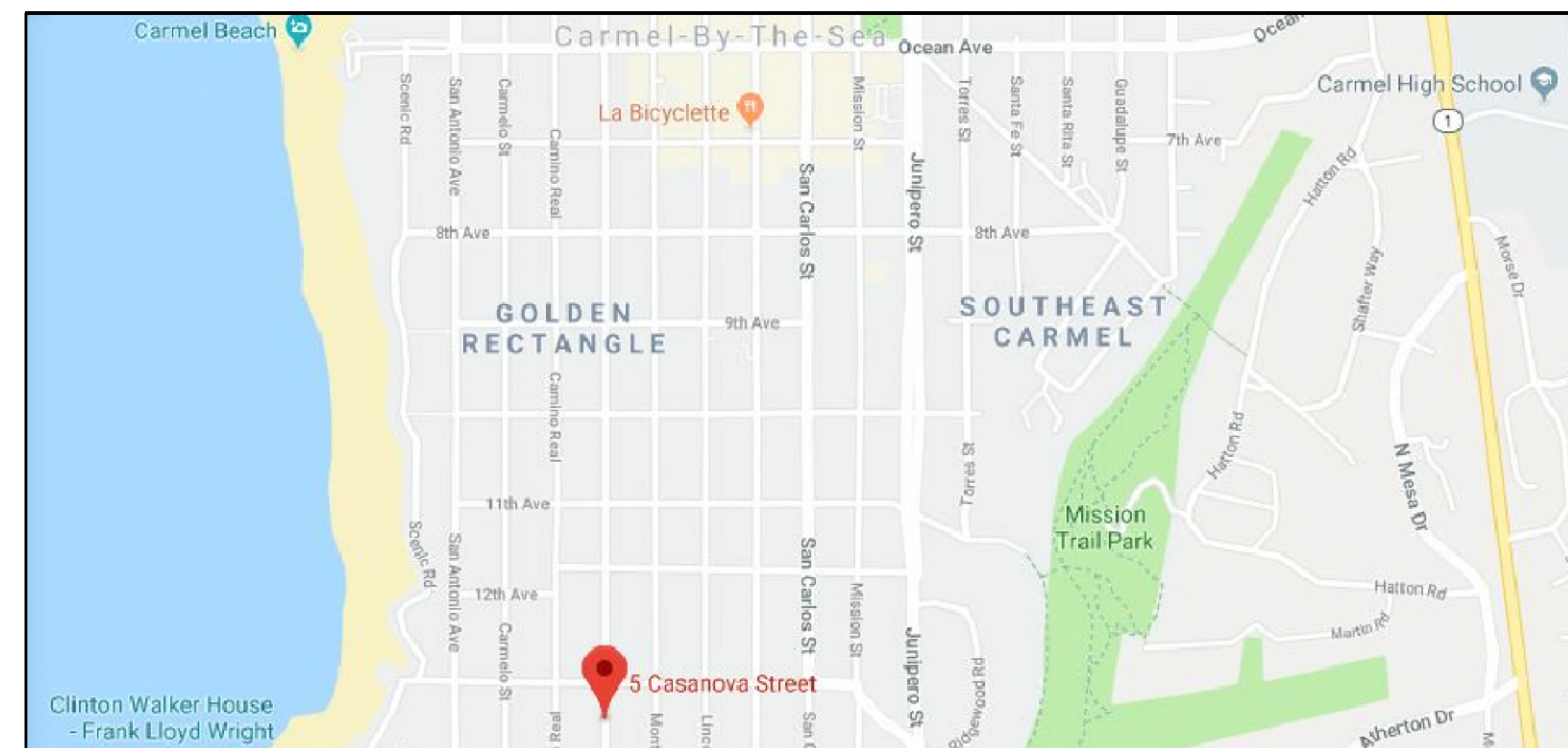


POT D'OR LLC RESIDENCE w/ ACCESSORY DWELLING UNIT

CASANOVA 5 S/E OF 12th STREET
CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROJECT INFORMATION		SHEET INDEX	
ADDRESS: CASANOVA 5 S/E OF 12TH STREET		ARCHITECTURAL	
PROJECT DESCRIPTION: DEMOLISH A EXISTING SINGLE STORY MAIN RESIDENCE & 2 STORY DETACHED GARAGE WITH GUESTHOUSE ABOVE AND PROPOSE A TWO STORY MAIN RESIDENCE WITH ATTACHED 2-CAR GARAGE AND A DETACHED A.D. UNIT. 2 OAKS 12' & 14' ARE TO BE REMOVED		A.0.0 TITLE SHEET	
LOT SIZE: 8,000.00 S.F.		A.1.0 SITE PLAN	
ZONING: R-1		A.1.1 PRELIMINARY SITE ASSESSMENT	
A.P.N.: 010-175-016		A.1.2 DEMOLITION SITE PLAN	
OCCUPANCY GROUP: (RS)		A.1.3 FLOOR LEVEL & AVERAGE GRADE PLAN	
TYPE OF CONSTRUCTION: VB		A.2.0 PROPOSED 1ST FLOOR PLANS	
FLOOR AREA		A.2.1 PROPOSED 2ND FLOOR PLAN	
ALLOWED 40.0%	3,200.00 S.F.	A.2.2 PROPOSED ROOF PLANS	
1ST FLOOR	2,208.00 S.F.	A.3.0 PROPOSED ELEVATIONS	
2ND FLOOR	646.00 S.F.	A.3.1 PROPOSED ELEVATIONS	
GUEST HOUSE	246.00 S.F.	A.3.2 PROPOSED ELEVATIONS	
TOTAL: 40.0%	3,200.00 S.F.	A.3.3 STREETScape ELEVATIONS	
SITE COVERAGE		A.3.4 EXISTING ELEVATIONS	
ALLOWED (WITH BONUSES)	495.0 S.F.	A.3.5 EXISTING ELEVATIONS	
PERVIOUS / SEMI-PERVIOUS		A.4.0 WINDOW & DOOR SCHEDULE	
DRIVEWAY	441.00 S.F.	L.1.0 PROPOSED LANDSCAPE PLAN	
WEST DECK	274.00 S.F.		
IMPERVIOUS			
ENTRY WALK & STOOP	86.00 S.F.		
NORTH PATIO	122.00 S.F.		
TOTAL:	475.00 S.F.		
HEIGHT LIMIT:	24'-0"		
TREE REMOVAL:	(2) OAKS - 12' & 14'		
OWNER: Pot D'or LLC P.O. BOX 4915 CARMEL, CA 93921			
DESIGNER: CHARLES MANDURRAGO MANDURRAGO & ASSOCIATES P.O. BOX 1504 CARMEL, CA 93921			
PARCEL MAP			

VICINITY MAP:



MANDURRAGO
&
ASSOCIATES

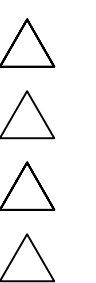


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PHONE: 831 935-0709
EMAIL: CHARLES@MANDURRAGO.NET

DRAWN BY: MANDURRAGO

DRAWING DATE: 4-10-20

REVISIONS:



PROJECT:

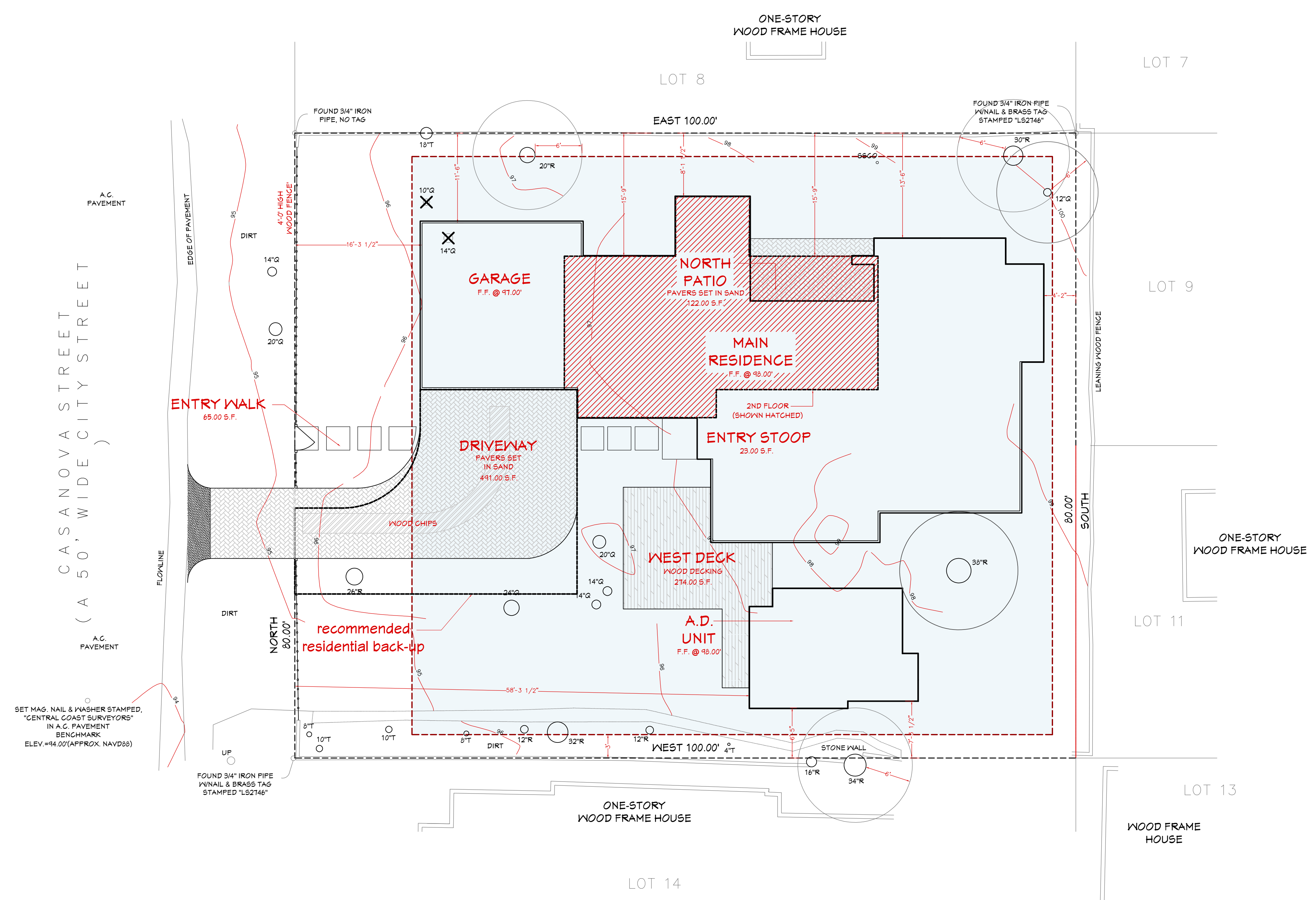
Pot D'or LLC
RESIDENCE w/ A.D. UNIT
CASANOVA ST.
5 S/E OF 12TH
CARMEL, CA 93921
APN: 010-175-016

OWNER:

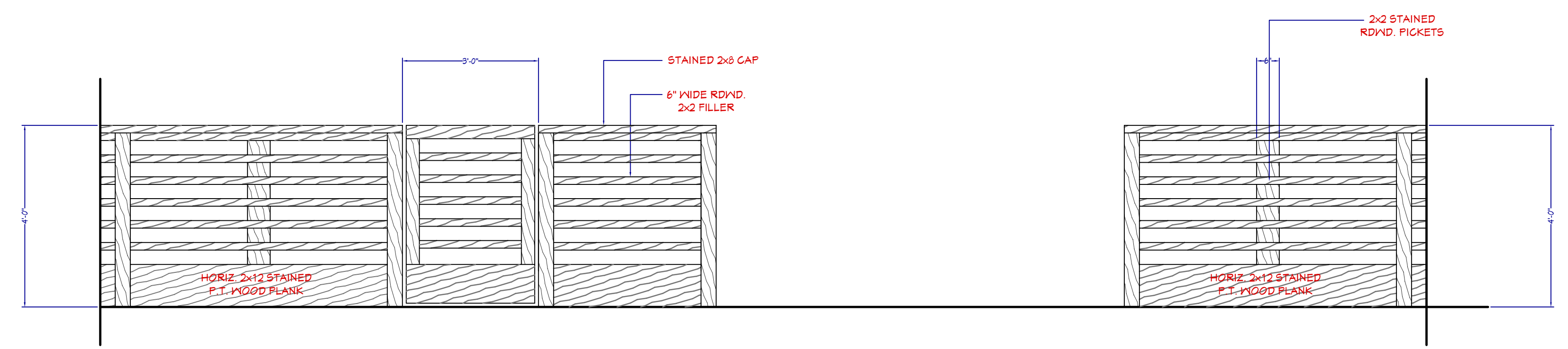
Pot D'or LLC
P.O. BOX 4915
CARMEL, CA 93921

SHEET NUMBER:

A0.0



SET MAG. NAIL & WASHER STAMPED,
"CENTRAL COAST SURVEYORS"
IN A.C. PAVEMENT
BENCHMARK
ELEV. = +14.00' (APPROX. NAVD83)



PROPOSED FENCE



PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"
0 2' 4' 8' 12'

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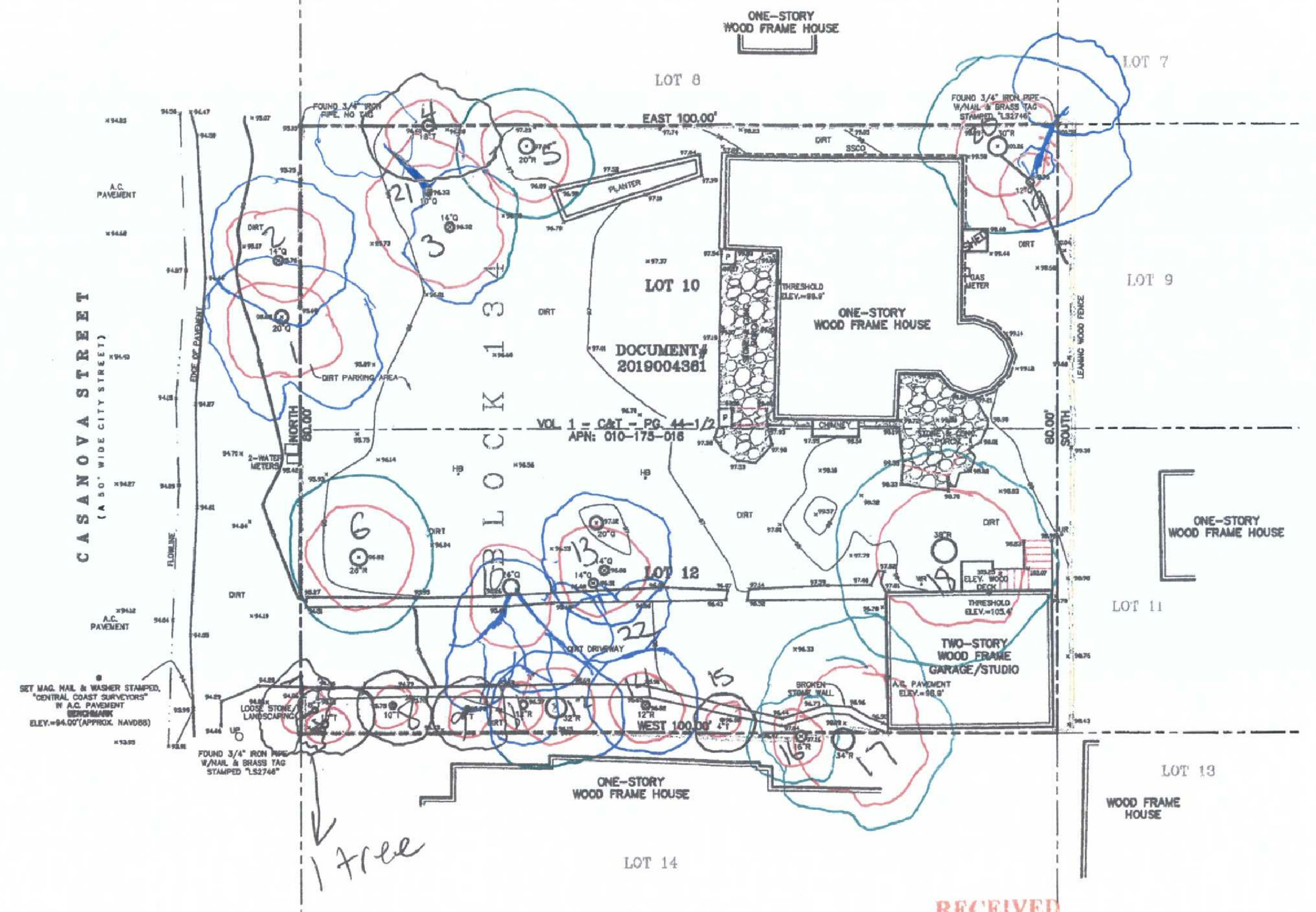
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SHEET NUMBER:

A1.0



- LEGEND:**
- HB HOSEBIB
 - P PILLAR
 - UP UTILITY POLE
 - WR WATER RESER
 - DENOTES A 12" DIA. TREE (TYP.)
 - DENOTES A 12" DIA. OAK TREE (TYP.)
 - DENOTES A 12" DIA. REDWOOD TREE (TYP.)
 - DENOTES A STEP
 - DENOTES A WOOD FENCE
 - DENOTES A STONE & CONCRETE WALL DASHED IS APPROX.

- NOTES:**
1. ALL DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 2. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
 3. ELEVATIONS SHOWN ARE BASED ON AN ASSUMED DATUM THAT APPROXIMATES THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). PROJECT BENCHMARK IS A MAG. NAIL & STAINLESS STEEL WASHER STAMPED "CENTRAL COAST SURVEYORS" SET IN ELEVATION = 94.00 FEET (APPROX. NAVD88)
 4. CONTOUR INTERVAL = ONE FOOT.
 5. TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 8" ARE NOT SHOWN.

TOPOGRAPHIC MAP
 OF
 THE PARCEL DESCRIBED IN
 DOCUMENT# 201904361
 BEING LOTS 10 & 12 IN BLOCK 134
 AS SHOWN ON THE
 "MAP OF ADDITION NUMBER TWO..."
 FILED IN, VOL. 1 - C&T - PG. 44-1/2
 OFFICIAL RECORDS OF MONTEREY COUNTY
 CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR
Chris Tescher

BY
CENTRAL COAST SURVEYORS
 5 HARRIS COURT, SUITE 14-11 MONTEREY, CALIFORNIA 93940
 Phone: (831) 384-4930
 Fax: (831) 384-4931

SCALE: 1" = 8" JOB No. 19-28 APRIL 2019
 PREPARED BY: LLS
 APN: 010-175-016

RECEIVED
 APR 08 2019
 City of Carmel-by-the-Sea
 Planning & Building Dept



4/6/19

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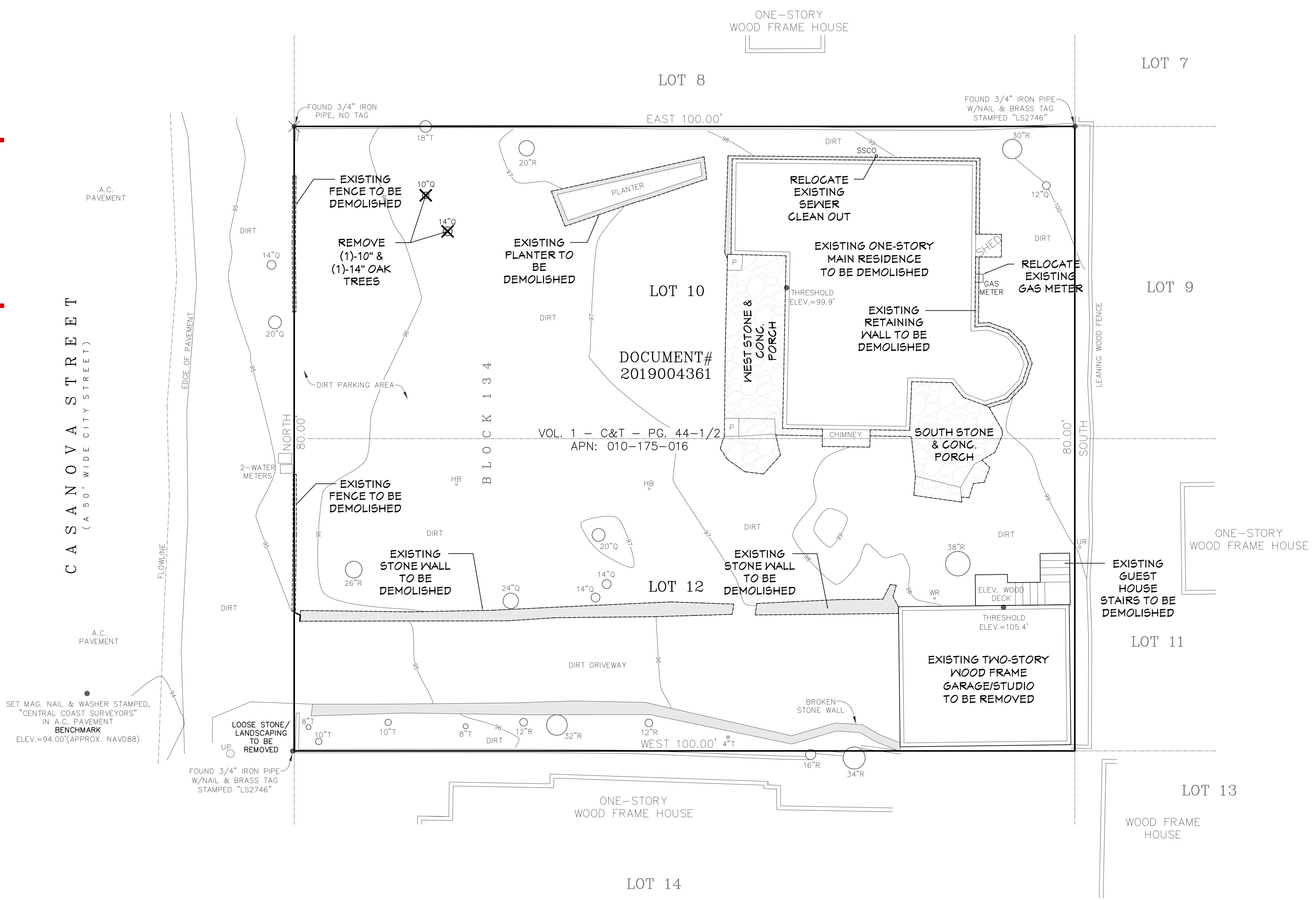
A1.1

EXISTING FLOOR AREA:

MAIN RESIDENCE	
EXISTING MAIN RESIDENCE	950.00 S.F.
DETACHED GARAGE w/ GUEST HOUSE ABOVE	
GARAGE	342.00 S.F.
GUEST HOUSE	342.00 S.F.
<hr/>	
EXISTING TOTAL	1,734.00 S.F.

EXISTING SITE COVERAGE:

IMPERVIOUS	
WEST STONE & CONC. PORCH (IMPERV.)	207.00 S.F.
SOUTH STONE & CONC. PORCH (IMPERV.)	141.00 S.F.
PERVIOUS	
WEST STONE & CONC. PORCH (PERV.)	54.00 S.F.
<hr/>	
EXISTING TOTAL	402.00 S.F.



**DEMOLITION
SITE PLAN**

SCALE: 1/8" = 1'-0"
0 2' 4' 8' 12'

**MANDURRAGO
&
ASSOCIATES**



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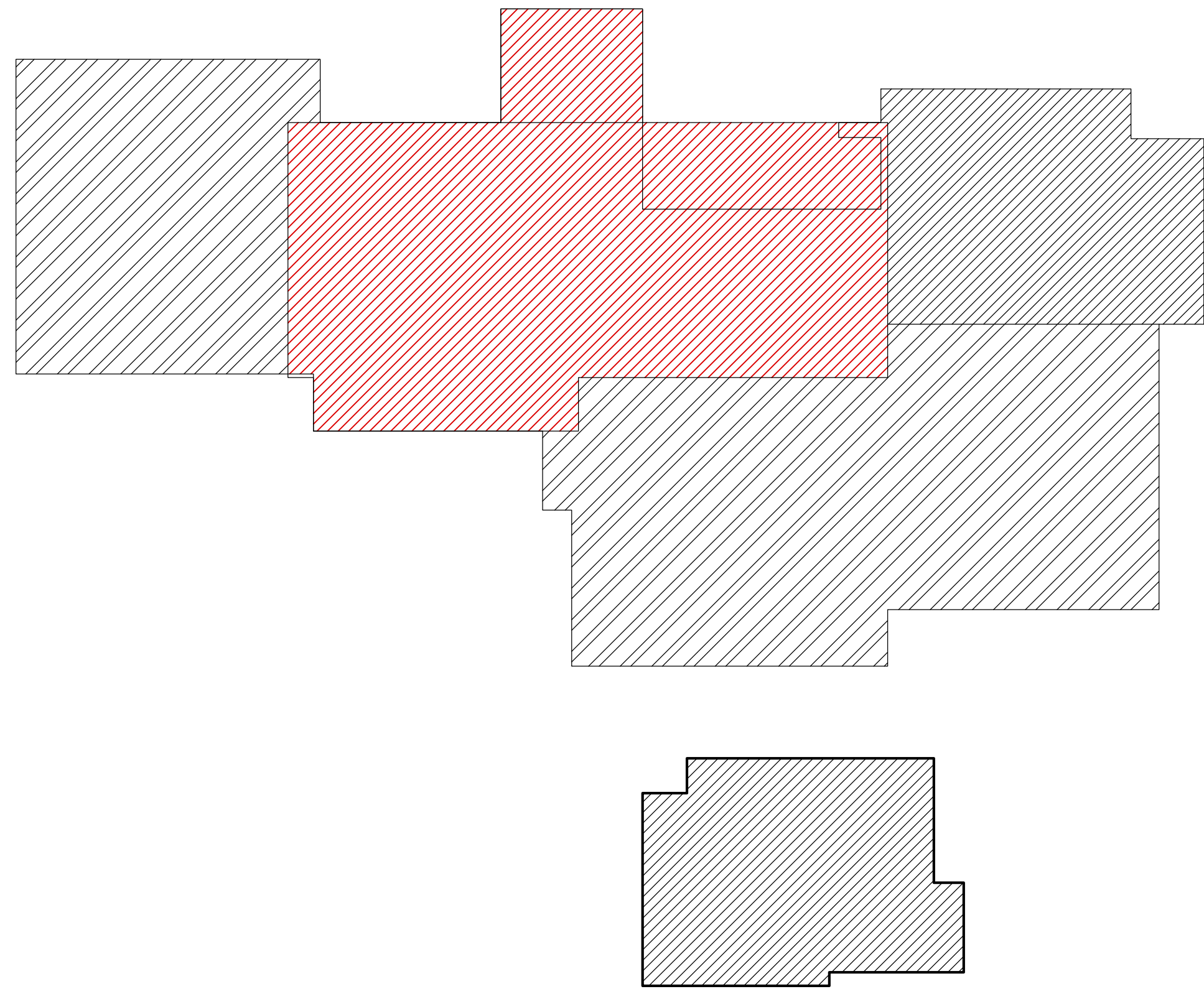
- REVISIONS:
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SHEET NUMBER:

A1.2

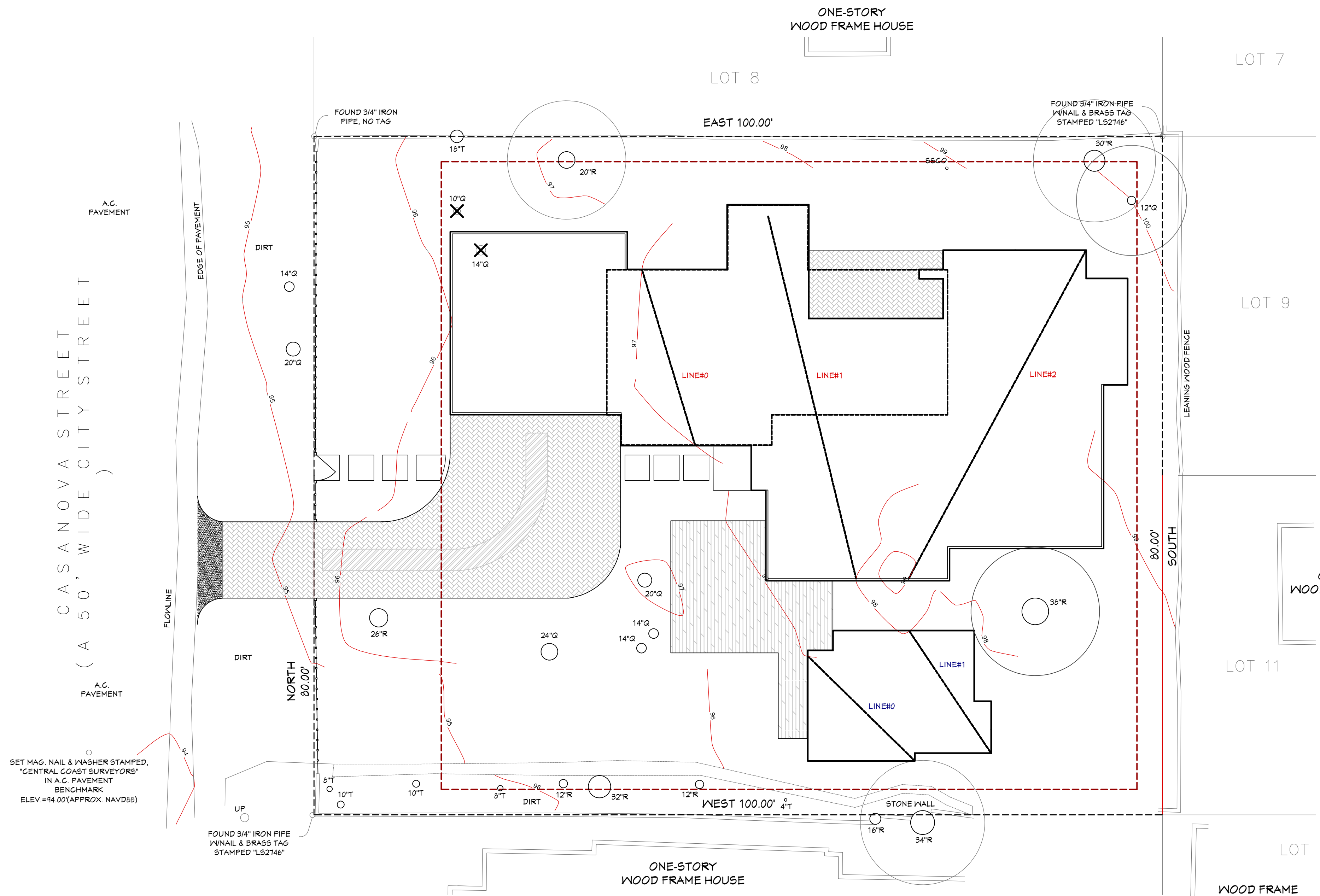


FLOOR LEVEL PLAN

SCALE: 1/8" = 1'-0"
 0 2' 4' 8' 12'

FLOOR LEVEL LEGEND

- LOCATED UNDER A PITCHED OR SLOPING ROOF GREATER THAN 3:12 PITCH
 - 1ST STORY MULTIPLY BY 12
 - 2ND STORY MULTIPLY BY 11
- LOCATED UNDER A FLAT ROOFED AREA OF THE BUILDING 3:12 OR LESS PITCH
 - 1ST STORY MULTIPLY BY 11
 - 2ND STORY MULTIPLY BY 10
- 1ST FLOOR GREAT THAN 3:12 $614.0 \text{ S.F.} \times 12 = 7,368.0 \text{ CU.FT}$
- 2ND FLOOR GREAT THAN 3:12 $823 \text{ S.F.} \times 11 = 9,053.0 \text{ CU.FT}$
- 1ST FLOOR LESS THAN 3:12 $1,885.0 \text{ S.F.} \times 11 = 20,735.0 \text{ CU.FT}$
- 2ND FLOOR LESS THAN 3:12 $5 \text{ S.F.} \times 10 = \text{-- CU.FT}$
- ALLOWED = 31,196.0 CU.FT.
- 3% bonus = 88.80 CU.FT.
- PROPOSED = 34,436.2 CU.FT.



17.06.020 Rules of Measurement.

"AVERAGE GRADE" IS A HORIZONTAL LINE APPROXIMATING THE GROUND ELEVATION THROUGH EACH BUILDING ON A SITE, USED FOR CALCULATING THE EXTERIOR VOLUMES OF BUILDINGS. AVERAGE GRADE IS CALCULATED SEPARATELY FOR EACH BUILDING. AVERAGE GRADE IS CALCULATED IN FOUR STEPS:

1. PLOT THE GROUND LEVEL PERIMETER OF THE BUILDING ON A TOPOGRAPHIC MAP OF THE SITE USING ONE-FOOT CONTOUR INTERVALS. ASSIGN AN ELEVATION OF "ZERO" FOR THE LOWEST CONTOUR LINE THAT PASSES THROUGH THE BUILDING PERIMETER.
2. FOR EACH CONTOUR LINE THAT INTERSECTS THE BUILDING PERIMETER, DRAW A STRAIGHT LINE THROUGH THE BUILDING THAT CONNECTS THE POINT OF INTERSECTION TO WHERE THE SAME CONTOUR LINE EMERGES FROM THE BUILDING PERIMETER (SEE FIGURE 14, BELOW).
3. FOR EACH LINE DRAWN IN STEP 2, MULTIPLY ITS LENGTH BY ITS ELEVATION (ABOVE THE "ZERO" CONTOUR LINE) AND THEN SUM ALL RESULTS.
4. DIVIDE THE SUM FROM STEP 3 BY THE SUM OF THE LENGTHS OF ALL LINES DRAWN. THE RESULTING ELEVATION ABOVE THE "ZERO" CONTOUR LINE IS EXTENDED AS A HORIZONTAL LINE THROUGH THE BUILDING AS AVERAGE GRADE.

6. EXTERIOR VOLUME. THE MAXIMUM ALLOWABLE EXTERIOR VOLUME IS CALCULATED BY MULTIPLYING A VOLUME FACTOR IN G.M.C. 17.10.030(C) BY THE ALLOWED BASE FLOOR AREA, SUBJECT TO THE FOLLOWING:

1. EXTERIOR VOLUME IS EXPRESSED IN CUBIC FEET AND IS MEASURED FROM THE EXTERIOR WALL AND ROOF SURFACES OF EACH BUILDING. THE EXTERIOR VOLUME OF THE BUILDING SHALL BE BASED ON THE HEIGHT OF THE EXTERIOR WALLS ABOVE BOTH THE AVERAGE EXISTING GRADE AND THE AVERAGE FINAL GRADE. WHERE THE AVERAGE GRADE LINE LIES BELOW A BUILDING, THE EXTERIOR WALLS OF THE BUILDING ARE PROJECTED DOWN TO AVERAGE GRADE TO CALCULATE ITS VOLUME. PORTIONS OF A BUILDING LOCATED BELOW AVERAGE GRADE ARE EXCLUDED FROM EXTERIOR VOLUME.
2. EXTERIOR VOLUME INCLUDES ALL DWELLINGS, GUESTHOUSES, SUBORDINATE UNITS, GARAGES, CARPORTS, CHIMNEYS, STORAGE SHEDS, PROJECTING WINDOWS AND COVERED PORCHES.
3. EXTERIOR VOLUME ALSO INCLUDES THE VOLUMES IN AND UNDER ANY ATTACHED OR FREESTANDING ARBOR OR TRELLIS AND UNDER THAT PORTION OF ANY ROOF EAVE EXTENDING MORE THAN 18 INCHES FROM THE FACE OF ANY BUILDING.
4. DECKS OR BALCONIES WITH A WALKING SURFACE MORE THAN THREE FEET ABOVE FINAL GRADE SHALL COUNT AS EXTERIOR VOLUME AS MEASURED FROM THE DECK SURFACE TO THE TOP OF ANY RAIL OR ENCLOSING WALL. ANY DECK OR BALCONY WITH A FLOOR LEVEL LESS THAN THREE FEET ABOVE FINAL GRADE WILL BE EXCLUDED FROM THE VOLUME TOTAL.

MAIN RESIDENCE	
ELEVATION	STEPS
9T=0	21.60' x 0 = 0'
9B=1	43.90' x 1 = 43.90'
9B=2	43.90' x 2 = 87.80'
SUMLENGTH	141.70 / 104.40' = 1.30'
ELEV. of 0	1.30' + 9T = 98.30'
AVG. GRADE	98.30'

GUEST HOUSE	
ELEVATION	STEPS
9T=0	17.50' x 0 = 0
9B=1	17.20' x 1 = 17.20'
SUMLENGTH	17.20' / 34.70'
ELEV. of 0	50' + 9T = 97.50'
AVG. GRADE	97.50'

AVERAGE GRADE PLAN

SCALE: 1/8" = 1'-0"
 0 2' 4' 8' 12'



MANDURRAGO & ASSOCIATES



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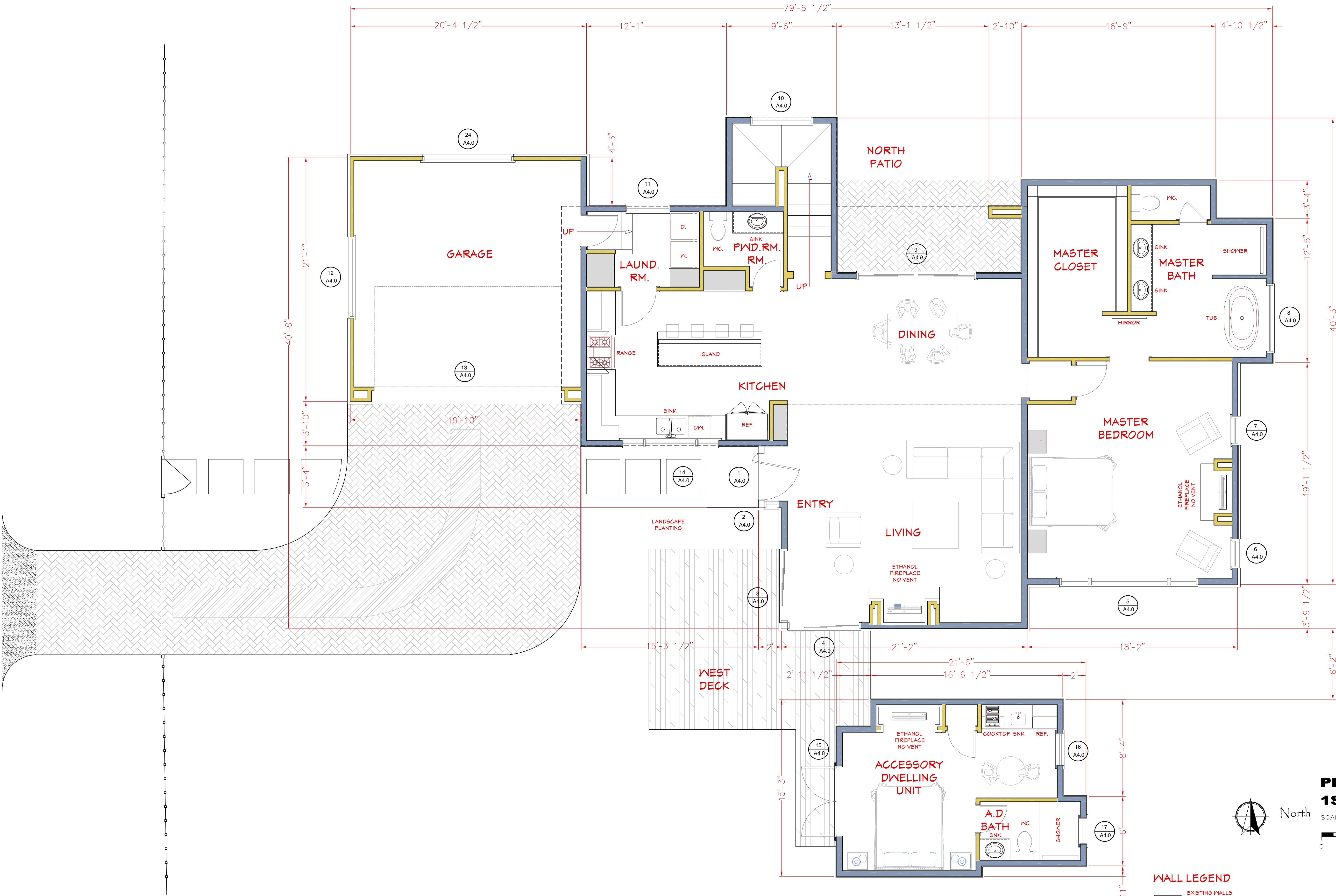
- REVISIONS:
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PROJECT:
 Pot D'or LLC
 RESIDENCE w/ A.D. UNIT
 CASANOVA ST.
 5 S/E OF 12TH
 CARMEL, CA. 93921
 APN: 010-175-016

OWNER:
 Pot D'or LLC
 P.O. BOX 4915
 CARMEL, CA. 93921

SHEET NUMBER:

A1.3



- WALL LEGEND**
- EXISTING WALLS
 - NEW 2x4 WALLS
 - NEW 2x6 WALLS
 - NEW HALF WALLS
 - WALLS TO BE REMOVED

PROPOSED 1ST FLOOR PLANS
 SCALE: 1/4" = 1'-0"
 0 2' 4' 8' 12'

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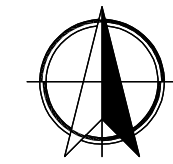
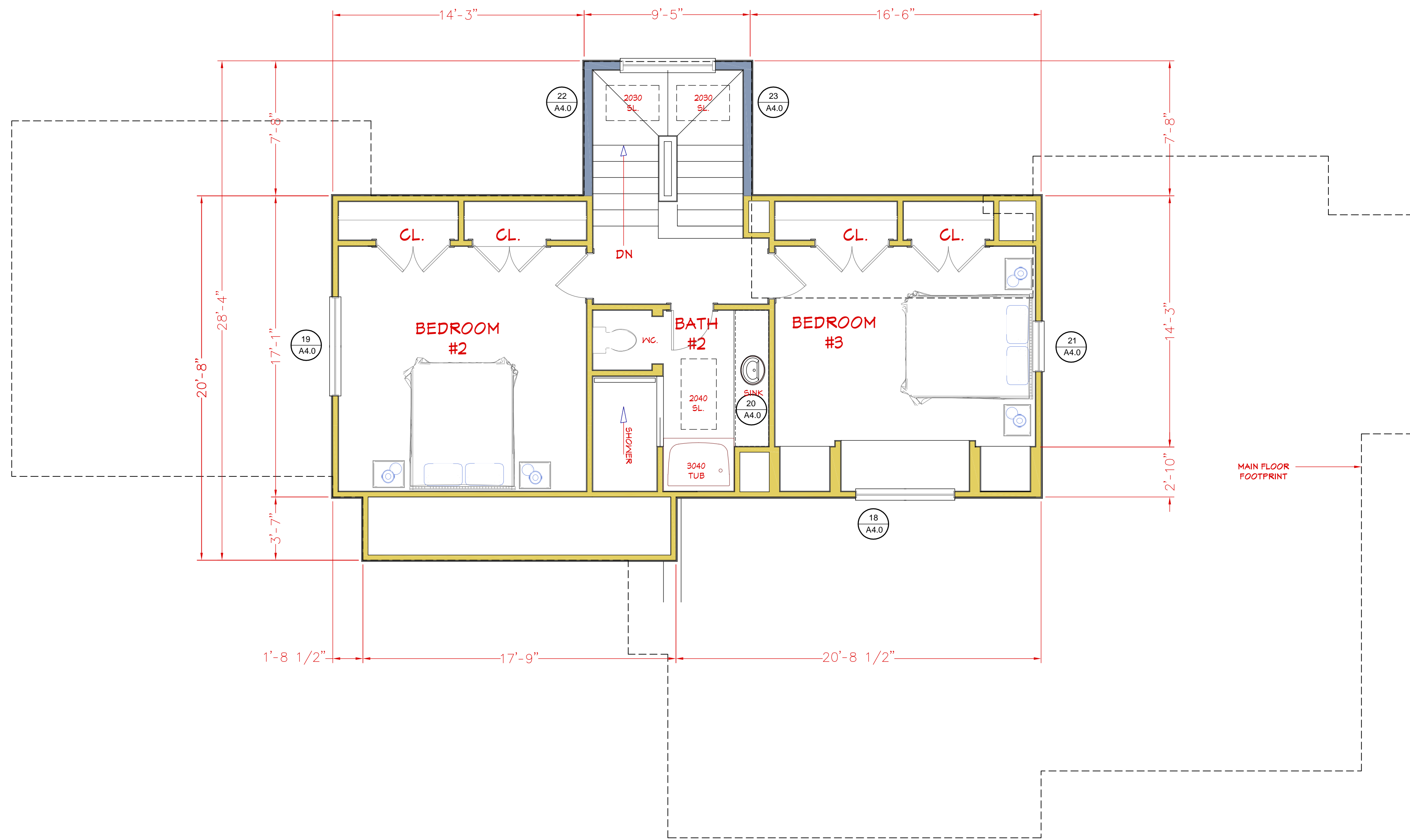
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SHEET NUMBER:

A2.0



North

**PROPOSED
2ND FLOOR PLAN**

SCALE: 1/4" = 1'-0"



WALL LEGEND

- EXISTING WALLS
- NEW 2x4 WALLS
- NEW 2x6 WALLS
- NEW HALF WALLS
- WALLS TO BE REMOVED

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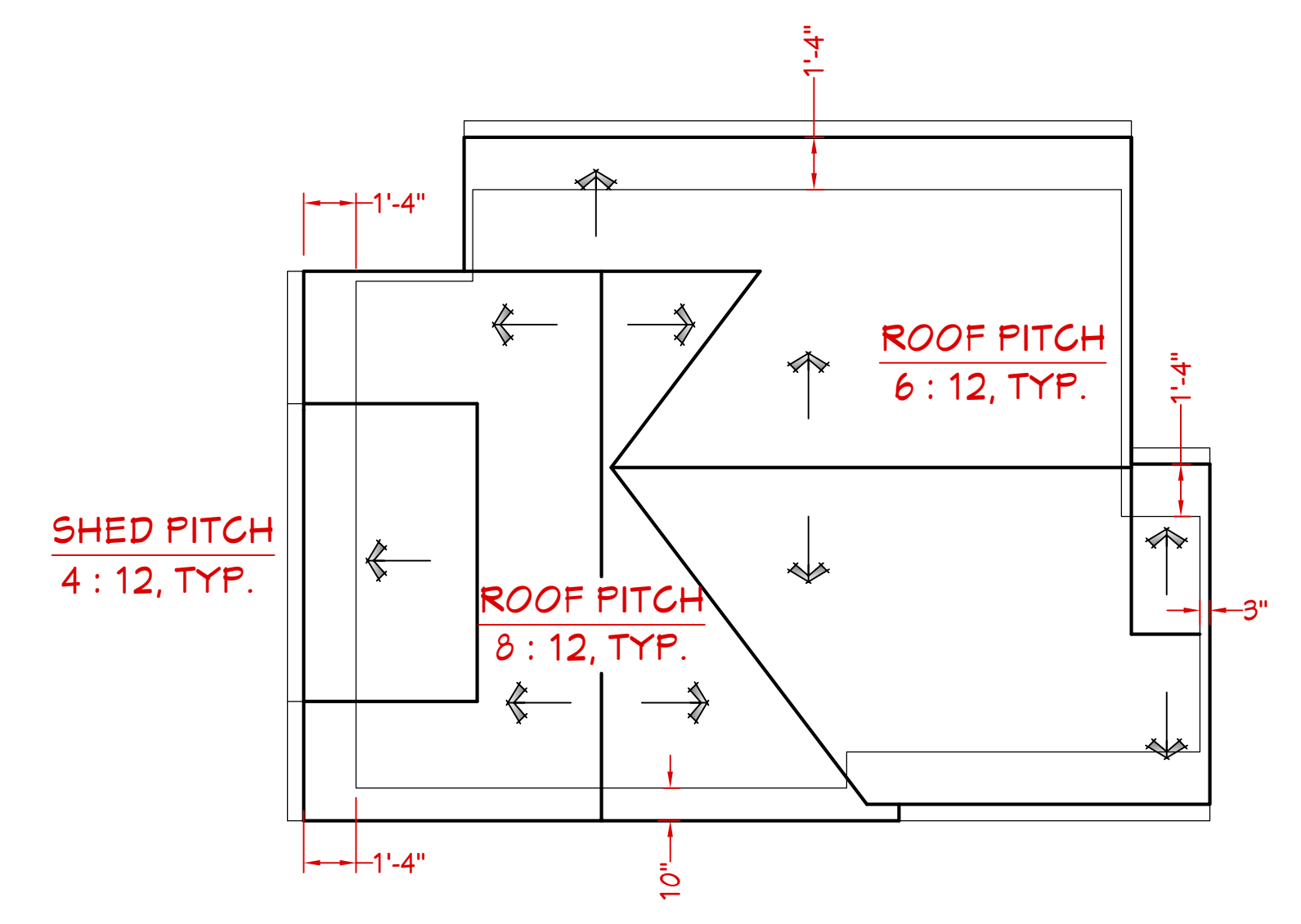
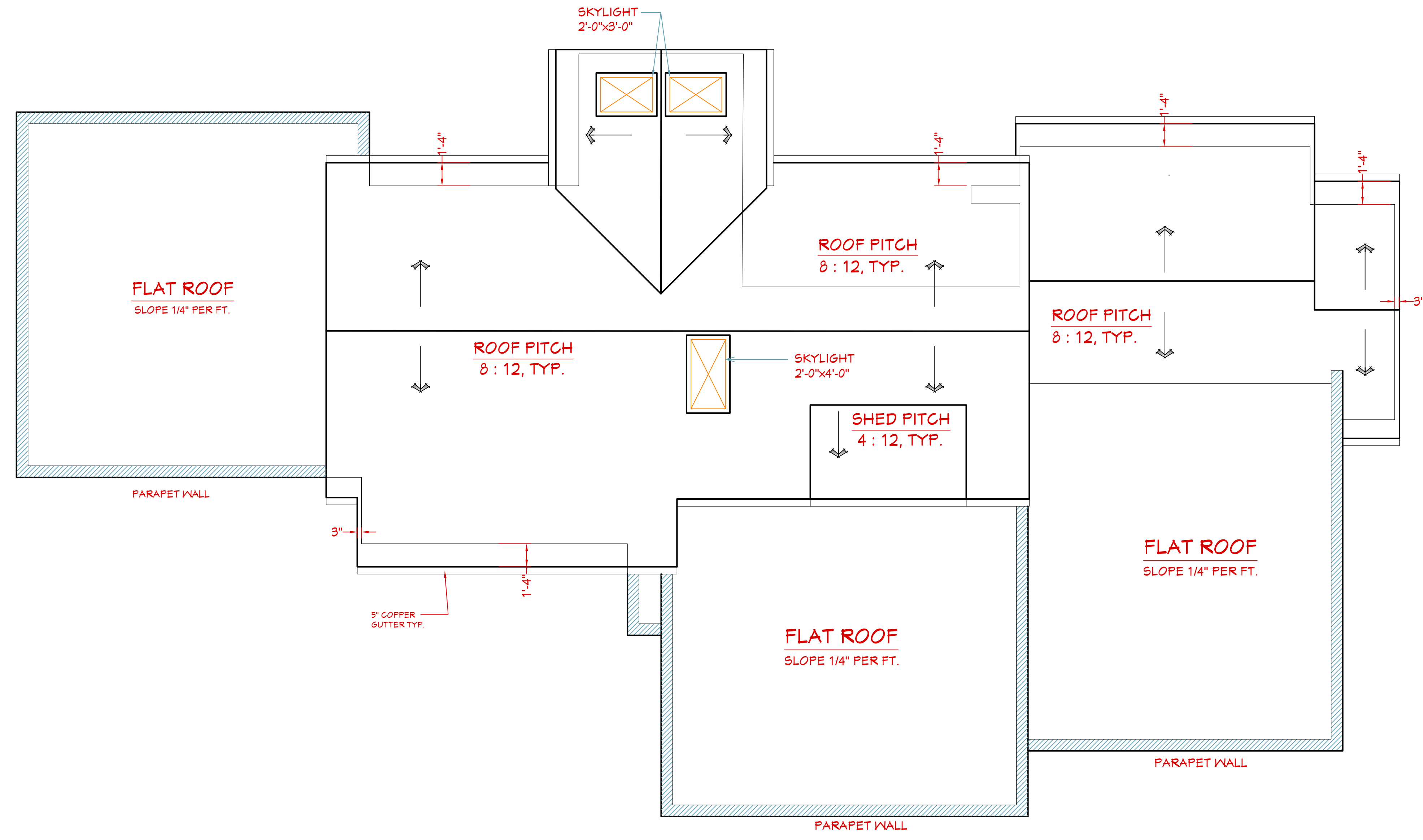
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OWNER:

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SHEET NUMBER:

A2.1



**PROPOSED
ROOF PLANS**
SCALE: 1/4" = 1'-0"
0 2' 4' 8' 12'

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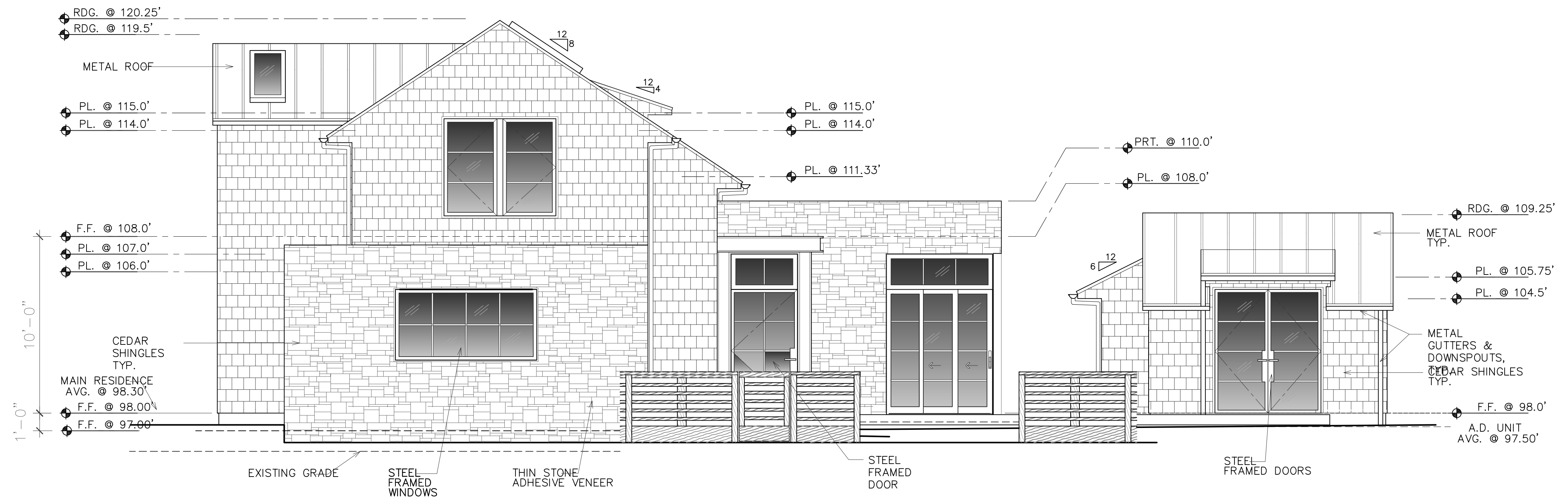
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SHEET NUMBER:

A2.2



**PROPOSED
WEST ELEVATION**



**PROPOSED
SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



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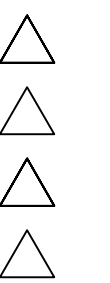


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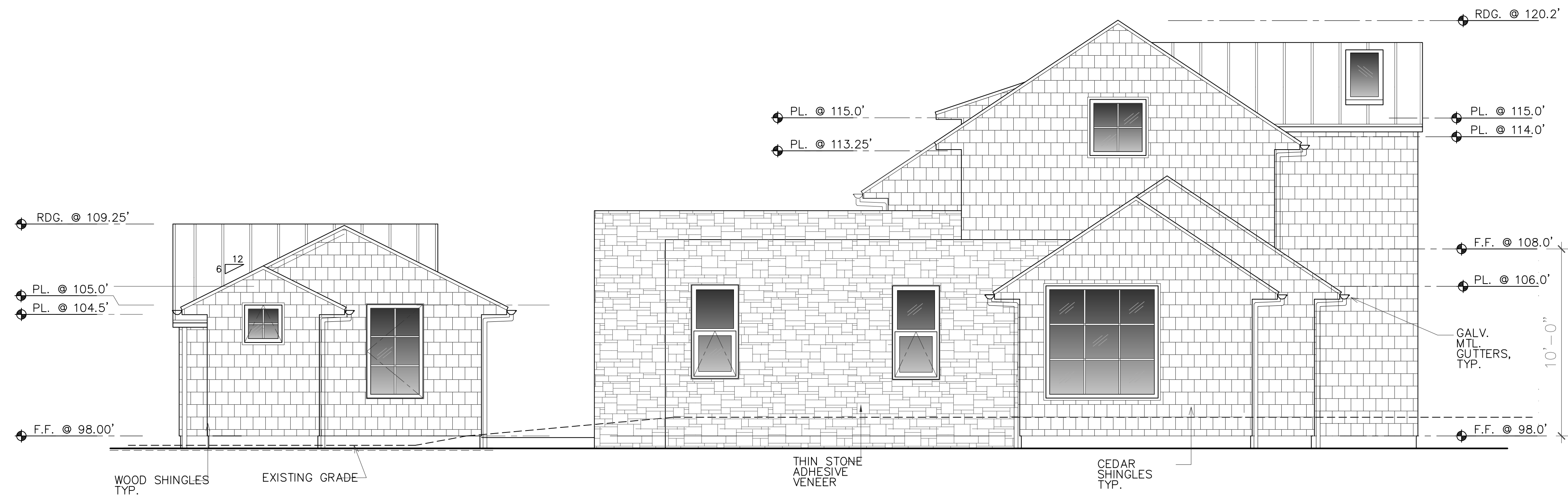
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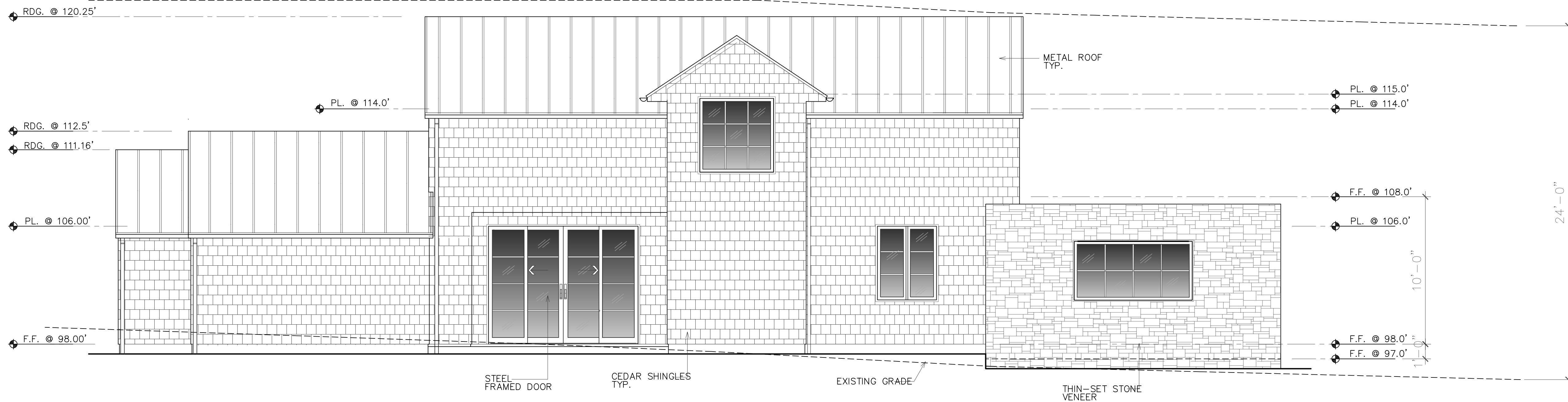
SHEET NUMBER:

A3.0



**PROPOSED
EAST ELEVATION**

SCALE: 1/4" = 1'-0"



**PROPOSED
NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



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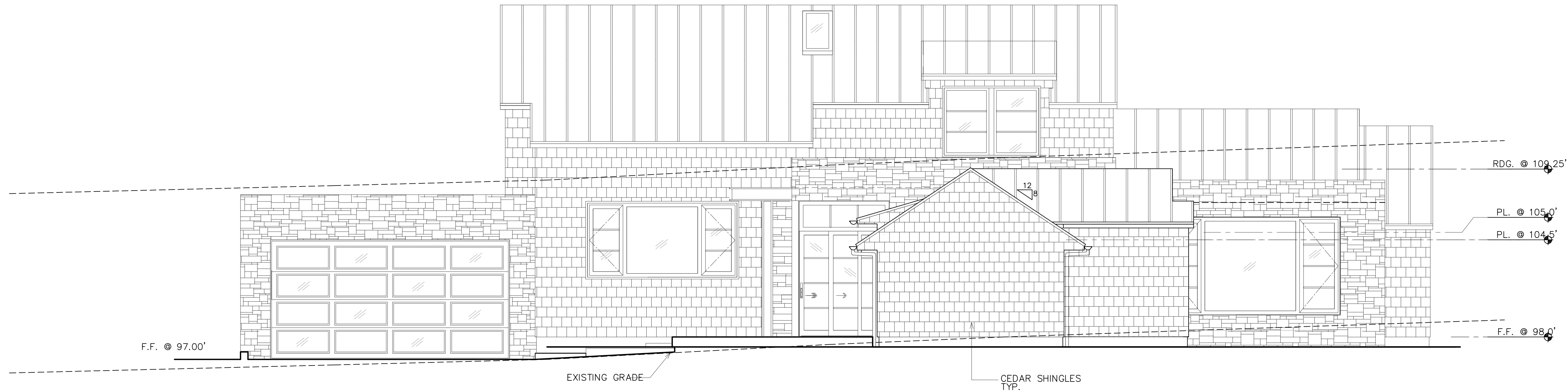
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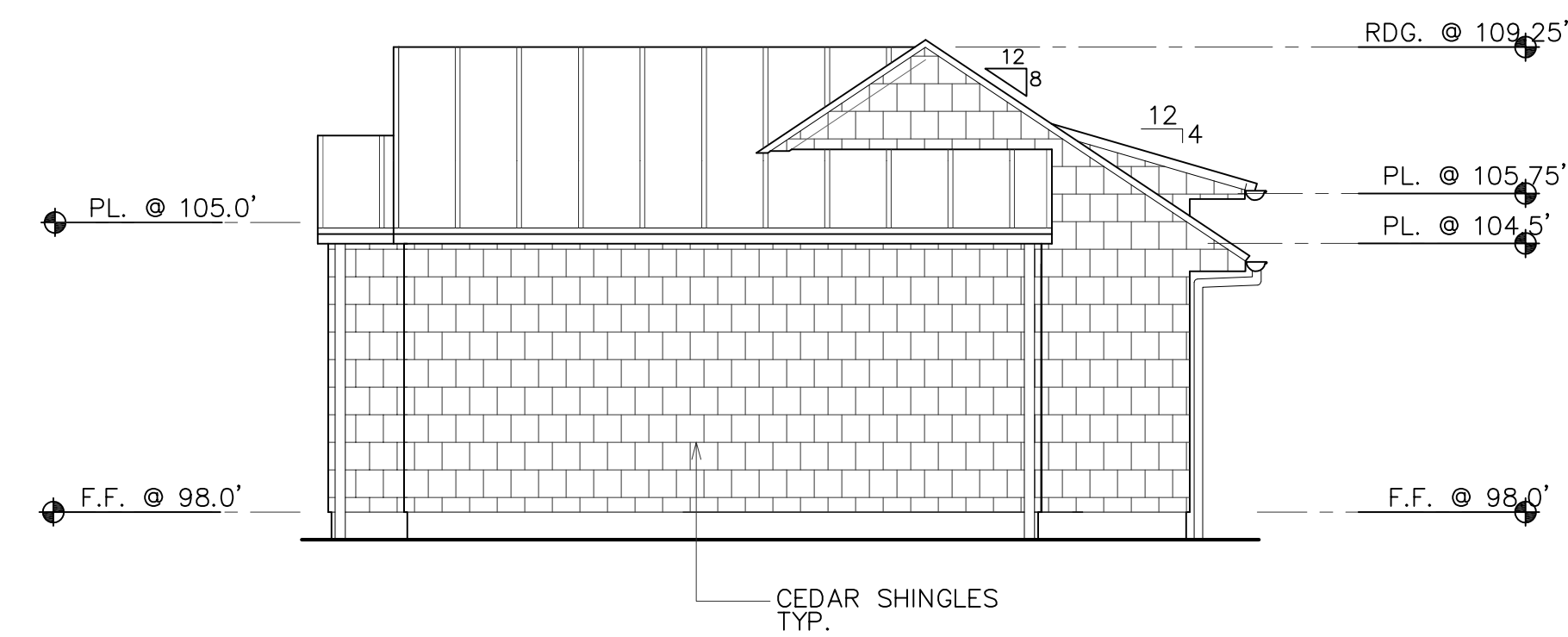
SHEET NUMBER:

A3.1



**PROPOSED
G.H. SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



**PROPOSED
G.H. NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



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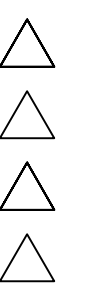


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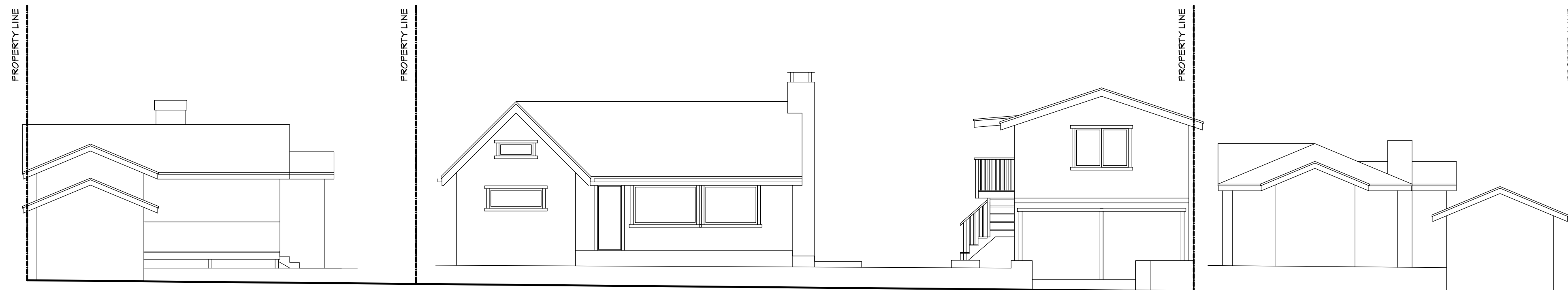
A3.2



STREET ELEVATION

**EXISTING
STREETSCAPE**

SCALE: 1/8" = 1'-0"
 0 2' 4' 8' 12'



STREET ELEVATION

**EXISTING
STREETSCAPE**

SCALE: 1/8" = 1'-0"
 0 2' 4' 8' 12'

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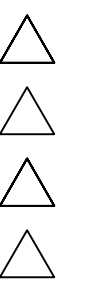


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REVISIONS:



PROJECT:

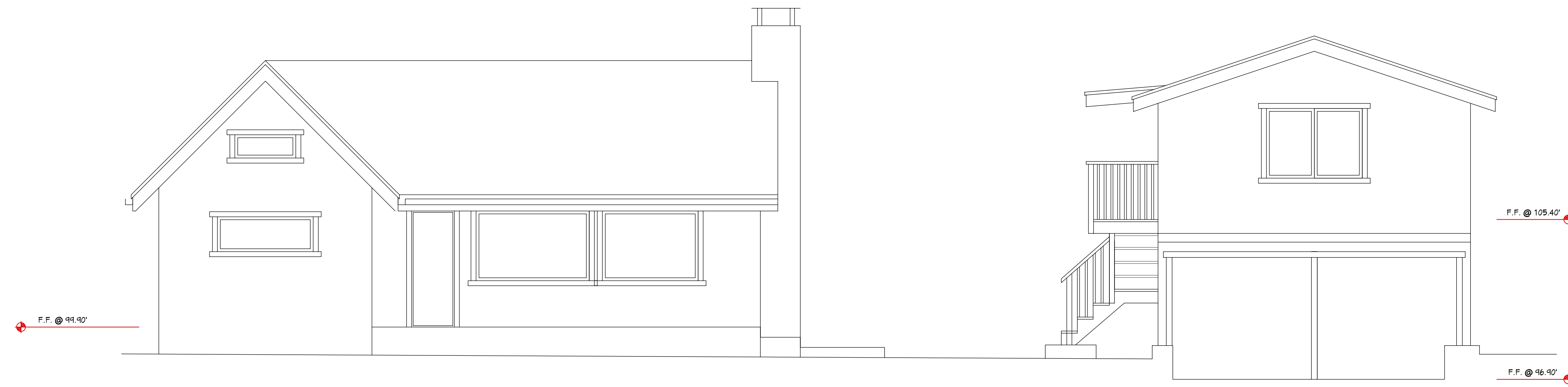
Pot D'or LLC
 RESIDENCE w/ A.D. UNT
 CASANOVA ST.
 5 S/E OF 12TH
 CARMEL, CA. 93921
 APN: 010-175-016

OWNER:

Pot D'or LLC
 P.O. BOX 4915
 CARMEL, CA. 93921

SHEET NUMBER:

A3.3



**EXISTING
WEST ELEVATION**

SCALE: 1/4" = 1'-0"



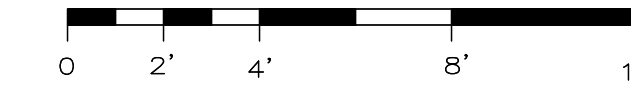
**EXISTING G.H. / GARAGE
SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



**EXISTING
SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



**MANDURRAGO
&
ASSOCIATES**

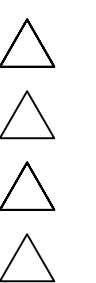


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DRAWN BY: MANDURRAGO

DRAWING DATE: 4-10-20

REVISIONS:



PROJECT:

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CARMEL, CA. 93921

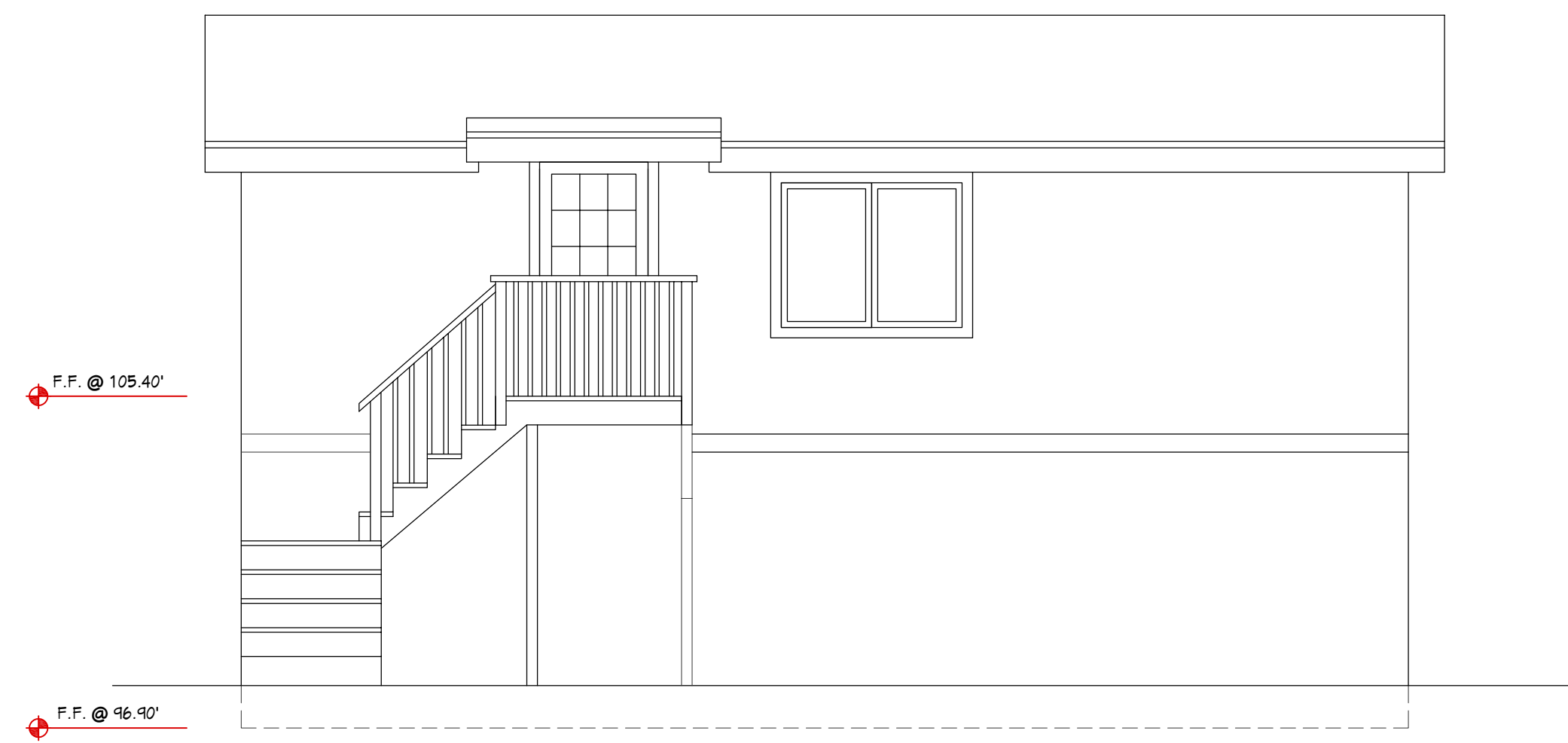
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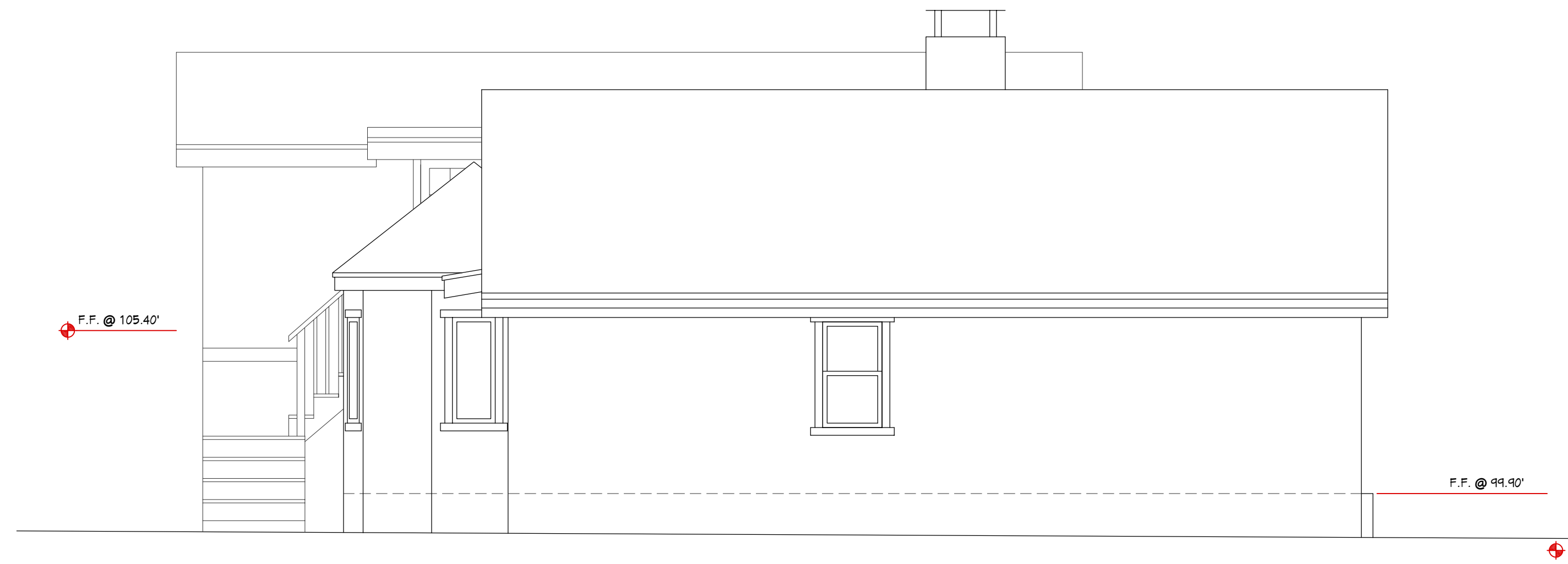
**EXISTING
EAST ELEVATION**

SCALE: 1/4" = 1'-0"



**EXISTING G.H. / GARAGE
NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



**EXISTING
NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



**MANDURRAGO
&
ASSOCIATES**

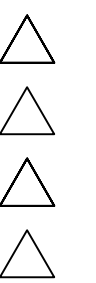


P.O. BOX 1504 CARMEL, CA 93921
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PROJECT:

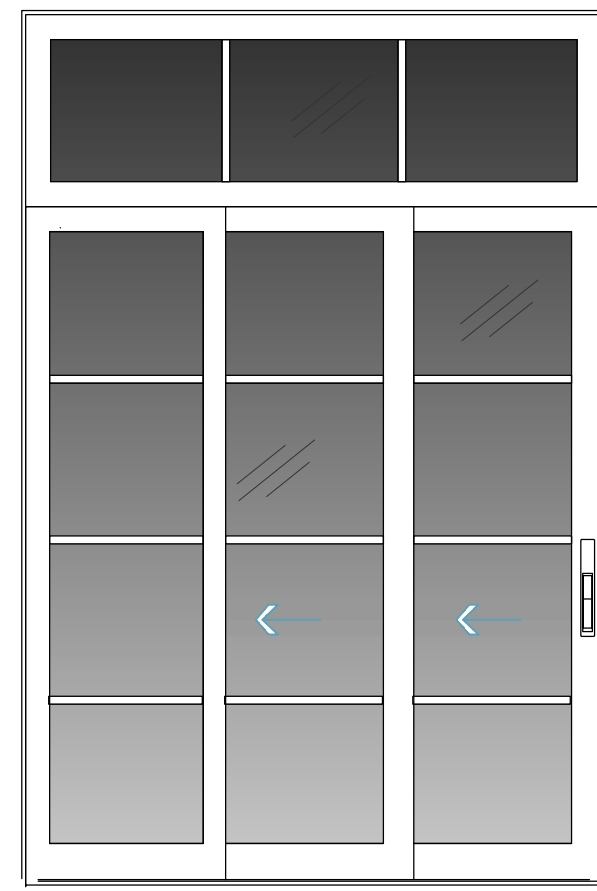
Pot D'or LLC
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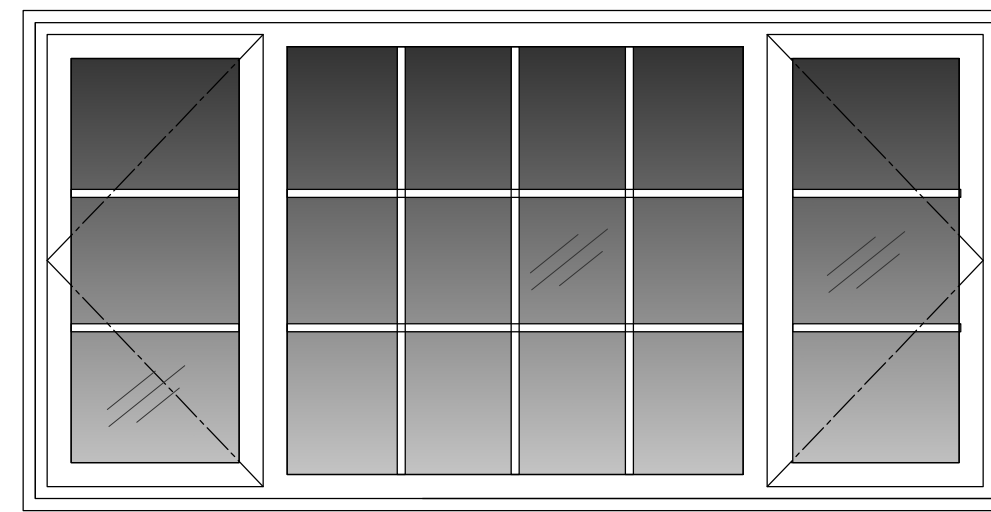
Pot D'or LLC
P.O. BOX 4915
CARMEL, CA. 93921

SHEET NUMBER:

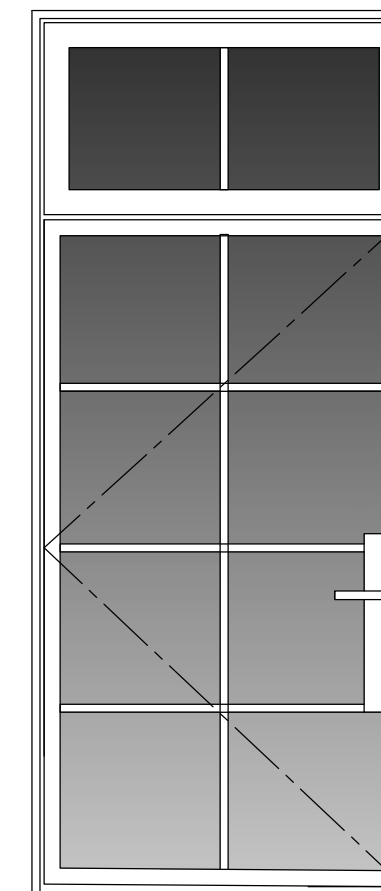
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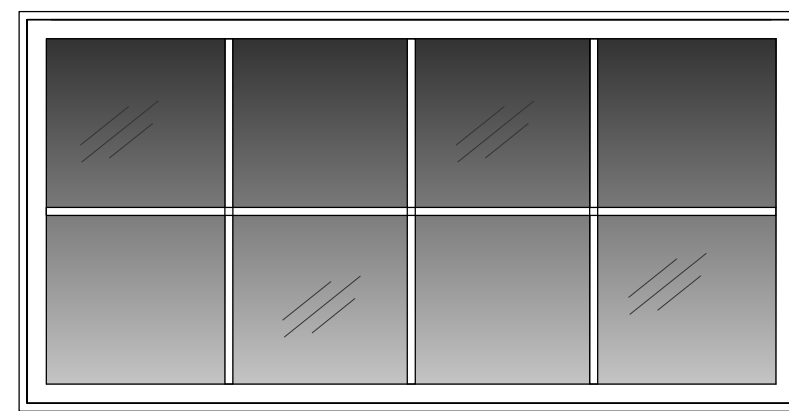
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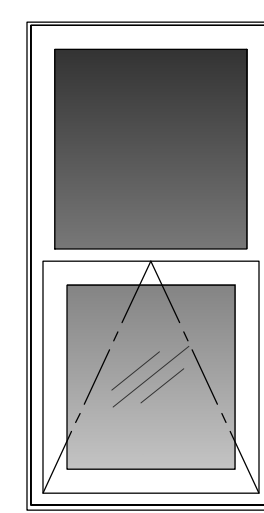
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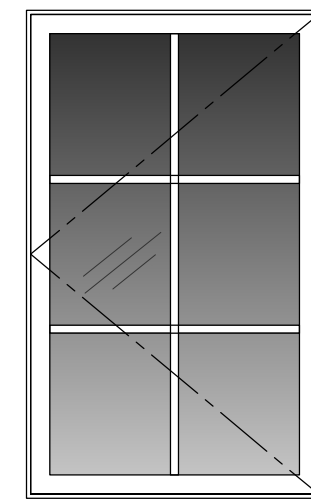
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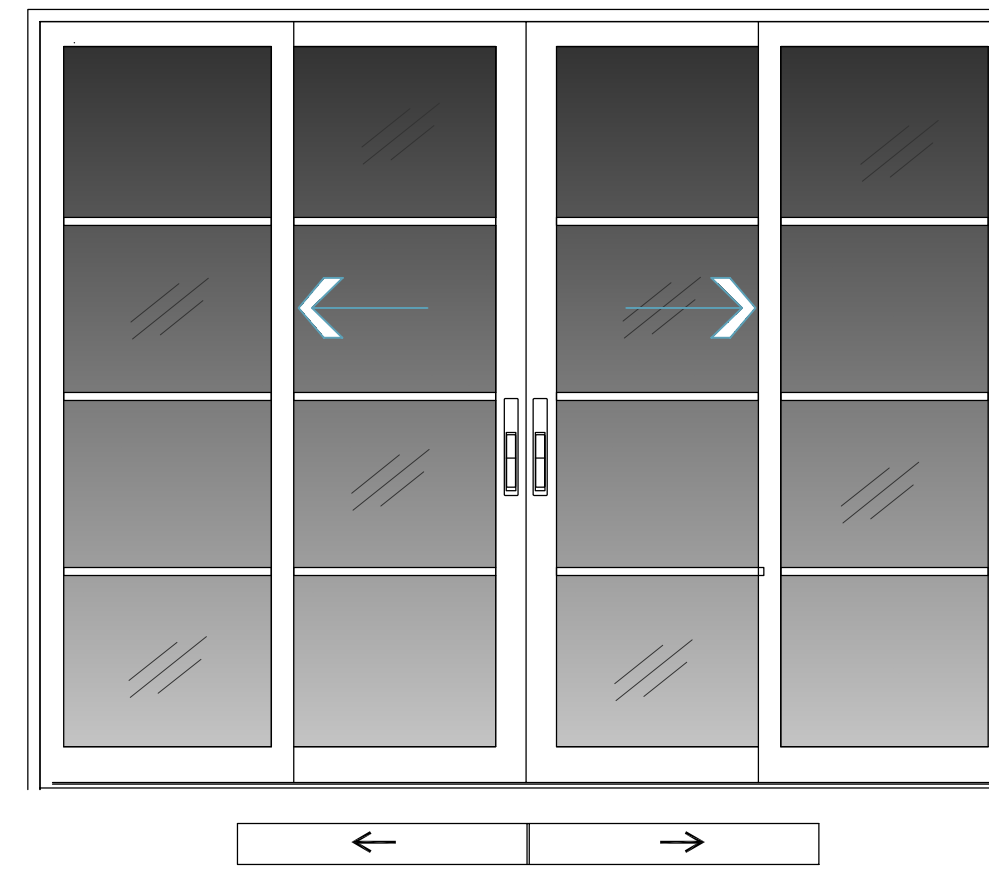
TYPE "G"



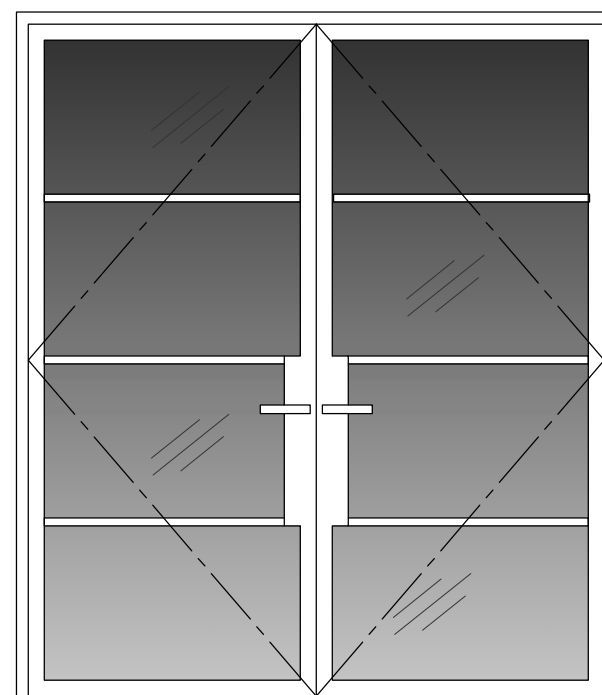
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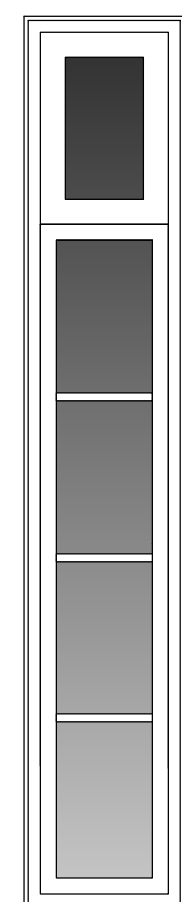
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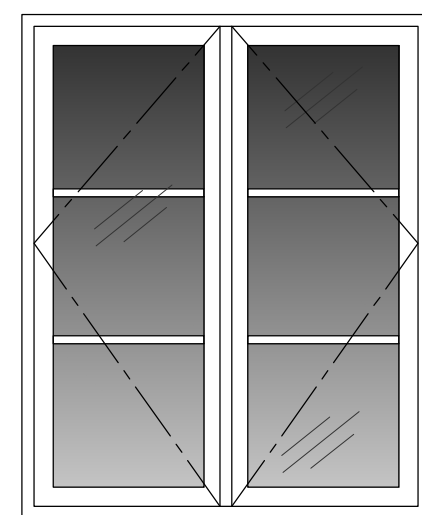
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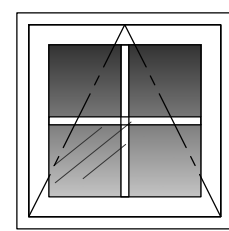
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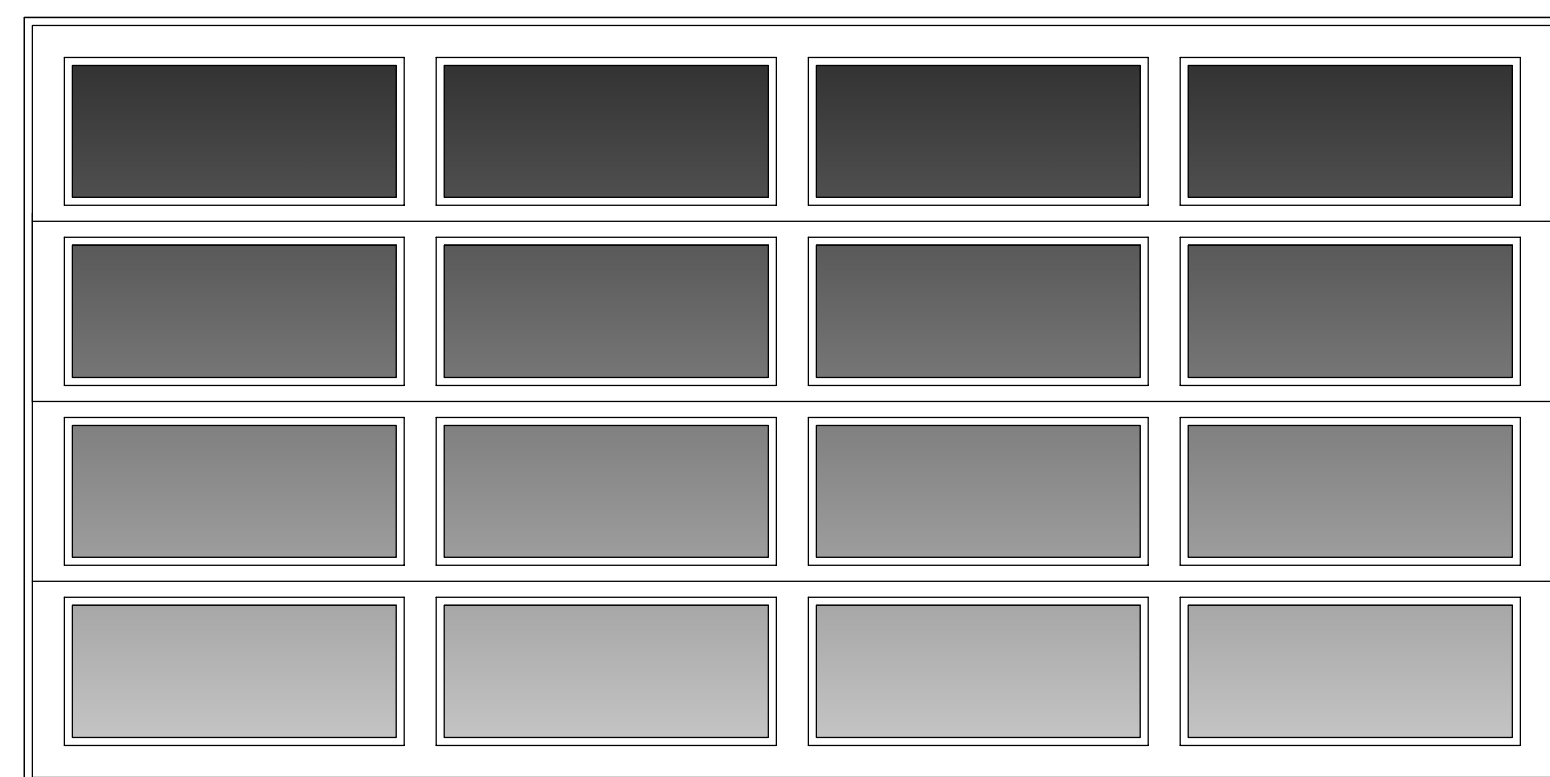
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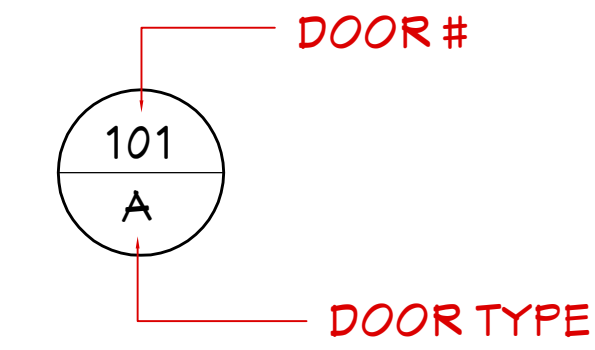
TYPE "J"



TYPE "H"

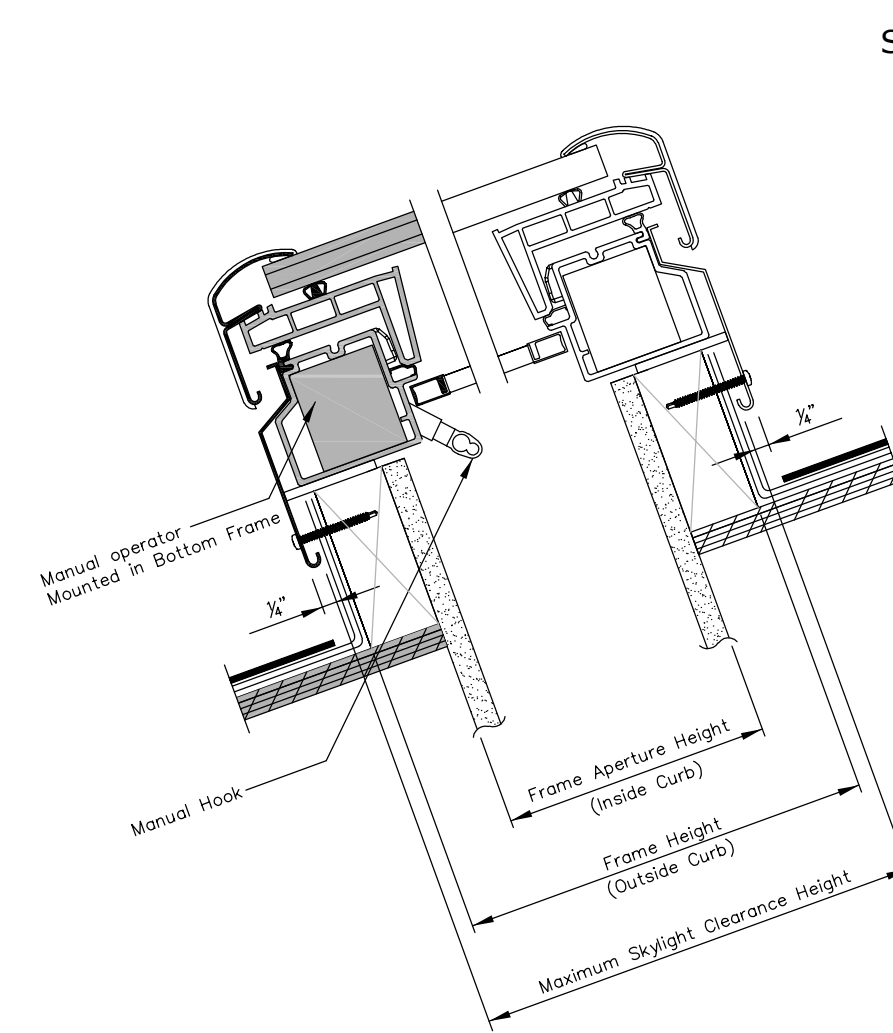


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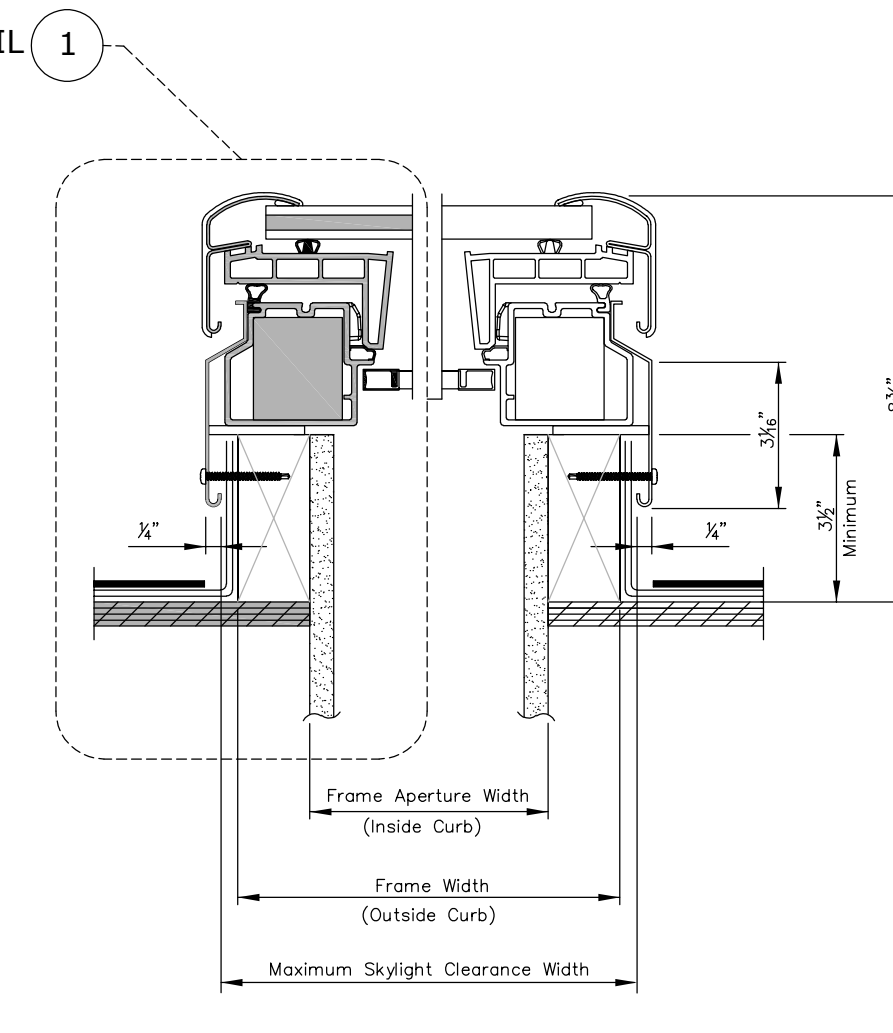


EXTERIOR WINDOW & DOOR SCHEDULE		SIZE (FT/IN)		QUANTITY	GLASS TYPE	LOCATION	NOTES
TYPE	#	WIDTH	HEIGHT				
A	1	4'-0"	9'-0"	1	TEMP.	ENTRY	PIVOT DOOR w/ 3 TRANSOM ABOVE
K	2	1'-3"	9'-0"	1	TEMP.	ENTRY	FIXED DOOR w/ 3 TRANSOM ABOVE
C	3	6'-0"	9'-0"	1	TEMP.	LIVING	3 PANEL SL. w/ 3 TRANSOM ABOVE
C	4	6'-0"	9'-0"	1	TEMP.	LIVING	3 PANEL SL. w/ 3 TRANSOM ABOVE
B	5	12'-0"	6'-6"	1	TEMP.	MASTER BEDROOM	
F	6	2'-6"	5'-0"	1	NIA	MASTER BEDROOM	
F	7	2'-6"	5'-0"	1	NIA	MASTER BEDROOM	
G	8	6'-0"	6'-0"	1	TEMP.	MASTER BATH	
D	9	10'-0"	8'-0"	1	TEMP.	DINING	
G	10	5'-0"	5'-0"	1	TEMP.	STAIR	
J	11	4'-0"	5'-0"	1	NIA	LAUNDRY	
G	12	8'-0"	4'-0"	1	NIA	GARAGE	
L	13	16'-0"	7'-0"	1	TEMP.	GARAGE	
B	14	10'-0"	5'-0"	1	NIA	KITCHEN	
M	15	6'-0"	7'-0"	1	NIA	A.D.U.	
E	16	3'-0"	5'-0"	1	NIA	A.D.U. KIT.	
H	17	2'-0"	2'-0"	1	NIA	A.D.U. BEDROOM	
J	18	6'-0"	4'-6"	1	NIA	BEDROOM #2	
J	19	6'-6"	5'-6"	1	NIA	BEDROOM #2	
M	20	2'-0"	4'-0"	1	TEMP.	BEDROOM #2	
H	21	2'-0"	2'-0"	1	NIA	BEDROOM #3	
M	22	2'-0"	3'-0"	1	TEMP.	STAIR	
M	23	2'-0"	3'-0"	1	TEMP.	STAIR	
G	24	8'-0"	4'-0"	1	NIA	GARAGE	

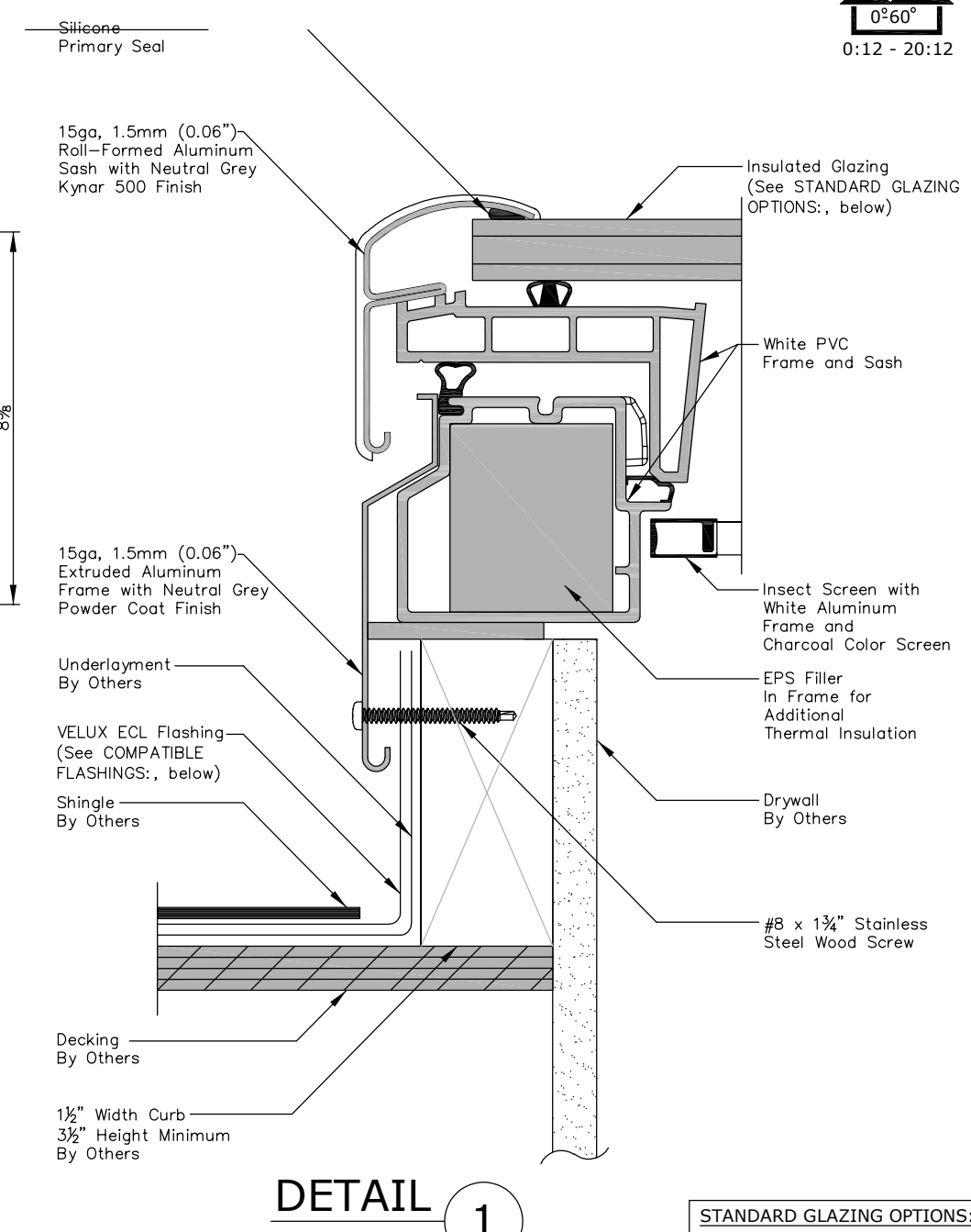
NOTE:
ARCADIA WINDOWS & DOORS



VERTICAL CROSS SECTION



HORIZONTAL CROSS SECTION



DETAIL 1

NOTE:
VELUX VCM SERIES SKYLIGHT ICC# ER0199

- NOTES:
- The ROUGH OPENING and FINISHED FRAMING dimensions are based on perpendicular interior finish material on all four sides and these dimensions will vary depending on the roof construction, the thickness and the design of the interior finish material.
 - Max sash opening is 11" by stainless steel chain.

- STANDARD GLAZING OPTIONS:
- Laminated LowE3 (04)
 - Tempered LowE3 (05)
 - Impact (06)
 - Snowload (10)

- COMPATIBLE FLASHINGS:
- EDL Step Flashing
 - EKL/EKX Combi flashing
 - EDW Tile Flashing
 - EKW/EKX Combi tile flashing
 - EDM Metal roof flashing
 - ECB Counter flashing for curbs



MANDURRAGO & ASSOCIATES



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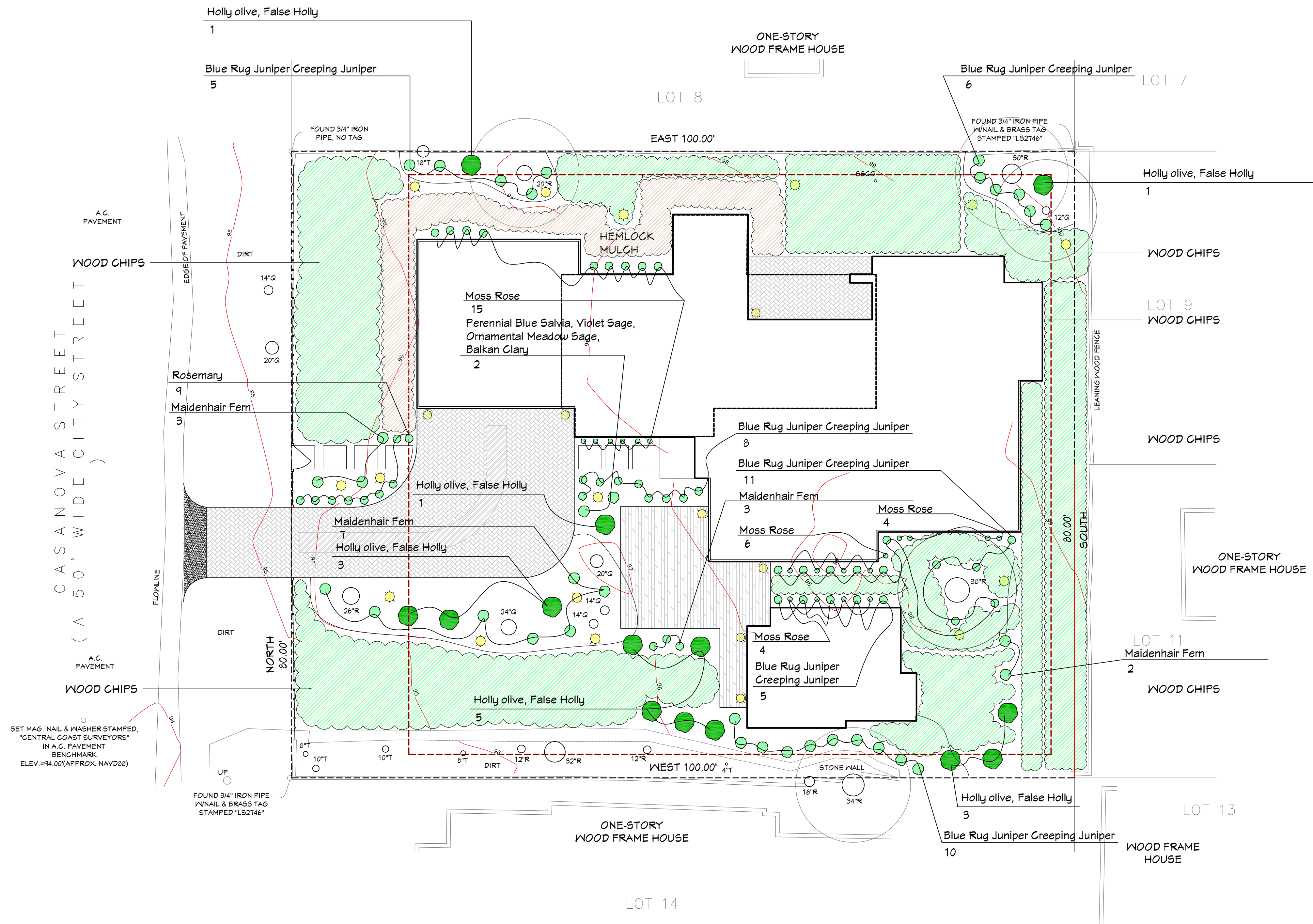
A4.0



PATH LIGHT



WALL LIGHT



Plant Schedule			
Number	Qty	Common Names	Scientific Name
P01	45	Blue Rug Juniper Creeping Juniper	Juniperus horizontalis 'Blue Mat'
P02	15	Maidenhair Fern	Adiantum
P03	2	Perennial Blue Salvia, Violet Sage, Ornamental Meadow Sage, Balkan Clarj	Salvia x superba, Salvia x sylvestris, Salvia nemorosa
P04	24	Moss Rose	Portulaca grandiflora
P05	4	Rosemary	Rosmarinus officinalis
P06	14	Holly olive, False Holly	Osmanthus heterophyllus

LIGHT LEGEND

-  WEATHERPROOF EXTERIOR WALL LIGHT 25 watt max.
-  WEATHERPROOF EXTERIOR PATH LIGHT 15 watt max.

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SHEET NUMBER:

L1.0