



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Review 24358

Owner Name: ESPERANZA CARMEL COMMERCIAL LLC

Case Planner: Evan Kort, Senior Planner

Date Posted: _____

Date Approved: 05/19/2025

Project Location: San Carlos 2 NW of 8th Ave

APN #: 010145021000 **BLOCK/LOT:** 91/ALL LOTS 13 AND 15

Applicant: Christopher Barlow

Project Description: Approval of this Design Review (DR 24358 (Esperanza Carmel Commercial, LLC) authorizes, the conversion of part of the first-floor commercial space to residential use and reconfiguring two existing apartments. Apartment #340 on the second floor will become a one-bedroom apartment. Apartment #250, spanning the first and second floors, will be converted into a three-bedroom apartment. Exterior work includes enclosing a covered area to add an accessible restroom for office use, replacing fixed windows with operable egress windows at apartments, updating windows and siding at the first-floor apartment bath to match existing, and replacing an apartment entry door with a new one matching the existing style. The project shall be constructed in compliance with the plans stamped approved by the Community Planning and Building Department on May 19, 2025, except as modified by the Conditions of Approval herein.

Can this project be appealed to the Coastal Commission? Yes ☐ No ☒

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	Authorization. This approval of Design Review DR 24358 (Esperanza Carmel Commercial, LLC) authorizes a conversion of part of the first-floor commercial space to residential use and reconfiguring two existing apartments. Apartment #340 on the second floor will become a one-bedroom apartment. Apartment #250, spanning the first and second floors, will be converted into a three-bedroom apartment. Exterior work includes enclosing a covered area to add an accessible restroom for office use, replacing fixed windows with operable egress windows at apartments, updating windows and siding at the first-floor apartment bath to match existing, and replacing an apartment entry door with a new one matching the existing style located at San Carlos 2 NW of 8th Ave in the RC District and, APN: 010145021000 as depicted in the plans stamped approved by Community Planning and Building Department on 05/19/2025 unless modified by the conditions of approval contained herein.
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the RC zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
3.	Permit Required. <p><input checked="" type="checkbox"/> A Building Permit shall be applied for and obtained from the Building Division prior to commencement of work. The Building Permit shall be applied for in a manner consistent with the submittal requirements prescribed by the Building Division.</p> <p><input type="checkbox"/> A building permit is not required; however, the applicant shall apply for and obtain a Notice of Authorized Work from the Building Division prior to commencement of work. To apply for the Notice of Authorized Work, please submit the Scope of Work Declaration through the city's online permit portal.</p>
4.	Permit Validity. The project shall be implemented in accordance with the time limits set forth CMC 17.52.170 (Time Limits on Approvals and Denials) . During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
5.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this approval shall be null and void. If installed, the property owner/applicant shall be required to remove the subject improvement(s) at the property owners expense.
6.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
7.	Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
8.	USA North 811. Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)

9.	Conditions of Approval. Prior to the issuance of a Building Permit or Notice of Authored Work, the Applicant shall print a copy of the signed Conditions of Approval within the construction plan set submitted to the Building Safety Division as part of the submittal for the Building Permit Application or Notice of Authorized Work.
10.	Tree Removal Prohibited. Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed or pruned with the approval of the City Forester or Forest and Beach Commission.
11.	<p>Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> • Prior to grading, excavation, or construction, the contractor/builder shall clearly tag or mark all trees to be preserved. • Excavation within 6 feet of a tree trunk is not permitted. • No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree. • Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels. • Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. • Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. • If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. <p>If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place. The Forester can be reached at 831-620-2073.</p>
12.	Foundation Work Near Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, construction activity will be suspended and all work stopped until an investigation by the City Forester has been completed. The Forester can be reached at 831-620-2073.

DR 24358 (Esperanza Carmel Commercial, LLC)
 Conditions of Approval
 05/19/2025
 Page 3 of 3

SPECIAL CONDITIONS	
13.	Building Permit. The applicant shall incorporate these conditions of approval and any associated changes required by this approval into BP 250199 prior to building permit issuance and prior to commencement of work.
14.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.
15.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee. When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.
16.	Building Finishes and Materials. All new and replacement exterior finishes and materials, including but not limited to doors, windows, siding, and trim, shall match the existing building in color, material, texture, and architectural style.
17.	N/A

*Acknowledgement and acceptance of conditions of approval.

	for Esperanza Carmel	
Property Owner Signature	Printed Name	Date

Applicant Signature	Printed Name	Date

Once signed, please email to .

San Carlos 2 NW of 8th Street
Carmel, CA 93921

[illegible]

PROJECT TEAM

BUILDING OWNER

ESPERANZA CARMEL COMMERCIAL, LLC
P.O. BOX 134
CARMEL, CA 93921
ph: (831) 238-0050
Email: Ryan.Aeschliman@EsperanzaCarmel.com
Contact: RYAN AESCHLIMAN

ARCHITECT

WALD, RUHNKE & DOST ARCHITECTS, LLP
2340 GARDEN ROAD, SUITE 100
MONTEREY, CA 93940
ph: (831) 649-4942 fax: (831) 649-3530
Email: christopherb@wardarch.com
Contact: CHRISTOPHER BARLOW

MECHANICAL ENGINEER

MONTEREY ENERGY GROUP
26465 CARMEL RANCHO BLVD #8
CARMEL, CA 93923
ph: (831) 256-9085
Email: Ryan@meeg4.com

ELECTRICAL

AURUM CONSULTING ENGINEERS
404 W. FRANKLIN ST. SUITE 100
MONTEREY, CA 93940
ph: (831) 646-3330 fax: (831) 646-3336
Email: frank@acemc.com

VICINITY MAP

LOCATION MAP

PROJECT INFORMATION

PROJECT SCOPE: CHANGE OF USE, CONVERT A PORTION of OFFICE SPACE ON THE FIRST FLOOR TO RESIDENTIAL TO ONE NEW TOWNHOUSE APARTMENT

LOCATION: SAN CARLOS 2 HW of 4TH STREETS
CARMEL, CA 93921

APN: 010-145-021-000
ALL OF LOTS 13 & 15 - BLOCK 91

SITE AREA: 8,000 s.f. (0.18 ac)

ZONING: RC

PREVIOUS USE: 1st FLOOR (OFFICES) 3,545 S.F. OFFICE SPACE
2nd FLOOR - THREE APARTMENTS TOTALING 263 S.F.

PROPOSED USE: 1st FLOOR - 2,560 S.F. OFFICE SPACE & LOWER LEVEL of TOWNHOUSE APART. (846 S.F.)

2nd FLOOR - THREE APTS. TWO FLATS, ONE TOWNHOUSE
(E) APARTMENT #340 (FLAT) (346 SQ.FT)
APARTMENT #340 (FLAT) (650 S.F.)
APARTMENT #250 (TOWNHOUSE) 948 S.F. 1st+2nd+1,895 S.F.

CONSTRUCTION: BV SPRINKLERED (EXISTING)

MAX. BUILDING HT: 2F

FLOOR AREA CALCULATIONS: (SEE DIAGRAM BELOW FOR MORE INFO)

	EXISTING	PROPOSED
1st FLOOR:	3,545 SF	1st FLOOR 3,568 SF
2nd FLOOR:	263 SF	2nd FLOOR 3,568 SF
TOTAL:	3,808 SF	7,136 SF
	or 89.2%	or 89.5%

APPLICABLE BUILDING CODES & STANDARDS
CALIFORNIA CODE OF REGULATIONS (CCCR)
2022 CALIFORNIA ADMINISTRATIVE CODE (CAC), CCR TITLE 24, PART 1
2022 CALIFORNIA BUILDING CODE (CBC), CCR TITLE 24, PART 2, VOLUMES 1 AND 2
2022 CALIFORNIA RESIDENTIAL CODE (CRC), CCR TITLE 24, PART 2.5
2022 CALIFORNIA ELECTRICAL CODE (CEC), CCR TITLE 24, PART 3
2022 CALIFORNIA MECHANICAL CODE (CMC), CCR TITLE 24, PART 4
2022 CALIFORNIA PLUMBING CODE (CPC), CCR TITLE 24, PART 5
2022 CALIFORNIA ENERGY CODE (CEC), CCR TITLE 24, PART 6
PART 7 WASHU
2022 CALIFORNIA HISTORICAL BUILDING CODE (CHBC), CCR TITLE 24, PART 8
2022 CALIFORNIA FIRE CODE (CFC), CCR TITLE 24, PART 9
2022 CALIFORNIA EXISTING BUILDING CODE (CEBC), CCR TITLE 24, PART 10
2022 CALIF. GREEN BUILDING STANDARDS CODE (CALGreen), CCR TITLE 24, PART 11
2022 CALIFORNIA REFERENCED STANDARDS CODE, CCR TITLE 24, PART 12
CCR TITLE 19, PUBLIC SAFETY, DIVISION 1, STATE FIRE MARSHAL

PARTIAL LIST OF APPLICABLE STATE STANDARDS
2022 NFPA 13, AUTOMATIC FIRE ALARMS SYSTEMS (CA AMENDED)
2022 NFPA 72, NATIONAL FIRE SIGNALING AND COMMUNICATIONS CODE (CA AMENDED)

EXISTING:
NOTE: THIS BUILDING OR SPACE SHALL PROVIDE A READILY DISTINGUISHABLE MEANS OF EGRESS COMPLYING WITH CHAPTER 10 AND CHAPTER 11 (WHERE APPLICABLE FOR ACCESSIBILITY PURPOSE) OF THE CURRENT ADAPTED EDITION OF THE CALIFORNIA BUILDING CODE. THE EXIT SYSTEM SHALL MAINTAIN A CONTINUOUS, UNOBSTRUCTED AND UNIMPAIRED PATH OF EXIT TRAVEL FROM ANY OCCUPIED POINT WITHIN THE BUILDING TO A PUBLIC WAY.

SHT.# SHEET TITLE

COVER SHEET

ARCHITECTURAL

- A100 SITE PLAN
- D201 FIRST FLOOR DEMOLITION PLAN
- D202 SECOND FLOOR DEMOLITION PLAN
- A200 BASEMENT FLOOR PLAN - EXISTING
- A201 FIRST FLOOR PLAN
- A202 SECOND FLOOR PLAN
- A301 DOOR AND WINDOW SCHEDULES
- A401 EXISTING EXTERIOR ELEVATIONS
- A500 EXTERIOR ELEVATIONS
- A600 EXTERIOR ELEVATIONS
- A700 ARCHITECTURAL DETAILS
- A800 ACCESSIBILITY DETAILS

MECHANICAL

- M0.1 NOTES
- M0.2 NOTES
- M0.3 ENERGY COMPLIANCE
- M0.4 ENERGY COMPLIANCE
- M0.5 ENERGY COMPLIANCE
- M0.6 LOW RISE RESIDENTIAL MANDATORY MEASURES SUMMARY
- M0.7 FIRST FLOOR RADIANANT HEATING TUBING LAYOUT
- M0.8 FIRST FLOOR RADIANANT HEATING TUBING LAYOUT
- M0.9 SECOND FLOOR RADIANANT HEATING PANEL & TUBING LAYOUT
- M1.0 FIRST & SECOND FLOOR VENTILATION PLAN
- M1.1 FIRST FLOOR DOMESTIC WATER & GAS PLAN
- M1.2 SECOND FLOOR DOMESTIC WATER & GAS PLAN
- M1.3 2ND FLOOR PIPING SCHEMATIC
- M1.4 DETAILS
- M1.5 ECO-WARM INSTALLATION DETAILS

PLUMBING

- P0.1 LEGENDS, SCHEDULES, NOTES & DETAILS
- P0.2 PLUMBING SPECIFICATIONS
- P1.1 BASEMENT WASTE & VENT PLAN
- P1.2 FIRST FLOOR WASTE & VENT PLAN
- P1.3 SECOND FLOOR WASTE & VENT PLAN
- P1.4 BASEMENT DOMESTIC WATER & GAS PLAN
- P1.5 FIRST FLOOR DOMESTIC WATER & GAS PLAN
- P1.6 SECOND FLOOR DOMESTIC WATER & GAS PLAN

ELECTRICAL

- E001 SYMBOLS, ABBREVIATIONS, GENERAL NOTES, CODES, INDEX
- E002 CA ENERGY COMPLIANCE TITLE 24 (RESIDENTIAL)
- E101 ELECTRICAL SINGLE LINE DIAGRAM, LIGHT FIXTURE SCHEDULE
- E102 PANELBOARDS, SCHEDULES & DETAILS
- E103 FIRST FLOOR - ELECTRICAL, DEMO PLAN AND DEMO SCHEDULE
- E104 SECOND FLOOR - ELECTRICAL, DEMO PLAN
- E105 FIRST FLOOR - POWER PLAN
- E106 SECOND FLOOR - POWER PLAN
- E107 FIRST FLOOR - LIGHTING PLAN
- E108 SECOND FLOOR - LIGHTING PLAN
- E109 ELECTRICAL DETAILS
- E110 RESIDENTIAL ELECTRICAL SPECIFICATIONS & WIRING NOTES

APP 05 COMMUNITY & APPROVED BY: [Signature]

EXISTING COMMERCIAL TENANT SPACE DIAGRAM

1st FLOOR

SCOPE OF WORK

CHANGE OF USE:
- CHANGE THE USE OF A PORTION OF THE 1st FLOOR COMMERCIAL SPACE TO RESIDENTIAL USE.
- RECONFIGURE A PORTION OF THE 2nd story APARTMENTS TO CREATE ONE 1-BEDROOM FLAT AND ONE 3-BEDROOM TOWNHOUSE.
- APARTMENT #340 (2nd story) BECOMES A 1-BEDROOM FLAT.
- APARTMENT #250 (1st & 2nd story) CONVERTS TO A 3-BED TOWNHOUSE: 3 BEDROOMS & 2 BATHS ON THE 1st FLOOR. LIVING, KITCHEN, & POWDER ROOM ON THE 2nd FLOOR (ENTRY LEVEL).

EXTERIOR:
- ENCLOSE AN EXTERIOR COVERED AREA TO PROVIDE A NEW ACCESSIBLE RESTROOM FOR THE OFFICES' NEW DOOR TO MATCH EXISTG.
- REPLACE EXISTG FIXED WINDOWS WITH NEW OPERABLE WINDOWS FOR EGRESS AT APARTMENTS.
- REPLACE EXISTING WINDOWS & DOOR WITH NEW WINDOWS & EXTERIOR SIDING TO MATCH EXISTG 1st FLOOR APARTMENT BATH.
- REPLACE EXISTG DOOR WITH NEW DOOR TO MATCH EXISTG at APARTMENT

PROPOSED COMMERCIAL TENANT SPACE DIAGRAM

1st FLOOR

RESIDENTIAL DIAGRAM

2nd FLOOR

WR&D WALDMAN RUCKENSTEIN & DODGE ARCHITECTS LLP		60
2340 GARDEN ROAD, SUITE 1100 MONTEREY, CALIFORNIA 93940 PHONE: 831.649.4642 FAX: 831.649.3530 WWW.WR&DRCH.COM		
THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL JOB FOR WHICH THEY WERE PREPARED, AND NO REUSE OR MODIFICATION THEREOF IS PERMITTED WITHOUT WRITTEN PERMISSION BY ANY METHOD IN WHICHEVER FORM OR PART IT MAY OCCUR. THESE TERMS APPLY TO ALL PRINTED AND DIGITAL COPIES. CONTACT WITHIN THREE BUSINESS DAYS AFTER RECEIVING OF THIS PROJECT'S FINAL DELIVERABLES FOR A FULL LIST OF USAGE RESTRICTIONS.		
<p>REGISTERED ARCHITECT No. 211686 REN. 1/15/25 STATE OF CALIFORNIA</p>	010-445-0221	A.P.N.:
GRANT TORIO PROJECT TENANT IMPROVEMENT SAN CARLOS 2 NW AND STREET LIGHTING ESPERANZA CARMEL COMMUNITY CENTER P.O. BOX 222795 CARMEL, CA 93921		
JOB NO.:	24110	
PRINT DATE:		
PLOT DATE:	4/24/2025	
DRAWN BY:		
CHECKED BY:	GB	
SHEET ISSUED:		
12.13.2024 Planning Submittal 12.16.2024 Building Submittal 3/1.2025 Planning Responses 4/23.2025 Planning Responses		
SHEET NAME:		
COVER SHEET		
SHEET NO.:		
A001		
FILE NAME:	DATE:	

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

APPROVED
05/19/2025
COMMUNITY PLANNING & BUILDING
Approved by: Evan Kort, Senior Planner

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y	NA	SECTION PART	Y	NA	SECTION PART
		MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the Base Reactive Organic Gas (ROG) Measure per weight of compound added, expressed to hundredths of a gram (g) O ₃ /g ROG. Note: MIR values for individual compounds and hydrocarbon solvents are specified in COR, Title 17, Sections 94700 and 94701. MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. PRODUCT-WEIGHTED MIR (PWIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). Note: PWIR is calculated according to equations found in COR, Title 17, Section 94521 (a). REACTIVE ORGANIC COMPOUND (ROG). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere. VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 1 millimeter of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitro, nitrogen and other elements. See COR Title 17, Section 94503(a). 4.503 FIREPLACES 4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vented sealed-combustion type. Any installed woodstove or pellet stove that comply with U.S. EPA New Source Performance Standards (NSPS) emission limits are applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances. 4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUST OPERATIONS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution components (openings) shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system. 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials that comply with this section.			

		4.504.2.1 Adhesives, Sealants and Caulks. Adhesive, sealant and caulk used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: 1. Adhesive, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCQAD Rule 116B VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 116B prohibition on the use of certain toxic compounds (chlorinated, ethylene dichloride, methylene chloride, perchloroethylene and isocyanates), except for aerosol products, as specified in Subsection 2 below. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not contain more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94501. 4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARI Architectural Suggested Control Measure, as shown in Table 4.504.1, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.2.1, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR limits for ROG in Section 94522(2)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone-depleting substances, in Sections 94526(1) and (1)(1) of California Code of Regulations, Title 17, commencing with Section 94501, and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49. 4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product containers.			
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TABLE 4.504.1 - ADHESIVE VOC LIMIT ¹	
(Less Water and Less Exempt Compounds in Grams per Liter)	
ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	100
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	610
CPVC WELDING	50
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	30
WOOD	30
FIBERGLASS	80
1. If an ADHESIVE is USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED. 2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 116B.	

TABLE 4.504.2 - SEALANT VOC LIMIT	
(Less Water and Less Exempt Compounds in Grams per Liter)	
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	250
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS ¹	
GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS	
COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOOD BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASTIC SEALERS	100
DRYWALL SEALERS	50
DRY GYPSUM COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS	120
MAGNETITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOAT COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLAC	50
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	350
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340
1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS. 2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE. 3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2004. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.	

TABLE 4.504.5 - FORMALDEHYDE LIMITS: MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION	
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD	0.13
1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12. 2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (9.5 MM).	

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01380).
See California Department of Public Health's website for certification programs and testing labs.
<https://www.cdph.ca.gov/Programs/CCDCDP/DCDC/CEH/BIAQ/Pages/VOC.aspx>

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01380).
See California Department of Public Health's website for certification programs and testing labs.
<https://www.cdph.ca.gov/Programs/CCDCDP/DCDC/CEH/BIAQ/Pages/VOC.aspx>

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.
4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01380).
See California Department of Public Health's website for certification programs and testing labs.
<https://www.cdph.ca.gov/Programs/CCDCDP/DCDC/CEH/BIAQ/Pages/VOC.aspx>

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard (resin-bonded wood products used in the interior or exterior of the building) shall meet the requirements for formaldehyde as specified in APHS Air Toxics Control Measure for Composite Wood (17 COR 93120 et seq.) by or before the dates specified in those orders, as shown in Table 4.504.5.
4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:
1. Product certifications and specifications.
2. Chain of custody certification.
3. Product labeled and marked as meeting the Composite Wood Products regulation (see COR, Title 17, Section 93120, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian Standards 2020 European EN 836 35 standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 025 standards.
5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL
4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.
4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.
4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:
1. A 4-inch (101.6 mm) thick base of 1/2-inch (12.7 mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage and curing, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.
4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:
1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2. Moisture readings shall be taken at a depth of 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.
Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturer's drying recommendations prior to enclosure.
4.506 INDOOR AIR QUALITY AND EXHAUST
4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:
1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 55% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in).
Notes:
1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT
4.507.1 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:
1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculations), ASHRAE Handbook and other equivalent design methods are allowed.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE Handbook and other equivalent design methods are allowed.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.
Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Unlicensed persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractors licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:
1. State certified apprenticeship programs.
2. Public utility training programs.
3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
4. Programs sponsored by manufacturing organizations.
5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:
1. Certification by a national or regional green building program or standard publisher.
2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
3. Successful completion of a third party apprentice training program in the appropriate trade.
4. Other programs acceptable to the enforcing agency.

Notes:
1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).
[HCD] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.
Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS
703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, the method of compliance will be specified in the appropriate section or identified applicable checklist.

APPROVED
05/19/2023
COMMUNITY PLANNING & ZONING

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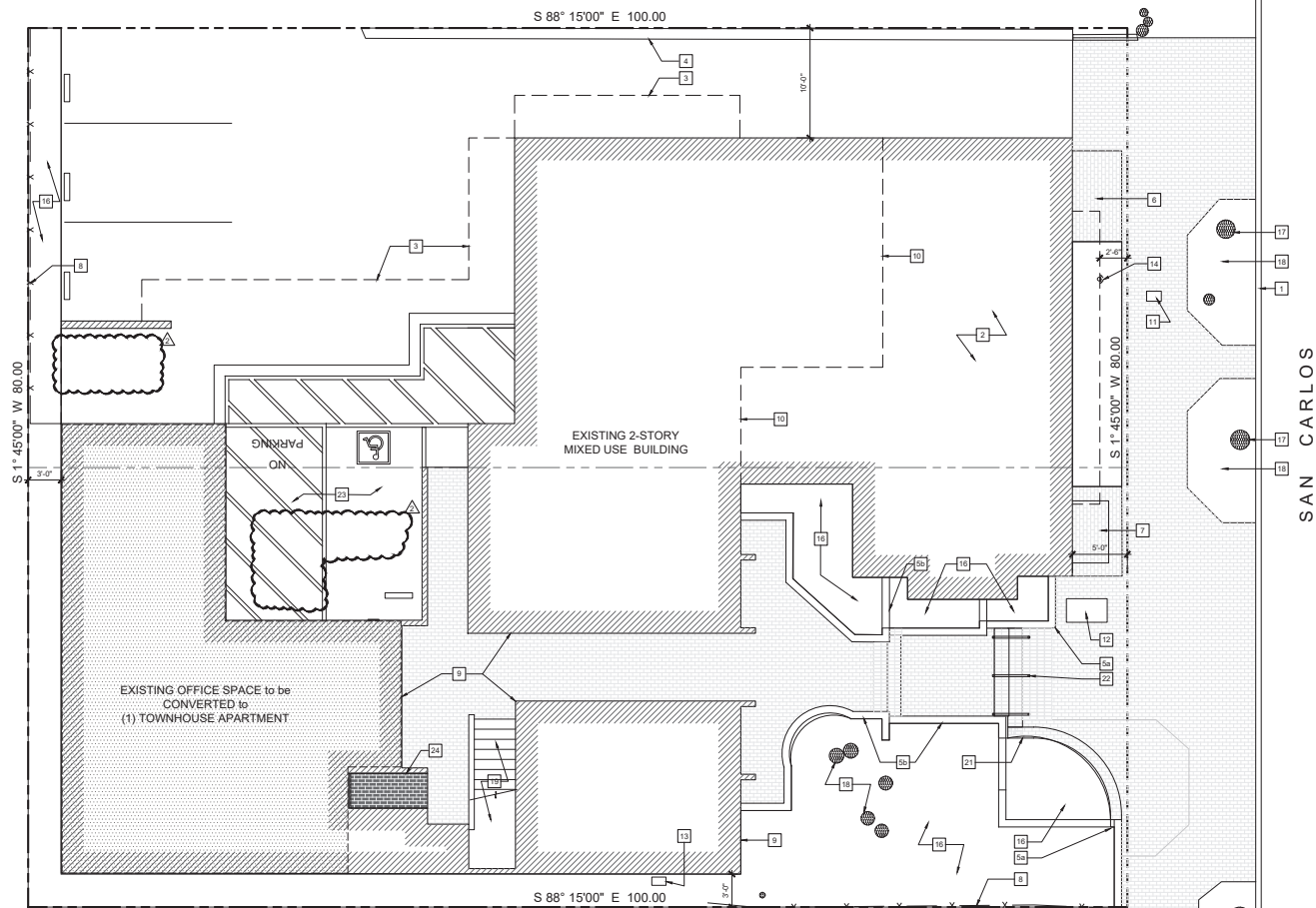
SHEET NAME:

CAL GREEN

SHEET NO.:

G011

FILE NAME: 24110-021



KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 EXISTING FACE OF CURB
- 2 THIS AREA OF THE BUILDING IS ONE-STORY
- 3 LINE OF SECOND FLOOR ABOVE
- 4 EXISTING STONE RETAINING WALL
- 5 EXISTING 3'-0" BRICK PLANTER WALLS (TYP)
- 6 EXISTING 4'-0" BRICK PLANTER WALLS (TYP)
- 7 EXISTING RAMP TO TENANT SPACE
- 8 EXISTING STEPPED STOOP TO TENANT SPACE
- 9 EXISTING WOOD FENCE
- 10 BUILDING ENVELOPE
- 11 LINE OF SECOND FLOOR ENVELOPE ABOVE
- 12 EXISTING WATER METER
- 13 EXISTING UNDERGROUND VAULT FOR ELEC. / TEL SERVICE ENTRANCE
- 14 EXISTING GAS METER
- 15 EXISTING FIRE DEPARTMENT CONNECTION
- 16 EXISTING FIRE RISER
- 17 EXISTING PLANTER AREA
- 18 EXISTING TREE
- 19 EXISTING DECOMPOSED GRANITE PLANTER AREA
- 20 EXISTING EXTERIOR COURTYARD STAIRS TO SECOND FLOOR
- 21 PRESUMED WASTE LINE- VERIFY IN FIELD
- 22 EXISTING 1'-0" x 2'-0" BRICK RETAINING WALL
- 23 EXISTING HANDRAIL
- 24 VAN ACCESSIBLE PARKING STALL - STRIPING & SIGNAGE UNDER SEPARATE PERMIT REFERENCE PERMIT #B22-335
- 25 SHADE INDICATES (E) COVERED AREA (23 S.F.) TO BE ENCLOSED FOR AN ACCESSIBLE RESTROOM SERVING THE COMMERCIAL SPACES. SEE FLOOR PLAN.

LEGEND



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THE USE OF THE NAME AND SPECIFICATIONS OF ANY PRODUCT OR MATERIAL IS NOT A GUARANTEE OF THE QUALITY OF THE PRODUCT OR MATERIAL. THE ARCHITECT IS NOT RESPONSIBLE FOR THE QUALITY OF THE PRODUCT OR MATERIAL. THE ARCHITECT IS NOT RESPONSIBLE FOR THE QUALITY OF THE PRODUCT OR MATERIAL.



APR 15 2025
APPROVED
05/19/2025
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SHEET NAME:

SITE PLAN

SHEET NO.:

FILE NAME: 24110A100

SITE PLAN
SCALE: 3/16" = 1'-0"

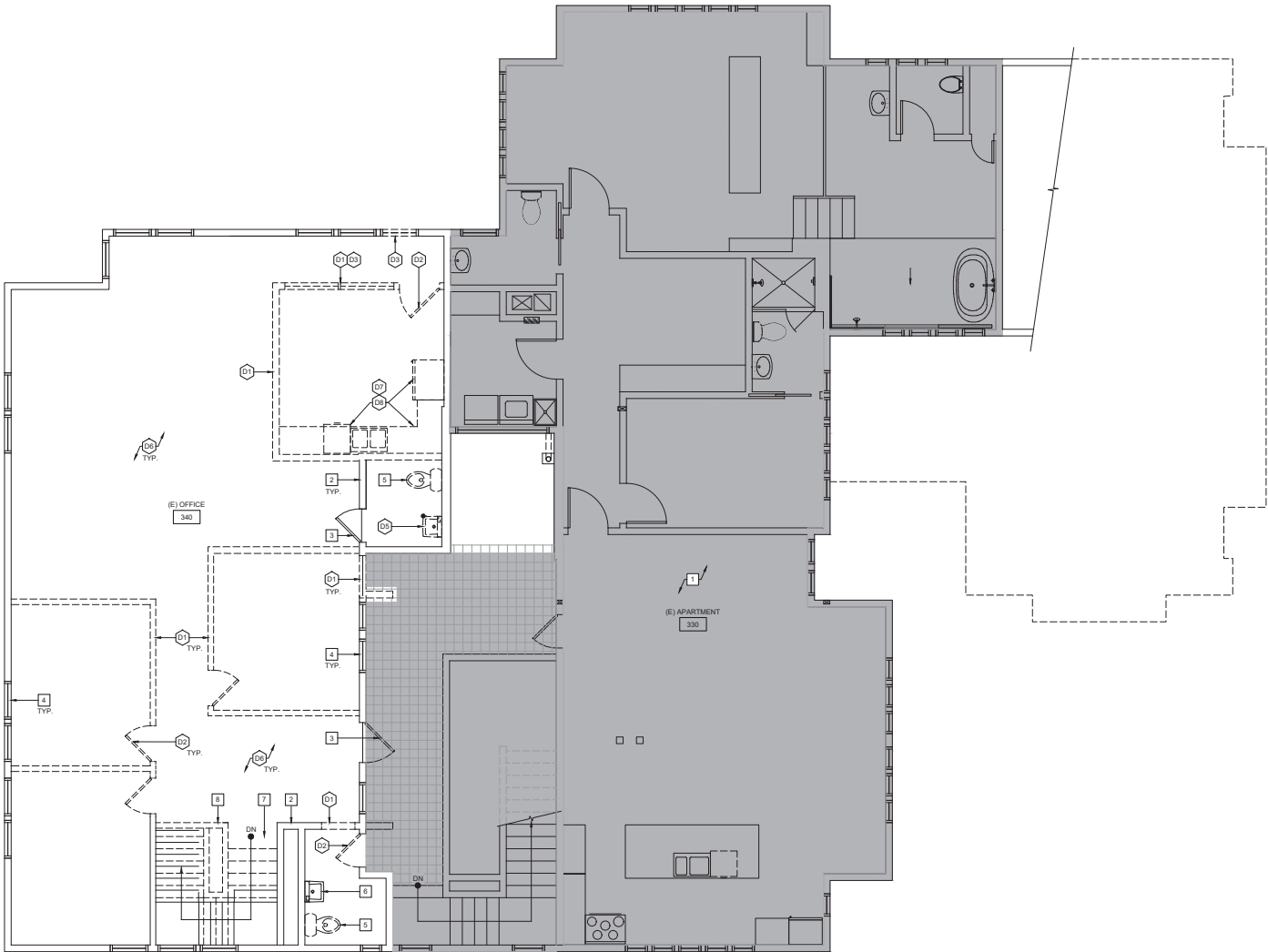




FIRST FLOOR DEMOLITION PLAN

D201

FILE NAME: 24110-D201



**SECOND FLOOR
DEMOLITION PLAN**
SCALE: 1/8"=1'-0"

DEMOLITION NOTES

THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- (D1) REMOVE WALL, OR PORTION OF WALL TO ACCOMMODATE NEW WORK.
- (D2) REMOVE EXISTING DOOR.
- (D3) REMOVE EXISTING WINDOW.
- (D4) REMOVE EXISTING TOILET - CAP PLUMBING AT NEAREST SOURCE.
- (D5) REMOVE EXISTING SINK. CAP PLUMBING AT NEAREST SOURCE.
- (D6) REMOVE ALL EXISTING FLOOR COVERING DOWN TO SUBSTRATE.
- (D7) REMOVE EXISTING KITCHEN APPLIANCES.
- (D8) REMOVE EXISTING KITCHEN CASEWORK ENTIRELY.

SHEET NOTES

THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 SHADED BUILDING AREAS NOT IN SCOPE OF WORK.
- 2 EXISTING WALL, OR PORTION OF WALL TO REMAIN.
- 3 EXISTING DOOR TO REMAIN.
- 4 EXISTING WINDOW TO REMAIN.
- 5 (NOT USED)
- 6 EXISTING SINK TO REMAIN.
- 7 EXISTING STAIRWAY AND HANDRAILS TO REMAIN.
- 8 EXISTING LOW WALL TO REMAIN.

DEMOLITION GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING. ALL ELEMENTS SHOWN TO REMAIN ARE TO BE DEMOLISHED PER ARCHITECT'S APPROVAL.
- CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED TO THE ITEMS TO REMAIN.
- CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED BY ARCHITECT'S APPROVAL.
- PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION/CONSTRUCTION AREA. KEEP AREA CLEAN.
- AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
- THE ELECTRICAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHT AND POWER IN THE SPACE DURING CONSTRUCTION, INCLUDING PROVISIONS FOR EMERGENCY LIGHTING.
- REMOVE ALL EXISTING CARPET, TILE, VCT AND SHEET VINYL, WHERE OCCURS, U.O.N. REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSE RIDGES OR DEPRESSIONS IN FLOORING SURFACE, SUCH AS FASTENERS, OUTLET CORES, COVER PLATES, CARPET PADS, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.
- DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.
- ALL DOORS, FRAMES, HARDWARE, MECHANICAL ITEMS, PLUMBING FIXTURES, LIGHT FIXTURES (INCLUDING FIXTURES & FLUORESCENTS), AND SPECIAL EQUIPMENT TO BE DEMOLISHED EXCEPT AS SPECIFICALLY EXCLUDED BECOMES PROPERTY OF THE CONTRACTOR AND SHOULD BE REMOVED FROM THE PREMISES.
- GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.
- PATCH AND REPAIR WALL SURFACES TO REMAIN TO MATCH SCHEDULE FINISHES AFTER COMPLETION OF DEMOLITION WORK AND INSTALLATION OF NEW PARTITIONS AND/OR NEW DOORS AND WINDOWS.
- AT ALL WALLS TO REMAIN, REFER TO DRAWINGS FOR TREATMENT OF EXISTING SURFACES OTHER THAN PAINT. PATCH AND FILL WALLS, PREP FOR NEW FINISH.
- CONTRACTOR SHALL LEGALLY DISPOSE OF ANY MATERIAL SCHEDULED FOR DEMOLITION.

LEGEND

- EXISTING 3x STUD WALL.
- EXISTING WALL TO BE REMOVED
- EXISTING WINDOW.
- EXISTING WINDOW TO BE REMOVED
- EXISTING DOOR.
- EXISTING DOOR TO BE REMOVED

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SHEET NAME:
**SECOND FLOOR
DEMOLITION
PLAN**

SHEET NO.:
D202

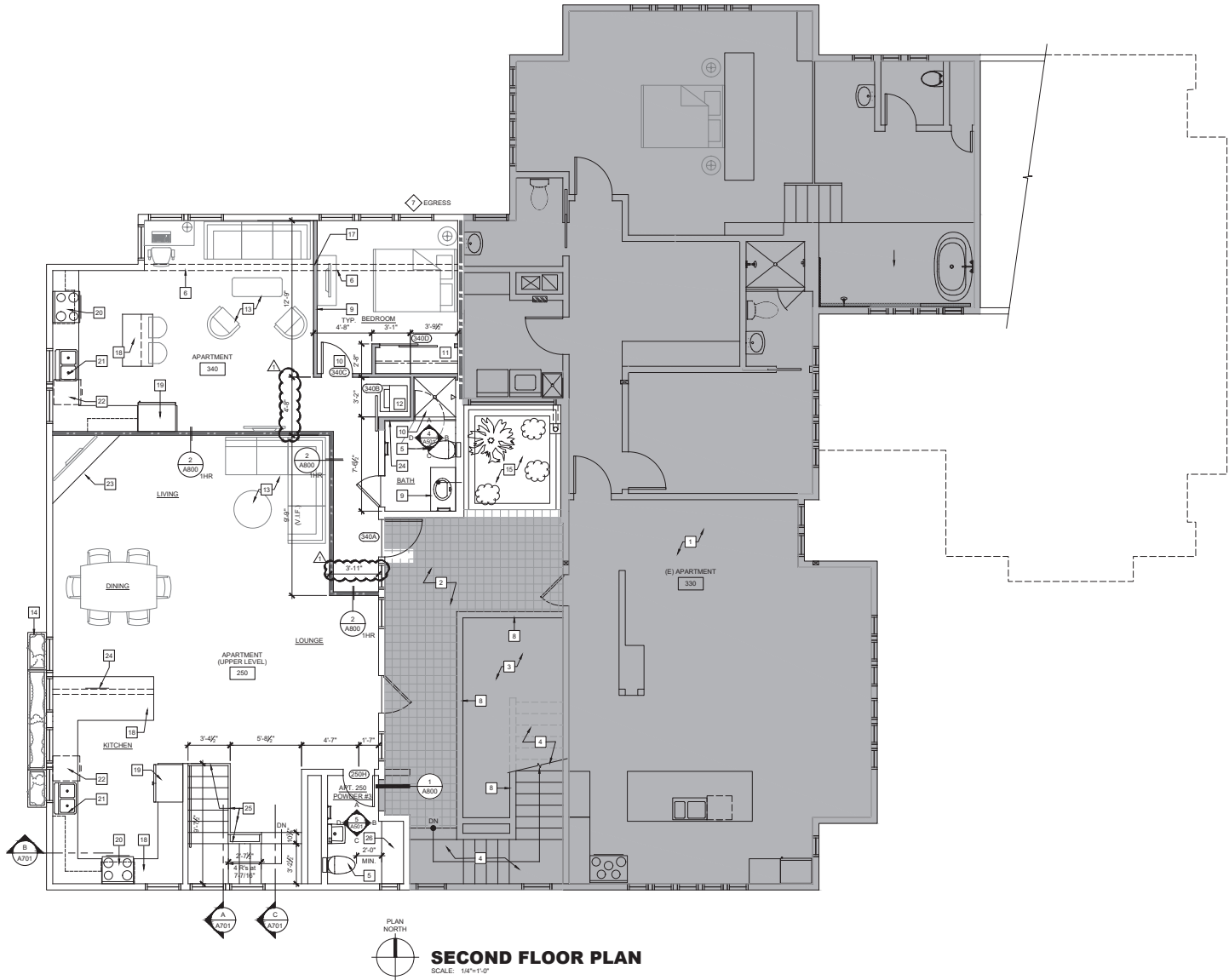
FILE NAME: 24110.D202



FIRST FLOOR PLAN

A201

FILE NAME: 24110-A201



KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

1 SHADED BUILDING AREAS NOT IN SCOPE OF WORK.

2 EXISTING OUTDOOR PATIO.

3 EXISTING AREA OPEN TO FLOOR BELOW.

4 EXISTING OUTDOOR STAIR AND HANDRAILS.

5 NEW DURAVIT IN-WALL TANK & CARRIER STANDARD w/ WALL HUNG DURAVIT TOILET, 1.28 GPF.

6 EXISTING BEAM ABOVE.

7 EXISTING STAIR MAX 7 1/2" RISER & 10" MIN TREAD, AND HANDRAILS @ 34" ABOVE STAIR NOSING.

8 42" HIGH EXISTING PARTIAL HEIGHT WALL.

9 NEW SINK & BATH VANITY.

10 NEW SHOWER w/ TILED FLOOR, CURB & SURROUNDING WALLS TO MIN. 72" ABOVE DRAIN-SEE A-800.

11 NEW CLOSET SHELF AND POLE.

12 NEW STACKABLE WASHER / DRYER. PROVIDE RECESSED WASHER BOX & RECESSED VENT BOX. VENT THROUGH THE ROOF.

13 FURNISHINGS SHOWN FOR GRAPHIC PRESENTATION ONLY, PROVIDED BY TENANT.

14 NEW PLANTER BOX AND DECORATIVE SUPPORT BRACKETS.

15 NEW GARDEN BOX.

16 EMERGENCY ESCAPE & EGRESS WINDOW.

17 NEW 4x4 POST w/ PC & BCO O/ NEW 4x6 SQUASH BLOCK TO (E) GLB BELOW.

18 NEW KITCHEN BASE CABINETS & UPPERS, COUNTERS AND BACKSPLASH.

19 NEW REFRIGERATOR & ICE DISPENSER.

20 NEW ELECTRIC RANGE w/ 300 CFM EXHAUST HOOD ABOVE.

21 NEW KITCHEN SINK & FAUCET w/ GARAGE DISPOSAL.

22 NEW DISHWASHER.

23 NEW ELECTRIC FIREPLACE APPLIANCE DISPLAY CABINET, UL LISTED.

24 NEW RADIANT HEAT MANFOLD STEALTH ACCESS DOOR BY WIND-LOCK.

25 NEW METAL or TEMP/G GLASS RAILING AT 42" ABOVE STAIR NOSING.

26 VANITY CABINET w/ DRAWERS AND DOORS, SOLID SURFACE COUNTER.

LEGEND

EXISTING 2x STUD WALL.

NEW WALL- 2x STUDS at 16" O.C.

1-HR RATED WALL ASSEMBLY

EXISTING WINDOW

NEW WINDOW- SEE WINDOW SCHEDULE

EXISTING DOOR

NEW DOOR - SEE SCHEDULE

APPROVED

05/19/2025

COMMUNITY PLANNING & DEVELOPMENT

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SECOND FLOOR PLAN


SHEET NO.: A202


FILE NAME: 24110A202


WINDOW			SIZE		GLASS TYPE	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	NOTES
TAG	TYPE	GLAZING	WIDTH	HEIGHT					
		SINGLE							
1	A		3'-4"	1'-3"					OBSCURE GLASS
2	A		3'-4"	1'-3"					OBSCURE GLASS
3	B		2'-10"	4'-0"					V.I.F. (E) OPENG. EGRESS
4	B		2'-10"	4'-0"					V.I.F. (E) OPENG. EGRESS
5	B		2'-10"	4'-0"					V.I.F. (E) OPENG. EGRESS
									
7	B		2'-9"	4'-6"					V.I.F. (E) OPENG. EGRESS

WINDOW TYPES




QUARTZ LUXURY
CITYLINE C600
ALUMINUM, DARK
BRONZE, SQUARE




QUARTZ LUXURY
CITYLINE C600
ALUMINUM, DARK
BRONZE, SQUARE

WINDOW NOTES

1. NEW WINDOW TYPES SHALL MATCH THE EXISTING CONDITION WHERE APPLICABLE.

2. ALL HARDWARE, FRAME FINISH AND COMPANION HARDWARE SHALL MATCH THE EXISTING CONDITION WHERE APPLICABLE.

3. CONTRACTOR IS RESPONSIBLE FOR REVIEWING FLOOR PLAN AND INTERIOR / EXTERIOR ELEVATIONS FOR VERIFICATION OF QUANTITY AND LOCATIONS OF WINDOW TYPES.

4. DIRECTION OF WINDOW OPERATION SHOWN ON INTERIOR / EXTERIOR ELEVATIONS BY ARROW FOR SLIDING WINDOW AND DASHED LINE FOR SWINGING WINDOW.

5. WINDOW SIZES ARE APPROXIMATE AND MAY BE ALTERED SLIGHTLY TO MEET MANUFACTURED STANDARD SIZES.

6. ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE APPROVED SAFETY GLASS AND COMPLY W/SECTION 2406 OF THE CURRENT EDITION OF THE U.B.C. ALL GLAZING SHALL BE SAFETY GLASS WHEN LOCATED WITHIN 60" OF THE WALKING SURFACE OR WITHIN 24" HORIZONTAL DISTANCE FROM ANY DOOR. A CERTIFICATE MUST ACCOMPANY ALL GLAZING PRODUCTS STATING THAT THE PRODUCTS CONFORM WITH APPLICABLE CONSUMER PRODUCT SAFETY STANDARDS.

7. ALL ROUGH OPENING DIMENSIONS WILL BE FIELD VERIFIED. WINDOW FRAME AND GLAZING SHALL MATCH THE EXISTING CONDITION WHERE APPLICABLE.

8. ALL HARDWARE, FRAME FINISH, AND COMPANION HARDWARE SHALL MATCH THE EXISTING CONDITION.

9. ALL HOLLOW METAL WINDOW FRAMES SHALL HAVE WELDED CORNERS, GROUND SMOOTH, WITH REINFORCED CORNERS AND HINGE LOCATIONS.

DOOR NOTES

ALL SWINGING DOORS TO ACCESSIBLE SPACES SHALL COMPLY w/ THE FOLLOWING (UN.O.):

1. MINIMUM 3'-0" x 6'4" MINIMUM U.N.O. DOOR HEIGHTS SHALL MATCH EXISTING CONDITION WHERE APPLICABLE.
2. BOTTOM 1"0" SHALL BE A SMOOTH, SOLID SURFACE AT THE BOTTOM.
3. BE OPERABLE FROM THE INSIDE WITHOUT SPECIAL KNOWLEDGE OR EFFORT
4. THRESHOLD CHANGE IN HEIGHT BETWEEN FLOOR SURFACES ON EITHER SIDE NOT EXCEED 1/2" AND COMPLY WITH CBC SECTION 11B-402.2.5
5. LEVER TYPE LATCHSET AND LOCKSET HANDLES SHALL COMPLY WITH TYPE 24 ACCESSIBILITY REQUIREMENTS.
6. PREVENT TO OPERATE EXTERIOR AND INTERIOR DOORS SHALL NOT EXCEED 50 lbs., AND FIRE RATED DOORS SHALL NOT EXCEED 150lbs., PER CBC SECTION 11B-402.2.1. ALL DOORS SHALL BE ADJUSTED TO MEET THIS REQUIREMENT.
7. PROVIDE ACCESSIBLE HARDWARE THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
8. ALL EXTERIOR DOORS TO HAVE TOP CLOSER STRIP, U.N.O.
9. AUTOMATIC FLUSH BOLTS ARE ALLOWED ONLY ON PAIRS OF DOORS WHERE THE DOOR WITH THE BOLT HAS NO KNOBS OR SURFACE MOUNTED HARDWARE C.B.C., SECTION 103.0.3.1.1.8
10. ALL HOLLOW METAL DOOR FRAMES SHALL HAVE WELDED CORNERS, GROUND SMOOTH, WITH REINFORCED CORNERS AND HINGE LOCATIONS.
11. THE FORMALDEHYDE EMISSION LEVEL OF ALL NEW DOORS SHALL NOT EXCEED 20 ppb.
12. ALL INTERIOR ENTRY DOORS TO UNITS SHALL BE OF MINIMUM DIMENSIONS 3'-0"x6'-11 1/2" THICK, FLUSH SOLID CORE WOOD. DOORS WITH KEYPAD LOCKS, FACE VENEER SHALL BE ROTARY CUT BOOK-MATCHED PINEM BIRCH, MAPLE OR OAK SUITABLE FOR STAINED OR NATURAL, TRANSPARENT FINISH. ALL DOUBLE DOORS TO BE "BOOK MATCHED".
13. FIRE RATED DOORS AND FRAME ASSEMBLIES SHALL BE INSTALLED WHERE NOTED OR AS REQUIRED BY CODE. DOORS AND FRAME ASSEMBLIES SHALL BEAR UNDERWRITERS LABORATORY (U.L.) LABEL FOR REQUIRED FIRE RESISTIVE RATING. MODIFICATION OF LABELED ASSEMBLIES.
14. DOORS SEPARATING CONDITIONED AND UNCONDITIONED SPACE SHALL BE WEATHER STRIPPED OR GASKETED TO EFFECTIVELY AND RELIABLY LIMIT AIR INFILTRATION. ADHESIVE FOAM-TYPE OR FELT WEATHER STRIPPING IS NOT ACCEPTABLE.
15. MOUNTING HEIGHT OF LATCHING HARDWARE/HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 34" TO 44" A.F.F. PER CBC SECTION 11B-402.2.7
16. FURNISH AND INSTALL ALL HARDWARE AS REQUIRED FOR A COMPLETE ASSEMBLY. THE WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, LATCHES, LATCHES, DOOR BUTTS WITH SELF-ADHESIVE PINS ON OUT SWINGING EXTERIOR DOORS, BOLTS WHERE INDICATED ON PLANS, THE WORK INCLUDES METAL, METAL KICK PLATES, METAL PUSH PLATES, SINGLE OR DOUBLE ACTING SELF-CLOSING GATEWAY OPERATED GATE HINGES.
17. MINIMUM STC 35 RATING FOR ALL EXTERIOR DOORS.
18. ALL FIRE RATED EX DOORS SHALL BE SELF- OR AUTOMATIC CLOSING IN ACCORDANCE WITH CBC SECTION 716.5.9. SEE DOOR AND HARDWARE SCHEDULES THIS SHEET FOR MORE INFORMATION.

DOOR HARDWARE NOTES

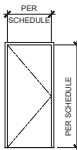
1. **FINISH:** SHALL BE USED, (620 ON BRASS OR BRONZE BASE METAL, 652 ON STEEL, BASE METAL AND 630 FOR STAINLESS STEEL MATERIAL).
2. **HINGES:** SIZE TO BE 4" x 5 1/4" UNLESS OTHERWISE INDICATED. WIDTH OF HINGE SHALL BE SUFFICIENT TO CLEAR FRAME AND TRIM WHEN DOORS SWING 180 DEGREE. PROVIDE NON-REMOVABLE PINS (NRP) AT EXTERIOR OUT-SWING DOORS. PROVIDE QUANTITY OF HINGES PER SET AS FOLLOWS
3. **LOCKS:** SHALL AS MANUFACTURED BY SCHAFFER LOCK. SERIES AND DESIGN AS LISTED IN HARDWARE SCHEDULE.
4. **CLOSERS:** SHALL BE AS MANUFACTURED BY LCN OF PINDA (LXN) LINEAL. CLOSER CRYMBA BODIES SHALL BE OF CAST IRON CONSTRUCTION. PROVIDE EXTRA UTU ARMIS (EDU) AT ALL PARALLEL CLOSER APPLICATIONS. CLOSERS FOR FIRE-RATED DOORS SHALL HAVE A TEMPERATURE STABILIZING FLUID THAT COMPLIES WITH CBC 7-2 (2022) AND UL10C. CLOSERS SHALL BE POWDER COATED TO MATCH RMA 686. CLOSERS TO BE INSTALLED WITH S2X OR THROUGH BOLTS. CLOSERS SHALL OPERATE WITH A MAXIMUM FORCE OF 5.0 LBS. AND NOT IN EXCESS OF 15 LBS. FOR DOORS WITH INSTALLED CLOSERS ON ROOM SIDE BUILDINGS, DO NOT INSTALL CLOSERS ON EXTERIOR SIDE OF BUILDINGS OR IN HALLWAYS OR CORRIDORS IF AT ALL POSSIBLE.
5. **THRESHOLDS:** THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT.
6. **GASKETING:** PROVIDE FIRE OR DRAFT GASKETING AS APPROVED BY THE SELECTED DOOR MANUFACTURERS APPROVALS AND INSTALLATIONS INSTRUCTIONS FOR "POSITIVE PRESSURE" TESTING DOOR MANUFACTURERS
7. **INSTALLATION:** ALL OPERATING HARDWARE SHALL BE INSTALLED BETWEEN 30" AND 44" AFF.

MANUFACTURER'S SYMBOL

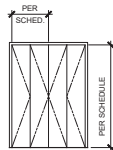
ACC-ACCURATE DOOR & HARDWARE V.E. - VINS LYN - LYN SCE-SCHAFFER ELECTRONICS SCHER-RAJAGE LOCK COMPANY V - VON DUPRIN ZER-ZERO INTERNATIONAL	NARROW STILE LOCK CASES OVERHEAD DOOR STOPS HINGES - PIVOTS, BOLTS PUSH PULL & KICK PLATES, DOOR STOPS & SLENCERS DOOR CLOSERS ELECTRONIC DOOR COMPONENTS LOCKS EXIT DEVICES THRESHOLD, GASKETING & WEATHER-STRIPPING
---	---

NUMBER		DOOR			SIZE			DETAIL REFERENCE				FRAME ASSEMBLY	HARDWARE GROUP	GLASS TYPE	NOTES
		TYPE	PAINT	FINISH	WIDTH	HEIGHT	THK	REFER TO SHT.							
								HEAD	JAMB	THRESH	TRANS				
240	A				3'-0"	7'-0"	1-3/4"					WD			
241	A	●			2'-6"	6'-6"	1-3/8"					WD			
250A	A	●			2'-6"	6'-6"	1-3/8"					WD			
250B	B				PR. 3'-0"	6'-6"	1-3/8"					WD			BI-FOLD
250C	A	●			2'-6"	6'-6"	1-3/8"					WD			
250D	A	●			2'-6"	6'-6"	1-3/8"					WD			
250E	A	●			PR. 3'-0"	6'-6"	1-3/8"					WD			BI-PASS
250F	A	●			PR. 3'-0"	6'-6"	1-3/8"					WD			BI-PASS
250G	C	●			PR. 3'-0"	6'-6"	1-3/8"					WD			BI-PASS
250H	A	●			2'-6"	6'-6"	1-3/8"					WD			
340A	A	●			3'-0"	7'-0"	1-3/4"					WD			
340B	D	●			3'-0"	6'-6"	1-3/8"					WD			BARN DOOR
340C	A	●			2'-6"	6'-6"	1-3/8"					WD			
340D	C	●			PR. 3'-0"	6'-6"	1-3/8"					WD			BI-PASS

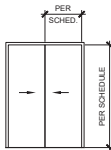
DOOR TYPES



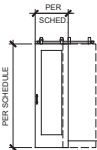
A. S.C. WD. DOOR



B. PR. S.C. WOOD
BI-FOLDED DOOR



C. DBL. S.C. WOOD
BI-PASS DOOR



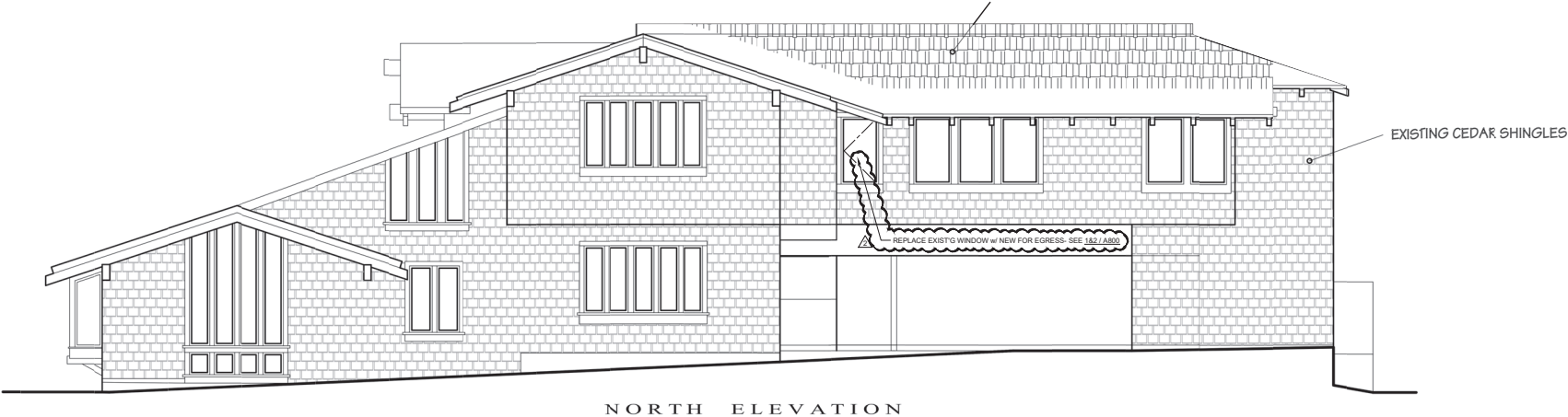
D. SGL. OVERHEAD S.C.
WOOD SLIDING DOOR

APP

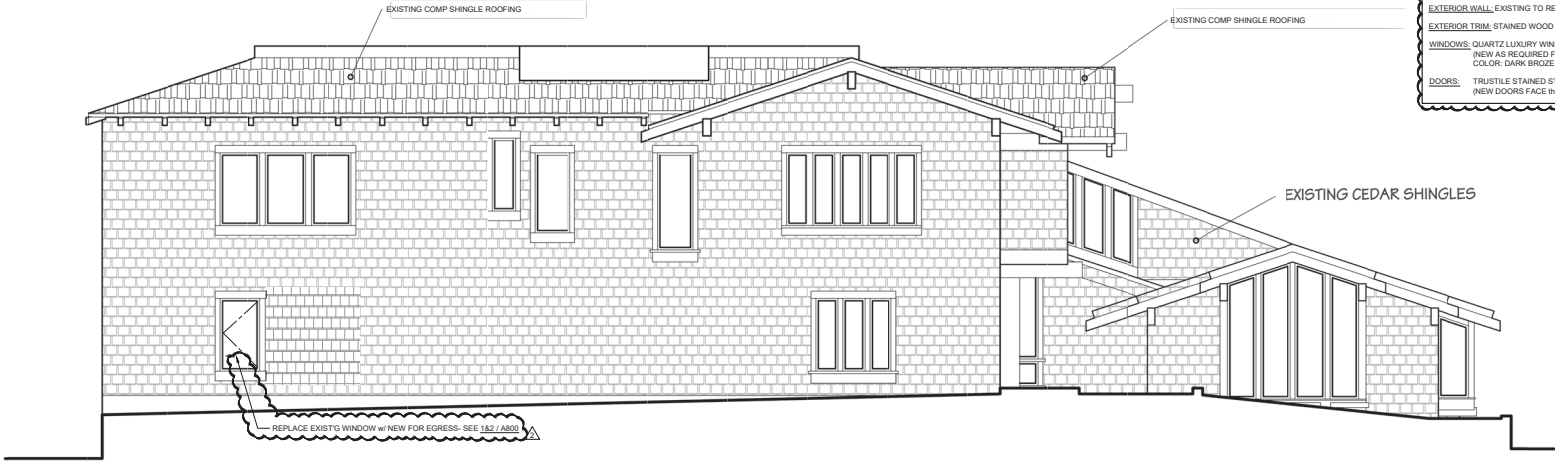
05
COMMUNITY F

Approved by:

[illegible]



NORTH ELEVATION



SOUTH ELEVATION

EXTERIOR FINISH & MATERIALS

- ROOF: EXISTG TO REMAIN; ASPHALT COMP SHINGLES & SINGLE PLY w/ MECH. WELL
- GUTTERS: EXISTING TO REMAIN; PAINTED ALUMINUM
- DOWNSPOUTS: EXISTING TO REMAIN; PAINTED ALUMINUM
- EXTERIOR WALL: EXISTING TO REMAIN; STAINED #1 CEDAR SHINGLES, 16"
- EXTERIOR TRIM: STAINED WOOD TRIM
- WINDOWS: QUARTZ LUXURY WINDOW; CITYLINE C600 ALUMINUM (TO MATCH EXISTG) (NEW AS REQUIRED FOR EGRESS, SEE FLOOR PLAN) COLOR: DARK BROZE
- DOORS: TRUSTILE STAINED STILE & RAIL WOOD (STAIN TO MATCH EXISTG) (NEW DOORS FACE THE COURTYARD)

APPROVED
05/19/2024
COMMUNITY PLANNING & BUILDING
Approved by: Evelyn L. Ramirez, Planner

60

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SAN CARLOS 2 NW and 100 STREET
CARMEL, CA 93921

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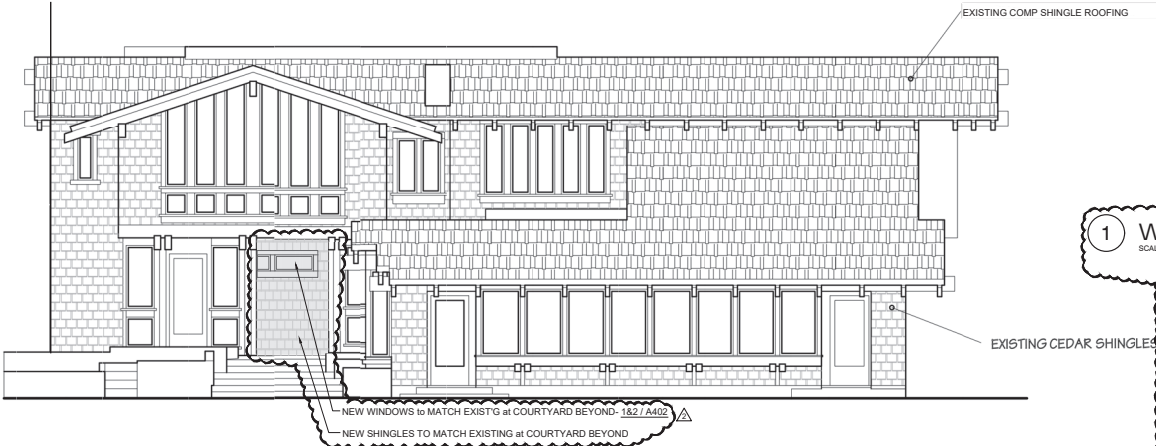
12/13/2024 Planning Submittal
12/16/2024 Building Submittal
1/31/2025 Planning Response
4/23/2025 Planning Response

SHEET NAME:
EXISTING
EXTERIOR
ELEVATIONS

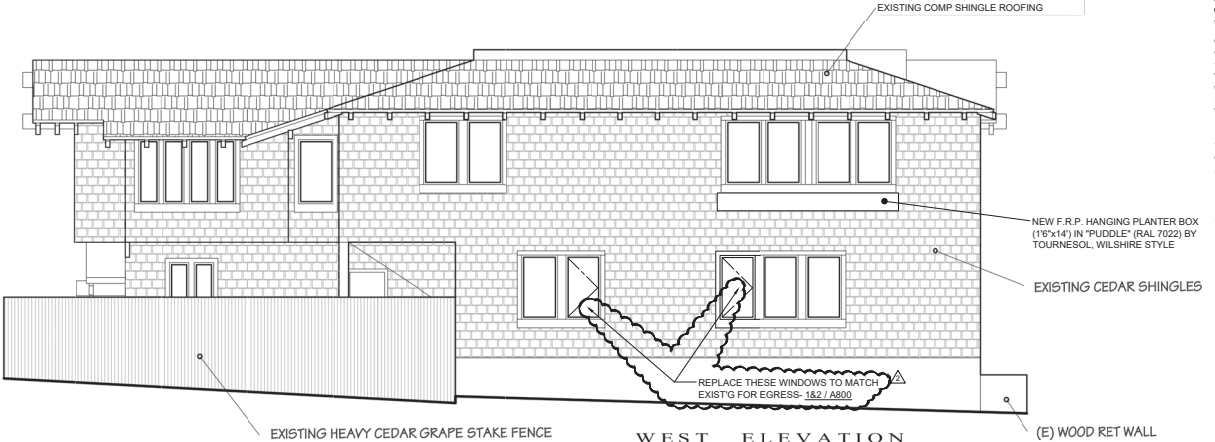
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A401

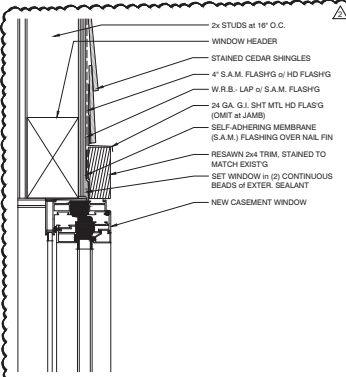
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EAST ELEVATION

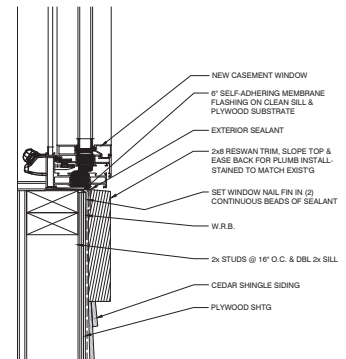


WEST ELEVATION



1 WINDOW HEAD (JAMB SIM.)
SCALE: 3\"/>

EXTERIOR FINISH & MATERIALS	
ROOF:	EXIST'G TO REMAIN; ASPHALT COMP SHINGLES & SINGLE PLY at MECH. WELL.
GUTTERS:	EXISTING TO REMAIN; PAINTED ALUMINUM
DOWNSPOUTS:	EXISTING TO REMAIN; PAINTED ALUMINUM
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DOORS:	TRUSTLE STAINED STILE & RAIL WOOD (STAIN TO MATCH EXIST'G) (NEW DOORS FACE the COURTYARD)



2 WINDOW SILL
SCALE: 3\"/>

60

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APPROVED ARCHITECT
NO. 051466
REN. 1/1/25
STATE OF CALIFORNIA

APN: 010-145-021

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TENANT IMPROVEMENT

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24110

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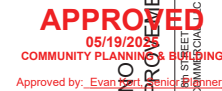
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2.10.2024 Building Submittal
3.1.2025 Planning Response
4.23.2025 Planning Response

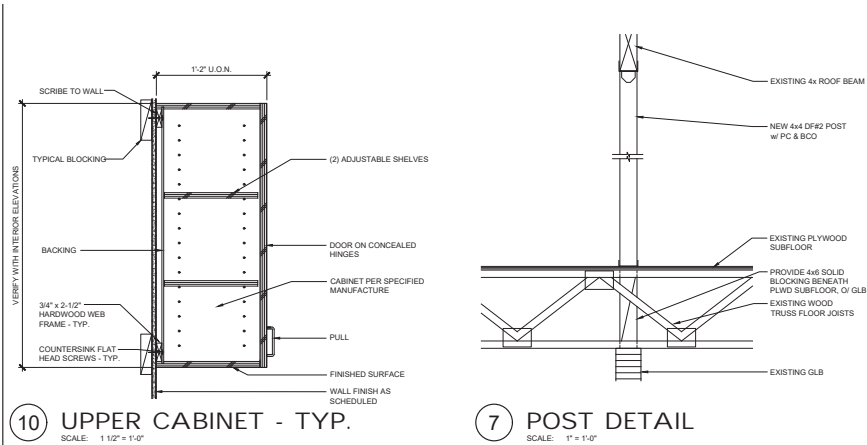
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EXTERIOR ELEVATIONS

SHEET NO.:
A402

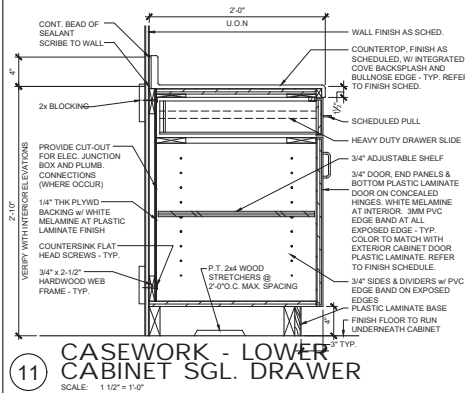
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24110-A402



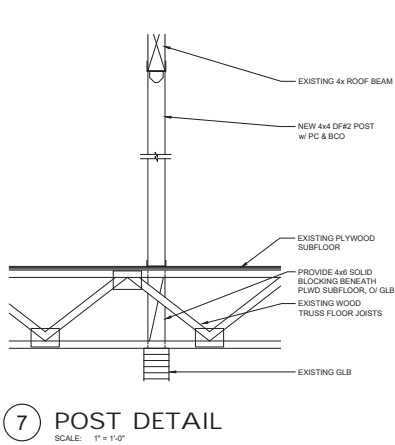
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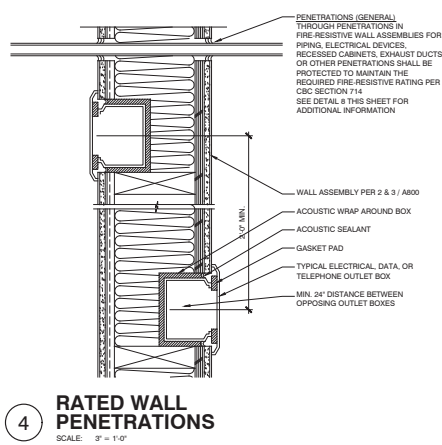
10 UPPER CABINET - TYP.
SCALE: 1 1/2" = 1'-0"



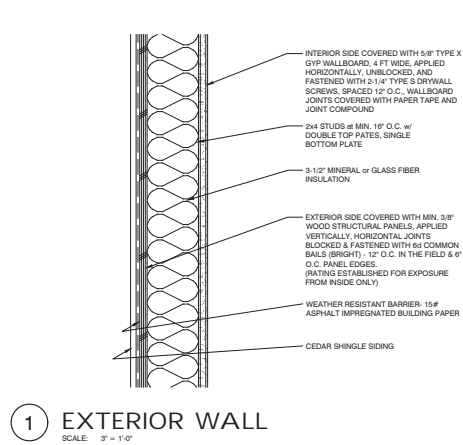
11 CASEWORK - LOWER CABINET SGL. DRAWER
SCALE: 1 1/2" = 1'-0"



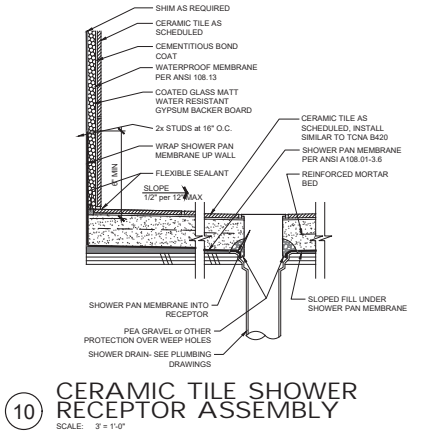
7 POST DETAIL
SCALE: 1" = 1'-0"



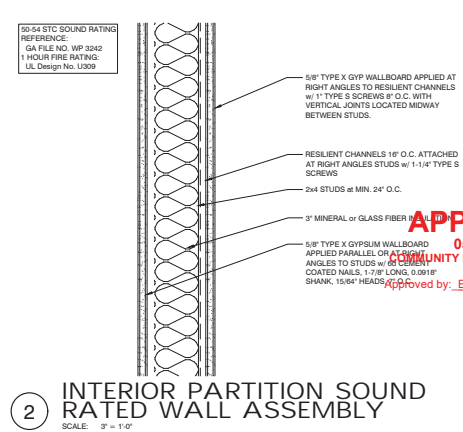
4 RATED WALL PENETRATIONS
SCALE: 3" = 1'-0"



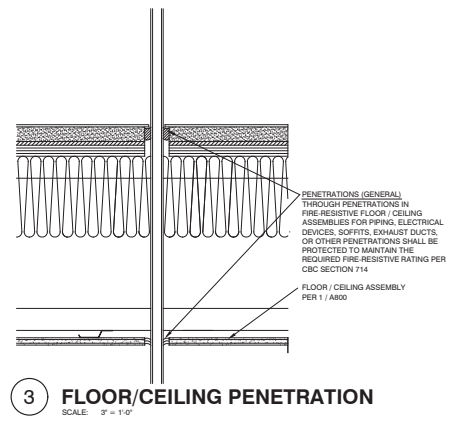
1 EXTERIOR WALL
SCALE: 3" = 1'-0"



10 CERAMIC TILE SHOWER RECEPTOR ASSEMBLY
SCALE: 3" = 1'-0"



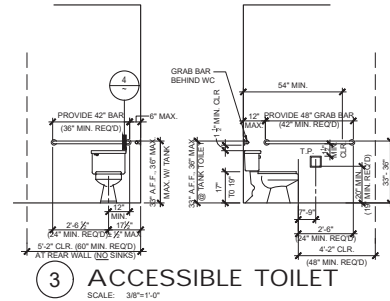
2 INTERIOR PARTITION SOUND RATED WALL ASSEMBLY
SCALE: 3" = 1'-0"



3 FLOOR/CEILING PENETRATION
SCALE: 3" = 1'-0"



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1/31/2025 Planning Response	
2/23/2025 Planning Response	
SHEET NAME:	
DETAILS	
SHEET NO.:	A800
FILE NAME:	24110A800



1/2" CLR.

PROVIDE CONCEALED ANCHOR PLATE @ METAL STUD CONDITION

(4) #12 W.D. SCREWS W/ 1" MIN. PENETRATION IN TO BL.

1 1/2" TO 1 1/2" O.D. CROSS BAR

2x BLKG. @ WD.

1 1/2" TO 1 1/2" O.D. CROSS BAR

TANK STYLE TOILET, WHERE OCCURS (SHOWN DASHED)

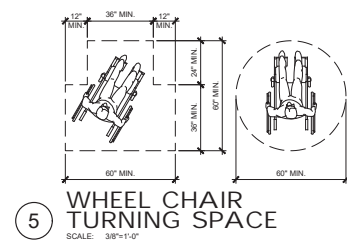
WOOD OR METAL STUD WALL FRAMING

MIN. 1/2" CLEAR

33" MAX H.F.F. (SEE DETAIL BELOW)

4 GRAB BAR

SCALE: 6" = 1'-0"



6 DOOR CLEARANCES
SCALE: 1/4"=1'-0"

A.1. Dimensions and clearances within restrooms areas shown on details are to be measured from finished surfaces.

2. Doorways leading to men's sanitary facilities shall be identified by an equalizing triangle 1/8" thick with edges 12" long and a vertex pointing toward the men's sanitary facilities.
3. Unisex sanitary facilities shall be identified by a circle 1/8" thick, 12" diameter, with a 5/8" triangle superimposed within the circle.
4. Where a tactile sign is provided at a door, the sign shall be located alongside the door at the latch side. Where a tactile sign is provided at a door, the sign shall be located on the wall outside the door, 18" above the door, and 18" outside the door. Where a tactile sign is provided at double doors with two active lifts, the sign shall be located to the right of the right hand door. Where there is no tactile sign, the sign shall be located to the right of the right hand door, 18" above the door, and 18" outside the door.
5. Signs containing tactile characters shall be located so that a clear floor space of 18" min. by 18" min. is maintained on the tactile side of the sign. The sign shall be located so that the tactile characters are 18" above the finish floor or ground surface, measured from the baseline of the lowest tactile character.
6. There shall be sufficient space in the toilet room for a wheelchair measuring 30" wide by 48" long to enter the room and permit the door to be opened.
7. There shall be a sign in the room a clear floor space of at least 60" diameter, or a T-shaped space. No door shall encroach into the room for more than 12".
8. All lavatories shall be located in a space 60" floor to the clear wall. The space shall provide a minimum of 17" and a maximum of 18" from the center of the water closet to the adjacent wall. A minimum 48"x60" clear floor space shall be provided in front of the lavatory. The minimum clear floor space shall be 60" wide by 60" deep. No fixture (including sinks) shall obstruct this clear floor space at the water closet.
9. In all other dwelling units, toilet rooms, floors shall have a smooth, hard, non-absorbent surface such as Portland cement, concrete or terrazzo. The floor shall be finished with a smooth, hard, non-absorbent surface. Walls within the fixtures. Walls within the fixtures shall be primarily finished to a height of 48" above the floor.

FIXTURE FACILITY FIXTURES & ACCESSORIES

1. A minimum of 30"x60" clear space is provided in front of lavatory allowing forward approach.
2. Lavatory fixtures are lever type, push type or electronic control mechanism valves that are operable with one hand and do not require grasping, pinching or twisting of the wrist. Self-closing valves shall maintain a minimum of 10 second open time and 5/8" minimum force required to activate controls.
3. A minimum of 30"x60" clear space is provided with a minimum distance of 18" to the center line of the fixture.
4. All lavatory and vertical access to a wall shall be accessible. Access shall be mounted with the trim on counter edge no higher than 34" above the finished floor and perpendicular measured from the bottom of the apron or outside bottom edge of the lavatory of 20" reducing to 18" from the back to front of the lavatory. Toe clearance under lavatory is under 9" high, 30" wide and extends a maximum of 15" in depth from the front of the lavatory.
5. All piping under lavatories shall be configured, insulated or otherwise covered to prevent contact. There shall be no sharp or protruding edges.
6. Controls for water closet flush valves shall be mounted on the wide side of toilet areas and shall require 5.5" maximum pressure to operate.
7. Water closet and urinal flush valves controls and faucets and operating mechanism controls, shall be operable with one hand, shall not require tight grasping, pinching, or twisting of the wrist, and shall be no higher than more than 44" above the floor.
8. Mirrors shall be mounted on the bottom of the reflective surface no higher than 40" from the finished floor elevation.
9. All lavatory and urinal room mirrors shall be mounted on the wall outside the room. Mirrors shall be provided, at least one of each type shall be located wall to operable parts, including coin slots, within 40" from the finished floor.
10. Toilet tissue dispensers that control delivery or that do not permit continuous paper flow shall not be used. Dispensers is to be located 18" above the finished floor. The toilet tissue dispenser shall be located 18" above the finished floor to center of the dispenser.
11. The top of the grab bar 17" to 18" from floor surface and parallel to the top of a maximum 2" high wall seat.

GRAB BARS

1. Grab bars shall be located on each side, or on one side and the back of the accessible toilet stall or compartment.
2. Grab bars at the side shall be at the front end positioned 24" in front of the water closet stool and with the back end positioned no more than 12" from the rear wall.
3. Grab bars shall be secured at 33" above and parallel to the floor, except that where a turn-pipe toilet unit used which obstructs placement at 33", the grab bar may be as high as 36".
4. The diameter or width of the gripping surfaces of a grab bar shall be 1 1/4" to 1 1/2" or the grab bar shall provide an equivalent gripping surface with adjustable diameter.
5. No protruding objects shall be mounted 12" above the grab bar or 12" below the grab bar.



1. MINIMUM 5'x5' DECAL TO BE LOCATED AT EACH PRIMARY PUBLIC ENTRANCE AND AT EVERY MAJOR EXTERIOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL.
2. MINIMUM 36"x36" PAINTED SYMBOL ON PAVEMENT SHALL BE LOCATED IN STALL SO THAT IT IS VISIBLE BY A TRAFFIC ENFORCEMENT OFFICER WHEN A VEHICLE IS PROPERLY PARKED IN THE SPACE. (CENTERED AT STALL ENTRANCE RECOMMENDED)
3. BACKGROUND TO BE BLUE, WHEELCHAIR SYMBOL TO BE WHITE (TYPICAL).

ACCESSIBILITY SYMBOL

SCALE: 3/4"=1'-0"

