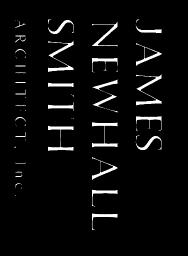
CARMELO 3 SW OF 7TH - LOT 9

D) FOR FUTURE FIREPLACE WOOD. PRIOR TO GRADING, EXCAVATION, OR CONSTRUCTION, THE DEVELOPER SHALL CLEARLY TAG OR MARK ALL TREES 1 SERVED.	ONE YEAR FROM DAIE OF COMPLETION. CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT THE WORK OR SHALL KEEP THORIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTOR'S BEHALF, CONTINUTIONIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTOR'S BEHALF, CONTINUTIONIZED TO RECEIVE HOURS. TREES ADJACENT TO STRUCTURES AND OVER DRIVEWAYS SHALL BE TRIMMED TO CLEAR ARANCE OVER DRIVES. PROTECT OTHER TREES DURING CONSTRUCTION. TREES TO BE ARANCE OVER DRIVES. PROTECT OTHER TREES DURING CONSTRUCTION. TREES TO BE ARANCE OVER DRIVES.	LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE STATE FIRE MARSHALL, THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY, AND ANY APPLICABLE STATE OR LOCAL LAWS AND ORDINANCES. NOTHING ON THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES. 17. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED IN ORDER TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE LIMITS AND SCOPE OF WORK, BUT WHICH MAY NOT BE SPECIFICALLY INCLUDED IN THE PLANS, SHALL BE PERFORMED BY CONTRACTOR AND INCLUDED IN HIS BID. 18. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, INSTALLATION AND MATERIAL FOR A MINIMUM PERIOD OF THE PLANS OF THE PERFORMENT OF THE PLANS OF THE PERFORMENT	CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PR FECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE. CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND AND IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMAND IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIALS SHALL BE FINED TO THE FINEST QUALITY OF CONSTRUCTION, MATERIALS SHALL BE FINED TO THE FINEST QUALITY OF CONSTRUCTION, MATERIALS SHALL BE FINED TO THE FINEST OF CONSTRUCTION, MATERIALS SHALL BE FINED TO THE FINEST OF CONSTRUCTION, MATERIALS SHALL BE FINED TO THE FINEST OF CONSTRUCTION, MATERIALS SHALL BE FINED TO THE FINEST OF CONSTRUCTION, MATERIALS SHALL BE FINED TO THE FINEST OF CONSTRUCTION, MATERIALS SHALL BE FINED TO THE FINEST OF CONSTRUCTION, MATERIALS SHALL BE FINED TO THE FINEST OF CONSTRUCTION, MATERIAL AND WORK AND MATERIALS SHALL BE FINESTED TO THE FINEST OF CONSTRUCTION, MATERIALS SHALL BE FINESTED TO THE FINEST OF CONSTRUCTION, MATERIALS SHALL BE FINESTED TO THE FINEST OF CONSTRUCTION.	11. THE USE OF THE WORD "PROVIDE" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED, AND CONNECTED WHERE SO REQUIRED, EXCEPT AS NOTED. 12. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FABRICATED ITEMS, CUT SHEETS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR BY THE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION AND/OR INSTALLATION. 13. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS, INCLUDING PERMITTED "JOB COPY" SET(S) AND A COPY OF THE SOILS REPORT BYDATEDON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. THE CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED, SHALL COMPLY WITH THE SPIRIT AS WELL AS WITH THE LETTER IN WHICH THEY WERE DRAWN.	9. ALL CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY CONSTRUCTION DOCUMENTS SHALL BE PROVIDED AS THOUGH ON ALL RELATED DOCUMENTS. DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. WORK THAT IS CONTINUED, COVERED UP OR COMPLETED WITHOUT SAID CLARIFICATION. SHALL BE AT GENERAL OR SUB— CONTRACTOR'S RISK OF REPAIR, REPLACEMENT OR REWORKING AT HIS OWN EXPENSE. 10. ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR EXCEPT WHERE NOTED. THE CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE WITH MANUFACTURER'S REQUIREMENTS. WORK REQUIRED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, ETC. NECESSARY TO COMPLETE THIS PROJECT. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS SPECIFICALLY NOTED AND BE A QUALITY ACCEPTABLE BY INDUSTRY STANDARDS.	A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF AS ON CONSTRUCTIONS DRAWINGS ARE TO FACE OF FINISH (F.O.F.), FACE OF SUSC.), UNLESS OTHERWISE NOTED TO BE THE CENTER LINE OF MULLION, PARTITICALISM STAKE PRECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT OR OWN DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR OWN DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR OWN	5. MATERIALS THAT ARE SPECIFIED BY THEIR BRAND NAMES ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ANY REQUEST FOR SUBSTITUTION SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER FOR REVIEW FOR EQUAL QUALITY AND PERFORMANCE AND SHALL NOT BE PURCHASED OR INSTALLED WITHOUT THEIR WRITTEN APPROVAL. ALL NON—SPECIFIED PRODUCTS SHALL CONFORM TO REQUIREMENTS SET FORTH BY CODE COMPLIANCE OR INDUSTRY STANDARDS AND CONTRACTOR SHALL SUBMIT A LIST OF PRODUCTS AND MANUFACTURERS BEING USED FOR REVIEW BY THE ARCHITECT PRIOR TO PURCHASE OR INSTALLATION. 6. ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ETC., AS MAY BE REQUIRED, SHALL CONFORM TO THE LATEST ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE AND THE LATEST EDITION(S) OF ALL	3. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS, INSPECTIONS, CERTIFICATES, AND FEES. HE SHALL ALSO BE RESPONSIBLE FOR FILING OF APPLICATION FOR PERMIT AND PLAN CHECK APPROVAL AS NECESSARY. (THIS SECTION SUBJECT TO OWNER'S REVIEW AND APPROVAL.) 4. CONTRACTOR SHALL PROTECT OWNER'S PROPERTY AND IMPROVEMENTS, NEW AND/OR EXISTING MATERIALS, AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH OWNER PRIOR TO COMMENCEMENT OF WORK AS NECESSARY.	WES N. SMITH, AND GLEN YONEKURA, , WITH A COMPLITHIS PROJECT PRIOR TO COMMENCEMENT OF WORK.
1. CONTRACTOR TO SUBMIT GAS LINE SIZING FOR COUNTY & UTILITY APPROVAL BEFORE INSPECTION. 2. TRUSS CALCS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ANY TRUSS INSPECTIONS. CALCS BY MANUFACTURER SHALL INCLUDE TRUSS PROFILES AND LAYOUT PLANS. 3. THE MANUFACTURED TRUSS SUBMITTALS SHALL BE REVIEWED (INDICATED BY LETTER OR STAMP, SIGNATURE AND DATE) BY THE ENGINEER OF RECORD FOR DESIGN COMPATIBILITY. A CERTIFICATION LETTER FROM THE ENGINEER SHALL BE SENT TO THE BUILDING DEPARTMENT STATING THIS APPROVAL. 4. THE TRUSSES SHALL NOT BE INSTALLED UNTIL AN APPROVED JOB COPY OF THE TRUSS SUBMITTALS IS ISSUED BY THE BUILDING DEPARTMENT. 5. GLU—LAM CERTIFICATES SHALL BE COPIED TO THE BUILDING DEPARTMENT. 6. NEW SITE RETAINING WALLS HAVE NOT BEEN REVIEWED UNDER THIS PERMIT. A SEPERATE PERMIT APPLICATION IS REQUIRED FOR ALL NEW RETAINING WALLS.	DEFERRED SUBMITTALS	S. RETAINING WALLS UNCONNECTED TO THE STRUCTURE(S), IT REQUIRED, ARE PER SEPARATE PERMIT.	. PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSEBIBS. THE BUILDER/CONTRACTOR SHALL PROVIDE THE OWNER AND THE COUNTY BUILDING DIVISION OF-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION. GRADING PERMIT, IF REQUIRED, IS BY SEPARATE PERMIT. SPRINKLER SYSTEM, IF REQUIRED, TO BE PER SEPARATE PERMIT.	1. NO PERSON MAY TAP INTO ANY FIRE HYDRANT OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MOUNTEREY COUNTY HEALTH DEPARTMENT. 2. ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT—OFF. WHEN AN AUTOMATIC SHUT—OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT—OFF NOZZLE. 3. NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONBLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB—POTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE. 4. THE USE OF SOLDERS CONTAINING MORE THAN 2/10ths OF 1% LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED (SB 164).	BUILDING DEPARTMENT NOTES	SPECIAL INSPECTIONS 1. THE GEOTECHNICAL ENGINEER SHALL INSPECT THE BUILDING PADS AND FOUNDATION EXCAVATIONS PRIOR TO THE PLACEMENT OF REINFORCING BARS, AND SHALL SUBMIT WRITTEN APPROVAL TO THE BUILDING INSPECTOR BEFORE REQUESTING FOUNDATION INSPECTOR AND POURING OF FOOTING. 2.	C. FACE OF CONCRETE TYP. S. FACE OF STUDS U.N.O. FACE OF FINISH V.I.F. GALVANIZED RON W/O GYPSUM WP	BLOCK PLYWD. CABINET R.O. CLEAR SIM. CONCRETE S.S.D. T&G DOWNSPOUT T&G T.O.P.	ABBREVIATIONS EXIST'G EXISTING (E) EXISTING A.B. ANCHOR BOLT APPROX. APPROXIMATE BD. BOARD G.W.B. GYPSUM WALLBOARD N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE O.C. ON CENTER O.D. OUTSIDE DIAMETER
CIVIL ENGIN OR 1697 OVE. CA. 93 ERSON: JEI 372-5890 372-5890 CE@ATT.NET OEN ROAD, TOR: N LAND SUF DEN ROAD, TOR: N LAND SUF OEN ROAD, TOR	SAM'S CELL (831) 594-7699 SAM'S EMAIL: SAMGE@SBCGLI ARCHITECT, INC. AVE. STE. C CA. 93950 1: JAMES SMITH TITLE 24 / MECHANICAL ENGIN MONTEREY ENERGY GROUP USAIA COM TOTAL CONTERES TO AVENUE SHITE	ERS: GRICE ENGINEER GRICE ENGINEERING 561A BRUNKEN AVE. 561A BRU	PROJECT DIRECTORY	STH AVE SAN ANTONIO AVE 7TH AVE	VICINITY MAP N.T.S.		PROPOSED 2ND FLOOR PLAN ROOF PLAN EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS	A1.L SITE PLAN-LIGHTING A1.S SITE PLAN-SIGHTLINES C SURVEY TENTATIVE MAP A2.0E EXISTING FLOOR PLAN A2.1 PROPOSED MAIN FLOOR PLAN	RANGE COVER
1,629 0T 7 0T 7 04 S.F. 04 S.F. 10 S.F. 11 S.F. 11 S.F. 75 S.F. 45 S.F. 98 S.F. 08 S.F.	1	4) REAR RETAIN'G WALL/STEP 54 S.F. 54 4) REAR DR LANDG/STEPS 99 S.F. 99 S.F. 78 S.F. 4) DRIVEWAY 6" PAVER SLIVER 6 S.F. 6 S.F. 6 S.F. 27AL PROPOSED = 549 S.F. (GREATER THAN 50%). 264 TE COVERAGE = 730 S.F. 264 D BE REMOVED = 730 S.F. 264	POSED SITE COVERAGE) GARAGE PAVER PATH) DRIVEWAY PAVER PAT) FRONT STONE STEPS) FRONT DOOR PAVER I) MAIN DOOR LANDING) PREFAB HOTTUB	US COVERAGE = 160 S.F. (SEMI- ALLOWED COVERAGE = 556 S.F. ALLOWED COVERAGE = 556 S.F. ALLOWED COVERAGE = 195 S.F. G SITE COVERAGE - LOT 9 RIVEWAY PAVERS = 195 S.F. RIVEWAY PAVERS = 195 S.F. RARAGE STEPS—WOOD = 10 S.F. ARAGE STEPS—WOOD = 10 S.F. LAR WOOD DECK = 707 S.F. LAR WOOD DECK = 707 S.F. LAR LANDING—BRICK = 16 S.F. DVERED PORCH = 144 S.F. REPIT—STONE = 18 S.F. EXISTING =1,237 S.F.	LR. LIVING = 510 S.F. FLR. KITCHEN = 130 S.F. FLR. BEDRM = 458 S.F. ID FLOOR = 281 S.F. NG = 1,379 S.F. NG = 1,379 S.F. HED GARAGE = 240 S.F. DPOSED SQ. FT. = 1,619 S.F. COVERAGE = 396 S.F.		FIRS SEC TREE APPR APPR PARK	PLANNING INFORMATION A.P.N. 010-268-003 LEGAL DESCRIPTION: LOT 7 & 9 BLOCK T CITY OF CARMEL ZONING: R1	PROJECT DESCRIPTION: ADDITION TO KITCHEN AND UPPER FLOOR ADDED TO A NON HISTORIC ONE STORY S.F.R. DEMO (E) GARAGE AND ADD NEW DETACHED SINGLE CAR GARAGE INTO SETBACK. LOT SPLIT OF LOTS 7 & 9, TWO PREVIOUSLY SEPARATE LOTS PROJECT ADDRESS: LOT 9 CARMELO 3 SW OF 7TH CARMEL, CA. 93921

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716 LIGHTHOUSE AVE PACIFIC GROVE, CA. 93950

TEL: 831.372-7251 FAX: 831.372-7252 CEL: 831.915-9518

PROJECT/CLIENT

CARMELO

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA



COVER

(3) 11-25-19	2) 09-24-19 PLANN'G RESUB-CONTEMP VERSIC	1) 04-16-19 SUBMITTAL-TWO STORY ADD-LOT	O ISSUE REVISIONS	
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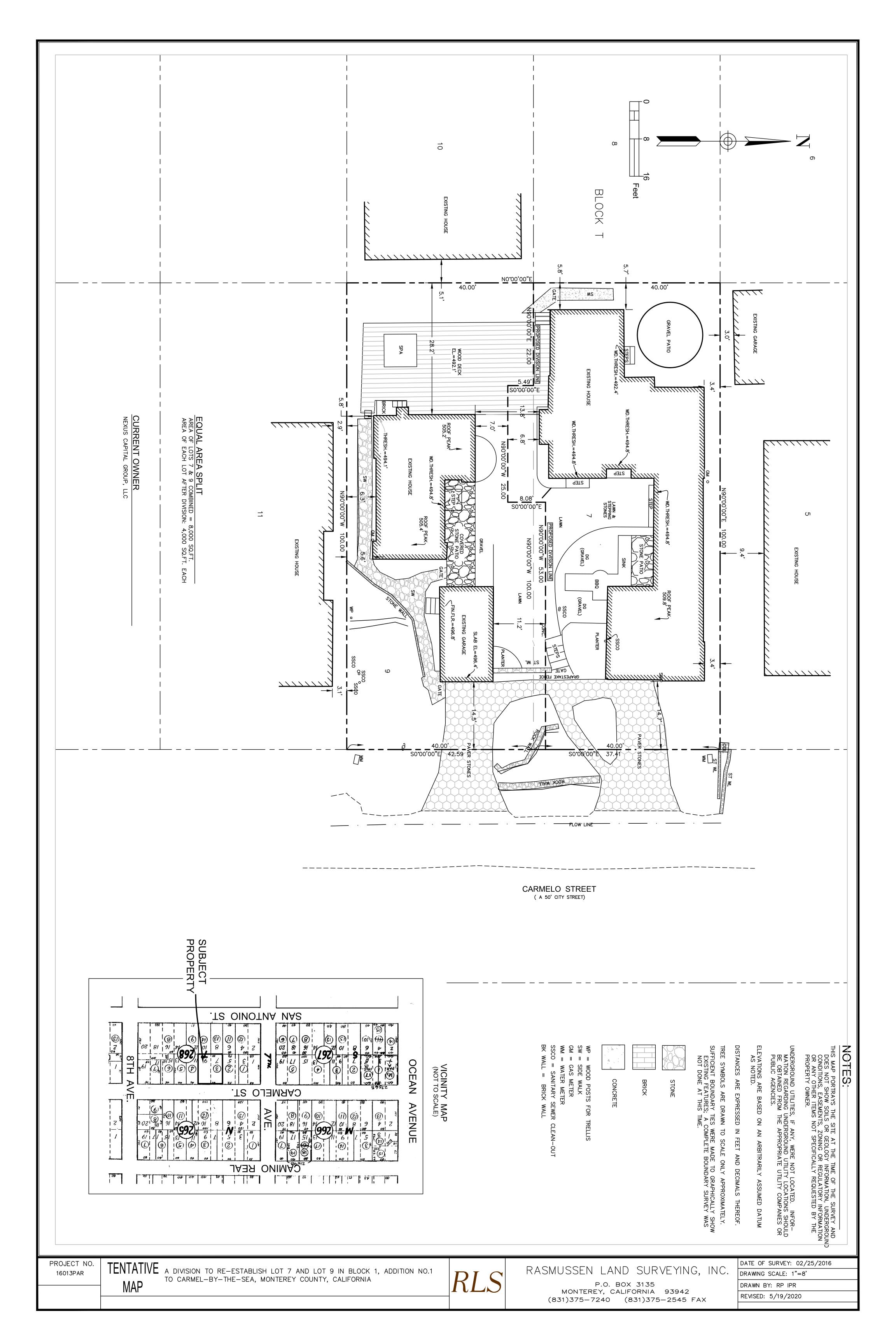
	SUBMITTAL-TWO STORY ADD-
	2 09-24-19 PLANN'G RESUB-CONTEMP VE
	(3) 11-25-19 CONTEMP VERSION REVISED
	4) 02-11-20 CONTEMP VERSION REVISED
_	(5) 03-25-20 RESUBMITTAL AFTER LETTER

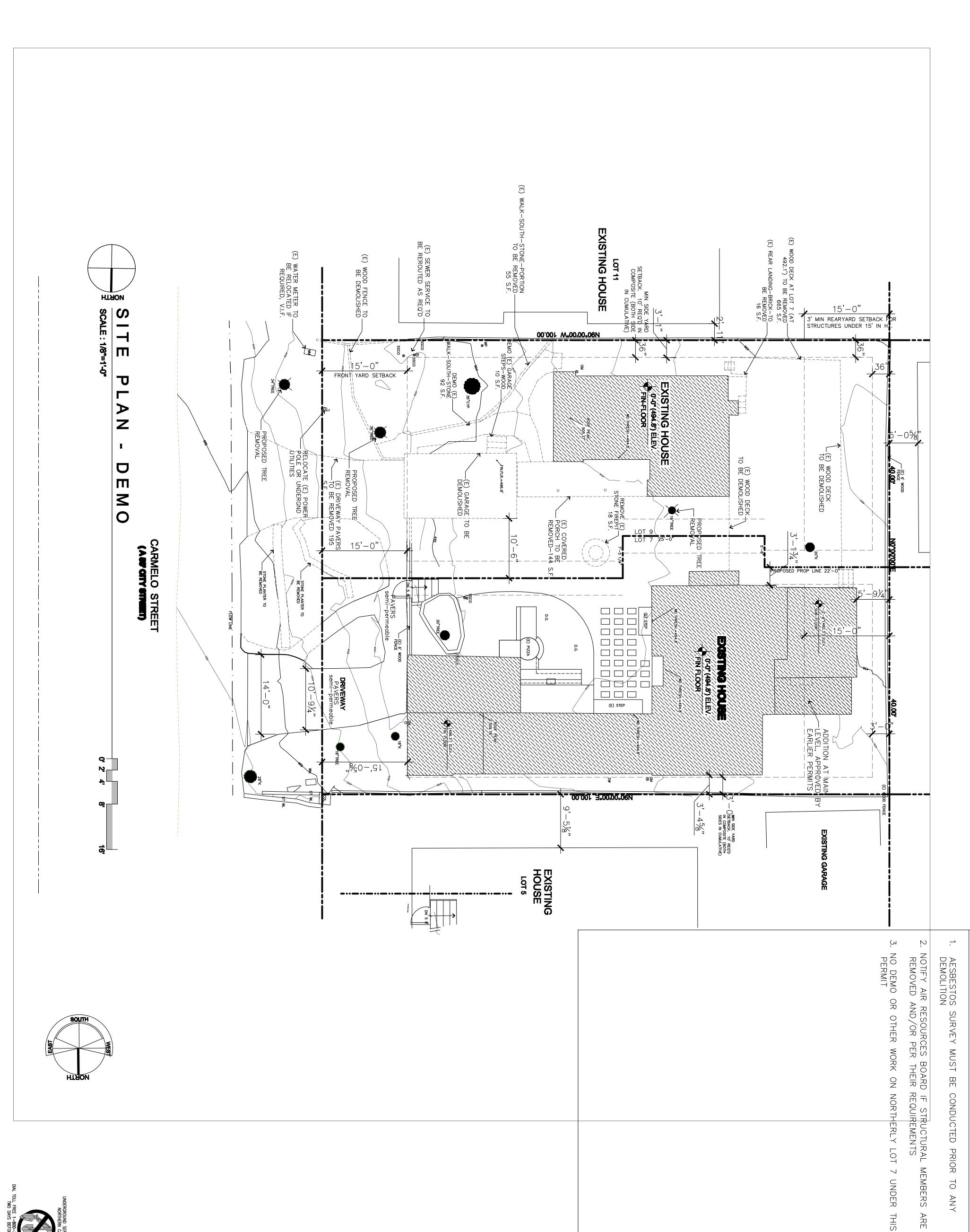
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EMO SITE PLAN NOTES

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PROJECT/CLIENT

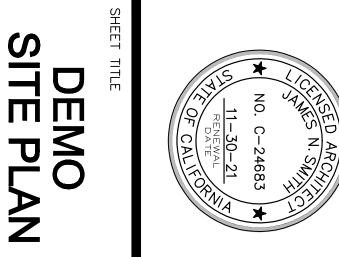
CARMELO

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA



RENEWAL DATE OF CALLED



O ISSUE REVISIONS

1) 04-16-19 SUBMITTAL-TWO STORY ADD-LOT S

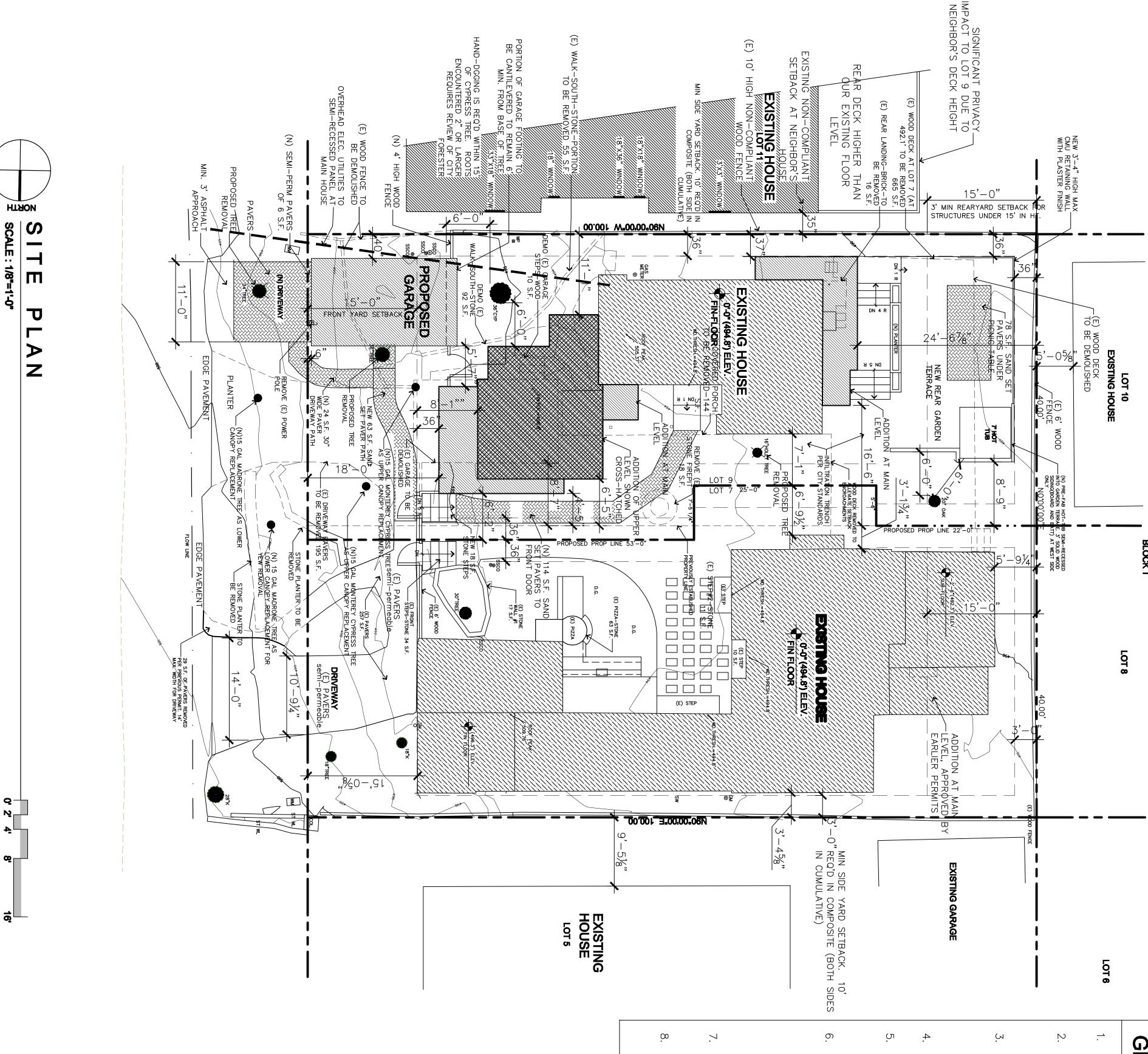
(4) 02-11-20 CONTEMP VERSION REVISED (2) 09-24-19 PLANN'G RESUB-CONTEMP VERSION 3) 11-25-19 CONTEMP VERSION REVISED

S 03-25-20 RESUBMITTAL AFTER LETTER 6

DATE

PROJECT NUMBER

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0 ENERAL PLAN NOTES

- CONTRACTOR TO COORDINATE ALL NEW UTILITY INSTALLATIONS WITH UTILITY COMPANIES AND BUILDING DEPARTMENT(S).
- CONTRACTOR TO VERIFY ADEQUACY OF ALL (E) UTILITIES. SUBSTANDARD SERVICES SHALL BE REPLACED/UPGRADED NECESSARY TO COMPLY WITH CURRENT CODES AND ORDINACES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING PROPERTY CORNERS AND HOUSE LAYOUT RELATIVE TO SETBACKS BY LICENSED SURVEYOR PRIOR TO BUILDING FORMWORK OR POURING CONCRETE. CONTRACTOR SHALL COORDINATE WITH MONTEREY COUNTY.
- RETAINING WALLS F SEPARATE PERMIT, REQUIRING A BUILDING PERMIT ARE BY
- THE LOCATION, TYPE AND SIZE OF ALL ANTENNAS, SATELLITE DISHES OR TOWERS, AND SIMILAR APPURTENANCES SHALL BE APPROVED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.

93950

716 LIGHTHOUSE AVE PACIFIC GROVE, CA.

- 3. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR/OWNER SHALL PROVIDE THE LOCATION OF A STATE OF CALIFORNIA LICENSED SURVEYOR'S OR CIVIL ENGINEER'S REFERENCE DATUM (INSTALLED PRIOR TO ANY GRADING) THAT SHALL BE USED TO ESTABLISH INDICATED ELEVATIONS ON SUBMITTED PLANS AND SHALL REMAIN IN PLACE UNDISTURBED THROUGHOUT THE ENTIRETY OF CONSTRUCTION WORK ON THIS PERMIT.
- TOPOGRAPHICAL (EXISTING) AND OTHER SURVEY INFORMATION REPRESENTED HEREIN IS AS PROVIDED BY RASMUSSEN LAND SURVEYING ON 02-25-2016, JOB #13032. #13032.
- REFER TO GEOTECHNICAL REPORT FOR ALL GRADING AND FOUNDATION RECOMMENDATIONS. IF REQUIRED, GEOTECHNICAL ENGINEER SHALL INSPECT GRADING AND TRENCHING FOR FOOTINGS PRIOR TO PLACEMENT OF FORMWORK OR CONCRETE.

TEL: 831.372-7251 FAX: 831.372-7252 CEL: 831.915-9518

CARMELO

PROJECT/CLIENT

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA



SHEET TITLE

SITE PLAN

1) 04-16-19 SUBMITTAL-TWO SSUE STORY ADD-LOT REVISIONS

2) 09-24-19 PLANN'G RESUB-CONTEMP VERSION

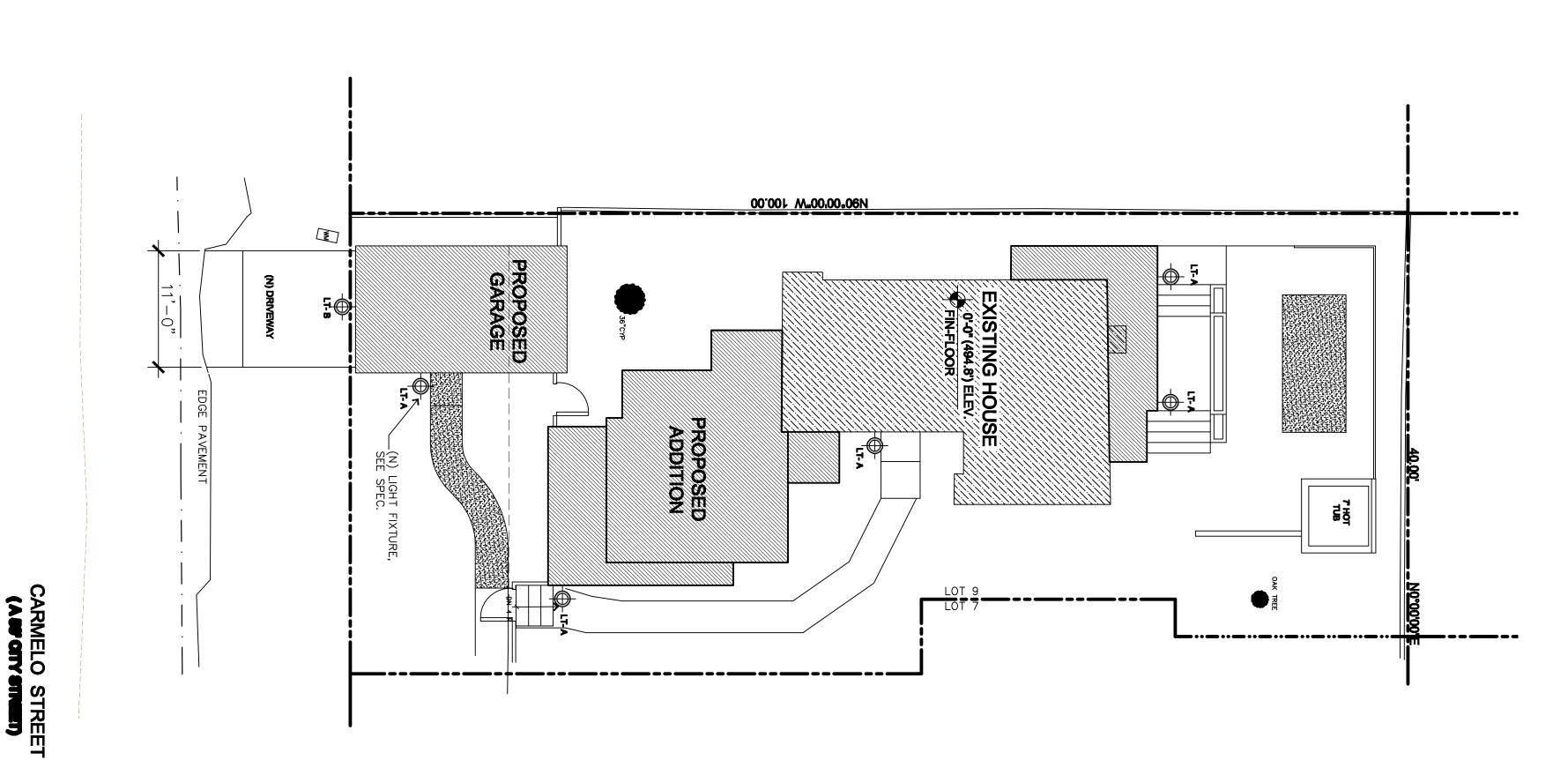
4) 02-11-20 CONTEMP VERSION 3) 11-25-19 CONTEMP VERSION

S 03-25-20 RESUBMITTAL

DATE

NUMBER

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LIGHTING NOTES

- EXTERIOR LIGHTING SHALL BE LIMITED TO 25 WATTS OF LESS (INCANDESCENT EQUIVALENT, IE, 375 LUMENS) PER FIXTURE AND SHALL BE MOUTED NO HIGHER THAN 10 FEET ABOVE THE GROUND.
- LANDSCAPE LIGHTING SHALL BE MOUNTED NO HIGHER THAN 18" ABOVE THE GROUND, NOR MORE THAN 15 WATTS (INC. EQUIV. OF 225 LUMENS) PER FIXTURE AND SPACED NO CLOSER THAN 10 FEET APART.
- LANDSCAPE LIGHTING SHALL NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.
- NO LANDSCAPE LIGHTING IS PROPOSED FOR THIS PROJECT ALL FIXTURES SHALL BE SHEILED AND DOWNWARD FACING.



716 LIGHTHOUSE AVE PACIFIC GROVE, CA. 93950

JAMES



Designers Fountain 31331-BZ Bayport-DS Wall Lanterns, Bronze

LOT 9

CARMELO

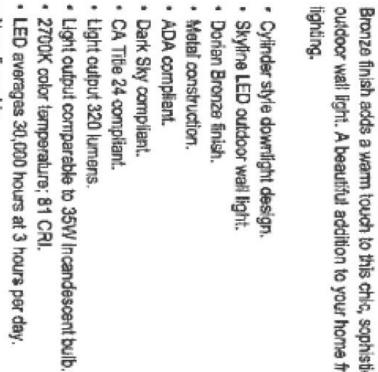
PROJECT/CLIENT

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Traditional
Uses Medium Base Bulb
UL/CUL and Wet Rated
Bronze finish
Steel construction and intended for wet locations
(1) 25 watt bulb
Dark sky directional lighting

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA

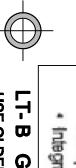




Integrated 13W LED. Measures 7 3/4-inches high, 5-inches wide. Extends 4-inches from the wall. Backplate is 5-inches wide, 5-inches high. Non-dimmable.

LT- B GARAGE DOWNLIGHT

USE OLDER LED MODULE, PART NUMBER #L-AC10-MD770 TO PROVIDE FOR 11 WATT LAMP. (NEWER MODULE ALLOWS FOR 13 WATT OUTPUT, WHICH DOES NOT COMPLY WITH 375 MAX LUMEN OUTPUT)



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DING

ONLY

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SITE PLAN

BLDG ONLY LIGHTING

RENEWAL DATE OF CALLED

11-30-21 RENEWAL

THES N. SMILL

NO. C-24683

SSUE REVISIONS

2) 09-24-19 PLANN'G RESUB-CONTEMP VERSION 1) 04-16-19 SUBMITTAL-TWO STORY ADD-LOT S

(4) 02-11-20 CONTEMP VERSION REVISED (3) 11-25-19 CONTEMP VERSION REVISED

S 03-25-20 RESUBMITTAL AFTER LETTER 6

DATE

PROJECT NUMBER

SHEET NUMBER

SIGNIFICANT PRIVACY IMPACT TO LOT 9 DUE TO NEIGHBOR'S DECK HEIGHT REAR DECK HIGHER THAN OUR EXISTING FLOOR LEVEL EXISTING HOUSE (N) SEMI-PERM PAVERS HTAON 3' MIN REARYARD SETBACK STRUCTURES UNDER 15' IN TIS ¥6'-0" ¥ 00'001 M.00,00.06N (E) GARAGE STEPS-WOOD-10 S.F. П GARAGESTBACK GENTER EXISTING HOUSE
0'-0" (494.8') ELEV.
FIN-FLOOR T **EXISTING HOUSE** 23'-8" > Z ONE STORY A S NO REAR GARDEN (E) 6' WOOD FENCE 40.00' S ar Egg **O** \dashv 15'-0" Z SITE LINE IS 10 Ш semi-S (E) FRONT STEPS-STONE) PAVERS ii-permeable Ē - (E) 6' WOOD FENCE PIZZA-STONE 63 S.F. .(E) PAVE 257 S.F. (E) HEALTHY OAK TREE CANOPY BLOCKING VIEWS BETWEEN LOTS **EXISTING HOUSE** 0'-0" (494.8') ELEV. LOT 8 TWO STORY ____ 10'-914 ONE E (E) STEP STORY ADDITION AT MAIN--LEVEL, APPROVED EARLIER PERMITS .%0-.51 ST WL N30.00.00.E 100.00 MIN SIDE YARD SETBACK. 10'OREQ'D IN COMPOSITE (BOTH SIDES IN CUMULATIVE) EXISTING HOUSE LOT 6

LOT 9

CARMELO

PROJECT/CLIENT

TEL: 831.372-7251 FAX: 831.372-7252 CEL: 831.915-9518

716 LIGHTHOUSE AVE PACIFIC GROVE, CA. 93950

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA

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SHEET TITLE

RENEWAL DATE OF CALIFORNIA

11-30-21 RENEWAL

CENSED ARCHIT

NO. C-24683

SIGHTLINES SITE PLAN

O ISSUE REVISIONS

1) 04-16-19 SUBMITTAL-TWO STORY ADD-LOT S

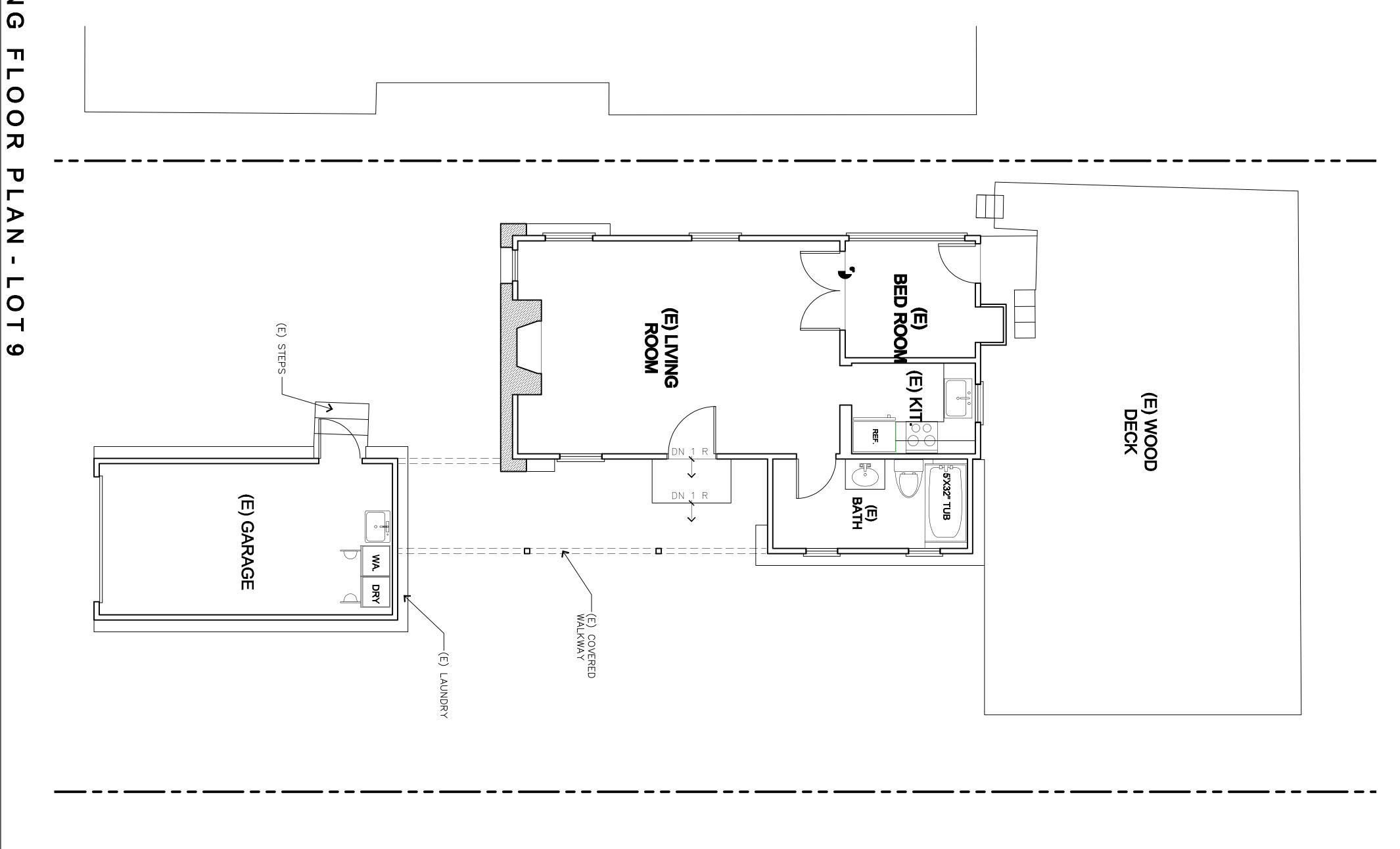
2) 09-24-19 PLANN'G RESUB-CONTEMP VERSION

(4) 02-11-20 CONTEMP VERSION REVISED 3) 11-25-19 CONTEMP VERSION REVISED

S 03-25-20 RESUBMITTAL AFTER LETTER 6

DATE

PROJECT NUMBER



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716 LIGHTHOUSE AVE PACIFIC GROVE, CA. 93950

TEL: 831.372-7251 FAX: 831.372-7252 CEL: 831.915-9518

CARMELO

PROJECT/CLIENT

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA

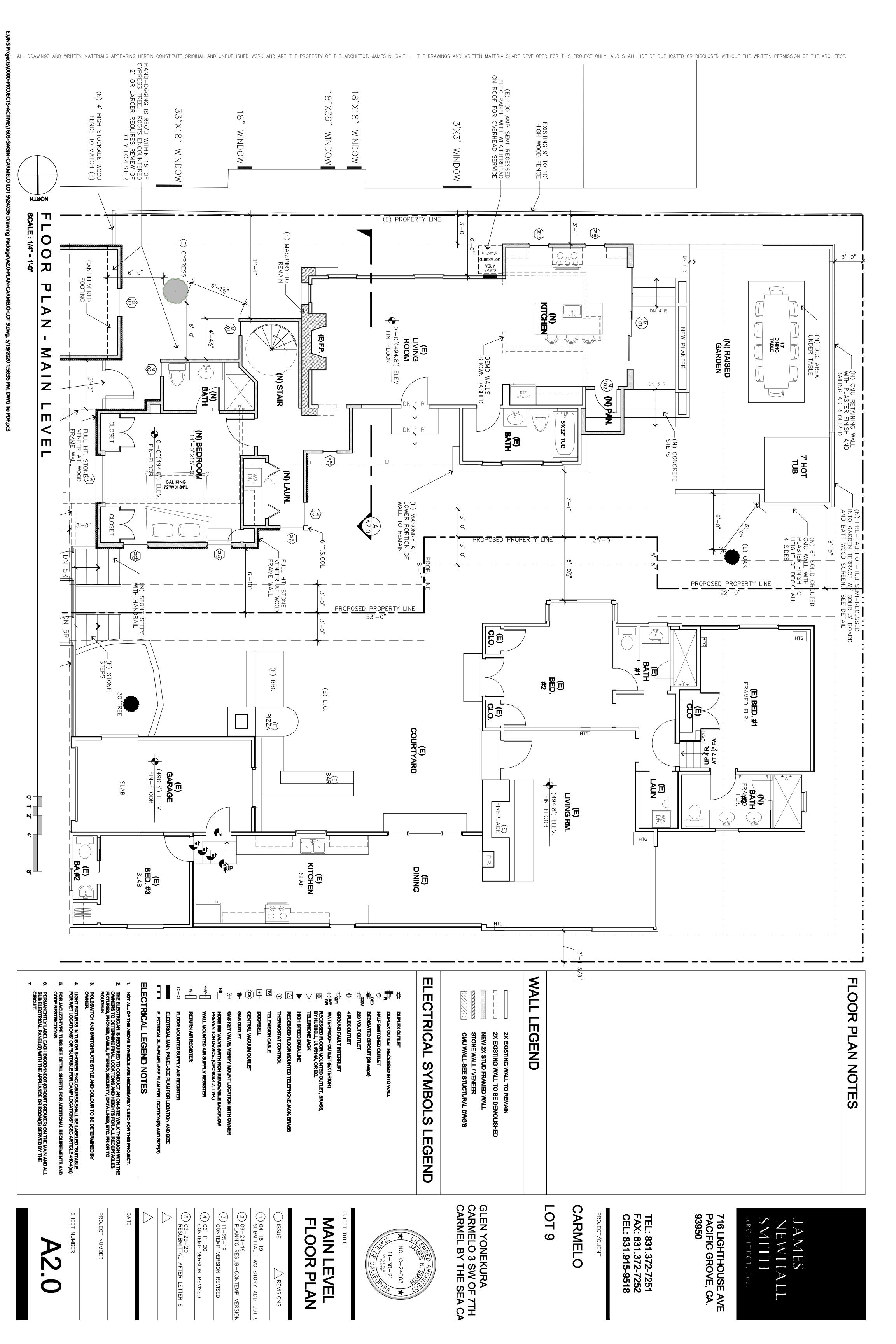


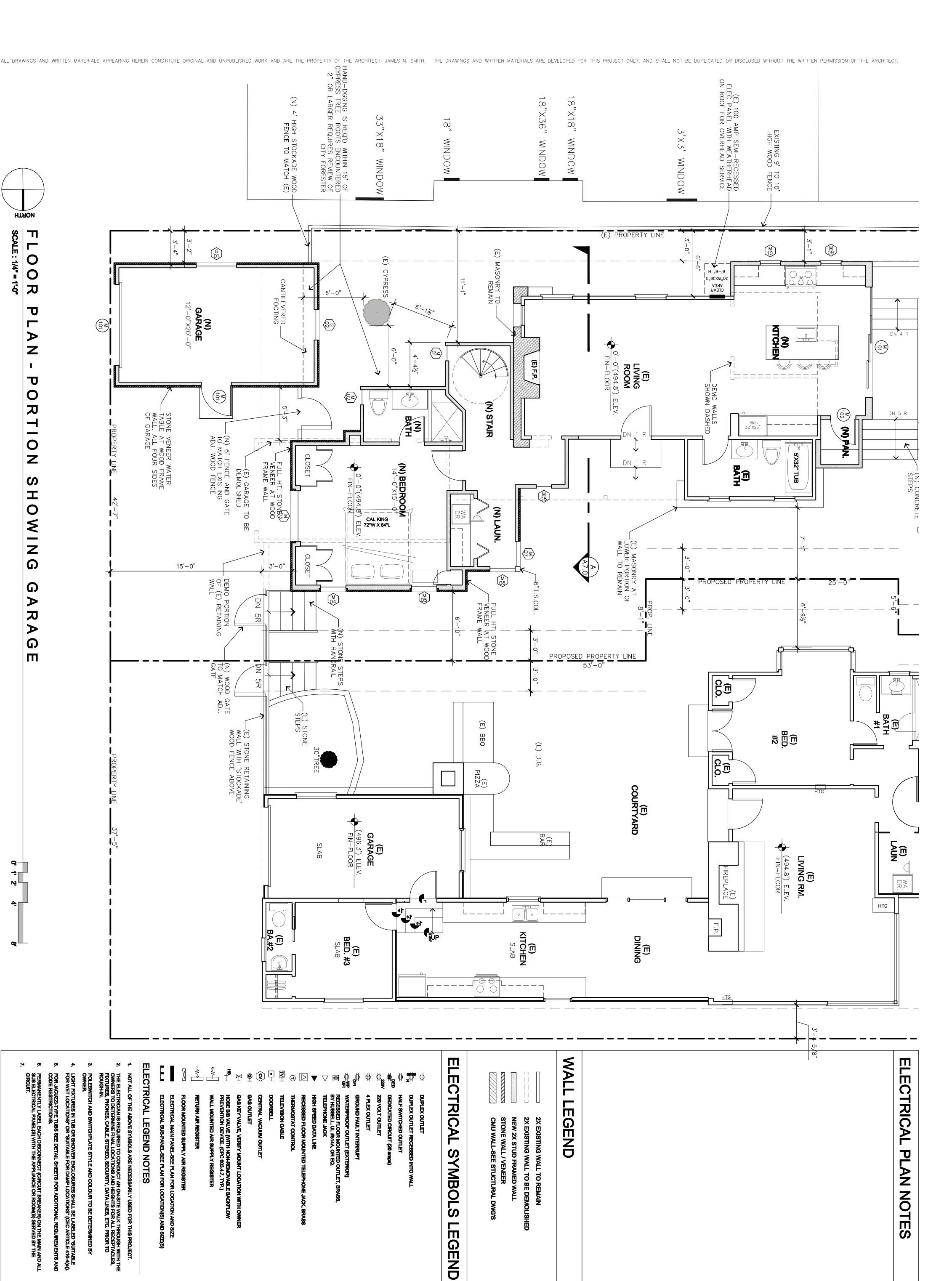
SHEET TITLE (E) FLOOR PLAN

(5) 03-25-20 RESUBMITTAL AFTER LETTER 6	(4) 02-11-20 CONTEMP VERSION REVISED	3) 11-25-19 CONTEMP VERSION REVISED	2) 09-24-19 PLANN'G RESUB-CONTEMP VERSION	1) 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9	SSUE REVISIONS

DATE

PROJECT NUMBER





LOT 9

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GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA

SHEET TITLE

RENEWAL POP CALIFORNIA

11-30-21 RENEWAL

THES N. SMILL

NO. C-24683

GARAGE

FLOOR PLAN

(5) 03-25-20 RESUBMITTAL

AFTER LETTER 6

(4) 02-11-20 CONTEMP VERSION REVISED

(3) 11-25-19 CONTEMP VERSION REVISED

2) 09-24-19 PLANN'G RESUB-CONTEMP VERSION

1) 04-16-19 SUBMITTAL-TWO STORY ADD-LOT S

SSUE

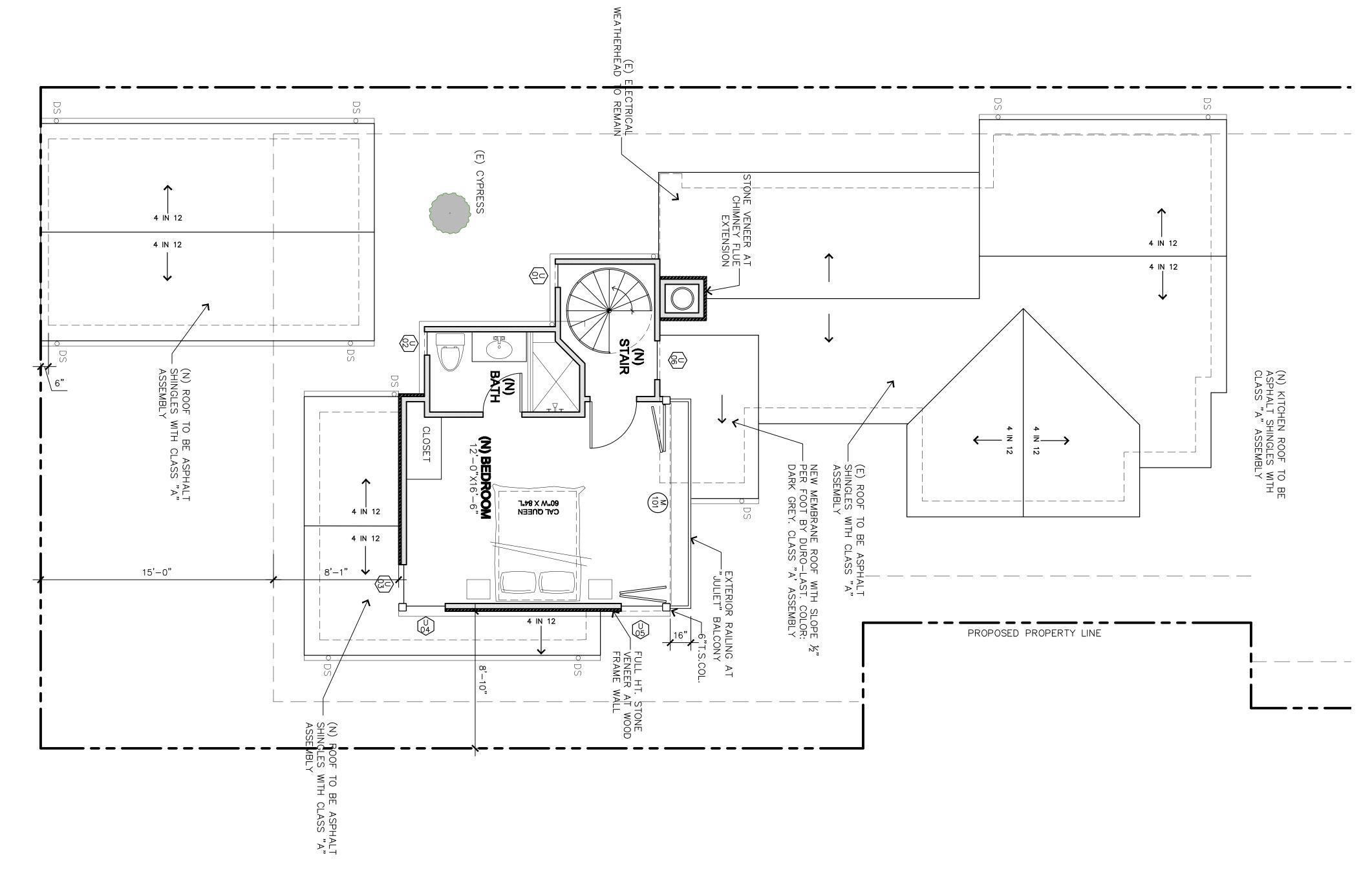
REVISIONS

DATE

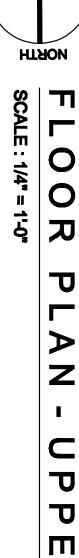
PROJECT NUMBER

SAGIN-CARMELO LOT 9\24X36 Dr

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-SAGIN-CARMELO LOT 9\24X36

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ELECTRICAL PLAN NOTES

716 LIGHTHOUSE AVE PACIFIC GROVE, CA. 93950

CARMELO

PROJECT/CLIENT

TEL: 831.372-7251 FAX: 831.372-7252 CEL: 831.915-9518

LOT 9

WALL

LEGEND

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA

ELECTRICAL SYMBOLS LEGEND

NEW 2X STUD FRAMED WALL STONE WALL / VENEER CMU WALL-SEE STUCTURAL DWG'S

2X EXISTING WALL TO REMAIN

2X EXISTING WALL TO BE DEMOLISHED



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WATERPROOF OUTLET (EXTERIOR)
RECESSED FLOOR MOUNTED OUTLET, BRASS,
BY HUBBELL, UL #514A, OR EQ.
TELEPHONE JACK

HIGH SPEED DATA LINE

ECESSED FLOOR MOUNTED TELEPHONE JACK, BRASS

HALF SWITCHED OUTLET
DEDICATED CIRCUIT (20 amps)

4 PLEX OUTLET

OUND FAULT INTERRUPT

20 VOLT OUTLET

DUPLEX OUTLET RECESSED INTO WALL

1) 04-16-19 SUBMITTAL-TWO STORY ADD-LOT S O ISSUE REVISIONS

CENTRAL VACUUM OUTLET

GAS OUTLET

GAS KEY VALVE, VERIFY MOUNT LOCATION WITH OWNER

HOSE BIB VALVE (WITH NON-REMOVABLE BACKFLOW PREVENTION DEVICE. (CPC 603.4.7, TYP.)

WALL MOUNTED AIR SUPPLY REGISTER

DOORBELL

TELEVISION CABLE

(4) 02-11-20 CONTEMP VERSION REVISED (2) 09-24-19 PLANN'G RESUB-CONTEMP VERSION (3) 11-25-19 CONTEMP VERSION REVISED

(5) 03-25-20 RESUBMITTAL AFTER LETTER 6

ELECTRICAL LEGEND NOTES

ELECTRICAL SUB-PANEL-SEE PLAN FOR LOCATION(S) AND SIZE(S)

FLOOR MOUNTED SUPPLY AIR REGISTER
ELECTRICAL MAIN PANEL-SEE PLAN FOR LOCATION AND SIZE

RETURN AIR REGI

PROJECT NUMBER

DATE

LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS" (CEC ARTICLE 410-4(a)).

FOR JACUZZI-TYPE TUBS SEE DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS AND CODE RESTRICTIONS.

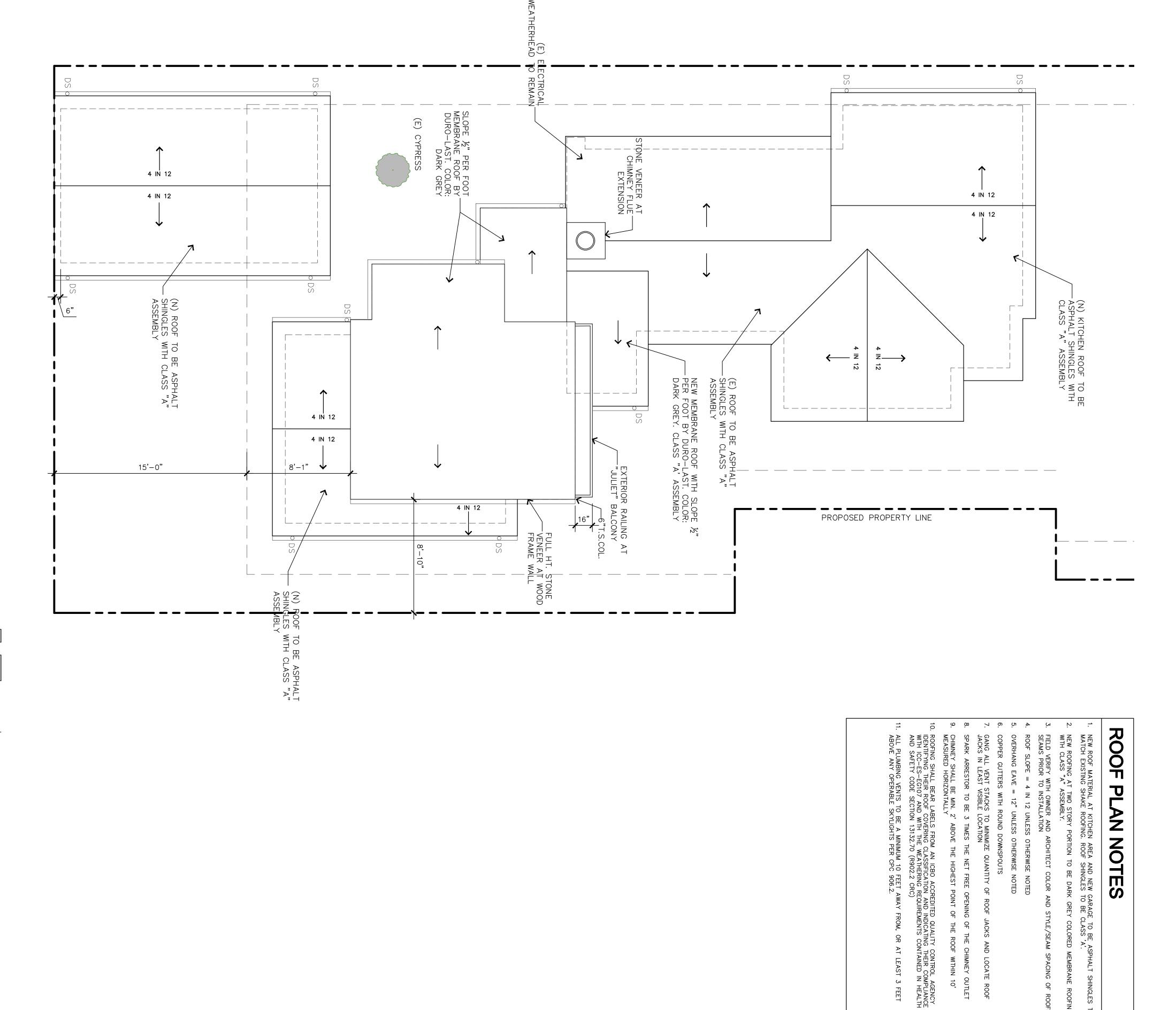
PERMANENTLY LABEL EACH DISCONNECT (CIRCUIT BREAKER) ON THE MAIN AND ALL SUB ELECTRICAL PANEL(S) WITH THE APPLIANCE OR ROOM(S) SERVED BY THE CIRCUIT.

POLESWITCH AND SWITCHPLATE STYLE AND COLOUR TO BE DETERMINED BY OWNER.

THE ELECTRICIAN IS REQUIRED TO CONDUCT AN ON-SITE WALK THROUGH WITH THE OWNERS TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR ALL RECEPTACLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO ROUGHIN.

NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.





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ROOF PLAN NOTES

- NEW ROOF MATERIAL AT KITCHEN AREA AND NEW GARAGE TO BE ASPHALT SHINGLES TO MATCH EXISTING SHAKE ROOFING. ROOF SHINGLES TO BE CLASS 'A'.

 NEW ROOFING AT TWO STORY PORTION TO BE DARK GREY COLORED MEMBRANE ROOFING WITH CLASS "A" ASSEMBLY.

- FIELD VERIFY WITH OWNER AND ARCHITECT COLOR AND STYLE/SEAM SPACING OF ROOFING SEAMS PRIOR TO INSTALLATION

- SPARK ARRESTOR TO BE 3 TIMES THE NET FREE OPENING OF THE CHIMNEY OUTLET CHIMNEY SHALL BE MIN. 2° ABOVE THE HIGHEST POINT OF THE ROOF WITHIN 10° MEASURED HORIZONTALLY ROOF SLOPE = 4 IN 12 UNLESS OTHERWISE NOTED

 OVERHANG EAVE = 12" UNLESS OTHERWISE NOTED

 COPPER GUTTERS WITH ROUND DOWNSPOUTS

 GANG ALL VENT STACKS TO MINIMIZE QUANTITY OF ROOF JACKS AND LOCATE ROOF JACKS IN LEAST VISIBLE LOCATION

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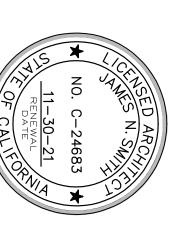
TEL: 831.372-7251 FAX: 831.372-7252 CEL: 831.915-9518

CARMELO

PROJECT/CLIENT

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA





RENEWAL DATE OF CALKORY

ROOF PLAN

SHEET TITLE

1) 04-16-19 SUBMITTAL-TWO STORY ADD-LOT S O ISSUE REVISIONS

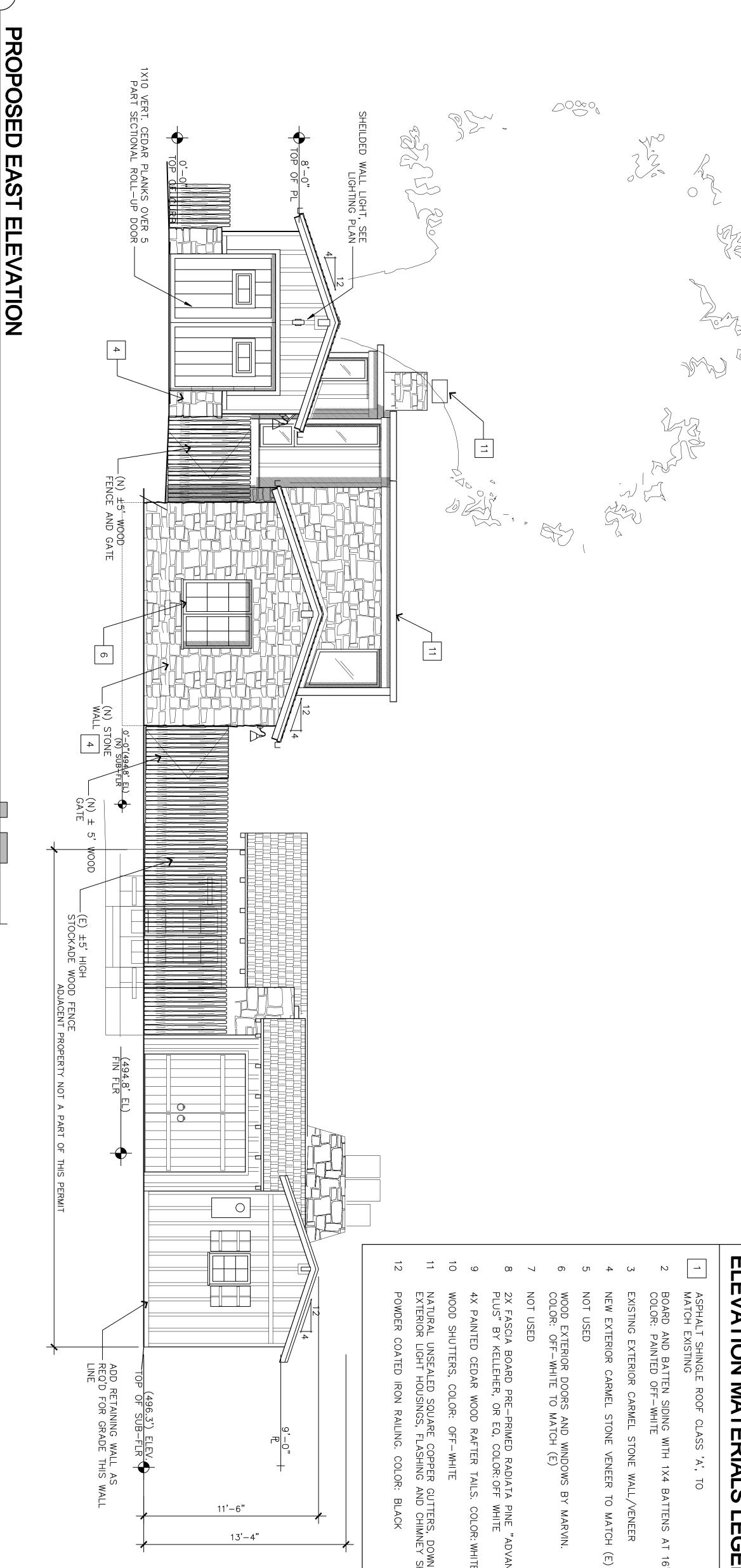
2) 09-24-19 PLANN'G RESUB-CONTEMP VERSION

3) 11-25-19 CONTEMP VERSION REVISED

S 03-25-20 RESUBMITTAL AFTER LETTER 6 (4) 02-11-20 CONTEMP VERSION REVISED

DATE

PROJECT NUMBER



ELEVATION MATERIALS LEGEND

- ASPHALT SHINGLE ROOF CLASS 'A', TO MATCH EXISTING
- BOARD AND BATTEN SIDING WITH 1X4 BATTENS AT 16" O.C. COLOR: PAINTED OFF-WHITE
- EXISTING EXTERIOR CARMEL STONE WALL/VENEER
- 2X FASCIA BOARD PRE—PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ, COLOR:OFF WHITE

716 LIGHTHOUSE AVE PACIFIC GROVE, CA. 93950

- 4X PAINTED CEDAR WOOD RAFTER TAILS. COLOR: WHITE
- NATURAL UNSEALED SQUARE COPPER GUTTERS, DOWNSPOUTS, EXTERIOR LIGHT HOUSINGS, FLASHING AND CHIMNEY SHROUD
- POWDER COATED IRON RAILING. COLOR: BLACK

TEL: 831.372-7251 FAX: 831.372-7252 CEL: 831.915-9518

CARMELO PROJECT/CLIENT

LOT 9

11'-6"

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA



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RENEWAL DATE OF CALLED

SHEET TITLE **EXTERIOR**

ELEVATIONS

1) 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9 O ISSUE REVISIONS

(E)SHAKE ROOF

(E) GARAGE TO BE DEMOLISHED FOREGROUND, SHOWN DASHED. SEE OTHER ELEVATION

2) 09-24-19 PLANN'G RESUB-CONTEMP VERSION (3) 11-25-19 CONTEMP VERSION REVISED

S 03-25-20 RESUBMITTAL (4) 02-11-20 CONTEMP VERSION REVISED AFTER LETTER 6

DATE

PROJECT NUMBER

EXISTING GARAGE ELEVATION

SCALE: 1/4" = 1'-0"

E:\JNS Projects\0000-PROJECTS-ACTIVE\1603-SAGIN-CARMELO LOT 9\24X36 Drav

Package\A6.0-ELEV-CARMELO-LOT 9.dwg, 5/19/2020 2:07:16 PM, DWG To PDF.pc3

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SCALE: 1/4" =

EXISTING

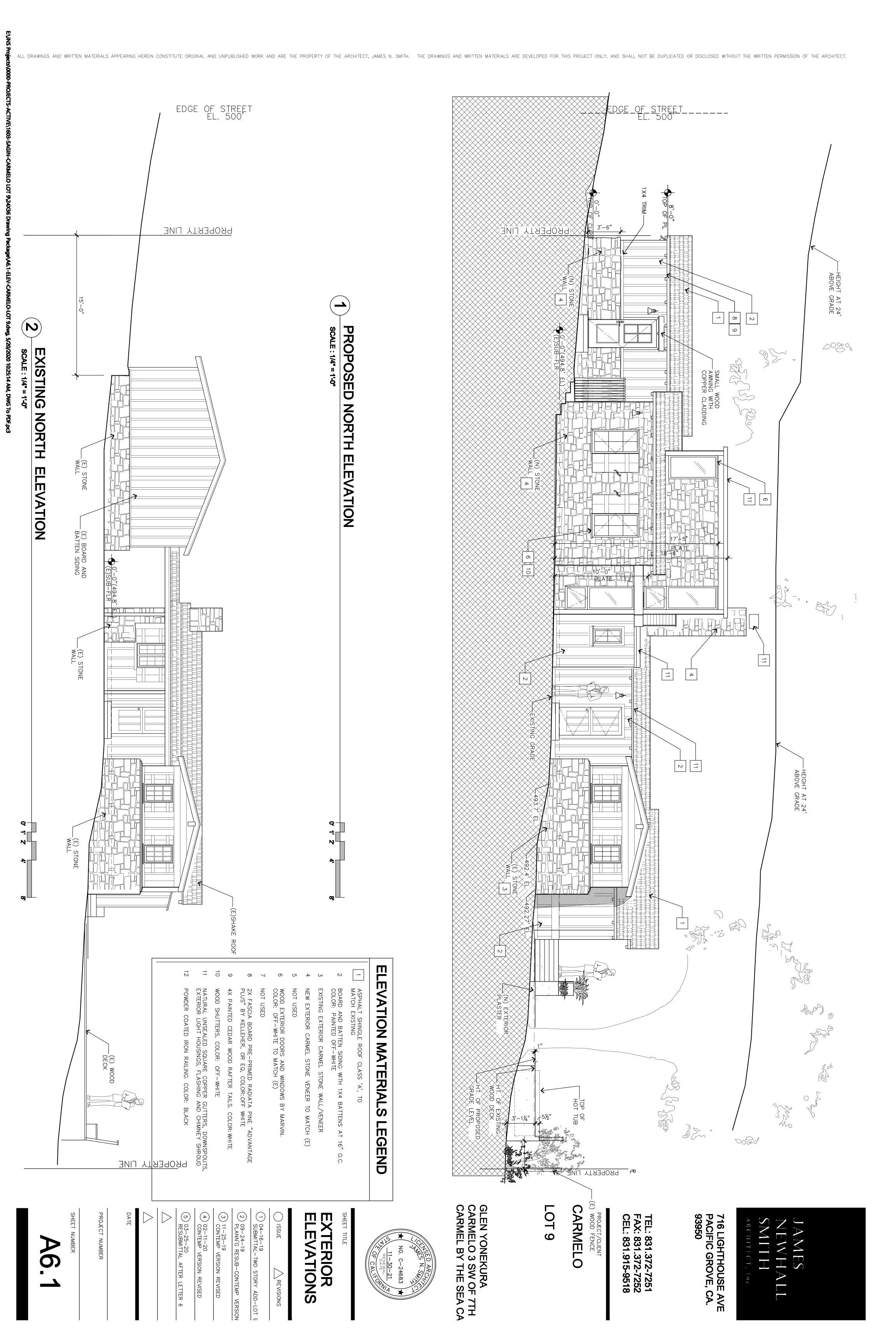
EAST

ELEVATION

WALL ST

TONE

SHEET NUMBER



HT. OF PROPOSED WOOD DECK SOLID CROUTED CMU WALL ON. CONCRETE SLAB SOUND IS 67 DB AT SPA SOUND IS 45.4 dB AT 39" BARRIER CMU WALL AND S ADDITIONAL 10 TO 15 dB ANT BNT M SPA 3'-0" PROPERTY LINE 6'-0"

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PRIMARY SOURCE OF NOISE IS MOTOR WHICH IS MEASURED APPROX. 3' FROM ACTUAL MOTOR. PROPERTY LINE IS 10' FROM MOTOR. THEREFORE SOUND IS ATTENUATED TWICE BY A FACTOR OF 6 dB, RESULTING IN A LEVEL OF 55 dB. SOUND IS ADDITIONALLY ATTENUATED APPROX. 10 dB BY SURROUNDING HOTTUB SOLID CONCRETE. SOUND AT PROPERTY LINE ESTIMATED TO BE 45 dB.

FOR EACH DOUBLING OF DISTANCE FROM A POINT NOISE SOURCE, THE SOUND LEVELL DECREASE BY 6 DB. IN OTHER WORDS, IF A PERSON IS 100 FEET FROM A MACHINE, AND MOVES TO 200 FEET FROM THAT SOURCE, SOUND LEVELS WILL DROP APPROXIMATELY 6 DB. MOVING TO 400 FEET AWAY, SOUND LEVELS WILL DROP APPROXIMATELY ANOTHER 6 DB. FOR EACH DOUBLING OF DISTANCE FROM A LINE SOURCE, LIKE A ROADWAY, NOISE LEVELS ARE REDUCED BY 3 TO 5 DECIBELS, DEPENDING ON THE GROUND COVER BETWEEN THE SOURCE AND THE RECEIVER.) LEVEL A DROP

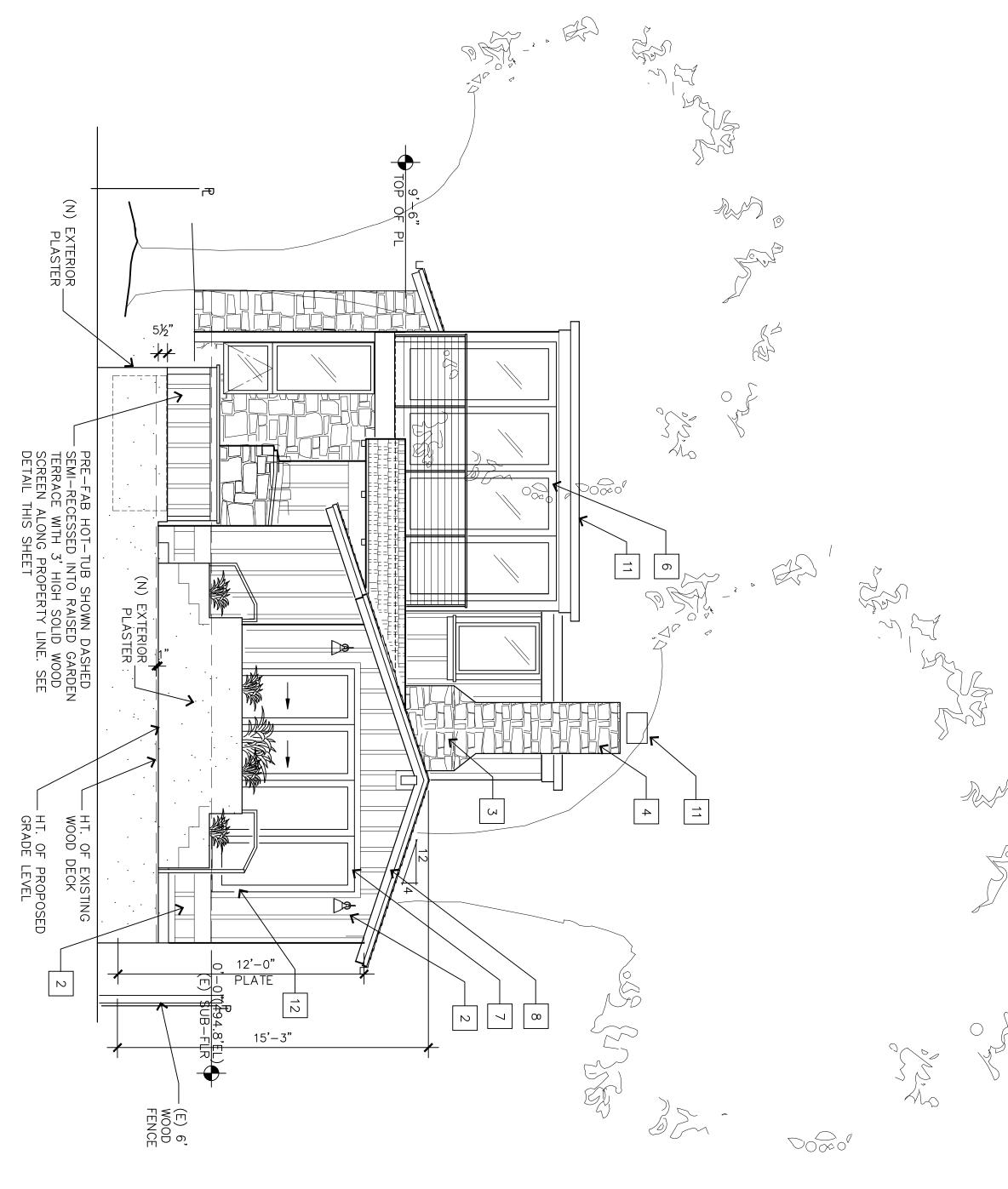
NOISE ATTENUATION NOISE BARRIERS PROVIDE APPROXIMATELY A 5 DB REDUCTION (ADDITIONAL REDUCTION MAY BE PROVIDED WITH A BARRIER APPROPRIATE HEIGHT, MATERIAL, LOCATION, AND LENGTH). THE EXACT INFORMATION DEPENDS ON THE NATURE AND ORIENTATION OF THE AND INTERVENING BARRIERS. NOISE OF

SPA SE CTION

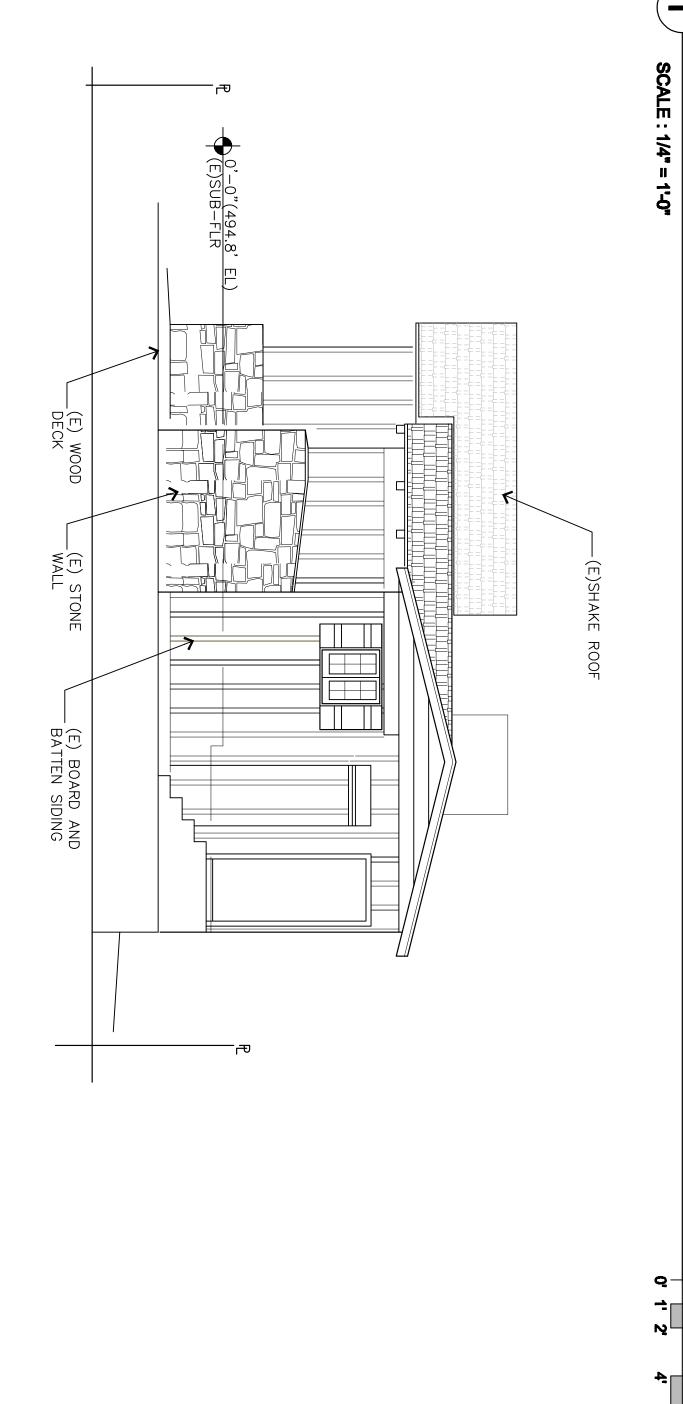
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ts\0000-PROJECTS-ACTIVE\1603-SAGIN-CARMELO LOT 9\24X36 Drawing

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PROPOSED WEST ELEVATION



EXISTING WEST ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION MATERIALS LEGEND

- ASPHALT SHINGLE ROOF CLASS 'A', TO MATCH EXISTING
- BOARD AND BATTEN SIDING WITH 1X4 BATTENS AT 16" O.C. COLOR: PAINTED OFF—WHITE
- NEW EXTERIOR CARMEL STONE VENEER TO MATCH (E) EXISTING EXTERIOR CARMEL STONE WALL/VENEER
- NOT USED
- WOOD EXTERIOR DOORS AND WINDOWS BY MARVIN. COLOR: OFF-WHITE TO MATCH (E)
- NOT USED

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- 2X FASCIA BOARD PRE—PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ, COLOR:OFF WHITE
- WOOD SHUTTERS, COLOR: OFF-WHITE 4X PAINTED CEDAR WOOD RAFTER TAILS. COLOR: WHITE

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POWDER COATED IRON RAILING. COLOR: BLACK NATURAL UNSEALED SQUARE COPPER GUTTERS, DOWNSPOUTS, EXTERIOR LIGHT HOUSINGS, FLASHING AND CHIMNEY SHROUD

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CARMELO

PROJECT/CLIENT

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA



SHEET TITLE

ELEVATIONS EXTERIOR

SUSSIE	
REVISIONS	

1) 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9

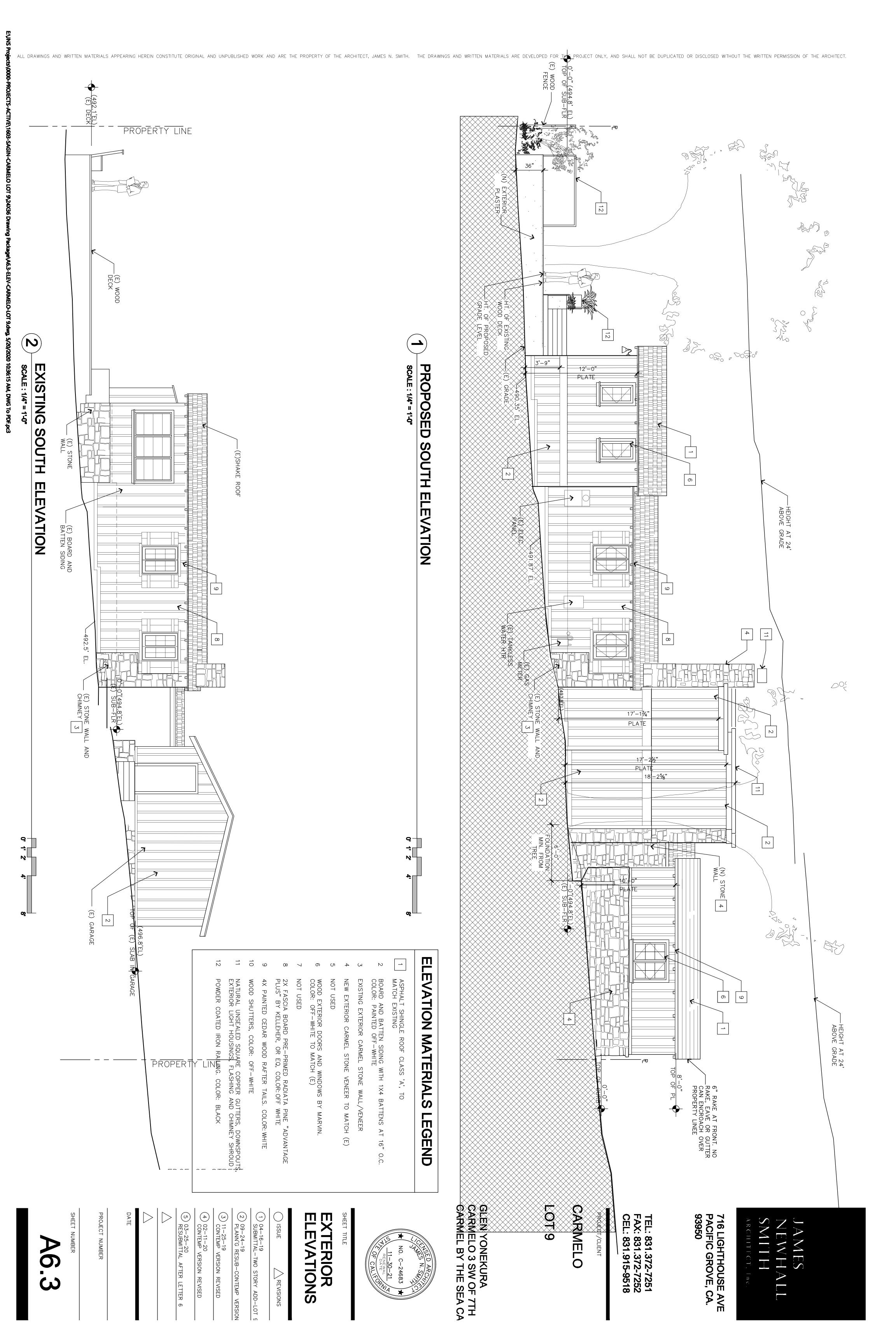
2) 09-24-19 PLANN'G RESUB-CONTEMP VERSION 3) 11-25-19 CONTEMP VERSION REVISED

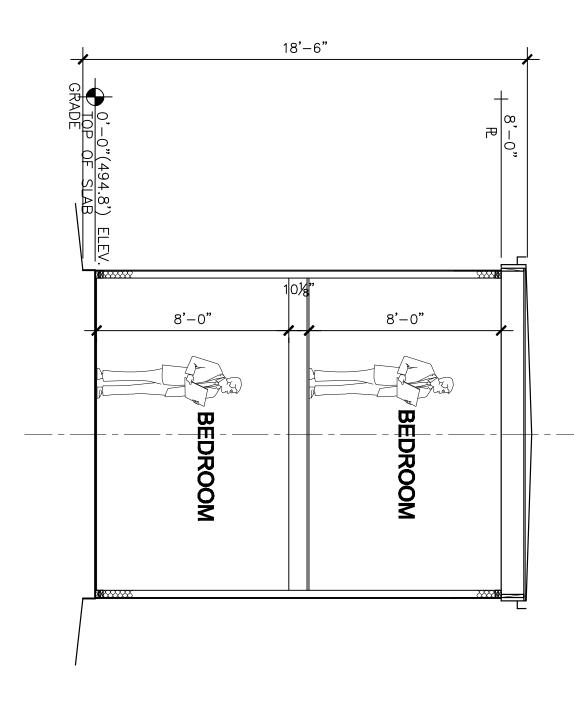
(5) 03-25-20 RESUBMITTAL (4) 02-11-20 CONTEMP VERSION REVISED AFTER LETTER 6

DATE

PROJECT NUMBER

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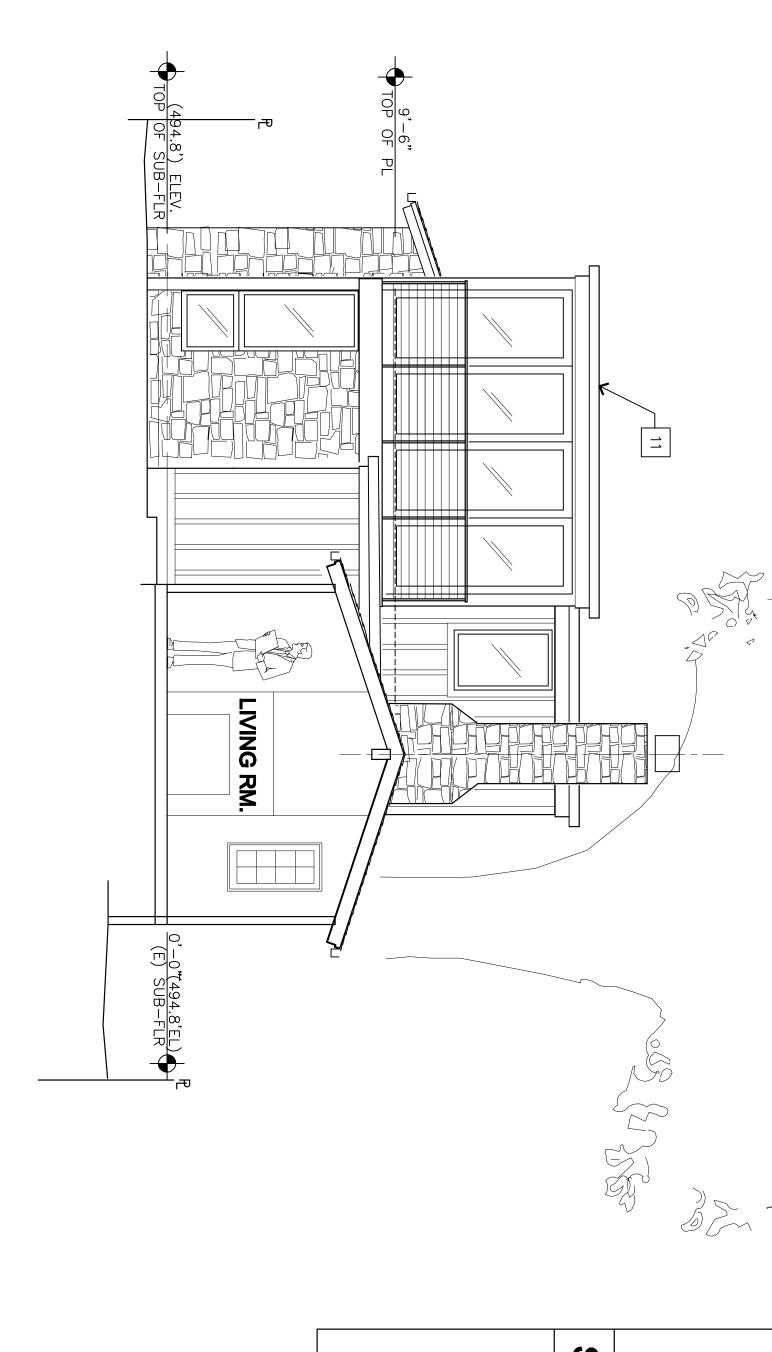


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ELEVATION MATERIALS LEGEND

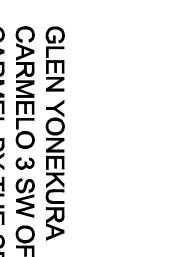
- ASPHALT SHINGLE ROOF CLASS 'A', TO MATCH EXISTING BOARD AND BATTEN SIDING WITH 1X4 BATTENS AT 16" O.C. COLOR: PAINTED OFF-WHITE
- EXISTING EXTERIOR CARMEL STONE WALL/VENEER
- NEW EXTERIOR CARMEL STONE VENEER TO MATCH (E)
- NOT USED
- WOOD EXTERIOR DOORS AND WINDOWS BY MARVIN. COLOR: OFF-WHITE TO MATCH (E)
- NOT USED
- 2X FASCIA BOARD PRE—PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ, COLOR:OFF WHITE
- WOOD SHUTTERS, COLOR: OFF-WHITE 4X PAINTED CEDAR WOOD RAFTER TAILS. COLOR: WHITE

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- NATURAL UNSEALED SQUARE COPPER GUTTERS, DOWNSPOUTS, EXTERIOR LIGHT HOUSINGS, FLASHING AND CHIMNEY SHROUD
- POWDER COATED IRON RAILING. COLOR: BLACK

SECTION NOTES

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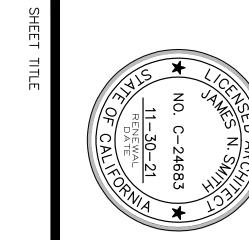
LOT 9

CARMELO

PROJECT/CLIENT







SECTIONS

(2) 09-24-19 PLANN'G RESUB-CONTEMP VERSION	1) 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9	O ISSUE REVISIONS

3) 11-25-19 CONTEMP VERSION REVISED

(4) 02-11-20 CONTEMP VERSION REVISED

(5) 03-25-20 RESUBMITTAL AFTER LETTER 6

DATE

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10'-0" PLATE

HAND-DGGING IS REQ'D WITHIN 15' OF CYPRESS TREE. ROOTS ENCOUNTERED 2" OR LARGER REQUIRES REVIEW OF CITY FORESTER

6'-0"

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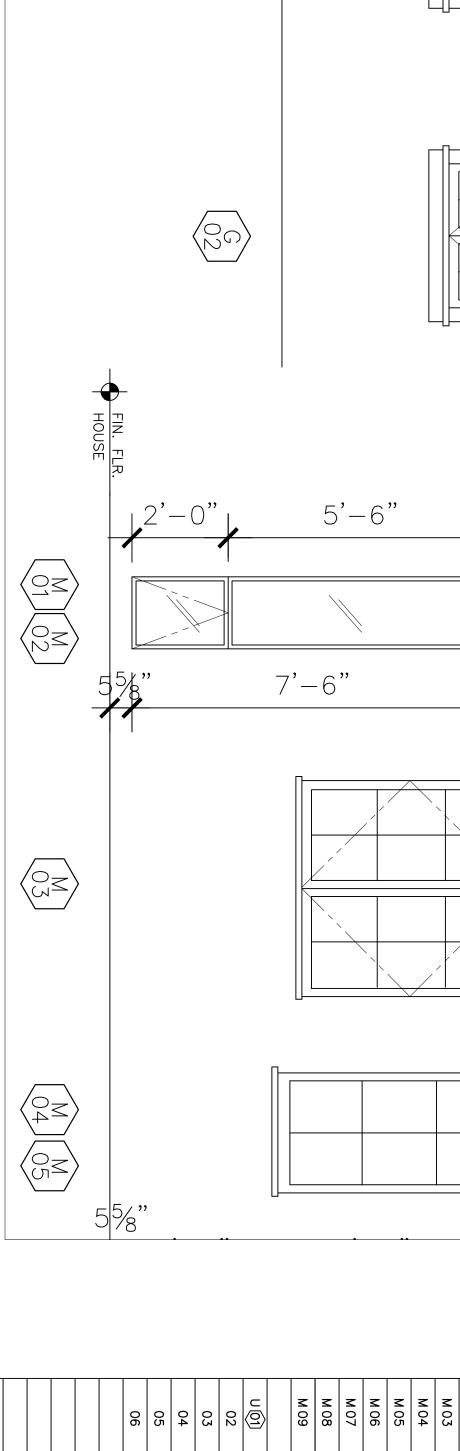
 $\pm 5' - 6"$

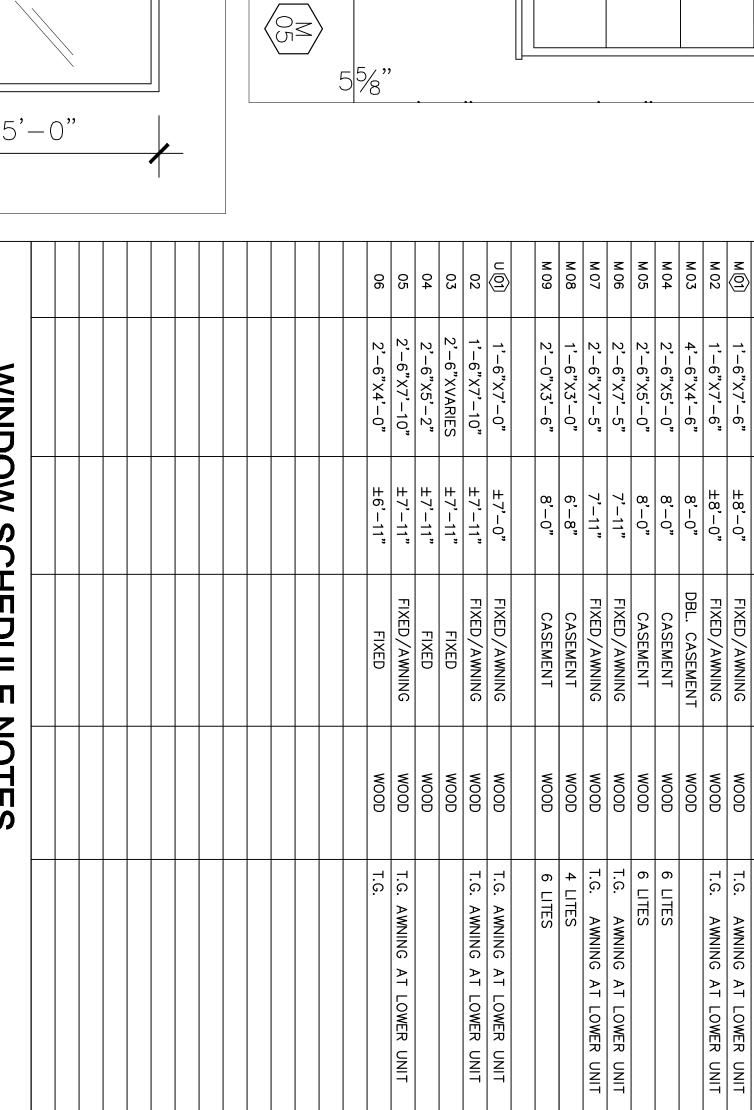
EXISTING GRADE

4X4 REDWOOD POSTS AT 6' O.C. MAX EMBEDED INTO CONCRETE

CEDAR 'STOCKADE' FENCING, LEFT NATURAL

PROJECT NUMBER





WINDOW SCHE **DULE NOTES**

5'-0"

7'-6"

7'-115/8"

GENERAL

7'-0"

7'-10"

2'-0"

5'-10"

- WINDOW SCHEDULE PROVIDED ABOVE IS PRELIMINARY IN NATURE. CONTRACTOR AND WINDOW SUPPLIER SHALL COMPILE A COMPLETE AND ACCURATE SCHEDULE BASED UPON FRAMED FIELD CONDITIONS OF PROJECT AND OWNER CHANGES/PREFERENCES. SPECIALTY WINDOWS MUST BE COORDINATED WITH THE GENERAL CONTRACTOR.
- WINDOW DIMENSIONS ARE PROPOSED UNIT CONDITIONS AND FOR MANUFACTURER'S NE SCREENS, GLAZING, ETC. MUST BE APPROVE STRUCTURAL WINDOW SHOP DRAWINGS FOR SIZES. GENERAL CONTRACTOR IS TO VERIFY ALL PROPOSED WINDOW SIZES WITH SITE EAREST STOCK SIZES, WHEN APPLICABLE. ALL WINDOW SIZES, SHAPES, COLORS, HARDWARE, VED BY OWNER PRIOR TO ORDERING. CONTRACTOR SHALL PROVIDE ARCHITECT COMPLETE? REVIEW.
- ALL WINDOWS ARE TO BE DOUBLE GLAZED UNLESS OTHERWISE NOTED, SEE TITLE 24 CALCS FOR REQUIRED MIN. VALUES
- ALL WINDOWS SHALL HAVE A SOLDIERED COPPER PAN, MINIMUM 20 OZ., WITH MOISTSTOP OR EQUIVALENT WATERPROOFING SYSTEM. GALVANIZED IRON IS ACCEPTABLE IN NON—COASTAL ENVIRONMENTS. SEE DETAIL. DUAL GLAZING IS TO BE LOW—E CARDINAL "270" GLAZING. OWNERS TO VERIFY WITH WINDOW REP WHICH, IF ANY, WINDOWS ARE TO BE "366" GLASS OR HAVE TINT WITHIN GLAZING, DUE TO SUN EXPOSURE. FILM IS NOT RECOMMENDED FOR DUAL GLAZED UNITS
- WINDOWS WHICH EXCEED STANDARD SIZES SHALL BE VERIFIED BY WINDOW SUPPLIER FOR ENGINEERING AND WIND LOAD AT GIVEN PROJECT LOCATION AND PLACEMENT OF WINDOW(S) ON RESIDENCE (EXPOSURE) WEATHER—STRIPING OF ALL WINDOWS SHALL BE CONTINUOUS ON ALL SIDES OF EACH WINDOW AND SHALL BE SIZED, DESIGNED, AND FITTED TO PROVIDE FULL WATER—TIGHTNESS AGAINST WATER AND DRIVING RAIN. CONTRACTOR SHALL WATER TEST A MINIMUM OF ONE WINDOW AFTER INSTALLATION ON SIDE OF RESIDENCE WHERE EXPOSURE TO WEATHER IS GREATEST, AND REPORT FINDINGS TO OWNER AND ARCHITECT.
- REQUIRED NATURAL LIGHT FOR EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS WITH AN AREA OF NOT LESS THAN 8% OF ROOM FLOOR AREA. (CRC R303.1).
- REQUIRED NATURAL VENTILATION IN OCCUPIED SPACES THROUGH OPENABLE EXTERIOR WALL OPENINGS SHALL BE AN AREA NOT LESS THAN 4% OF THE AREA BEING VENTILATED. (CRC R303.1).

SAFETY1 BASE

- BASEMENTS AND EACH SLEEPING ROOM SHALL HAVE MIN. ONE EGRESS WINDOW WITH A NET CLEAR OPENABLE AREA OF 5.7 S.F., WITH THE MIN. NET CLEAR OPENABLE HEIGHT OF 24" AND THE MIN. NET CLEAR WIDTH SHALL BE 20". THE SILL HEIGHT SHALL BE MAX. 44" A.F.F. (CBC 1029.2 & 1029.3). EXCEPTIONS: BASEMENTS WITH A CEILING OF LESS THAN 80" OR LESS THAN 200 S.F. IN FLOOR AREA SHALL NOT BE REQUIRED TO HAVE AN EMERGENCY ESCAPE AND RESCUE WINDOWS (CRC R310.1).
- ALL CASEMENT WINDOWS USED IN BEDROOMS AS EMERGENCY EGRESS MUST BE "BREAK AWAY" TYPE TO ENSURE COMPLETE OPENABLE AREA FOR ACCESS.
- ALL GLAZING SUBJECT TO HUMAN IMPACT IN HAZARDOUS LOCATIONS AS DEFINED IN CRC R308.4 SHALL MEET MINIMUM REQUIREMENTS OF CRC R308.3.1, INCLUDING GLASS MIRRORS, SHALL BE TEMPERED GLASS OR WIRE SAFETY GLASS (CBC 2406)
- ALL OPERABLE WINDOWS ABOVE ADJACENT GRADE BY 6' OR MORE AND LOCATED WITHIN 36" OF THE FINISHED FLOOR, OR OTHERWISE VULNERABLE TO A PERSON FALLING OUT, SHALL HAVE SUITABLE RESTRAINT BAR(S) INSTALLED. THE BUILDING OWNER CAN ELECT NOT TO INSTALL RESTRAINTS AT THEIR SOLE DISCRETION. INSECT SCREENS DO NOT OFFER PROTECTION AGAINST PERSONS FALLING OUT OF A WINDOW. GLAZING IN AN INDIVIDUAL, FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE SHALL BE SAFETY GLASS (CRC 308.4.2)
- WINDOWS THAT MEET ALL CONDITIONS SHALL BE TEMPERED PER CRC R308.4.3: WHERE EXPOSED AREA OF INDIVIUAL PANE IS GREATER THAN 9 SQUARE FEET, EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR, AND ONE OR MORE WALKING SURFACES ARE WITHIN 36", MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING, SHALL BE TEMPERED GLAZING.(R308.4.3)
- GLAZING IN WET AREAS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE TEMPERED.

W.U.I.

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(GC)

THIS PROJECT IS NOT LOCATED WITHIN WILL APPLY SUCH AS THE TEMPERING OF THE DLAND URBAN INTERFACE (W.U.I.) ZONES, NO ADDITIONAL REQUIREMENTS OUTER-MOST PANE OF GLASS PER CRC R337.8

SCHEDULE HEAD HEIGHT TYPE OF OPERABILITY DBL CASEMENT CASEMENT FRAME MATERIAL WOOD WINDOW REP TO VERIFY TYPE OF GLASS AND TINT/FILM WITH OWNER RE ALL WINDOWS, SEE "GENERAL" NOTE #4 BELOW SEE ALL NOTES BELOW, AS APPLIES, TYP. REMARKS

MARK

UNIT SIZE

WIDTH X HEIGHT4'-0"X3'-6"
3'-0"X3'-6"

WINDOW

M (0)

1'-6"X7'-6" 1'-6"X7'-6"

DBL

L. CASEMENT

FIXED/AWNING FIXED/AWNING

WOOD

AWNING AT LOWER UNIT

WOOD

93950 716 LIGHTHOUSE AVE PACIFIC GROVE, CA.

TEL: 831.372-7251 FAX: 831.372-7252 CEL: 831.915-9518

PROJECT/CLIENT

LOT 9 CARMELO

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA





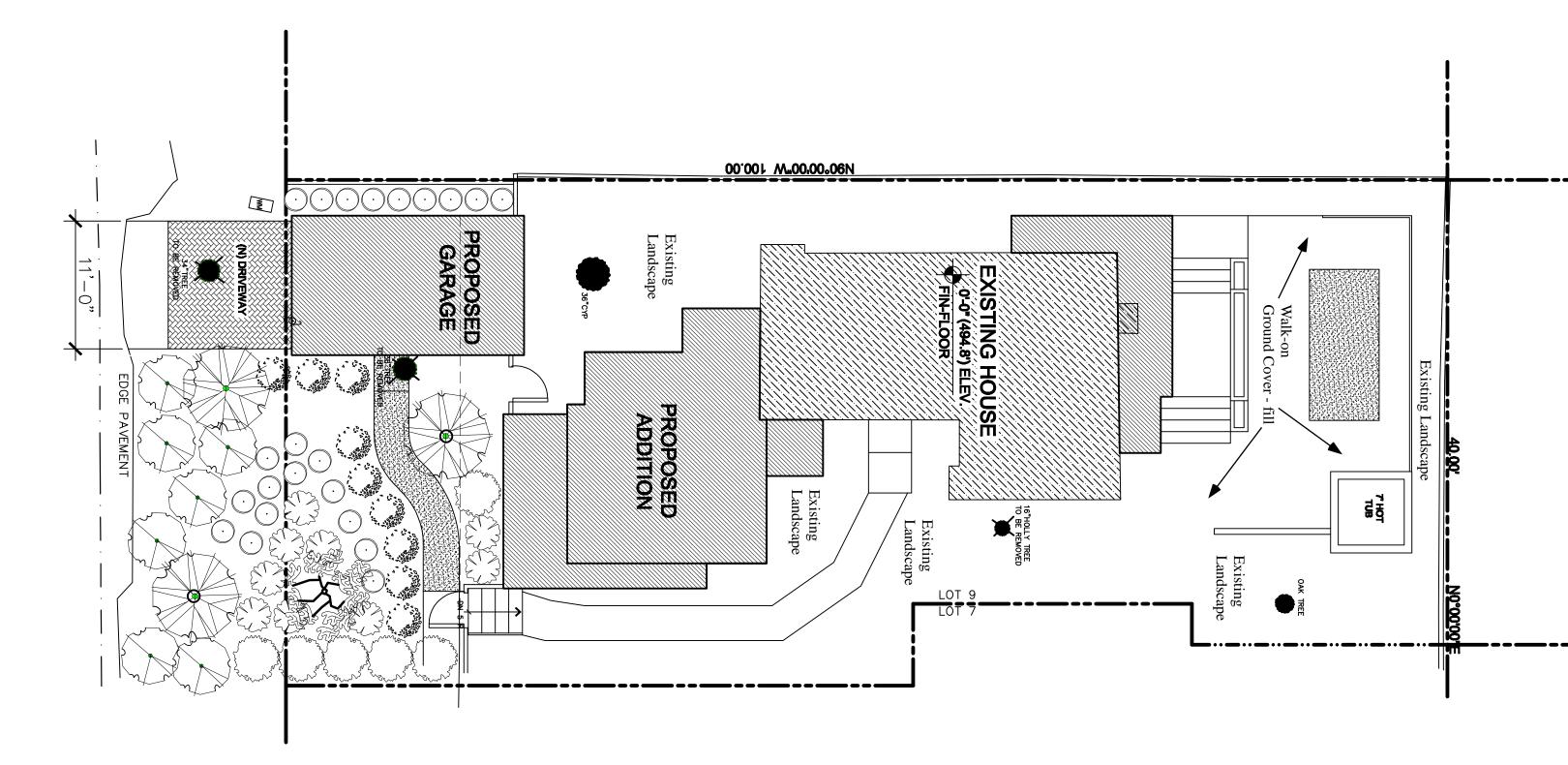
WINDOW SCHEDULE

- SSUE REVISIONS
- 2) 09-24-19 PLANN'G RESUB-CONTEMP VERSION (3) 11-25-19 CONTEMP VERSION REVISED 1) 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
- (4) 02-11-20 CONTEMP VERSION REVISED
- S 03-25-20 RESUBMITTAL

PROJECT NUMBER

DATE

SHEET NUMBER



CARMELO

7/5 gal. 3/15 gal. Q/Size 1/15 gal.

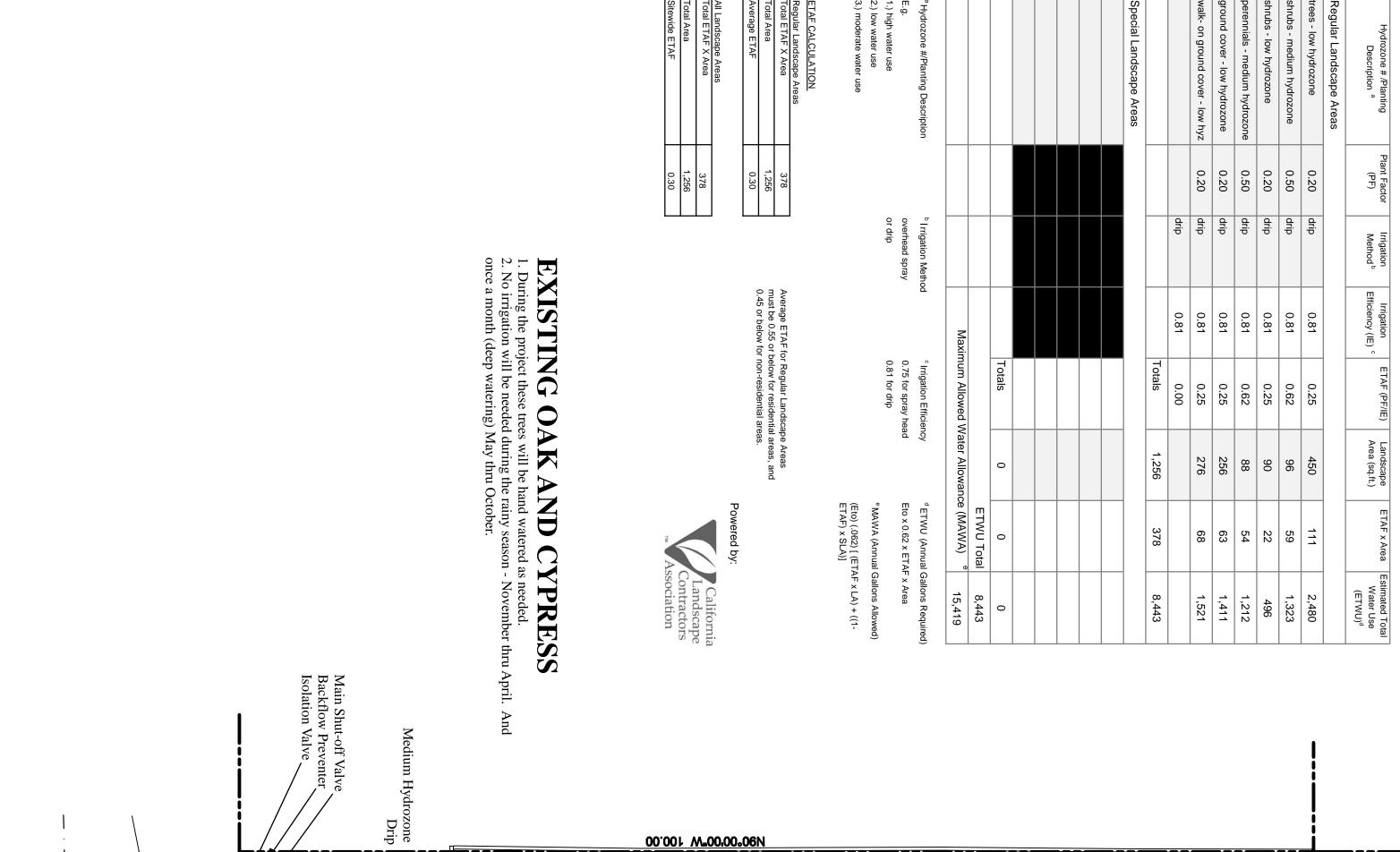
Project: Carmelo 3 SW of 7th

Carmel By The Sea, CA 010-268-003 APN: Contact: Nexus Capital Group 5150 El Camino Real Suite A30 Los Altos, CA 94022 Glen Yonekura (650) 385-6403

LIST & KEY

WATER EFFICIENT LANDSCAPE WORKSHEET

(ETo)



00.001 W"00'00°09V

♦

PROPOSED GARAGE

Hydrozone
— Drip

Controller Hunter IC-600-PL Backflow preventer Wilkins LF975XL

w/wireless Solar S reduced pressure b

Manufacture & Model

Medium Hydrozone

8

Valves

Weathermatic 21000 series

normally closed, forward flow

this is the beginning of 1/2" drip distribution tubing-
Hunter HE-10-B

Filter

Hunter HFR-100-075-25

Emitter Tubing

RainBird LDQ0806100

Pressure Reg.

Normally closed, forward flow

1 GPM

regulator/filter combo

1/4" emitter tubing 6" spacing

Controller

IRRIGATION LEGEND &

PROPOSED ADDITION

CARMELO

11,-0,"

IRRIGATION NOTES

1. Using a point of connection (water meter) as shown on plan, a 1" main line PVC will run to the valves. Installer to verify point of connection.

2. All landscape will be drip irrigated. Within the planting beds 1/2" drip tubing will be used with emitters leading to each plant as follows:

1 GPH emitters for each 1 gallon plant

2, 1 GPH emitters for each 5 gallon plant

4, 1 GPH emitters for each 15 gallon plant
emitter tubing to be used in Walk-on Ground Cover area (buried)

3. A backflow device will be used to prevent any contamination of drinking water. The Wilkins LF975XL will be used. Additionally the following components will be attached to each drip valve: Filter and pressure regulator.

4. A controller will be used to regulate watering. A Hunter I-Core is recommended used with a wireless on site weather station (Solar Sync), which will suspend or alter irrigation operation during unfavorable weather conditions. A similar "water sense" labeled controller may be used if desired.

5. All work to conform to state and local codes (i.e. wiring depth of lines, flushing mainlines, and laterals attached to the conform to state and local codes (i.e. wiring depth of lines, flushing mainlines, and laterals attached to the conform to state and local codes (i.e. wiring depth of lines, flushing mainlines, and laterals attached to the conform to state and local codes (i.e. wiring depth of lines, flushing mainlines, and laterals attached to the conform to state and local codes (i.e. wiring depth of lines, flushing mainlines, and laterals attached to the conform to state and local codes (i.e. wiring depth of lines).

THOT

and laterals, etc.).

6. This drawing is diagrammatic therefore changes may be made due to conditions at the site. Contractor to make a note of changes.

7. Irrigation parts and supplies are available at: Hydro Turf; 750 Work Street; Salinas (754-2020 office/754-2096 fax).

8. Estimated static pressure at the site is 60psi. If pressure is significantly lower or higher pressure regulation will be needed.

9. Install a Neptune T-10 Water Meter to facilitate water management on commercial sites of 1,000 - 5,000 sq.ft and residential sites over 5,000 sq.ft. N/A

10. For sites with landscaping over 5,000 sq.ft. install a flow meter. A Badger Industrial/Data Industrial Impeller series 228 PVC Irrigation Sensor #228PV1506-1211. is recommended. Manual and master shut-off valves to be installed as shown. N/A

11. Any spray portions of the irrigation will be irrigated with MP Rotators for maximum water efficiency with head to head coverage, with check valves, and installed on swing joints.

12. Trees to be on a dedicated valve if resonable.

13. Hydrozones areas are indicated on plan.

14. "Thave complied with the criteria of the ordinance (MWELO) and applied them accordingly for the efficient use of water in the irrigation design plan"

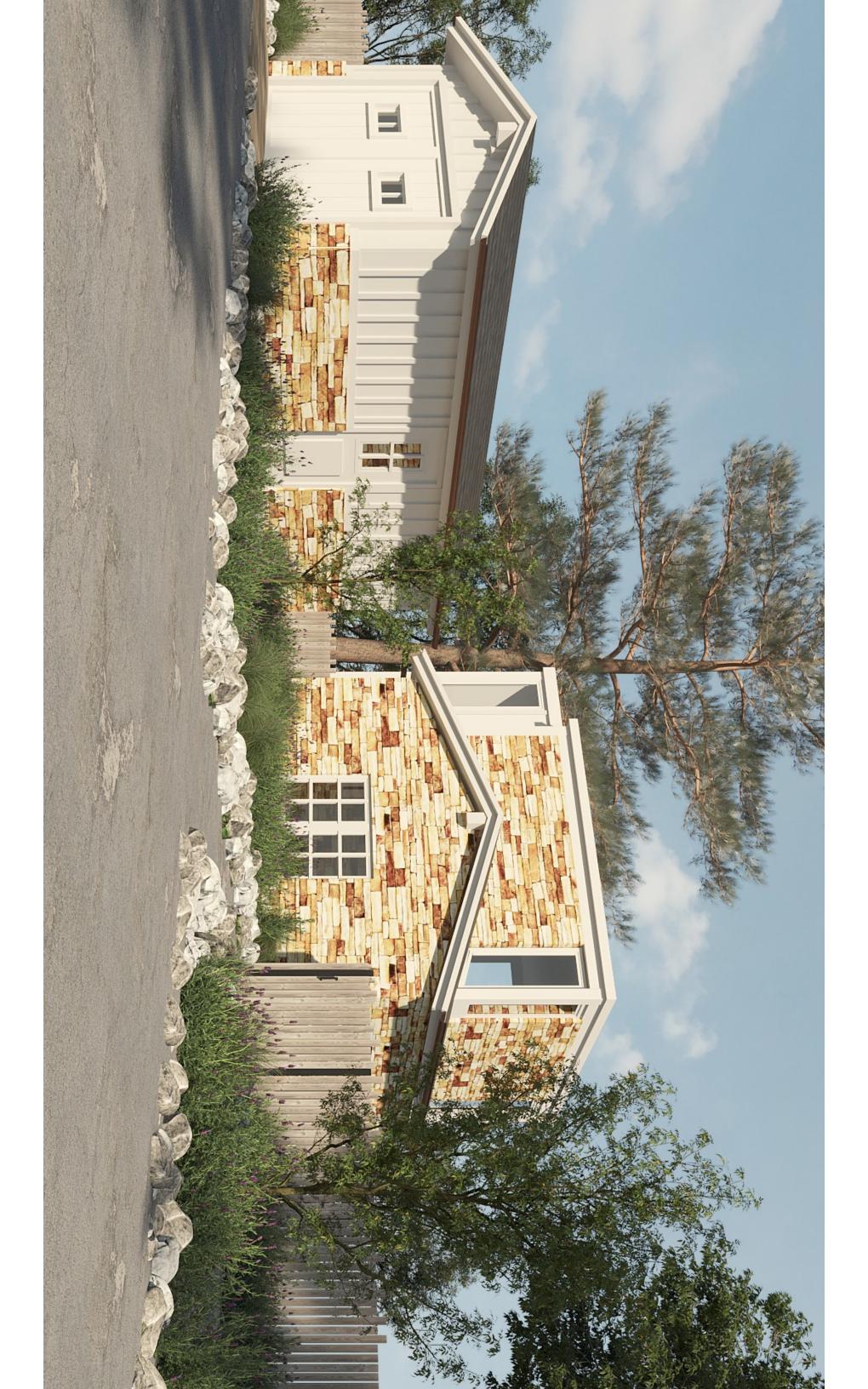
EXISTING HOUSE

Project: Carmelo 3 SW of 7th Carmel By The Sea, CA APN:

010-268-003 **Contact: Nexus Capital Group** 5150 El Camino Real Suite A30 Los Altos, CA 94022 Glen Yonekura (650) 385-6403

Date: 3/5/2020

Scale: 1/8" = 1'0"

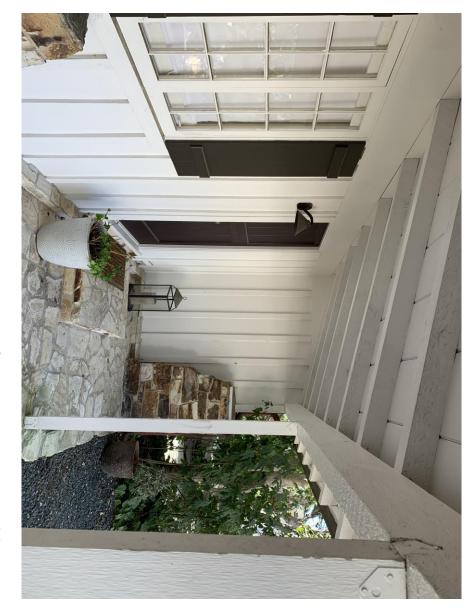


03-25-20

Carmel-By-The-Sea, CA. Catherine Tarone, Asst. Planner

RE: Completeness Review Letter #6 DS 18-048

Block T, Lots 7 & 9 W/s Carmelo between 7th & 8th



Wood trim, windows and board and batt siding Color: off white to match (e)

03-25-20

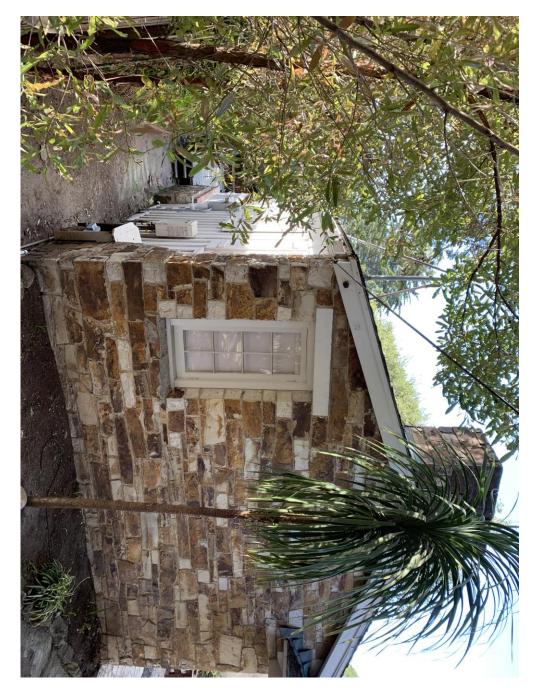
Catherine Tarone, Asst. Planner Carmel-By-The-Sea, CA.

<u>Р</u>Е: W/s Carmelo between 7th & 8th Block T, Lots 7 & 9 Completeness Review Letter #6 DS 18-048

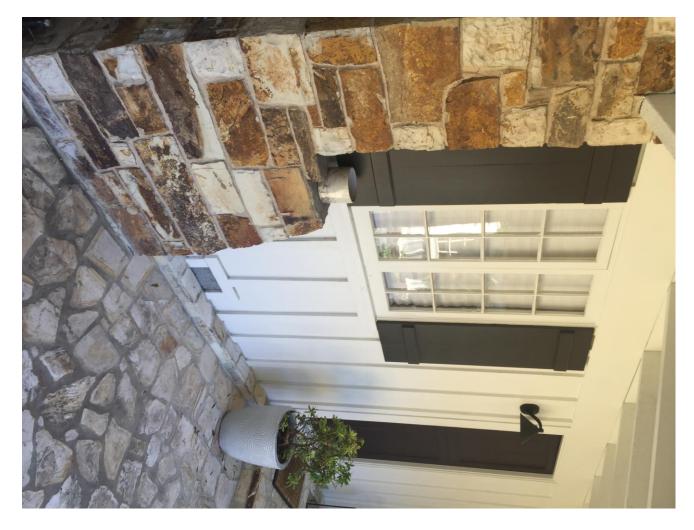


Duro-Last Color: dark Grey (Upper Right color)

DS 18-048 W/s Carmelo between 7th & 8th Block T, Lot 9



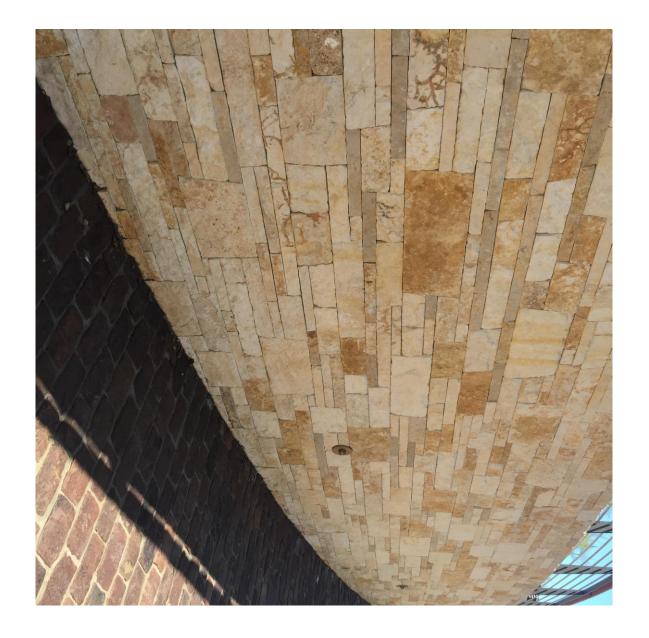
Stone at existing Cottage to be matched on proposed addition



Trim and siding paint color on proposed addition to match existing shown

CARMELO 3 SW OF 7TH, LOT 9 A.P.N. #010-268-003

Goldstone, Granite Rock ALTERNATE EXTERIOR STONE



716 LIGHTHOUSE AVE PH: 831-372-7251 PACIFIC GROVE, CALIFORNIA 93950 FAX: 831-372-7252 JNSAIA.COM

Highlife® Collection ARA®





Aria shown with Alpine White shell



Aria shown with Alpine White shell and Walnut cabinet

Seating Capacity	5 adults
Dimensions	7'3" x 7'3" x 36"/2.20m x 2.20m x .91m
Water Capacity	325 gallons/1,225 liters
Weight	695 lbs./315 kg dry; 4,280 lbs./1,940 kg filled*
Jets - 35 (w/ Stainless Steel Trim)	1 Moto-Massage® DX jet (2) 2 SoothingStream® jets
	2 JetStream® jets 2 Rotary Hydromassage jets 5 Directional Hydromassage jets 4 HydroStream® jets 4 HydroStream® jets 18 Directional Precision® jets
Water Feature	BellaFontana® with 3 illuminated arcs of water
Water Care System (Optional)	FreshWater® Salt System
Jet Pump 1	Wavemaster® 9000; One-speed, 2.5 HP Continuous Duty, 5.2 HP Breakdown Torque
Jet Pump 2	Wavemaster® 8200; Two-speed, 2.0 HP Continuous Duty, 4.0 HP Breakdown Torque
Circulation Pump	SilentFlo 5000° for quiet, continuous filtration
Effective Filtration Area	325 sq. ft., top loading Tri-X° filters 100% no-bypass filtration
Control System	IQ 2020° with wireless remote control 230v/50amp, 60Hz, Includes G.F.C.I. protected sub-panel
Lighting System	Luminescence® multi-color four-zone
Heater	No-Fault [®] , 4000w/230v
Energy Efficiency	Certified to the APSP 14 National Standard and the California Energy Commission (CEC) in accordance with California law
Vinyl Cover	3.5" to 2.5" tapered, 2 lb. density foam core, with hinge seal in Chocolate or Smoke
Cover Lifter (Optional)	CoverCradle®, CoverCradle II, Lift 'n Glide® or UpRite®

Entertainment System (Optional) Wireless Sound System

CABINET AND SHELL COLOR OPTIONS

				Shell Colors	Cabinet Colors
Desert	Tuscan Sun	Ice Gray	Ivory	Alpine White	Walnut
	Platinum	Tuscan Sun	Ice Gray	Alpine White	Driftwood
	Desert	Tuscan Sun	Ivory	Alpine White	Bronze
			Ice Gray	Alpine White	Brushed Nickel
	Desert	Tuscan Sun	Ivory	Alpine White	Sandstone
		Platinum	Ice Gray	Alpine White	Shale

No special orders or shell substitutions available.

^{*} Includes water and 5 adults weighing 175 lbs. each Export models available in 230v, 50Hz, 1500w Heater