			M	V	Mmax +	Mmax -	Ma Max	Mnx	Mnx/Omega	Cb	Rm	Va Max	Vnx	Vnx/Omega
Dsgn. L = 21.00 ft		1	0.495	0.097	70.08		70.08	236.40	141.56	1.15	1.00	12.40	213.03	127.56
+D+0.750Lr+0.750L+H		1	0.655	0.132	92.76		92.76	236.40	141.56	1.14	1.00	16.81	213.03	127.56
Dsgn. L = 21.00 ft		1	0.655	0.132	92.76		92.76	236.40	141.56	1.14	1.00	16.81	213.03	127.56
+D+0.60W+H		1	0.495	0.097	70.08		70.08	236.40	141.56	1.15	1.00	12.40	213.03	127.56
Dsgn. L = 21.00 ft		1	0.495	0.097	70.08		70.08	236.40	141.56	1.15	1.00	12.40	213.03	127.56
+D+0.750Lr+0.750L+0.450W+H		1	0.655	0.132	92.76		92.76	236.40	141.56	1.14	1.00	16.81	213.03	127.56
Dsgn. L = 21.00 ft		1	0.655	0.132	92.76		92.76	236.40	141.56	1.14	1.00	16.81	213.03	127.56
+D+0.750L+0.750S+0.450W+H		1	0.655	0.132	92.76		92.76	236.40	141.56	1.14	1.00	16.81	213.03	127.56
Dsgn. L = 21.00 ft		1	0.655	0.132	92.76		92.76	236.40	141.56	1.14	1.00	16.81	213.03	127.56
+D+0.750L+0.750S+0.5250E+H		1	0.655	0.132	92.76		92.76	236.40	141.56	1.14	1.00	16.81	213.03	127.56
Dsgn. L = 21.00 ft		1	0.297	0.058	42.05		42.05	236.40	141.56	1.15	1.00	7.44	213.03	127.56
+0.60D+0.60W+0.60H		1	0.297	0.058	42.05		42.05	236.40	141.56	1.15	1.00	7.44	213.03	127.56
Dsgn. L = 21.00 ft		1	0.297	0.058	42.05		42.05	236.40	141.56	1.15	1.00	7.44	213.03	127.56

Overall Maximum Deflections

Load Combination	Span	Max. "-" Defl	Location in Span	Load Combination	Max. "+" Defl	Location in Span
+D+L+H	1	0.6924	10.680		0.0000	0.000

Vertical Reactions

Load Combination	Support notation : Far left is #1		Values in KIPS	
	Support 1	Support 2		
Overall MAXimum	17.136	18.279		
Overall MINimum	5.880	5.880		
+D+H	11.256	12.399		
+D+L+H	17.136	18.279		
+D+Lr+H	11.256	12.399		
+D+S+H	11.256	12.399		
+D+0.750Lr+0.750L+H	15.666	16.809		
+D+0.750L+0.750S+H	15.666	16.809		
+D+0.60W+H	11.256	12.399		
+D+0.70E+H	11.256	12.399		
+D+0.750Lr+0.750L+0.450W+H	15.666	16.809		
+D+0.750L+0.750S+0.450W+H	15.666	16.809		
+D+0.750L+0.750S+0.5250E+H	15.666	16.809		
+0.60D+0.60W+0.60H	6.754	7.439		
+0.60D+0.70E+0.60H	6.754	7.439		
D Only	11.256	12.399		
Lr Only				
L Only	5.880	5.880		
S Only				
W Only				
E Only				
H Only				

Steel Beam

File = C:\Users\Pete\Dropbox\PROJEC-4\2017AL-1\engineering 2017 ALL.ec6 .
 Software copyright ENERCALC, INC. 1983-2020, Build:12.20.1.31 .

Lic. # : KW-06005528

JORDAN ENGINEERING

DESCRIPTION: 2020 CARMEL MICHELLE S1 NEW BEAM TUBE OPTIONAL

Load Combination	Segment Length	Span #	Max Stress Ratios		Summary of Moment Values						Summary of Shear Values			
			M	V	Mmax +	Mmax -	Ma Max	Mnx	Mnx/Omega	Cb	Rm	Va Max	Vnx	Vnx/Omega
Dsgn. L = 21.00 ft		1	0.527	0.081	69.72		69.72	220.80	132.22	1.15	1.00	12.33	253.21	151.62
+D+0.750Lr+0.750L+H		1	0.699	0.110	92.40		92.40	220.80	132.22	1.14	1.00	16.74	253.21	151.62
Dsgn. L = 21.00 ft		1	0.699	0.110	92.40		92.40	220.80	132.22	1.14	1.00	16.74	253.21	151.62
+D+0.750L+0.750S+H		1	0.699	0.110	92.40		92.40	220.80	132.22	1.14	1.00	16.74	253.21	151.62
Dsgn. L = 21.00 ft		1	0.527	0.081	69.72		69.72	220.80	132.22	1.15	1.00	12.33	253.21	151.62
+D+0.60W+H		1	0.527	0.081	69.72		69.72	220.80	132.22	1.15	1.00	12.33	253.21	151.62
Dsgn. L = 21.00 ft		1	0.527	0.081	69.72		69.72	220.80	132.22	1.15	1.00	12.33	253.21	151.62
+D+0.750Lr+0.750L+0.450W+H		1	0.699	0.110	92.40		92.40	220.80	132.22	1.14	1.00	16.74	253.21	151.62
Dsgn. L = 21.00 ft		1	0.699	0.110	92.40		92.40	220.80	132.22	1.14	1.00	16.74	253.21	151.62
+D+0.750L+0.750S+0.450W+H		1	0.699	0.110	92.40		92.40	220.80	132.22	1.14	1.00	16.74	253.21	151.62
Dsgn. L = 21.00 ft		1	0.699	0.110	92.40		92.40	220.80	132.22	1.14	1.00	16.74	253.21	151.62
+D+0.750L+0.750S+0.5250E+H		1	0.699	0.110	92.40		92.40	220.80	132.22	1.14	1.00	16.74	253.21	151.62
Dsgn. L = 21.00 ft		1	0.699	0.110	92.40		92.40	220.80	132.22	1.14	1.00	16.74	253.21	151.62
+0.60D+0.60W+0.60H		1	0.316	0.049	41.83		41.83	220.80	132.22	1.15	1.00	7.40	253.21	151.62
Dsgn. L = 21.00 ft		1	0.316	0.049	41.83		41.83	220.80	132.22	1.15	1.00	7.40	253.21	151.62
+0.60D+0.70E+0.60H		1	0.316	0.049	41.83		41.83	220.80	132.22	1.15	1.00	7.40	253.21	151.62
Dsgn. L = 21.00 ft		1	0.316	0.049	41.83		41.83	220.80	132.22	1.15	1.00	7.40	253.21	151.62

Overall Maximum Deflections

Load Combination	Span	Max. "-" Defl	Location in Span	Load Combination	Max. "+" Defl	Location in Span
+D+L+H	1	0.6778	10.680		0.0000	0.000

Vertical Reactions

Load Combination	Support notation : Far left is #1		Values in KIPS
	Support 1	Support 2	
Overall MAXimum	17.064	18.207	
Overall MINimum	5.880	5.880	
+D+H	11.184	12.327	
+D+L+H	17.064	18.207	
+D+Lr+H	11.184	12.327	
+D+S+H	11.184	12.327	
+D+0.750Lr+0.750L+H	15.594	16.737	
+D+0.750L+0.750S+H	15.594	16.737	
+D+0.60W+H	11.184	12.327	
+D+0.70E+H	11.184	12.327	
+D+0.750Lr+0.750L+0.450W+H	15.594	16.737	
+D+0.750L+0.750S+0.450W+H	15.594	16.737	
+D+0.750L+0.750S+0.5250E+H	15.594	16.737	
+0.60D+0.60W+0.60H	6.711	7.396	
+0.60D+0.70E+0.60H	6.711	7.396	
D Only	11.184	12.327	
Lr Only			
L Only	5.880	5.880	
S Only			
W Only			
E Only			
H Only			

Pad Footing Design

Per ACI 318-14 Minimum Steel Reinforcement

Pad Footing Parameters

Allowable Soil Bearing Pressure	=	1500	psf
Concrete Strength f'c	=	2500	psf
Pad Footing depth below grade	=	15	in

Required steel reinforcement for Pad Footing

Pad Size	Pad Footing good for =			5250 lbs			
(inches)	Footing Dimension	Area of Steel Required		Number of required bars			
		40 ksi	60 ksi	Each way at Pad Footing			
24 x 24	(inches)	(in ²)	(in ²)	#4 bars	#5 bars	#6 bars	#7 bars
	24	0.504	0.648	3	3	2	2

Pad Size	Pad Footing good for =			8203 lbs			
(inches)	Footing Dimension	Area of Steel Required		Number of required bars			
		40 ksi	60 ksi	Each way at Pad Footing			
30 x 30	(inches)	(in ²)	(in ²)	#4 bars	#5 bars	#6 bars	#7 bars
	30	0.630	0.810	4	3	2	2

Pad Size	Pad Footing good for =			11813 lbs			
(inches)	Footing Dimension	Area of Steel Required		Number of required bars			
		40 ksi	60 ksi	Each way at Pad Footing			
36 x 36	(inches)	(in ²)	(in ²)	#4 bars	#5 bars	#6 bars	#7 bars
	36	0.756	0.972	4	4	3	2

Pad Size	Pad Footing good for =			16078 lbs			
(inches)	Footing Dimension	Area of Steel Required		Number of required bars			
		40 ksi	60 ksi	Each way at Pad Footing			
42 x 42	(inches)	(in ²)	(in ²)	#4 bars	#5 bars	#6 bars	#7 bars
	42	0.882	1.134	5	4	3	2

Pad Size	Pad Footing good for =			21000 lbs			
(inches)	Footing Dimension	Area of Steel Required		Number of required bars			
		40 ksi	60 ksi	Each way at Pad Footing			
48 x 48	(inches)	(in ²)	(in ²)	#4 bars	#5 bars	#6 bars	#7 bars
	48	1.008	1.296	6	5	3	3

Pad Size	Pad Footing good for =			21000 lbs			
(inches)	Footing Dimension	Area of Steel Required		Number of required bars			
		40 ksi	60 ksi	Each way at Pad Footing			
48 x 48	(inches)	(in ²)	(in ²)	#4 bars	#5 bars	#6 bars	#7 bars
	48	1.008	1.296	6	5	3	3

Pad Size	Pad Footing good for =			26578 lbs			
(inches)	Footing Dimension	Area of Steel Required		Number of required bars			
		40 ksi	60 ksi	Each way at Pad Footing			
54 x 54	(inches)	(in ²)	(in ²)	#4 bars	#5 bars	#6 bars	#7 bars
	54	1.134	1.458	6	5	4	3

Pad Size	Pad Footing good for =			32813 lbs			
(inches)	Footing Dimension	Area of Steel Required		Number of required bars			
		40 ksi	60 ksi	Each way at Pad Footing			
60 x 60	(inches)	(in ²)	(in ²)	#4 bars	#5 bars	#6 bars	#7 bars
	60	1.260	1.620	7	6	4	3

Standing Seam
Metal Roof

Exterior Paint
Wood Siding

**CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED**

Permit #: DS 20-264 (Linfesty)
Date Approved: 12/29/2020
Planner: M. Waffle

Wood Accents

Exterior Paint
Stucco Color

Black

Standing Seam
Metal Roof

michelle.m chu
INTERIORS



DS-20-264 (LINFESTY)
PROJECT: 4 OAK KNOLL

DATE:
METAL ROOF SAMPLE

Please return sample to (510) 410-7570.

Wood Accents

michelle.m chu
INTERIORS




DS-20-264 (LINFESTY)
PROJECT: 4 OAK KNOLL

DATE:
STAIN COLOR
GARAGE DOORS +
AWNING + POSTS

Please return sample to (510) 410-7570.

Exterior Paint Wood Siding

michelle.m chu
INTERIORS



DS-20-264 (LINFESTY)
PROJECT: 4 OAK KNOLL

DATE:
PAINT COLOR BH-0019
WOOD SIDING + TRIM

Please return sample to (510) 410-7570.


michelle.m chu
INTERIORS



PROJECT:
DATE:
CALIFORNIA FLOORS
CLASSICS
MEDITERRANEAN - CLYDESD

Please return sample to (510) 410-7570.

michelle.m chu
INTERIORS



PROJECT: 4 OAK KNOLL

DATE: 8/1/20
GARAGE DOOR
STAIN COLOR

Exterior Paint Stucco Color

michelle.m chu
INTERIORS



DS-20-264 (LINFESTY)
PROJECT: 4 OAK KNOLL

DATE:
STUCCO PAINT COLOR

Please return sample to (510) 410-7570.

**CARMEL-BY-THE-SEA
PLANNING DEPARTMENT
APPROVED**

Permit #: DS 20-264 (Linfesty)

Date Approved: 12/29/2020

Planner: M. Waffle