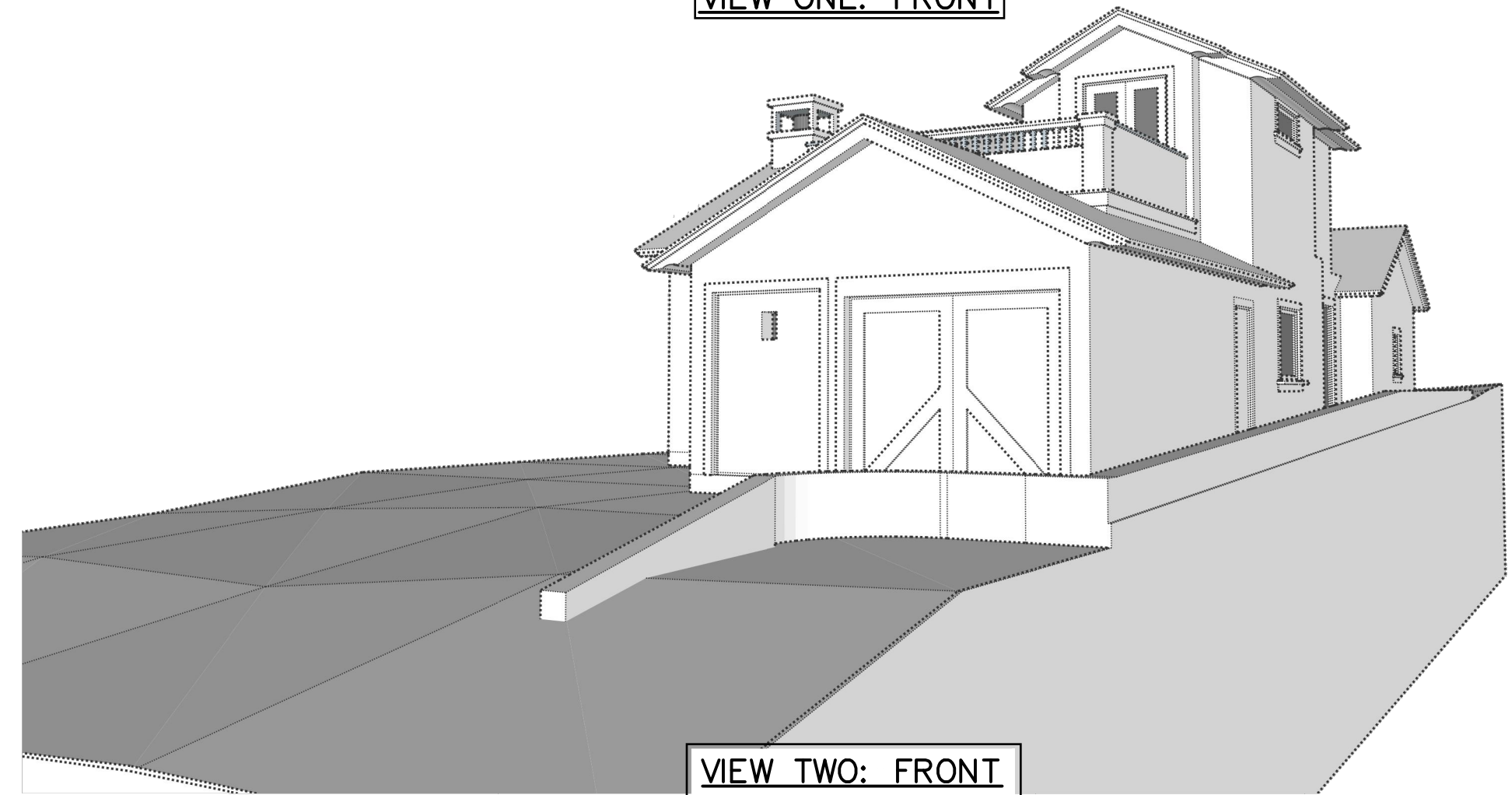
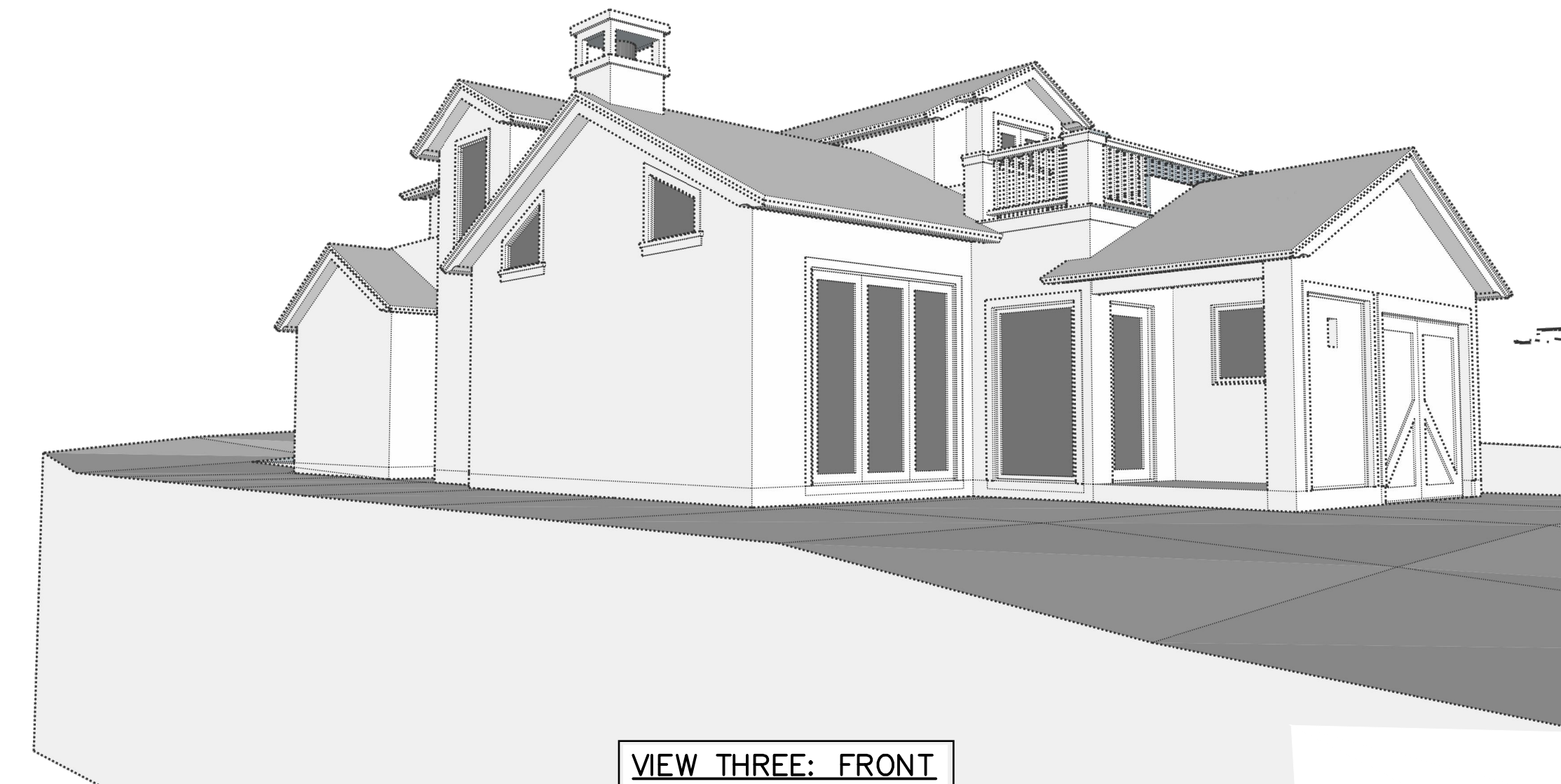




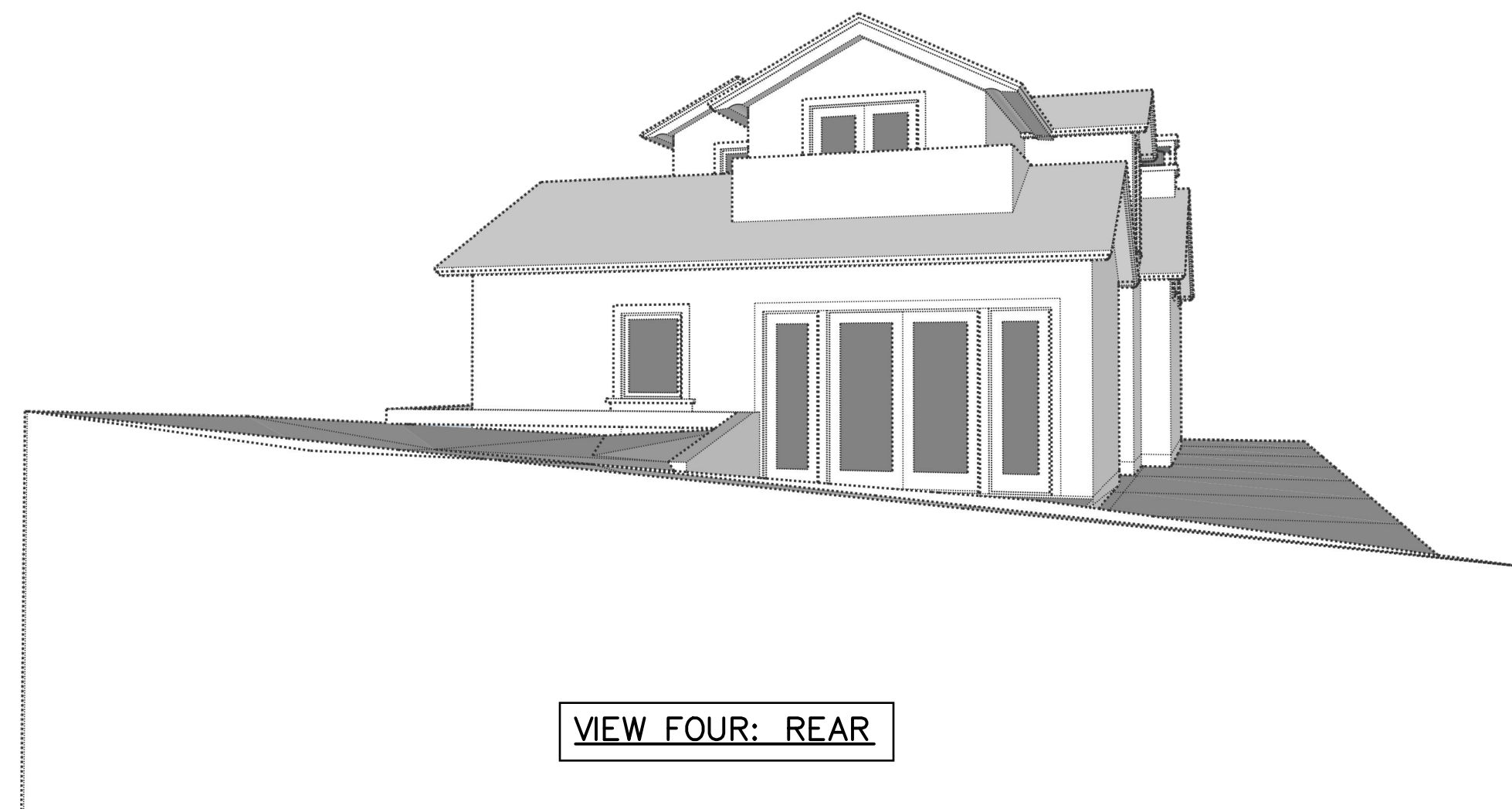
VIEW ONE: FRONT



VIEW TWO: FRONT



VIEW THREE: FRONT



VIEW FOUR: REAR



SHEET INDEX

ARCHITECTURAL	
1.0	COVER SHEET & GENERAL NOTES
1.1	TOPOGRAPHIC SITE SURVEY
1.2	TREE SURVEY
1.3	TREE SURVEY
1.4	TREE SURVEY
2.0	EXISTING SITE PLAN
2.1	PROPOSED SITE PLAN
3.0	PROPOSED MAIN LEVEL FLOOR PLAN
3.1	PROPOSED UPPER LEVEL FLOOR PLAN
4.0	ELEVATIONS
4.1	ELEVATIONS
5.0	ROOF PLAN
5.1	DETAILS
5.2	WINDOW & DOOR SCHEDULE
6.0	MATERIALS
7.0	STREET SCAPE
7.1	STREET SCAPE
8.0	LANDSCAPE PLAN (PROPOSED)

FLOOR AREA

FAR ALLOWED	1,800.0 SQ.FT.	45.0%
PROPOSED		
MAIN LEVEL	1,188.0 SQ.FT.	
ATTACHED GARAGE	200.0 SQ.FT.	
UPPER LEVEL	412.0 SQ.FT.	
TOTAL (P) GROSS FLOOR AREA:	1,800.0 SQ.FT.	45.0%

SITE COVERAGE

LAND COVERAGE ALLOWED	396.0 SQ.FT.	22.0% of F.A.R.
BONUS SITE COVERAGE	160.0 SQ.FT.	4.0% of SITE
TOTAL COVERAGE ALLOWED	556.0 SQ.FT.	13.9 %
IMPERVIOUS COVERAGE		
ENTRY LANDING	41.0 SQ.FT.	
ENTRY STEPS	10.5 SQ.FT.	
NORTH LANDING	10.5 SQ.FT.	
TOTAL (P) IMPERVIOUS COVERAGE	62.0 SQ.FT.	
PERVIOUS COVERAGE		
DRIVEWAY PAVERS	146.5 SQ.FT.	
ENTRY WALKWAY	67.0 SQ.FT.	
WEST PATIO	69.0 SQ.FT.	
EAST PATIO PAVERS	106.0 SQ.FT.	
TOTAL (P) PERVIOUS COVERAGE	388.5 SQ.FT.	
TOTAL PROPOSED COVERAGE	450.5 SQ.FT.	12.6 %

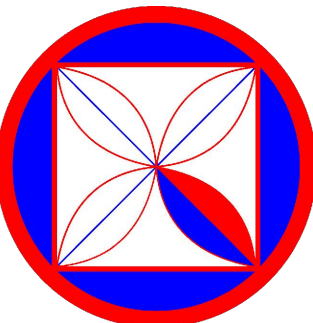
PROJECT INFORMATION

LOT SIZE	(0.9182728 Acres) 4,000.0 S.F.
A.P.N.	010-162-009-000
LEGAL DESCRIPTION	BLOCK: 142 LOT: 19
ZONING	R-1
SETBACKS (MIN. ALLOWED)	FRONT: 15.0FT, N SIDE 3.0FT, S SIDE 3.0 REAR: 15.0FT
HEIGHT (MAX. ALLOWED)	24FT
STORIES: 2	

SCOPE OF WORK

1. DEVELOPMENT OF A NEW TWO STORY SINGLE FAMILY DWELLING WITH ATTACHED ONE-CAR GARAGE.
2. NEW STONE PATIO, DRIVEWAY AND WALKWAYS SET ON SAND.
3. GRADING EXPORT: 160.0 CU.YD.
4. TREE REMOVAL.

VICINITY MAP (NOT TO SCALE)



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REVISIONS:
 PLN 10-01-2020
 PLN 11-22-2020
 PLN 03-22-2021

PROJECT:
 TURNER RESIDENCE
 MISSION 5 N/W OF SANTA LUCIA
 BLOCK: 142 LOT: 19
 APN: 010-162-009
 PROJECT NO:
 19-02

ISSUE:
 05-27-2019
 DRAWN BY:
 C.O.

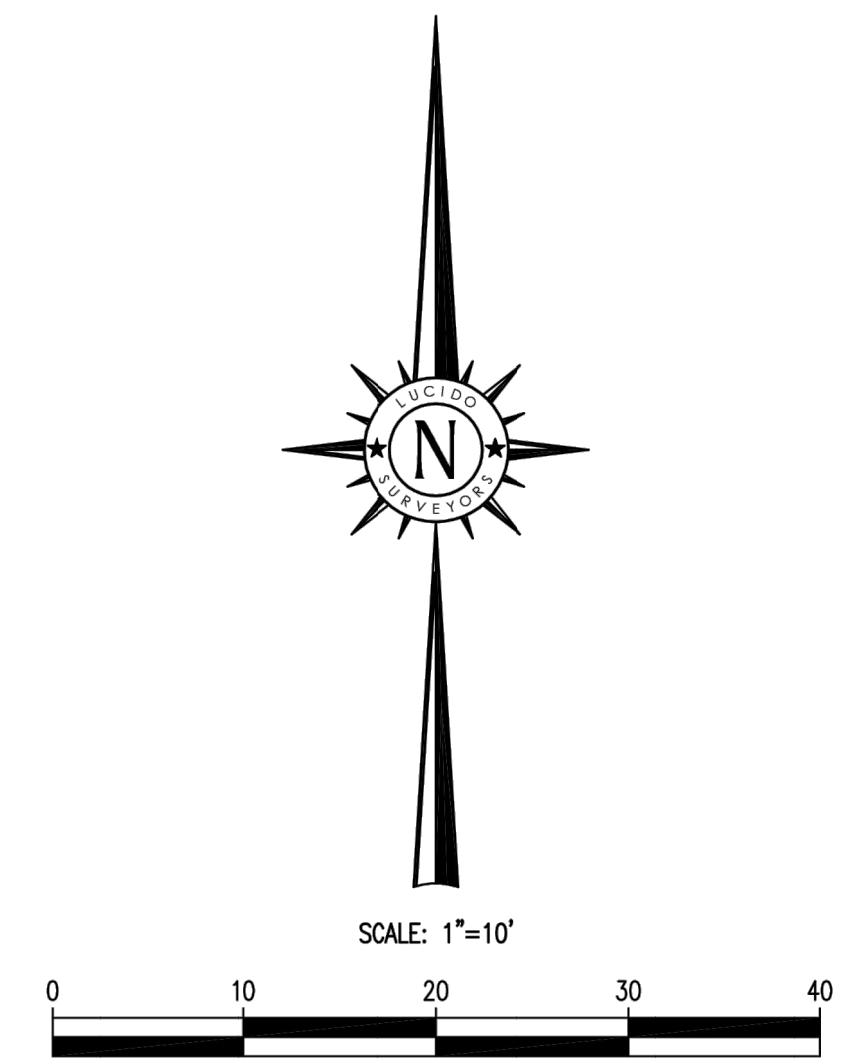
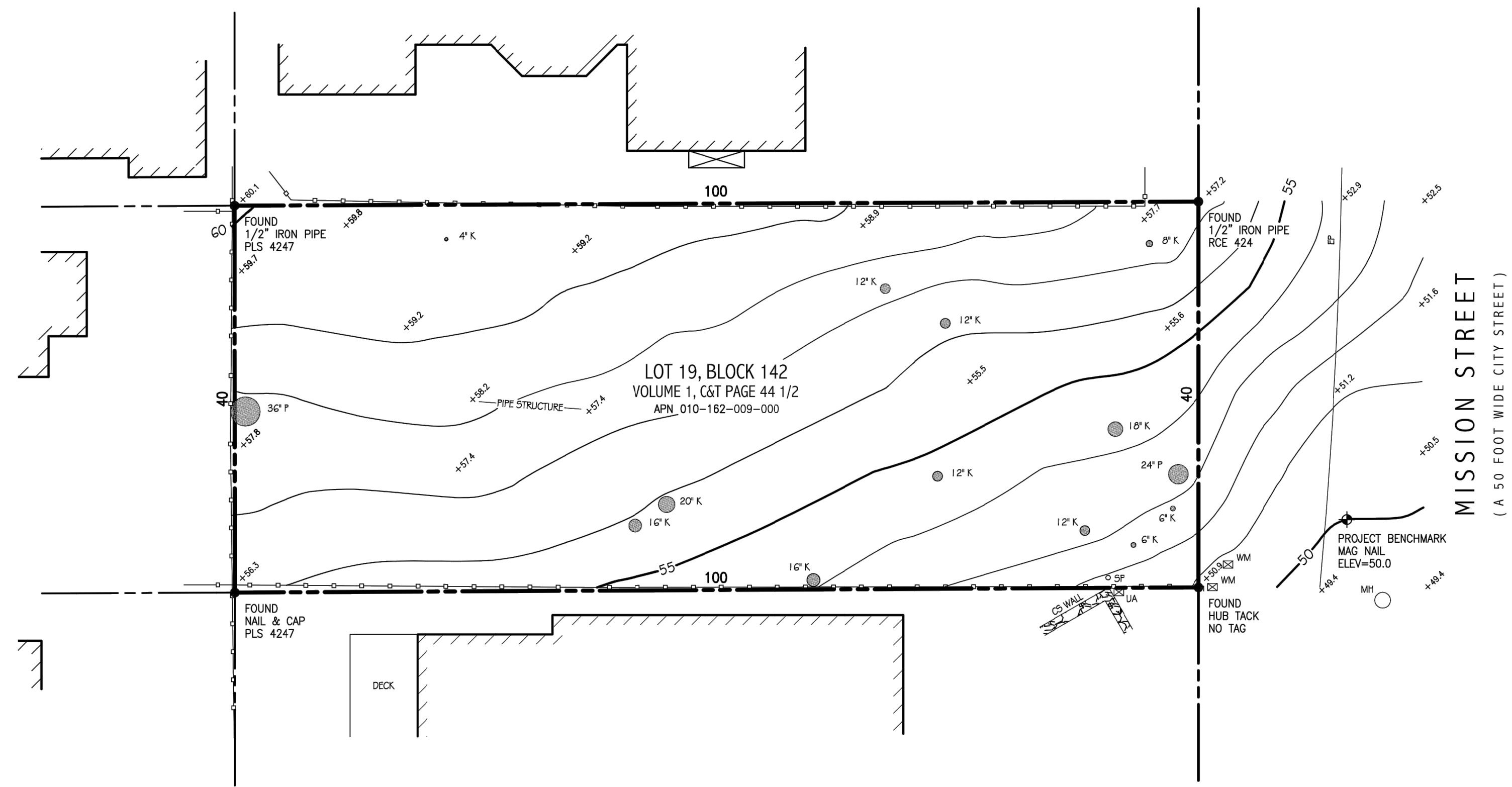
COVER SHEET

SCALE: 1/4" = 1'

1.0

LEGEND:

	RECORD BOUNDARY		WOOD FENCE
	RECORD RIGHT OF WAY		WIRE FENCE
	RECORD LOT LINE		CHAIN LINK FENCE
	RECORD CENTERLINE		STREET SIGN
	RECORD EASEMENT LINE		STAND PIPE
	RECORD SETBACK		MAIL BOX
	OLD RECORD LINE		BOLLARD
	PROJECT BENCHMARK		PILLAR
	SURVEY CONTROL POINT		BLOCK RETAINING WALL
	CONTOUR (MAJOR)		ROCK RETAINING WALL
	CONTOUR (MINOR)		STACKED BLOCK WALL
	EDGE OF PAVEMENT		CARMEL STONE
	LIP OF GUTTER		
	FACE OF CURB		
	CURB AND GUTTER		
	BACK OF CURB		
	BACK OF SIDEWALK		
	EDGE OF DRIVEWAY		
	FLOWLINE		
	BUILDING OUTLINE		
	CHIMNEY		
	APPROXIMATE FLOOR ELEVATION		
	DECK		
	CONCRETE PAD		
	STEP		
	PLANTER		
	WATER LINE		
	WATER VALVE		
	WATER METER		
	UTILITY APPARATUS		
	HOSE BIB		
	IRRIGATION CONTROL VALVE		
	SANITARY SEWER LINE		
	SANITARY SEWER MANHOLE		
	SANITARY SEWER CLEAN-OUT		
	STORM DRAIN		
	STORM DRAIN MANHOLE		
	AREA DRAIN		
	STORM DRAIN CATCH BASIN		
	PATIO DRAIN		
	UTILITY POLE		
	GUY WIRE		
	ELECTRIC VAULT		
	UTILITY VAULT		
	ELECTRIC METER		
	STREET LIGHT		
	LAMP POST		
	GAS LINE		
	GAS METER		
	TELEPHONE LINE		
	TELEPHONE STANDARD		
	CABLE TELEVISION LINE		
	CABLE TELEVISION BOX		
	ASPHALT CONCRETE		
	CARMEL STONE		
	CORRUGATED METAL PIPE		
	CONCRETE PAD		
	DECOMPOSED GRANITE		
	EXPOSED AGGREGATE		
	HIGH DENSITY POLY ETHYLENE		
	PORTLAND CEMENT CONCRETE		
	PAVER STONE		
	POLY VINYL CHLORIDE		
	REINFORCED CONCRETE PIPE		
	TRASH ENCLOSURE		
	EDGE OF FOLIAGE		
	TREE WITH SIZE AND TYPE		
	ACACIA		
	CYPRESS		
	OAK		
	PINE		
	REDWOOD		
	TREE		
	SPOT ELEVATION		



BENCHMARK:
ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A MAG NAIL & DISC SET IN THE PAVEMENT NEAR THE SOUTHEASTERLY CORNER OF THE SUBJECT PROPERTY AS SHOWN HEREON.

- NOTES:**
- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS.
 - ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
 - DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 - CONTOUR INTERVAL = ONE FOOT.
 - TREE TYPES (IF ANY) ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST PROVIDED BY OTHERS, PER AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 6" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
 - POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC. SQUARE FOOTAGE OF BUILDINGS (IF ANY) IS SHOWN APPROXIMATE ONLY, AND SUBJECT TO REVISION AT ANY TIME.
 - NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
 - THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN FEBRUARY OF 2019.

TOPOGRAPHIC SITE SURVEY
OF
LOT 19, BLOCK 142
per
VOLUME 1, C&T PAGE 44 1/2
Records of Monterey County
PREPARED FOR
John Turner



BY
LUCIDO SURVEYORS
Boundary and Construction Surveys · Topographic and Planimetric Mapping
ALTA Surveys and GIS Database Management · Land Planning and Consulting
2 Saucito Avenue info@lucidosurveyors.com
DEL REY OAKS, CALIFORNIA 93940 (831) 420-5032

SCALE: 1"=10' PROJECT No. 2226 FEBRUARY 2019
CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA

PRELIMINARY SITE ASSESSMENT REPORT

Date of Site Visit: March 6, 2019
Planner: Marnie R. Waffle
Forester: Mike Branson
Block/Lot: 142/19
APN: 010-162-009
Property Owner: Francis P Lloyd, et al
Street Location: Mission 5 NW of Santa Lucia

Purpose: The information contained in this Preliminary Site Assessment is meant to provide input to the applicant on potential project issues prior to project submittal.

Location:

Table with 2 columns: Zoning District, R-1 Single Family Residential. Rows include Coastal Commission Appeal Jurisdiction Overlay, Archaeological Significance Overlay, Park Overlay, Beach and Riparian Overlay, Environmentally Sensitive Habitat Area, and Very High Fire Hazard Severity Zone.

Street and Neighborhood Character:

- Style and materials of the existing residence: The lot is vacant.
Style and materials of the neighboring residences: The Residential Design Guidelines encourage diversity of architectural styles while maintaining compatibility with the character of the neighborhood.
Right-of-way characteristics: The right-of-way is in a natural state and no encroachments were observed.

The single story residence to the north has a board and batten finish with three front gable roof forms. The two-story residence to the south has horizontal shiplap siding with a flat roof and a stone clad detached garage in the front setback.

- Topography and drainage features: The Residential Design Guidelines encourage designs that follow the natural contours of the site and that avoid abrupt changes in grade on the site and between properties.
Does the site contain "Steep Slope Areas" (greater than 30% slope): Not applicable.
Site Coverage: The permitted site coverage is 22% of the allowable floor area.
Fences: Fences located within the front 15-foot setback are limited to 4 feet in height.

Table 17.10-G: Maximum Track One Fence and Wall Heights. Columns: Design Element, Front Setback, Side Setback, Side Setback Facing Street, Rear Setback.

* These limits shall not be altered through Design Review by the Planning Commission.
** Up to six feet may be allowed for retaining walls that are not visible from the street.

drought-tolerant, native plants that are informally arranged. Plants should not extend to the street edge to allow for off-street parking within the right-of-way.

Existing Site Conditions:

- Building Site Area: The lot size is 4,000 square feet (40' x 100') and is permitted a base floor area of 1,800 square feet.
Floor Area: defined as, "...the total gross square footage included within the surrounding exterior walls of all floors contained within all enclosed buildings on a building site whether finished or unfinished.
Setbacks: The minimum front and rear setbacks are 15 feet.

Table 17.10-A: Setback Standards for R-1 District. Columns: Lot Type, Front Setback, Rear Setback, Side Setbacks (Composite, Interior, Street Side).

* The rear setback is three feet for those portions of structures less than 15 feet in height.
** See CMC 17.10.000(A)(1) and 17.06.000, Rules of Measurement.

Forest/Trees: The site contains 13 trees; 5 have been rated significant and 5 moderately significant. The Forester is not recommending that additional trees be planted.

Table with 6 columns: Tree No., Type, Status, Tree No., Type, Status. Lists 7 trees with their characteristics.

Potential Neighbor Impacts:

- Privacy Concerns: The Residential Design Guidelines encourage preserving reasonable privacy for adjacent properties and locating windows such that they avoid overlooking active indoor and outdoor use areas of adjacent properties.
The two-story residence to the south is located close to the shared property line.
The one-story residence to the north is screened by a 6 foot tall fence.
There are two residences visible to the west.

Building Height:

Table 17.10-C: Maximum Height Standards. Columns: R-1 District, R-1-BR District, R-1-PO District. Rows: Number of Stories Allowed, Roof Height of First Story, Plate Height of First Story, Roof Height of Second Story, Plate Height of Second Story.

- Exterior Volume: The maximum allowable exterior volume is the total allowed base floor area for the site multiplied by the volume factors in Table 17.10-E.

Table 17.10-E: Exterior Volume Factors for R-1 District. Columns: Maximum Exterior Volume, One-Story Elements, Two-Story Elements. Rows: Located under a pitched or sloping roof, Located under a flat roofed area.

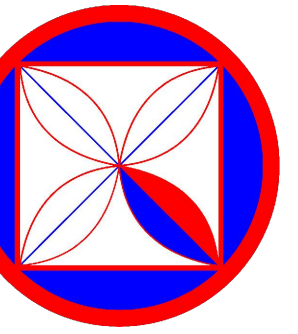
- Parking: One parking space per primary dwelling is required on sites 8,000 square feet or less.
Garage: To encourage variety and diversity in neighborhood design, detached garages and carports may be authorized by the Planning Commission.

affected by a proposed building or addition. No single parcel should enjoy a greater right than other parcels except the natural advantages of each site's topography.

- Neighborhood Input: Staff strongly recommends reaching out to the adjacent property owners prior to any public hearings to explain the proposed project and address any concerns.

Historic Status: The vacant property is not listed on the City's Historic Inventory. A review of the property file did not present any evidence that the site was previously listed or reviewed for historical significance.

Additional Resources: For more information on the Design Review Process, Residential Design Guidelines, Carmel Municipal Code, Green Building Ordinance and Title 7A of the Building Code, please visit our website: https://ci.carmel.ca.us/community-planning-and-building



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REVISIONS:

PROJECT:
TURNER RESIDENCE
MISSION 5 N/W OF SANTA LUCIA
BLOCK 142 LOT 19
APN: 010-162-009
PROJECT NO:
19-02

ISSUE:
05-27-2019
DRAWN BY:
C.O.

TREE SURVEY

SCALE: 1" = 1/4"

1.2

Significant Tree Evaluation Worksheet

Block: 142 Lot(s): 19 APN: 010-162-009 Street Location: Mission 5 nw of Santa Lucia
 Planner: Marnie Waffle City Forester: Mike Branson Property Owner: Turner
 Recommended Tree Planting: None

Part One: Initial Screening:

Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

A. Does the tree pose an above-normal potential risk to life and property?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13
YES													
NO	X	X	X	X	X	X	X	X	X	X	X	X	X

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13
Species	CO	CO	MP	CO	CO	CO	CO	CO	CO	CO	CO	CO	MP
YES	X	X	X	X	X	X	X	X	X	X	X	X	X
NO													

- MP – Monterey pine
- BP – Bishop pine
- CO – Coast live oak
- CS – California sycamore
- OT – Other
- MC – Monterey cypress
- CR – Coast redwood
- CI – Catalina Ironwood
- BL – Big leaf maple

(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. Does the tree meet the minimum size criteria for significance?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13
YES	X	X	X			X	X	X	X	X	X		X
NO				X	X								

	Diameter	Height
Monterey pine, Monterey cypress, Bishop pine, Coast redwood	6 inches @ dbh	15 Feet
Coast live oak – single trunk tree	6 inches @ dbh	N/A
Coast live oak – cluster or multi-trunk tree measured as an average diameter of all the trunks that reach breast height	6 inches @ dbh	N/A
California sycamore, Big leaf maple, Catalina ironwood	10 inches @ dbh	25 Feet

dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

F. What is the age and vigor of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13
score	2	2	1	-	-	1	1	1	1	1	1	-	2

- 0 points:** The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.
- 1 point:** The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.
- 2 points:** The tree is young to middle age and shows normal vigor.
- 3 points:** The tree is young to middle age and shows exceptional vigor.

G. Are environmental conditions favorable to the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13
score	1	1	1	-	-	1	1	1	1	2	1	-	2

- 0 points:** The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.
- 1 point:** The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.
- 2 points:** The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

Part Two: Assessment For Tree Significance

For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

D. What is the health and condition of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13
score	1	1	2	-	-	1	1	1	1	1	1	-	3

- 0 points:** The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.
- 1 point:** The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.
- 2 points:** The tree appears healthy and in good condition.
- 3 points:** The tree shows excellent health, is free of pests and disease and is in very strong condition.

E. What is the overall form and structure of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13
score	2	2	2	-	-	1	1	2	2	2	2	-	3

- 0 points:** Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.
- 1 point:** The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.
- 2 points:** The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.
- 3 points:** The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each trunk/branch.

Part Three: Final Assessment

Please record the total points scored on pages two and three for each tree.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13
Total Score	6	6	6	-	-	4	4	5	5	6	5	-	10

A. Did all assessment categories in Part Two achieve a minimum score of 1-point?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13
YES	X	X	X			X	X	X	X	X	X		X
NO				X	X							X	

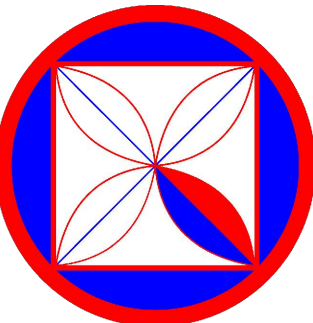
B. Are there any other factors that would disqualify a tree from a determination of significance? (Explain any 'yes' answer)

No Yes

Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of 6 or more points or shall be classified as Moderately Significant if it achieves a score of 4 or 5 points. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score at least 7 points, or as Moderately Significant if they score at least 4 points. All other trees are classified as non-significant.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13
SIGNIF	X	X	X							X			X
MOD SIGNIF						X	X	X	X		X		
NOT SIGNIF				X	X							X	



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PROJECT: TURNER RESIDENCE
 MISSION 5 N/W OF SANTA LUCIA
 BLOCK 142 LOT 19
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TREE SURVEY

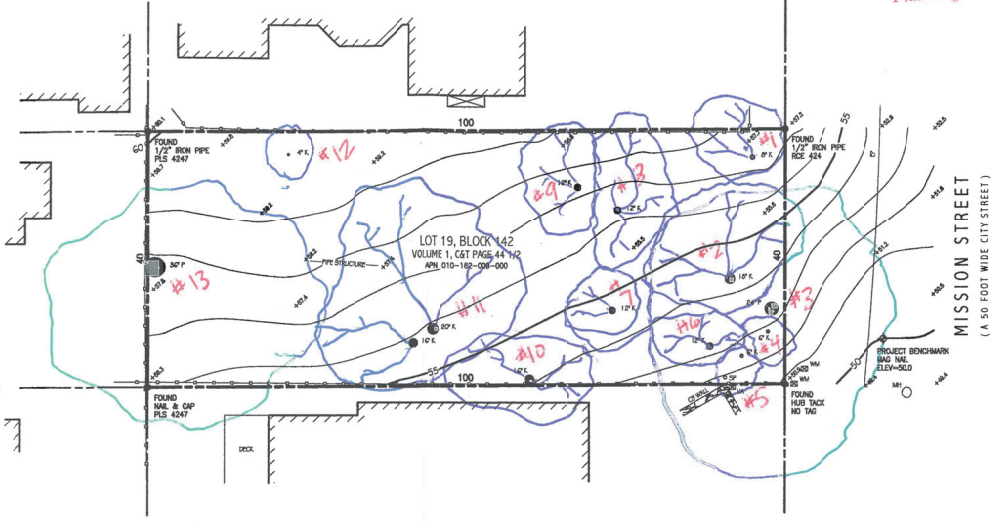
SCALE: 1" = 1/4"

1.3

LEGEND:

- RECORD BOUNDARY
- RECORD RIGHT OF WAY
- RECORD LOT LINE
- RECORD CENTERLINE
- RECORD EASEMENT LINE
- RECORD SETBACK
- OLD RECORD LINE
- ◆ PROJECT BENCHMARK
- ▲ SURVEY CONTROL POINT
- SO CONTOUR (MAJOR)
- CONTOUR (MINOR)
- EP EDGE OF PAVEMENT
- LIP OF GUTTER
- FACE OF CURB
- CURB AND GUTTER
- BACK OF CURB
- SIDEWALK
- BACK OF SIDEWALK
- DRIVEWAY
- EDGE OF DRIVEWAY
- FLOWLINE
- FLOWLINE
- BUILDING OUTLINE
- CHIMNEY
- APPROXIMATE FLOOR ELEVATION
- DECK
- CONCRETE PAD
- STEP
- PLANTER
- WATER LINE
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- WATER METER
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- SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN-OUT
- STORM DRAIN
- STORM DRAIN MANHOLE
- AREA DRAIN
- STORM DRAIN CATCH BASIN
- PATIO DRAIN
- UTILITY POLE
- GUY WIRE
- ELECTRIC VAULT
- UTILITY VAULT
- ELECTRIC METER
- STREET LIGHT
- LAMP POST
- GAS LINE
- GAS METER
- TELEPHONE LINE
- TELEPHONE STANDARD
- CABLE TELEVISION LINE
- CABLE TELEVISION BOX

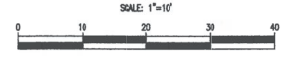
- WOOD FENCE
- WIRE FENCE
- CHAIN LINK FENCE
- STREET SIGN
- STAND PIPE
- MAIL BOX
- BOLLARD
- PILLAR
- BLOCK WALL
- BLOCK RETAINING WALL
- ROCK RETAINING WALL
- STACKED BLOCK WALL
- CARMEL STONE
- AC ASPHALT CONCRETE
- CS CARMEL STONE
- CM CORRUGATED METAL PIPE
- CP CONCRETE PAD
- CG DECOMPOSED GRANITE
- CA EXPOSED AGGREGATE
- HPPE HIGH DENSITY POLY ETHYLENE
- PC PORTLAND CEMENT CONCRETE
- PS PAWER STONE
- PVC POLY VINYL CHLORIDE
- RCP REINFORCED CONCRETE PIPE
- TE TRASH ENCLOSURE
- EDGE OF FOLIAGE
- TREE WITH SIZE AND TYPE
- A ACACIA
- C CYPRESS
- O OAK
- M PALM
- P PINE
- K REDWOOD
- T TREE
- SPOT ELEVATION



RECEIVED

FEB 15 2019

City of Carmel-by-the-Sea
Planning & Building Dept.



BENCHMARK:
ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A MAGNAIL & DISC SET IN THE PAVEMENT AT THE SOUTHEASTERLY CORNER OF THE SUBJECT PROPERTY AS SHOWN HEREON.

- NOTES:**
1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS.
 2. EASEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
 3. DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 4. CONTOUR INTERVAL = ONE FOOT.
 5. TREE TYPES (IF ANY) ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY; TO BE VERIFIED BY AN APPROVED ARBORIST PROVIDED BY OTHERS, PER AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 5" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DWP LINE SHAPE TO BE VERIFIED BY OTHERS.
 6. POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC. SQUARE FOOTAGE OF BUILDINGS (IF ANY) IS SHOWN APPROXIMATE ONLY, AND SUBJECT TO REVISION AT ANY TIME.
 7. NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
 8. THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN FEBRUARY OF 2019.

TOPOGRAPHIC SITE SURVEY

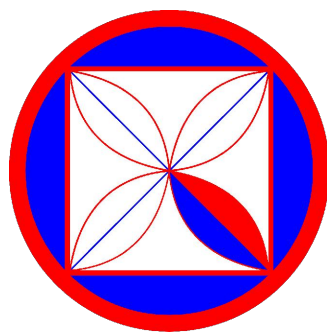
OF
LOT 19, BLOCK 142
per
VOLUME 1, C&T PAGE 44 1/2
Records of Monterey County

PREPARED FOR
John Turner



BY
LUCIDO SURVEYORS
Boundary and Construction Surveys · Topographic and Planimetric Mapping
ALTA Surveys and GIS Database Management · Land Planning and Consulting

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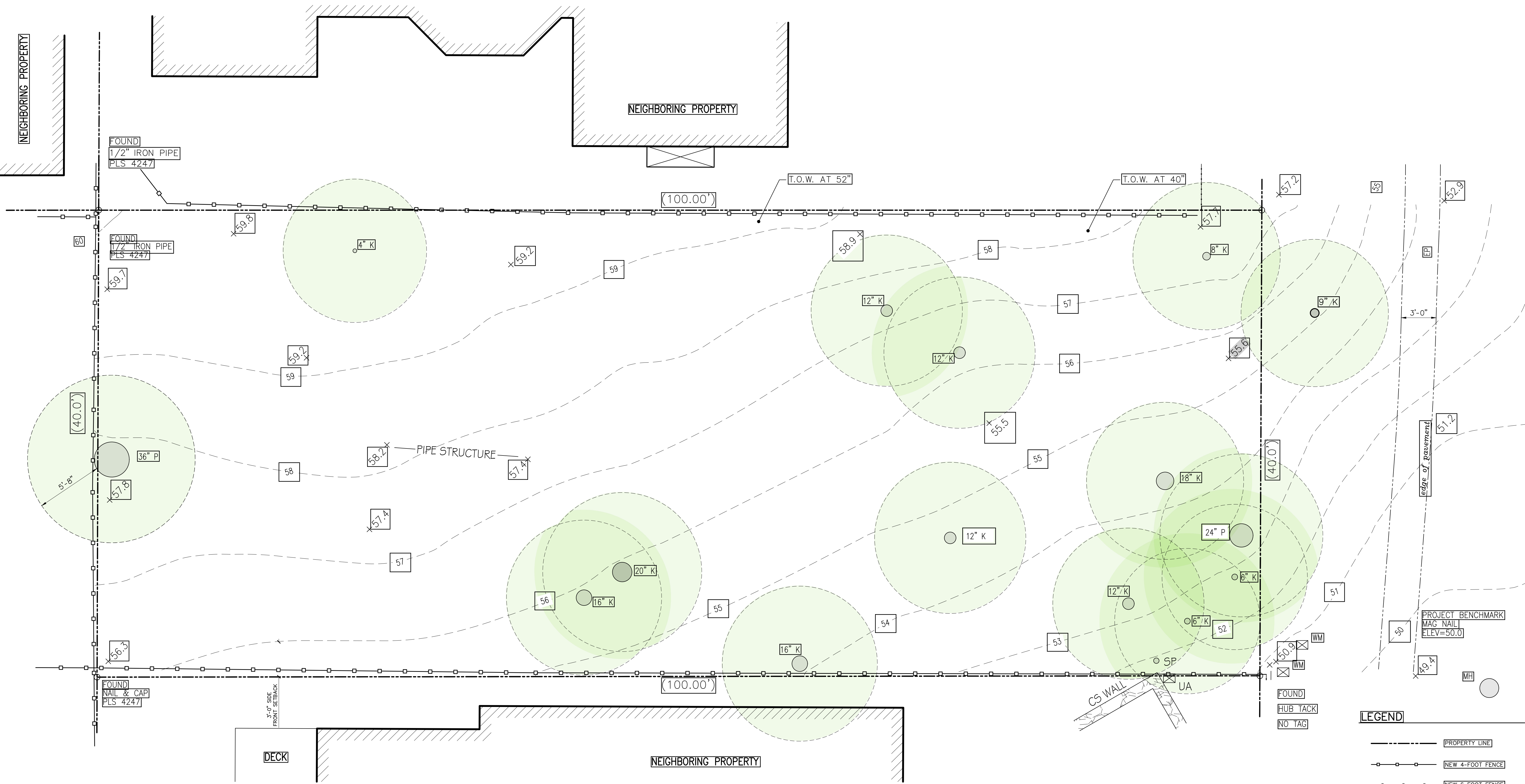
PROJECT: TURNER RESIDENCE
 MISSION 5 N/W OF SANTA LUCIA
 BLOCK 142 LOT 13
 APN: 010-162-009
PROJECT NO.: 19-02

ISSUE: 05-27-2019
DRAWN BY: C.O.

EXISTING SITE PLAN

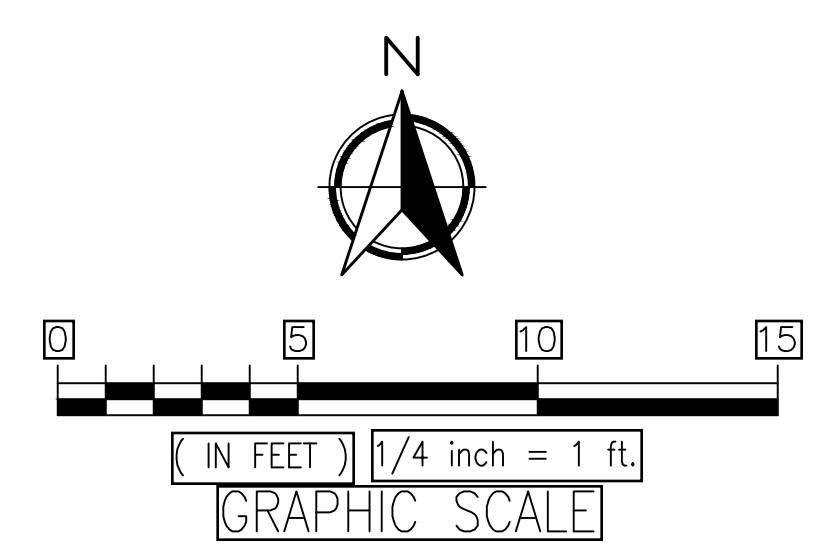
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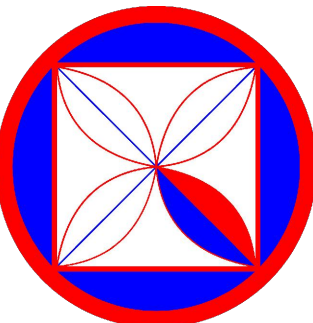
2.0



LEGEND

	PROPERTY LINE
	NEW 4-FOOT FENCE
	NEW 6-FOOT FENCE
	(E) TREE
	RETAINING WALL





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REVISIONS:
 PLN 10-02-2020
 PLN 11-22-2020
 PLN 01-18-2021
 PLN 03-22-2021

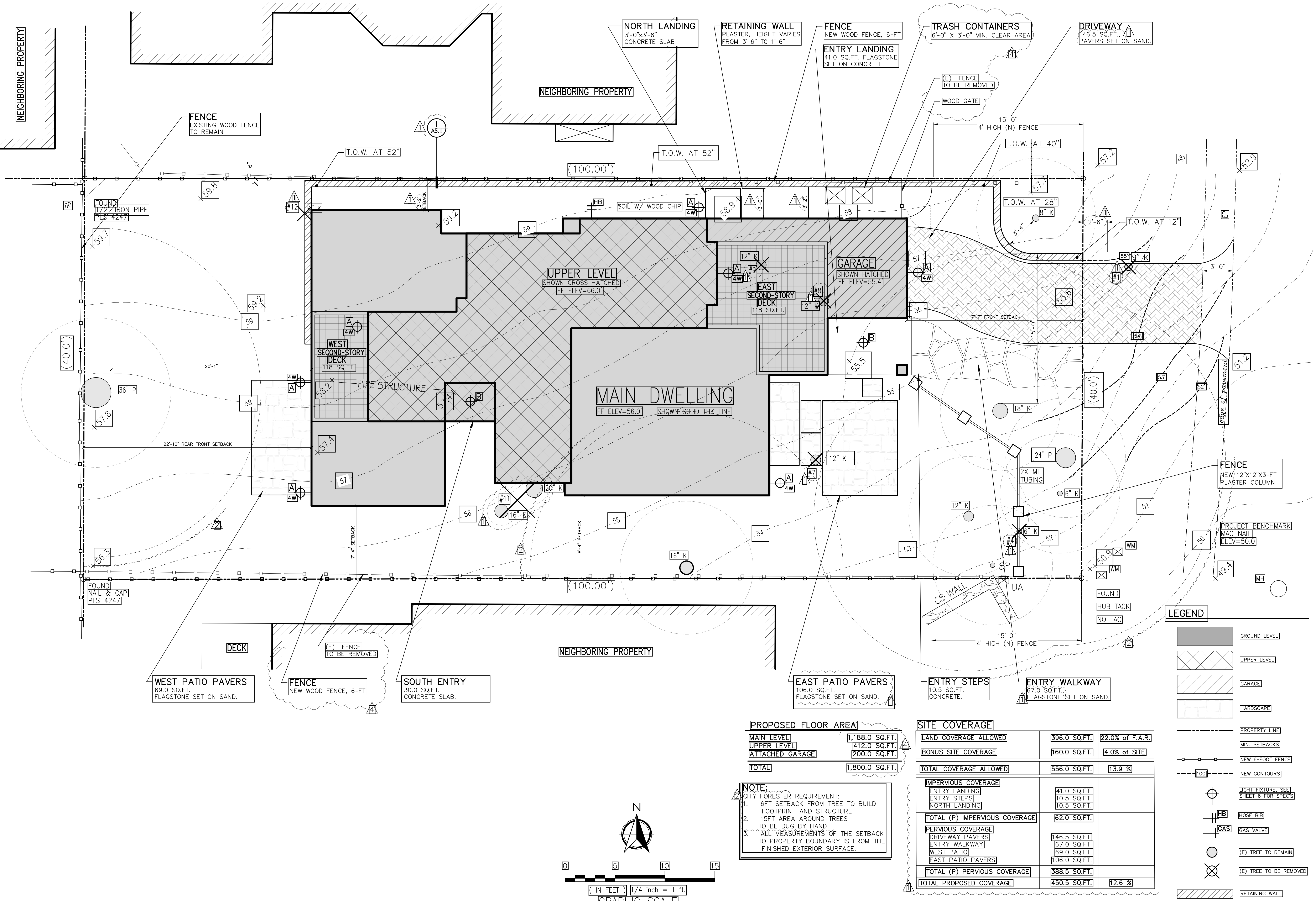
PROJECT: TURNER RESIDENCE
 MISSION 5 N/W OF SANTA LUCIA
 BLOCK: 142 LOT: 19
 APN: 010-162-009
PROJECT NO.: 19-02

ISSUE: 05-27-2019
DRAWN BY: C.O.

SITE PLAN (PROPOSED)

SCALE: 1" = 1/4"

2.1



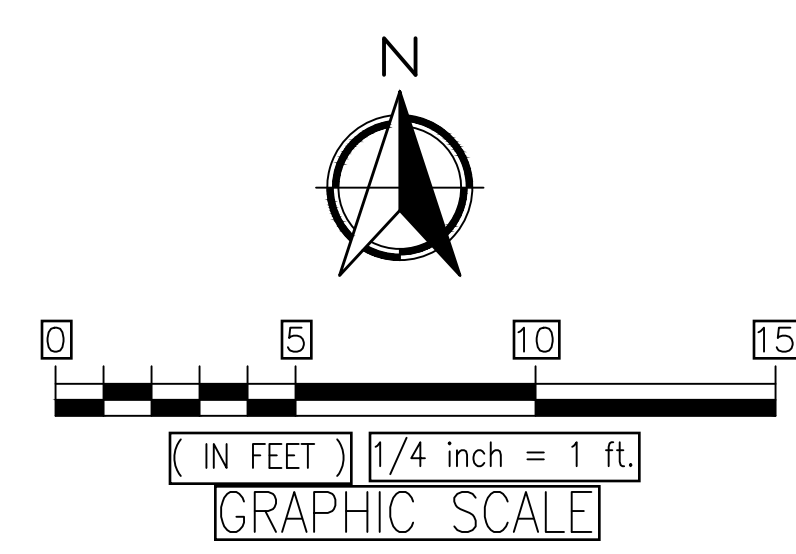
PROPOSED FLOOR AREA

MAIN LEVEL	1,188.0 SQ.FT.
UPPER LEVEL	412.0 SQ.FT.
ATTACHED GARAGE	200.0 SQ.FT.
TOTAL	1,800.0 SQ.FT.

NOTE:
 1. CITY FORESTER REQUIREMENT:
 1. 6FT SETBACK FROM TREE TO BUILD FOOTPRINT AND STRUCTURE
 2. 15FT AREA AROUND TREES TO BE DUG BY HAND
 3. ALL MEASUREMENTS OF THE SETBACK TO PROPERTY BOUNDARY IS FROM THE FINISHED EXTERIOR SURFACE.

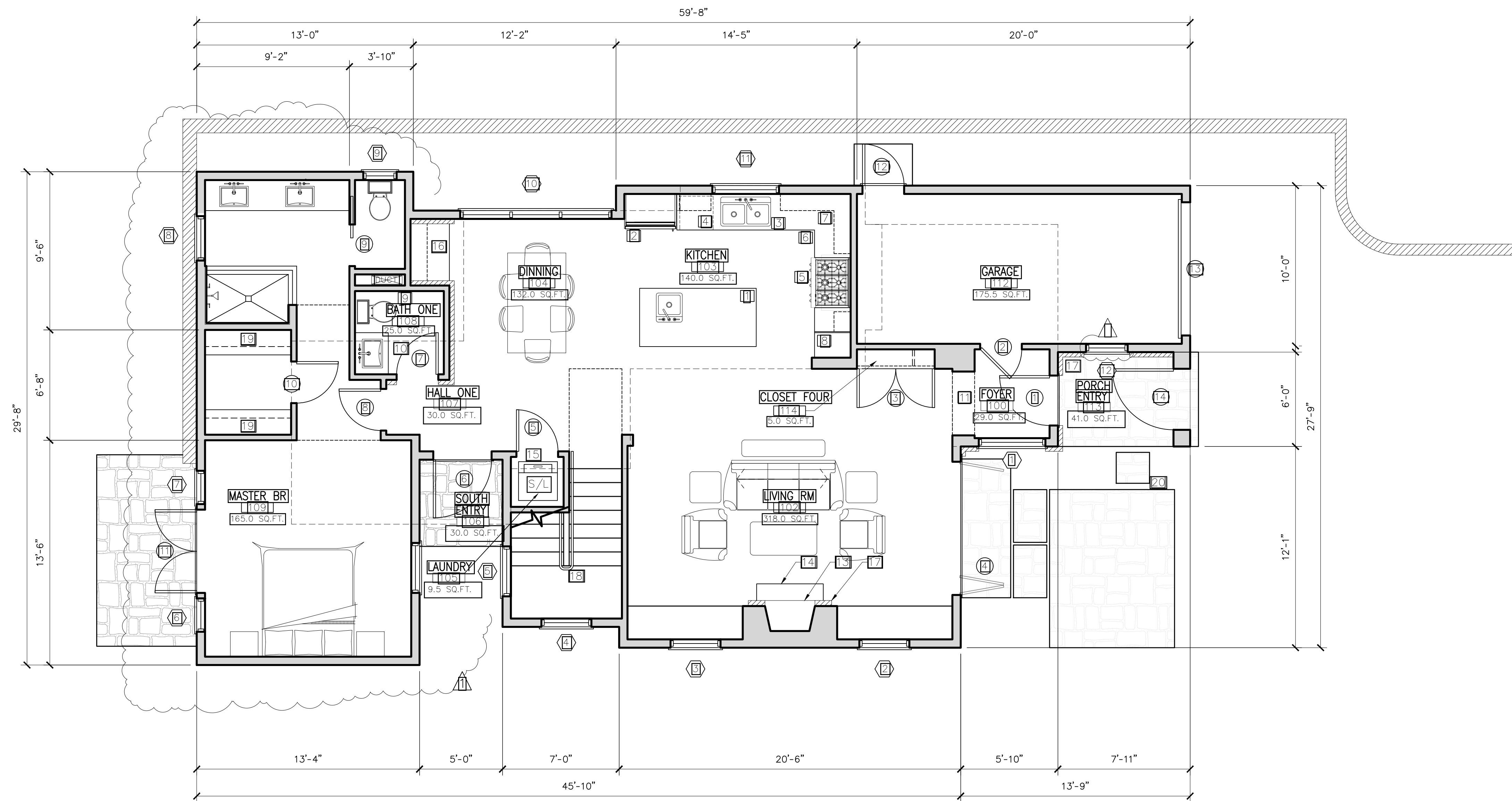
SITE COVERAGE

LAND COVERAGE ALLOWED	396.0 SQ.FT.	22.0% of F.A.R.
BONUS SITE COVERAGE	160.0 SQ.FT.	4.0% of SITE
TOTAL COVERAGE ALLOWED	556.0 SQ.FT.	13.9 %
IMPERVIOUS COVERAGE		
ENTRY LANDING	41.0 SQ.FT.	
ENTRY STEPS	10.5 SQ.FT.	
NORTH LANDING	10.5 SQ.FT.	
TOTAL (P) IMPERVIOUS COVERAGE	62.0 SQ.FT.	
PERVIOUS COVERAGE		
DRIVEWAY PAVERS	146.5 SQ.FT.	
ENTRY WALKWAY	67.0 SQ.FT.	
WEST PATIO	69.0 SQ.FT.	
EAST PATIO PAVERS	106.0 SQ.FT.	
TOTAL (P) PERVIOUS COVERAGE	388.5 SQ.FT.	
TOTAL PROPOSED COVERAGE	450.5 SQ.FT.	12.6 %



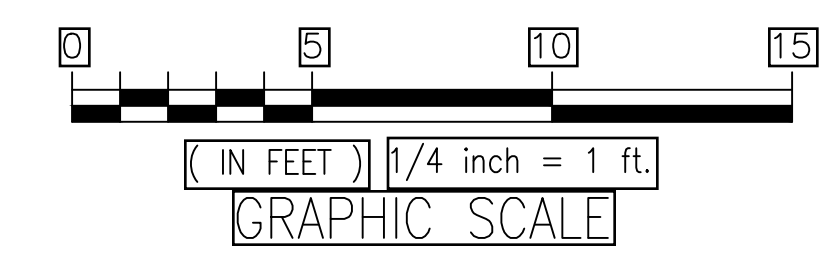
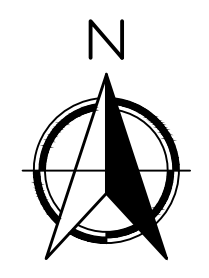
LEGEND

[Symbol]	GROUND LEVEL
[Symbol]	UPPER LEVEL
[Symbol]	GARAGE
[Symbol]	HARDSCAPE
[Symbol]	PROPERTY LINE
[Symbol]	MIN. SETBACKS
[Symbol]	NEW 6-FOOT FENCE
[Symbol]	NEW CONTOURS
[Symbol]	LIGHT FIXTURE, SEE SHEET 6 FOR SPECS
[Symbol]	HOSE BIB
[Symbol]	GAS VALVE
[Symbol]	(E) TREE TO REMAIN
[Symbol]	(E) TREE TO BE REMOVED
[Symbol]	RETAINING WALL

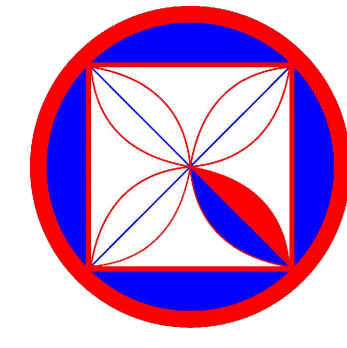
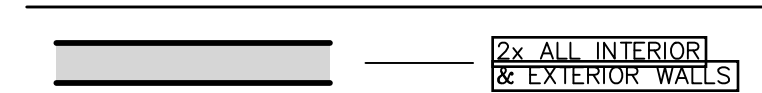


KEY NOTES

- 1 ISLAND 3'-6" X 7'-0"
- 2 36" BUILT-IN ALL REFRIGERATOR W/GLASS DOOR. PROVIDE RECESSED COLD WATER BIB & SHUT-OFF FOR ICE-MAKER.
- 3 KITCHEN SINK W/GARBAGE DISPOSAL SINGLE FAUCET WITH PULL-OUT
- 4 DISH WASHER SPACE
- 5 36" RANGE DUAL-FUEL RANGE VENTILATED W/42" HOOD ABOVE.
- 6 42-INCH HIGH COUNTER TOP WITH BACKSPASH
- 7 UPPER CABINETS
- 8 BUILT IN PANTRY W/ PULL OUT SHELVES
- 9 WATER CLOSET. TO BE MAXIMUM 1.28 GALLONS PER FLUSH PER C.P.C. 402.2.1
- 10 BATHROOM SINK W/36-INCH HIGH VANITY WITH STONE TOP AND BACKSPASH
- 11 ARCHWAY
- 12 SHOWER PER PLAN
 - SHOWER HEAD TO BE 7'-0" FROM FISHED FLOOR
 - ANTI-SCALDING VALVE AT SHOWER
 - CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENT OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOSE NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY. (CPC 408.9) SHOWER-CONTROL VALVES OF THE PRESSURE-BALANCE OR THE THERMOSTIC MIXING VALVE TYPE, PER CPC 408.3. DO NOT USE MORE THAN 2.0 GALLONS PER MINUTE PER CPC 408.2
- 13 WOOD BURNING FIREPLACE
- 14 HEARTH
- 15 STACK WASHER & DRYER
- 16 BAR
- 17 STONE VENEER
- 18 HAND RAILS
- 19 ONE 2" ROD ONE SHELF
- 20 FLAGSTONES



WALL LEGEND



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REVISIONS:
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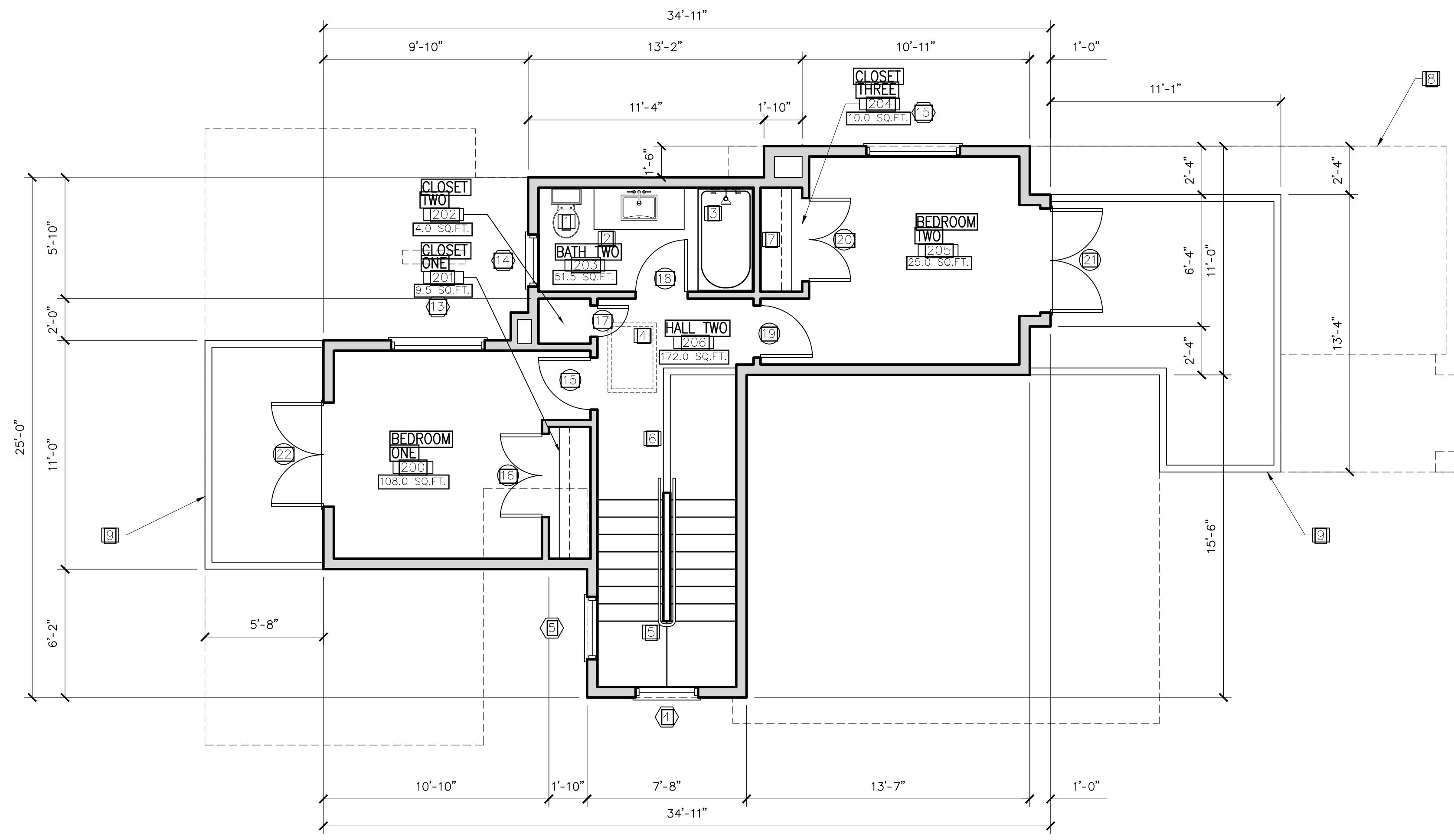
PROJECT:
 TURNER RESIDENCE
 MISSION 5 N/W OF SANTA LUCIA
 BLOCK-147 LOT-19
 APN: 010-162-009
PROJECT NO.:
 19-02

ISSUE:
 05-27-2019
DRAWN BY:
 C.O.

**MAIN LEVEL
 FLOOR PLAN**

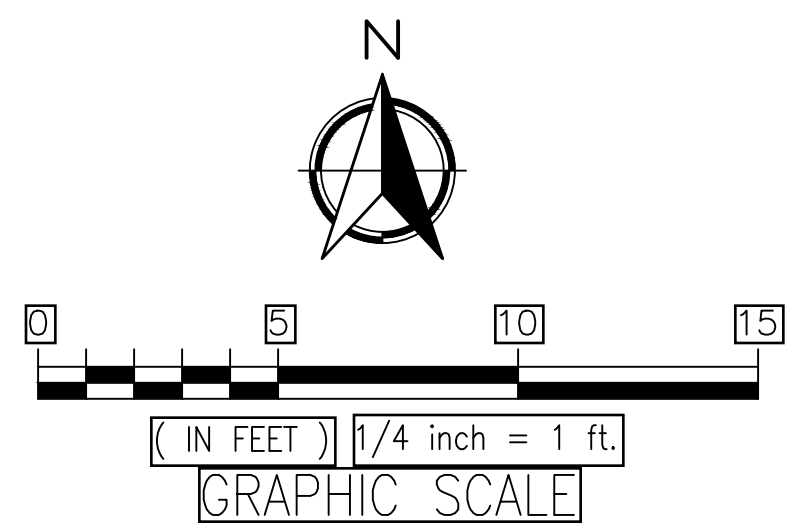
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3.0



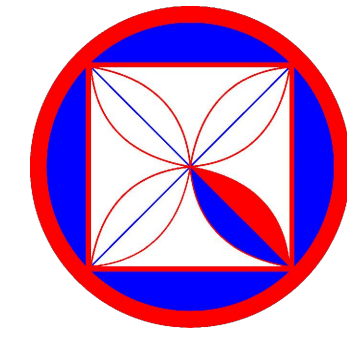
KEY NOTES

- 1] WATER CLOSET TO BE MAXIMUM 1.28 GALLONS PER FLUSH PER C.P.C. 402.2.1
- 2] BATHROOM SINK W/36-INCH HIGH VANITY WITH STONE TOP AND BACKSLASH
- 3] SHOWER/TUB PER PLAN
 - SHOWER HEAD TO BE 7'-0" FROM FISHED FLOOR
 - ANTI-SCALDING VALVE AT SHOWER
 - CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENT OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY. (CPC 408.9). SHOWER CONTROL VALVES OF THE PRESSURE-BALANCE OR THERMOSTATIC MIXING VALVE TYPE PER CPC 408.3. DO NOT USE MORE THAN 2.0 GALLONS PER MINUTE PER CPC 408.2
- 4] SKYLIGHT 24"x36"
- 5] HAND RAILS
- 6] 42-INCH WOOD GUARDRAIL
- 7] ONE 2" ROD ONE SHELF
- 8] MAIN LEVEL FOOTPRINT
- 9] EAST BALCONY
- 10] WEST BALCONY



WALL LEGEND

	ALL INTERIOR & EXTERIOR WALLS
	STONE VENEER



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 01-25-2021

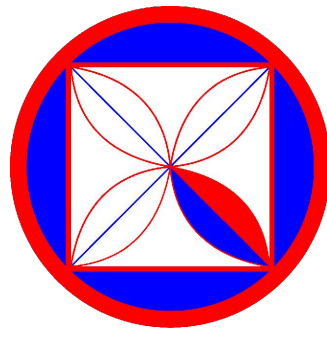
PROJECT:
 TURNER RESIDENCE
 MISSION 5 N/W OF SANTA LUCIA
 BLOCK 147 LOT 19
 APN: 010-162-009
PROJECT NO.:
 19-02

ISSUE:
 05-27-2019
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**UPPER LEVEL
 FLOOR PLAN**

SCALE: 1" = 1/4"

3.1



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 PLN 10-01-2020
 PLN 12-21-2020
 PLN 01-18-2021
 PLN 01-25-2021

PROJECT:
 TURNER RESIDENCE
 MISSION 5 N/W OF SANTA LUCIA
 BLOCK 147 LOT 19
 APN: 010-162-009
PROJECT NO.:
 19-02

ISSUE:
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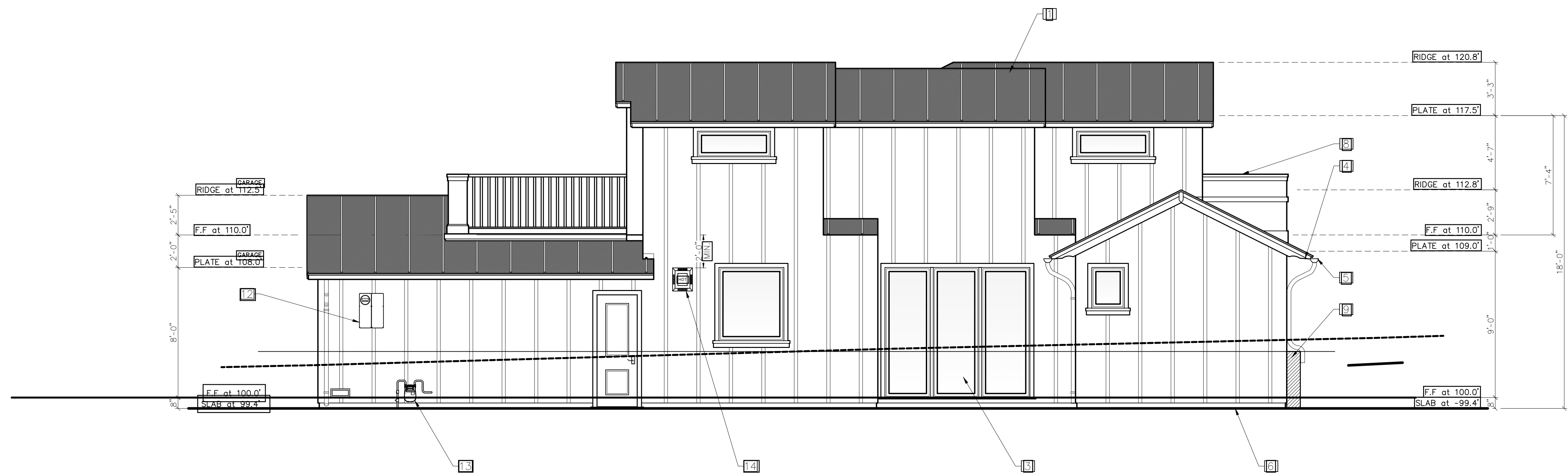
ELEVATIONS

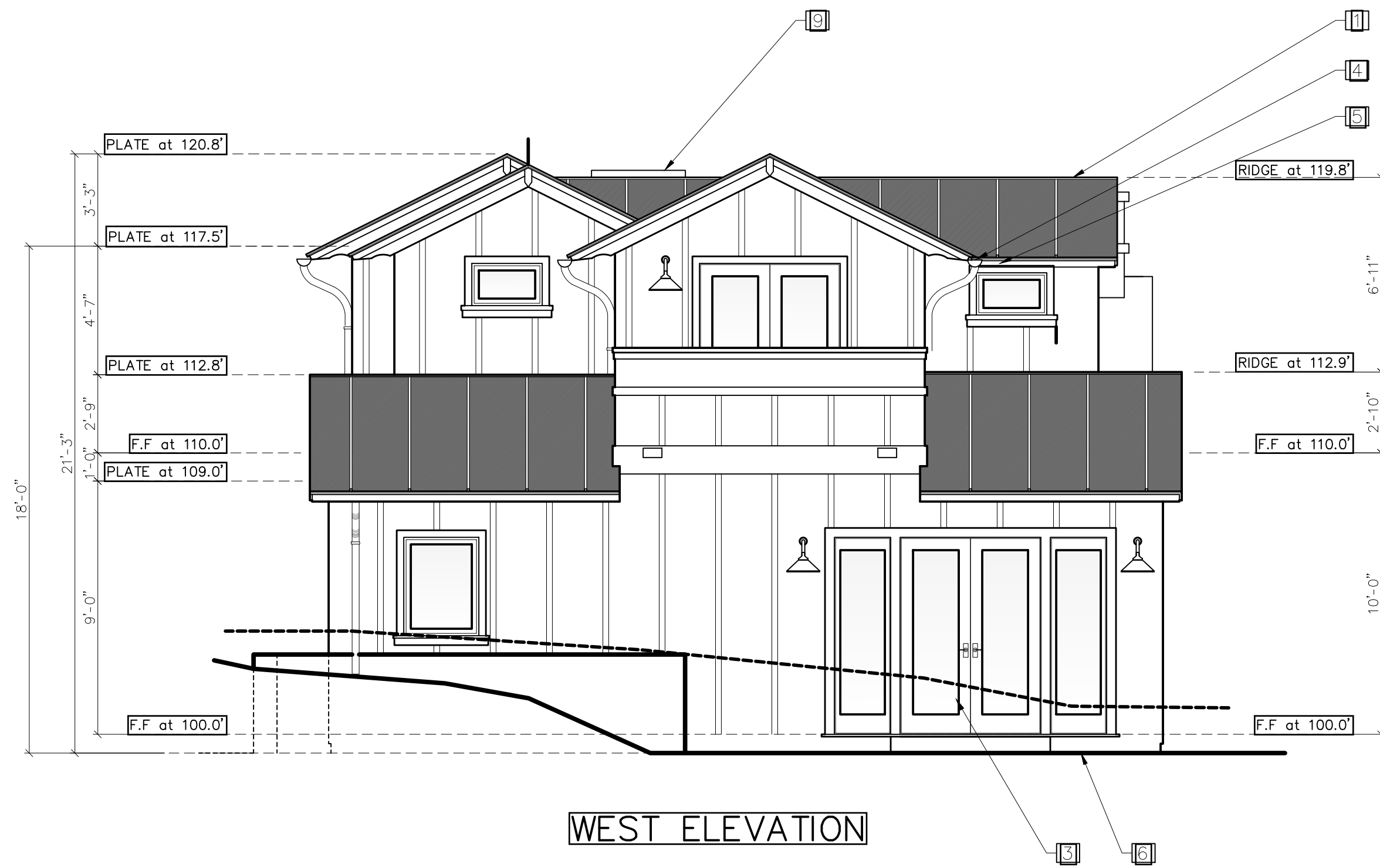
SCALE: 1" = 1/4"

4.0

KEY NOTES

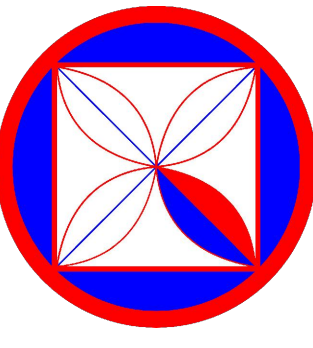
- 1 ROOF: PITCH 6:12, STANDING METAL SEAM
- 2 WOOD SIDING WITH VERTICAL SLATS
- 3 WINDOWS & DOORS, WITH NO GRIDS
- 4 BARGE AND RAFTER TAILS: 4X SHAPED
- 5 GUTTERS & DOWN SPOUT: 6-IN. ROUND COPPER GUTTERS AND 3-IN. DIA. DOWN SPOUT.
- 6 GRADE: WHERE OCCURS
- 7 LIGHT FIXTURES: COPPER 325 LUMENS MAX
- 8 GUARDRAILS: WESTERN CEDAR, PAINTED, 42-IN HIGH W/WOOD POST, HANDRAIL, 1-5/8-IN THICK SQUARE BALUSTERS.
- 9 CMU RETAINING WALL
- 10 WOOD GARAGE DOOR
- 11 METAL DOOR
- 12 ELECTRIC PANEL
- 13 GAS METER
- 14 KITCHEN WALL RANGE HOOD VENT





KEY NOTES

- 1 ROOF: PITCH 6:12, STANDING METAL SEAM
- 2 WOOD SIDING WITH VERTICAL SLATS
- 3 WINDOWS & DOORS, WITH NO GRIDS
- 4 BARGE AND RAFTER TAILS: 4X SHAPED
- 5 GUTTERS & DOWN SPOUT: 6-IN. ROUND COPPER GUTTERS AND 3-IN.DIA. DOWN SPOUT.
- 6 GRADE: WHERE OCCURS
- 7 LIGHT FIXTURES: COPPER 325 LUMENS MAX
- 8 GUARDRAILS: WOOD PAINTED, 42-IN HIGH W/WOOD POST, HANDRAIL, 1-5/8-IN THICK SQUARE BALUSTERS.
- 9 SKYLIGHT: 24"X 36", DARK BRONZE FINISH.



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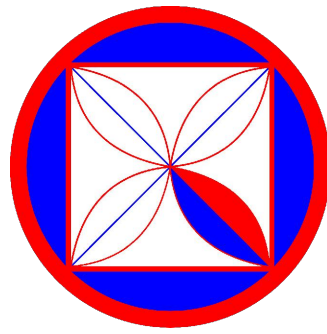
PLN 10-01-2020	1
PLN 12-21-2020	2
PLN 01-18-2021	3
PLN 01-25-2021	4

PROJECT: TURNER RESIDENCE
 MISSION 5 N/W OF SANTA LUCIA
 BLOCK: 147 LOT: 19
APN: 010-162-009
PROJECT NO.: 19-02

ISSUE: 05-27-2019
DRAWN BY: C.O.

ELEVATIONS

SCALE: 1" = 1/4"



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 PLN 12-21-2020 (2)
 PLN 01-18-2021 (3)
 PLN 01-25-2021 (4)

PROJECT:
 TURNER RESIDENCE
 MISSION 5 N/W OF SANTA LUCIA
 BLOCK 147 LOT 19
 APN: 010-162-009
PROJECT NO.:
 19-02

ISSUE:
 05-27-2019
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ROOF PLAN

SCALE: 1" = 1/4"

5.0

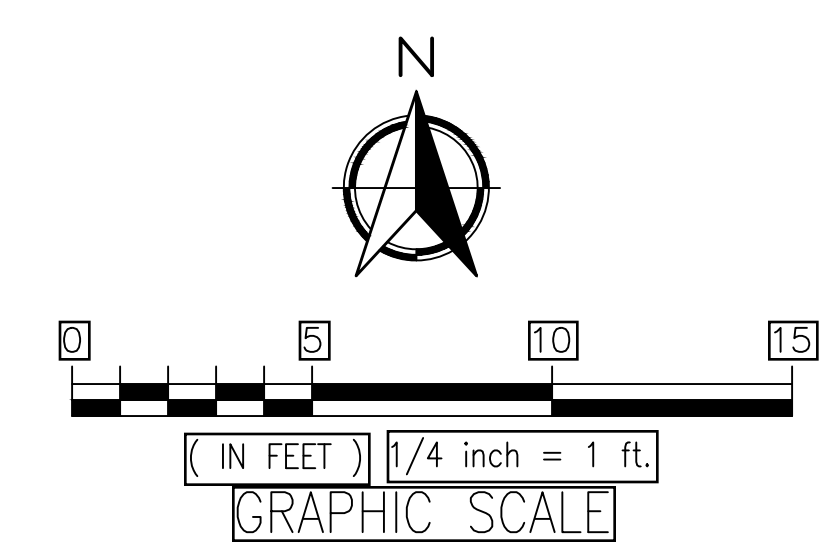
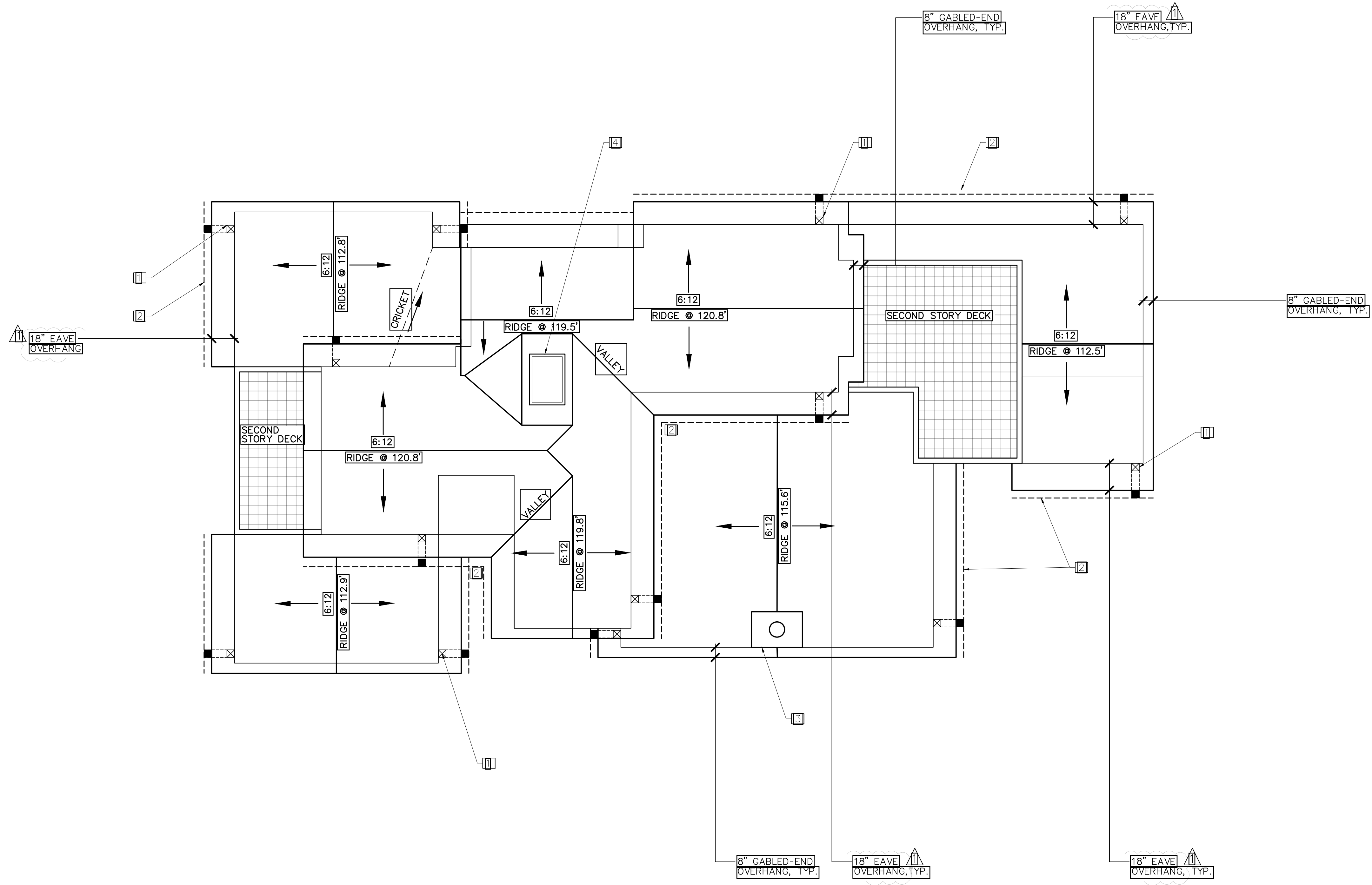
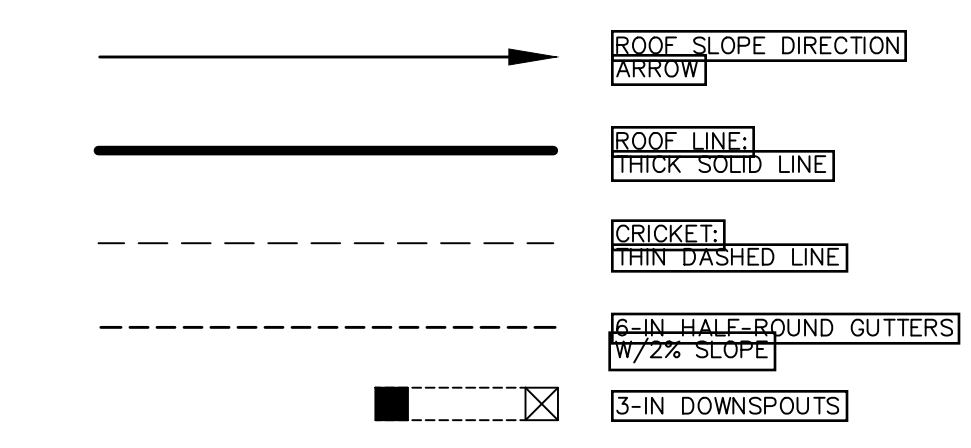
GENERAL NOTES

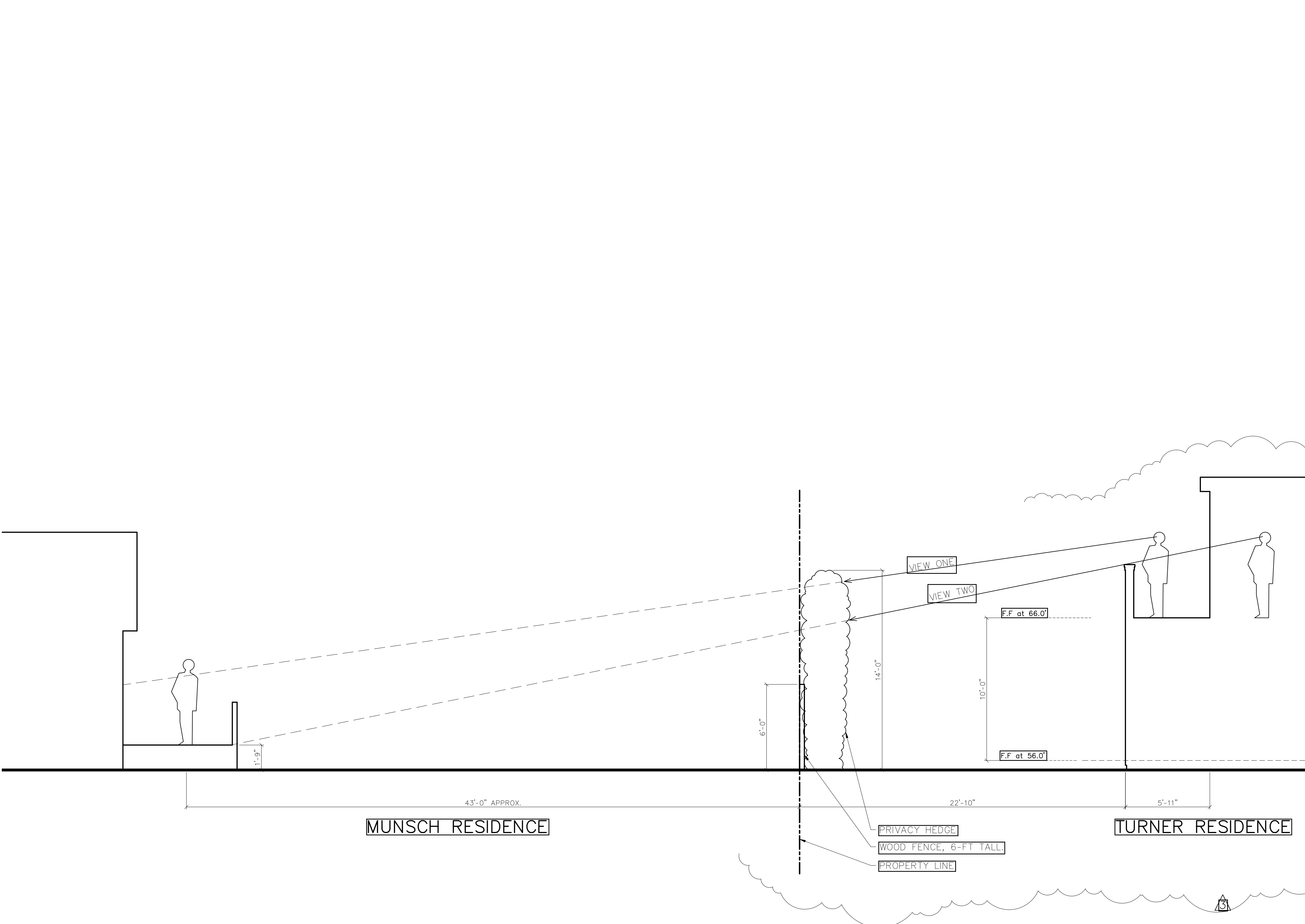
- SEE PLAN FOR ROOF SLOPE.
- INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS.
- CLASS "A" MINIMUM RATING FOR ROOF ASSEMBLY PER C.B.C.
- IN "CALIFORNIA" DOUBLE FRAMING AREAS PROVIDE OPENINGS INTO MAIN ATTIC SPACE FOR ADEQUATE VENTILATION. PER C.B.C., IF "CALIFORNIA" DOUBLE FRAME AREA HAS MORE THAN 30-INCHES HEADROOM PROVIDE A 22"x30" ACCESS THROUGH MAIN ROOF SHEATHING. VERIFY OPENINGS IN ROOF SHEATHING WITH STRUCTURAL ENGINEER.
- ALL BOX COLUMNS AND "POP-OUTS" SHALL REMAIN OPEN AT TOP PALET LINE TO ALLOW FOR VENTILATION. PROVIDE TWO (2) LAYERS GRADE "D" MINIMUM PAPER UNDER STUCCO WHERE WOOD SHEATHING ACCURS.
- PROVIDE DRAFT STOPS PER C.B.C.
- ALL ROOF FASTENERS TO BE CAPABLE OF RESISTING WIND LOAD OF 110 M.P.H. INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTION. (As shown in Figure R301.2(4)A.)
- BUILT UP ROOFING TO HAVE MINERAL SURFACE CAP SHEET WITH FIBERGLASS BASE SHEET SPOT MOPPED TO DECK. PROVIDE 2 FIBERGLASS PLSHEETS WITH TYPE III ASPHALT @ 25-30. CONSULT MANF. FOR SPECIFIC INSTALLATION REQUIREMENTS.
- WHERE CEILING ARE APPLIE TO UNDER-SIDE OF ROOF RAFTERS, EACH SEPARATE SPACE SHALL HAVE CROSS VENTILATION OPENING & MINIMUM 1-INCH AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING.
- FLAT ROOFS MUST SLOPE A MINIMUM OF 1/4-INCH PER FOOT FOR DRAINAGE OR SUBMIT DESING TO SUPPORT ACCUMULATED WATER. (Sec. 1611.2)
- 50% OF THE REQUIRED VENTILATION AREA SHALL BE PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3-FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE.

KEY NOTES

- 1] DOWNSPOUTS, 3-IN DIA. TYP.
- 2] GUTTERS W/ 2% SLOPE
- 3] CHIMNEY CAP, COPPER, 2'-4"x 3'-4"
- 4] SKYLIGHT 24"x36" W/ AUTOMATIC SKYLIGHT SHADE

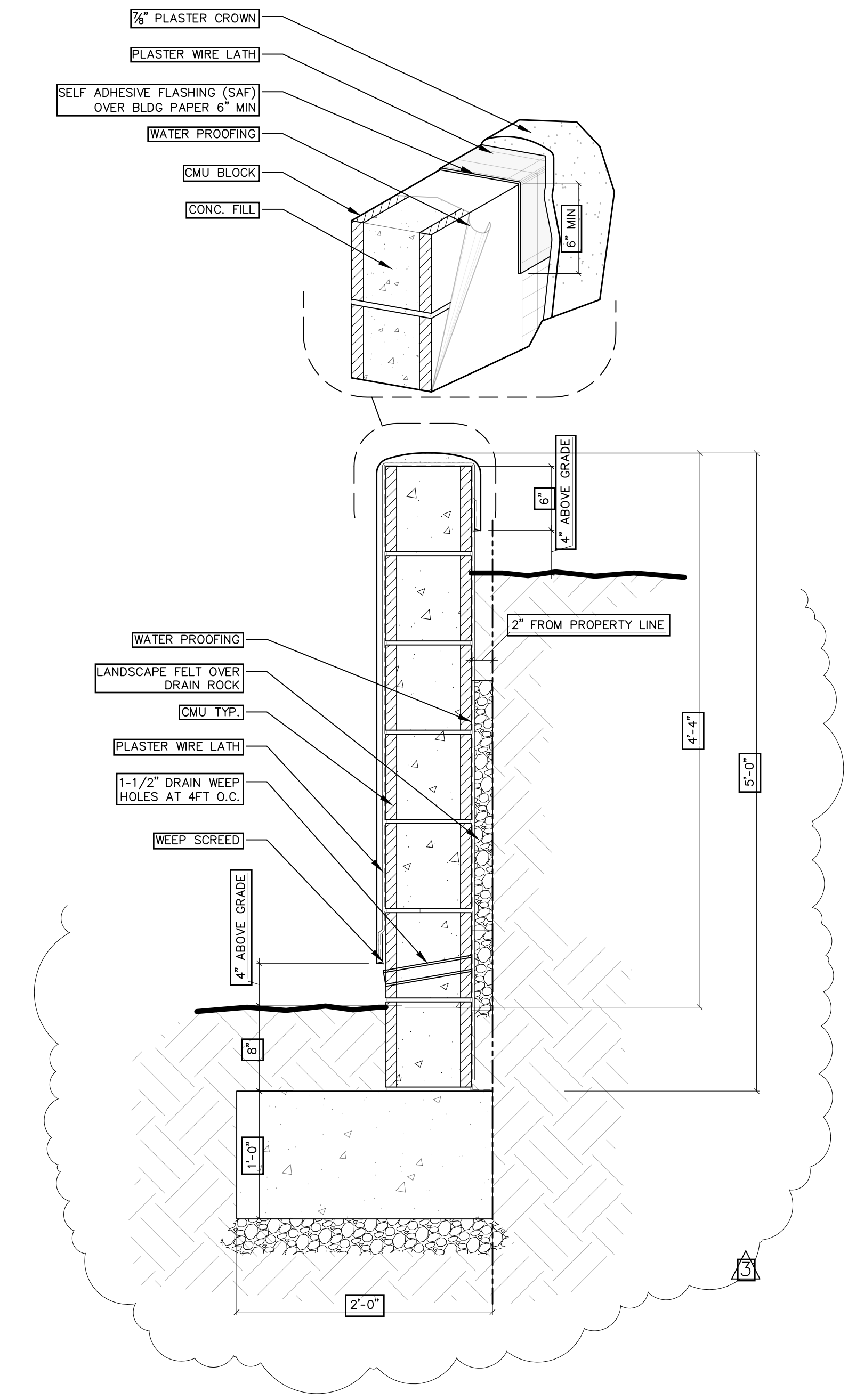
LEGEND





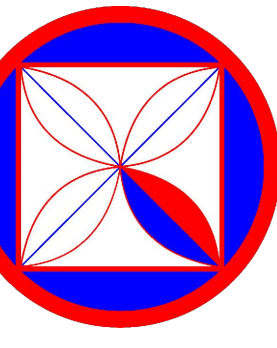
LINE DIAGRAM - VIEW ANALYSIS

1 1/2" = 1'-0" 2



RETAINING WALL SECTION

1 1/2" = 1'-0" 1



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REVISIONS:
 PIN 10-01-2020
 PIN 12-21-2020
 PIN 03-22-2021

PROJECT:
 TURNER RESIDENCE
 MISSION 5 N/W OF SANTA LUCIA
 BLOCK 147 LOT 19
 APN: 010-162-009
 PROJECT NO:
 19-02

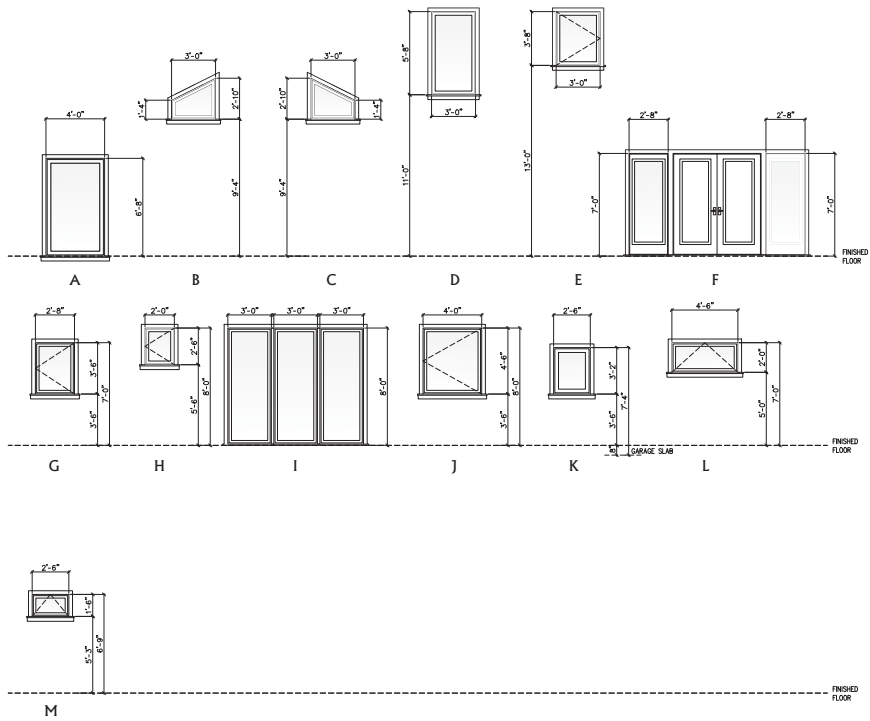
ISSUE:
 05-27-2019
 DRAWN BY:
 C.O.

DETAILS

SCALE: 1" = 1/4"

5.1

Window Elevation Types



Window Schedule

NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED	SCREEN	EXCESS GLASS	WINDINGS
MAIN LEVEL											
1	FOYER	A	4'-0" X 6'-8"	P	FIXED	WOOD-UNGLAD	YES	YES	NO	NO	
2	LIVING ROOM	B	1'-4" X 3'-0" X 2'-10"	P	FIXED	WOOD-UNGLAD	YES	YES	NO	NO	
3	LIVING ROOM	C	2'-10" X 3'-0" X 1'-4"	P	FIXED	WOOD-UNGLAD	YES	YES	NO	NO	
4	STAIRS	D	3'-0" X 5'-8"	P	FIXED	WOOD-UNGLAD	YES	YES	NO	NO	
5	STAIRS	E	3'-0" X 3'-8"	P	FIXED	WOOD-UNGLAD	YES	YES	NO	NO	
6	MASTER BEDROOM	F	2'-8" X 7'-0"	P	FIXED	WOOD-UNGLAD	YES	YES	NO	NO	
7	MASTER BEDROOM	F	2'-8" X 7'-0"	P	FIXED	WOOD-UNGLAD	YES	YES	NO	NO	
8	MASTER BATHROOM	G	2'-8" X 3'-6"	P	CASEMENT	WOOD-UNGLAD	YES	YES	NO	NO	
9	MASTER BATHROOM	H	2'-0" X 3'-6"	P	CASEMENT	WOOD-UNGLAD	YES	YES	NO	NO	
10	DINING ROOM	I	(3) 3'-0" X 8'-0"	P	FIXED	WOOD-UNGLAD	YES	YES	NO	NO	
11	KITCHEN	J	4'-0" X 4'-8"	P	CASEMENT	WOOD-UNGLAD	YES	YES	NO	NO	
12	GARAGE	K	2'-8" X 3'-2"	P	FIXED	WOOD-UNGLAD	YES	YES	NO	NO	
UPPER LEVEL											
13	BEDROOM ONE	L	4'-8" X 2'-0"	P	AWNING	WOOD-UNGLAD	YES	YES	YES	NO	
14	BATH TWO	M	2'-8" X 1'-6"	P	AWNING	WOOD-UNGLAD	YES	YES	YES	NO	
15	BEDROOM TWO	L	4'-8" X 2'-0"	P	AWNING	WOOD-UNGLAD	YES	YES	YES	NO	

Door Notes:

1. PROVIDE DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. SEE SCHEDULE FOR ADDITIONAL REQUIREMENTS.
2. PROVIDE PRIVACY HARDWARE FOR ALL BEDROOM AND BATHROOM LOCATIONS.
3. GENERAL CONTRACTOR TO CONSULT WITH OWNER FOR ADDITIONAL DOOR HARDWARE REQUIREMENTS.
4. ALL DOOR GLAZING TO BE TEMPERED GLASS.
5. ALL EXTERIOR DOOR GLAZING TO BE 5/8" INSULATED TEMPERED GLASS.
6. DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES TO BE FULLY WEATHER STRIPPED.
7. GENERAL CONTRACTOR TO REVIEW DOOR ORDER WITH ARCHITECT PRIOR TO DOOR ORDER PLACEMENT.
8. DOOR HINGES TO BE 4.57X4.57" DOOR 7'-0"
9. DOOR TOPS AND BOTTOM TO BE SANDED, FINISHED, AND SEALED.
10. GARAGE DOORS: SEE SCHEDULE AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
11. THE DOOR FINISH PER CLIENT OR COOG, INC.
12. THE DOOR STILES TO BE PER PLAN.
13. CHECK FLOOR PLAN FOR HINGES LOCATION.
14. PER THE ENERGY CODE ALL WINDOWS ARE TO BE LAMINATED DOUBLE GLAZING PANE.

Window Notes:

1. PROVIDE SAFETY GLAZING (TEMPERED OR LAMINATED) AS REQUIRED PER C.B.C.
2. SCREEN COLOR TO BE SPECIFIED BY CLIENT
3. GENERAL CONTRACTOR TO VERIFY THE WINDOW ORDER AND ROUGH FRAMING WITH THE DESIGNER/ARCHITECT PRIOR TO PLACEMENT OF THE WINDOW ORDER.
4. THE WINDOW MANUFACTURER WILL SUPPLY SHOP DRAWINGS FOR SPECIAL WINDOWS (OVERSIZE, ETC.) FOR REVIEW BY COOG, INC.
5. APPLY 35SAL KRAFT PAPER AROUND ALL EXTERIOR OPENINGS.
6. PROVIDE CONTINUOUS CALK AROUND ALL WINDOW OPENINGS WITH G.E. SILICONE ACRYLIC POLYSULFIDE OR URETHANE AS REQUIRED.
7. ALL MANUFACTURED WINDOWS TO BE CERTIFIED AND LABELED MEETING STANDARDS LISTED IN TABLE 2-53V OF TITLE 24.
8. EXTERIOR WINDOW FINISH TO BE SEALED, U.N.O.
9. OPERABLE WINDOWS TO HAVE SCREENS.
10. AS SPECIFY BY CLIENT.
11. SEE EXTERIOR ELEVATIONS FOR ALL WINDOW HEAD HEIGHTS.
12. DOUBLE PANE LAMINATED GLASS AS SPECIFIED TITLE 24 GLASS & GLAZING SEC. 2401 & TABLE 2403.2.1
13. PER THE ENERGY CODE ALL WINDOWS ARE TO BE GLAZING AS DUAL PANE.
14. WINDOW JAMS TO BE 3-1/2-INCHES WITHOUT EXTERION JAMS AND DELIVERED WITH EXTERIOR WOOD SILLS ONLY, (U.N.O.)

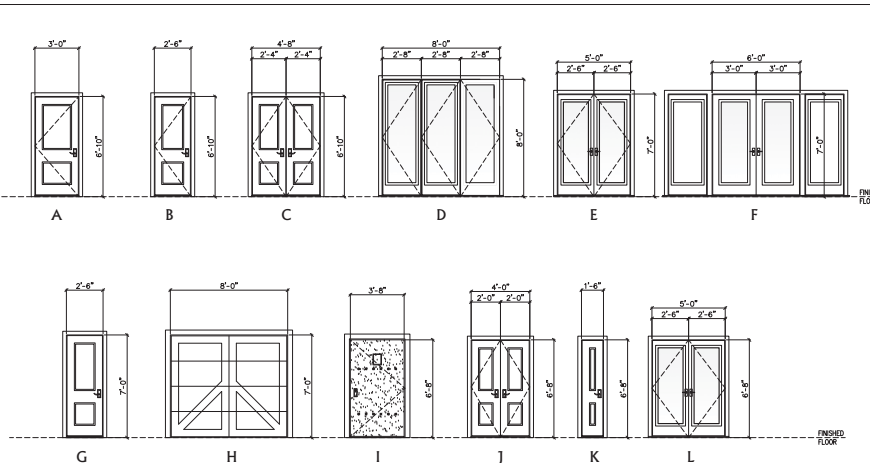
Note:

1. FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATIONS
2. ALL WINDOW DIMENSIONS ARE THE ROUGH OPENING SEE ELEVATIONS
3. ALL DOOR DIMENSIONS ARE ACTUAL DOOR SIZE & OPENING SEE ELEVATIONS

Tempered Glass Note:

- EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED GLASS. THE FOLLOWING LOCATIONS SHALL BE HAZARDOUS LOCATIONS FOR GLAZING:
- (A) GLAZING IN DOORS.
 - (B) GLAZING IN A FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60-INCHES ABOVE THE FLOOR OR WALKING SURFACE AND ITS OTHER WITHIN 24-INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR "OR" WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR WITHIN 24-INCHES OF THE HINGE SIDE OF AN SWINGING DOOR.
 - (C) GLAZING IN WINDOWS THAT MEET ALL THE FOLLOWING CONDITIONS:
 1. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET.
 2. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 3. THE TOP EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 4. ONE OR MORE WALKING SURFACES ARE WITHIN 36-INCHES, MEASURED HORIZONTALLY.
 - (D) GLAZING IN GUARDS AND RAILINGS.
 - (E) GLAZING IN WALLS CONTAINING OR FINISH TUBS, SHOWERS AND OTHER WET SURFACES WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60-INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACES, INCLUDING SHOWER DOORS AND SURROUNDS.
 - (F) GLAZING ADJACENT TO STAIRS AND RAMPS.

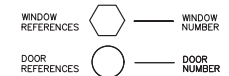
Door Elevation Types



Door Schedule

NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED
MAIN LEVEL								
1	FOYER	A	3'-0" X 6'-10"	P	FLUSHED / PANELED DOOR	OUTSIDE WOOD	NO	NO
2	GARAGE	B	2'-8" X 6'-10" (SELF-CLOSING 2-HR RATED)	P	FLUSHED / PANELED DOOR	INSIDE WOOD	NO	NO
3	LIVING ROOM	C	(2) PER: 2'-4" X 6'-10"	P	FLUSHED / PANELED DOOR	INSIDE WOOD	NO	NO
4	LIVING ROOM	D	(3) PER: 2'-8" X 8'-0"	P	FULL GLASS SLIPER DOOR	OUTSIDE WOOD	YES	YES
5	LAUNDRY	B	2'-8" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE WOOD	NO	NO
6	SOUTH ENTRY	E	(2) PER: 2'-8" X 7'-0"	P	GLASS / PANELED FRENCH DOOR	OUTSIDE WOOD	YES	YES
7	BATHROOM ONE	B	2'-8" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE WOOD	NO	NO
8	MASTER BEDROOM	B	2'-8" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE WOOD	NO	NO
9	MASTER BATH	B	2'-8" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE WOOD	NO	NO
10	MASTER CLOSET	B	2'-8" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE WOOD	NO	NO
11	MASTER BEDROOM	F	(2) PER: 2'-0" X 7'-0"	P	GLASS / PANELED FRENCH DOOR	OUTSIDE WOOD	YES	YES
12	GARAGE	G	2'-8" X 7'-0" (SELF-CLOSING 2-HR RATED)	P	FLUSHED / PANELED DOOR	OUTSIDE WOOD	NO	NO
13	GARAGE	H	8'-0" X 7'-0"	P	ROLL-UP WOOD CARRIAGE GARAGE DOOR	OUTSIDE WOOD	NO	NO
14	PORCH ENTRY	I	3'-8" X 6'-8"	P	METAL DOOR WITH SPEAKEASY	OUTSIDE WOOD	NO	NO
UPPER LEVEL								
15	BEDROOM ONE	B	2'-8" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE WOOD	NO	NO
16	CLOSET ONE	J	(2) PER: 2'-0" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE WOOD	NO	NO
17	CLOSET TWO	K	1'-8" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE WOOD	NO	NO
18	BATHROOM TWO	B	2'-8" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE WOOD	NO	NO
19	BEDROOM TWO	B	2'-8" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE WOOD	NO	NO
20	CLOSET THREE	J	(2) PER: 2'-0" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE WOOD	NO	NO
21	BATHROOM TWO	L	(2) PER: 2'-8" X 6'-8"	P	GLASS / PANELED FRENCH DOOR	OUTSIDE WOOD	YES	YES
22	BATHROOM ONE	L	(2) PER: 2'-8" X 6'-8"	P	GLASS / PANELED FRENCH DOOR	OUTSIDE WOOD	YES	YES

Symbols



Abbreviations

- N/A — NOT APPLICABLE
- G.C. — GENERAL CONTRACTOR
- P — PAINT
- ST — STAIN
- FF — FACTORY FINISH
- IF — INTERIOR FINISH
- S — SEALED
- MFR. — MANUFACTURER
- FIN. — FINISH
- NAT. — NATURAL

FROM CONCEPT REVIEW 12.09.20



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10000 WILSON AVENUE, SUITE 100
DUBLIN, CA 94568
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PROJECT: ADAMSKI RESIDENCE
9th Ave., 2, 3/4 of Dolores Street
APN: 010-156-020
PROJECT NO. 18-08

ISSUE: 09-26-2019

REVISIONS:
DRAWN BY: CO

WINDOW & DOOR SCHEDULE (PROPOSED)

SCALE: 1/4" = 1'

5.2



BULB
 MANUFACTURE: PHILLIPS
 WATTS: 4 WATTS
 LUMENS: 150
 BULB TYPE: B11 LED SOCKET



FIXTURE A
 MANUFACTURE: HAMPTON BAY
 T24 COMPLIANT: YES
 COLOR: COPPER
 WATTS: 4 WATTS
 LUMENS: 150
 BULB TYPE: SEE BULB
 DIMENSIONS: 16"H X 10.5"W X 11"

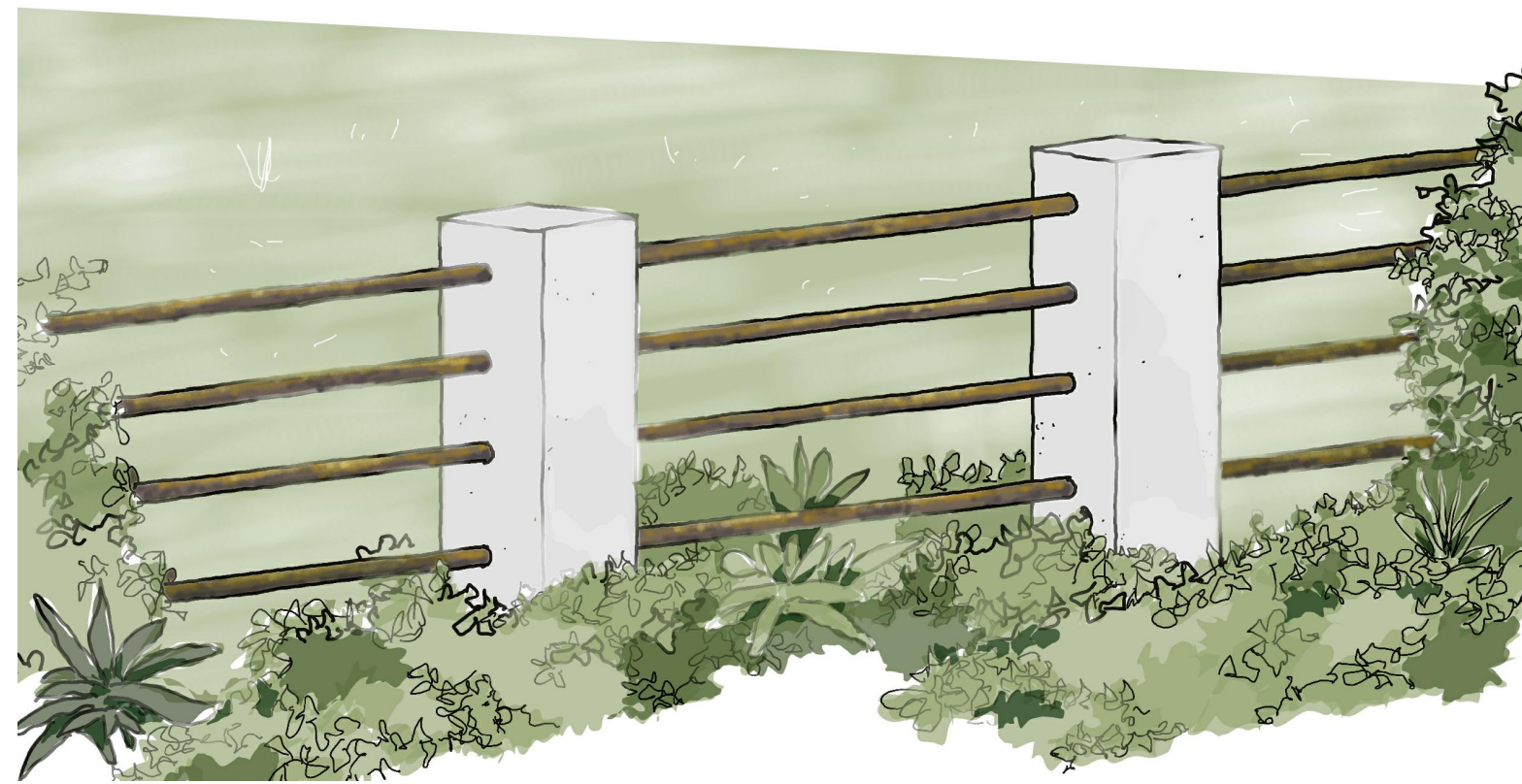


FIXTURE B
 MANUFACTURE: WORLD IMPORTS
 T24 COMPLIANT: YES
 COLOR: ANTIQUE COPPER
 WATTS: 4 WATTS
 LUMENS: 150
 BULB TYPE: SEE BULB
 DIMENSIONS: 16"H X 10.5"W

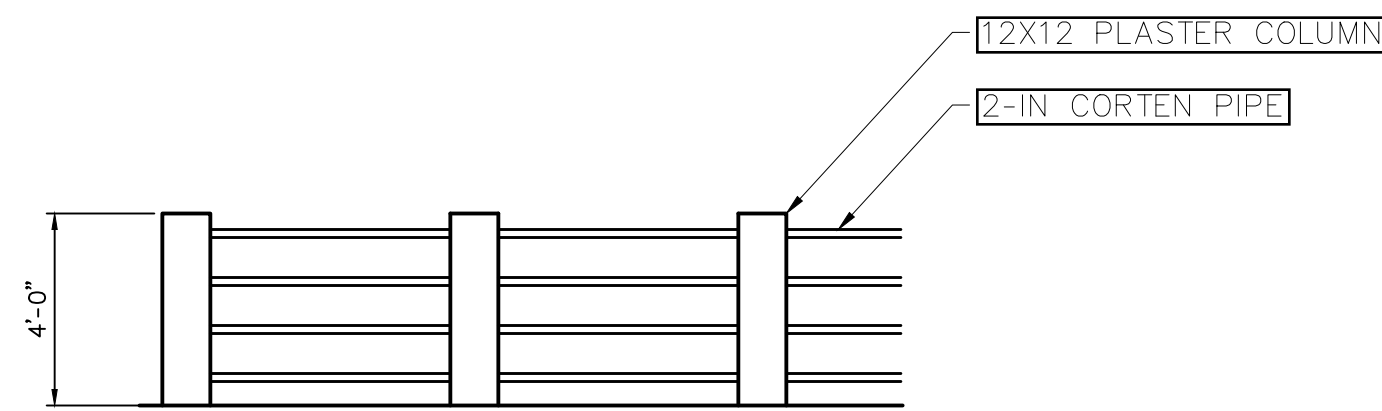


FIXTURE C
 MANUFACTURE: WAC LEDme
 T24 COMPLIANT: N/A
 COLOR: BRONZE
 WATTS: 3.9 WATTS
 LUMENS: 68
 BULB TYPE: LED MODULE
 DIMENSIONS: 21"H X 8"W

EXTERIOR LIGHTING NOTES
 1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10-FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
 2. LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10-FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.



NEW 4-FOOT FENCE RENDERING



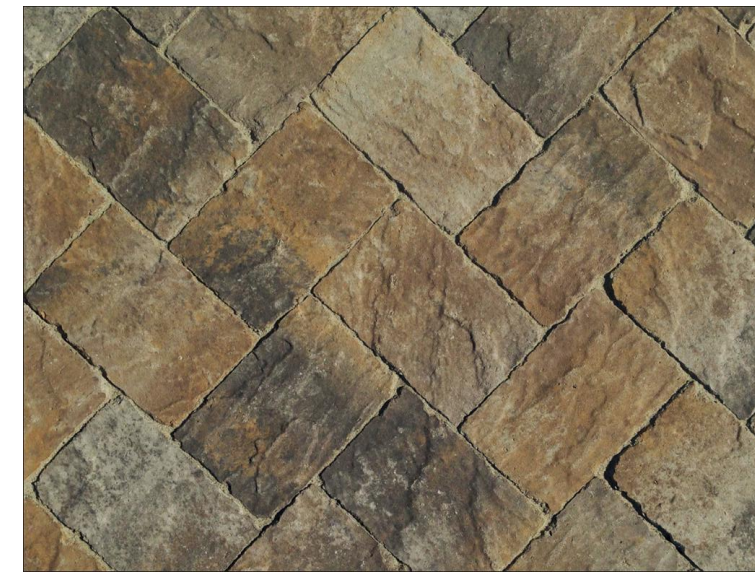
NEW 4-FOOT FENCE

MATERIAL: PLASTER COLUMNS
 MATERIAL: HORIZONTAL CORTEN PIPE PICKETS
 FINISH: NATURAL PICKETS, COLUMNS PAINT
 HEIGHT: 4 FT.



BALUSTER

MANUFACTURE: AMERICAN PORCH
 COLOR: OFF-WHITE
 MATERIAL: WESTERN CEDAR



DRIVEWAY

MANUFACTURE: CALSTONE
 COLOR: OAK BARREL GRAY
 INSTALLATION: SET ON SAND



PATIO

MANUFACTURE: CARMEL STONE
 COLOR: NATURAL
 INSTALLATION: SET ON SAND



WALKWAY

MANUFACTURE: CARMEL STONE
 COLOR: NATURAL
 INSTALLATION: SET ON SAND



NEW 6-FOOT FENCE

MATERIAL: REDWOOD
 FINISH: NATURAL
 HEIGHT: 5-6 FT. VARIES



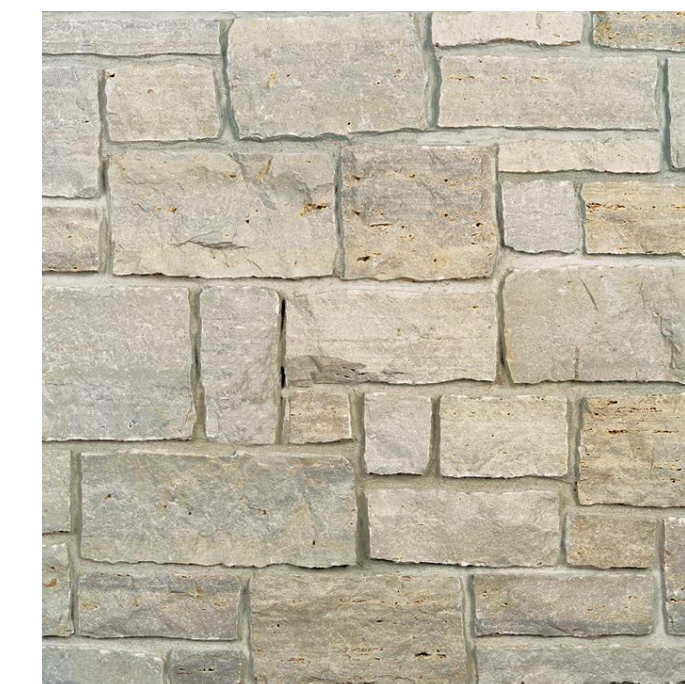
STANDING METAL SEAM ROOF

MANUFACTURE: TAYLOR METAL PRODUCTS
 PANEL: EASY-LOCK
 FINISH: CHARCOAL GREY SRI-25
 GAUGE: 24
 LRV: T2
 WIDTH: 12-INCH



COLOR EXTERIOR

MANUFACTURE: BENJAMIN MOORE
 COLOR: BALBOA MIST C-27
 LOCATION: EXTERIOR



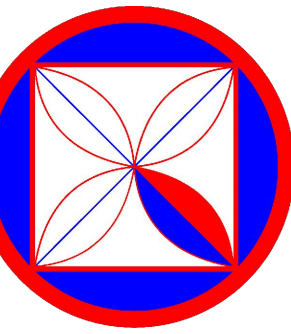
STONE VENEER

MATERIAL: NATURAL STONE
 COLOR: NATURAL



WINDOW FRAME COLOR EXTERIOR

MANUFACTURE: SHERWIN-WILLIAMS
 COLOR: GAUNTLET GRAY / SW 7019
 LOCATION: EXTERIOR
 LOCATOR NUMBER: 244-C6



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 PLN 03-22-2024 (2)

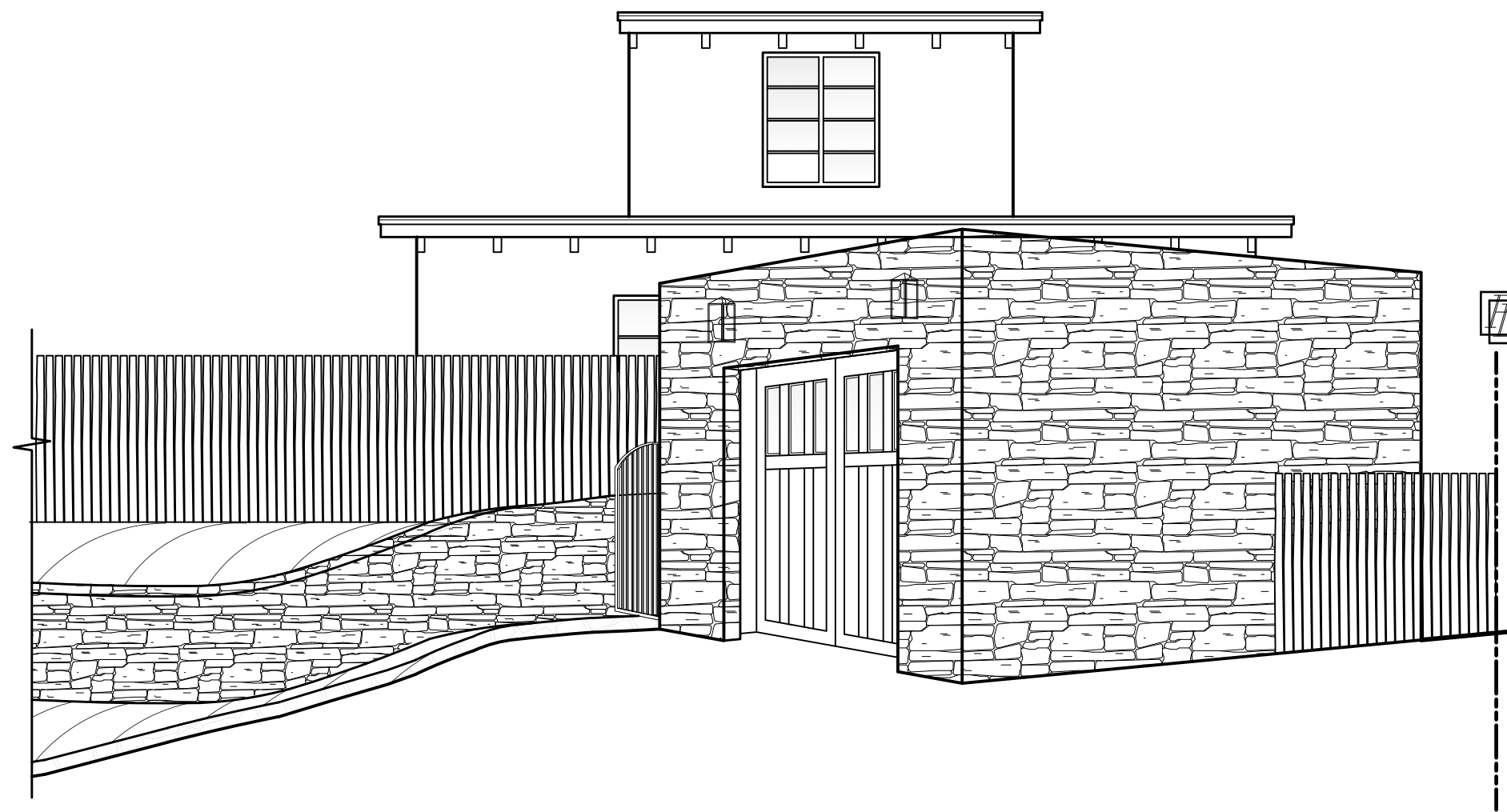
PROJECT:
 TURNER RESIDENCE
 MISSION 5 N/W OF SANTA LUCIA
 BLOCK: 147 LOT: 19
 APN: 010-162-009
 PROJECT NO:
 19-02

ISSUE:
 05-27-2019
 DRAWN BY:
 C.O.

MATERIALS
 (PROPOSED)

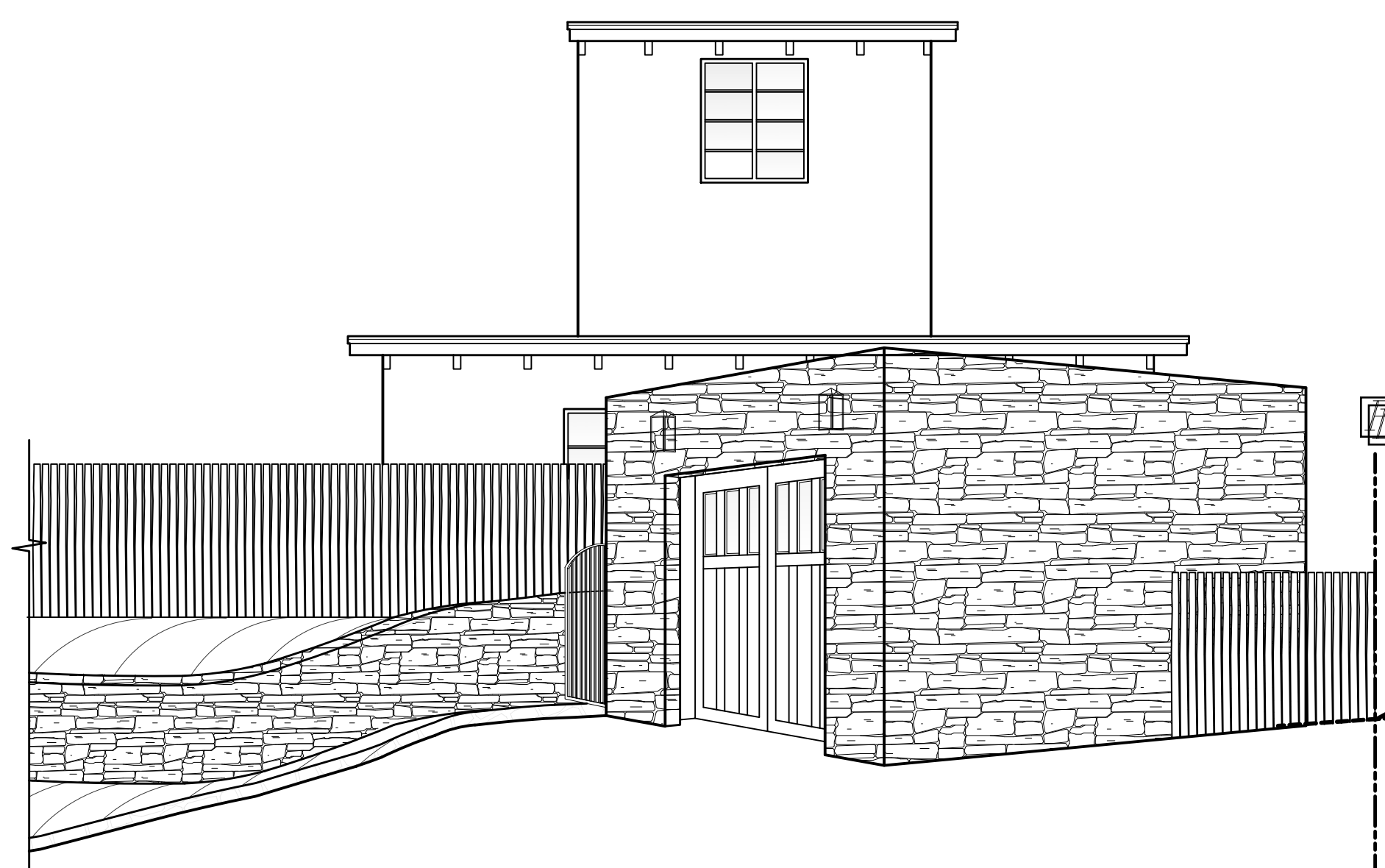
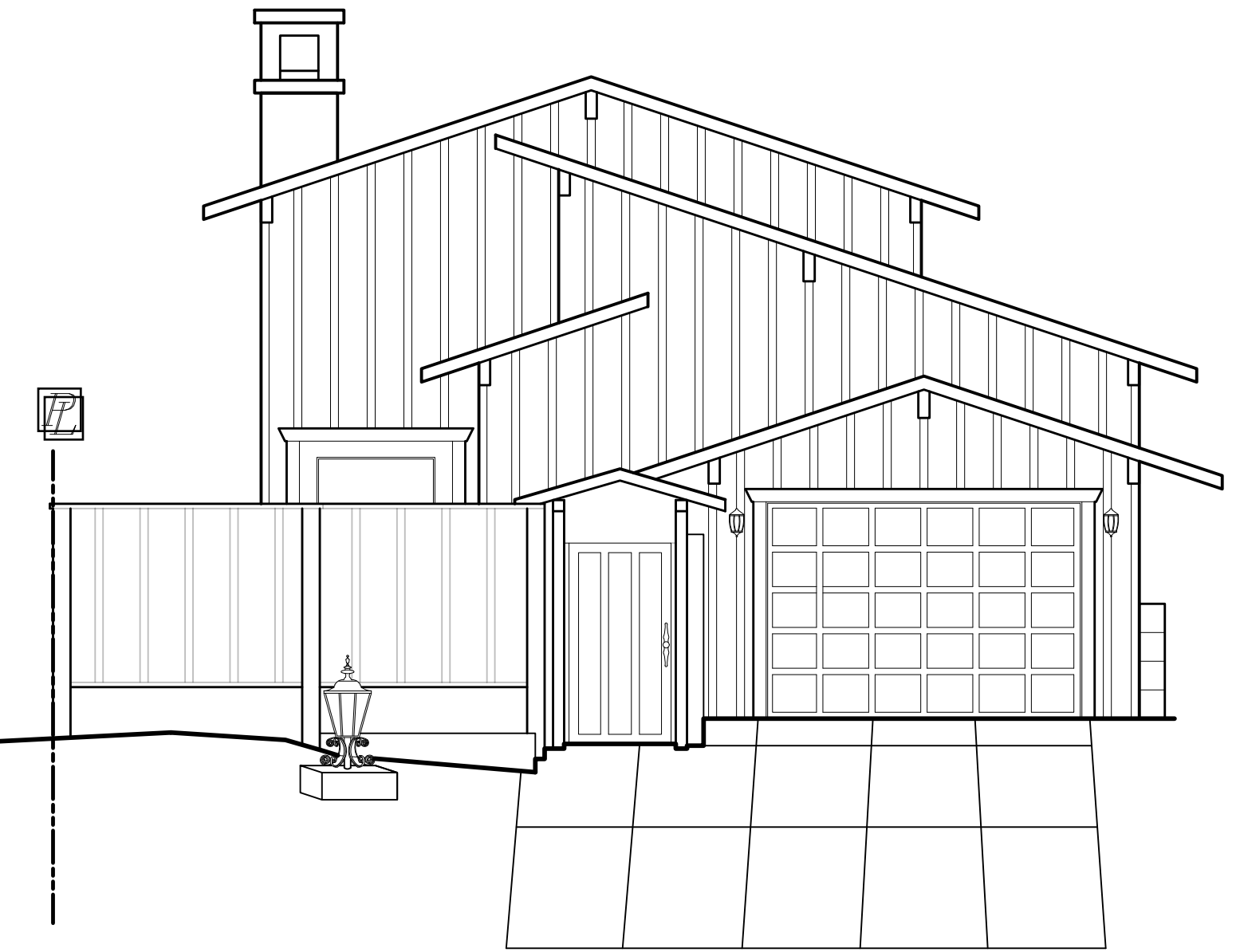
SCALE: 1/4" = 1'

6.0



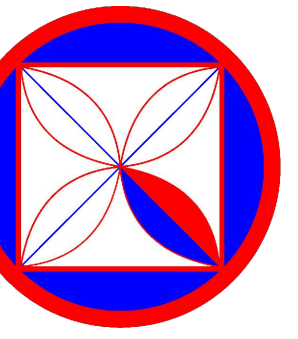
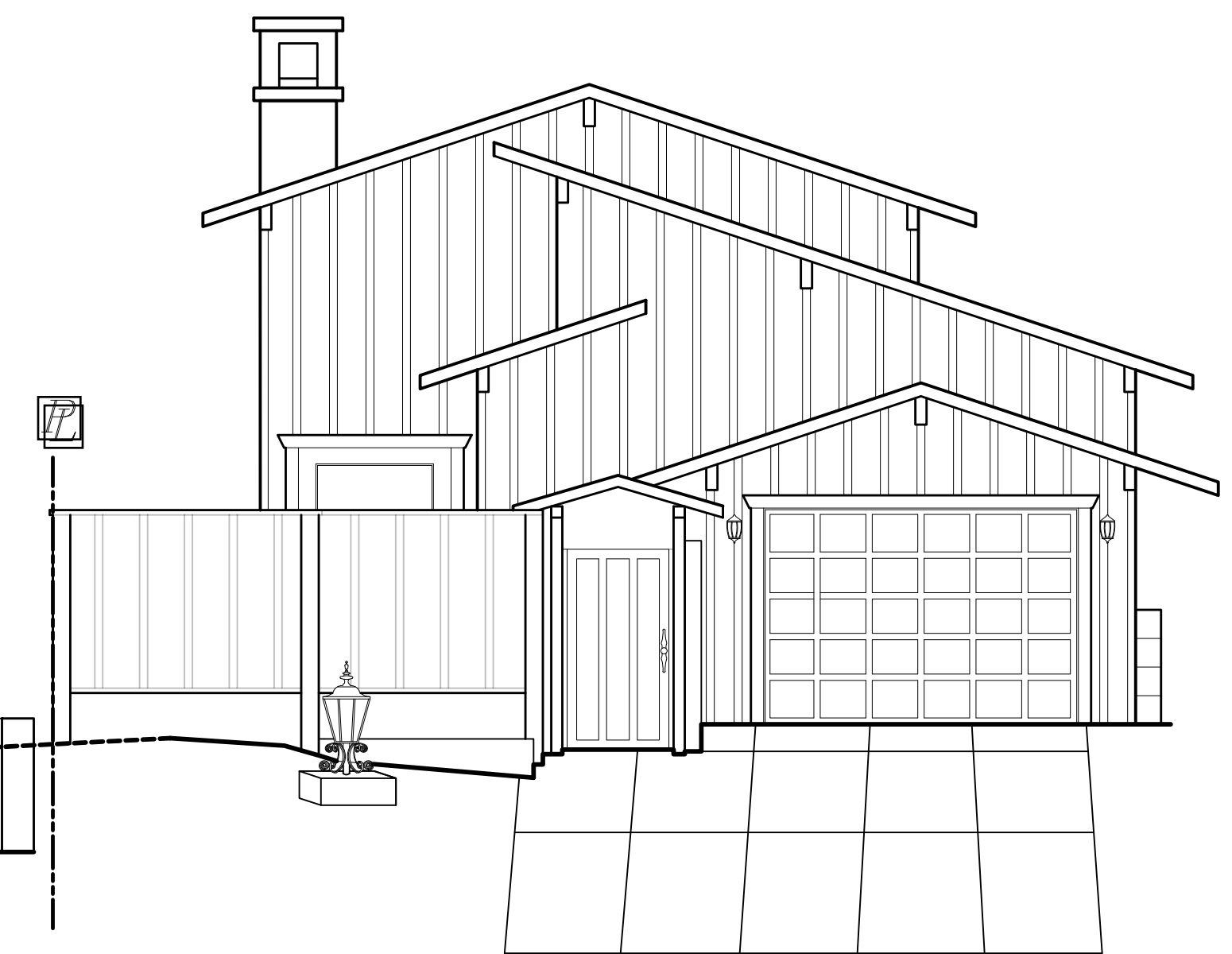
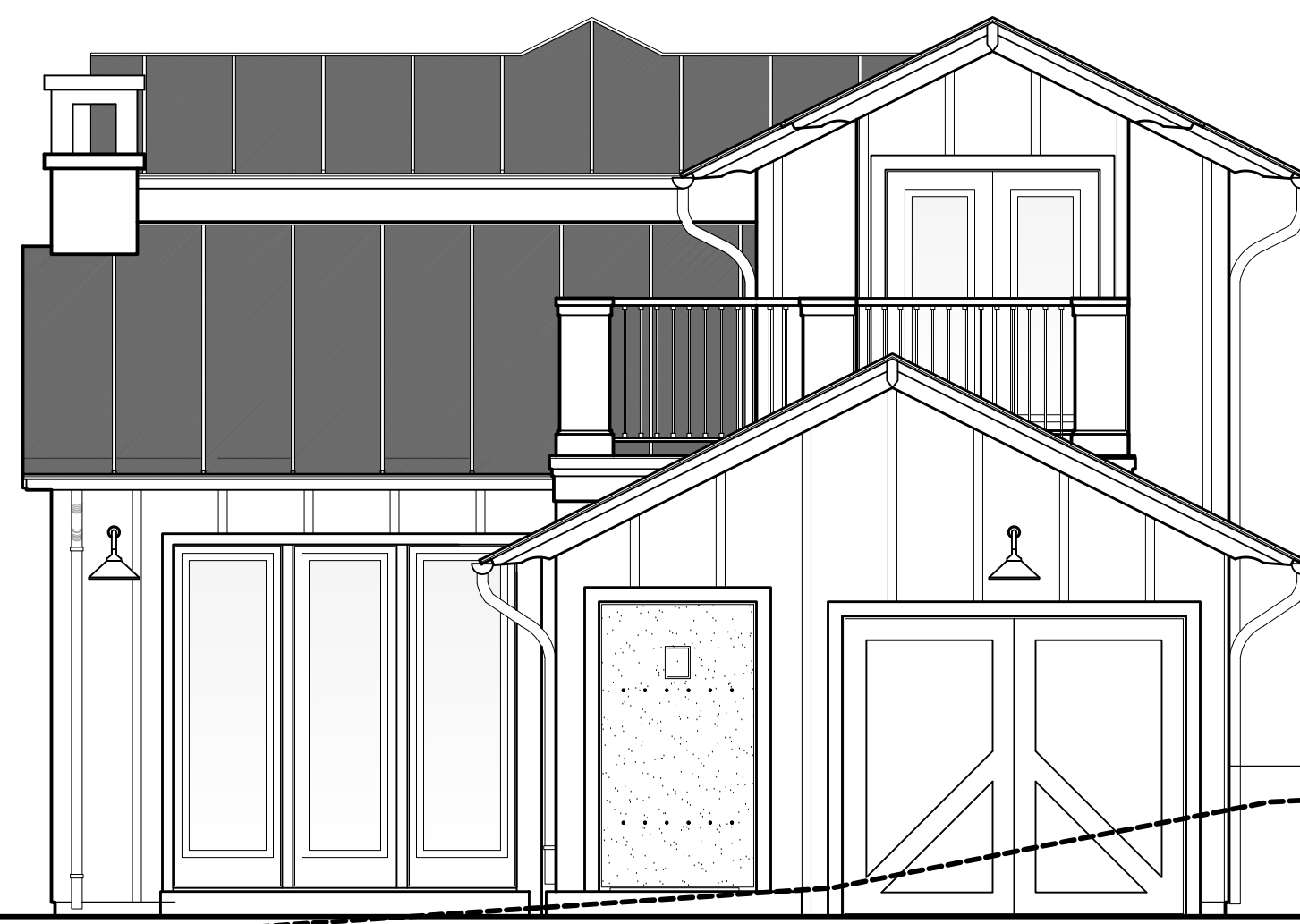
Mission Street

EXISTING EAST ELEVATION



Mission Street

PROPOSED EAST ELEVATION



CODG
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 ARCHITECTS & LANDSCAPE ARCHITECTS
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REVISIONS:

PROJECT:
 TURNER RESIDENCE
 MISSION 5 N/W OF SANTA LUCIA
 BLOCK 147 LOT 19
 APN: 010-162-009
PROJECT NO.:
 19-02

ISSUE:
 05-27-2019
DRAWN BY:
 C.O.

STREET SCAPE

SCALE: 1" = 1/4"

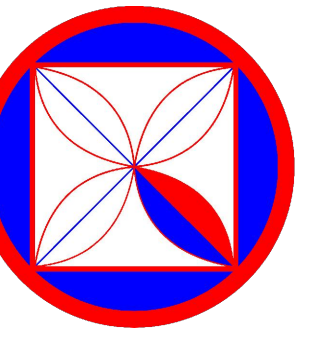
7.0



Mission Street
EXISTING EAST ELEVATION



Mission Street
PROPOSED EAST ELEVATION



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REVISIONS:
PLAN 10-01-2020

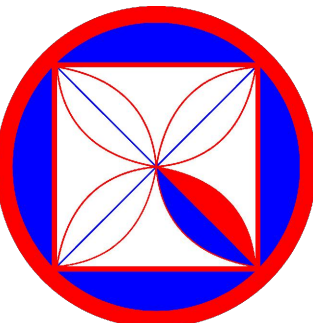
PROJECT:
TURNER RESIDENCE
MISSION 5 N/W OF SANTA LUCIA
BLOCK: 147 LOT: 19
APN: 010-162-009
PROJECT NO:
19-02

ISSUE:
05-27-2019
DRAWN BY:
C.C.

STREET SCOPE

SCALE: 1" = 1/4"

7.1



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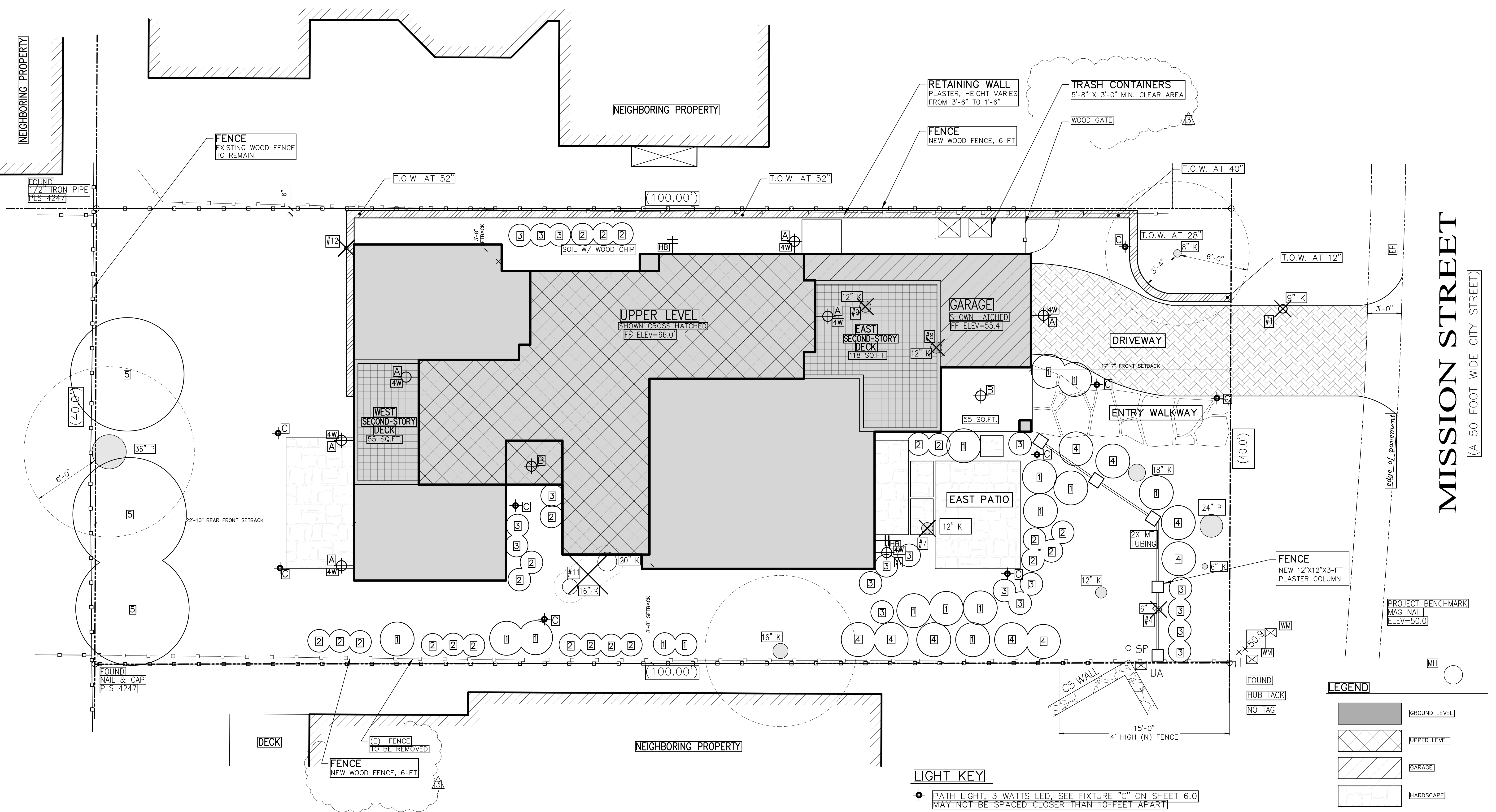
PROJECT:
 TURNER RESIDENCE
 MISSION 5 N/W OF SANTA LUCIA
 BLOCK 147 LOT 19
 APN: 010-162-009
PROJECT NO.:
 19-02

ISSUE:
 05-27-2019
DRAWN BY:
 C.O.

LANDSCAPE PLAN
 (PROPOSED)

SCALE: 1" = 1/4"

8.0



LEGEND

- GROUND LEVEL
- UPPER LEVEL
- GARAGE
- HARDSCAPE
- PROPERTY LINE
- MIN. SETBACKS
- NEW 4-FOOT FENCE
- NEW 6-FOOT FENCE
- NEW CONTOURS
- LIGHT FIXTURE
- LANDSCAPE PATH LIGHTS (10 FT APART MIN.)
- HOSE BIB
- GAS VALVE
- (E) TREE
- (E) TREE TO BE REMOVED
- RETAINING WALL

LIGHT KEY
 ◆ PATH LIGHT, 3 WATTS LED, SEE FIXTURE "C" ON SHEET 6.0
 MAY NOT BE SPACED CLOSER THAN 10-FEET APART

EXTERIOR LIGHTING NOTES

- ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10-FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
- LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND FOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10-FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE ILLUMINATION OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.

IRRIGATION SYSTEM

- 1-INCH ANTISYPHON DEVICE
- 1-INCH ELECTRIC VALVES
- FILTER PLUS REGULATOR FOR EACH VALVE
- ELECTRIC CONTROLLER
- EACH PLANT TO BE ON DRIP SYSTEM
- ALL PLANTS WILL BE PLANTED WITH AGRIFORM
- TABS FOLLOWING MANUFACTURE DIRECTIONS.
- COMPOST WILL BE MIXED WITH SOIL AT 2:1

PLANT INDEX

No.	BOTANICAL NAME	COMMON NAME	SIZE
1	AGAPANTHUS PETER PAN	LILY OF THE NILE	1 GAL
2	CISTUS DORIS HIBBERSON	ROCK ROSE	5 GAL
3	LAVANDULA STOECHAS	SPANISH LAVENDER	5 GAL
4	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	5 GAL
5	PRUNUS CAROLINIANA	CAROLINA CHERRY LAUREL (TRIM AS HEDGE)	5 GAL

