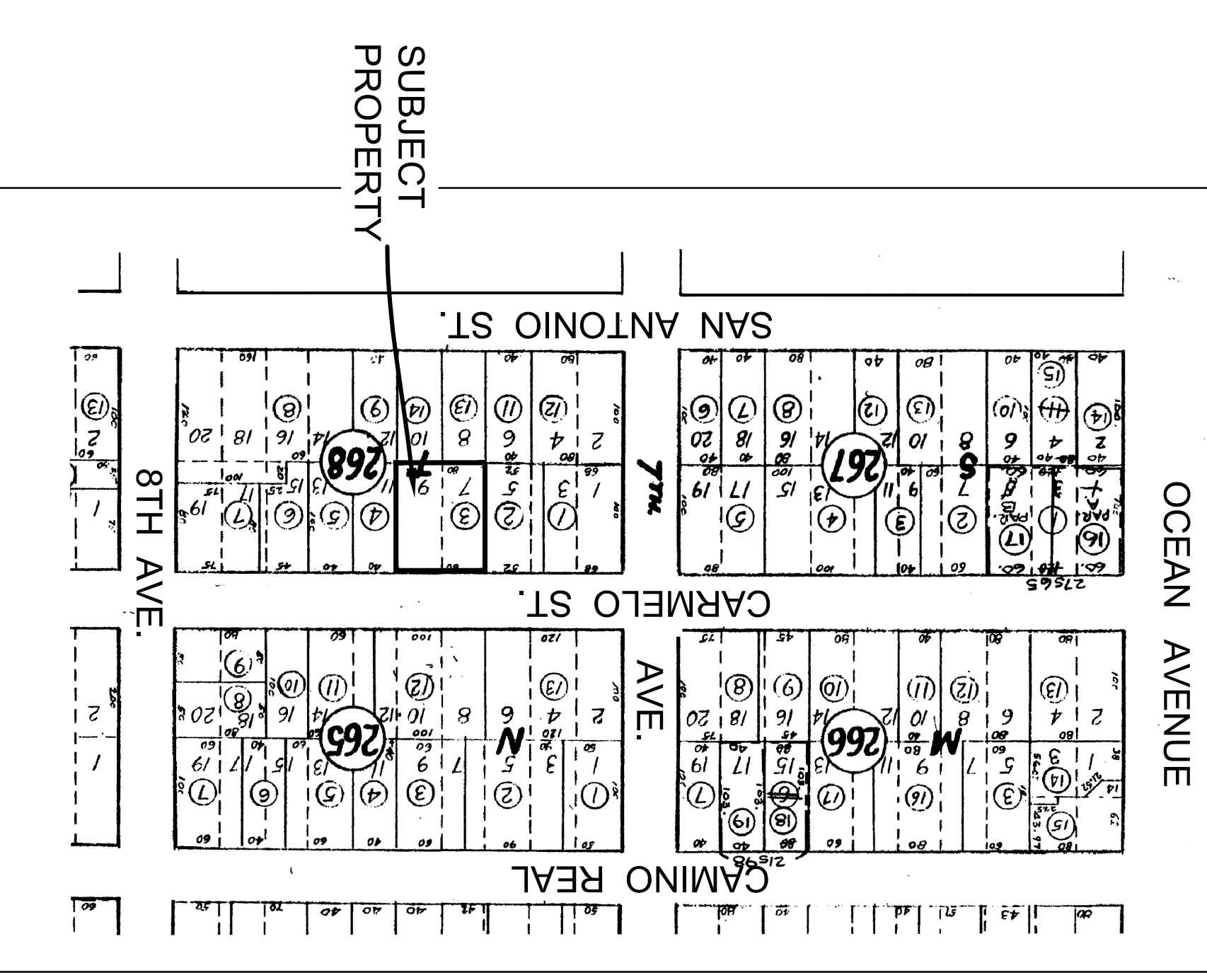


EQUAL AREA SPLIT
 AREA OF LOTS 7 & 9 COMBINED = 8,000 SQ.FT.
 AREA OF EACH LOT AFTER DIVISION: 4,000 SQ.FT. EACH

CURRENT OWNER
 NEXUS CAPITAL GROUP, LLC

CARMELO STREET
 (A 50' CITY STREET)



- NOTES:**
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
 - UNDERGROUND UTILITIES, IF ANY, WERE NOT LOCATED. INFORMATION REGARDING UNDERGROUND UTILITY LOCATIONS SHOULD BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES OR PUBLIC AGENCIES.
 - ELEVATIONS ARE BASED ON AN ARBITRARILY ASSUMED DATUM AS NOTED.
 - DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 - TREE SYMBOLS ARE DRAWN TO SCALE ONLY APPROXIMATELY.
 - SUFFICIENT BOUNDARY TIES WERE MADE TO GRAPHICALLY SHOW EXISTING FEATURES. A COMPLETE BOUNDARY SURVEY WAS NOT DONE AT THIS TIME.
- STONE
 - BRICK
 - CONCRETE
 - WP = WOOD POSTS FOR TRELLIS
 - SW = SIDE WALK
 - GM = GAS METER
 - WM = WATER METER
 - SSCO = SANITARY SEWER CLEAN-OUT
 - BK WALL = BRICK WALL

DEMO SITE PLAN NOTES

1. ASBESTOS SURVEY MUST BE CONDUCTED PRIOR TO ANY DEMOLITION
2. NOTIFY AIR RESOURCES BOARD IF STRUCTURAL MEMBERS ARE REMOVED AND/OR PER THEIR REQUIREMENTS
3. NO DEMO OR OTHER WORK ON NORTHERLY LOT 7 UNDER THIS PERMIT

JAMES NEWHALL SMITH
ARCHITECT, INC.

716 LIGHTHOUSE AVE
PACIFIC GROVE, CA.
93950

TEL: 831.372-7251
FAX: 831.372-7252
CEL: 831.915-9518

PROJECT/CLIENT

CARMELO

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA



SHEET TITLE
DEMO SITE PLAN

- | | | | |
|---|----------|---|--------------------------------|
| ○ | ISSUE | △ | REVISIONS |
| 1 | 04-16-19 | | SUBMITTAL-TWO STORY ADD-LOT 9 |
| 2 | 09-24-19 | | PLANNING RESUB-CONTEMP VERSION |
| 3 | 11-25-19 | | CONTEMP VERSION REVISED |
| 4 | 02-11-20 | | CONTEMP VERSION REVISED |
| 5 | 03-25-20 | | RESUBMITTAL AFTER LETTER 6 |

△ DATE

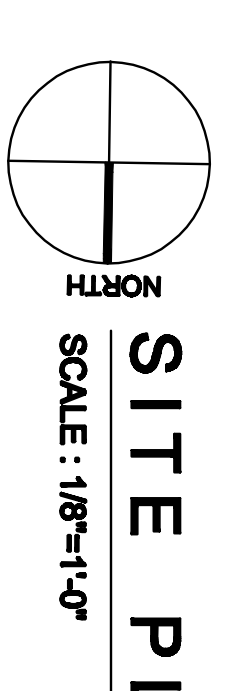
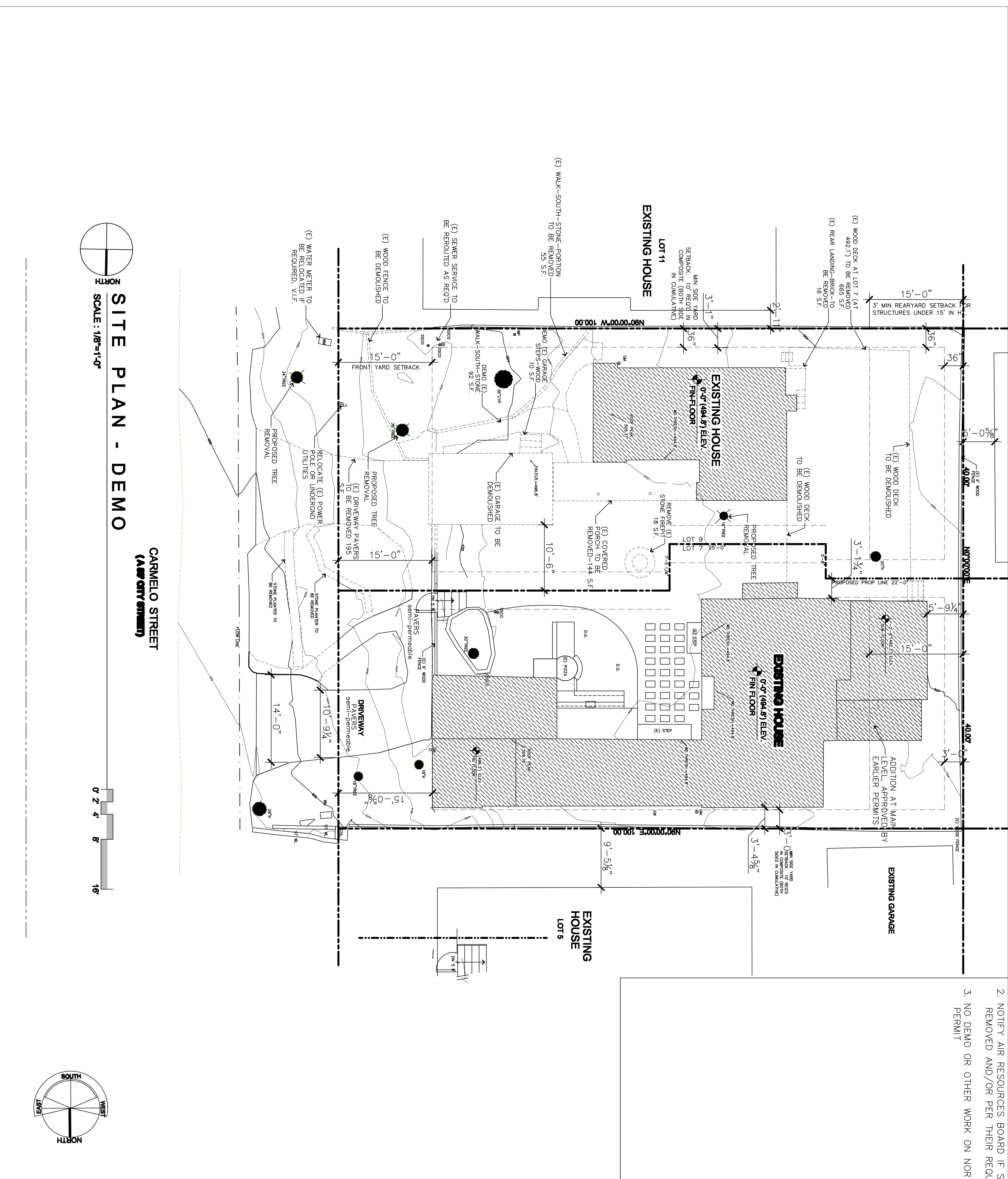
PROJECT NUMBER

SHEET NUMBER

A1.0 D

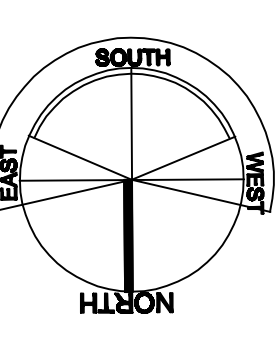


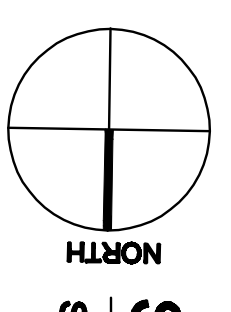
UNPERMITTED SERVICE ALERT OF NORTHERN CALIFORNIA
CALL TOLL FREE 1-800-277-2889 AT LEAST TWO DAYS BEFORE YOU BUI



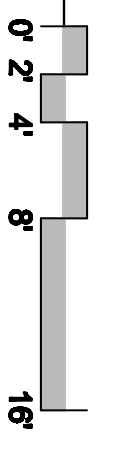
SITE PLAN - DEMO
SCALE : 1/8"=1'-0"

CARMELO STREET
(A 60' CITY STREET)





SITE PLAN
SCALE: 1/8"=1'-0"



GENERAL SITE PLAN NOTES

1. CONTRACTOR TO COORDINATE ALL NEW UTILITY INSTALLATIONS WITH UTILITY COMPANIES AND BUILDING DEPARTMENT(S).
2. CONTRACTOR TO VERIFY ADEQUACY OF ALL (E) UTILITIES. ALL SUBSTANDARD SERVICES SHALL BE REPLACED/UPGRADED AS NECESSARY TO COMPLY WITH CURRENT CODES AND ORDINANCES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING PROPERTY CORNERS AND HOUSE LAYOUT RELATIVE TO SETBACKS BY LICENSED SURVEYOR PRIOR TO BUILDING FORMWORK OR POURING CONCRETE. CONTRACTOR SHALL COORDINATE WITH MONTEREY COUNTY.
4. RETAINING WALLS REQUIRING A BUILDING PERMIT ARE BY SEPARATE PERMIT, UNLESS NOTED OTHERWISE.
5. THE LOCATION, TYPE AND SIZE OF ALL ANTENNAS, SATELLITE DISHES OR TOWERS, AND SIMILAR APPURTENANCES SHALL BE APPROVED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
6. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR/OWNER SHALL PROVIDE THE LOCATION OF A STATE OF CALIFORNIA LICENSED SURVEYOR'S OR CIVIL ENGINEER'S REFERENCE DATUM (INSTALLED PRIOR TO ANY GRADING) THAT SHALL BE USED TO ESTABLISH INDICATED ELEVATIONS ON SUBMITTED PLANS AND SHALL REMAIN IN PLACE UNDISTURBED THROUGHOUT THE ENTIRETY OF CONSTRUCTION WORK ON THIS PERMIT.
7. TOPOGRAPHICAL (EXISTING) AND OTHER SURVEY INFORMATION REPRESENTED HEREIN IS AS PROVIDED BY RASMUSSEN LAND SURVEYING ON 02-25-2016, JOB #13032.
8. REFER TO GEOTECHNICAL REPORT FOR ALL GRADING AND FOUNDATION RECOMMENDATIONS. IF REQUIRED, GEOTECHNICAL FOUNDATION SHALL INSPECT GRADING AND TRENCHING FOR FOOTINGS PRIOR TO PLACEMENT OF FORMWORK OR CONCRETE.

JAMES NEWHALL SMITH ARCHITECT, INC.
716 LIGHTHOUSE AVE
PACIFIC GROVE, CA.
93950

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FAX: 831.372-7252
CEL: 831.915-9518

PROJECT/CLIENT
CARMELO

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA



SITE PLAN

SHEET TITLE

ISSUE	REVISIONS
①	04-16-19 SUBMITTAL-TWO STORY ADD-LOT 8
②	09-24-19 PLANNING RESUB-CONTEMP VERSION
③	11-25-19 CONTEMP VERSION REVISED
④	02-11-20 CONTEMP VERSION REVISED
⑤	03-25-20 RESUBMITTAL AFTER LETTER 6

DATE

PROJECT NUMBER

SHEET NUMBER

A1.0

LIGHTING NOTES

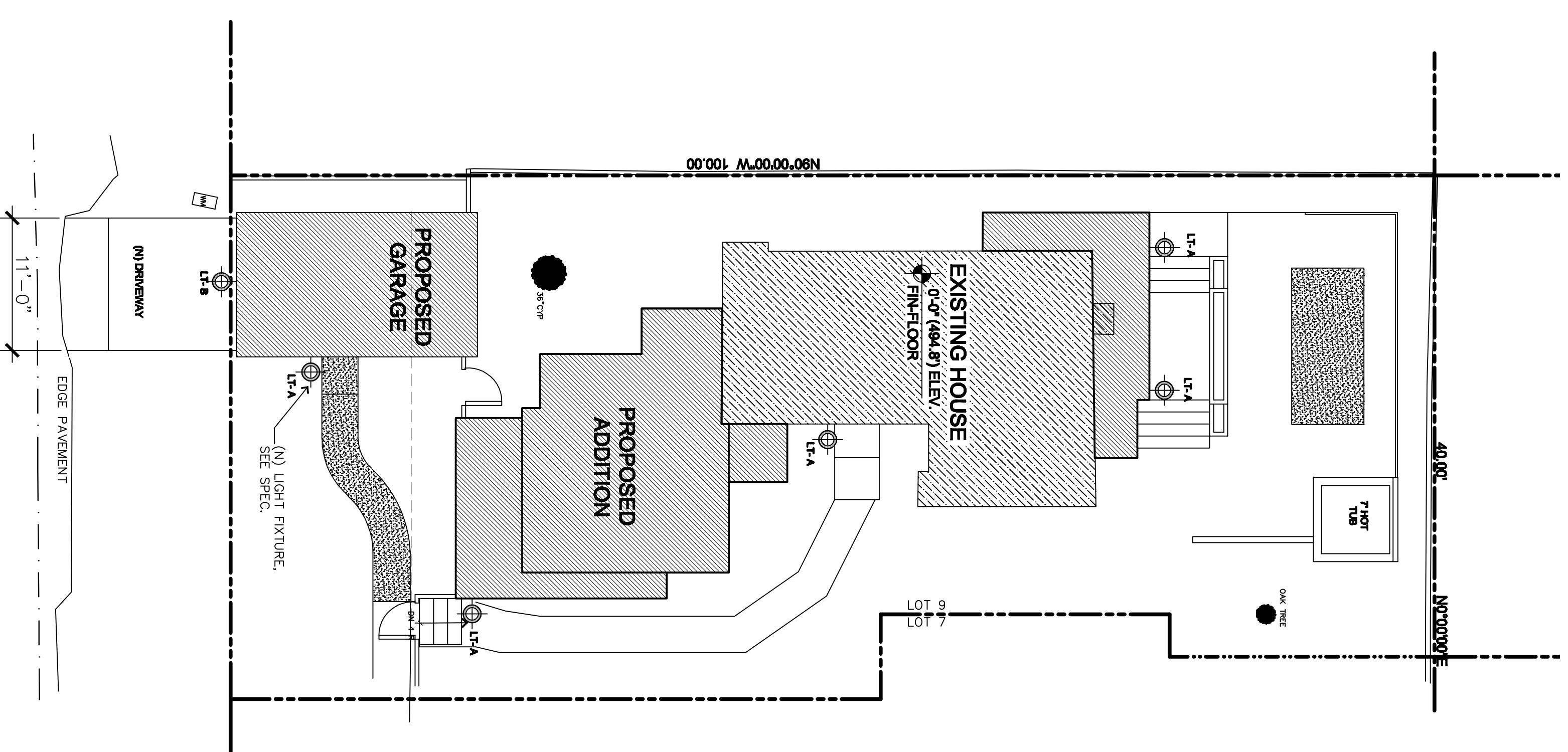
1. EXTERIOR LIGHTING SHALL BE LIMITED TO 25 WATTS OR LESS (INCANDESCENT EQUIVALENT: 375 LUMENS) PER FIXTURE AND SHALL BE MOUNTED NO HIGHER THAN 10 FEET ABOVE THE GROUND.
2. LANDSCAPE LIGHTING SHALL BE MOUNTED NO HIGHER THAN 18" ABOVE THE GROUND, NOR MORE THAN 15 WATTS (INC. EQUIV. OF 225 LUMENS) PER FIXTURE AND SPACED NO CLOSER THAN 10 FEET APART.
3. LANDSCAPE LIGHTING SHALL NOT BE USED FOR TREE WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.
4. ALL FIXTURES SHALL BE SHIELDED AND DOWNWARD FACING.
5. NO LANDSCAPE LIGHTING IS PROPOSED FOR THIS PROJECT



LT-A

Designers Fountain 31331-BZ Bayport-DS Wall Lanterns, Bronze

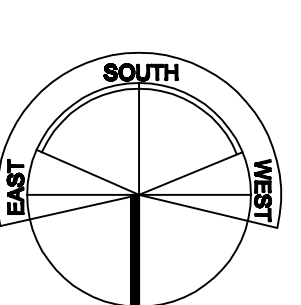
- Traditional
- Uses Medium Base Bulb
- UL/CUL and Wet Rated
- Bronze finish
- Steel construction and intended for wet locations
- (1) 25 watt bulb
- Dark sky directional lighting



CARMIELO STREET
(A W CITY STREET)

SITE LIGHTING PLAN - BUILDING ONLY

SCALE: 3/16"=1'-0"



SKYLINE EXTERIOR LED DOWNLIGHT



This modern outdoor LED downlight is a sleek and simple metal cylinder attached to a rectangular back plate. Deep, rich Dorian Bronze finish adds a warm touch to this chic, sophisticated outdoor wall light. A beautiful addition to your home from Milinka lighting.

- Cylinder style downlight design.
- Skyline LED outdoor wall light.
- Dorian Bronze finish.
- Metal construction.
- ADA compliant.
- Dark Sky compliant.
- CA Title 24 compliant.
- Light output 320 lumens.
- Light output comparable to 35W incandescent bulb.
- 2700K color temperature, 81 CRI.
- LED averages 30,000 hours at 3 hours per day.
- Non-dimmable.
- Measures 7 3/4-inches high, 5-inches wide.
- Extends 4-inches from the wall.
- Backplate is 5-inches wide, 5-inches high.
- Integrated 11W LED.

LT-B GARAGE DOWNLIGHT

USE OLDER LED MODULE, PART NUMBER #-AC10-MD070 TO PROVIDE FOR 11 WATT LAMP. (NEWER MODULE ALLOWS FOR 13 WATT OUTPUT, WHICH DOES NOT COMPLY WITH 375 MAX LUMEN OUTPUT)



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PROJECT/CLIENT

CARMIELO

LOT 9

GLEN YONEKURA
CARMIELO 3 SW OF 7TH
CARMIELO BY THE SEA CA



SITE LIGHTING PLAN

BLDG ONLY

ISSUE REVISIONS

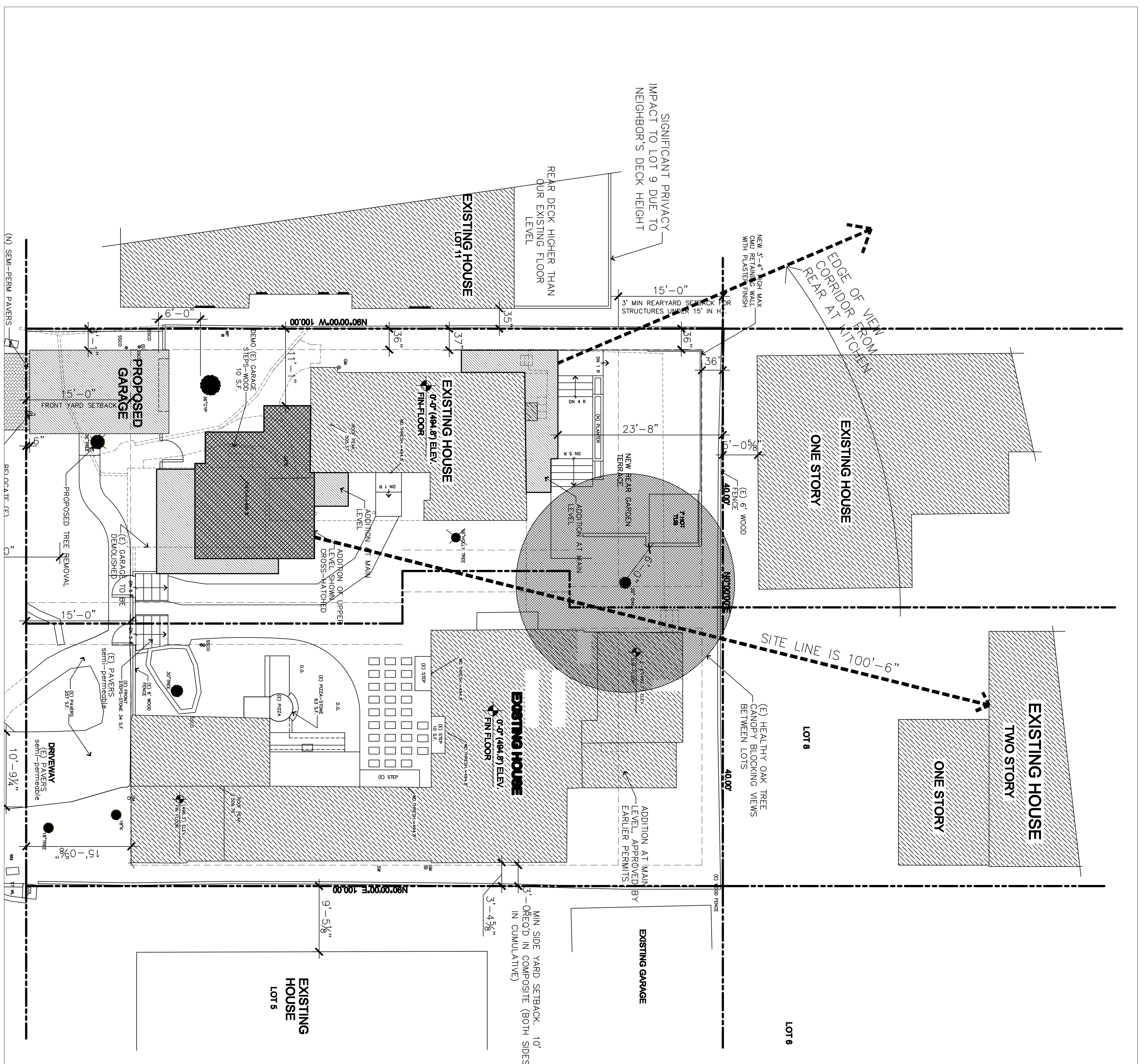
- 1 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 6
- 2 09-24-19 PLANNING RESUB-CONTEMP VERSION
- 3 11-26-19 CONTEMP VERSION REVISED
- 4 02-11-20 CONTEMP VERSION REVISED
- 5 03-25-20 RESUBMITTAL AFTER LETTER 6

DATE

PROJECT NUMBER

SHEET NUMBER

A1.L



SITE PLAN - SIGHTLINES
 SCALE: 1/8"=1'-0"

E:\JNS Projects\0000-PROJECTS-ACTIVE\1603-SAGIN-CARMELO LOT 9\24036 Drawing 5/19/2020 15:7:10 PM.DWG to PDF.plt

JAMES NEWHALL SMITH ARCHITECT, INC.

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CARMELO
 LOT 9

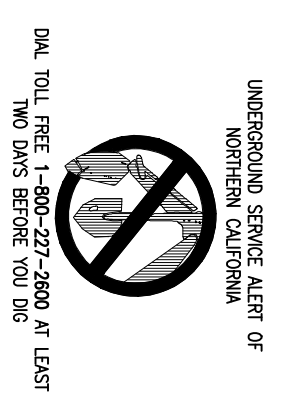
GLEN YONEKURA
 CARMELO 3 SW OF 7TH
 CARMEL BY THE SEA CA



SIGHTLINES SITE PLAN

ISSUE	REVISIONS
1	04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
2	09-24-19 PLANNING RESUB-CONTEMP VERSION
3	11-25-19 CONTEMP VERSION REVISED
4	02-11-20 CONTEMP VERSION REVISED
5	03-25-20 RESUBMITTAL AFTER LETTER 6

UNEXPIRED SERVICE ALERT #
 NORTHERN CALIFORNIA
 DATE: _____
 PROJECT NUMBER: _____
 SHEET NUMBER: **A1.S**



DATE: _____
 PROJECT NUMBER: _____
 SHEET NUMBER: **A1.S**

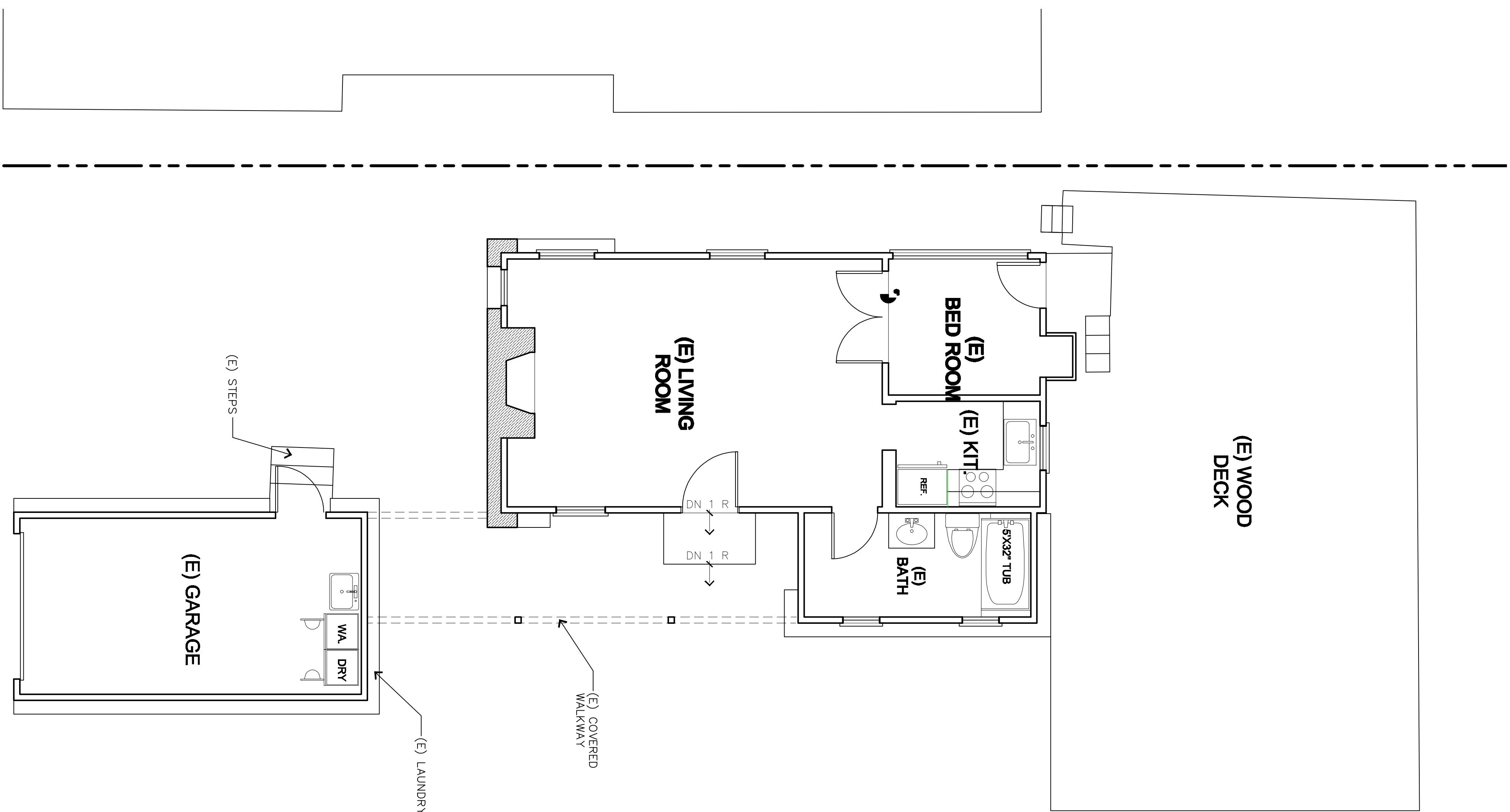


ISSUE	REVISIONS
1	04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
2	09-24-19 PLANNING RESUB-CONTEMP VERSION
3	11-25-19 CONTEMP VERSION REVISED
4	02-11-20 CONTEMP VERSION REVISED
5	03-25-20 RESUBMITTAL AFTER LETTER 6

DATE

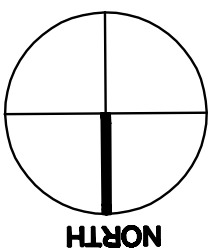
PROJECT NUMBER

SHEET NUMBER

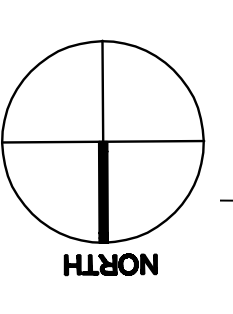


EXISTING FLOOR PLAN - LOT 9

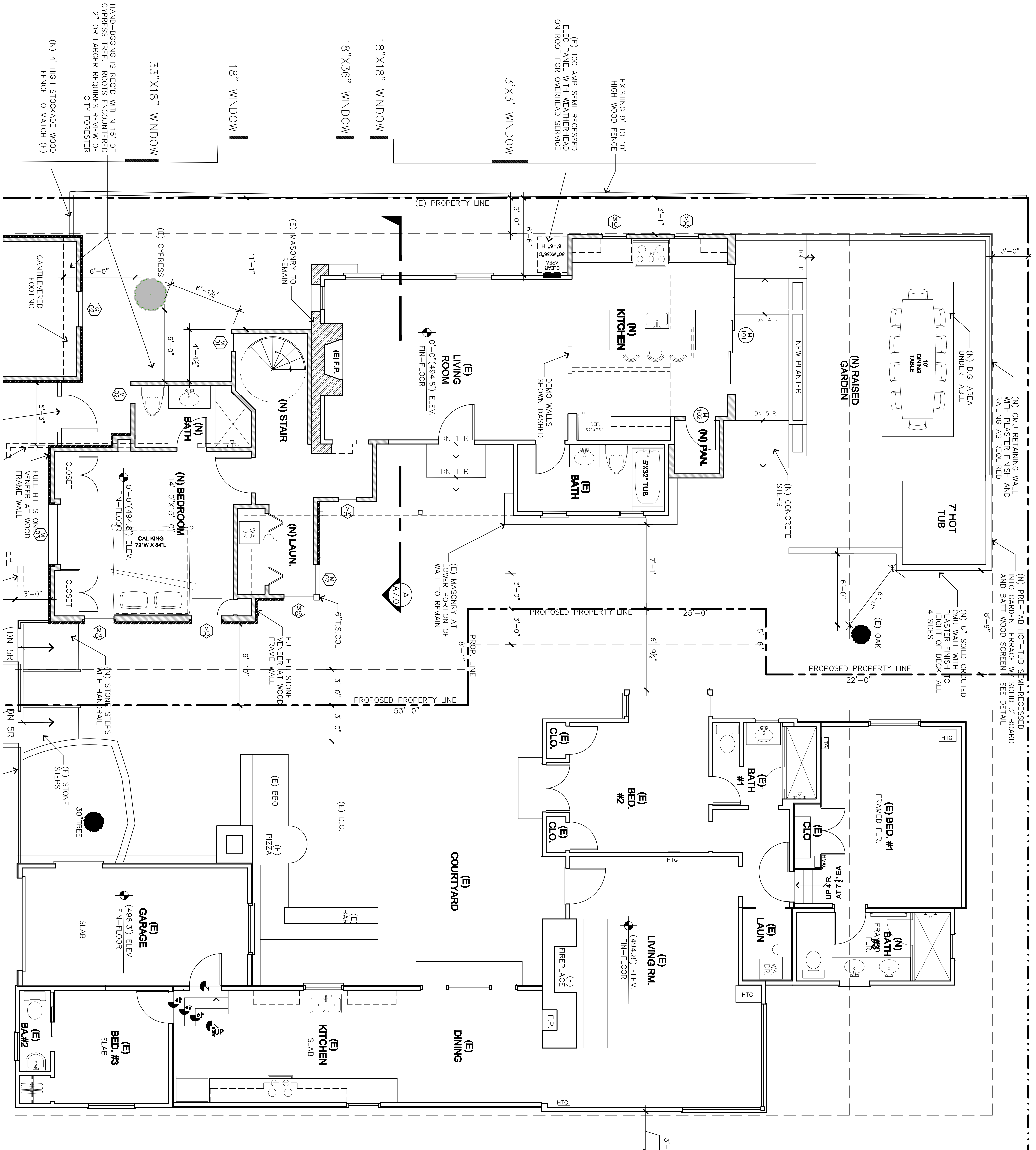
SCALE : 1/4" = 1'-0"



0' 1' 2' 4' 8'



FLOOR PLAN - MAIN LEVEL
SCALE : 1/4" = 1'-0"



FLOOR PLAN NOTES

1. NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.
2. THE ELECTRICALS IS REQUIRED TO CONDUCT AN OUTSIDE WALK THROUGH WITH THE UTILITIES TO IDENTIFY THE LOCATION OF ALL UTILITIES (ELECTRICITY, GAS, WATER, FIBER, TV, PHONE, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO CONSTRUCTION).
3. POLE MOUNTED AND SWITCH PLATE STYLE AND COLOR TO BE DETERMINED BY OWNER.
4. LIGHT FIXTURES IN THE GARAGE SHOULD BE LABELED "GARAGE LIGHTS" FOR IDENTIFICATION AND LOCATION. SEE DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS AND CODE RESTRICTIONS.
5. FOR JACKTYPE TUBS SEE DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS AND CODE RESTRICTIONS.
6. PERMANENTLY LABEL EACH DISCONNECT (CIRCUIT BREAKER) ON THE MAIN AND ALL SUB ELECTRICAL PANEL(S) WITH THE APPLIANCE OR ROOM(S) SERVED BY THE CIRCUIT.
- 7.

WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X EXISTING WALL TO BE DEMOLISHED
- NEW 2X STUD FRAMED WALL
- STONE WALL / VENEER
- CMU WALL-SEE STRUCTURAL DWGS

ELECTRICAL SYMBOLS LEGEND

- DUPLEX OUTLET
- DUPLEX OUTLET RECESSED INTO WALL
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 AMP)
- 20V
- 20V VOLT OUTLET
- 4 PLEX OUTLET
- GROUND FAULT INTERRUPT
- WATERPROOF OUTLET (EXTERIOR)
- RECESSED FLOOR MOUNTED OUTLET, BRASS
- RECESSED FLOOR MOUNTED OUTLET, BRASS, 1/4" X 1/4" STRIP
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- RECESSED FLOOR MOUNTED TELEPHONE JACK, BRASS
- THERMOSTAT CONTROL
- TELEVISION CABLE
- DOORBELL
- CENTRAL VACUUM OUTLET
- GAS OUTLET
- GAS REL VALVE, VERIFY MOUNT LOCATION WITH OWNER
- HOSE BIB VALVE (WITH NON-REMOVABLE BACKFLOW PREVENTION DEVICE (CPC 883.A.1, 17P))
- WALL MOUNTED AIR SUPPLY REGISTER
- RETURN AIR REGISTER
- FLOOR MOUNTED SUPPLY AIR REGISTER
- ELECTRICAL MAIN PANEL-SEE PLAN FOR LOCATION AND SIZE
- ELECTRICAL SUB-PANEL-SEE PLAN FOR LOCATION(S) AND SIZES(S)

ELECTRICAL LEGEND NOTES

1. NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.
2. THE ELECTRICALS IS REQUIRED TO CONDUCT AN OUTSIDE WALK THROUGH WITH THE UTILITIES TO IDENTIFY THE LOCATION OF ALL UTILITIES (ELECTRICITY, GAS, WATER, FIBER, TV, PHONE, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO CONSTRUCTION).
3. POLE MOUNTED AND SWITCH PLATE STYLE AND COLOR TO BE DETERMINED BY OWNER.
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- 7.

JAMES NEWHALL SMITH ARCHITECT, INC.
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93950

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CEL: 831.915-9518

PROJECT/CLIENT
CARMELO
LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA



MAIN LEVEL FLOOR PLAN

SHEET TITLE

ISSUE	REVISIONS
1	04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
2	09-24-19 PLANNING RESUB-CONTEMP VERSION
3	11-25-19 CONTEMP VERSION REVISED
4	02-11-20 CONTEMP VERSION REVISED
5	03-25-20 RESUBMITTAL AFTER LETTER 6

DATE

PROJECT NUMBER

SHEET NUMBER

A2.0

ELECTRICAL PLAN NOTES

- NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.
- THE ELECTRICAL IS REQUIRED TO CONDUCT AN OUTLET WALK THROUGH WITH THE OWNER TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR ALL RECEPTACLES, PICTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO RUSHING.
- POLYBUTYLENE AND SWITCHPLATE STYLE AND COLOR TO BE DETERMINED BY OWNER.
- LIGHT FIXTURES IN THE GARAGES AND CLOSETS SHALL BE LABELLED, SWITCHABLE FOR WALK LOCATIONS* OR SUITABLE FOR DIMM LOCATIONS* (SEE ARTICLE 410-4(b)) FOR LOCALIZATION.
- FOR LOCALIZATION TIPS SEE DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS AND CODE RESTRICTIONS.
- PERMANENTLY LABEL EACH DISCONNECT (CIRCUIT BREAKER) ON THE MAIN AND ALL SUB ELECTRICAL PANELS WITH THE APPLIANCE OR ROOM(S) SERVED BY THE CIRCUIT.

WALL LEGEND

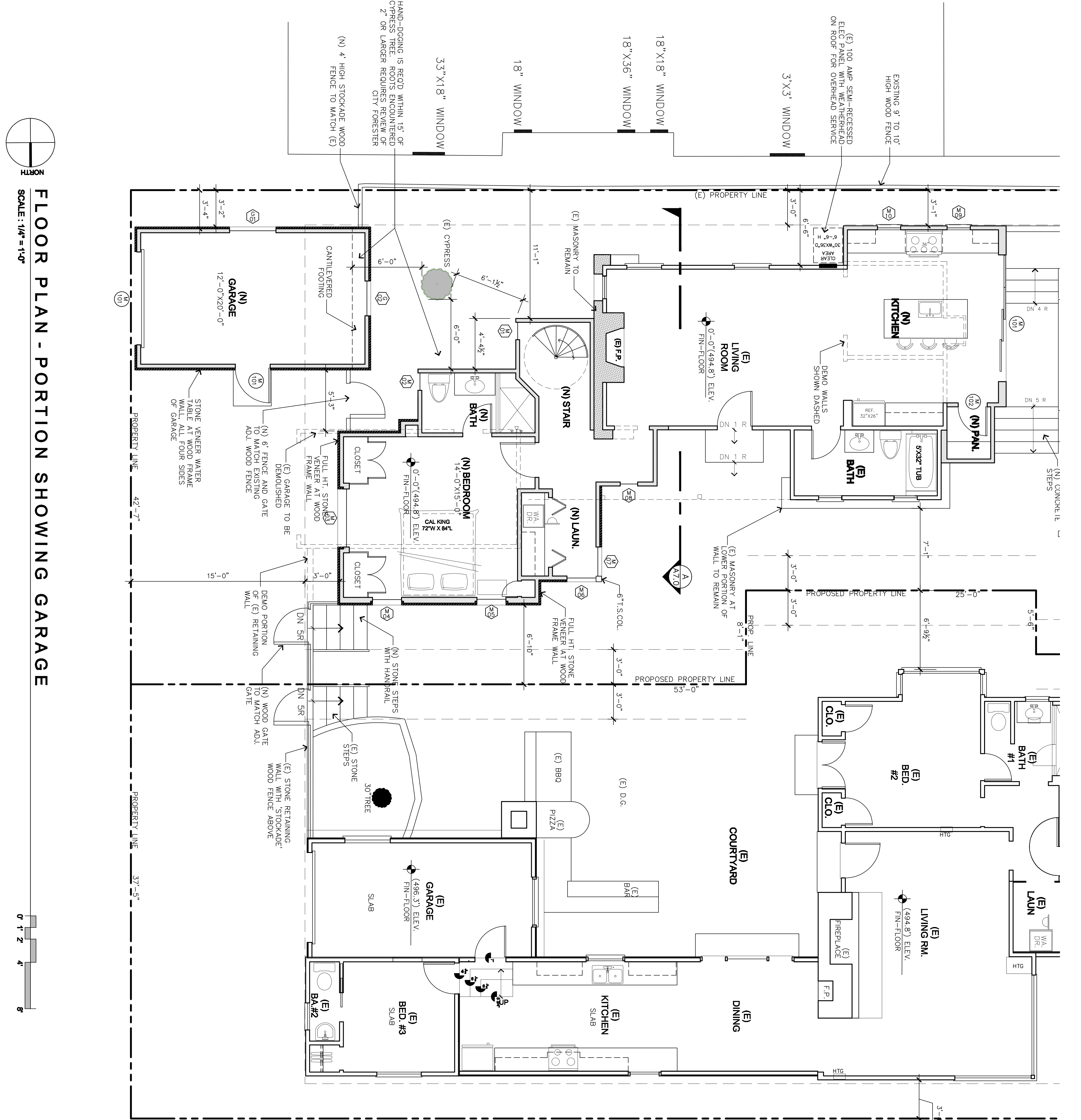
- 2X EXISTING WALL TO REMAIN
- 2X EXISTING WALL TO BE DEMOLISHED
- NEW 2X STUD FRAMED WALL
- STONE WALL / VENEER
- CMU WALL-SEE STRUCTURAL DWGS

ELECTRICAL SYMBOLS LEGEND

- DUPLEX OUTLET
- DUPLEX OUTLET RECESSED INTO WALL
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 AMP)
- 20V 200 VOLT OUTLET
- 4 REB. OUTLET
- GROUND FAULT INTERRUPT
- WATERPROOF OUTLET (EXTERIOR)
- RESERVED FOR MOUNTED OUTLET, BRASS, BY HUBBELL, UL 814A, OR EQ.
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- RECESSED FLOOR MOUNTED TELEPHONE JACK, BRASS
- TELEPHONE CONTROL
- TELEVISION CABLE
- DOORBELL
- CENTRAL VACUUM OUTLET
- GAS OUTLET
- GAS REE VALVE, VERIFY MOUNT LOCATION WITH OWNER
- HOSE BIB VALVE WITH NON-REMOVABLE BACKFLOW PREVENTION DEVICE (CPC 603.4.7, TYP)
- WALL MOUNTED AIR SUPPLY REGISTER
- RETURN AIR REGISTER
- FLOOR MOUNTED SUPPLY AIR REGISTER
- ELECTRICAL MAIN PANEL-SEE PLAN FOR LOCATION AND SIZE
- ELECTRICAL SUB-PANEL-SEE PLAN FOR LOCATION(S) AND SIZE(S)

ELECTRICAL LEGEND NOTES

- NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.
- THE ELECTRICAL IS REQUIRED TO CONDUCT AN OUTLET WALK THROUGH WITH THE OWNER TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR ALL RECEPTACLES, PICTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO RUSHING.
- POLYBUTYLENE AND SWITCHPLATE STYLE AND COLOR TO BE DETERMINED BY OWNER.
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- FOR LOCALIZATION TIPS SEE DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS AND CODE RESTRICTIONS.
- PERMANENTLY LABEL EACH DISCONNECT (CIRCUIT BREAKER) ON THE MAIN AND ALL SUB ELECTRICAL PANELS WITH THE APPLIANCE OR ROOM(S) SERVED BY THE CIRCUIT.



EAJNS Projects\0000-PROJECTS-ACTIVE\1603-SAGIN-CARMELO-LOT 9\24366 Drawing Package\A2.1-PLAN-CARMELO-LOT 9.dwg, 5/19/2020 15:59:09 P.M. DWG TO PDF.dwg



FLOOR PLAN - PORTION SHOWING GARAGE

JAMES NEWHALL SMITH ARCHITECT, INC.

716 LIGHTHOUSE AVE
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93950

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PROJECT/CLIENT
CARMELO

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA

LICENSED ARCHITECT
JAMES N. SMITH
NO. C-24683
11-30-21
STATE OF CALIFORNIA

SHEET TITLE
GARAGE FLOOR PLAN

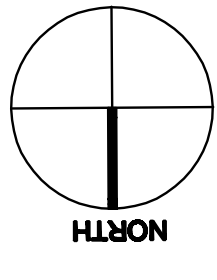
ISSUE REVISIONS

- 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
- 09-24-19 PLANNING RESUB-CONTEMP VERSION
- 11-25-19 CONTEMP VERSION REVISED
- 02-11-20 CONTEMP VERSION REVISED
- 03-25-20 RESUBMITTAL AFTER LETTER 6

DATE

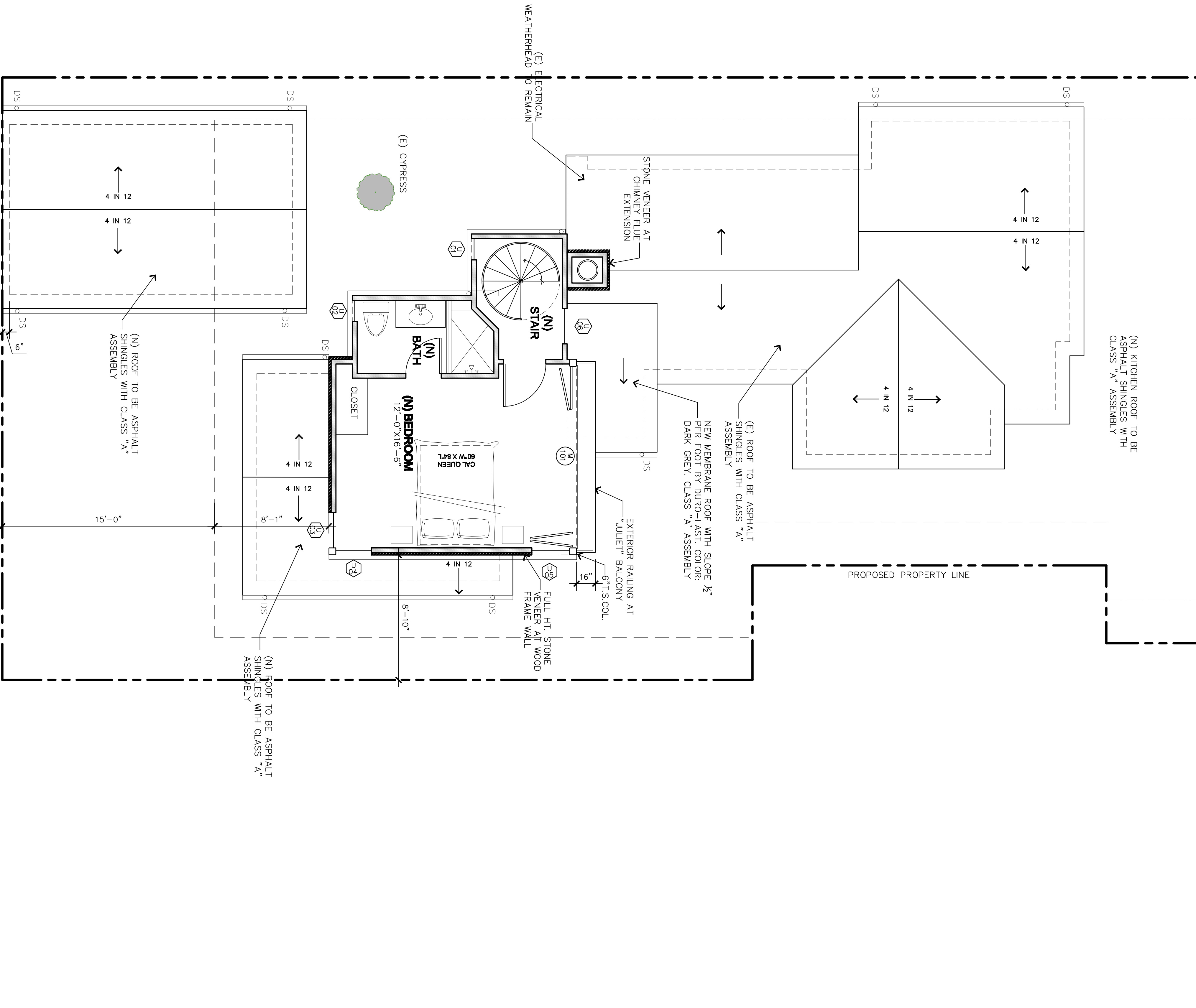
PROJECT NUMBER

SHEET NUMBER
A2.1



FLOOR PLAN - UPPER LEVEL

SCALE : 1/4" = 1'-0"



ELECTRICAL PLAN NOTES

- 1. NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.
- 2. THE ELECTRICAL IS REQUIRED TO CONDUCT AN ON-SITE WALK-THROUGH WITH THE OWNERS TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR ALL RECEPTACLES, PICTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO ROUGH-IN.
- 3. POLEMOUNT AND SWITCHPLATE STYLE AND COLOR TO BE DETERMINED BY OWNER.
- 4. LIGHT FIXTURES IN TUBS OR SHOWERS AND CIPRESSES SHALL BE LABEL ED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS" (SEE ARTICLE 410-4(b) FOR ADDITIONAL REQUIREMENTS).
- 5. FOR ILLUMINATIVE TUBS SEE DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS AND CODE RESTRICTIONS.
- 6. PERMANENTLY LABEL EACH DISCONNECT (CIRCUIT BREAKER) ON THE MAIN AND ALL SUB ELECTRICAL PANEL(S) WITH THE APPLIANCE OR ROOM(S) SERVED BY THE CIRCUIT.
- 7.

WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X EXISTING WALL TO BE DEMOLISHED
- NEW 2X STUD FRAMED WALL
- STONE WALL / VENEER
- CMU WALL-SEE STRUCTURAL DWGS

ELECTRICAL SYMBOLS LEGEND

- DUPLEX OUTLET
- DUPLEX OUTLET RECESSED INTO WALL
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amp)
- 20V 200 VOLT OUTLET
- 4 RECK OUTLET
- GROUND FAULT INTERRUPTER
- WATERPROOF OUTLET (EXTERIOR)
- RECESSED FLOOR MOUNTED OUTLET, BRASS, BY HUBBELL, UL 817A4, OR EQ.
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- RECESSED FLOOR MOUNTED TELEPHONE JACK, BRASS
- TELEPHONE CONTROL
- TELEVISION CABLE
- DOORBELL
- CENTRAL VACUUM OUTLET
- GAS OUTLET
- GAS REE VALVE, VERIFY MOUNT LOCATION WITH OWNER
- HOSE BIB VALVE WITH NON-REMOVABLE BACKFLOW PREVENTION DEVICE (CPC 603.4.7, TYP)
- WALL MOUNTED AIR SUPPLY REGISTER
- RETURN AIR REGISTER
- FLOOR MOUNTED SUPPLY AIR REGISTER
- ELECTRICAL MAIN PANEL, SEE PLAN FOR LOCATION AND SIZE
- ELECTRICAL SUB-PANEL, SEE PLAN FOR LOCATION(S) AND SIZE(S)

ELECTRICAL LEGEND NOTES

1. NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.
2. THE ELECTRICAL IS REQUIRED TO CONDUCT AN ON-SITE WALK-THROUGH WITH THE OWNERS TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR ALL RECEPTACLES, PICTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO ROUGH-IN.
3. POLEMOUNT AND SWITCHPLATE STYLE AND COLOR TO BE DETERMINED BY OWNER.
4. LIGHT FIXTURES IN TUBS OR SHOWERS AND CIPRESSES SHALL BE LABEL ED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS" (SEE ARTICLE 410-4(b) FOR ADDITIONAL REQUIREMENTS).
5. FOR ILLUMINATIVE TUBS SEE DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS AND CODE RESTRICTIONS.
6. PERMANENTLY LABEL EACH DISCONNECT (CIRCUIT BREAKER) ON THE MAIN AND ALL SUB ELECTRICAL PANEL(S) WITH THE APPLIANCE OR ROOM(S) SERVED BY THE CIRCUIT.
- 7.

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CEL: 831.915-9518

CARMELO

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMEL BY THE SEA CA



UPPER LEVEL FLOOR PLAN

- SHEET TITLE
- ISSUE
 - REVISIONS
 - 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
 - 09-24-19 PLANN'G RESUB-CONTEMP VERSION
 - 11-25-19 CONTEMP VERSION REVISED
 - 02-11-20 CONTEMP VERSION REVISED
 - 03-25-20 RESUBMITTAL AFTER LETTER 6
- DATE
- PROJECT NUMBER
- SHEET NUMBER
- # A2.2



SHEET TITLE
**EXTERIOR
ELEVATIONS**

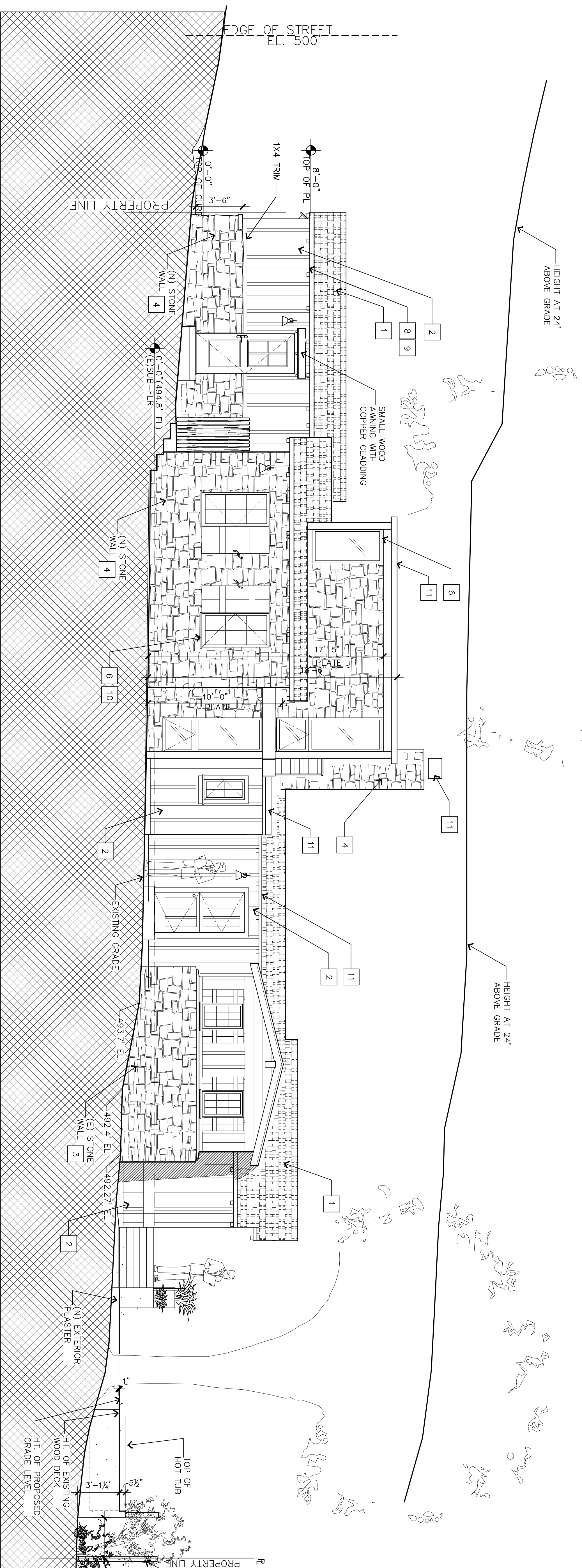
- ① 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
- ② 09-24-19 PLANNING RESUB-CONTEMP VERSION
- ③ 11-25-19 CONTEMP VERSION REVISED
- ④ 02-11-20 CONTEMP VERSION REVISED
- ⑤ 03-25-20 RESUBMITTAL AFTER LETTER 6

△ DATE

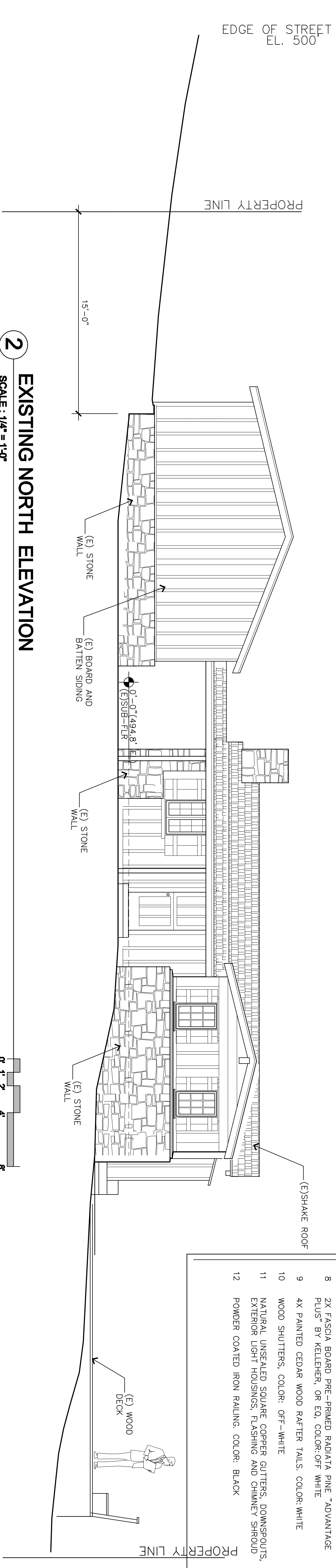
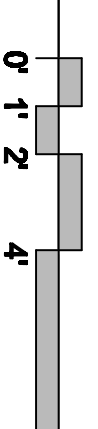
PROJECT NUMBER

SHEET NUMBER

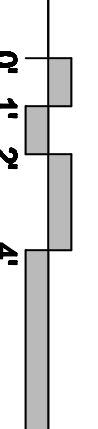
A6.1



① **PROPOSED NORTH ELEVATION**
SCALE : 1/4" = 1'-0"



② **EXISTING NORTH ELEVATION**
SCALE : 1/4" = 1'-0"

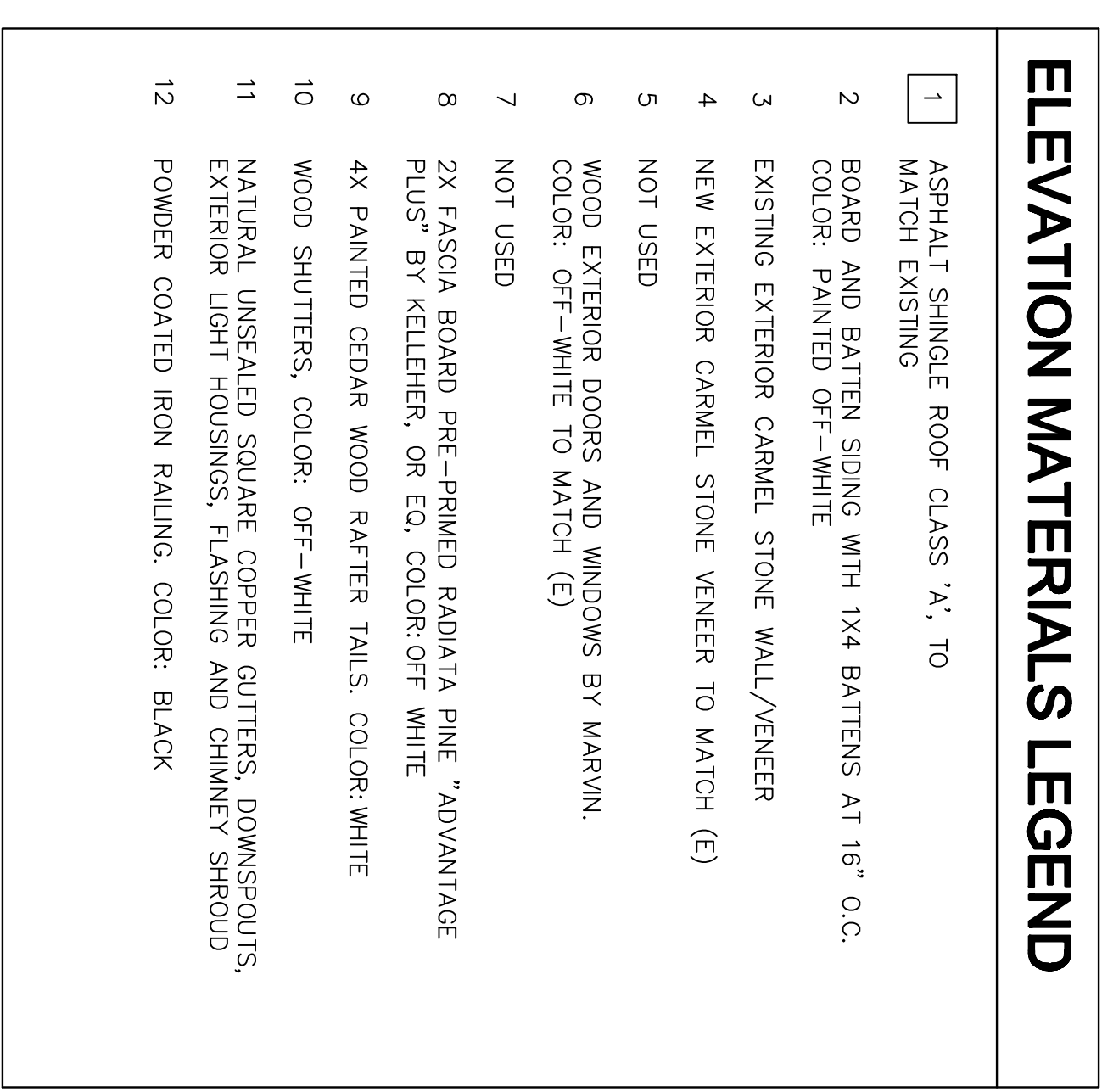


ELEVATION MATERIALS LEGEND

- 1 ASPHALT SHINGLE ROOF CLASS 'A', TO MATCH EXISTING
- 2 BOARD AND BATTEN SIDING WITH 1X4 BATTENS AT 16" O.C. COLOR: PAINTED OFF-WHITE
- 3 EXISTING EXTERIOR CARMEL STONE WALL/VENEER
- 4 NEW EXTERIOR CARMEL STONE VENEER TO MATCH (E)
- 5 NOT USED
- 6 WOOD EXTERIOR DOORS AND WINDOWS BY MARVIN. COLOR: OFF-WHITE TO MATCH (E)
- 7 NOT USED
- 8 2X FASCIA BOARD PRE-PRIMED RADATA PINE "ADVANTAGE PLUS" BY KELLERER, OR EQ. COLOR: OFF WHITE
- 9 4X PAINTED CEDAR WOOD RAFTER TAILS. COLOR: WHITE
- 10 WOOD SHUTTERS. COLOR: OFF-WHITE
- 11 NATURAL UNSEALED SQUARE COPPER GUTTERS, DOWNSPOUTS, EXTERIOR LIGHT HOUSINGS, FLASHING AND CHIMNEY SHROUD
- 12 POWDER COATED IRON RAILING. COLOR: BLACK

ELEVATION MATERIALS LEGEND

- 1 ASPHALT SHINGLE ROOF CLASS 'A', TO MATCH EXISTING
- 2 BOARD AND BATTEN SIDING WITH 1X4 BATTENS AT 16" O.C. COLOR: PAINTED OFF-WHITE
- 3 EXISTING EXTERIOR CARMEL STONE WALL/VENEER
- 4 NEW EXTERIOR CARMEL STONE VENEER TO MATCH (E)
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- 6 WOOD EXTERIOR DOORS AND WINDOWS BY MARVIN. COLOR: OFF-WHITE TO MATCH (E)
- 7 NOT USED
- 8 2X FASGIA BOARD PRE-PRIMED RADATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ. COLOR: OFF WHITE
- 9 4X PAINTED CEDAR WOOD RAFTER TAILS. COLOR: WHITE
- 10 WOOD SHUTTERS. COLOR: OFF-WHITE
- 11 NATURAL UNSEALED SQUARE COPPER GUTTERS, DOWNSPOUTS, EXTERIOR LIGHT HOUSINGS, FLASHING AND CHIMNEY SHROUD POWDER COATED IRON RAILING. COLOR: BLACK
- 12



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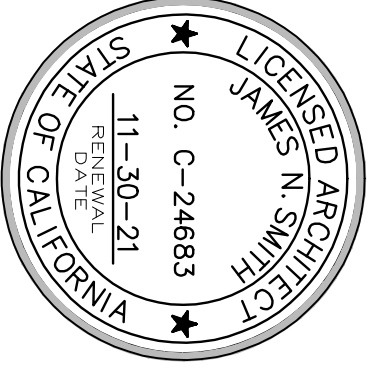
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PROJECT/CLIENT

CARMELO

LOT 9

GLEN YONEKURA
CARMELO 3 SW OF 7TH
CARMELO BY THE SEA CA



SHEET TITLE

EXTERIOR ELEVATIONS

- ISSUE
- REVISIONS
- 1 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
- 2 09-24-19 PLANNING RESUB-CONTEMP VERSION
- 3 11-25-19 CONTEMP VERSION REVISED
- 4 02-11-20 CONTEMP VERSION REVISED
- 5 03-25-20 RESUBMITTAL AFTER LETTER 6

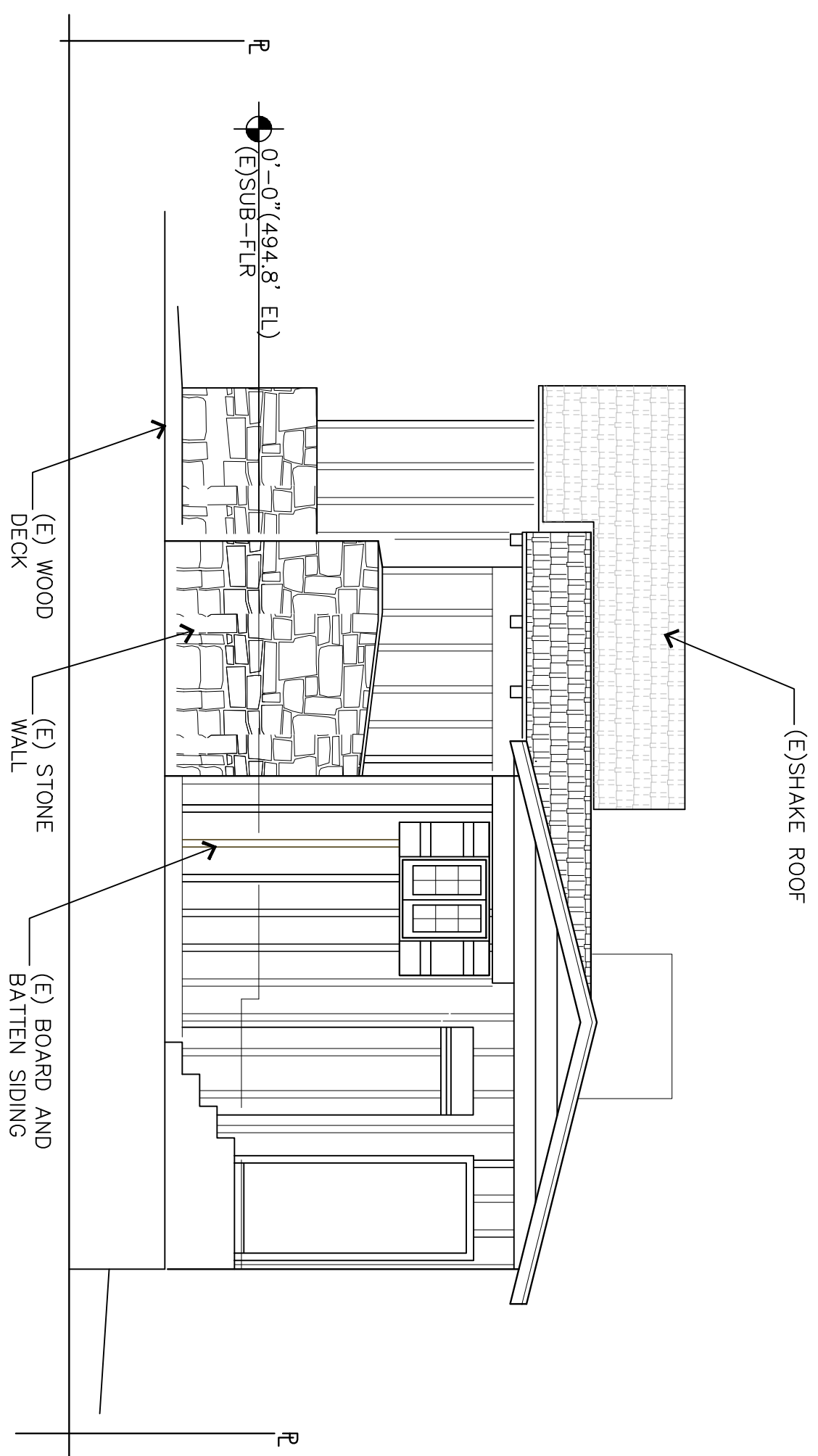
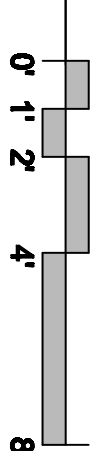
DATE

PROJECT NUMBER

SHEET NUMBER

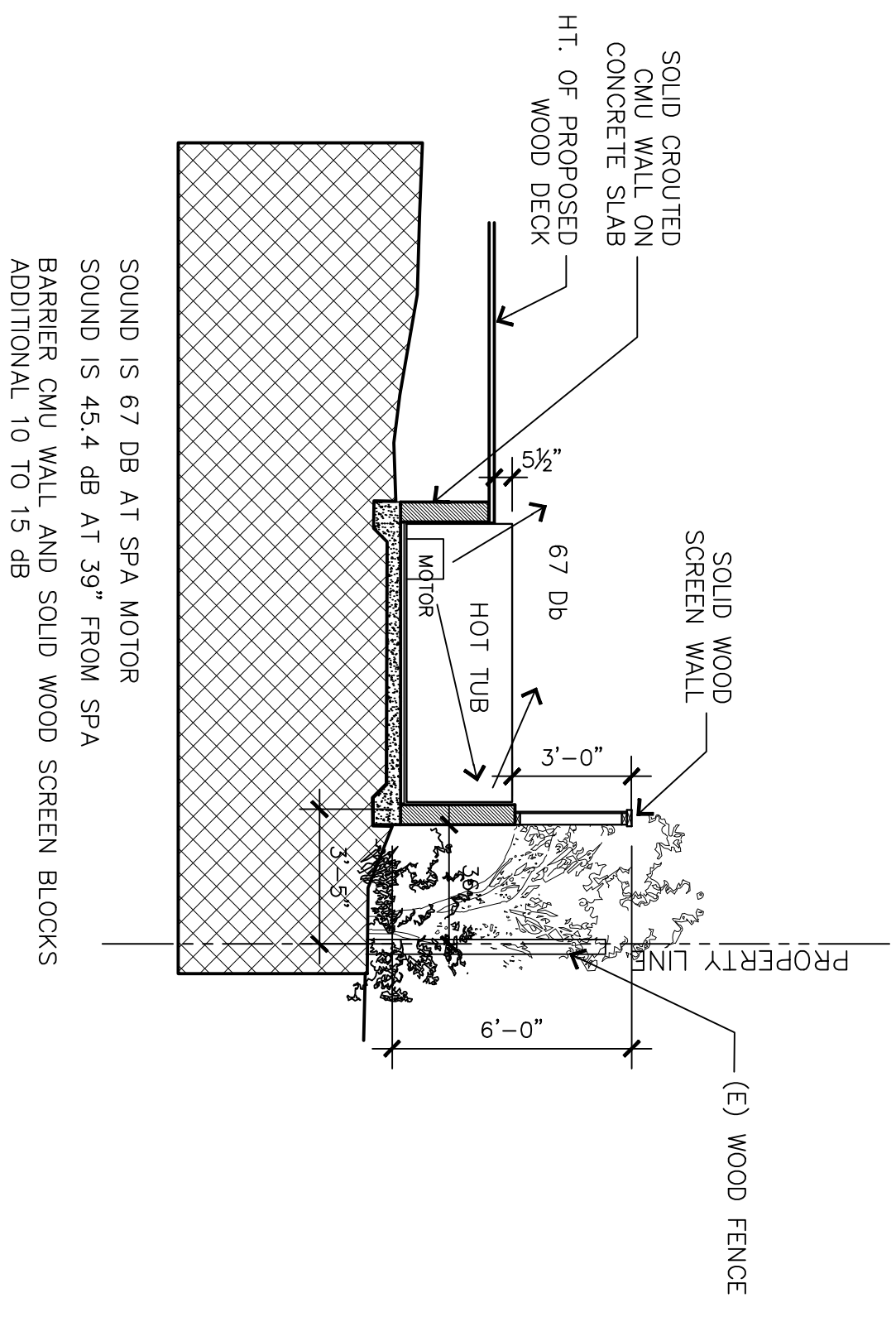
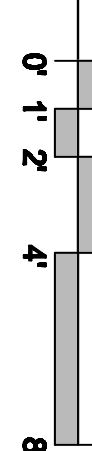
1 PROPOSED WEST ELEVATION

SCALE : 1/4" = 1'-0"



2 EXISTING WEST ELEVATION

SCALE : 1/4" = 1'-0"



SOUND IS 67 DB AT SPA MOTOR
SOUND IS 45.4 DB AT 39" FROM SPA
BARRIER CMU WALL AND SOLID WOOD SCREEN BLOCKS
ADDITIONAL 10 TO 15 DB

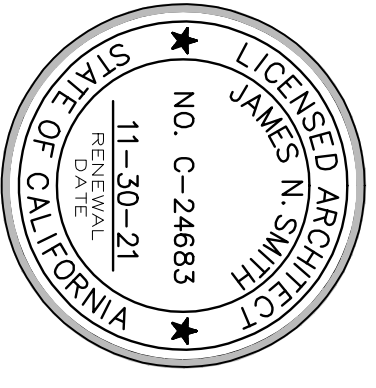
PRIMARY SOURCE OF NOISE IS MOTOR WHICH IS MEASURED APPROX. 3' FROM ACTUAL MOTOR. PROPERTY LINE IS 10' FROM MOTOR. THEREFORE SOUND IS ATTENUATED TWICE BY A FACTOR OF 6 DB, RESULTING IN A LEVEL OF 55 DB. SOUND IS ADDITIONALLY ATTENUATED APPROX. 10 DB BY SURROUNDING HOT TUB WITH SOLID CONCRETE. SOUND AT PROPERTY LINE ESTIMATED TO BE 45 DB.

FOR EACH DOUBLING OF DISTANCE FROM A POINT NOISE SOURCE, THE SOUND LEVEL WILL INCREASE BY 6 DB. FROM A POINT NOISE SOURCE, THE SOUND LEVEL WILL INCREASE BY 3 DB FROM 200 FEET FROM THE SOURCE. SOUND LEVELS WILL DROP APPROXIMATELY 6 DB, MOVING TO 400 FEET AWAY. SOUND LEVELS WILL DROP APPROXIMATELY ANOTHER 6 DB. FOR EACH DOUBLING OF DISTANCE FROM A LINE SOURCE, LIKE A ROADWAY, NOISE LEVELS ARE REDUCED BY 3 TO 5 DECIBELS, DEPENDING ON THE GROUND COVER BETWEEN THE SOURCE AND THE RECEIVER.

NOISE ATTENUATION NOISE BARRIERS PROVIDE APPROXIMATELY A 5 DB NOISE REDUCTION (ADDITIONAL REDUCTION MAY BE PROVIDED WITH A BARRIER OF APPROPRIATE HEIGHT, MATERIAL, LOCATION, AND LENGTH). THE EXACT DEGREE OF NOISE ATTENUATION DEPENDS ON THE NATURE AND ORIENTATION OF THE STRUCTURE AND INTERVENING BARRIERS.

3 SPA SECTION

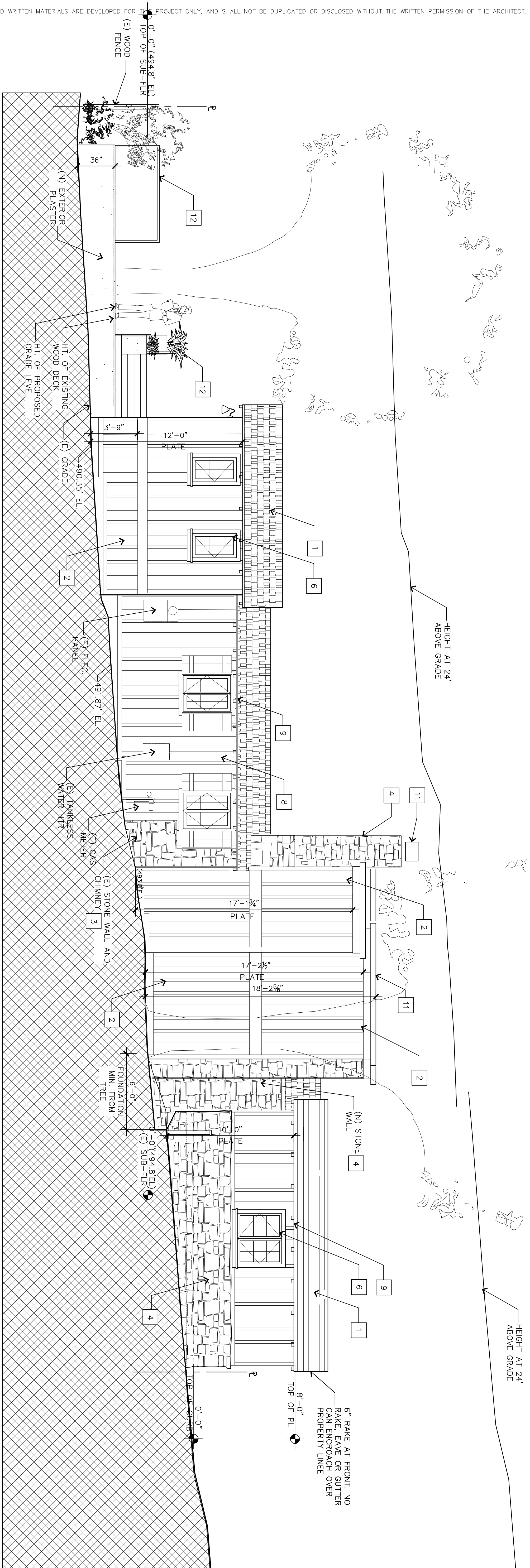
SCALE : 1/4" = 1'-0"



SHEET TITLE
EXTERIOR ELEVATIONS

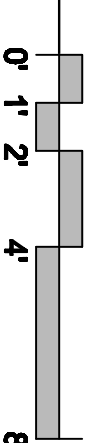
- ① 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
 - ② 09-24-19 PLANNING RESUB-CONTEMP VERSION
 - ③ 11-25-19 CONTEMP VERSION REVISED
 - ④ 02-11-20 CONTEMP VERSION REVISED
 - ⑤ 03-25-20 RESUBMITTAL AFTER LETTER 6
- DATE
- PROJECT NUMBER
- SHEET NUMBER

A6.3



1 PROPOSED SOUTH ELEVATION

SCALE : 1/4" = 1'-0"

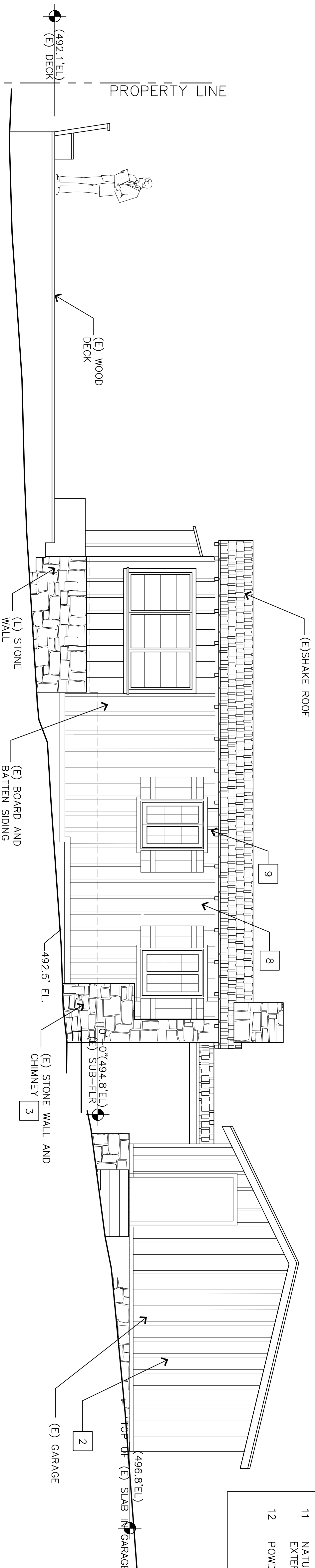
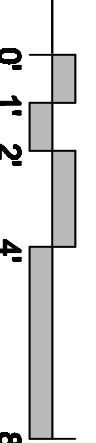


ELEVATION MATERIALS LEGEND

- 1 ASPHALT SHINGLE ROOF CLASS 'A', TO MATCH EXISTING
- 2 BOARD AND BATTEN SIDING WITH 1X4 BATTENS AT 16" O.C. COLOR: PAINTED OFF-WHITE
- 3 EXISTING EXTERIOR CARMEL STONE WALL/VENEER
- 4 NEW EXTERIOR CARMEL STONE WALL/VENEER
- 5 NOT USED
- 6 WOOD EXTERIOR DOORS AND WINDOWS BY MARVIN. COLOR: OFF-WHITE TO MATCH (E)
- 7 NOT USED
- 8 2X FASCIA BOARD PRE-PRIMED RADATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ. COLOR: OFF WHITE
- 9 4X PAINTED CEDAR WOOD RAFTER TAILS. COLOR: WHITE
- 10 WOOD SHUTTERS. COLOR: OFF-WHITE
- 11 NATURAL UNSEALED SQUARE COPPER GUTTERS, DOWNSPOUTS, EXTERIOR LIGHT HOUSINGS, FLASHING AND CHIMNEY SHROUD
- 12 POWDER COATED IRON RAILING. COLOR: BLACK

2 EXISTING SOUTH ELEVATION

SCALE : 1/4" = 1'-0"





SHEET TITLE

SECTIONS

- ISSUE △ REVISIONS
- ① 04-16-19 SUBMITTAL-TWO STORY ADD-LOT 9
- ② 09-24-19 PLANNING RESUB-CONTEMP VERSION
- ③ 11-26-19 CONTEMP VERSION REVISED
- ④ 02-11-20 CONTEMP VERSION REVISED
- ⑤ 03-25-20 RESUBMITTAL AFTER LETTER 6

△ DATE

PROJECT NUMBER

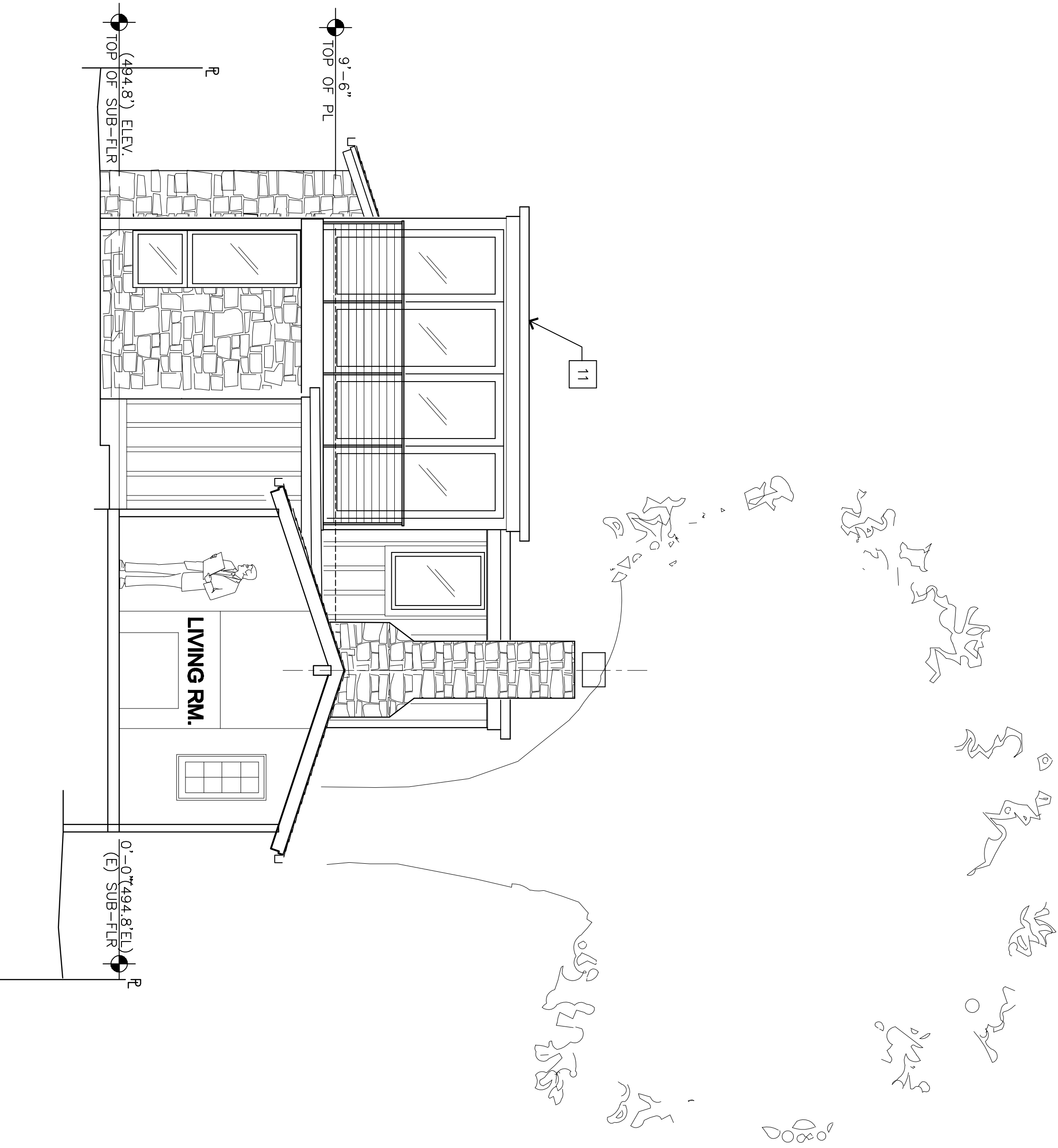
SHEET NUMBER

A7.0

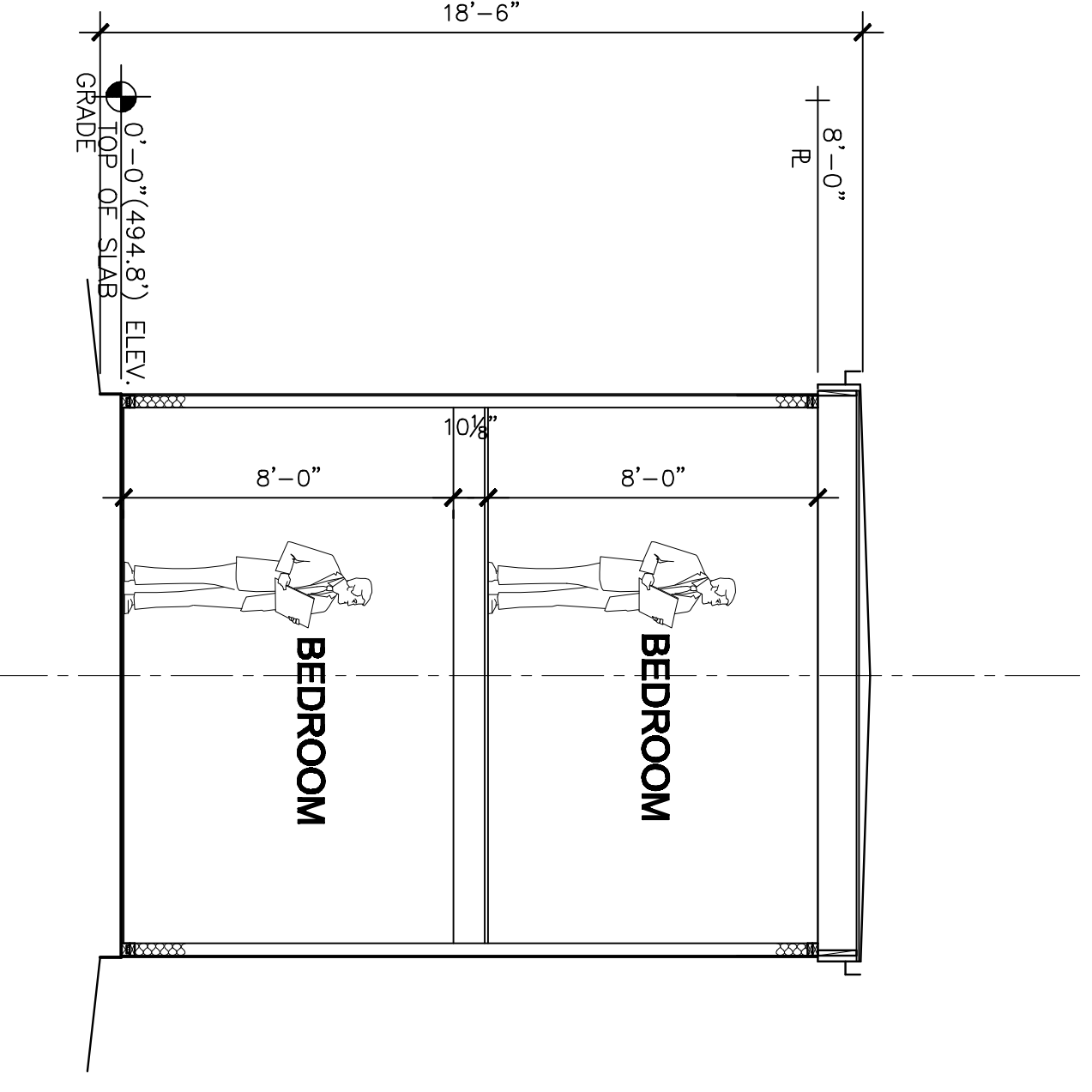
ELEVATION MATERIALS LEGEND

- 1 ASPHALT SHINGE ROOF CLASS 'A', 10 MATCH EXISTING
- 2 BOARD AND BATTEN SIDING WITH 1x4 BATTENS AT 16" O.C. COLOR: PAINTED OFF-WHITE
- 3 EXISTING EXTERIOR CARMEL STONE WALL/VENER
- 4 NEW EXTERIOR CARMEL STONE VENER TO MATCH (E)
- 5 NOT USED
- 6 WOOD EXTERIOR DOORS AND WINDOWS BY MARVNA. COLOR: OFF-WHITE TO MATCH (E)
- 7 NOT USED
- 8 2X FASQA BOARD PRE-PRIMED RADIATA PINE "ADVANTAGE PLUS BY KELLEHER, OR EQ. COLOR:OFF WHITE
- 9 4X PAINTED CEDAR WOOD RAFTER TAILS. COLOR:WHITE
- 10 WOOD SHUTTERS, COLOR: OFF-WHITE
- 11 NATURAL UNSEALED SQUARE COPPER GUTTERS, DOWNSPOUTS, EXTERIOR LIGHT HOUSINGS, FLASHING AND CHIMNEY SHROUD
- 12 POWDER COATED IRON RAILING. COLOR: BLACK

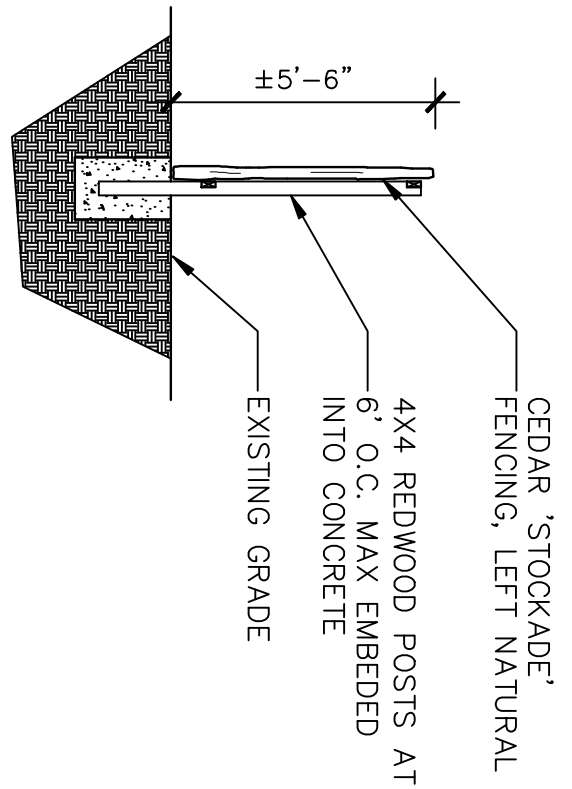
SECTION NOTES



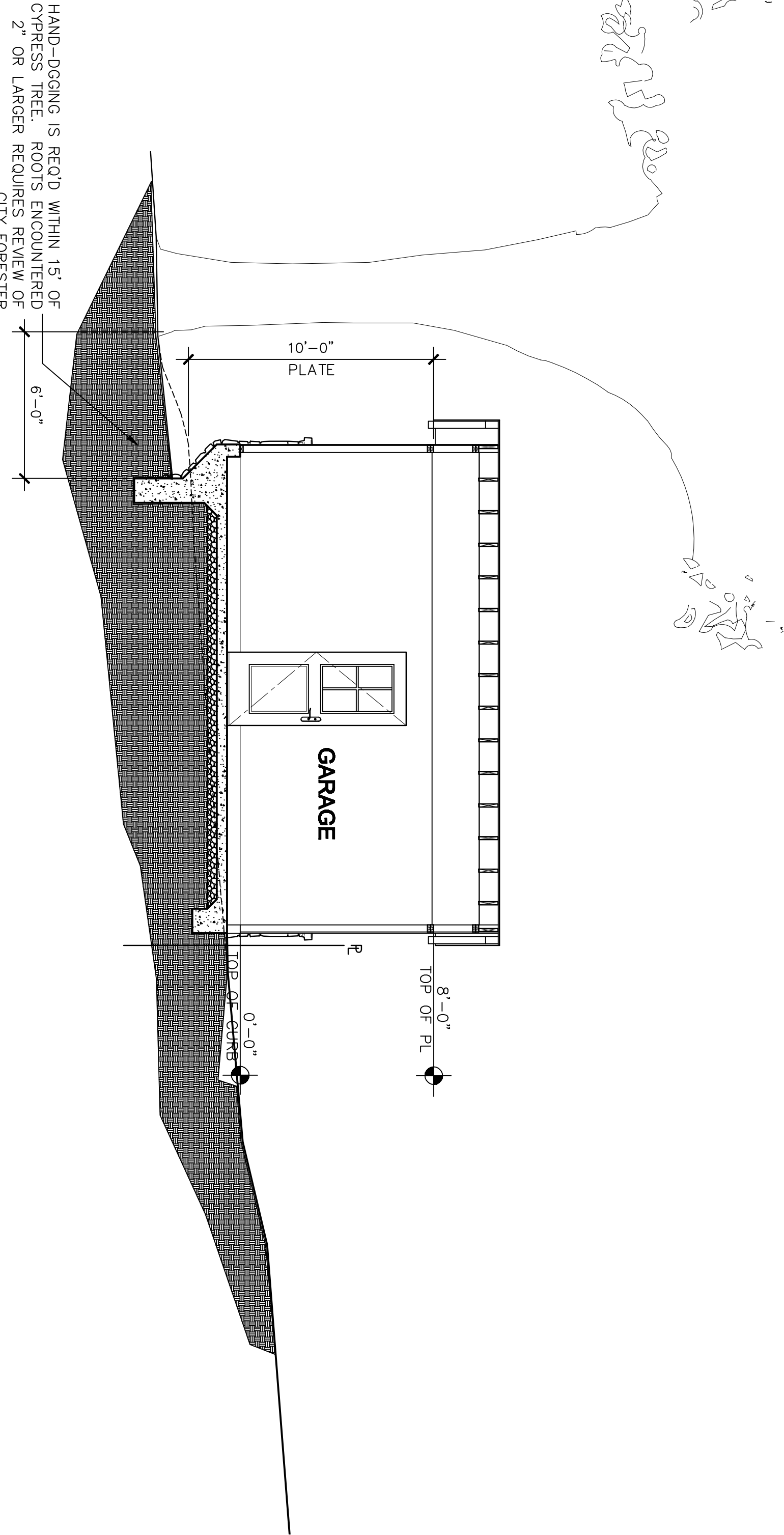
A SECTION "A"
SCALE : 1/4" = 1'-0"



C SECTION AT 2 STORY
SCALE : 1/4" = 1'-0"



D SECTION AT FENCE
SCALE : 1/4" = 1'-0"



B SECTION AT GARAGE
SCALE : 1/4" = 1'-0"

HAND-DIGGING IS REQ'D WITHIN 15' OF CYPRESS TREE. ROOTS ENCOUNTERED 2" OR LARGER REQUIRES REVIEW OF CITY FORESTER



WINDOW SCHEDULE

- ISSUE △ REVISIONS
- ① 04-16-19 SUBMITTAL - TWO STORY ADD-LOT 6
- ② 09-24-19 PLANNING RESUB-CONTEMP VERSION
- ③ 11-25-19 CONTEMP VERSION REVISED
- ④ 02-11-20 CONTEMP VERSION REVISED
- ⑤ 03-25-20 RESUBMITTAL AFTER LETTER 6

△ DATE

PROJECT NUMBER

SHEET NUMBER

A9.1

WINDOW SCHEDULE

MARK	UNIT SIZE WIDTH X HEIGHT	HEAD HEIGHT	TYPE OF OPERABILITY	FRAME MATERIAL	REMARKS
G01	4'-0" X 3'-6"	4'-7"-6"	DBL. CASEMENT	WOOD	WINDOW REP. TO VERIFY TEMPER GLASS AND TINT WITH OWNER RE: GENERAL. NO. 1000
G02	3'-0" X 3'-6"	4'-7"-6"	DBL. CASEMENT	WOOD	SEE ALL NOTES BELOW AS APPLIES. TYP.
M01	1'-6" X 7'-6"	4-8'-0"	FIXED /AWNING	WOOD	T.G. AWNING AT LOWER UNIT
M02	1'-6" X 7'-6"	4-8'-0"	FIXED /AWNING	WOOD	T.G. AWNING AT LOWER UNIT
M03	4'-6" X 4'-6"	8'-0"	DBL. CASEMENT	WOOD	T.G. AWNING AT LOWER UNIT
M04	2'-6" X 5'-0"	8'-0"	CASEMENT	WOOD	6 LITES
M05	2'-6" X 5'-0"	8'-0"	CASEMENT	WOOD	6 LITES
M06	2'-6" X 7'-5"	7'-11"	FIXED /AWNING	WOOD	T.G. AWNING AT LOWER UNIT
M07	2'-6" X 7'-5"	7'-11"	FIXED /AWNING	WOOD	T.G. AWNING AT LOWER UNIT
M08	1'-6" X 3'-0"	6'-8"	CASEMENT	WOOD	4 LITES
M09	2'-0" X 3'-6"	8'-0"	CASEMENT	WOOD	6 LITES
U01	1'-6" X 7'-0"	4'-7'-0"	FIXED /AWNING	WOOD	T.G. AWNING AT LOWER UNIT
U02	1'-6" X 7'-10"	4'-7'-11"	FIXED /AWNING	WOOD	T.G. AWNING AT LOWER UNIT
U03	2'-6" X VARIES	4'-7'-11"	FIXED	WOOD	
U04	2'-6" X 5'-2"	4'-7'-11"	FIXED	WOOD	
U05	2'-6" X 7'-10"	4'-7'-11"	FIXED /AWNING	WOOD	T.G. AWNING AT LOWER UNIT
U06	2'-6" X 4'-0"	4'-6'-11"	FIXED	WOOD	T.G.

WINDOW SCHEDULE NOTES

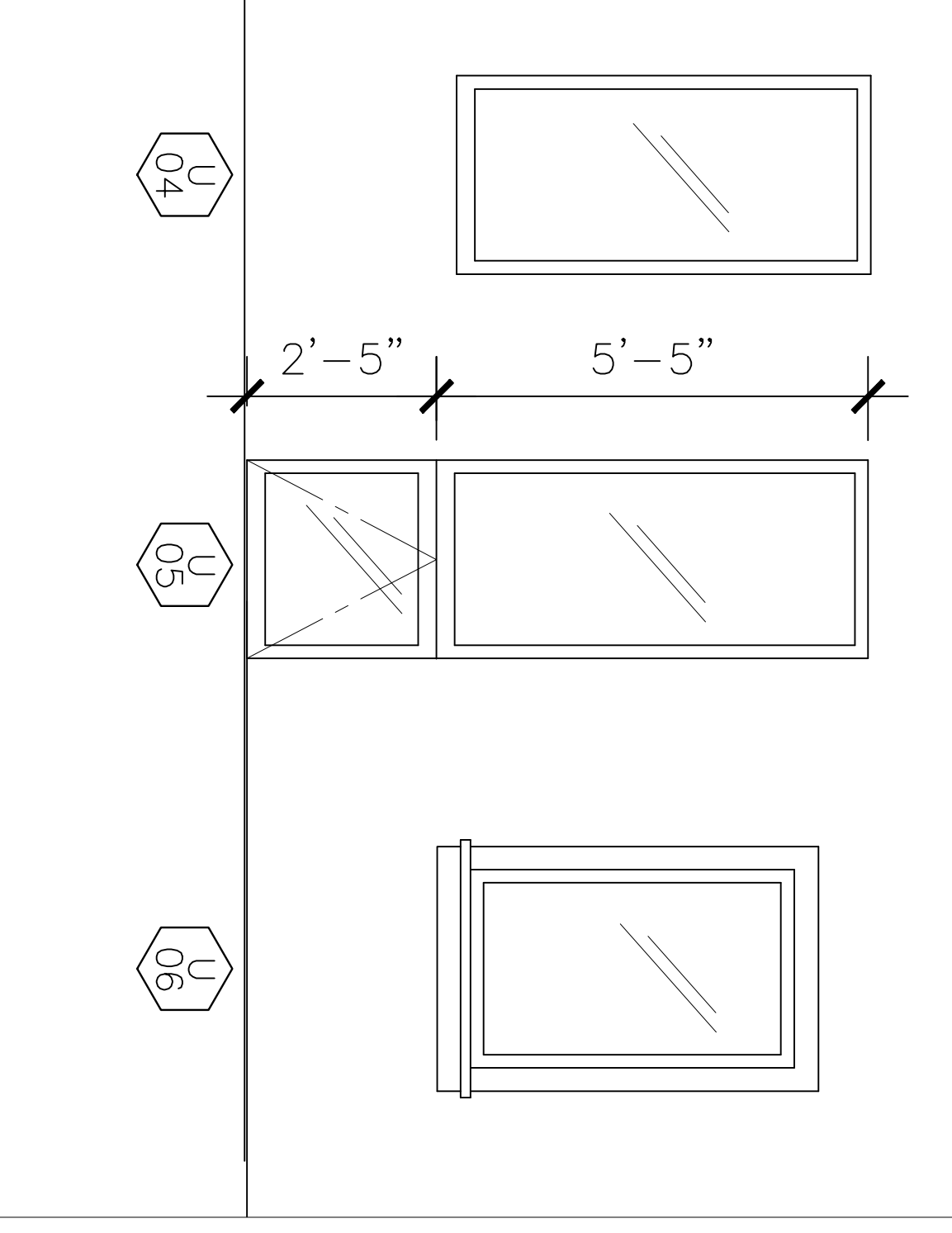
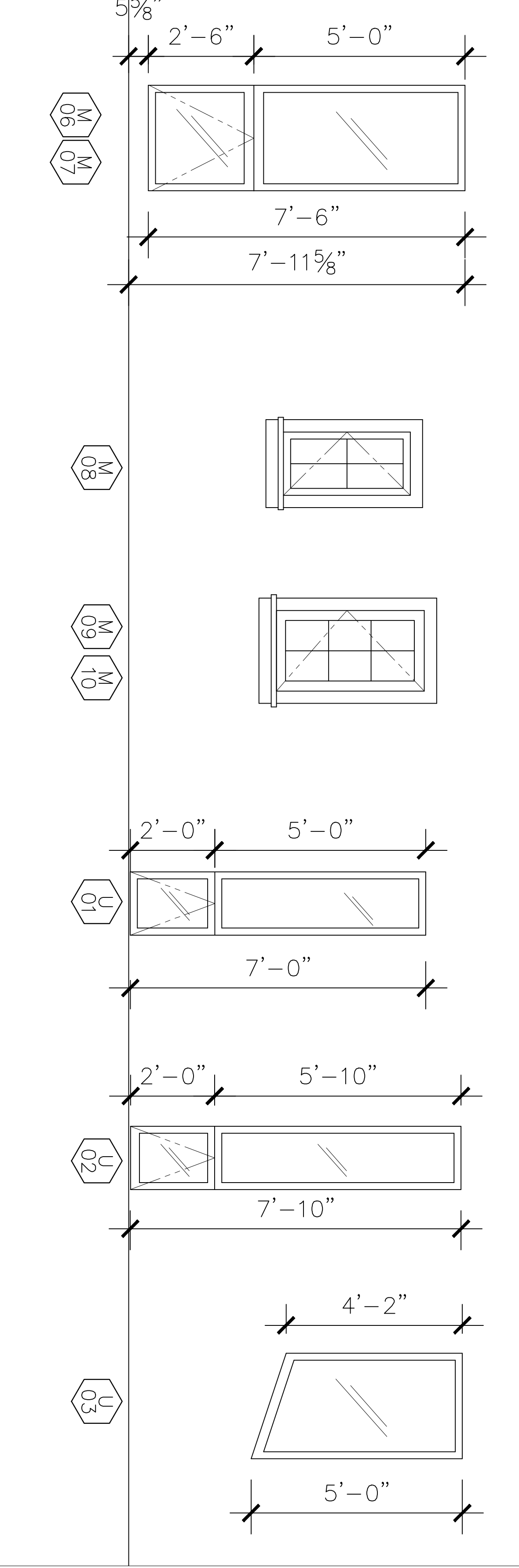
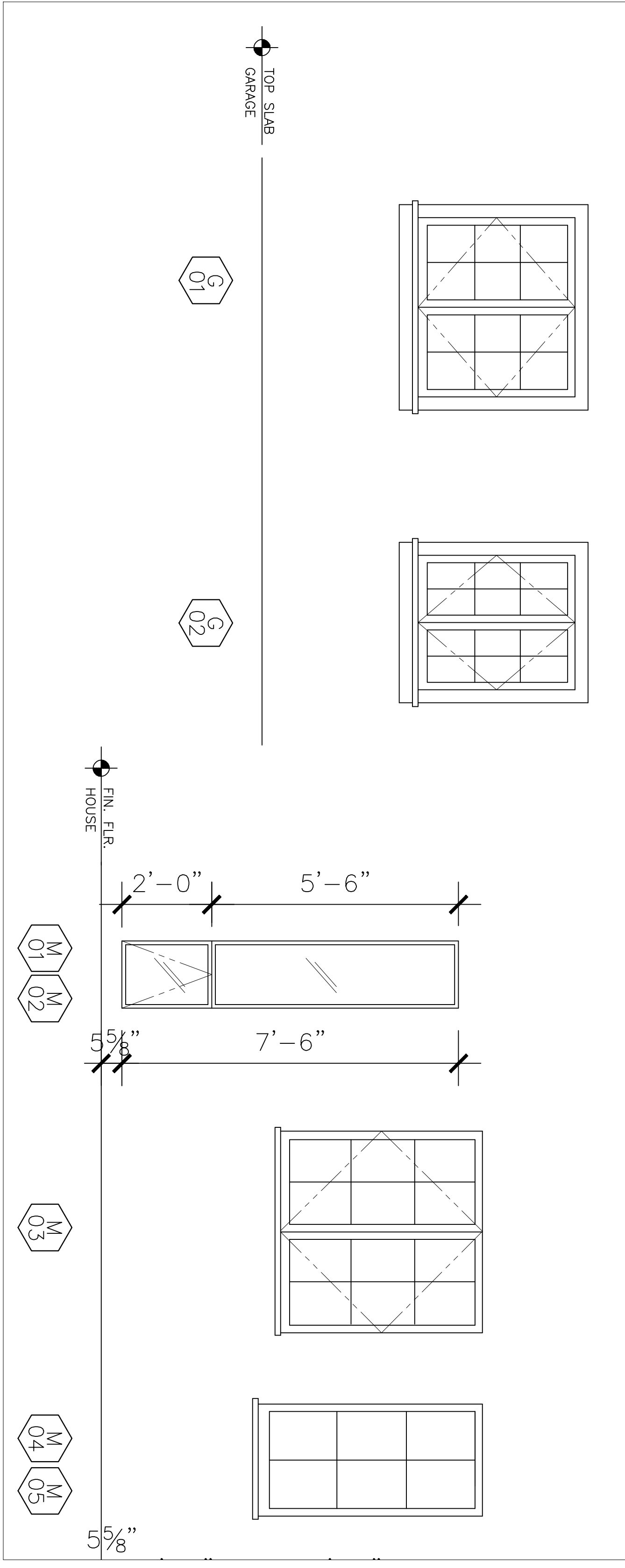
- WINDOW SCHEDULE PROVIDED ABOVE IS PRELIMINARY IN NATURE. CONTRACTOR AND WINDOW SUPPLIER SHALL COMPLETE A COMPLETE AND ACCURATE SCHEDULE BASED UPON FIELD CONDITIONS OF PROJECT AND OWNER CHANGES/PREFERENCES. SPECIALTY WINDOWS MUST BE COORDINATED WITH THE GENERAL CONTRACTOR.
- WINDOW DIMENSIONS ARE PROPOSED UNIT SIZES. GENERAL CONTRACTOR IS TO VERIFY ALL PROPOSED WINDOW SIZES WITH SITE CONDITIONS AND FOR MANUFACTURER'S NEAREST STOCK SIZES WHEN APPLICABLE. ALL WINDOW SIZES, SHAPES, COLORS, HARDWARE, SCREENS, GLAZING, ETC. MUST BE APPROVED BY OWNER PRIOR TO ORDERING. CONTRACTOR SHALL PROVIDE ARCHITECT COMPLETE STRUCTURAL WINDOW SHOP DRAWINGS FOR REVIEW.
- ALL WINDOWS ARE TO BE DOUBLE GLAZED UNLESS OTHERWISE NOTED. SEE TITLE 24 CALCS FOR REQUIRED MIN. VALUES
- DUAL GLAZING IS TO BE LOW-E CARBONAL "270" GLAZING. OWNERS TO VERIFY WITH WINDOW REP WHICH, IF ANY, WINDOWS ARE TO BE "366" GLASS OR HAVE TINT WITHIN GLAZING. DUE TO SUN EXPOSURE, FILM IS NOT RECOMMENDED FOR DUAL GLAZED UNITS
- ALL WINDOWS SHALL HAVE A SOLDERED COPPER PAN, MINIMUM 20 OZ., WITH MOISTSTOP OR EQUIVALENT WATERPROOFING SYSTEM. GALVANIZED IRON IS ACCEPTABLE IN NON-COASTAL ENVIRONMENTS. SEE DETAIL.
- WEATHER-STRIPING OF ALL WINDOWS SHALL BE CONTINUOUS ON ALL SIDES OF EACH WINDOW AND SHALL BE SIZED, DESIGNED AND FITTED TO PROVIDE FULL WATER-TIGHTNESS AGAINST WATER AND DRIVING RAIN. CONTRACTOR SHALL WATER TEST A MINIMUM OF ONE WINDOW AFTER INSTALLATION ON SIDE OF RESIDENCE WHERE EXPOSURE TO WEATHER IS GREATEST, AND REPORT FINDINGS TO OWNER AND ARCHITECT.
- WINDOWS WHICH EXCEED STANDARD SIZES SHALL BE VERIFIED BY WINDOW SUPPLIER FOR ENGINEERING AND WIND LOAD AT GIVEN PROJECT LOCATION AND PLACEMENT OF WINDOW(S) ON RESIDENCE (EXPOSURE)
- REQUIRED NATURAL LIGHT FOR EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS WITH AN AREA OF NOT LESS THAN 8% OF ROOM FLOOR AREA. (CRC R303.1).
- REQUIRED NATURAL VENTILATION IN OCCUPIED SPACES THROUGH OPENABLE EXTERIOR WALL OPENINGS SHALL BE AN AREA NOT LESS THAN 4% OF THE AREA BEING VENTILATED. (CRC R303.1).

SAFETY

- BASEMENTS AND EACH SLEEPING ROOM SHALL HAVE MIN. ONE EGRESS WINDOW WITH A NET CLEAR OPENABLE AREA OF 5.7 S.F., WITH THE MIN. NET CLEAR OPENABLE HEIGHT OF 24" AND THE MIN. NET CLEAR WIDTH SHALL BE 20". THE SILL HEIGHT SHALL BE MAX. 44" A.F.F. (CBC 1029.2 & 1029.3). EXCEPTIONS: BASEMENTS WITH A CEILING OF LESS THAN 80" OR LESS THAN 200 S.F. IN FLOOR AREA SHALL NOT BE REQUIRED TO HAVE AN EMERGENCY ESCAPE AND RESCUE WINDOWS (CRC R310.1).
- REQUIRED NATURAL VENTILATION IN OCCUPIED SPACES THROUGH OPENABLE EXTERIOR WALL OPENINGS SHALL BE AN AREA NOT LESS THAN 4% OF THE AREA BEING VENTILATED. (CRC R303.1).
- ALL CASEMENT WINDOWS USED IN BEDROOMS AS EMERGENCY EGRESS MUST BE "BREAK AWAY" TYPE TO ENSURE COMPLETE OPENABLE AREA FOR ACCESS.
- ALL GLAZING SUBJECT TO HUMAN IMPACT IN HAZARDOUS LOCATIONS AS DEFINED IN CRC R308.4 SHALL MEET MINIMUM REQUIREMENTS OF CRC R308.3.1, INCLUDING GLASS MIRRORS, SHALL BE TEMPERED GLASS OR WIRE SAFETY GLASS (CBC 2406)
- GLAZING IN AN INDIVIDUAL, FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE SHALL BE SAFETY GLASS (CRC 308.4.2)
- ALL OPERABLE WINDOWS ABOVE ADJACENT GRADE BY 6" OR MORE AND LOCATED WITHIN 36" OF THE FINISHED FLOOR, OR OTHERWISE VULNERABLE TO A PERSON FALLING OUT, SHALL HAVE SUITABLE RESTRAINT BARS(S) INSTALLED. THE BUILDING OWNER PERSONS FALLING OUT OF A WINDOW. INSECT SCREENS DO NOT OBTAIN PROTECTION AGAINST
- WINDOWS THAT MEET ALL CONDITIONS SHALL BE TEMPERED PER CRC R308.4.3. WHERE EXPOSED AREA OF INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET, EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR, AND ONE OR MORE WALKING SURFACES ARE WITHIN 36" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING, SHALL BE TEMPERED GLAZING.(R308.4.3)
- GLAZING IN WET AREAS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE TEMPERED.

W.U.I.

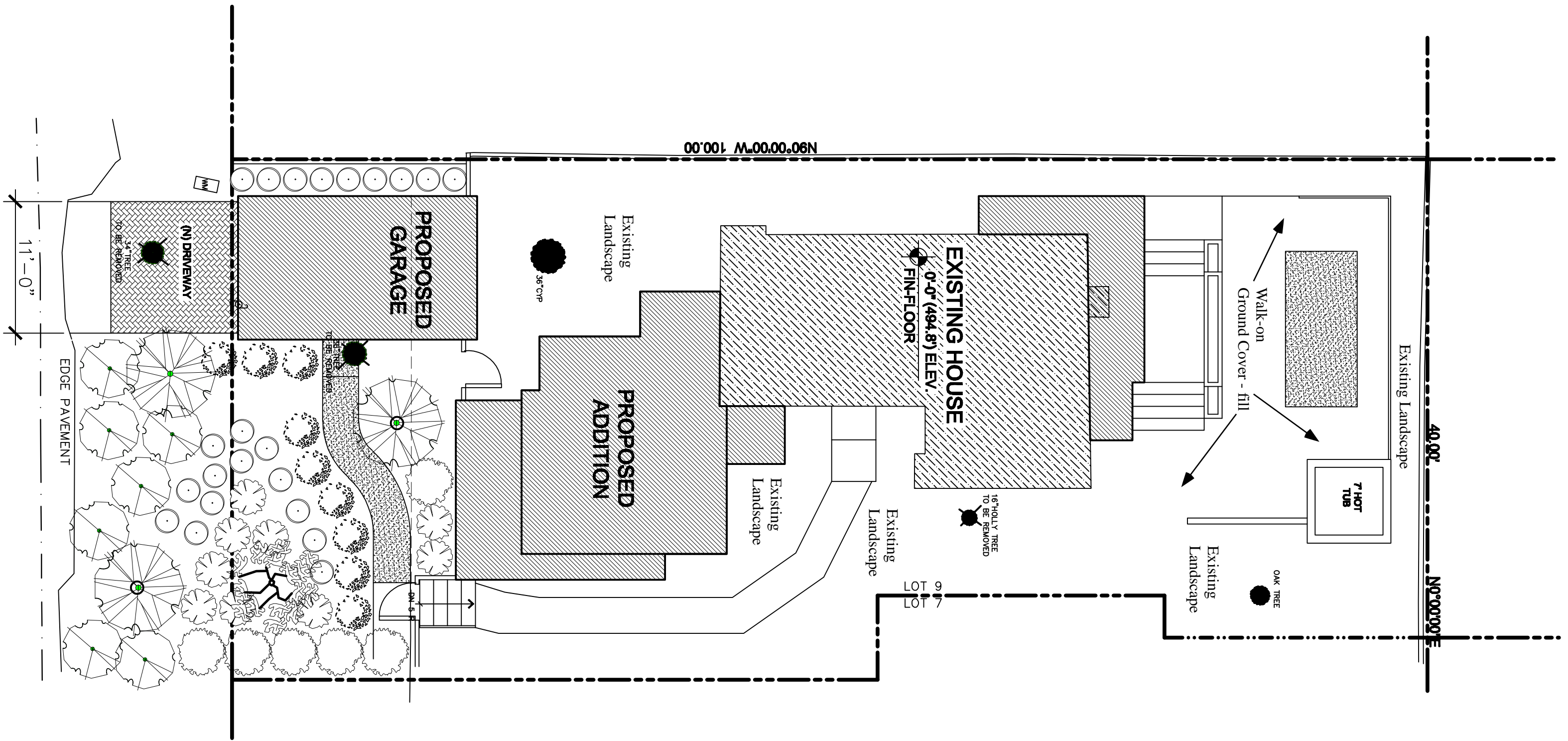
- THIS PROJECT IS NOT LOCATED WITHIN WILDLAND URBAN INTERFACE (W.U.I.) ZONES. NO ADDITIONAL REQUIREMENTS SHALL APPLY SUCH AS THE TEMPERING OF THE OUTER-MOST PANE OF GLASS PER CRC R337.8



WINDOW ELEVATIONS

SCALE : 1/2" = 1'-0"

CARMELO STREET



PLANTLIST & KEY		
Symbol	Q/Size	Name
	3/15 gal.	Arbutus 'Marina' - Marina Madrone (lower canopy replacement trees)
	1/15 gal.	Cupressus macrocarpa - Monterey Cypress (upper canopy replacement tree)
	6/5 gal.	Carpenteria californica - Bush Anemone (Medium Hydrozone)
	7/5 gal.	Sollya heterophylla - Australian Bluebell Creeper
	22/1 gal.	Dryopteris erythrosora - Autumn Fern (Medium Hydrozone)
	9/1 gal.	Correa pulchella - Australian Fuchsia
	4/Flats	Myoporum parvifolium - Ground Cover Myoporum
		Choose from: (space 1' apart) Carex pansa - Dune Sedge Dymondia margarete - Silver Carpet Dymondia Thymus praecox arcticus - Effen Thyme Burchardia dactyloides - UC Verde UC Verde Butifalgrass

Landscape Notes

1. Soil to be amended with compost at time of planting. Compost at a rate of a minimum of four (4) cubic yards per 1,000 sq.ft. of permeable area, and incorporated to a depth of six (6) inches into the soil. Soils with greater than 6% organic matter in the top 6 inches of soil are exempt from adding compost and tilling.
2. A minimum three (3) inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf, creeping or rooting ground covers, or direct seeding applications where mulch is contraindicated. To provide habitat for beneficial insects and other wildlife, up to 5% of the landscape area may be left without mulch. Designated insect habitat will be indicated on the landscape plan if applicable.
3. Hydrozone areas of chosen plants are indicated on plan. All plants are low hydrozone except where noted.
4. "I" have complied with the criteria of the ordinance (AMWELD) and applied them for the efficient use of water in the landscape design plan."

Dinah Irino, Floravista

Project: **Carmelo 3 SW of 7th**
 Carmel By The Sea, CA
 APN: 010-268-003
 Contact: Nexus Capital Group
 5150 El Camino Real Suite A30
 Los Altos, CA 94022
 Glen Yonekura (650) 385-6403

Landscape Plan

Scale: 1/8" = 10" Date: 3/5/2020

Floravista

Dinah Irino
 Landscape Designer

19017 Karen Drive
 Prunedale, CA 93907
 831.663.3652 (fax & phone)
 831.261.4840 (cell)
 flora.vista@sbcglobal.net



JAMES N. SMITH ARCHITECT, INC.
RESIDENTIAL AND COMMERCIAL ARCHITECTURE

03-25-20

Catherine Tarone, Asst. Planner
Carmel-By-The-Sea, CA.

RE: Completeness Review Letter #6
DS 18-048
W/s Carmelo between 7th & 8th
Block T, Lots 7 & 9



Wood trim, windows and board and batt siding Color: off white to match (e)

716 LIGHTHOUSE AVENUE PACIFIC GROVE, CALIFORNIA 93950
PH: 831-372-7251 FAX: 831-372-7252

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03-25-20

Catherine Tarone, Asst. Planner
Carmel-By-The-Sea, CA.

RE: Completeness Review Letter #6
DS 18-048
W/s Carmelo between 7th & 8th
Block T, Lots 7 & 9



Duro-Last Color: dark Grey (Upper Right color)

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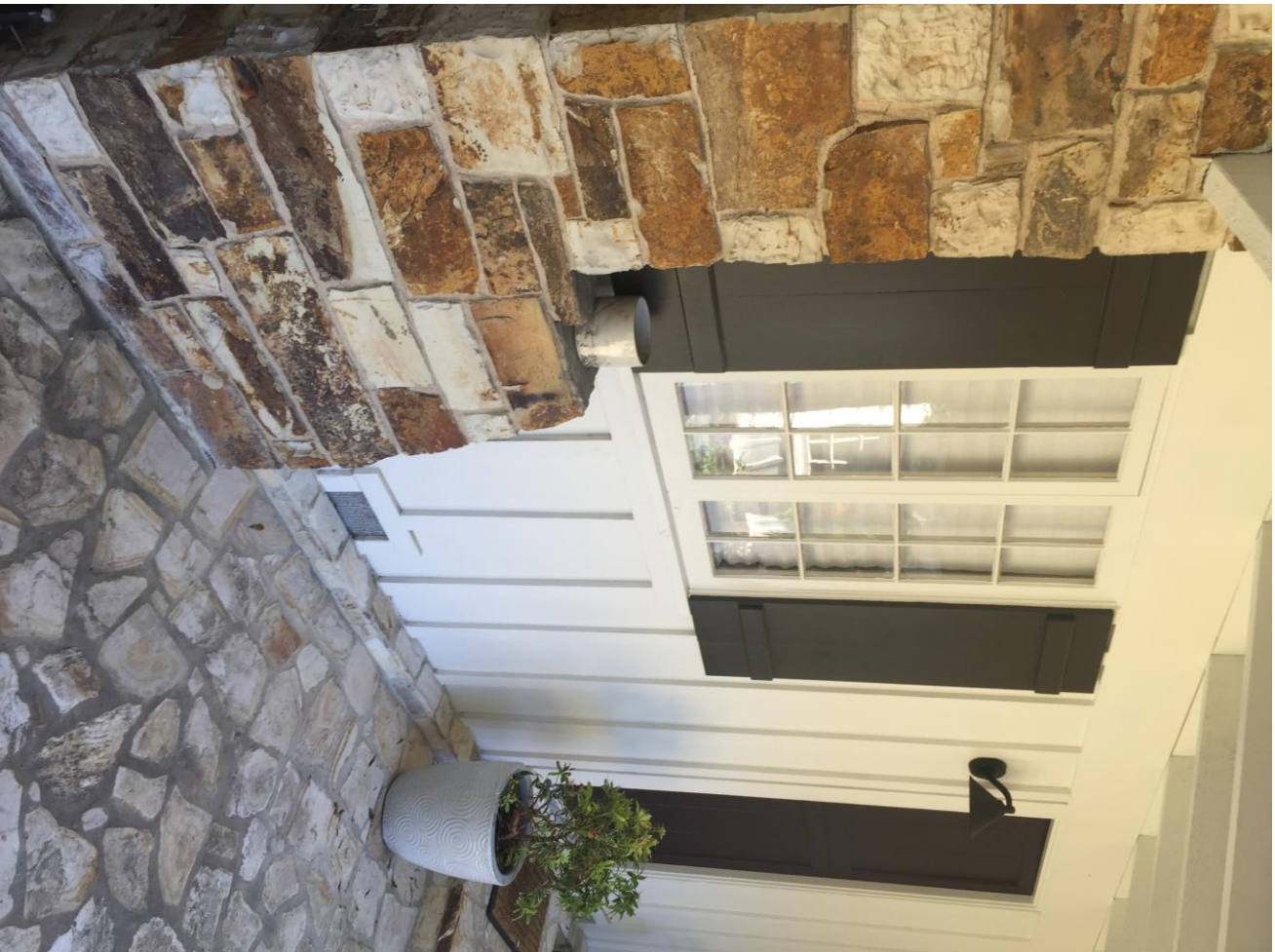
DS 18-048
W/s Carmelo between 7th & 8th
Block T, Lot 9



Stone at existing Cottage to be matched on proposed addition

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Trim and siding paint color on proposed addition to match existing shown

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CARMELO 3 SW OF 7TH, LOT 9
A.P.N. #010-268-003

ALTERNATE EXTERIOR STONE
Goldstone, Granite Rock



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Aria shown with Alpine White shell



Aria shown with Alpine White shell and Walnut cabinet

Seating Capacity	5 adults
Dimensions	7'3" x 7'3" x 36"/2.20m x 2.20m x .91m
Water Capacity	325 gallons/1,225 liters
Weight	695 lbs./315 kg dry; 4,280 lbs./1,940 kg filled*
Jets - 35 (w/ Stainless Steel Trim)	1 Moto-Massage® DX jet (2) 2 SoothingStream® jets 2 JetStream® jets 2 Rotary Hydromassage jets 5 Directional Hydromassage jets 4 HydroStream® jets 18 Directional Precision® jets
Water Feature	BellaFontana® with 3 illuminated arcs of water
Water Care System (Optional)	FreshWater® Salt System
Jet Pump 1	Wavemaster® 9000; One-speed, 2.5 HP Continuous Duty, 5.2 HP Breakdown Torque
Jet Pump 2	Wavemaster® 8200; Two-speed, 2.0 HP Continuous Duty, 4.0 HP Breakdown Torque
Circulation Pump	SilentFlo 5000® for quiet, continuous filtration
Effective Filtration Area	325 sq. ft., top loading Tri-X® filters 100% no-bypass filtration
Control System	IQ 2020® with wireless remote control 230v/50amp, 60Hz, Includes G.F.C.I. protected sub-panel
Lighting System	Luminescence® multi-color four-zone
Heater	No-Fault®, 4000w/230v
Energy Efficiency	Certified to the APSP 14 National Standard and the California Energy Commission (CEC) in accordance with California law
Vinyl Cover	3.5" to 2.5" tapered, 2 lb. density foam core, with hinge seal in Chocolate or Smoke
Cover Lifter (Optional)	CoverCradle®, CoverCradle II, Lift 'n Glide® or UpRite®
Entertainment System (Optional)	Wireless Sound System

* Includes water and 5 adults weighing 175 lbs. each
Export models available in 230v, 50Hz, 1500w Heater

CABINET AND SHELL COLOR OPTIONS

Cabinet Colors	Walnut	Driftwood	Bronze	Brushed Nickel	Sandstone	Shale
Shell Colors	Alpine White Ivory Ice Gray Tuscan Sun Desert	Alpine White Ice Gray Tuscan Sun Platinum	Alpine White Ivory Tuscan Sun Desert	Alpine White Ice Gray	Alpine White Ivory Tuscan Sun Desert	Alpine White Ice Gray Platinum

No special orders or shell substitutions available.