



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Study 19441

Owner Name: MINELLI GIOVANNI TR & MINELLI TIZIANO & MARINA TRS

Case Planner: Evan Kort, Assistant Planner

Date Posted: _____

Date Approved: 05/08/2020

Project Location: Santa Fe, 2 NE of Mountain View

APN #: 010045014000 **BLOCK/LOT:** 81/ALL LOT 18

Applicant: Paul Walchli

Project Description: This approval of Design Study (DS 19-441) authorizes additions and modifications to an existing single family residence. Proposed modifications include: 1) a 123 square foot entry addition on the main level, 2) the demolition of the existing detached garage (265 square feet, existing) and construction of a new 200 square foot detached stone garage, 3) the reconfiguration of the deck located on the west side of the residence, 4) refinishing the main level of the residence with stucco and refinishing the second level with new board and batten, 5) window changes throughout, and 6) site coverage modifications throughout. The project proposed a net increase in floor area of 58 square feet. The project shall be consistent with the plans received by the Community Planning & Building Department dated February 6, 2020 except as modified by the conditions of approval.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

FINDINGS & CONDITIONS FOR DESIGN STUDY APPROVAL

DS 19-441 (Minelli)
Santa Fe 2 NE Mountain View
Block/Lot: 81/18
APN: 010-045-014
Date of Action: May 8, 2020

PROJECT DESCRIPTION

Design Study (DS 20-020) application for additions (59 square feet net) and modifications to an existing single family residence located on Santa Fe 2 NE Mountain View in the Single Family Residential (R-1) Zoning District.

FINDINGS OF FACT:

1. The project site is located on Santa Fe 2 NE Mountain View in the Single Family Residential (R-1) Zoning District.
2. On October 24, 2019, the Community Planning & Building Department received a Design Study application and for proposed modifications to the carport and utility room. Revised plans were resubmitted to the Community Planning & Building Department on February 6, 2020.
3. Pursuant to CMC Section 17.10.010 (Purpose), the purpose of the Single Family Residential (R-1) Zoning District is, *“to establish standards and requirements for physical development in the R-1 single-family residential district.”*
4. The project qualifies for a Class 1 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines. Class 1 exemptions include additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the existing floor area or 2,500 square feet whichever is greater. The existing residence (including the existing accessory building) is 1,735 square feet and the proposed addition is 58 square feet (net addition).

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL (CMC 17.64.80 and LUP Policy P1-45):

1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character yet will not be viewed as repetitive or monotonous within the neighborhood context.
4. As conditioned, the project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees unless otherwise agreed upon by the City Forester.
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.
9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.

10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.010.B.1):

1. Local Coastal Program Consistency: The project conforms to the certified Local Coastal Program of the City of Carmel-by-the Sea.
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.

CONDITIONS OF APPROVAL:

Conditions of Approval		
No.	Standard Conditions	
1.	Authorization: This approval of Design Study (DS 19-441) authorizes additions and modifications to an existing single family residence. Proposed modifications include: 1) a 123 square foot entry addition on the main level, 2) the demolition of the existing detached garage (265 square feet, existing) and construction of a new 200 square foot detached stone garage, 3) the reconfiguration of the deck located on the west side of the residence, 4) refinishing the main level of the residence with stucco and refinishing the second level with new board and batten, 5) window changes throughout, and 6) site coverage modifications throughout. The project proposed a net increase in floor area of 58 square feet. The project shall be consistent with the plans received by the Community Planning & Building Department dated February 6, 2020 except as modified by the conditions of approval.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓

4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground. All fixtures shall be shielded and down facing.	✓
10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color. The manufactures specifications shall be printed in the building plan set.	✓

11.	Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or his/her designee. The masonry pattern shall be clearly identified in the construction drawings submitted with the building permit application.	✓
12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	N/A
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of	N/A

	archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	N/A
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
22.	Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information).	✓
23.	Construction Best Management Practices (BMPs) shall be implemented by the contractor and subcontractors.	✓
ENVIRONMENTAL COMPLIANCE CONDITIONS		
24	Drainage Plan. Provide a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused into one corner of the property, infiltration features must be sized appropriately and must be located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas.	✓
25.	BMP Tracking Form. A completed BMP Tracking form will need to be submitted with the Building Permit Application.	✓
26.	Erosion and Sediment Control Plan. Provide an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access with Building Permit application.	✓
Special Conditions		
27.	All stones used for the project shall be pre-cut or prefabricated. Any additional cutting of the pre-cut stones on the property shall be performed using a wet saw to minimize	✓

	sound and dust.	
28.	Demolition shall be consistent with the demolition plan on sheet A2 of the approved plan set. Demolition of additional exterior walls may require Planning Commission approval. The existing exterior wall cladding may be removed as needed; however, the existing framing shall remain and removal of walls shall be consistent with the demolition plan.	✓
29.	The deck area over the garage shall not be expanded. The roof deck shall not be expanded beyond 90 square feet, as indicated on the approved plans.	✓
30	The first floor shall be stucco throughout. The proposed board and batten bay windows shall be revised to have a stucco finish on the building plan set.	✓
31.	The garage shall maintain a 10'x20' parking space clear of all obstructions (washer/dryer, furnace, boiler, etc).	✓
32.	The species of the required replacement trees shall be identified on the building plan set.	✓

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

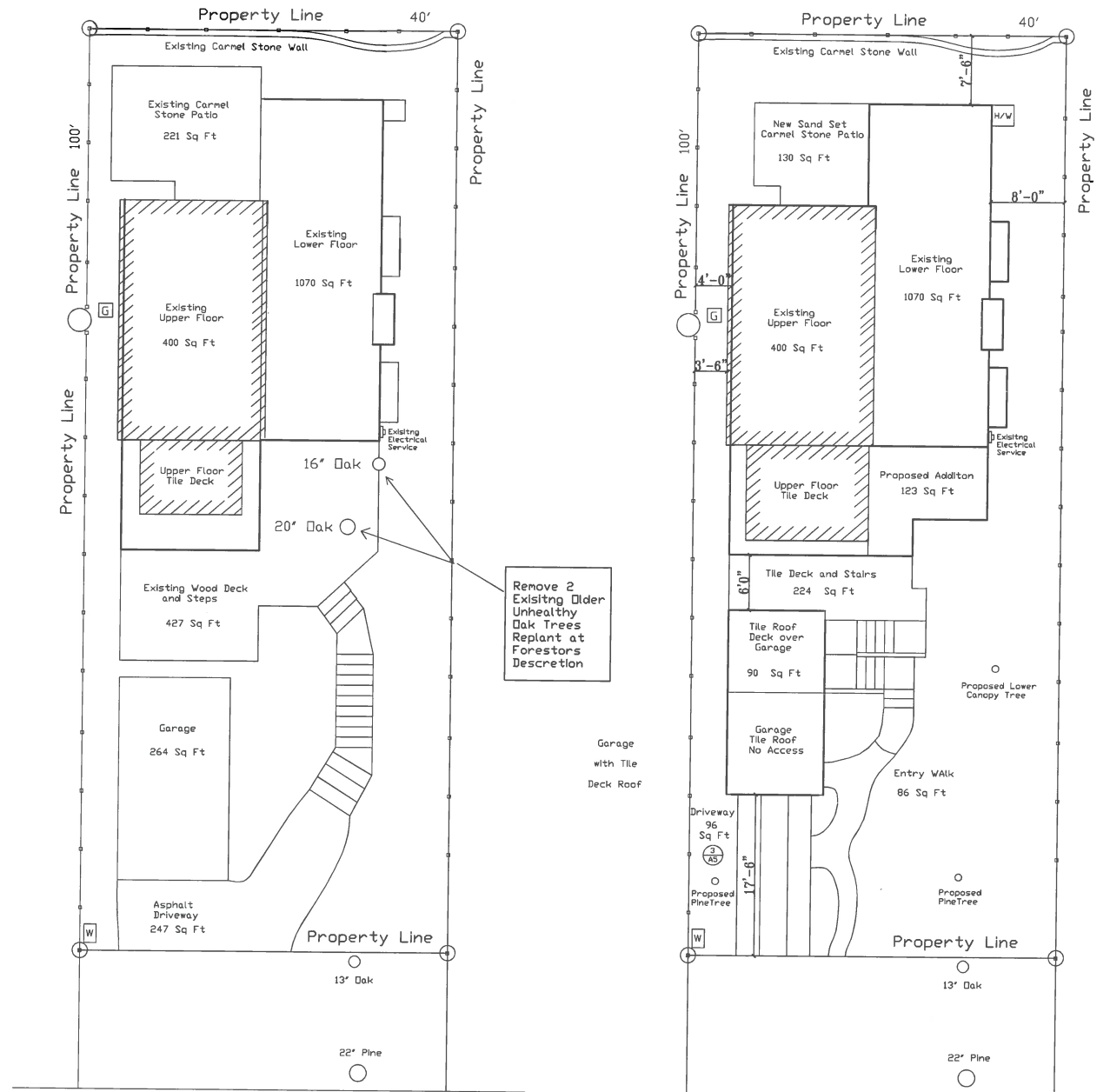
Date

Once signed, please return to the Community Planning and Building Department.

RECEIVED

FEB 6 2020

City of Carmel-by-the-Sea
Planning & Building Dept.



Santa Fe Street

Santa Fe Street

Existing Site Plan

Scale 1/8" = 1'

Proposed Site Plan

Scale 1/8" = 1'

Lot Size 4000 Sq Ft

Existing Site Coverage

Asphalt Driveway	247 Sq Ft
Wood Decks and Stairs	427 Sq Ft
Stone Patios	221 Sq Ft
Walls	26 Sq Ft
Existing Site Coverage	921 Sq Ft

Proposed Site Coverage

Driveway	(Perm)	96 Sq Ft
Walkways	(Perm)	86 Sq Ft
Tile Patios and Steps	(Non)	224 Sq Ft
Carmel Stone Patios	(Perm)	128 Sq Ft
Walls	(Non)	26 Sq Ft
Proposed Site Coverage		560 Sq Ft

Permeable Site Coverage	310 Sq Ft
Non Permeable Site Coverage	250 Sq Ft

Existing Floor Area

Lower Floor	1070 Sq Ft
Upper Floor	400 Sq Ft
Garage	265 Sq Ft
Existing Floor Area	1735 Sq Ft

Proposed Floor Area

Lower Floor	1070 Sq Ft
Proposed Addition	123 Sq Ft
Upper Floor	400 Sq Ft
Garage	200 Sq Ft
Proposed Floor Area	1793 Sq Ft

Increase in floor area 58 Sq Ft

Sheet Index

- A1 Site Plan
- A2 Floor Plan
- A3 Proposed Elevations
- A4 Existing Elevations
- A5 Roof Plan

Project Information

APN 010-045-014

Block Lot

Project Address

Santa Fe 2 NE Mountain View
Carmel, CA 93923

Owners

Tiziano and Marina Minelli

Contractor

Paul Walchli Builder
PO Box 7416
Carmel, CA 93921
831-601-2230
paul.walchli@yahoo.com

Draftsman

Paul Walchli Builder
PO Box 7416
Carmel, CA 93921
831-601-2230
paul.walchli@yahoo.com

Scope of Work

- Add New Front Entry and Porch
- Extend Existing living room
- Demo Existing Garage Relocate and Build New Garage
- New Kitchen Cabinetry, Appliances, Counter Surfaces and Flooring
- Interior Wall Changes
- Remodel all Existing Baths and add New Powder room
- New Plumbing and Electrical
- Window and Door Changes
- All New Wood Windows and Doors
- Remove Wood Decking and Stairs
- Install New Tile Decking and Tile and Carmel Stone Entry Stairs
- New Coble Stone Walkways and Driveway
- Rebuild Rear Carmel Stone Wall
- Remove 2 Unhealthy Oak Trees Replant per Foresters Recommendation
- Reset, Reduce and make permeable rear Carmel Stone Patio

PAUL WALCHLI
BUILDER + DESIGNER
GENERAL CONTRACTOR
YES BY CARMEL-BY-SEA

REVISIONS	2-1-20
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Minelli Residence
Remodel
Santa Fe 2 NE of Mountain View
Carmel, CA 93921

Site Plan

A1

Owner:
Minelli
Santa Fe
3 NE of Mountain View
Carmel, CA 93921
Assessors ID: 010-045-014

Prepared	10-1-19
Revised	2-1-20

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FEB 6 2020

City of Carmel-by-the-Sea
Planning & Building Dept.

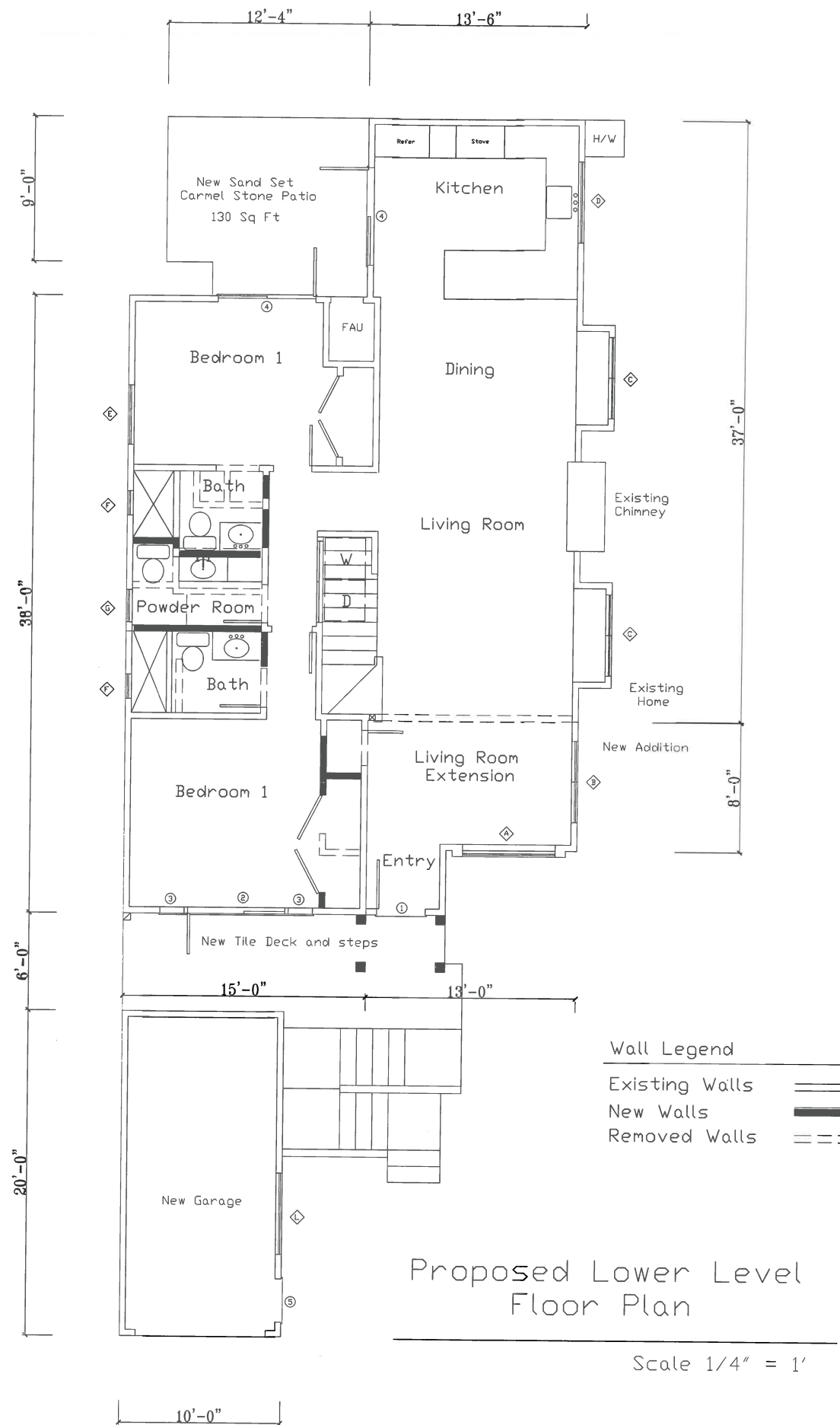
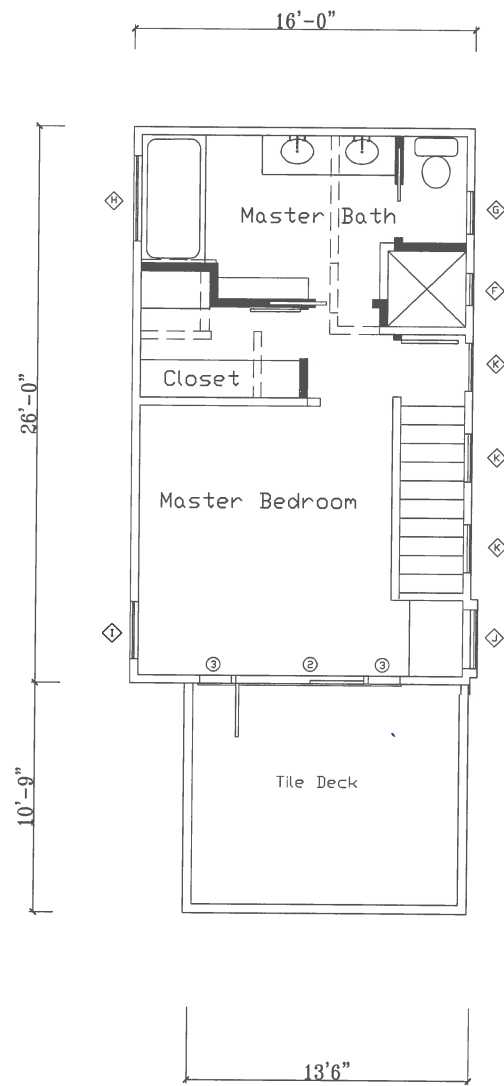
Window and Door Schedule

ID	Width	Height	Type	Quantity	Material	Glazing	Notes
1	4'-0"	3'-6"	Fixed	1	Wood		
2	5'-0"	4'-0"	Casement	1	Wood		
3	5'-0"	4'-0"	Casement	2	Wood	Tempered	
4	5'-0"	3'-4"	Casement	1	Wood		
5	3'-8"	3'-0"	Double Casement	1	Wood		
6	1'-6"	1'-6"	Casement	3	Wood	Tempered	
7	2'-0"	3'-0"	Casement	2	Wood		
8	4'-0"	3'-6"	Double Casement	1	Wood	Tempered	Over Tub
9	2'-8"	3'-0"	Casement	1	Wood		
10	2'-8"	3'-6"	Casement	1	Wood	Tempered	
11	2'-4"	1'-6"	Fixed	3	Wood		
12	5'-0"	3'-0"	Fixed	1	Wood		

Window and Door Schedule

ID	Width	Height	Type	Quantity	Material	Glazing	Notes
1	3'-0"	7'-0"	Entry Door	1	Wood	Tempered	
2	6'-0"	6'-8"	French Door	2	Wood	Tempered	Meets Egress
3	1'-6"	6'-8"	Side Lights	4	Wood	Tempered	
4	6'-0"	6'-8"	French Door	2	Wood	Tempered	Meets Egress
5	2'-8"	6'-8"	Exterior Door	1	Wood	Tempered	
6	8'-0"	7'-6"	Garage Door	1	Wood		

New Wood Windows and Exterior Doors
Proposed to be Painted Wood
manufactured by Sierra Pacific



PAUL WALCHLI
BUILDER & DESIGNER
GENERAL CONTRACTOR

REVISIONS
2-1-20

Minelli Residence
Remodel
Santa Fe 2 NE of Mountain View
Carmel, CA 93921

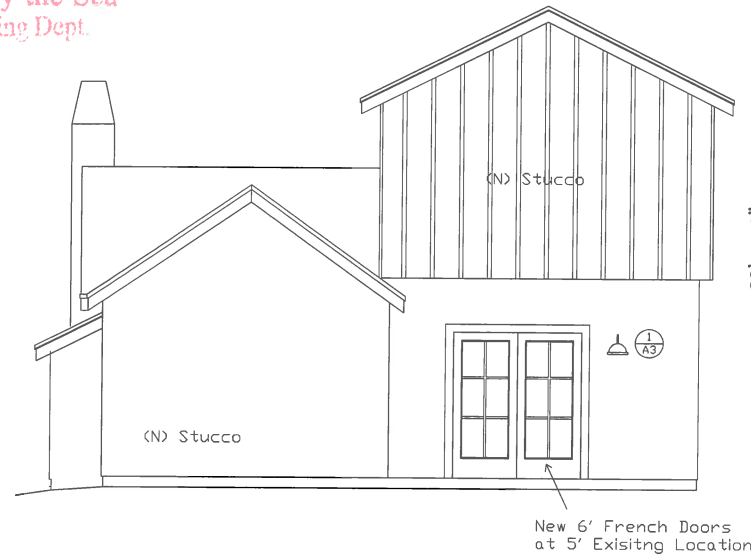
Floor Plan

A2

Owner:
Minelli
Santa Fe
3 NE of Mountain View
Carmel, CA 93921

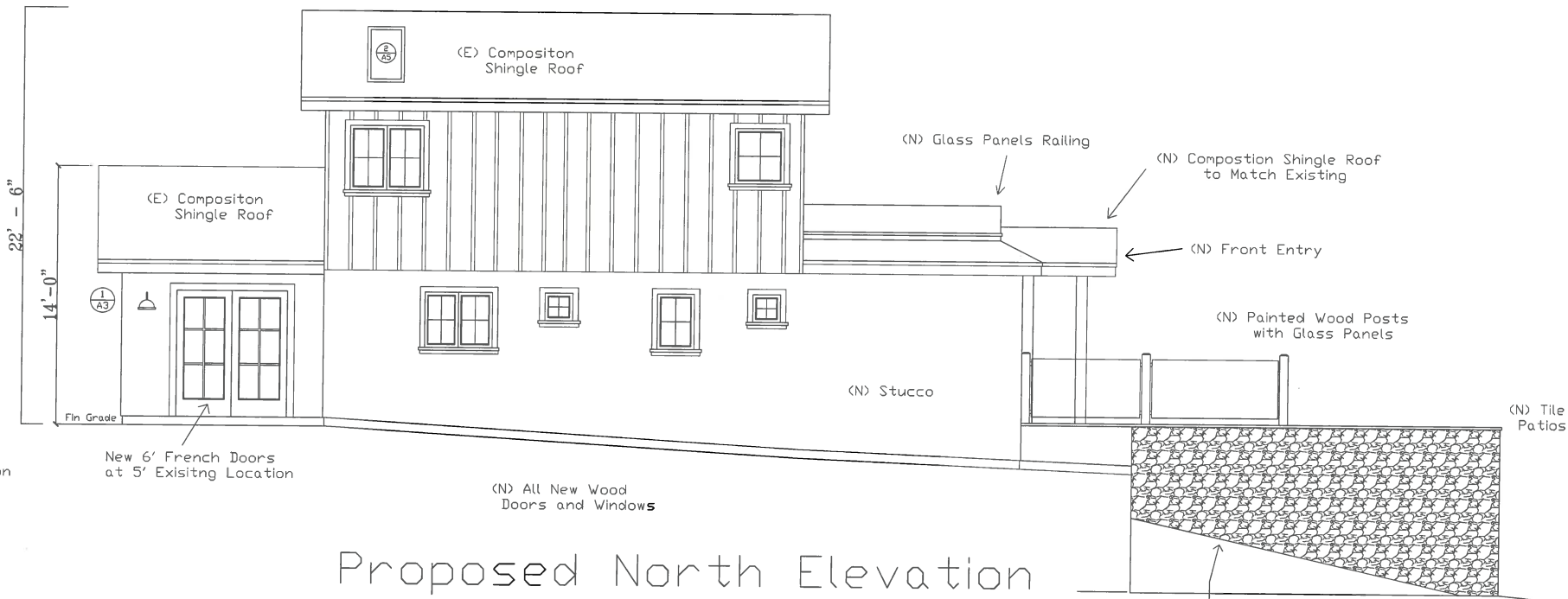
Assessors ID: 010-045-014

Prepared 10-1-19
Revised 2-1-20



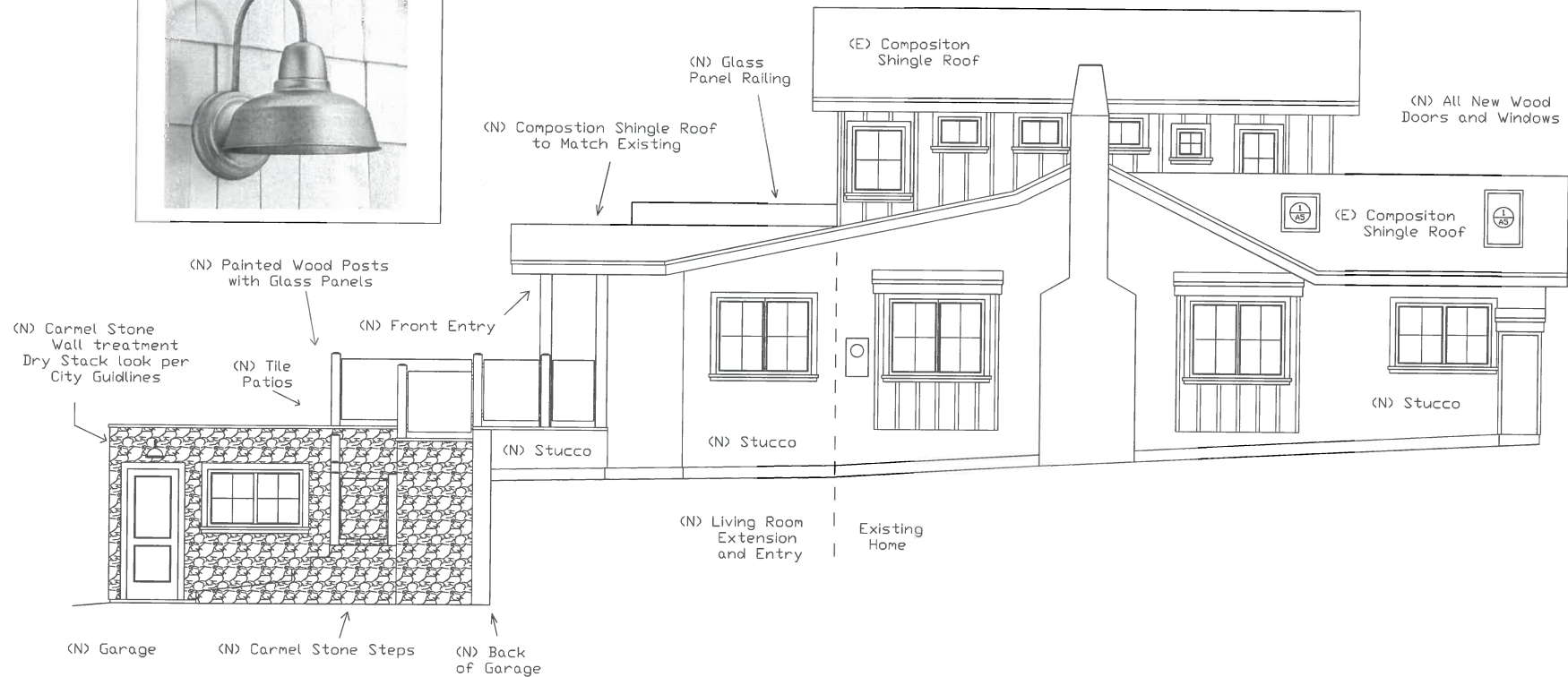
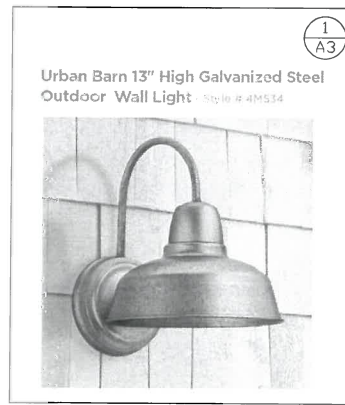
Proposed East Elevation

Scale 1/4" = 1'



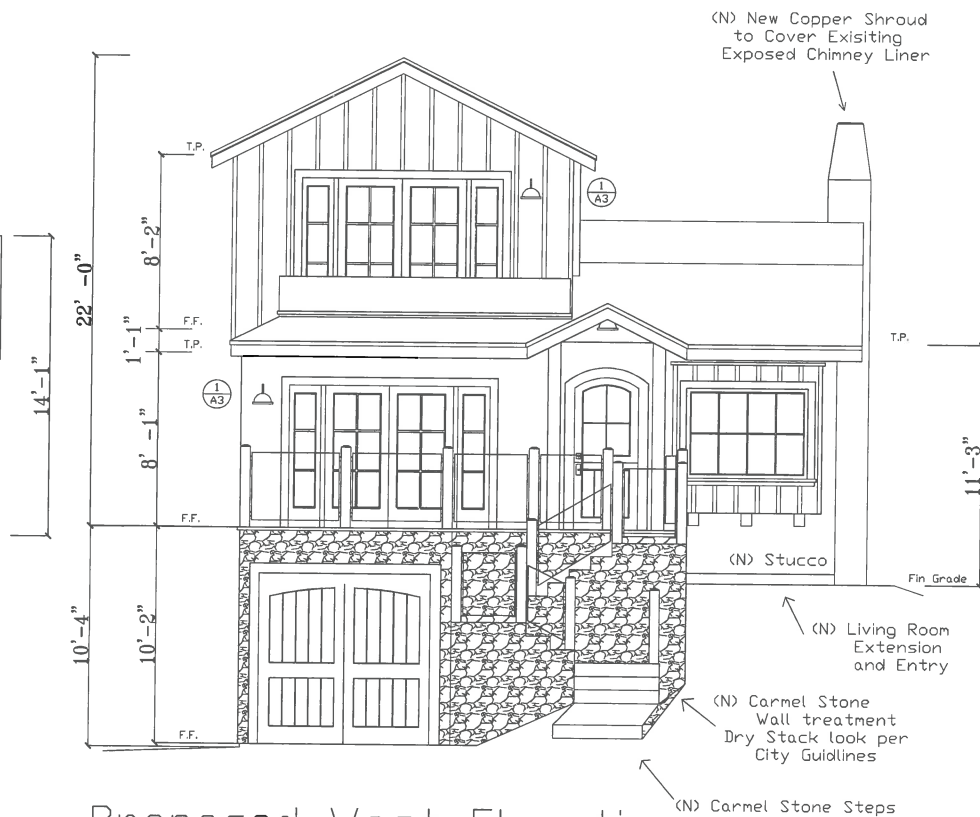
Proposed North Elevation

Scale 1/4" = 1'



Proposed South Elevation

Scale 1/4" = 1'



Proposed West Elevation

Scale 1/4" = 1'

PAUL WALCHLI
BUILDER & DESIGNER
GENERAL CONTRACTOR

REVISIONS
2-1-20

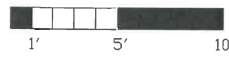
Minelli Residence
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Carmel, CA 93921

Proposed Elevations

A3

Owner:
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Assessors ID: 010-045-014

Prepared 10-1-19
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Planning & Building Dept



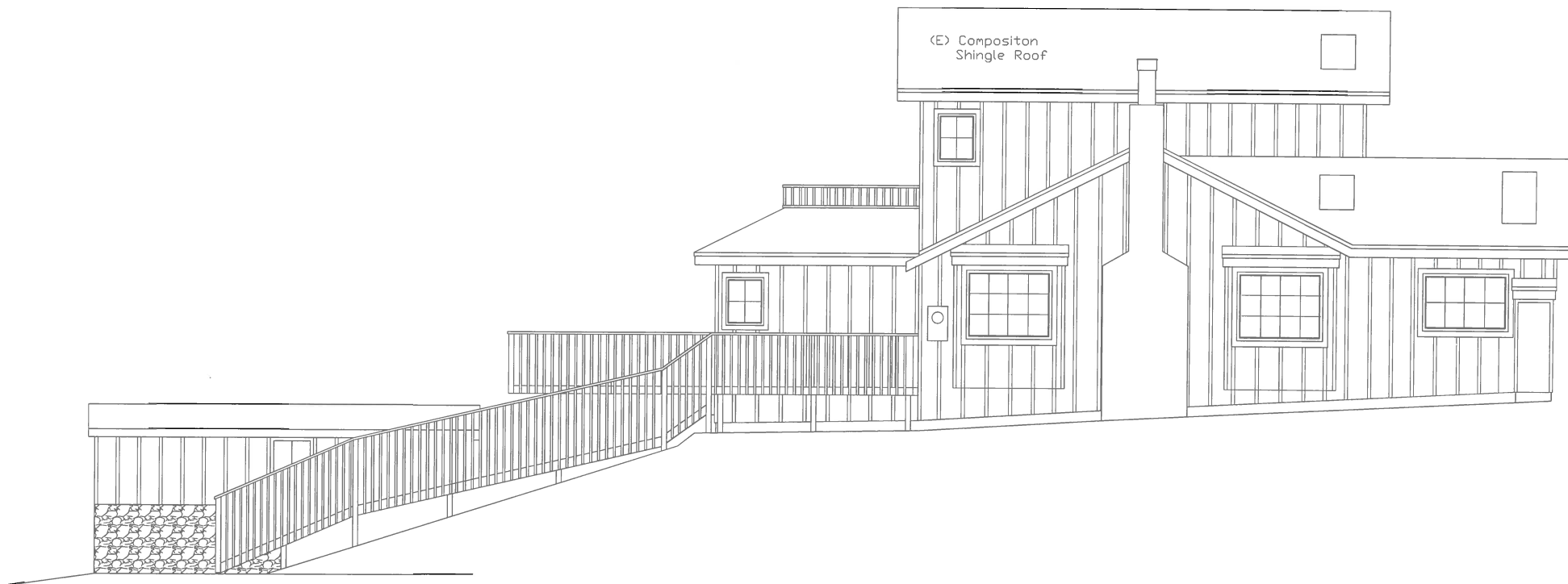
Existing East Elevation

Scale 1/4" = 1'



Existing North Elevation

Scale 1/4" = 1'



Existing South Elevation

Scale 1/4" = 1'



Existing West Elevation

Scale 1/4" = 1'

PAUL
WALCHILI
BUILDER & DESIGNER
GENERAL CONTRACTOR



REVISIONS
2-1-20

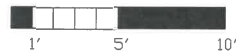
Minelli Residence
Remodel
Santa Fe 2 NE of Mountain View
Carmel, CA 93921

Existing
Elevations

A4

Owner:
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Santa Fe
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Carmel, CA 93921
Assessors ID: 010-045-014

Prepared 10-1-19
Revised 2-1-20



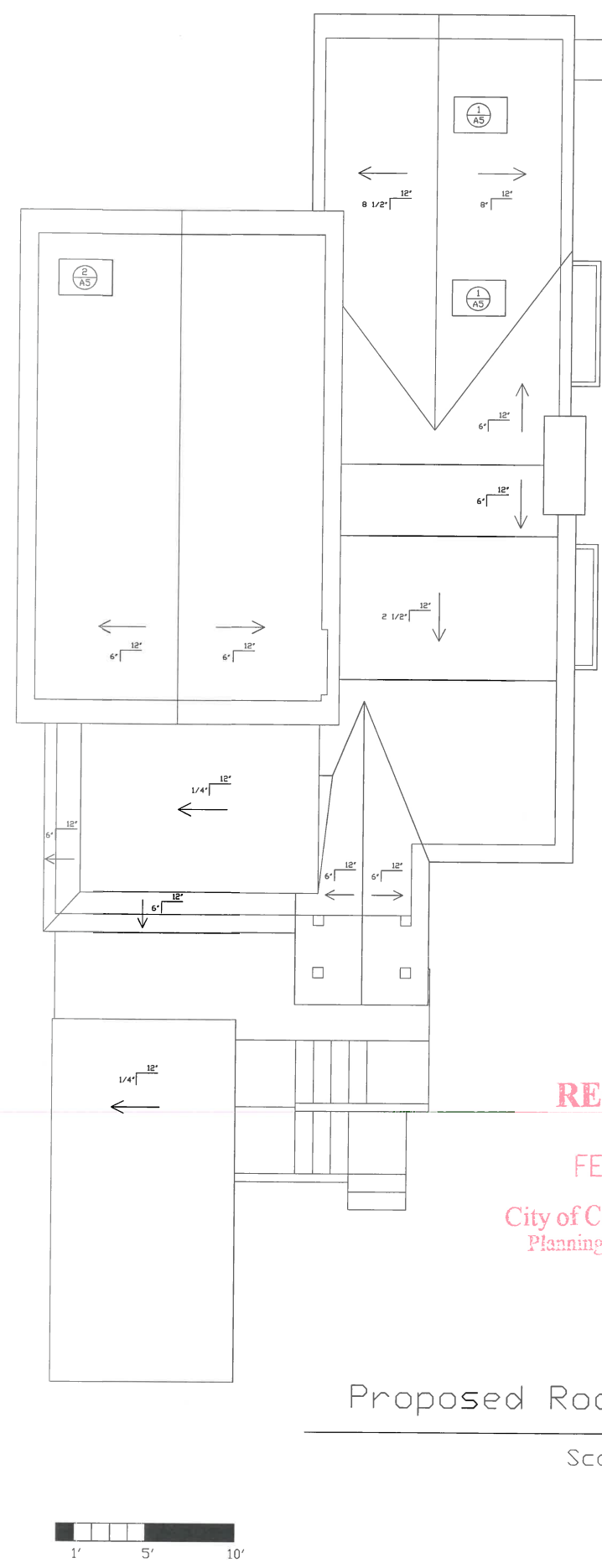
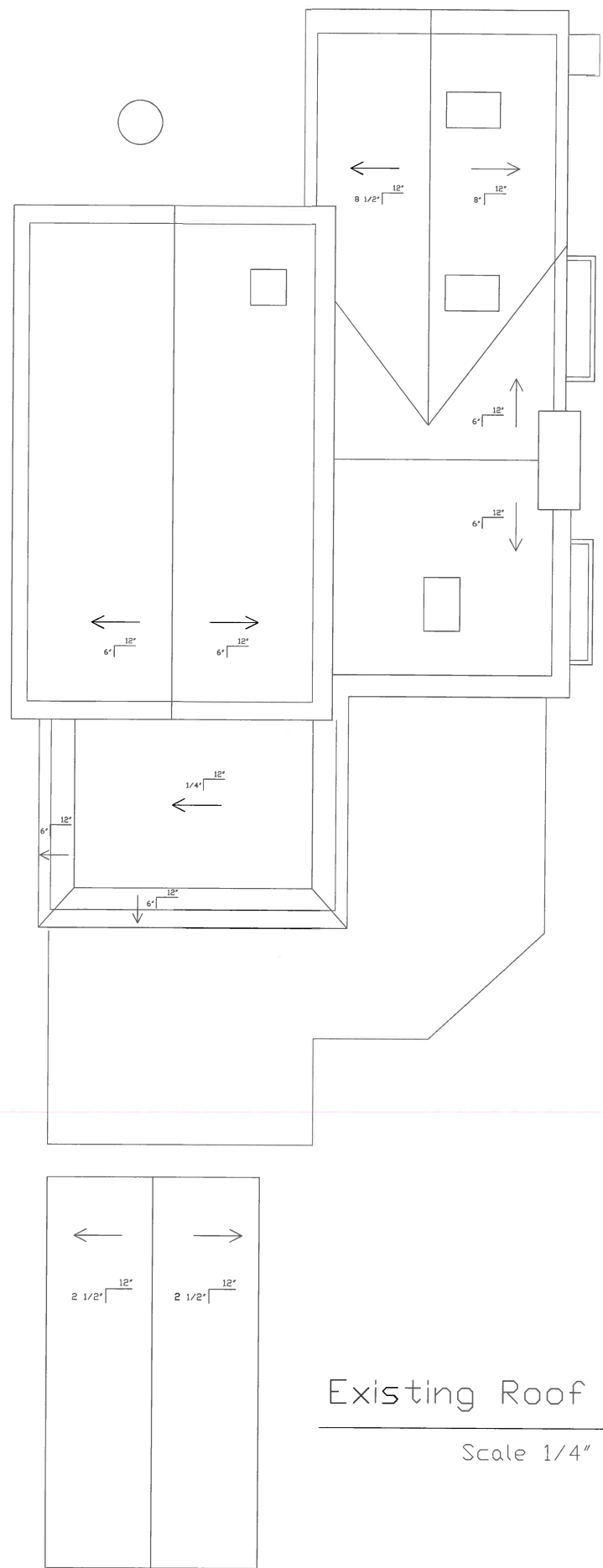


ANTIQUED COBBLE ▶ PAVING STONES 3
A5

Antiqued Cobble

Antiqued Cobble (River Rock) has a rustic cobblestone impression. These unique paving stones are for those that want to create the natural look and feel of a surface that has been aged by time and the elements. Reproducing the natural look and feel of stone, Calstone strives to create random fractures, chips, scratches, broken edges and corners, in the manufacturing of our antiqued products.

Colors: <https://calstone.com/assets/ej> | Photo Gallery: <https://calstone.com/assets/ej> | Patterns: <https://calstone.com/assets/ej> | Hardscape Catalog: <http://calstone.com/catalog/>



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REVISIONS

Minelli Residence
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Floor Plan
A5

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Assessors ID: 010-045-014

Prepared **2-1-20**