



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 20020

Owner Name: TARANTINO MARIA

Case Planner: Evan Kort, Assistant Planner

Date Posted: _____

Date Approved: 05/05/2020

Project Location: San Carlos, 2 NW of 2nd

APN #: 010126004000 **BLOCK/LOT:** 10/13 & 15

Applicant: Maria Tarantino

Project Description: The approval of this Design Study authorizes the conversion of an existing carport into an enclosed one car garage. Additionally, the project proposes siding modifications to the existing utility room and an interior remodel of the existing utility room, the installation of new windows, skylights, and doors on the new garage and utility room, the installation of a new composition shingle roof, and the addition of a 15 square foot storage closet attached to the garage. The project shall be consistent with the plans received on March 23, 2020, except as modified by the Conditions of Approval.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

FINDINGS & CONDITIONS FOR DESIGN STUDY APPROVAL

DS 20-020 (Tarantino)
San Carlos 2 NW 2nd
Block/Lot: 10/13 & 15
APN: 010-126-004
Date of Action: May 5, 2020

PROJECT DESCRIPTION

Design Study (DS 20-020) application for the enclosure and improvements to an existing carport and utility room as well as a 15 square foot addition to the existing structure located on San Carlos 2 NW 2nd in the Single Family Residential (R-1) Zoning District.

FINDINGS OF FACT:

1. The project site is located on San Carlos 2 NW 2nd in the Single Family Residential (R-1) Zoning District.
2. On January 22, 2020, the Community Planning & Building Department received a Design Study application and for proposed modifications to the carport and utility room. Revised plans were resubmitted to the Community Planning & Building Department on March 23, 2020.
3. Pursuant to CMC Section 17.10.010 (Purpose), the purpose of the Single Family Residential (R-1) Zoning District is, *“to establish standards and requirements for physical development in the R-1 single-family residential district.”*
4. The project qualifies for a Class 1 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines. Class 1 exemptions include additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the existing floor area or 2,500 square feet whichever is greater. The existing residence (including the existing accessory building) is 872 square feet and the proposed addition is 15 square feet.

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL (CMC 17.64.80 and LUP Policy P1-45):

1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character yet will not be viewed as repetitive or monotonous within the neighborhood context.
4. As conditioned, the project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees unless otherwise agreed upon by the City Forester.
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.
9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.

10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.010.B.1):

1. Local Coastal Program Consistency: The project conforms to the certified Local Coastal Program of the City of Carmel-by-the Sea.
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.

CONDITIONS OF APPROVAL:

1. **Authorization:** The approval of this Design Study authorizes the conversion of an existing carport into an enclosed one car garage. Additionally, the project proposes siding modifications to the existing utility room and an interior remodel of the existing utility room, the installation of new windows, skylights, and doors on the new garage and utility room, the installation of a new composition shingle roof, and the addition of a 15 square foot storage closet attached to the garage. The project shall be consistent with the plans received on March 23, 2020, except as modified by the Conditions of Approval.
2. **Building Permit.** The applicant shall apply for and obtain a building permit prior to commencing work on the roof. Work shall not commence until after the 10-day appeal period has ended.
3. **State Contractor's License.** For any work completed by an individual hired by the property owner for which the cost of time, labor and materials is \$500 or more, the individual hired by the property owner must have a state contractor's license and city business license.
4. **Print Conditions of Approval.** These conditions of approval shall be printed in the revised building plan set.
5. **Clearance from Trees.** During construction, no dirt or construction materials or equipment may be placed within 6 feet of the base of any tree.

6. **No Construction Materials in the Right-of-Way.** During construction, no construction materials may be stored in the right-of-way in front of the property.
7. **Tree Roots.** If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may be reached at (831) 620-2073.
8. **Exterior Lighting.** The existing proposed fixture does not comply with the residential design guidelines. Exterior light fixtures should have the light source shielded and shall be downlit. An alternative light fixture shall be selected. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. The location of all light fixtures shall be identified on the site plan and the manufactures specifications shall be printed in the building plan set.
9. **Skylights.** All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color. Skylight shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness. The manufacturer's specifications for the skylights and skylight shades shall be included in the construction drawings submitted with the building permit application.
10. **Unclad Wood Frame Windows.** The applicant shall install unclad wood windows. Windows that have been approved with divided lights shall be constructed with true divided lights. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted. The manufacturer's specifications for the windows shall be included in the construction drawings submitted with the building permit application.
11. **Water Use.** Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be voided.
12. **Site Coverage.** 30 square feet of site coverage shall be removed from the site, as identified on the site plan.
13. **Modifications.** The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.
14. **Indemnification Statement.** The applicant agrees, at the applicant's sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and

assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Once signed, please return to the Community Planning and Building Department.

EXISTING SITE PHOTOS



STREET VIEW OF (E) HOUSE & CARPORT



VIEW OF (E) CARPORT, LOOKING NORTHWEST



VIEW OF (E) CARPORT, LOOKING WEST



VIEW OF (E) CARPORT, LOOKING NORTH



VIEW OF (E) CARPORT, LOOKING SOUTHEAST

DEMOLITION NOTES

1. MATERIAL SALVAGE: COORDINATE WITH OWNER PRIOR TO DEMOLITION. REMOVE, PROTECT AND STORE MATERIAL SCHEDULED FOR REUSE AND SALVAGE.
2. SEE STRUCTURAL DRAWINGS FOR DEMOLITION SPECIFIC TO ANY NEW STRUCTURAL WORK.
3. THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE JOB SITE. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL ISOLATE THE AFFECTED AREA AND CONTACT THE ARCHITECT FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING.
4. REPAIR ALL DEMOLITION PERFORMED, IN EXCESS OF THAT REQUIRED, AT NO ADDITIONAL COST TO THE OWNER.
5. REMOVE FROM SITE AND LEGALLY DISPOSE OF DAILY ALL REFUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED.
6. REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE CONTRACT AREAS AND SITE CLEAN, ORDERLY AND IN A CONDITION ACCEPTABLE FOR NEW OR OTHER CONSTRUCTION.

PROPOSED MATERIALS



GRAY ASPHALT SHINGLE ROOF TO MATCH (E)



PAINTED WOOD SIDING TO MATCH (E)



PAINTED WOOD WINDOWS & DOORS TO MATCH (E)

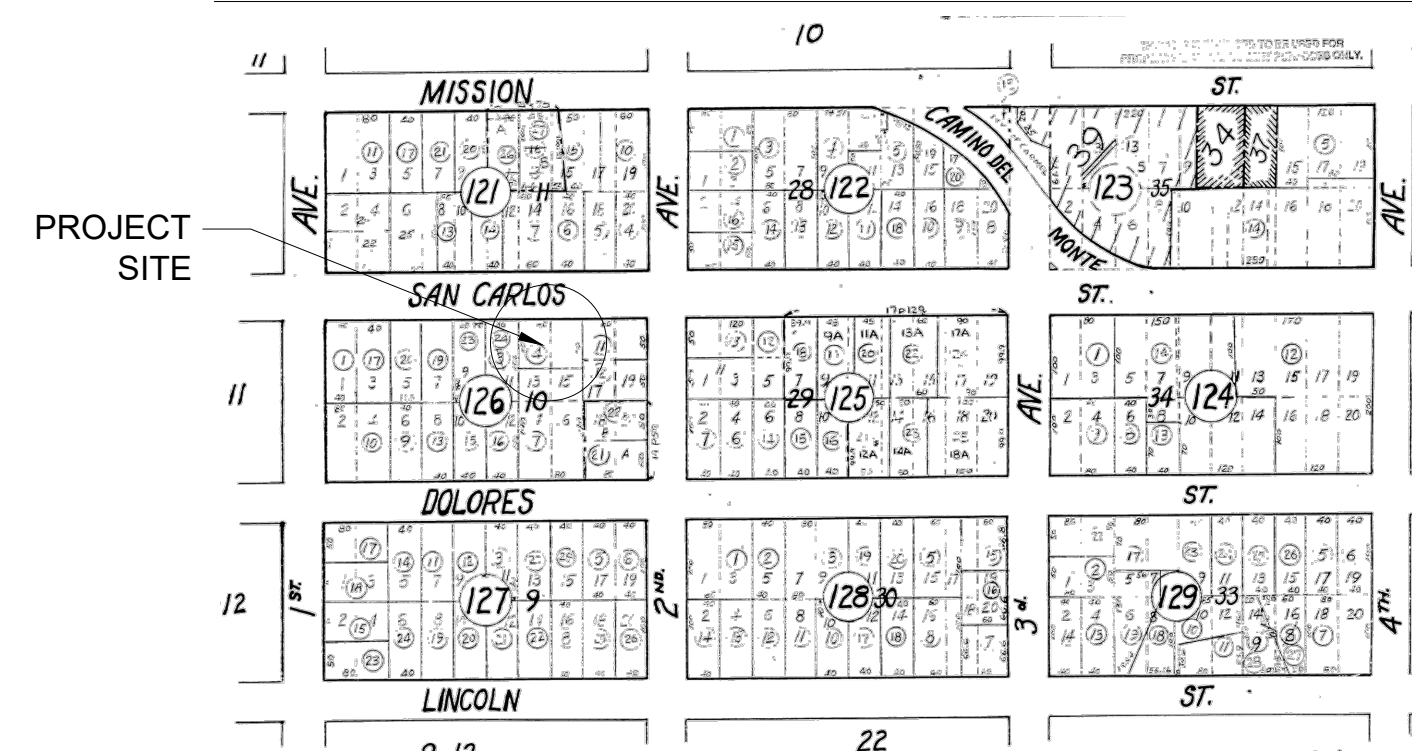


SHEET INDEX

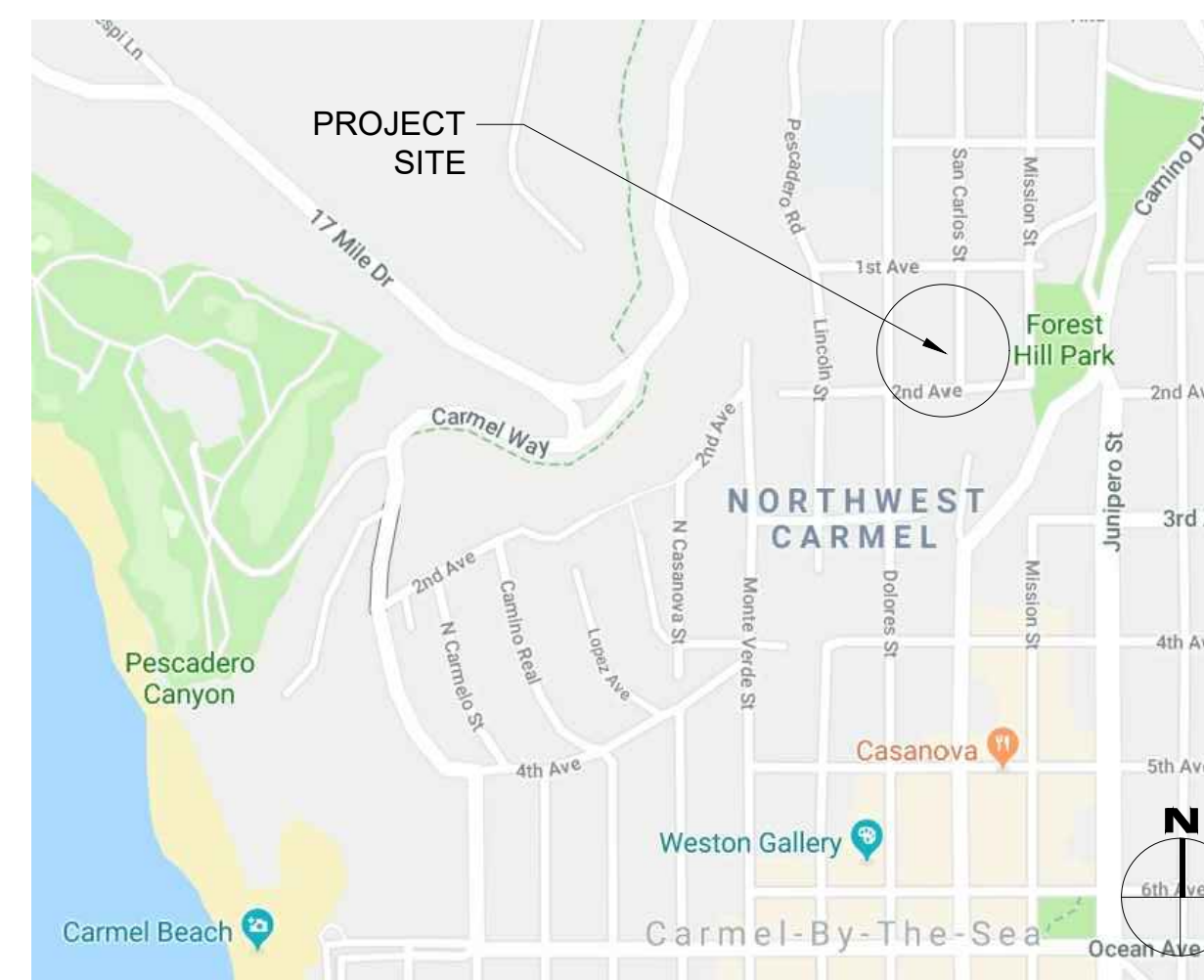
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| G1.0 | PROJECT INFORMATION |
| A1.0 | SITE PLAN |
| A2.0 | EXISTING & PROPOSED FLOOR PLANS |
| A2.1 | EXISTING & PROPOSED ROOF PLANS |
| A3.0 | BUILDING ELEVATIONS |
| A3.1 | BUILDING ELEVATIONS |

Received
March 23, 2020

PARCEL MAP



VICINITY MAP



GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY SURVEY AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
2. CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.
3. CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT CITY OF CARMEL AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED".
4. SMOKE DETECTORS IN THE MAIN DWELLING SHALL BE INSTALLED AND FIELD VERIFIED IN EACH BEDROOM, IN THE HALLWAY LEADING TO THE BEDROOMS AND ON EACH FLOOR PER CRC R314.2. CARBON MONOXIDE ALARMS SHALL BE INSTALLED AND FIELD VERIFIED ON EACH FLOOR PER CRC R315.2.
5. THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS ON THESE PLANS OR FROM PREVENTING ANY VIOLATION OF THE CODES ADOPTED BY THE CITY, RELEVANT LAWS, ORDINANCES, RULES AND/OR REGULATIONS
6. CONTRACTOR TO OBTAIN AN 8-1-1/DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND TO MAINTAIN THE TICKET IN ACTIVE STATUS AND ON SITE FOR INSPECTION THROUGHOUT THE PROJECT.

PROJECT TEAM

OWNER	MARIA TARANTINO SAN CARLOS, 2 N.W. OF 2ND AVE. CARMEL-BY-THE-SEA, CA 93923
ARCHITECT	SAMUEL PITNICK ARCHITECTS, INC. LICENSE # C-34362 PO BOX 22412, CARMEL, CA 93922 PHONE: (831) 241-1895 SAMUELPITNICK@GMAIL.COM
STRUCTURAL ENGINEER	STRUCTURAL-E, INCORPORATED 230 6TH ST., PACIFIC GROVE, CA 93950 PHONE: (831) 424-9000
CONTRACTOR	OWNER-BUILDER

PROJECT INFORMATION

PROPERTY ADDRESS	SAN CARLOS, 2 N.W. OF 2ND AVE. CARMEL-BY-THE-SEA, CA 93923 BLOCK: 10 LOT: 13 & 15
APN	010-126-004
ZONING	R-1-AS (SINGLE FAMILY RESIDENTIAL - ARCHAEOLOGICAL SIGNIFICANCE OVERLAY)
TYPE OF CONSTRUCTION	TYPE V-B
OCCUPANCY GROUP	R-3 / SINGLE FAMILY RESIDENCE U / GARAGE
YEAR BUILT	1935

BUILDING INFORMATION & LOT COVERAGE

LOT SIZE	4,800 SF
ALLOWABLE FLOOR AREA	2,083.2 SF
(E) FLOOR AREA:	
(E) HOUSE	525 SF
(E) CARPORT & UTILITY RM.	346.5 SF
TOTAL	871.5 SF
(P) FLOOR AREA:	
(E) HOUSE	525 SF
(P) GARAGE & UTILITY RM.	346.5 SF
(P) GARAGE ADDITION	15 SF
TOTAL	886.5 SF
ALLOWABLE LOT COVERAGE	458 SF
(E) LOT COVERAGE	642 SF
(P) LOT COVERAGE	612 SF

(SEE A1.0 FOR MORE INFO)

MISCELLANEOUS

WATER SOURCE	CAL AM
WASTE DISPOSAL SYSTEM	SEWER - C.A.W.D.
TREES TO BE REMOVED	NONE
GRADING ESTIMATES	NONE
(E) PARKING	1 SPACE (COVERED)
BUILDING SPRINKLERED	NO

SCOPE OF WORK

CONVERT AN (E) CARPORT INTO AN ENCLOSED ONE CAR GARAGE. REMODEL ATTACHED UTILITY ROOM AND ADD A TOILET. INSTALL NEW WOOD SIDING, ASPHALT SHINGLE ROOF, AND WOOD WINDOWS & DOORS TO MATCH (E).

SCOPE ALSO INCLUDES ADDING A 15 SF STORAGE CLOSET. CONSTRUCT NEW SHED ROOF OVER A PORTION OF (E) UTILITY ROOM.

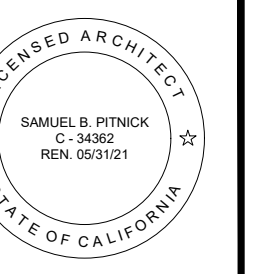
BUILDING CODE INFO

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

ALL MATERIALS & CONSTRUCTION TO COMPLY WITH CHAPTER 7A OF THE 2019 CBC, AND CHAPTER 3, SECTION 337R OF THE 2019 CRC.

**TARANTINO
RESIDENCE
REMODEL**
SAN CARLOS, 2 N.W. OF
2ND AVENUE
CARMEL, CA 93923



SAMUEL PITNICK ARCHITECTS
 P.O. BOX 22412, CARMEL, CA 93922
 PHONE: (831) 241-1895
 EMAIL: SAMUELPITNICK@GMAIL.COM

REVISIONS	DATE
1	3/19/20

ARCHITECTURAL
PROJECT INFORMATION

Scale: SEE DWG.
Drawn By: SBP
Job: -

G1.0

03/20/2020

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

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Riley Outdoor Wall Sconce

By Hinkley Lighting



Product Options

Size: Small Large
 Light Option: Incandescent LED

Details: MAX 25 WATT BULB

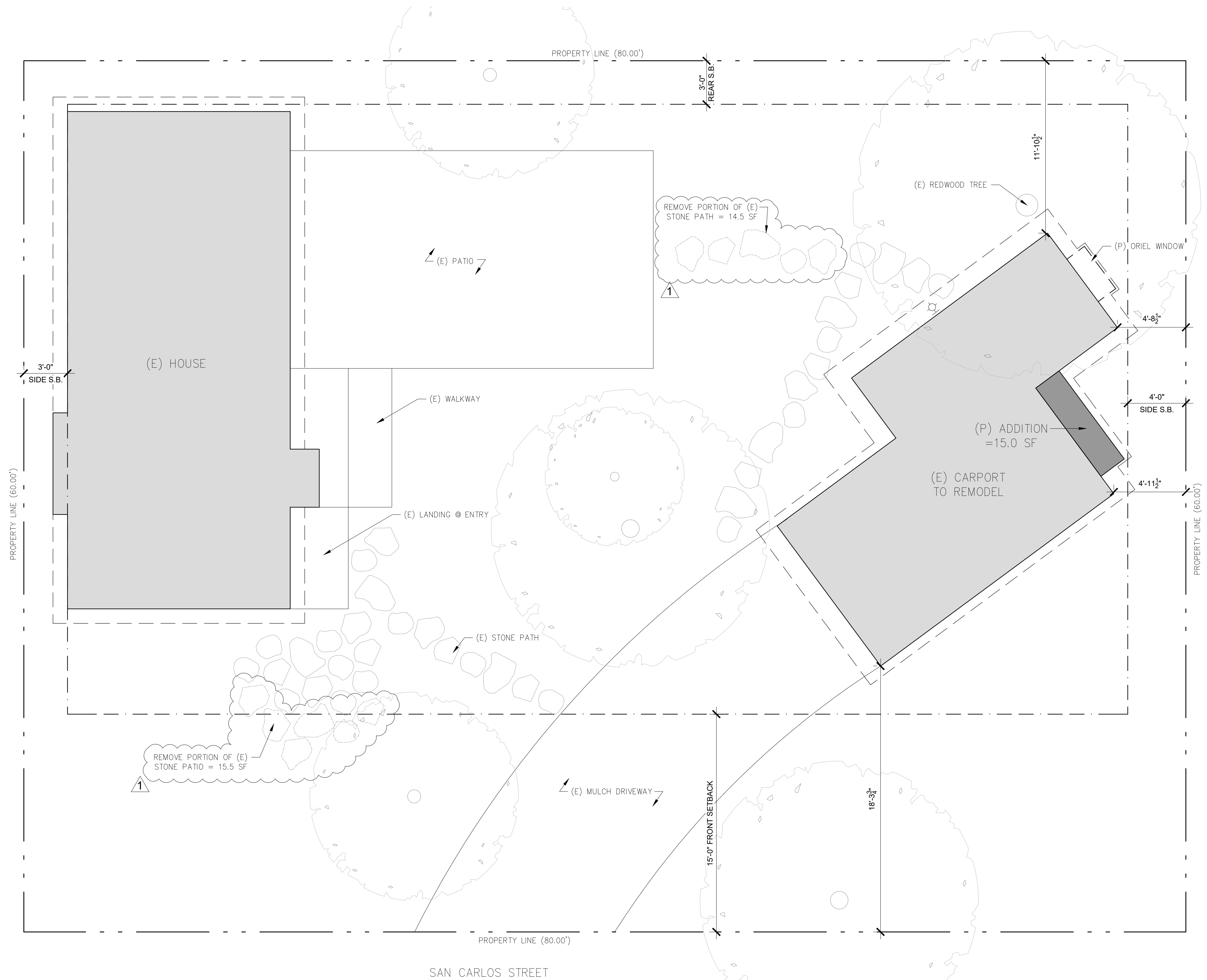
- Fluorescent option is Title 24 compliant
- Finish: Oil Rubbed Bronze
- Material: Aluminum
- Shade Material: Seedy glass
- UL Listed Wet
- Warranty: 2 year finish warranty and 12 year on electrical wiring and components
- Made In China

Dimensions

Small Option Backplate: Diameter 6.5"
Small Option Fixture: Width 9", Height 17.5", Depth 10.75"
Large Option Backplate: Diameter 6.5"
Large Option Fixture: Width 11", Height 18.75", Depth 12.75"



2 PROPOSED EXT. LIGHT FIXTURE
 SCALE: N.T.S.



1 SITE PLAN
 SCALE: 1/4"=1'-0"

SITE LIGHTING NOTES

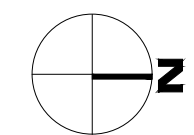
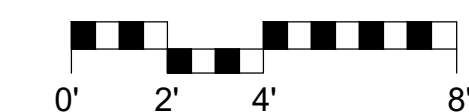
1. EXTERIOR LIGHTING SHALL BE LIMITED TO 25 WATTS OR LESS (INCANDESCENT EQUIVALENT, I.E., 375 LUMENS) PER FIXTURE AND SHALL BE NO HIGHER THAN 10 FEET ABOVE THE GROUND.
2. LANDSCAPE LIGHTING SHALL BE LIMITED TO 15 WATTS (INCANDESCENT EQUIVALENT, I.E., 225 LUMENS) OR LESS PER FIXTURE AND SHALL NOT EXCEED 18 INCHES ABOVE THE GROUND.

PROPOSED LOT COVERAGE

(E) PATIO = 375 SF (SEMI-PERMEABLE)
 (E) WALKWAY & LANDING = 56.5 SF (SEMI-PERMEABLE)
 (E) STONE PATIO & WALKWAYS = 180.5 SF (SEMI-PERMEABLE)
 TOTAL (P) COVERAGE = 612 SF (100% SEMI-PERMEABLE)

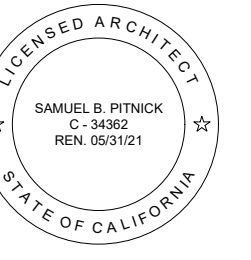
EXISTING LOT COVERAGE

(E) PATIO = 375 SF (SEMI-PERMEABLE)
 (E) WALKWAY & LANDING = 56.5 SF (SEMI-PERMEABLE)
 (E) STONE PATIO & WALKWAYS = 210.5 SF (SEMI-PERMEABLE)
 TOTAL (E) COVERAGE = 642 SF (100% SEMI-PERMEABLE)



TARANTINO RESIDENCE REMODEL

SAN CARLOS, 2 N.W. OF 2ND AVENUE CARMEL, CA 93923



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REVISIONS	DATE
▲ PLANNING COMMENTS	3/19/20

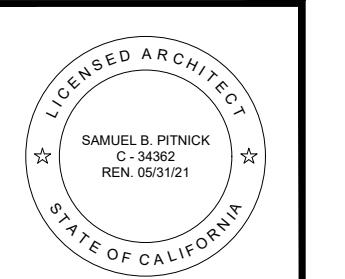
ARCHITECTURAL

SITE PLAN

Scale: SEE DWG.
 Drawn By: SBP
 Job: -

A1.0

03/20/2020



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REVISIONS	DATE
PLANNING COMMENTS	3/19/20

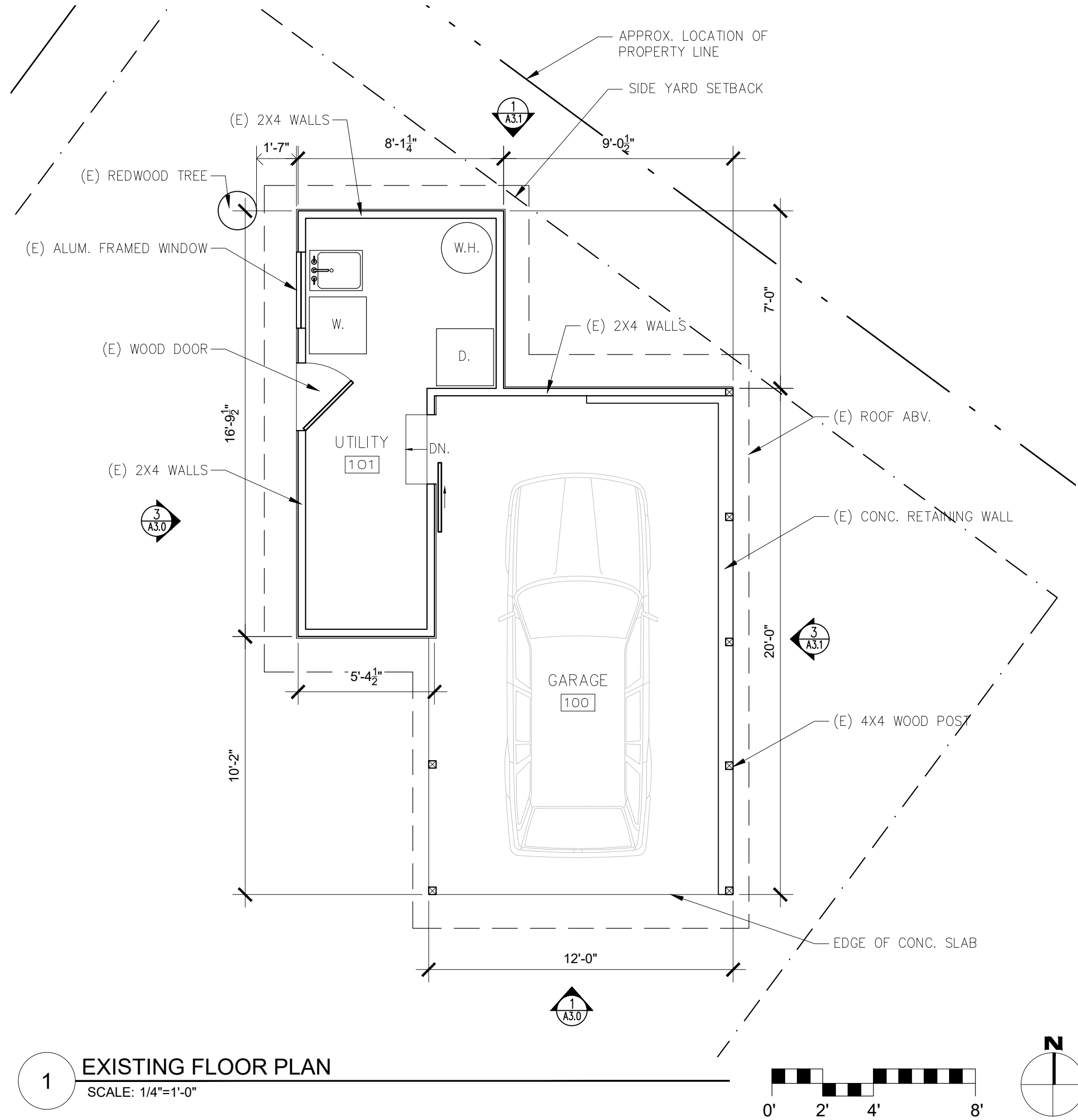
ARCHITECTURAL

EXISTING & PROPOSED FLOOR PLANS

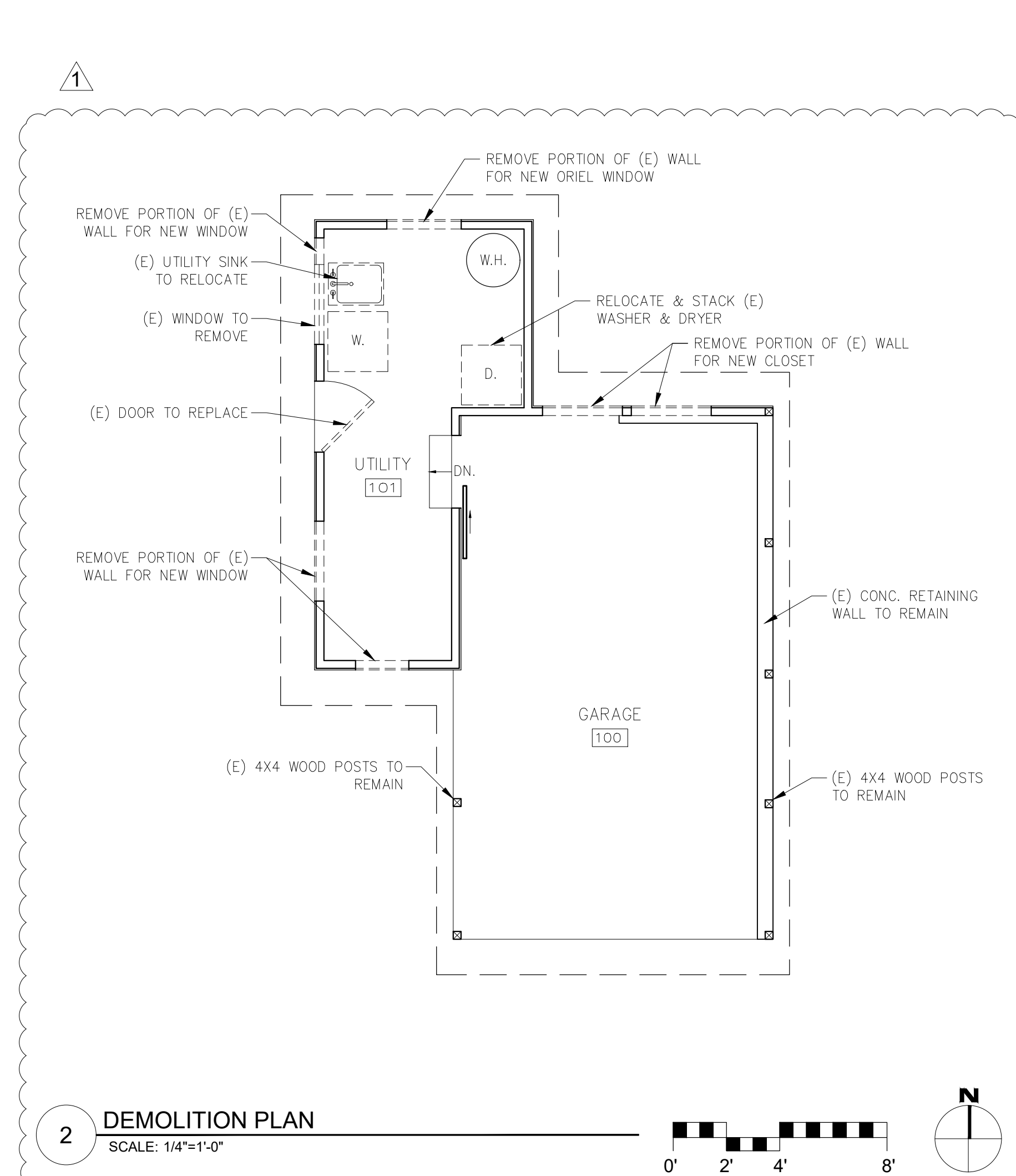
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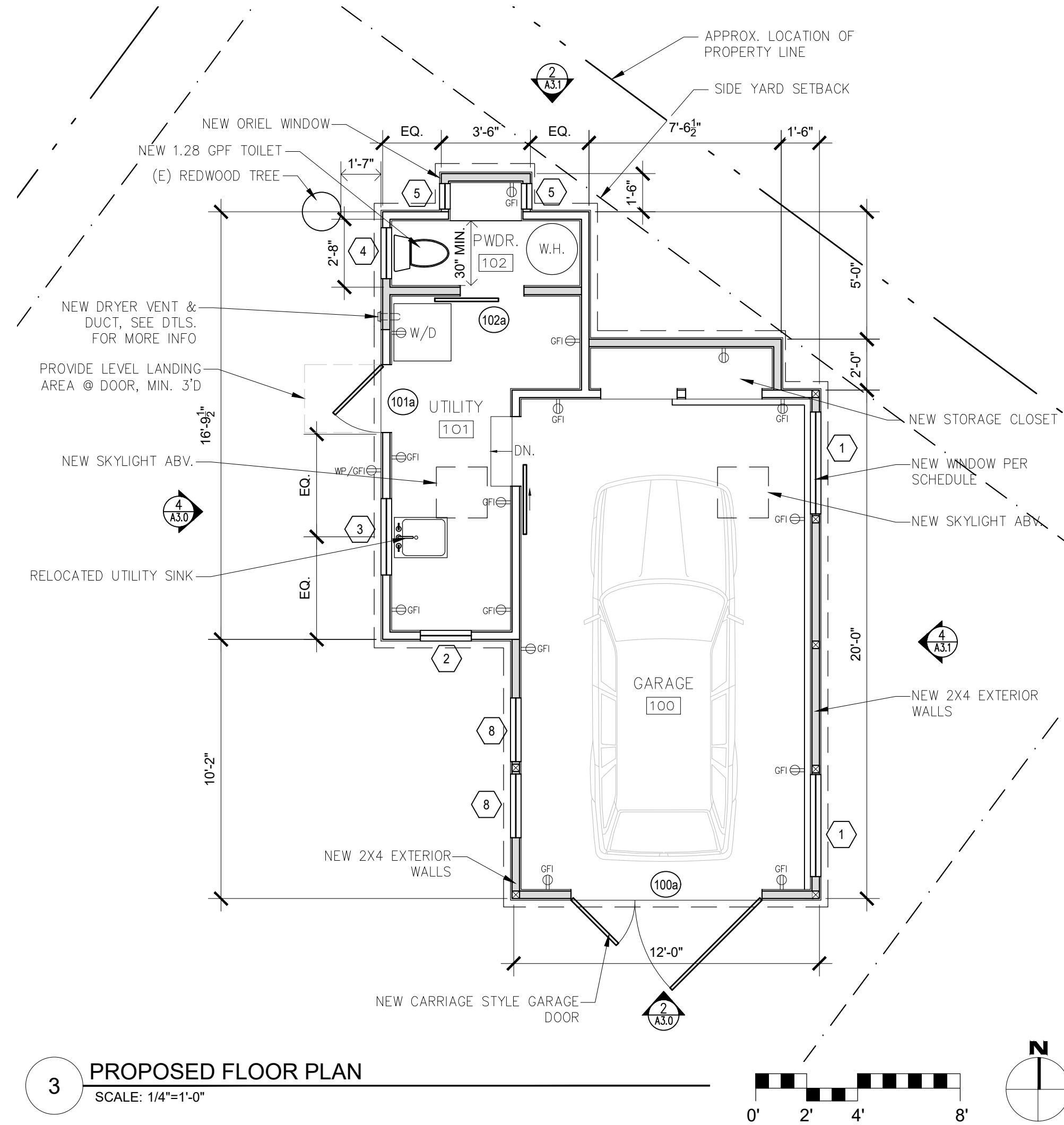
03/20/2020



1 EXISTING FLOOR PLAN
 SCALE: 1/4"=1'-0"



2 DEMOLITION PLAN
 SCALE: 1/4"=1'-0"



3 PROPOSED FLOOR PLAN
 SCALE: 1/4"=1'-0"

SYMBOLS LEGEND

- TAMPER RESISTANT DUPLEX OUTLET
 - GROUND FAULT CIRCUIT INTERRUPT OUTLET
 - WATER PROOF EXTERIOR GFCI OUTLET / TAMPER RESISTANT
 - 4" LED RECESSED LIGHT FIXTURE, "IC" LISTED FOR ZERO CLEARANCE & WET LOCATIONS, WITH DIMMING CAPABILITIES
 - EXTERIOR LED WALL SCONCE
 - INTERIOR ADJUSTABLE LED TRACK LIGHTING
 - SINGLE SWITCH, DIMMABLE UNLESS NOTED OTHERWISE
 - 3 WAY SWITCH, DIMMABLE UNLESS NOTED OTHERWISE
 - SMOKE DETECTOR
 - CARBON MONOXIDE DETECTOR
 - EXHAUST FAN "PANASONIC" ULTRA SILENT 80 CFM - NO LIGHT- APPROVED FOR WET LOCATION ON GFI CIRCUIT, ENERGY STAR COMPLIANT.
- EXHAUST FAN SHALL HAVE HUMIDITY CONTROL, BACKDRAFT PROTECTION & SHALL TERMINATE NO CLOSER THAN 3' FROM BUILDING OPENINGS OR PROPERTY LINES.

EXT. WINDOW & DOOR NOTES

1. WINDOWS & DOORS ARE BY "JELD WEN" (OR APPROVED EQUAL) GLAZING: DUAL GLAZING, ARGON GAS, LOWE2 MTL: WOOD, PAINTED
2. CONTRACTOR TO VERIFY ROUGH OPENING DIMENSIONS WITH ON SITE FIELD CONDITIONS PRIOR TO ORDERING WINDOWS & DOORS.
3. ALL DIMENSIONS ARE GIVEN FOR OVERALL FRAME SIZE
4. ALL HEAD HEIGHTS TO ALIGN WHERE POSSIBLE
5. ALL OPERABLE WINDOWS TO BE PROVIDED WITH SCREENS.
6. REQUIRED SAFETY GLAZING SHALL CONFIRM TO THE HUMAN IMPACT LOADS PER CRC SECTIONS R308.3 & R308.4.
7. GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - (A) THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET; AND
 - (B) THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR; AND
 - (C) THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR; AND
 - (D) ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING; AND
 - (E) GLAZING IN ENCLOSURES FOR, OR WALLS FACING BATHTUBS & SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
 - (F) FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BI-FOLD DOOR ASSEMBLIES.
8. GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
9. CONTRACTOR TO PROVIDE SHOP DRAWING TO ARCHITECT FOR REVIEW PRIOR TO ORDERING DOORS AND WINDOWS.
10. ALL WINDOWS TO BE DUAL GLAZED - ARGON FILLED WITH THERMAL SPACER
11. MIN. U-VALUE = 0.50 / MIN. SGHC = 0.30
13. EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE, GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [§R327.8.2.1]
14. EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITIONRESISTANT MATERIAL. SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1- 1/4 INCHES THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM-7A-1. [§R327.8.3]

DOOR SCHEDULE

TAG	WIDTH	HEIGHT	THICK	DOOR MTL.	FRAME MTL.	TYPE	COMMENTS
100a	7'-6"	6'-8"	-	WOOD/GLASS	WOOD	GARAGE - CARRIAGE SWING	TEMP. GLAZING
101a	2'-8"	6'-8"	1.75"	WOOD/GLASS	WOOD	CARRIAGE SWING	TEMP. GLAZING
102a	2'-6"	6'-8"	1.75"	WOOD	WOOD	BARN DOOR	

WINDOW SCHEDULE

TAG	WIDTH	HEIGHT	THICK	WINDOW MTL.	FRAME MTL.	TYPE	COMMENTS
1	4'-0"	2'-4"		GLASS	WOOD	AWNING	TEMP. GLAZING
2	2'-0"	3'-6"		GLASS	WOOD	CASEMENT	TEMP. GLAZING
3	3'-6"	3'-0"		GLASS	WOOD	FIXED/AWNING	TEMP. GLAZING
4	2'-0"	1'-6"		GLASS	WOOD	AWNING	TEMP. GLAZING
5	1'-0"	3'-6"		GLASS	WOOD	FIXED	TEMP. GLAZING
6							NOT USED
7	1'-10"	1'-10"		GLASS	ALUMINUM	SKYLIGHT	LOW PROFILE, CURB-MOUNTED, TEMP. GLAZING
8	2'-4"	3'-6"		GLASS	WOOD	FIXED/AWNING	TEMP. GLAZING

SKYLIGHT NOTES

1. SKYLIGHTS ARE BY "VELUX" (OR APP'VD EQUAL)
2. SKYLIGHTS SHALL BE LOW PROFILE & CURB-MOUNTED.
3. ALL NEWLY-INSTALLED SKYLIGHTS SHALL HAVE SOLAR SHADING.
4. ALL SKYLIGHTS SHALL USE NON-REFLECTIVE GLASS TO MINIMIZE THE AMOUNT OF LIGHT AND GLARE VISIBLE FROM ADJOINING PROPERTIES.

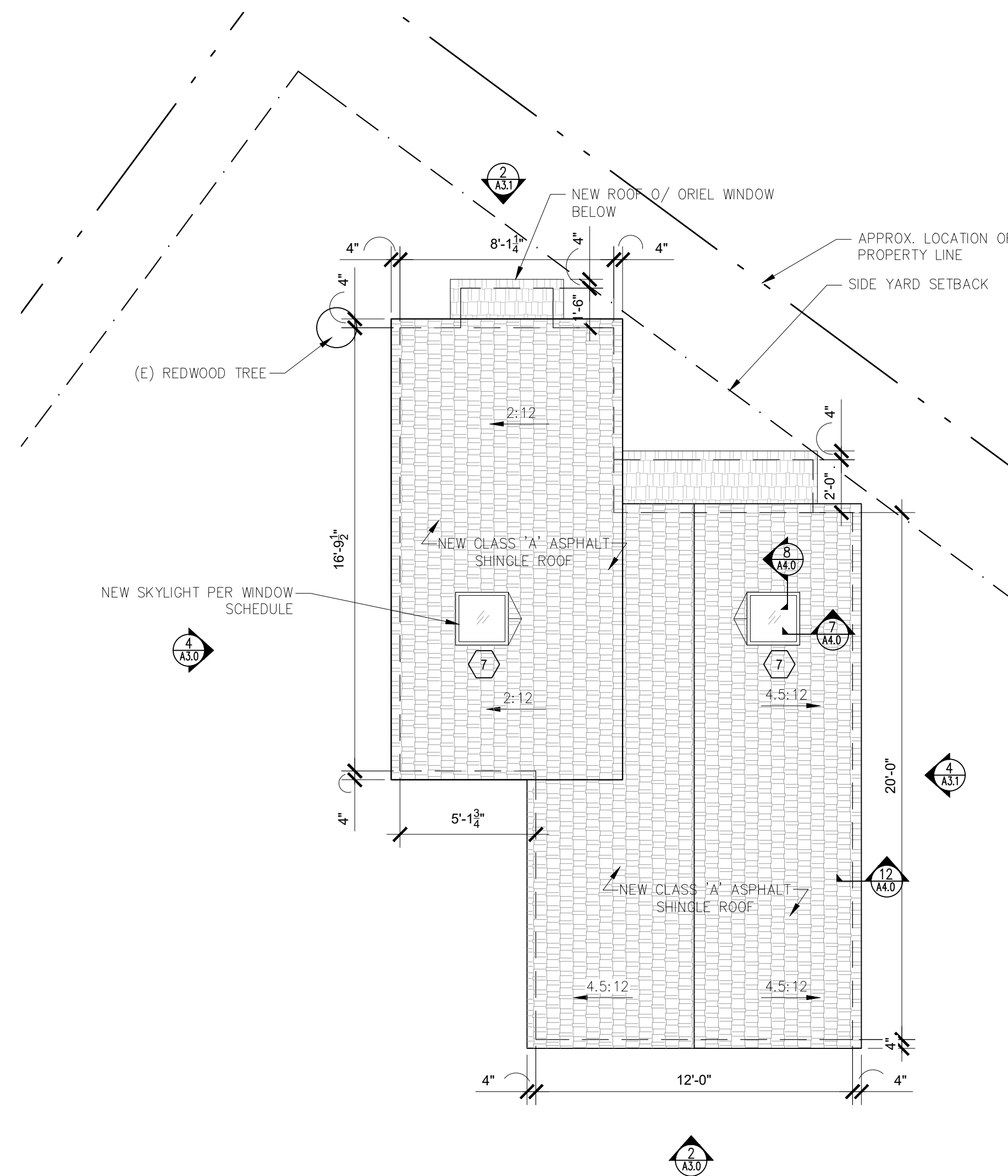
WALL TYPE LEGEND:

	(E) WALL TO REMAIN
	(E) WALL TO REMOVE
	(P) WALL

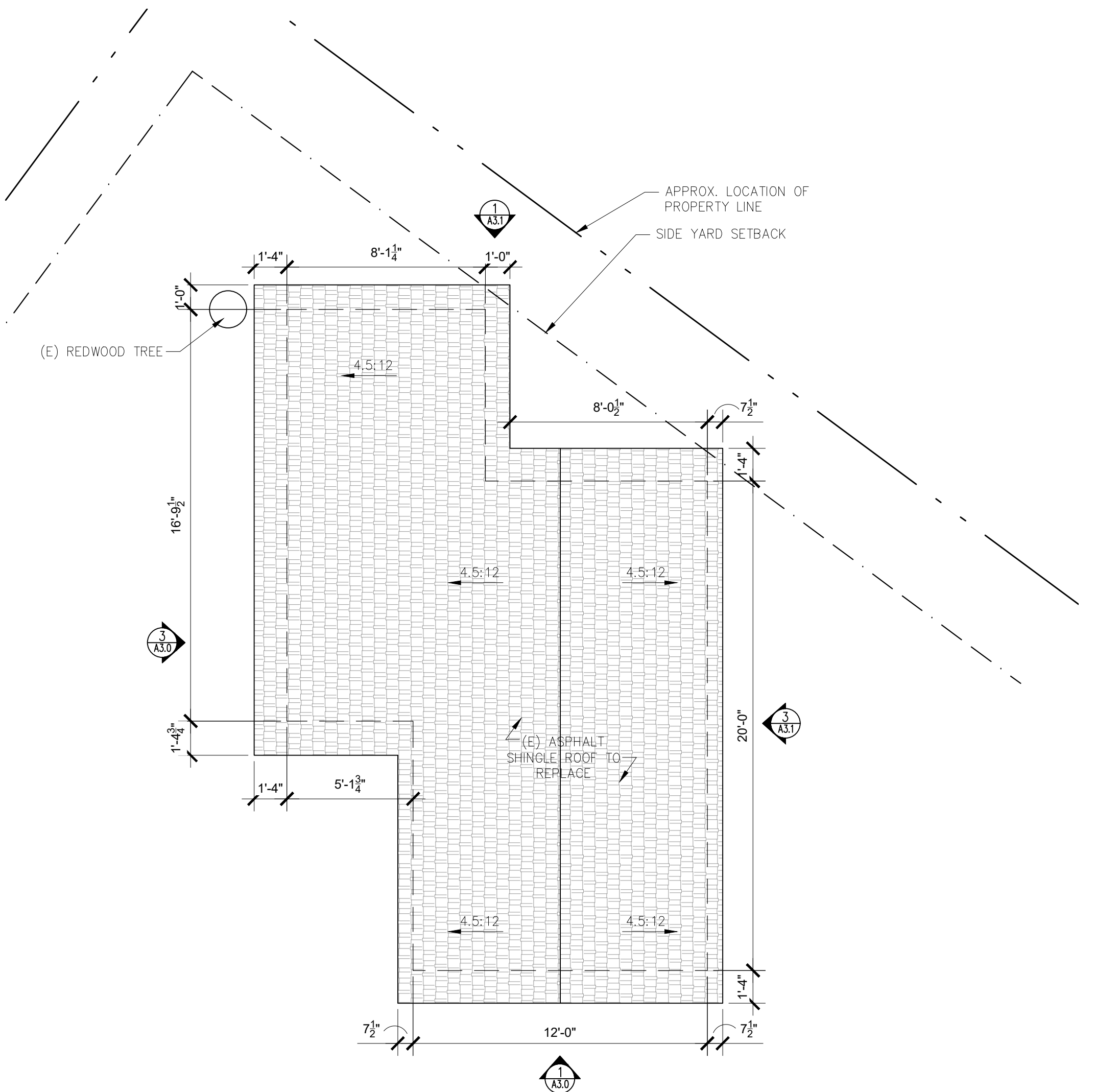
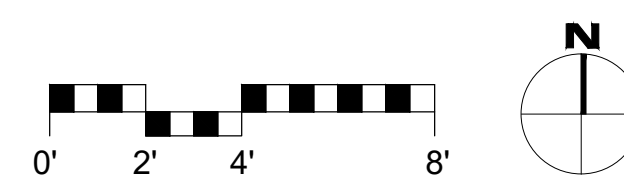
4 PROPOSED CEILING PLAN
 SCALE: 1/4"=1'-0"

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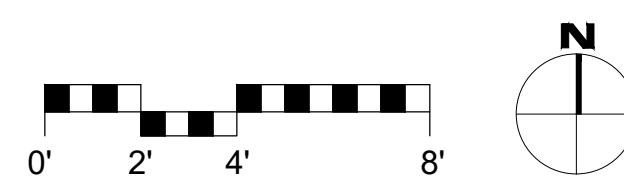
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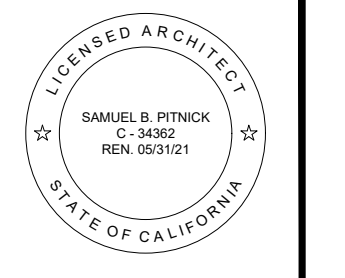
2 PROPOSED ROOF PLAN
 SCALE: 1/4"=1'-0"



1 EXISTING ROOF PLAN
 SCALE: 1/4"=1'-0"



TARANTINO
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 REMODEL
 SAN CARLOS, 2 N.W. OF
 2ND AVENUE
 CARMEL, CA 93923



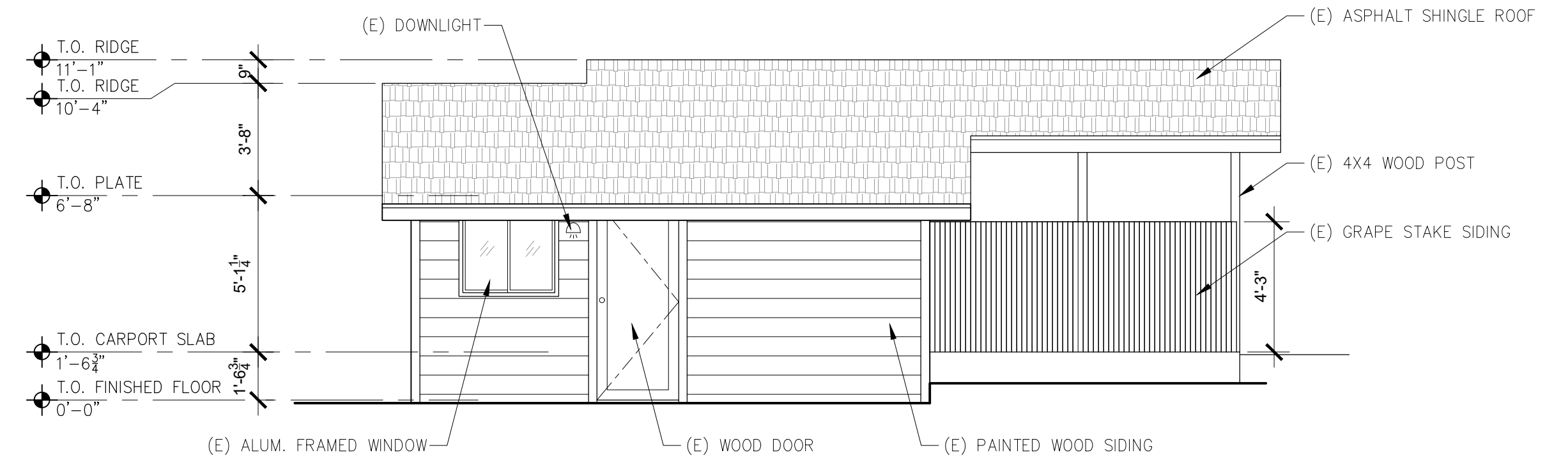
SAMUEL PITNICK ARCHITECTS
 P.O. BOX 22412, CARMEL, CA 93922
 PHONE: (831) 241-1895
 EMAIL: SAMUEL@PITNICK.COM

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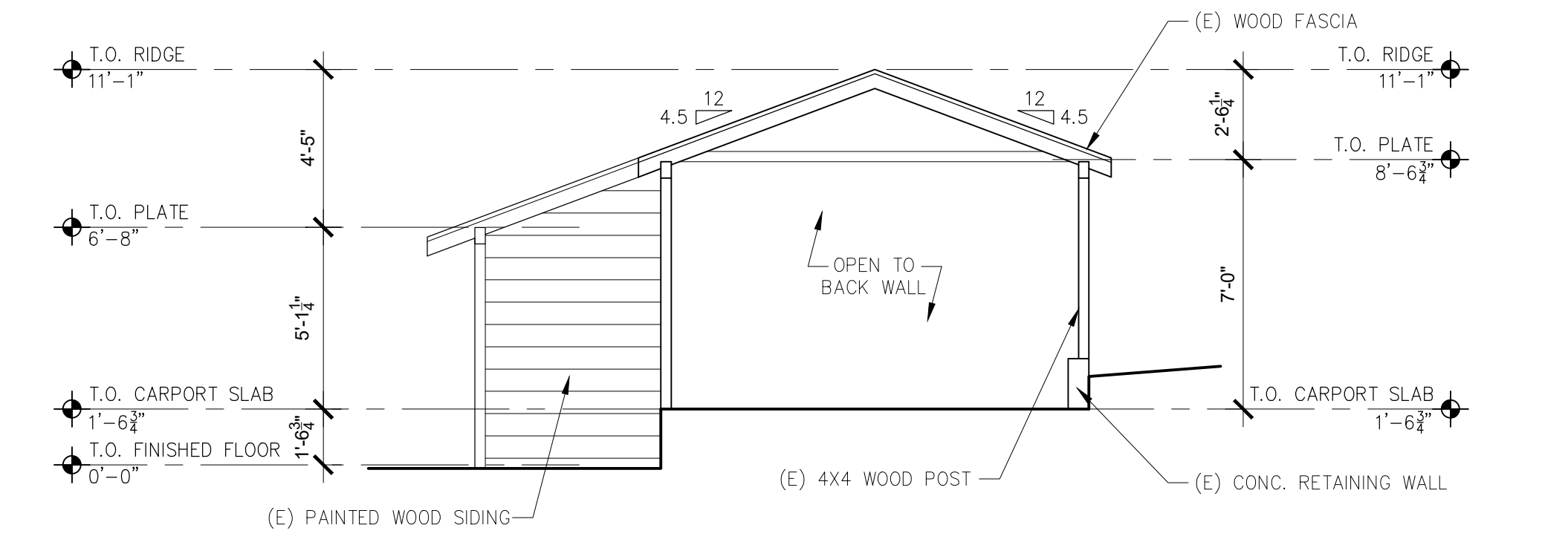
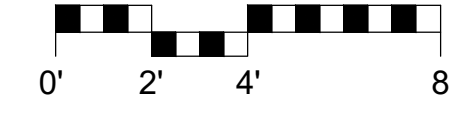
ARCHITECTURAL
 EXISTING &
 PROPOSED
 ROOF PLANS
 Scale: SEE DWG.
 Drawn By: SBP
 Job: -

A2.1
 03/20/2020

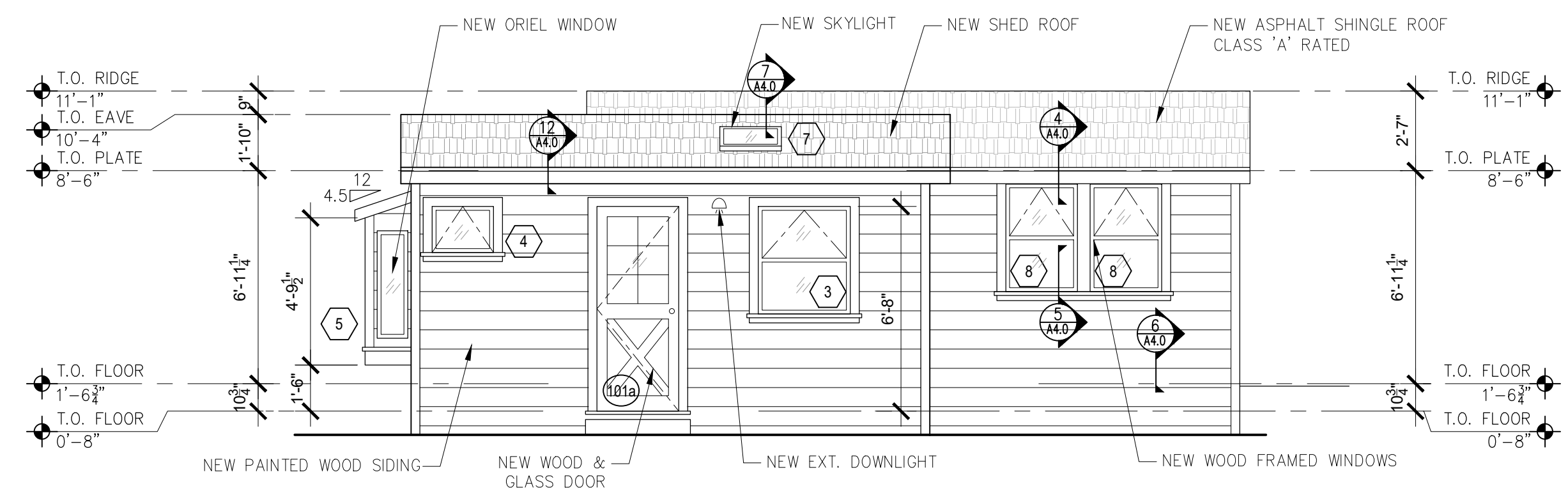
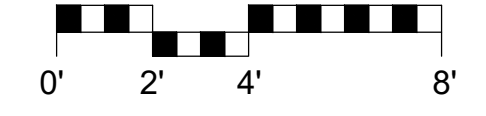
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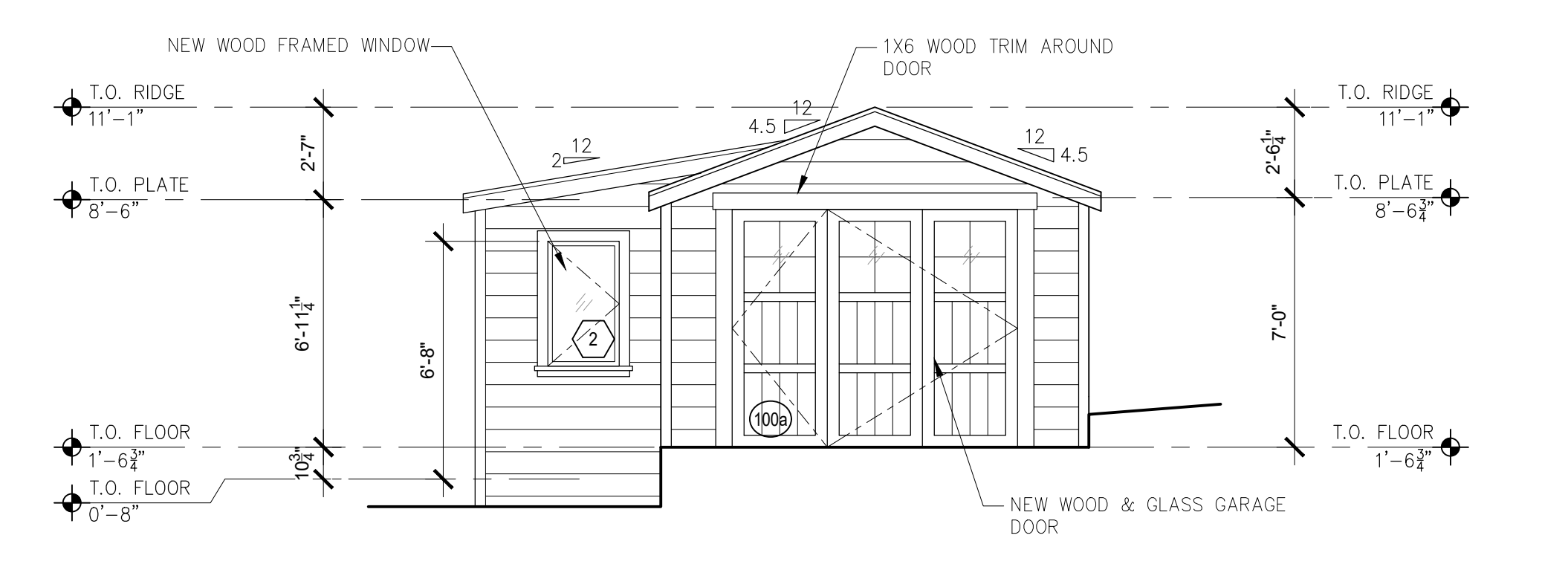
3 EXISTING WEST ELEVATION
SCALE: 1/4"=1'-0"



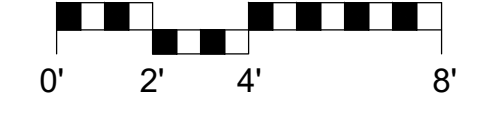
1 EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"



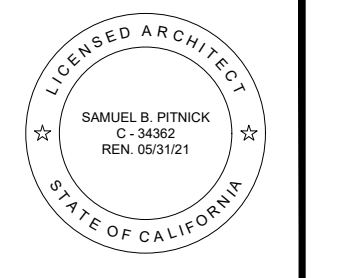
4 PROPOSED WEST ELEVATION
SCALE: 1/4"=1'-0"



2 PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"



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REMODEL
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2ND AVENUE
CARMEL, CA 93923



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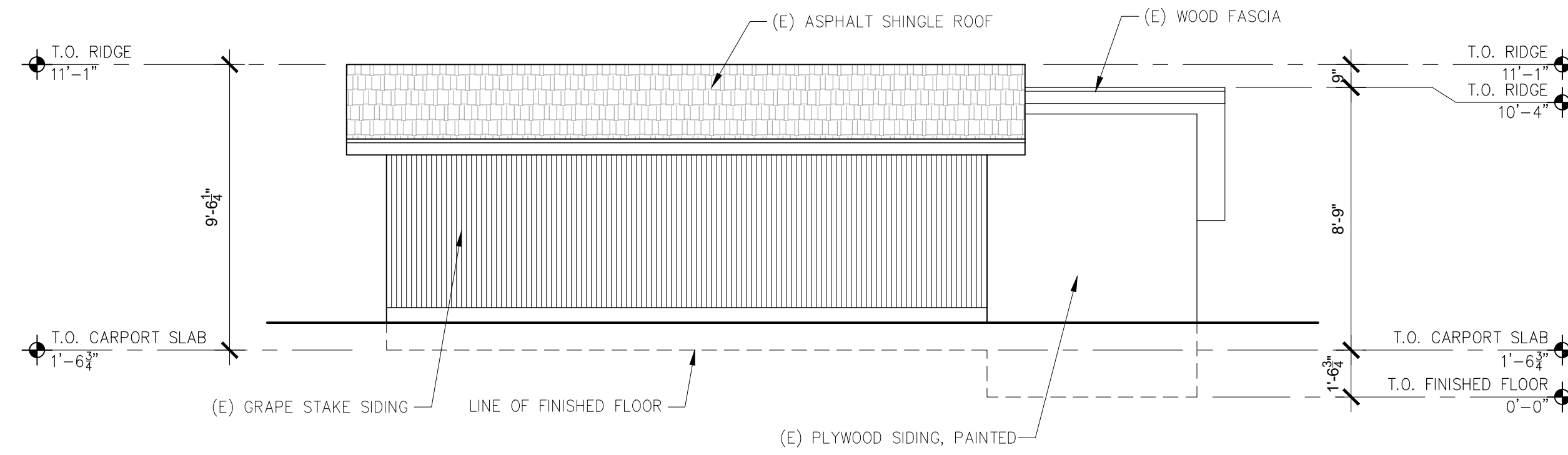
REVISIONS	DATE
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ARCHITECTURAL
BUILDING
ELEVATIONS

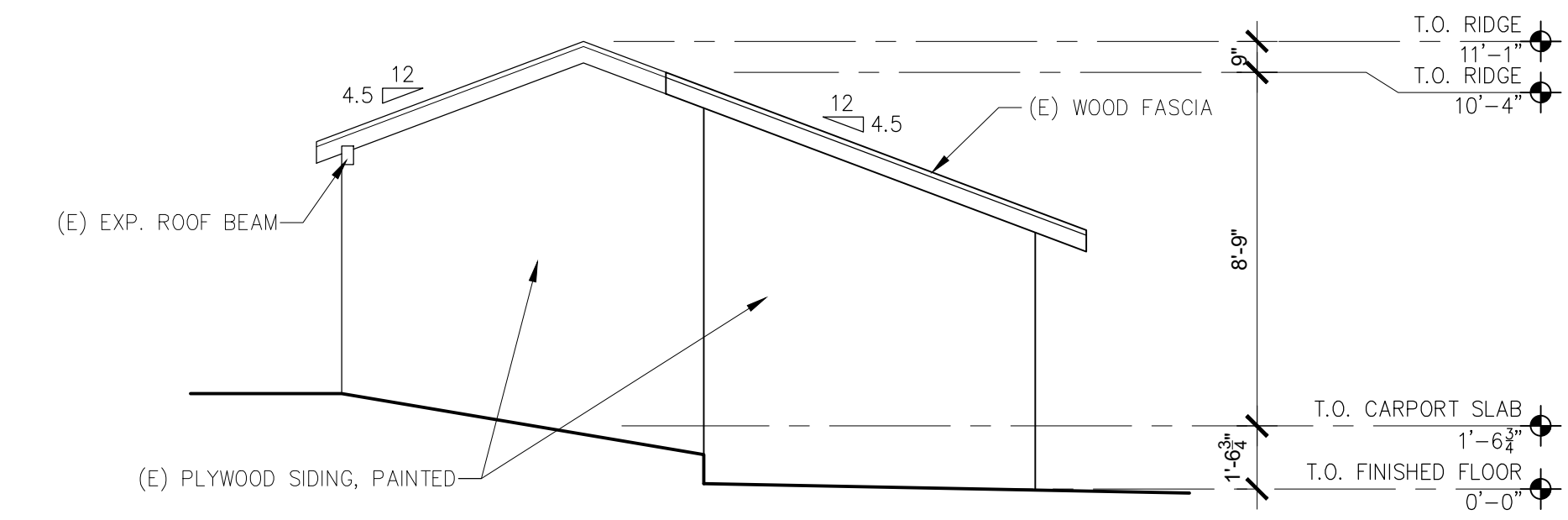
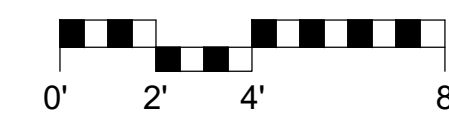
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Drawn By: SBP
Job: -

A3.0
03/20/2020

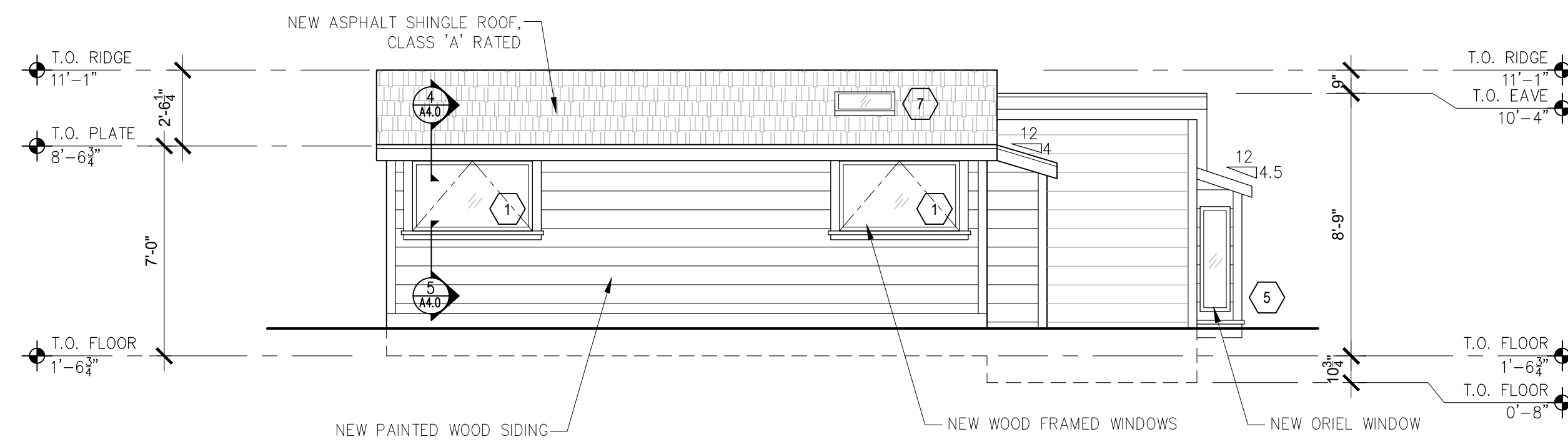
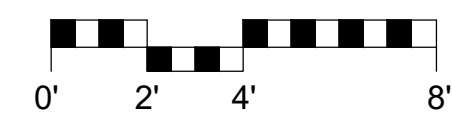
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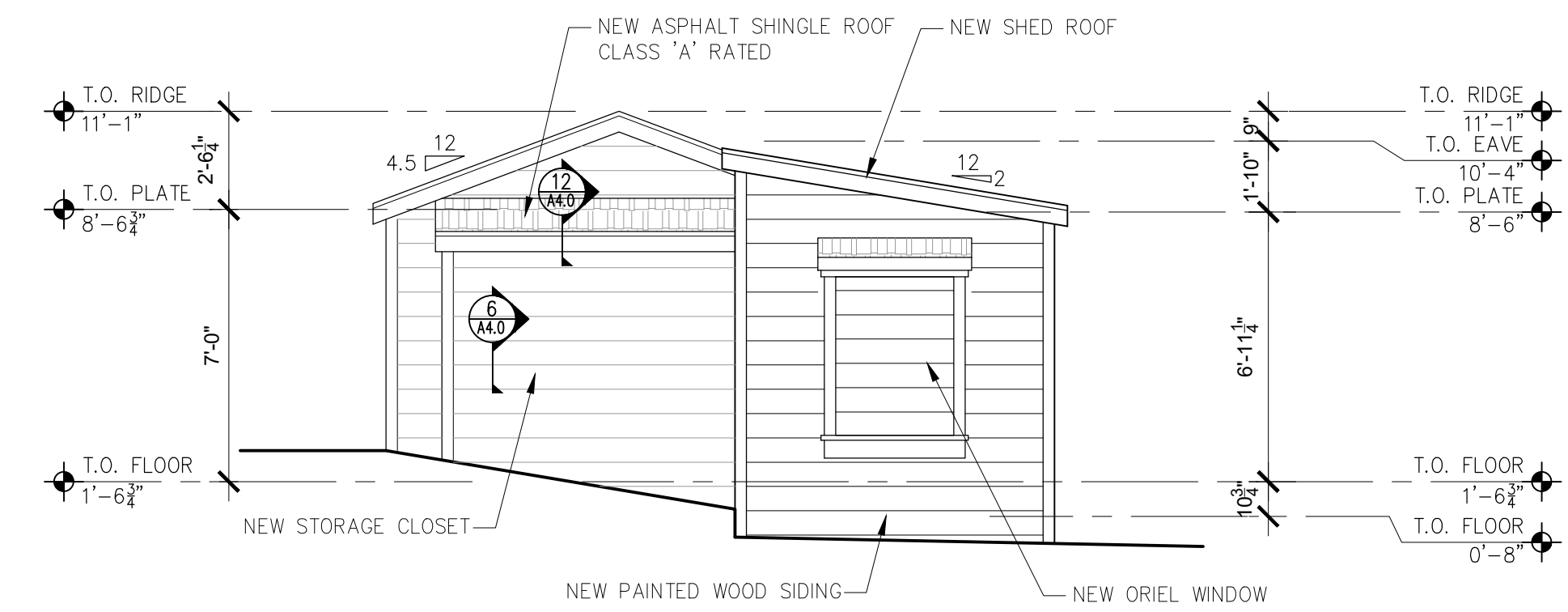
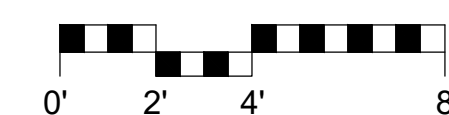
3 EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"



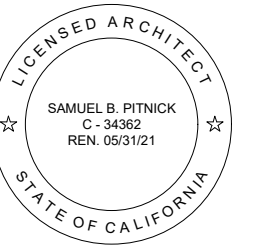
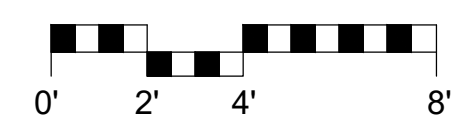
1 EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"



4 PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"



2 PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"



REVISIONS	DATE
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ARCHITECTURAL
BUILDING
ELEVATIONS

Scale: SEE DWG.
Drawn By: SBP
Job: -