



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 19489

Owner Name: NELSON KAREN S

Case Planner: Evan Kort, Assistant Planner

Date Posted: _____

Date Approved: 05/08/2020

Project Location: Guadalupe Street, 4 SW of 2nd Avenue

APN #: 010025004000 **BLOCK/LOT:** 23/ALL LOT 7

Applicant: Terry Latasa

Project Description: This approval of Design Study (DS 19-489) authorizes: 1) a 43 square foot bathroom addition at the rear of the residence, 2) the reconstruction of an existing closet at the rear of the residence, 3) the removal of 105.5 square feet of site coverage, 4) the addition of a new entry arbor, 5) the replacement of doors and windows throughout, 6) the replacement of the existing skylights and the addition of two new skylights, and 7) the installation of a new tar and gravel roof throughout. The project shall be consistent with the plans prepared by Terry Latasa received on February 21, 2020, except as modified by the conditions of approval herein.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

FINDINGS & CONDITIONS FOR DESIGN STUDY APPROVAL

DS 19-489 (Nelson)
Guadalupe 4 SW 2nd
Block/Lot: 23/7
APN: 010-025-004
Date of Action: May 8, 2020

PROJECT DESCRIPTION

Design Study (DS 19-489) application for modifications to an existing single family residence including a 43 square foot addition, as well as site coverage and landscape modifications located on Guadalupe 4 SW 2nd in the Single Family Residential (R-1) Zoning District.

FINDINGS OF FACT:

1. The project site is located on Guadalupe 4 SW 2nd in the Single Family Residential (R-1) Zoning District. The lot is currently developed with a one-story single family residence.
2. On December 4, 2019, the Community Planning & Building Department received a Design Study application and for proposed modifications to the residence. Revised plans were resubmitted to the Community Planning & Building Department on February 21, 2020.
3. Pursuant to CMC Section 17.10.010 (Purpose), the purpose of the Single Family Residential (R-1) Zoning District is, *“to establish standards and requirements for physical development in the R-1 single-family residential district.”*
4. The project qualifies for a Class 1 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines. Class 1 exemptions include additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the existing floor area or 2,500 square feet whichever is greater. The existing residence is 1,345 square feet and the proposed additions total 43 square feet.

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL (CMC 17.64.80 and LUP Policy P1-45):

1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.

2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character yet will not be viewed as repetitive or monotonous within the neighborhood context.
4. As conditioned, the project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees unless otherwise agreed upon by the City Forester.
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.
9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.

11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.010.B.1):

1. Local Coastal Program Consistency: The project conforms to the certified Local Coastal Program of the City of Carmel-by-the Sea.
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.

CONDITIONS OF APPROVAL

Conditions of Approval		
No.	Standard Conditions	
1.	Authorization: This approval of Design Study (DS 19-489) authorizes: 1) a 43 square foot bathroom addition at the rear of the residence, 2) the reconstruction of an existing closet at the rear of the residence, 3) the removal of 105.5. square feet of site coverage, 4) the addition of a new entry arbor, 5) the replacement of doors and windows throughout, 6) the replacement of the existing skylights and the addition of two new skylights, and 7) the installation of a new tar and gravel roof throughout. The project shall be consistent with the plans prepared by Terry Latasa received on February 21, 2020, except as modified by the conditions of approval herein.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning	✓

	Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	
5.	Trees or limbs on, or overhanging, the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 5,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground. All fixtures shall be shielded and down facing. The proposed fixture and associated specifications shall be printed in the building plan set.	✓

10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	✓
11.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
12.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
14.	This project is subject to a volume study.	N/A
15.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
16.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
17.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
18.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during	✓

	excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	
19.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
20.	Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information).	✓
21.	Construction Best Management Practices (BMPs) shall be implemented by the contractor and subcontractors.	✓
	<u>Special Conditions</u>	
22.	105.5 square feet of site coverage shall be removed. The area identified on the approved site plan as “105.5 square feet of stone path” to be removed is only 32 square feet, an additional 73.5 square feet of site coverage shall be removed. The additional 73.5 square feet of site coverage shall be identified on the site plan in the building plan set to be removed. The removal of all site coverage shall be consistent with the locations identified on the building plan set.	✓
23.	The tree limb identified in Tree Removal Permit TR 20-010 shall only be removed upon approval by of said permit by the City Forester, or the Forest and Beach Commission, as appropriate.	✓
24.	A detail of the new 4’ tall wood gate shall be included in the building plan set.	✓

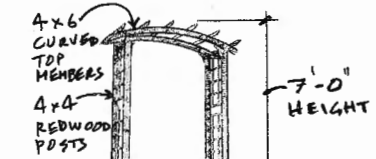
*Acknowledgement and acceptance of conditions of approval.

 Property Owner Signature

 Printed Name

 Date

Once signed, please return to the Community Planning and Building Department.



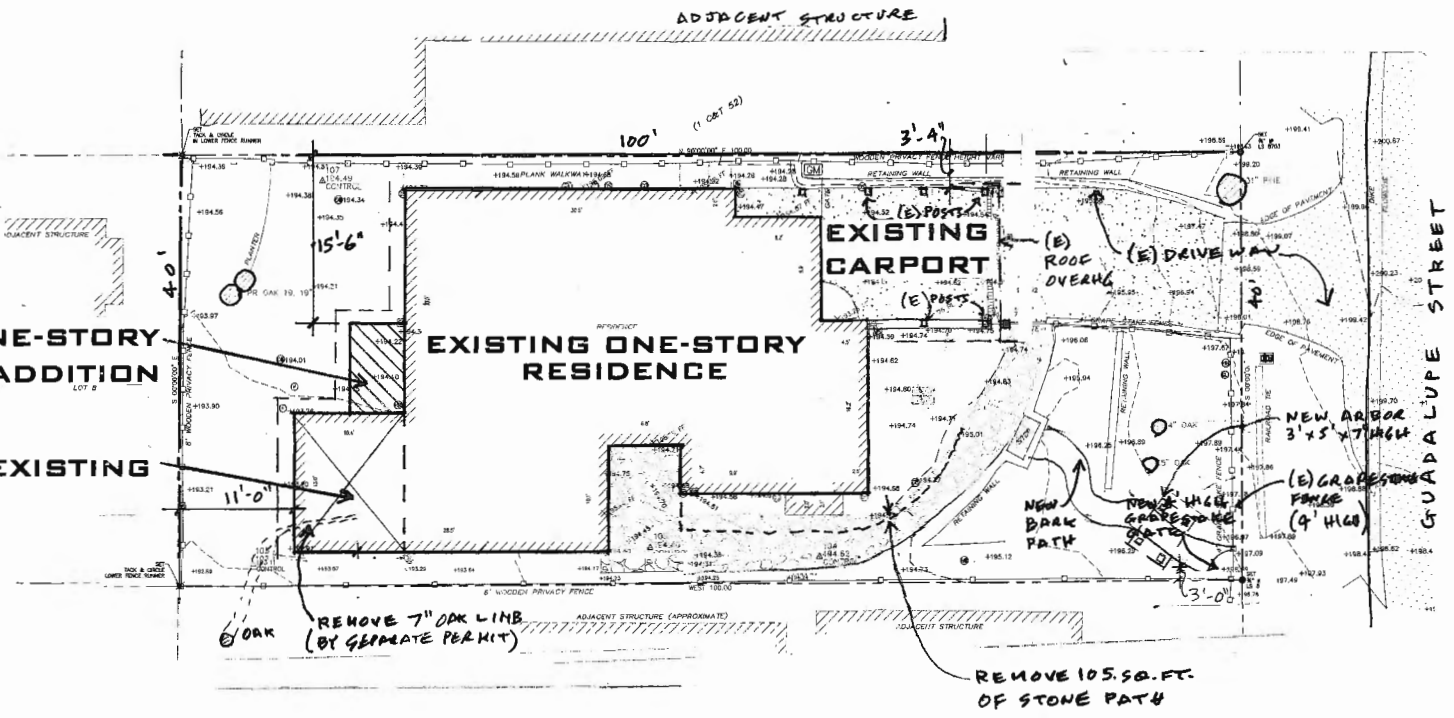
ARBOR DETAIL

PROPOSED ONE-STORY ADDITION

RE-BUILD EXISTING CLOSET

EXISTING ONE-STORY RESIDENCE

EXISTING CARPORT



SITE PLAN

1/8" = 1'-0"

PLANNING INFORMATION

PROJECT DESCRIPTION: ONE-STORY ADDITION AND REMODEL OF AN EXISTING RESIDENCE.

ZONING: R-1

PROJECT ADDRESS: GUADALUPE ST, 4SW OF 2nd AVE. CARMEL, CA 93921

APN: 010-025-004

LOT SIZE: 4,000 SQ. FT.

OWNERS: KAREN NELSON
P.O. BOX 1176
CARMEL, CA 93921
(831) 402-2417

LEGAL DESCRIPTION: MAP OF CARMEL CITY, BLK 23, LOT 7

FLOOR AREA:
EXISTING RESIDENCE: 1,345. SQ. FT.

PROPOSED HABITABLE ADDITION: 43.

EXISTING CARPORT: 200.
TOTAL FLOOR AREA: 1,588 (1800 MAX. ALLOWED)

SITE COVERAGE:
EXISTING CONC. DRIVEWAY 258.

EXISTING FRONT PATHS & PATIOS 305.

EXISTING DECK (NORTH SIDE) 62.

TOTAL EXISTING SITE COVERAGE: 625.

REMOVE PORTION OF SOUTH STONE PATH (-105.)
NEW ARBOR 35.
TOTAL SITE COVERAGE: 555. (556 MAX. ALLOWED)

TREE REMOVAL: NONE

GRADING: 8 CUBIC YARDS

CONSTRUCTION TYPE: V-N

OCCUPANCY: R-3

APPLICABLE CODES: 2019 CBC, CMC, CPC, CEC
2019 CA ENERGY CODE

LINEAR FEET WALLS: EXISTING: 280. LIN. FT.

NEW: 13. LIN. FT.

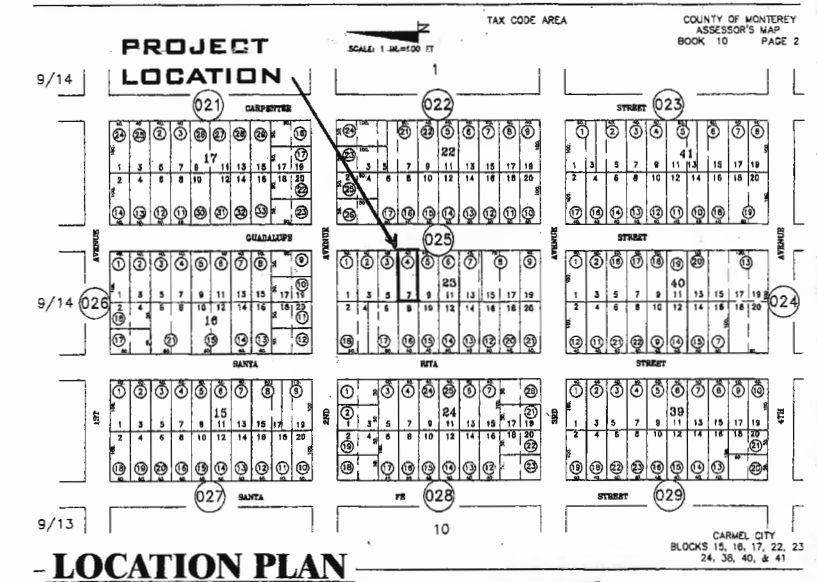
DEMO: 33.

TOTAL: 46. (16.5%)

RECEIVED

FEB 21 2020

City of Carmel-by-the-Sea
Planning & Building Dept.



LOCATION PLAN

ADDITION & REMODEL TO AN EXISTING RESIDENCE
KAREN NELSON
GUADALUPE ST, 4SW OF 2ND AVE, CARMEL, CALIFORNIA

TERRY LATASA - ARCHITECT
930 HARRISON STREET, MONTEREY, CALIFORNIA
(831) 649-1012

2-18-20

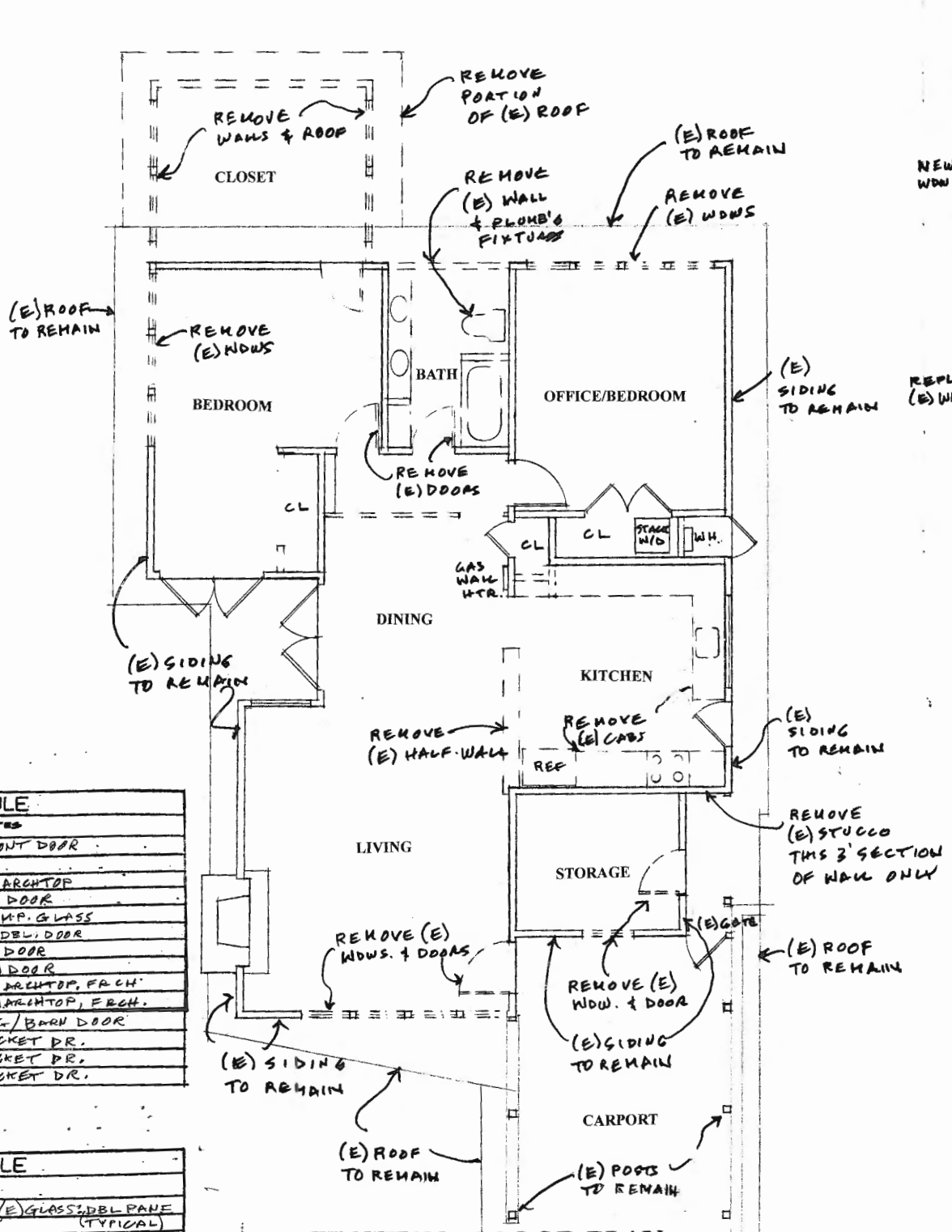
CARMEL CITY
BLOCKS 15, 16, 17, 22, 23, 24, 36, 40, & 41

DOOR SCHEDULE

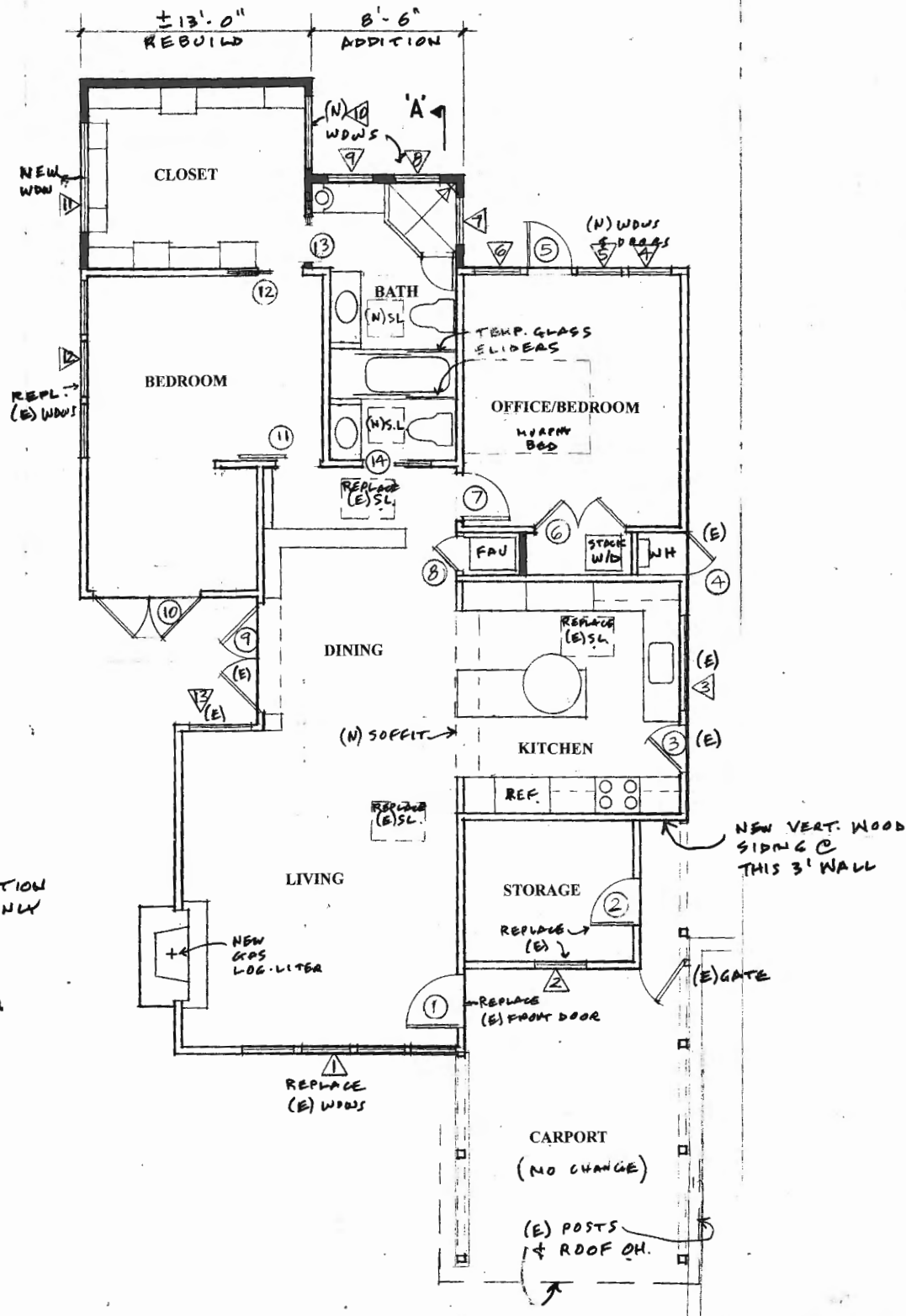
NO.	SIZE	THICK.	CORE	MATERIAL	NOTES
①	3'-0" x 6'-8"	1 3/4"	SC	WOOD	FRONT DOOR
2.	2'-6" x 6'-8"	"	"	"	"
3.	(E) 2'-7" x 6'-8"	"	"	"	(E) ARCHTOP
4.	(E) 2'-6" x 6'-8"	"	"	"	(E) DOOR
5.	2'-6" x 6'-8"	"	"	"	TEMP. GLASS
6.	(E) 5'-0" x 6'-8"	1 3/8"	"	"	(E) DEL. DOOR
7.	2'-6" x 6'-8"	"	"	"	(E) DOOR
8.	(E) 2'-0" x 6'-8"	"	"	"	(E) DOOR
9.	(E) 6'-0" x 6'-8"	1 3/4"	"	"	(E) ARCHTOP, FRCH.
10.	(E) 6'-0" x 6'-8"	"	"	"	(E) ARCHTOP, FRCH.
11.	2'-6" x 6'-8"	1 3/8"	"	"	SLDG/BARN DOOR
12.	2'-6" x 6'-8"	"	"	"	POCKET DR.
13.	2'-6" x 6'-8"	"	"	"	POCKET DR.
14.	2'-6" x 6'-8"	"	"	"	POCKET DR.

WINDOW SCHEDULE

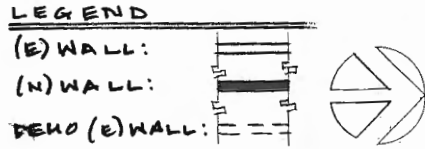
NO.	SIZE	MATERIAL	TYPE	NOTES
①	4'-2 1/2" x 6'-8"	WOOD	FIXED	REPLACE (E) GLASS DBL PANE (TYPICAL)
2.	3'-0" x 6'-8"	"	CAST	"
3.	1'-5 1/2" x 3'-0"	"	X O X	(E) WDW.
4.	2'-6" x 6'-8"	"	FIXED	TEMP. GLS.
5.	2'-6" x 6'-8"	"	"	"
6.	2'-6" x 6'-8"	"	"	"
7.	2'-6" x 3'-0"	"	CAST	TEMP. GLS.
8.	2'-6" x 3'-0"	"	"	"
9.	2'-6" x 3'-0"	"	"	"
10.	4'-0" x 2'-0"	"	FIXED	"
11.	6'-0" x 2'-0"	"	"	"
12.	③ 1'-3" x 6'-8"	"	"	TEMP. GLS.
13.	3'-6" x 5'-0"	"	DBL CAST	(E) WDW.



EXISTING FLOOR PLAN
DEMOLITION PLAN
1/4" = 1'-0"

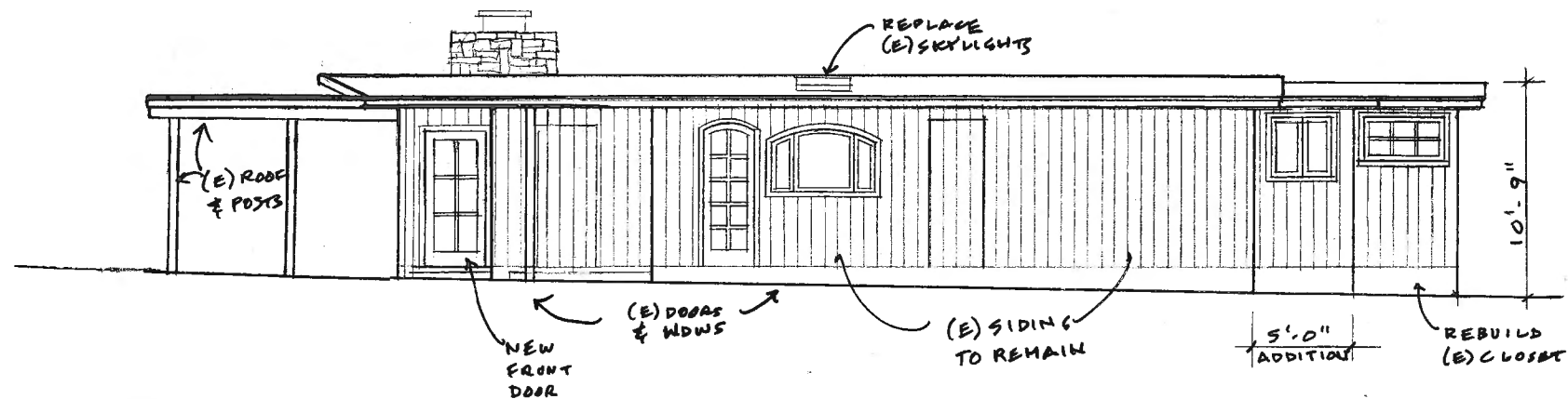


PROPOSED FLOOR PLAN
1/4" = 1'-0"

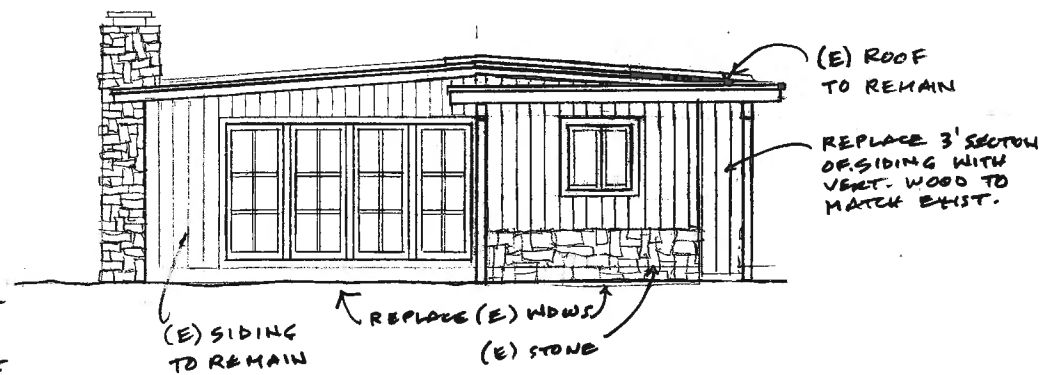


ADDITION & REMODEL TO AN EXISTING RESIDENCE
KAREN NELSON
BUADALUPE ST. 48W OF 2ND AVE, CARMEL, CALIFORNIA

TERRY LATASBA - ARCHITECT
930 HARRISON STREET, MONTEREY, CALIFORNIA
(831) 649-1012



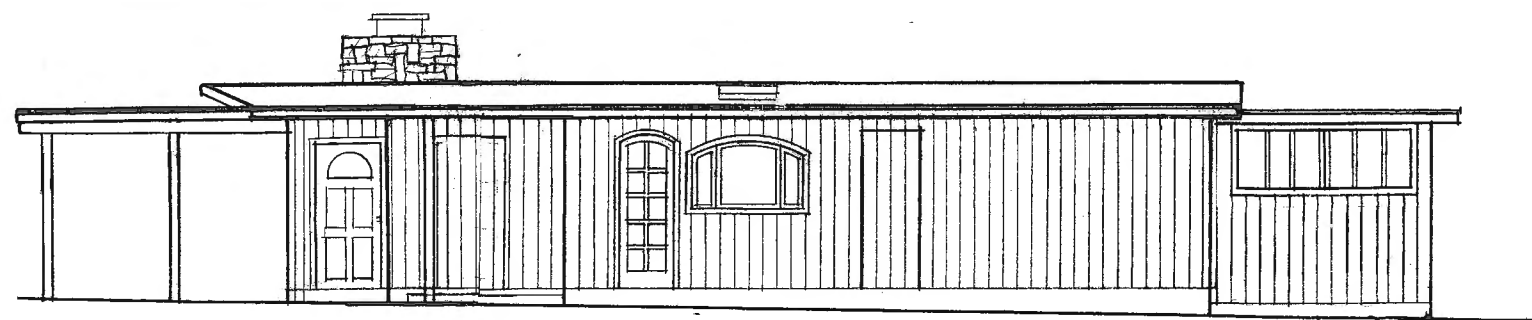
NORTH ELEVATION - PROPOSED



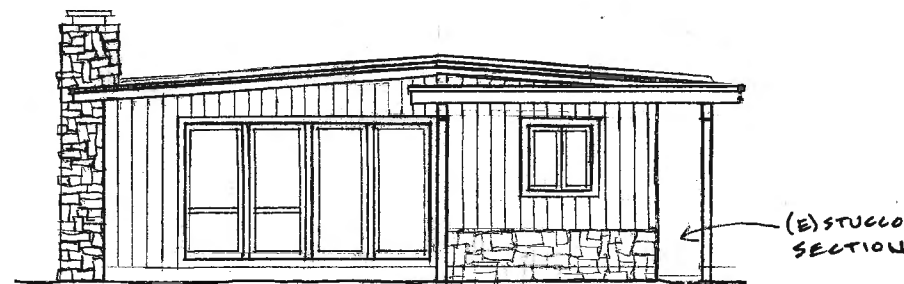
EAST ELEVATION - PROPOSED

**EXTERIOR MATERIALS
(MATCH EXISTING)**

- ROOF: TAR & GRAVEL ROOFING
(MATCH EXISTING)
- WALLS: EXTERIOR-PLYWOOD SIDING
VERTICAL GROOVED
- WINDOWS: WOOD-SASH WINDOWS



NORTH ELEVATION - EXISTING

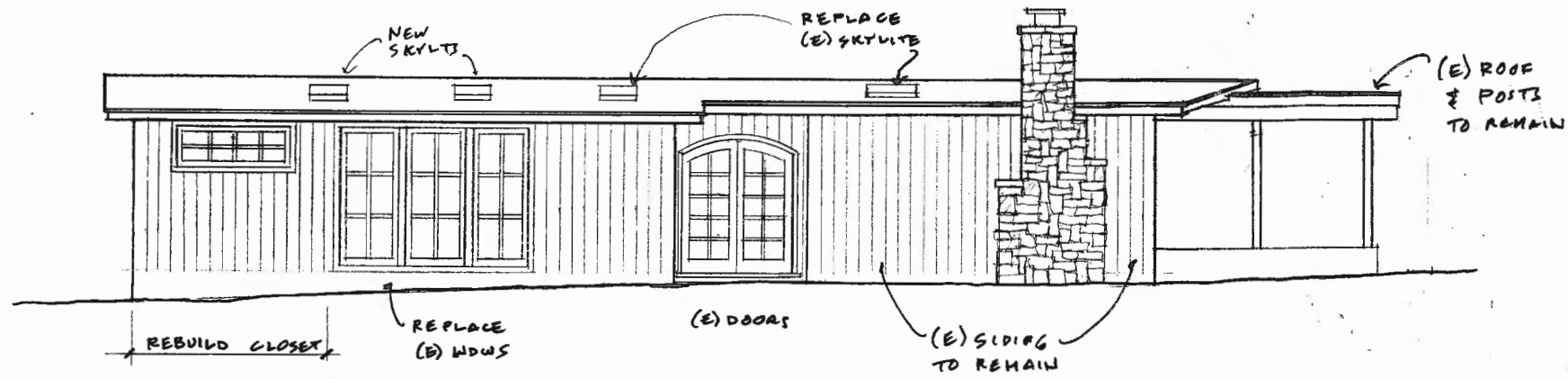


EAST ELEVATION - EXISTING

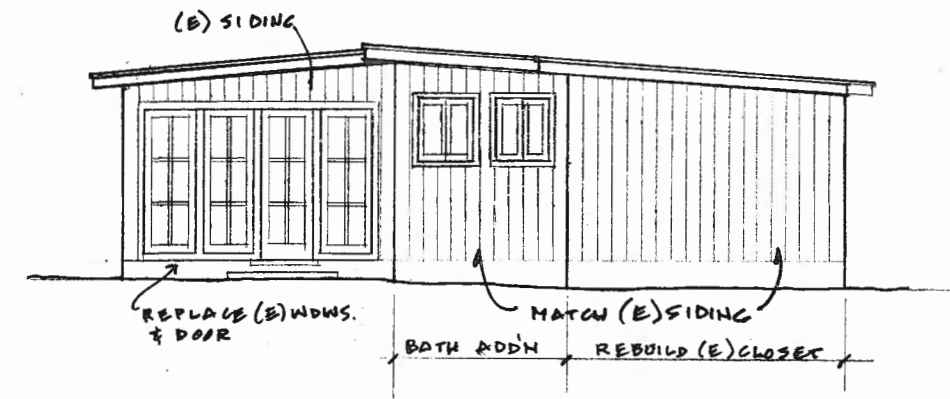
ADDITION & REMODEL TO AN EXISTING RESIDENCE
KAREN NELSON
GUADALUPE ST, 49W OF 2ND AVE, CARMEL, CALIFORNIA

TERRY LATASA - ARCHITECT
930 HARRISON STREET, MONTEREY, CALIFORNIA
(831) 849-1012

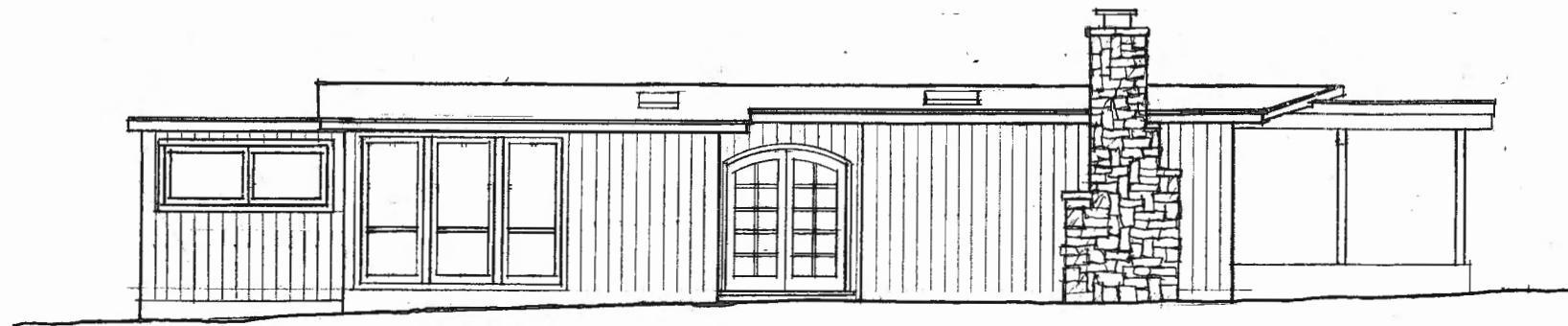
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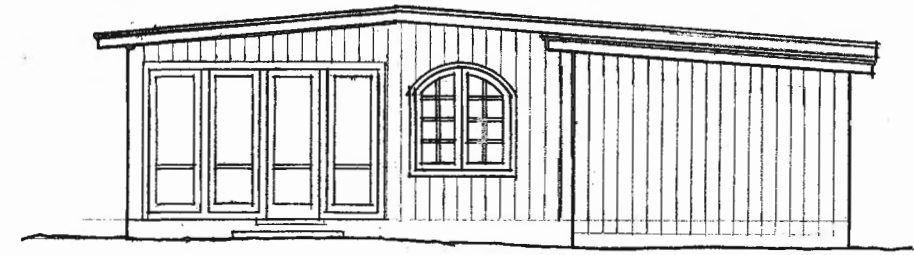
SOUTH ELEVATION - PROPOSED



WEST ELEVATION - PROPOSED



SOUTH ELEVATION - EXISTING

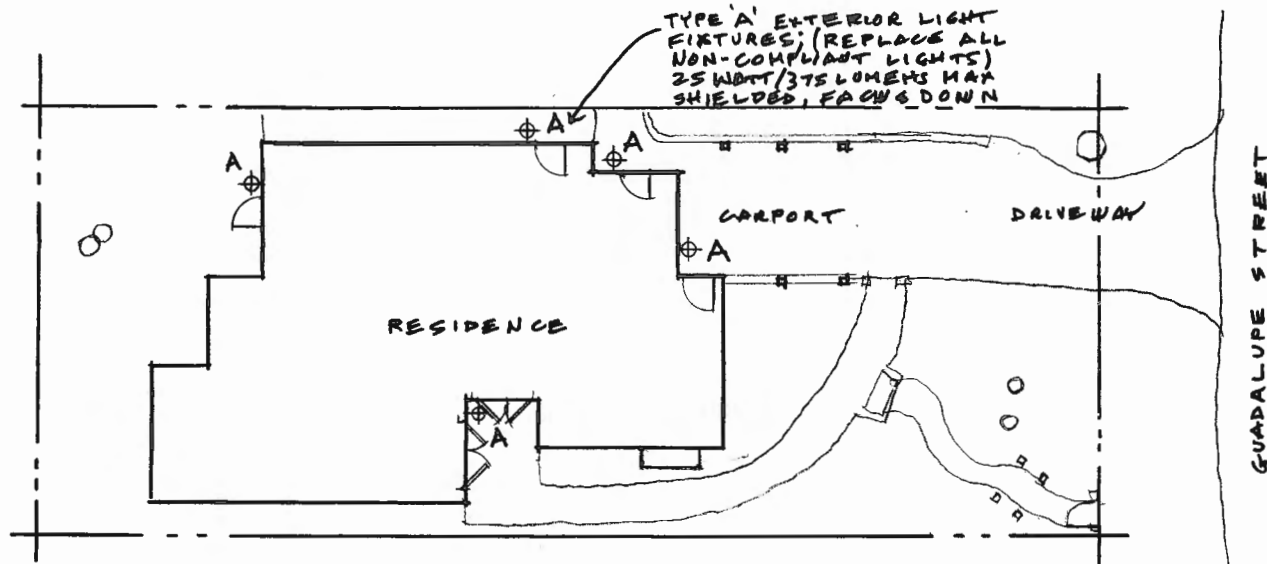


WEST ELEVATION - EXISTING

ADDITION & REMODEL TO AN EXISTING RESIDENCE
KAREN NELSON
 GUADALUPE ST, 48W OF 2ND AVE, CARMEL, CALIFORNIA

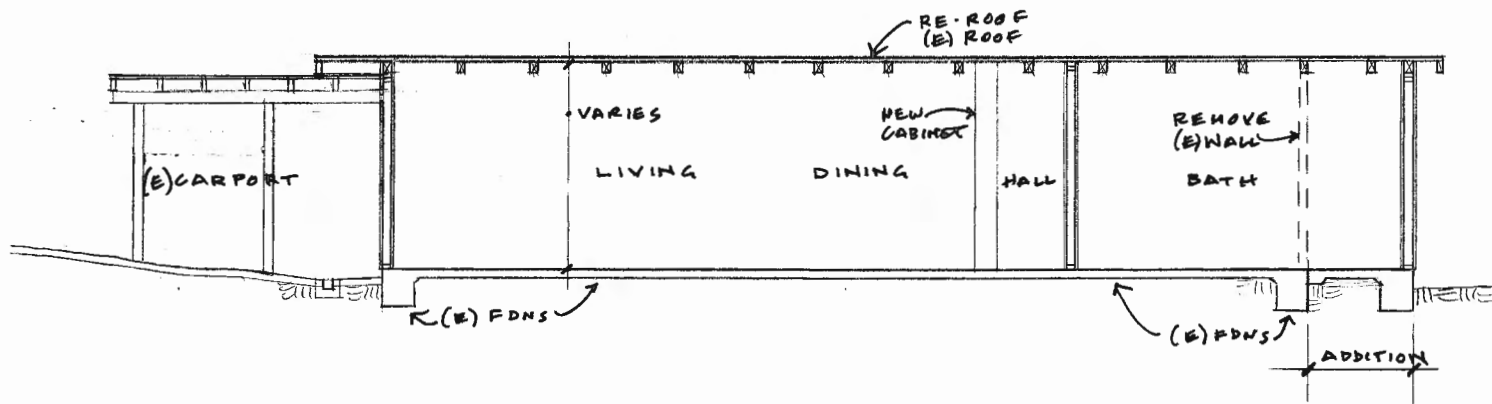
TERRY LATASA - ARCHITECT
 930 HARRISON STREET, MONTEREY, CALIFORNIA
 (831) 949-1812

2-18-20



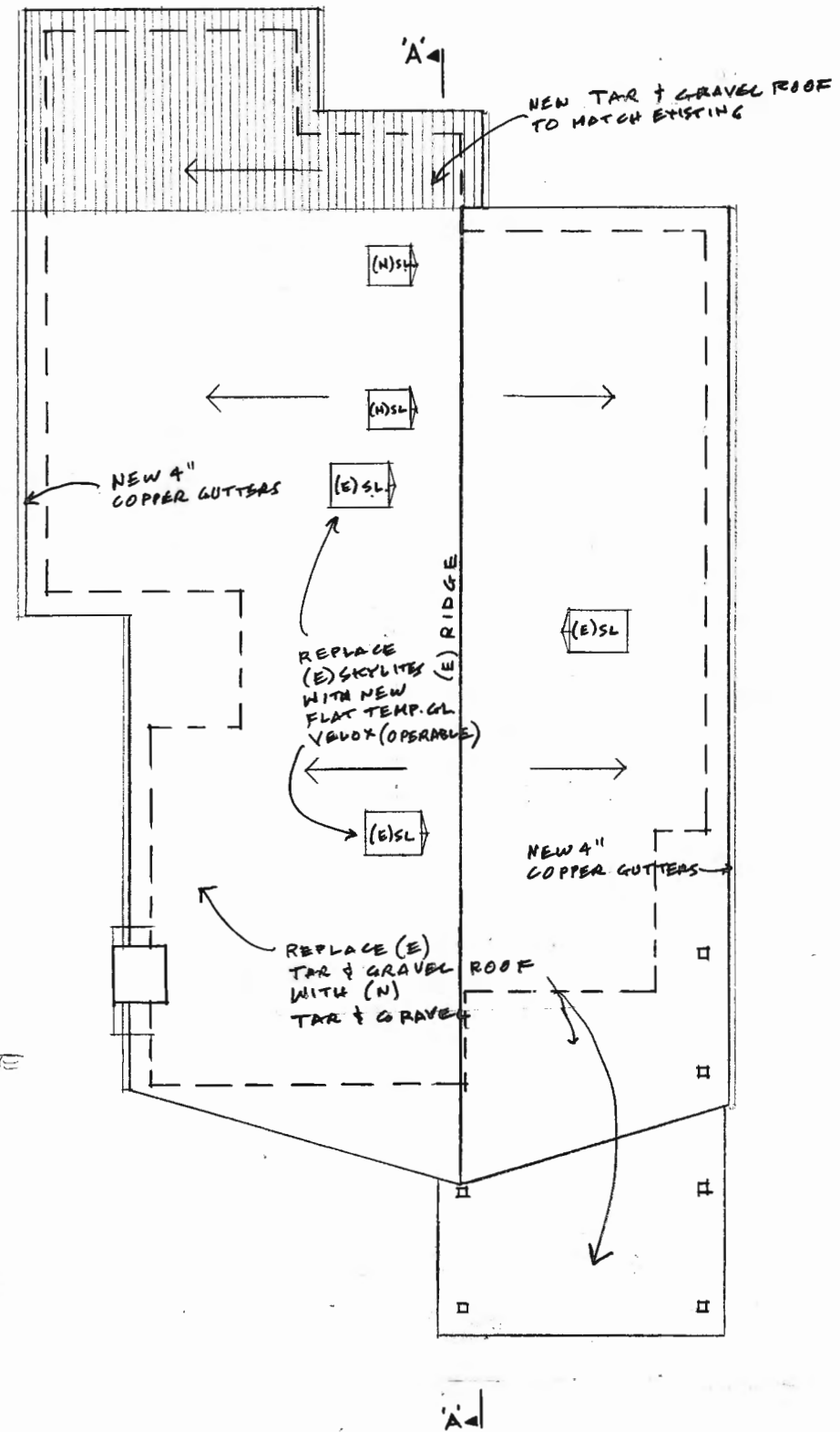
EXTERIOR LIGHTING PLAN

1/8" = 1'-0"



SECTION 'A-A'

1/4" = 1'-0"



ROOF PLAN

1/4" = 1'-0"

ADDITION & REMODEL TO AN EXISTING RESIDENCE
KAREN NELSON
 GUADALUPE ST, 48W OF 2ND AVE, CARMEL, CALIFORNIA

TERRY LATASBA - ARCHITECT
 930 HARRISON STREET, MONTEREY, CALIFORNIA
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Hampton Bay

1-Light Zinc Outdoor Wall Barn Light Sconce Lantern

★★★★★ (153) [Write a Review](#) [Questions & Answers \(24\)](#)

15 in. Outdoor Wall Lantern that complements exterior décor

Finish with zinc construction and Weather Resistant

19 60-watt Light Bulb (not included)

25-WATTS MAX

The Hampton Bay Zinc Wall Lantern is designed with an aged look that will weather over time. With its zinc and lightly stained, the lantern offers illuminating light. It accommodates a 1-60-Watt medium base bulb or CFL equivalent (not included).

Hand-painted zinc finish for charming look

Accommodates 1-60-watt bulb or CFL equivalent

Weather Resistant

Dimensions

Requires mounting hardware

**370 LUMEN MAX.
25 WATTS MAX**