

**NOTICE OF APPROVAL** 

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Review 24358

**Owner Name: ESPERANZA CARMEL COMMERCIAL LLC** 

Case Planner: Evan Kort, Senior Planner

Date Posted:

**Date Approved:** 05/19/2025

Project Location: San Carlos 2 NW of 8th Ave

APN #: 010145021000 BLOCK/LOT: 91/ALL LOTS 13 AND 15

Applicant: Christopher Barlow

**Project Description:** Approval of this Design Review (DR 24358 (Esperanza Carmel Commercial, LLC) authorizes, the conversion of part of the first-floor commercial space to residential use and reconfiguring two existing apartments. Apartment #340 on the second floor will become a one-bedroom apartment. Apartment #250, spanning the first and second floors, will be converted into a three-bedroom apartment. Exterior work includes enclosing a covered area to add an accessible restroom for office use, replacing fixed windows with operable egress windows at apartments, updating windows and siding at the first-floor apartment bath to match existing, and replacing an apartment entry door with a new one matching the existing style. The project shall be constructed in compliance with the plans stamped approved by the Community Planning and Building Department on May 19, 2025, except as modified by the Conditions of Approval herein.

Can this project be appealed to the Coastal Commission? Yes  $\Box$  No  $\checkmark$ 

Upon completion of the 10 calendar-day appeal period, please return this form, along with the *Affidavit of Posting, to the case planner noted above.* 

DR 24358 (Esperanza Carmel Commercial, LLC) Conditions of Approval 05/19/2025 Page 1 of 3

	CONDITIONS OF APPROVAL
No.	Standard Conditions
1.	<b>Authorization.</b> This approval of Design Review DR 24358 (Esperanza Carmel Commercial, LLC) authorizes a conversion of part of the first-floor commercial space to residential use and reconfiguring two existing apartments. Apartment #340 on the second floor will become a one-bedroom apartment. Apartment #250, spanning the first and second floors, will be converted into a three-bedroom apartment. Exterior work includes enclosing a covered area to add an accessible restroom for office use, replacing fixed windows with operable egress windows at apartments, updating windows and siding at the first-floor apartment bath to match existing, and replacing an apartment entry door with a new one matching the existing style located at San Carlos 2 NW of 8th Ave in the RC District and, APN: 010145021000 as depicted in the plans stamped approved by Community Planning and Building Department on 05/19/2025 unless modified by the conditions of approval contained herein.
2.	<b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the RC zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
3.	Permit Required.
	A Building Permit shall be applied for and obtained from the <u>Building Division</u> prior to commencement of work. The Building Permit shall be applied for in a manner consistent with the submittal requirements prescribed by the Building Division.
	A building permit is not required; however, the applicant shall apply for and obtain a Notice of Authorized Work from the Building Division prior to commencement of work. To apply for the Notice of Authorized Work, please submit the <u>Scope of Work Declaration</u> through the city's <u>online permit portal</u> .
4.	<b>Permit Validity.</b> The project shall be implemented in accordance with the time limits set forth <u>CMC 17.52.170</u> ( <u>Time Limits on Approvals and Denials</u> ). During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
5.	<b>Water Use.</b> Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this approval shall be null and void. If installed, the property owner/applicant shall be required to remove the subject improvement(s) at the property owners expense.
6.	<b>Modifications.</b> The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
7.	<b>Indemnification.</b> The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
8.	<b>USA North 811.</b> Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)

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9.	<b>Conditions of Approval.</b> Prior to the issuance of a Building Permit or Notice of Authored Work, the Applicant shall print a copy of the signed Conditions of Approval within the construction plan set submitted to the Building Safety Division as part of the submittal for the Building Permit Application or Notice of Authorized Work.
10.	<b>Tree Removal Prohibited.</b> Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed or pruned with the approval of the City Forester or Forest and Beach Commission.
11.	<ul> <li>Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</li> <li>Prior to grading, excavation, or construction, the contractor/builder shall clearly tag or mark all trees to be preserved.</li> <li>Excavation within 6 feet of a tree trunk is not permitted.</li> <li>No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree.</li> <li>Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels.</li> <li>Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 dove the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester rise.</li> <li>Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, h</li></ul>
12.	<b>Foundation Work Near Significant Trees.</b> All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, construction activity will be suspended and all work stopped until an investigation by the City Forester has been completed. The Forester can be reached at 831-620-2073.

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	SPECIAL CONDITIONS
13.	Building Permit. The applicant shall incorporate these conditions of approval and any associated changes required by this approval into BP 250199 prior to building permit issuance and prior to commencement of work.
14.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.
15.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee. When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.
16.	Building Finishes and Materials. All new and replacement exterior finishes and materials, including but not limited to doors, windows, siding, and trim, shall match the existing building in color, material, texture, and architectural style.
17.	N/A

\*Acknowledgement and acceptance of conditions of approval.

	for Esperanza Carmel	
Property Owner Signature	Printed Name	Date
Applicant Signature	Printed Name	Date
	Once signed, please email to .	

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## 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

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RESPON. PARTY	CHAPTER 3	Y NA RESPON		Y NA RESPO	Exception: A naceway is not required in a minimum 40-ampere coscave, decisioned by branch circuit is installed in dose proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code.	Y NA P	RESPON.	
PARTY	GREEN BUILDING SECTION 301 GENERAL	PARTY	4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2 and 4.106.4.2.2. Calculations for spaces shall be rounded us to the nearest	PART	construction in accordance with the California Electrical Code. 4.106.4.2.4 Identification. The service panel or subprace local: directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.		AMY     A 304 OUTDOOR WATER USE     A 304 OUTDOOR TABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with     a local water delineal Indicage of coltance of the current California Department of Water Resources' Model Water     Efficient Landscape Ordinance (MWELO), whichever is more stringent.	
			requirements or sections +, cos+z : allo +, ico+z.z. Calculations on spaces what her cosmold up to the means which number. A parking space served by electric vehicle apply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local juriscition. See Vehicle Code Section 22511.2				a local water emcient landscape ordinance of the current California Lepartment or water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.	
	301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklist contained in hits code. Voltamary green building measures and also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, country, or city and country as specified in Section 10.7.		for further details.		4.106.4.2.5 Electric Vehicle Ready Space Signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Care Emission Vehicle Signs and Pavement Markings) or its		NOTES: 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Reputations, The 32.5 Capater 37 Onkolas Average Andre Cand supporting documents, including water budget calculator, are the support of the suppo	
	301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alterative increases the		4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 skeping units or guest rooms. The number of dwelling units, skeping units or guest rooms shall be based on all buildings on a project site subject to the s		4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing			
	301.1.1 Additions and alterations. (HCD) The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.		mis section. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types		multifamily buildings. When new parting facilities are added, or electrical systems or highing of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered admain be electric vehicle charging spaces. (EV spaces) capabile of supporting future Level 2 EVSE.		DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE	
	The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities seeing existing multifamily buildings. See Section		1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces [24 yearces]; capable of supporting future Level 2. EVSE: Electrical back calculations shall demonstrate that the electrical paral evince capacity and electrical system, including any on-shall distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all equired EV spaces and minimum of 40 ampreses.		altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.		4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE	
	4.106.4.3 for application.				Notes: 1.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future	<b>e</b> 0	4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in solebottom plates at exterior walls shall be protected against the passage of ordents by closing such openings with centern thorizer, concerte masonry or a similar method acceptable to the enforcing	
	Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.		The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.		EV charging.		agency.	
	Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompilant plumbing futures with water-conserving plumbing futures. Plumbing future replacements in required prior to susance of a contifacte of fuel completion, certificate of accoupancy or final permit approval by the local building department. See CWI Code Section 11011, et sea, for the definition of a noncomplant plumbing future, size indicated building affected and the section of the definition of a noncomplant plumbing future, size and the section of the s		Exceptions:		2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. DIVISION 4.2 ENERGY EFFICIENCY		4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65	
	Plumbing future replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et see, for the definition of a peoporemiate future bines of residential buildings affected and		<ol> <li>When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.</li> </ol>		4.201 GENERAL		4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycla and/or salvage for resus a minimum of 65 percent of the non-harandoxa construction and demoliton weate in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or mete a more stringent local construction and demolition waste	
	ourier important enacement dates.		2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces. the number of EV capable spaces required may be reduced by a number equal to the number of		4.201 GENERAL 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.		Exceptions:	
	301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential		spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.		DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION		<ol> <li>Excavated soil and land-clearing debris.</li> <li>Alternate waste reduction methods developed by working with local agencies if diversion or</li> </ol>	
	301.2 LOW-HISE AND HIGH-HISE NESIDENTIAL BUILDINGS, [HCJ] The provisions of buildings, to observe the second se		Notes: a.Construction documents are intended to demonstrate the project's capability and capacity for facilitating	* -	4.303 INDOOR WATER USE 4.303 INTER CONSERVING PLUBENC FITTINGS. Plumbing futures (water closets and urnals) and fitting (funcets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.		<ol> <li>Excended scala and bmc-detering debta.</li> <li>Memory water enduction modes developed by working with local agencies if diversion or necycle facilities capable of compliance with this item do not exist or air not located reasonably close to be jobite.</li> <li>The enforcing agency may make exceptions to be requirements of this section when loaded jobites are located in mass vehicing that and the modes of the development.</li> </ol>	
			future EV charging.		unials) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.		<ol><li>The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.</li></ol>	
	SECTION 302 MIXED OCCUPANCY BUILDINGS		b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing futures. Plumbing future replacement is required prior to issuance of a certificate of final completion, certificate of coupany, or final period multi approximal by the local building department. See Civil Code Section 1101.1, et sea, for the definition of a noncompliant plumbing future, types of residential buildings affected and other important enablement dates.		4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with items if through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.	
	302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy. Executions:		2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptades. For multitumity parking facilities, no more than one receptace is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.		Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.		<ol> <li>Identify the construction and demolition warts materials to be diverted from discount by recurling</li> </ol>	
	<ol> <li>(HCD) Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable.</li> </ol>		owening unt when more than one parking space is provided for use by a single owening unit. Exception: Areas of parking facilities served by parking lifts.		4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Tolets.		reuse on the project or salvage for future use or sale. 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or	
	truit compty winn the spectral green during measures approaches to earn spectra (cocopario). Exception of the compty of the compty of the compty with Chapter 4 and Appointed M. 4, as applicable. 2. [HCD] For parsons of a CAClettere, Invelved numb, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. LineWrite, units shall comply with Explored and Appoint As a septimized.		4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms. The number of dweling units, ideeping units or guest rooms shall be based on al buildings on a project site subject to				<ol> <li>Identify diversion facilities where the construction and demolition waste material collected will be</li> </ol>	
	DIVISION 4.1 PLANNING AND DESIGN		The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.		Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.		<ol> <li>Identify construction methods employed to reduce the amount of construction and demolition waste generated.</li> <li>Specify that the amount of construction and demolition waste materials diverted shall be calculated</li> </ol>	
	ABBREVIATION DEFINITIONS: HCD Department of Hosting and Carminally Development BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety		1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking faulties, shall be electric unities charging spaces (EV space) parching of supporting formal and 2		4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.		by weight or volume, but not by both.	
	OSHPD Office of Statewide Health Planning and Development		of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical back actuations shall demonstrate that the electrical panel service capacity and electrical system, including any con-sele distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 suppress.		4.303.1.3 Showerheads.		4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complex with Section 4.408.1.	
	LR Low Rise HR High Rise AA Additions and Alterations				4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance oriteria of the U.S. EPA WaterSense Specification for Showerheads.		Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.	
	N New		The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.				materials will be diverted by a waste management company.	
	CHAPTER 4 RESIDENTIAL MANDATORY MEASURES		Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required.		4.103.1.1.2 Multiple showsheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showsheads and/or other shower cutels controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower cutels to be in operation at a time.		Hustman will be diverted by a water imagement company.     4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined     weight of construction and demolitors waste devode of in handlis, which do not exceed 3.4     bits log.1, of the building area shall meet the minimum 65% construction requirement in     Section 4.402.1	
			Notes:		allow one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead.		Section 4.408.1 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE Projects that generate a total combined	
	SECTION 4.102 DEFINITIONS 4.102.1 DEFINITIONS		a.Construction documents shall show locations of future EV spaces.		4.303.1.4 Faucets.		4.468.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition wasted disposed of in landifity, which on encoded 2 pounds per square foot of the building area, shall meet the minimum 60% construction waste reduction requirement. In Section 4.408.1	
	The following terms are defined in Chapter 2 (and are included here for reference) EEEN/LI DBAN_A tench, belie or other decreased area loosely filed with orde, annual, fragments of brick or similar.		b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 galons per minute at 20 psi.		requirement in Section 4.08.1 4.08.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates 4.08.5 Documentations with Section 4.408.2, Items 1 through 5, Section 4.408.3 or Section 4.408.4.	PROVED
	FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervicus material used to collect or channel drainage or runoff water.		2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptades. For multifamily parking facilities, no more than one receptade is nequired per dwelling unit when more than one parking space is provided for use by a single dwelling unit.				Mater	03/13/2023
	WATTLES. Watties are used to reduce sediment in nunoff. Watties are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Watties are also used for perimeter and intel controls.		dwelling unit when more than one parking space is provided for use by a single dwelling unit. Exception: Areas of parking facilities served by parking lifts.		4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.			ITY PLANNING & BUILDING
	4.106 SITE DEVELOPMENT		3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.		4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.		Sample forms found in "A Guide to the California Green Building Standards Code (Residential) <sup>1</sup> located at www.hc.dc.ag.ov(CALGreen MmI may be used to assid in documenting compliance with this section. MmI may be used to assid in a Mined construction and demotilion detroit (0 & 0) processors can be located at the California Department of Resources Recording mat Recovery (California) <sup>1</sup>	by: Evan Kort, Senior Planner
	4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.		area and shall be available for use by all residents or guests.		4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate. but not		4 410 RUIL DING MAINTENANCE AND OPERATION	
	4 105 2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Brojects which disturb large		when low power Lever 2 by charging receptacies or Lever 2 by a relimitate beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers		per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gailons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gailons per minute at 60 psi.	<b>s</b> 0	4.410 DETAILOR MAINTELIVANCE MANUAL. AND OPENATIONAL inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:	
	than one acce of soil and are not part of a larger common plan of development which in total disturbs one acce or more, half manages storm water drainage during construction. In order to manage shorm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent ension and retains oil runcif on the site.		When low power lawed 25 CV starsing receptations or lawed 25 CVB as in initiative spored the initiative as automotic antimagement system, (AMM) may be used to inscare the maximum angulated distribution capacity to each space server by the ALMS. The detectioal system and any on-olide distribution transformers shall have and/or starsing starsing starsing and an angulated starsing starsing starsing (VCB) where the angulated starsing starsing starsing starsing starsing starsing starsing (VCB) have a capacity of each stars 33 and mathematical starsing starsing starsing starsing starsing (VCB) and an angulated starsing starsing starsing starsing starsing starsing starsing starsing (VCB) have a capacity of each stars 33 angueres. ALMS shall not be used to reduce the minimum required startical capacity is brained EV capacity space.		Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.		1. Directions to the owner or occupant that the manual shall remain with the building throughout the	
	<ol> <li>Retention basins of sufficient size shall be utilized to retain storm water on the site.</li> <li>Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, watter or other method approved</li> </ol>		capacity to the required EV capable spaces.		4.303.1.4.5 Pre-rinse spray valves. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shudoff.		<ol> <li>Operation and maintenance instructions for the following:</li> <li>Operation and maintenance instructions for the following:</li> <li>Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltable systems, etholic chargers, water-heating systems and other major</li> </ol>	
	<ol> <li>Where is source water is converged to a point or analoge system, Conecutor point, guine or annual disposal method, water shall be filtered by use of a barrier system, water or other method approved by the enforcing agency.</li> <li>Compliance with a lawfully enacted storm water management ordinance.</li> </ol>		4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.		Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff.		photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.	
	<ol> <li>Comparison with a lawfully enacted score water management ordinance.</li> <li>Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.</li> </ol>		Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.		FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Code of Regulations, Tille 20 (Appliance Efficiency Regulations),Section 1605.1 (h)(4) and Section 1605.3 (h)(4/4).		photocobic system, electronic dargers, water-healing system and other major     photocobic system, decircled dargers, water-healing system and other major     photocobic systems, including outpent and outpents.     expand conditioning systems, including outpent and use filters.     Weak and the system and the syste	
	are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)		4.106.4.2.2.1.1 Location. EVCS shall comply with at least one of the following options:				<ul> <li>e. Water reuse systems.</li> <li>information from local utility, water and waste recovery providers on methods to further reduce resource consumption. Including recycle programs and locations.</li> </ul>	
			EVCs shall comply with at least one of the notwing options. <ol> <li>The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.</li> </ol>		TABLE H-2		<ol> <li>Public transportation and/or carpool options available in the area.</li> <li>Educational material on the positive impacts of an interior relative humidity between 30-60 percent and other and an area of a second and a second and an area of a second and a second</li></ol>	
	4.106.3 GRADING AND PAVING. Construction plans shall indicate how the silk grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water induce, but are not limited to, the following:		the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. 2.The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2.1 to the buildine.		STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY		<ol> <li>Information about water-conserving landscape and irrigation design and controllers which conserve water.</li> </ol>	
	Swales     Water collection and disposal systems				PRODUCT CLASS MAXIMUM FLOW RATE (npm)		<ol> <li>Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.</li> <li>Information on remained nutline maintenance measures including but not limited to cardition</li> </ol>	
	<ol> <li>Swales</li> <li>Water collection and disposal systems</li> <li>French drains</li> <li>Water refering gardens</li> <li>Water refering savens</li> <li>Other water measures which keep surface water away from buildings and aid in groundwater</li> </ol>		Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2, Item 3.		[spray force in ounce force (ozf)] MAXIMUM FLOW RATE (gpm)		Evolution adout events conserving landcage and insplato design and controllers which conserve     Texture of the instruction of generation and designed and the insplato design and controllers and the instruction of th	
	recharge. Exception: Additions and alterations not altering the drainage path.		4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. The charging spaces shall be designed to comply with the following:		Product Class 1 (≤ 5.0 ozt)         1.00           Product Class 2 (> 5.0 ozf and ≤ 8.0 ozt)         1.20		<ol> <li>A copy of all special inspections ventications required by the entorcing agency of this code.</li> <li>Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.</li> </ol>	
	4.106.4 Electric vehicle (EV) charging for new construction, have construction shall comply with Sections     4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply     equipment (EVS) shall be initiated in accordance with the California Electrical Code, Article 625.		1. The minimum length of each EV space shall be 18 feet (5486 mm).		Product Class 3 (> 8.0 ozf) 1.28		12. Information and/or drawings identifying the location of grab bar reinforcements.	
	4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.		2.The minimum width of each EV space shall be 9 feet (2743 mm).		Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)(113 grams-force(gf))		4.4 REV REVIEWS BY CONTRACT When by on more maintaining usering that are constructed on a building on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, comgated cardboard, glass, plastics, regrain water, and metals, or metal a landly) enable local recycling.	
	Exceptions: 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility incable to supply adequate		3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum alsie. A 5-foot (1524 mm) wide minimum alsie shall be permitted provided the minimum width of the EV space is 10 feet (1558 mm).	ø 🗆 🗌	4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings.		ordinance, if more restrictive.	
			a.Surface slope for this EV space and the alsie shall not exceed 1 unit vertical in 48 units horizontal (2.083		buildings. Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code.		Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this reaction.	
	<ol> <li>Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure deeign requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.</li> <li>Accessory Dwelling Utilits (AUD) without additional</li> </ol>		percent slope) in any direction. 4.106.4.2.2.1.3 Accessible EV spaces. In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall	# 0	4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.		una abouto.	
	<ol><li>Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.</li></ol>		In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when Intalled, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section		NOTE		DIVISION 4.5 ENVIRONMENTAL QUALITY	
	4.105.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each				THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.		SECTION 4.501 GENERAL 4.601: Scope The provisors of this chapter shall outline means of reducing the quality of air contaminants that are odroous, irritating and/or harmful to the confort and well being of a building's installers, occupants and neighbors.	
	4.164.4.1 New one-and two-banking handlings and townhouses with attached private garages. For each density and a load accessive place and accessible and accessible a		•. vex.c. e cr space requirements. 1.Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall		TABLE - MAXIMUM FIXTURE WATER USE		irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. SECTION 4.502 DEFINITIONS	
	proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to instal a 40-ampere 208/24/Junit minimum deficiated human b circuit and space/s instance/s installa installa and b circuit and b circuit and a space service panel.		originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceward termination oncit recentation or channer location as annihisable. The service provide provide and the subsequent shall denote the service of the ser		SHOWER HEADS (RESIDENTIAL) 1.8 GMP @ 80 PSI		5102 TION 4.502 DEFINITIONS 5.102 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)	
	overcarent processe davice.		1.104.13 EV space requirements. 1.105 Figure requirements. <		LAVATORY FAUCETS (RESIDENTIAL) MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20		AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.	
	Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code.		Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.		LAVATORY FAUCETS IN COMMON & PUBLIC 0.5 GPM @ 60 PSI			
	4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".		construction in accordance with the California Electrical Code. 2 Multiple EV spaces required. Construction documents shall indicate the range av termination point and the		KITCHEN FAUCETS 1.8 GPM @ 60 PSI		COMPOSITE WOOD PRODUCTS. Comparise wood products include hardwood pywood, particleband and median asset/ fluentoard: "Exposite wood products" does not induce hardbaard, structural phywood, wood l-josts or finger-jointed lumber, all as specified in California Code of regulations (CCR), IBe 17, Section 03120.	
	location shall be permanently and visibly marked as "EV CAPABLE".		location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and		METERING FAUCETS 0.2 GAL/CYCLE WATER CLOSET 1.28 GAL/FLUSH		93120.1. DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for	
			2. Multiple (F) report required. Construction documents (e all indicate the scenary) termination point and the host in the function of instruction (and instruction) and the point of the host indicates of the host indicates of the host indicates and electricate and an electricates and an electricate and an electricate and an electricate and an electricate and and an appendix of the host indicates and electricate and and and appendix the host indicate and electricate and and and appendix the host indicate and electricate and and and appendix the host indicate and electricate and and appendix the host indicate and endocument enclosed, hancesable or in consolid all and a space hult the host appendix to the host indicate and enclosed.		URINALS 0.125 GAL/FLUSH		DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.	
AIMER:	THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORN	A GREEN BUIL	LDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS. THIS CHECKL	IST IS TO BE US	ED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END U	USER ASSU	MES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.	

## 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

## **RESIDENTIAL MANDATORY MEASURES, SHEET 2** (January 2023) Y = YES NA = NOT APPLICABLE RESPON. PARTY = RESPONSIBLE PARTY (#: ARCHITECT, ENGINEER, OWNER CONTRACTOR INSECTOR FOR TO ) CHAPTER 7 MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of come formed by adding a compound to the "Base Reactive Organic Gas (ROG) Muture" per weight of compound added, expressed to humerative of a grain (group ROC). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR. Title 17, Sections 94700. and 94701. TABLE 4.504.2 - SEALANT VOC LIMI TABLE 4.504.5 - FORMALDEHYDE LIMITS INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS (Less Water and Less I XIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION 702 QUALIFICATIONS 702.1 INSTALLER TRAINING. SEALANTS VOC LIMIT CURRENT LIMIT 2.1 INSTALLER TRAINING. HMAC system installers shall be trained and cettified in the system liabilitor of HMAC system sinclusing doction of explanetial by a calcinality or applicable incompared training or fication program. Licocetificat persons may perform HMAC installations when under the direct supervision and installity of a person trained and certification in straining or applicable that direct supervision and thACs system provides that thACs system rplies of acceptable HHAC training and certification programs include but are not limited to the following: ARCHITECTURA IOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood 760 COUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this the Two PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of 0.09 MEMBRANE RO State certified apprenticeship programs. Public utility training programs. Training programs sponsored by trade, labor or states Programs sponsored by manufacturing organizations. Other programs acceptable to the enforcing agency. article. The PWMIR is the total product reactivity expressed to nuncreatist or a gram or occurre induct (excluding container and packaging). doi: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a). ROADWAY 250 0.11 SINGLE-PLY ROOF MEMBRANE THIN MEDIUM DENSITY FIBERBOARD2 0.13 . VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIEI BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to con SEALANT PRIMERS a. Lower program acceptate a use tracking approx? Poss 2 SPECIAL INSPECTION (PLCD). When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent that employ one or more special properties to provide impaction to be astatication of the enforcing agency of the statication (at the approx of t MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17. Section 94508(a) ARCHITECTURAL NON-POROUS 4.503 FIREPLACES THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM 4.503 FIREPLACES 1531 GENERAL Any installed gas freplace shall be a direct-vent sealed-combusion type. Any installed woodshow or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emissio applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Wood ellet stoves and freplaces shall also comply with applicable local ordinances. 500 Certification by a national or regional green building program or standard publisher. Certification by a statewise energy consulting or verification organization, such as HERS raters, building performance constractsr, and howe energy auditor. Successful completion of a hird party apprentice training organism in the appropriate trade. Other programs acceptable to be enforcing agency. MARINE DECK DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) DRIE Stewards in separate A 504 POLLUTANT CONTROL 4.504 FOUCTORENG OF DUCT OPENNOS a PROTECTION OF MECLANCIAL EQUIPMENT DURING 4.504 FOUNDENNOS AND A SECONDENNOS AND MENTAL A SECONDENNOS AND A SECONDENNOS A OTHER . All carpet installed in the building interior shall meet the requirements or the Cai "Standard Method for the Testing and Evaluation of Volatile Organic Chemical En wironmental Chambers." Version 1.2. January 2017 (Emission testing method fo Notes: 1. Special inspectors shall be independent entities with no fenseial interest in the materials or the project they are inspecting for compliance with this code. 2. HES/news are special impaction contribled by the cathemic Energy Commission (CEC) to rate tomes in California according to the Home Energy Rating System (HERS). as California Department of Dublic Health's website for certification 04.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this sec s://www.odoh.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. TABLE 4.504.3 - VOC CONTENT LIMITS FOR Second and the second s 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements california Department of Public Health, "Standard Method for the Testing and Evaluation of Volatle Organi Chemical Emission from Indoor Sources Lising Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350) 4.594.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: ARCHITECTURAL COATINGS GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMP COMPOUNDS 1. Adhesives, adhesive bonding primers, achesive primers, sealants, sealant primers and cas shall comply with local or regional air pollution control or air guality management district rull sock products also shall comply with the Rule 11(8) problem on the use of oreinan toxic computing (Rithordom, ethylene dichotist, methylene citoriato, pacehionoethylene and trichorethylene, except for aerosol products, as specified in Subsectors 20 before. See California Department of Public Health's website for certification programs and testing lab COATING CATEGORY VOC LIMIT https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are increasing for compliance with this code. 100 20 4 504 2 2 Carnet adhesive All carnet adhesive shall meet the requirements of Table 4 504 1 Asrool adhesives, and smaller with set of adhesives, and solated or calified graphical and a smaller with set of adhesives, and solated or calified graphical and and a fail do and and a fail and a statewide VC2 california fail do and and a fail and a state fail VC2 and and a fail and a state fail of a state fa **s** 0 150 4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor resilient flooring shall meet the requirements of the California Department of Public Health, "Standard M Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmen Version 1.2, January 2017 (Emission testing method for California Specification 01300) 703 VERIFICATIONS SPECIALTY COATINGS US VERTICISATIONS 30.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not mited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other etodos acceptate to the enforcing agency which demonstrate acustantial conformance. When specific commentation or special inspection is necessary to verty compliance, that method of compliance will be specified in appropriate section or identificat application checklist. UMINUM ROOF COATIN 400 EMENT SPECIAL TV COATING 400 ee California Department of Public Health's website for certification programs and testing labs. Communicary with second second. 4.564.22 Paints and Costings, Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Neasuru, as shown in Table 4.504.3, unless more stringent local in apply. The ViCC exists in this troating the do not metter the definitions for the spaced locating categories paints and the string of the string BITUMINOUS ROOF COATINGS 50 tps://www.odph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. UMINOUS ROOF PRIMER LS04.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formate/bryke as specified in ARB's str Toxics Control Measure for Composite Wood (17 CCR 83120 et seq.). y or before the dates specified in those sections, as shown in Table 4.504.5 OND BREAKERS 350 CRETE CURING COMPOUNDS Suggested Conuc. 1.504.3 shall apply. CONCRETE/MASONRY SEALERS 100 ASS4.23. Acros.24 Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 9452(2)(2) and other requirements, including prohibitions on use d certain toxic compounds and come depleting substances, in Section 942(2)(1) and (1)(1) california Code of Regulators, Tim 17, commencing with Section 942(2), and in areas under the juriadiction of the Bay Aeaa Calify Management District addicensity comply with the processive VOC by weight or product Inities of Regulators. 4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following: DRIVEWAY SEALERS 50 DRY FOG COATINGS Product certifications and specifications. Chain of catalogic catalogic confidences. Product libered and invascid a result of the composite Wood Products regulation (see E. Bacterio grade products marked an among the PA-1 or PA-2 catadation of the Engineered E. Datterior grade products marked an among the PA-1 or PA-2 catadation of the Engineered Catalogic Catal (PS) and CSA 0025 standards. Othern method accupitable to the enforcing agency. FAUX FINISHING COATINGS 350 APPROTECT 05/19/2035 ImmUNITY PLANNING ENGINE roved by: Evan 2011 Children IRE RESISTIVE COATINGS 350 4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following: FLOOR COATINGS 100 M-RELEASE COMPOUNDS 250 1. Manufacturer's product specification. 2. Field verification of on-site product containers. 500 HIGH TEMPERATURE COATINGS 420 4.505 INTERIOR MOISTURE CONTROL 250 TABLE 4 504 1 - ADHESIVE VOC LIMIT: visions of the California Building Standards Code LOW SOLIDS COATINGS 120 4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab—onurol floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section. (Less Water and Less Exempt Compounds in Grams per Liter GNESITE CEMENT COATINGS 450 VOC LIMIT ARCHITECTURAL APPLICATIONS MASTIC TEXTURE COATINGS 100 DOOR CARPET ADHESIVES 50 4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the METALLIC PIGMENTED COATINGS 250 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be p a vapor barrier in direct contact with concrete and a concrete mix design, which will address that bage aggregate shall be aggregated and aggregate shall be aggregated and aggregate shall be aggregated by the sequence design protectional. TDOOD CARDET ADUE TREATMENT WASH PRIMER WOOD FLOORING ADHESIVES PRIMERS, SEALERS, & UNDERCOATERS 100 BER FLOOR ADHESIVE SUBFLOOR ADHESIVES RECYCLED COATINGS 250 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moletaire content shall be verified in compliance with the following: 50 CT & ASPHALT TILE ADHESIVE RUST PREVENTATIVE COATINGS WALL & PANEL ADHESIVES Molana content tability adversing all in the provide type or contact type modular in notice Equivalent contains versions methods may be accorded by the enforcing agency and sublit astity requirements faund in Section. 1018 of the code. Molana reading and balance at a point 2 field (100 mm) from the grade stamped and the enforcement of the enforcement of the enforcement on wall and those three modes acceptables the enforcement agency shall be performed on wall and those training with documentation comparison the enforcement agency shall be performed on wall and those training with documentation and force modes and the enforcement of the enforcement on wall and those training with documentation and force modes. SHELLACS CLEAR MULTIPURPOSE CONSTRUCTION ADHESIVE OPAQUE 550 STRUCTURAL GLAZING ADHESIVES CIALTY PRIMERS, SEALERS & 100 SINGLE-PLY ROOF MEMBRANE ADHESIVES UNDERCOATERS 250 STAINS 250 lation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to osure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying SPECIALTY APPLICATIONS STONE CONSOLIDANTS 450 VC WELDING MMING POOL COATINGS 4.506 INDOOR AIR QUALITY AND EXHAUST SPVC WELDING 490 100 nically ventilated and shall comply with the ABS WELDING 420 Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. WATERPROOFING MEMBRANES LASTIC CEMENT WELDING 250 ADHESIVE PRIMER FOR PLASTIC 275 a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of CONTACT ADHESIVE 250 340 equipsintent. b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., bull-in) 1 GRAMS OF VOC PER LITER OF COATING INCLUDING WATER A STRUCTURAL WOOD MEMBER ADHESIVE EMPT COMPOUNDS TOP & TRIM ADHESIVE 250 2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS Notes ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE. SUBSTRATE SPECIFIC APPLICATIONS ARE LOTED IN SUBSEQUENT COLUMNS IN THE TABLE. 3. VALUES IN THIS TABLE ADE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATING SUGGESTED CONTROL IMASURE, FEB. 1, 208. MORE INFORMATION AVAILABLE FROM THE AIR RESOURCES BOARD. 1. For the purposes of this section, a bathroom is a room which contains a bathtub. shower or METAL TO METAL tub/shower combination. 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code. PLASTIC FOAMS OUS MATERIAL (EXCEPT WOOD) 4.507 ENVIRONMENTAL COMFORT 1.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air condi WOOD BERGLASS The heat loss and heat gain is established according to AKSIACCA 2 Manual J - 2011 (Residential Loss Calculation), ASFRACE handbooks or nihre equivalent design software or methods. ASFRAE handbooks or other equivalent design software or methods. ASFRAE handbooks or other equivalent design software or methods. Below the software of the software of the software or methods. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER HE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURI IE VOC CONTENT SPECIFIED IN THIS TABLE. SEE SOUTH COAST AIR Exception: Use of alternate design temperatures necessary to ensure the system functions are exception. QUALITY MANAGEMENT DISTRICT RULE 1168.

WALDBUHNKE

2340 GARDEN ROAD, SUITE 100 MONTEREY, CALIFORNIA 93940 PHONE: 831.649.4642 FAX: 831.649.3530 WWW.WRDARCH.COM



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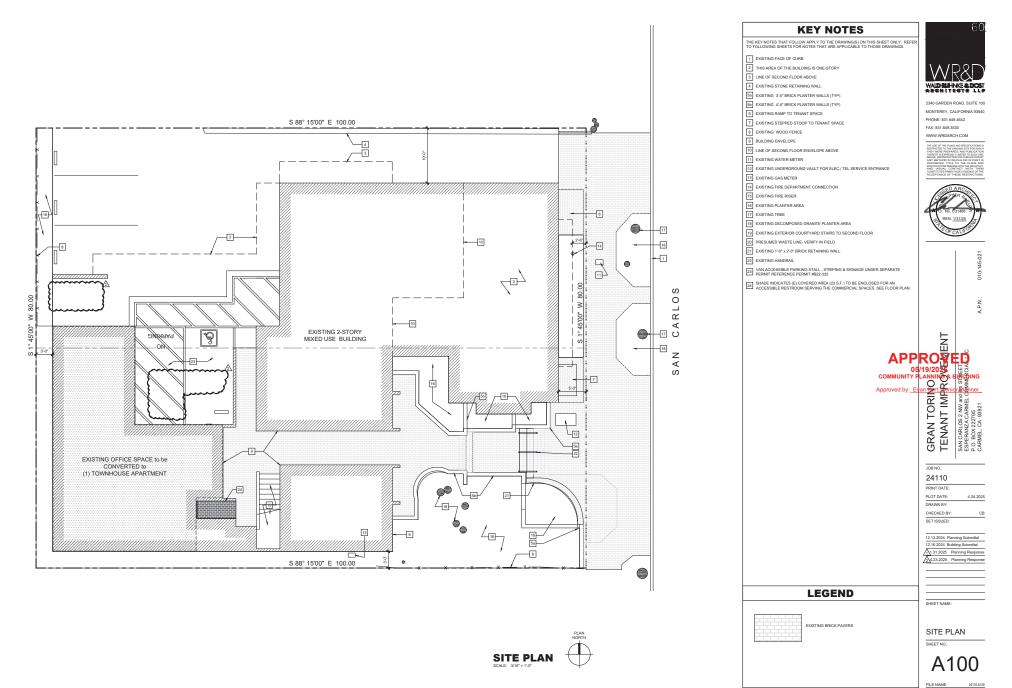
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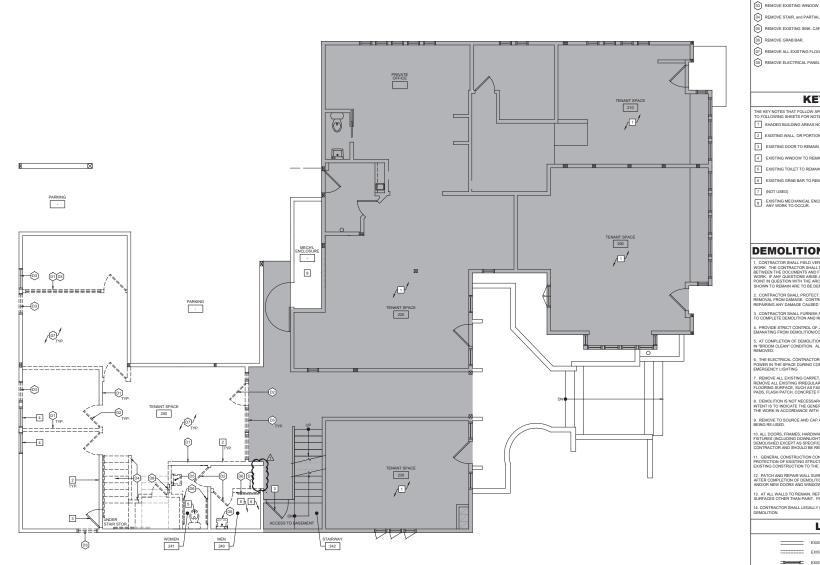
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FIRST FLOOR DEMOLITION PLAN

WALD SHANKE & DOS D4 REMOVE STAIR, and PARTIAL HEIGHT WALL COMPLETE (D5) REMOVE EXISTING SINK. CAP PLUMBING AT NEAREST SOURCE. 2340 GARDEN ROAD, SUITE 100 MONTEREY, CALIFORNIA 93940 PHONE: 831.649.4642 (D7) REMOVE ALL EXISTING FLOOR COVERING DOWN TO SUBSTRATE FAX: 831.649.3530 WWW.WRDARCH.COM D8 REMOVE ELECTRICAL PANEL. THE USE OF THE PLANS A RESTRICTED TO THE ORI THEY WERE PREPARE THEREOF IS LOPRESSU? REUSE, REPRODUCTION ANY METHOD IN WHIL PROHIBITED. TITLE T SPECIFICATIONS REMAINS AND VISILAL CONT CONSTTUTES PRIMA FA ACCEPTANCE OF THE **KEY NOTES** THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFE TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS. 1 SHADED BUILDING AREAS NOT IN SCOPE OF WORK. 2 EXISTING WALL, OR PORTION OF WALL TO REMAIN 4 EXISTING WINDOW TO REMAIN 5 EXISTING TOILET TO REMAIN. 6 EXISTING GRAB BAR TO REMAIN. 8 EXISTING MECHANICAL ENCLOSURE. SEE MECHANICAL DRAWINGS FOR ANY WORK TO OCCUR. DEMOLITION GENERAL NOTES ENT . CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGIN VORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIE TURK, THE CUNTRAL OR SHALL MOTH'S THE ANCHITECT OF ANT DISCREPANDES TEMEEN THE DOCUMENTS AND FELID CONDITIONES PRIOR TO PROCEEDING WITH THE YORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CARRY THE NOTIT IN QUESTIONS WITH THE ARCHITECT BEFORE PROCEEDING. ALL ELEMATE THE HOWN TO REMAIN ARE TO BE DEMOLISHED PER ARCHITECTS APPROVAL GRAN TORING CONTROLOGICAL TENANT IMPROVIDENCE SAN CARLOS 2 MM and BE STREET SAN CARLOS 2 MM AND CARL CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOOS MOVIAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOCOVANIUM PACE PRINING ANY DAMAGE CAUSED TO THE ITEMS TO REMAIN. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED. . PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM MANATING FROM DEMOLITION/CONSTRUCTION AREA. KEEP AREA CLEAN. I. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE VEMOLIED. ERANZA CA BOX 22279 MEL, CA 93

8. THE ELECTRICAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHT AN POWER IN THE SPACE DURING CONSTRUCTION, INCLUDING PROVISIONS FOR EMERGENCY LIGHTING.

**DEMOLITION NOTES** HE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER D FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS. D1 REMOVE WALL, OR PORTION OF WALL TO ACCOMMODATE NEW WORK.

D2 REMOVE EXISTING DOOR.

. REMOVE ALL EXISTING CARPET, TILE, VCT AND SHEET VINYL WHERE OCCURS, U.O.N REMOVE ALL EXISTING IRREGULAR MATERALS WHICH CAUSE RISES OR DEPRESSIONS LOORING SURFACE, SUCH AS FASTINERS, OUTLET CORRS, COVER PLATES, CARPET YADS, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.

8. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT IEING RE-USED.

0. ALL DOORS, FRAMES, HARDWARE, MECHANICAL ITEMS, PLUMBING FIXTURES, LIGHT IXTURES (INCLUDING DOWNLIGHTS & FLUORESCENTS), AND SPECIAL EQUIPMENT TO E BEWOLSHED EXCEPT AS SPECIFICALLY EXCLUDED BECOMES PROPERTY OF THE XONTRACTOR AND SHOULD BE REMOVED FROM THE PREMISES.

11. GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE EXISTING CONSTRUCTION TO THE ELEMENTS.

2. PATCH AND REPAIR WALL SURFACES TO REMAIN TO MATCH SCHEDU FTER COMPLETION OF DEMOLITION WORK AND INSTALLATION OF NEW I ND/OR NEW DOORS AND WINDOWS.

3. AT ALL WALLS TO REMAIN, REFER TO DRAWINGS FOR TREATMENT OF EXISTING URFACES OTHER THAN PAINT. PATCH AND FILL WALLS, PREP FOR NEW FINISH. 14. CONTRACTOR SHALL LEGALLY DISPOSE OF ANY MATERIAL SCHEDULED FOR

EMOLITION.

EXISTING WINDOW

EXISTING WINDOW TO BE REMOVED

EXISTING DOOR TO BE REMOVED

EXISTING DOOR.

LEGEND EXISTING 2x STUD WALL EXISTING WALL TO BE REMOVED

DEMOLITION PLAN SHEET NO .:

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SHEET NAME FIRST FLOOR

JOB NO -

24110

PLOT DATE:

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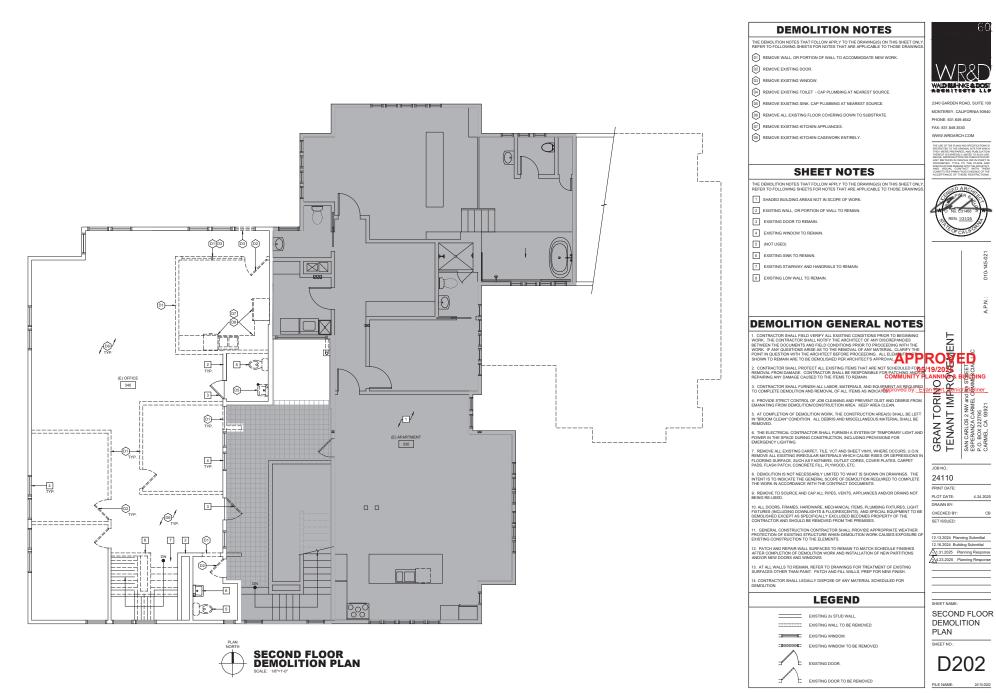
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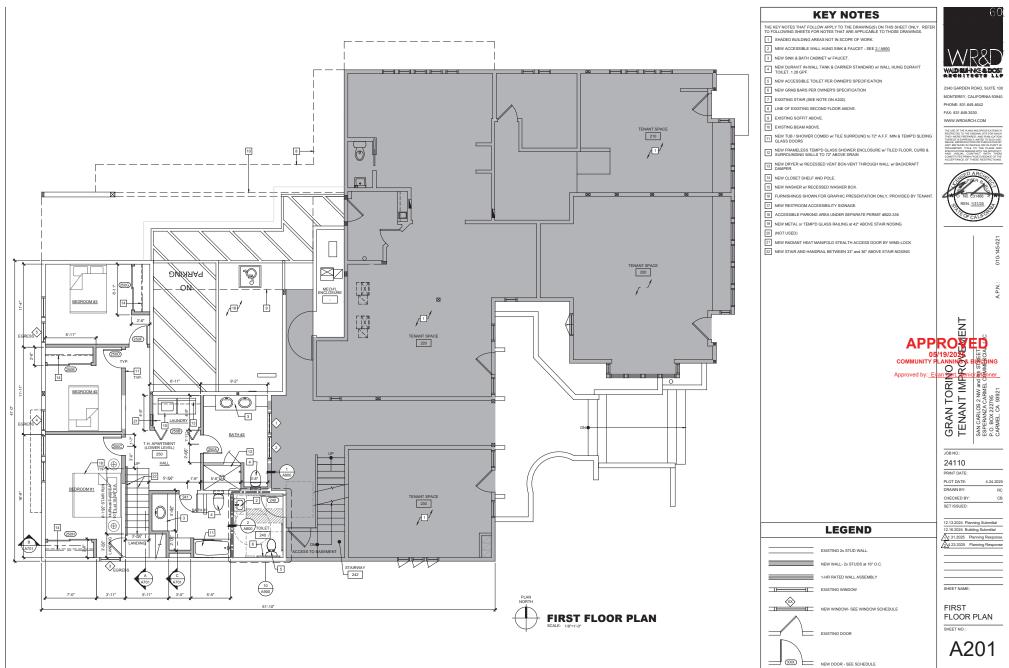
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12.13.2024 Planning Submittal 12.16.2024 Building Submittal

1.31.2025 Planning Response

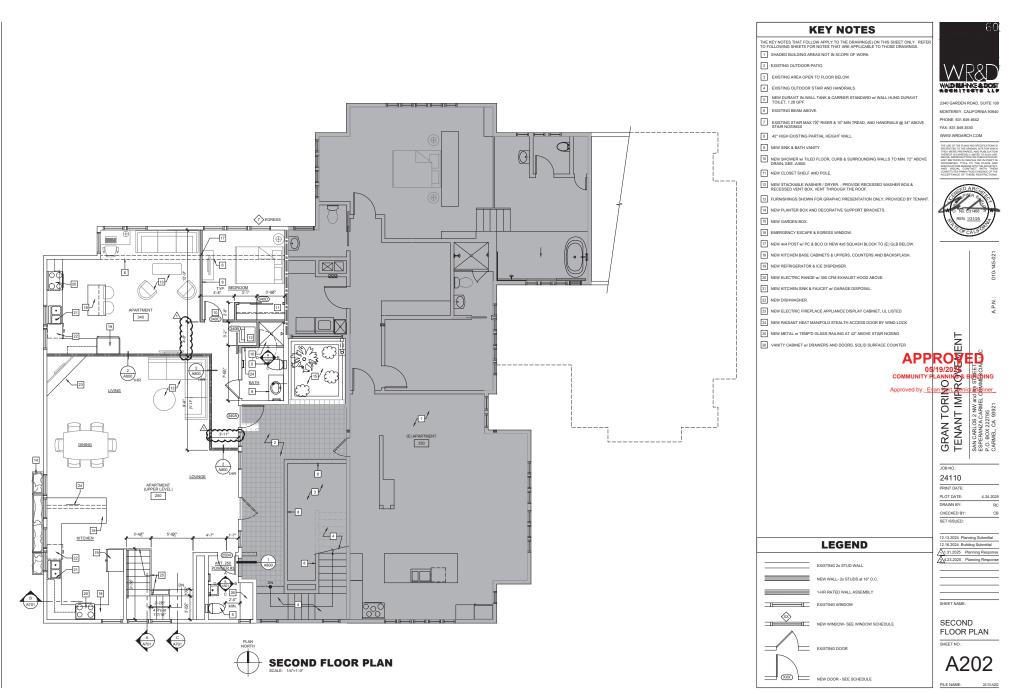
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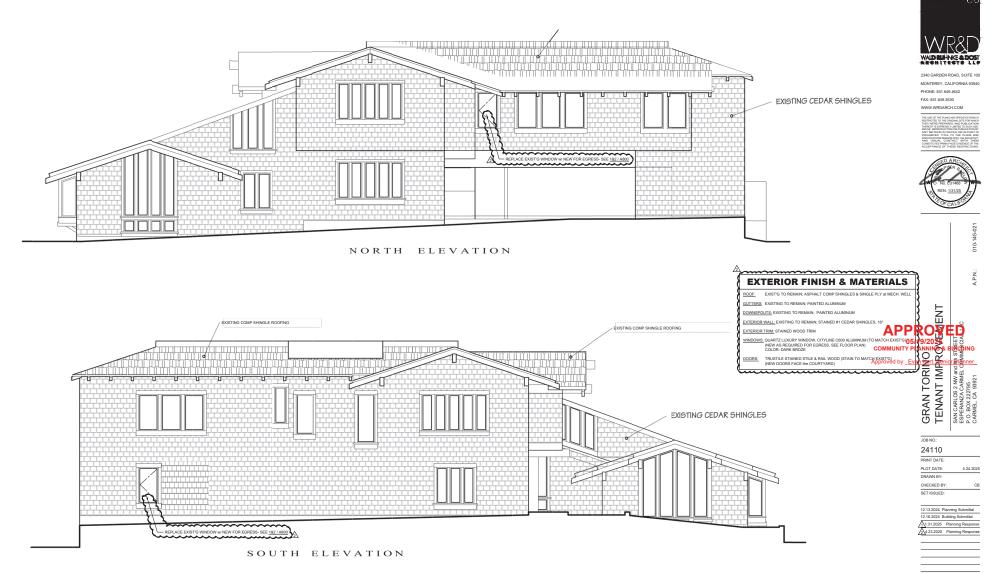
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WINDOW	SIZ			30					-	OOR								•	<u>0</u>			
GLAZING	SIZ	-	Зd	TAIL	TAIL	-AIL		ALL SWINGING DOORS TO ACCESSIBLE SPACES SHALL COMPLY W/ THE FOLLOWING (U.N.O.): 1. MINIMUM 3'-0'x6'-8' MINIMUM U.N.O.: DOOR HEIGHTS SHALL MATCH EXISTING CONDITION WHERE APPLICABLE.		OOR FINIS	SH	s	12E	-	DEIA	IL KEFE	RENCE	EMBLY	GROU			and the second s
AGLE TYPE			ASST	HEAD DE	IAMB DE	SILL DET		2. BOTTOM 10" SHALL BE A SMOOTH, SOLID SURFACE AT THE BOTTOM.	BER	⊢ z	XK/				R	EFER TO :	SHT.	EASS	VARE VSS T			
T ISNIS	WIDTH	HEIGHT	6	¥	W	SII	NOTES	3. BE OPERABLE FROM THE INSIDE WITHOUT SPECIAL KNOWLEDGE OR EFFORT	NUN AL	PAIN' STAIP	FACTC	NDTH HE	IGHT 1	пнк.	HEAD J	AMB THE	RESH. TRAN	FRAME	HARDI GL		NOTES	ME
1 A _	3'-4"	1'-3"					OBSCURE GLASS	<ol> <li>THRESHOLD CHANGE IN HEIGHT BETWEEN FLOOR SURFACES ON EITHER SIDE OF DOOR SHALL NOT EXCEED <u>X</u><sup>o</sup> AND COMPLY WITH CBC SECTION 118-404.2.5</li> </ol>	240 A					-3/4*	HEAD J.	WID THE	Rean. Trow	WD	-		NOTES	WARE
2 A	3'-4"	1'-3"			-	-	OBSCURE GLASS	5. LEVER TYPE LATCHSET AND LOCKSET HANDLES SHALL COMPLY WITH TITLE-24 ACCESSIBILITY REQUIREMENTS.	241 A			2'-6" 6	/-8" 1	-3/8*				WD				WAIDBAHN
2 A 3 B	2'-10"	4"-0"					V.I.F. (E) OPEN'G- EGRESS	<ol> <li>PRESSURE TO OPERATE EXTERIOR AND INTERIOR DOORS SHALL NOT EXCEED 5.0 lbs., AND FIRE RATED DOORS SHALL NOT EXCEED 15lbs., PER CBC SECTION 118-404.2.9, ALL DOORS SHALL BE ADJUSTED TO MEET THIS REQUIREMENT.</li> </ol>	250A A			2'-6" 6	/-8" 1	-3/8*				WD				2340 GARDEN RO
3 B 4 B	2'-10"	4"-0"				_	V.I.F. (E) OPEN'G- EGRESS	7. PROVIDE ACCESSIBLE HARDWARE THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.	250B B		PF	R. 3'-0" 6	-8" 1	-3/8*				WD			BI-FOLD	MONTEREY, CALI PHONE: 831.649.4
5 B	2'-10"	4"-0"				_	V.I.F. (E) OPEN'G- EGRESS	8. ALL EXTERIOR DOORS TO HAVE TOP CLOSER STRIP, U.N.O.	250C A					-3/8*				WD		-		FAX: 831.649.3530
		4-0"			-	_	-VARAENOPEUNG-EGRESS	9. AUTOMATIC FLUSH BOLTS ARE ALLOWED ONLY ON PAIRS OF DOORS WHERE THE DOOR WITH THE BOLT HAS NO KNOBS OR SURFACE MOUNTED HARDWARE C.B.C., SECTION 1003.3.1.8)	250D A					-3/8*				WD				WWW.WRDARCH
-#~~P	2-9"	4'-6"				_	V.I.F. (E) OPEN'G- EGRESS	10. ALL HOLLOW METAL DOOR FRAMES SHALL HAVE WELDED CORNERS, GROUND SMOOTH, WITH REINFORCED CORNERS	250E A					-3/8*				WD		-	BI-PASS	THE USE OF THE PLANS AN RESTRICTED TO THE ORIG
ЛВ							V.I.F. (E) UPENG: EGRESS	AND HINGE LOCATIONS. 11. THE FORMALDEHYDE EMISSION LEVEL OF ALL NEW DOORS SHALL NOT EXCEED 20 ppb.	250F A					-3/8*		-		WD			BI-PASS	THEY WERE PREPARED THEREOF IS EXPRESSILY L REUSE, REPRODUCTION ANY METHOD IN WHO
		NIN	DO	W T	'YPI	ES		42 ALL INTEDIOD ENTRY DOODS TO UNITS SHALL BE OF MINIMUM DIMENSIONS 31 (5-9) 45-91/5 TURK FLUCK FLUCK COLD CODE	250G C					-3/8*				WD		-	BLPASS	AND VISION PROVIDENT AND VISION AND VISION AND VISION CONTRACTOR AND VISION FROM AND VISION FROM FROM THE PRIMA
								WOOD DOORS WITH KEYED LOCKSETS. FACE VENERS SHALL BE ROTARY CUT BOOK MATCHED PREMIUM BIRCH, MAPLE OR OAK SUITABLE FOR STAINED OR NATURAL TRANSPARENT FINISH. ALL DOUBLE DOORS TO BE "BOOK	250H A			2'-6" 6	/-8" 1	-3/8*				WD		-		ACCEPTANCE OF THE
	_	-						MATCHED*.	340A A		+ +	-		-3/4*				WD		-		NISED A
		1						<ol> <li>FIRE RATED DOORS AND FRAME ASSEMBLIES SHALL BE INSTALLED WHERE NOTED OR AS REQUIRED BY CODE. DOORS AND FRAMES SHALL BEAR UNDERWRITERS LABORATORY (UL) LABEL FOR REQUIRED FIRE RESISTIVE RATING. MODIFICATION OF LABELED ASSEMBLIES.</li> </ol>	340B D		-			-3/8*				wp		-	BARN DOOR	X
·		Þ						<ol> <li>DOORS SEPARATING CONDITIONED AND NONCONDITIONED SPACE SHALL BE WEATHER STRIPPED OR GASKETED TO EFFECTIVELY AND RELIABLY LIMIT AIR INFILTRATION. ADHESIVE FOAM-TYPE OR FELT WEATHER STRIPPING IS NOT</li> </ol>	340C A					-3/8*				wp		-		4 0 No. 63
								ACCEPTABLE.	340D C		-			-3/8*				wp		-	BI-PASS	09 REN. 1/3
								<ol> <li>MOUNTING HEIGHT OF LATCHING HARDWARE/ HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 34" TO 44" A.F.F. PER CBC SECTION 11B-404.2.7.</li> </ol>		╞┼╹	•    "		·   ·					+	++	+		EOFC
^	~							16. FURNISH AND INSTALL ALL HARDWARE AS REQUIRED FOR A COMPLETE ASSEMBLY. THE WORK SHALL INCLUDE, BUT IS										_				
Â	B							NOT LIMITED TO, LOCKS, LATCHES, DOOR BUTTS WITH NON-REMOVABLE PINS ON OUT SWINGING EXTERIOR DOORS, AND DOOR STORY, WHERE INDUCTED ON FAMS, THE WORK INCLUES METAL INDESINGLIS, METAL KORS PARTIES, METAL PUSH PLATES, SINGLE OR DOUBLE ACTIVIS SELF-CLOSING GRAVITY OFERATED GATE HINGES.					D	00	RT	1 PE	5					
QUARTZ LUXURY CITYLINE C600	QUARTZ L	C600						17. MINIMUM STC 35 RATING FOR ALL EXTERIOR DOORS.	PE			PER	u.			, P	PER .		_	PER		
ALUMINUM, DARK BRONZE, SQUARE	ALUMINUM BRONZE, S	n, DARK SQUARE						<ol> <li>ALL FIRE RATED EXIT DOORS SHALL BE SELF- OR AUTOMATIC-CLOSING IN ACCORDANCE WITH CBC SECTION 716.5.9. SEE DOOR AND HARDWARE SCHEDULES THIS SHEET FOR MORE INFORMATION.</li> </ol>	SCHEE	DULE		SCHED.	1			sc	CHED.			SCHE	ED.	
										<u> </u>	*		1/	1		-		1	1		╬╴┺	
								DOOR HARDWARE NOTES		\   .			/ /				-	1	E.			
								FINISH: SHALL BE US26D, (626 ON BRASS OR BRONZE BASE METAL, 652 ON STEEL BASE METAL AND 630 FOR STAINLESS STEEL MATERIAL).			EDUL		K K	EDULI	-    -	-   -	- 6		GHED			
WINDOW NOTES					тои	TES		S I ARALESS IS LEEL MAILEMAL. 2. HINGES: SIZE TO ELE 45% LYALESS OTHERWISE INDICATED. WIDTH OF HINGE SHALL BE SUFFICIENT TO CLEAR FRAME AND TRAI WHEN DOOR SWINGS IBD DEGREE. PROVIDE NON-REMOVABLE PNS (NRP) AT EXTERIOR OUT-SWING DOORS. FROVIDE GUARTITY OF HINGES PRE LEBE AS FOLLOWS:		Period Cont	PER SOH		$\mathbb{N}$	PER SCH			2 BE		PERS			L
	. NEW WINDOW TYPES SHALL MATCH THE EXISTING CONDITION WHERE APPLICABLE.							LOCKS: SHALL BE AS MANUFACTURED BY SCHLAGE LOCK. SERIES AND DESIGN AS LISTED IN HARDWARE SCHEDULE.			-*	<u>v v</u>		u				*	*		LLJ RHEAD S.C.	ENT
<ol> <li>ALL HARDWARE, FR APPLICABLE.</li> </ol>	2. ALL HARDWARE, FRAME FINISH AND COMPANION HARDWARE SHALL MATCH THE EXISTING CONDITION WHERE APPLICABLE.			ATCH THE	EXISTING CONDITION WHERE	4. CLOSERS: SHALL BE AS MANUFACTURED BY LCN OF PRINCETON, ILLINOIS, CLOSER CYLINDER BODIES SHALL BE OF	<u>A. S.C.</u>	WD. DOO	<u>JR</u>	B. PR. S.C BI-FOLD I	NOOR		BI-P/	BL. S.C. W	<u>R</u>		WOOD	D SLIDIN				
3. CONTRACTOR IS RE	SPONSIBLE	FOR REVI	EWING FLO	OOR PLAN	NAND INTE	ERIOR / EX	TERIOR ELEVATIONS FOR	CAST IRON CONSTRUCTION. PROVIDE EXTRA DUTY ARMS (EDA) AT ALL PARALLEL ARM APPLATIONS. CLOSERS FOR FIRE-RATED DORDS SHALL HAVE A TEMPERATURE STABILIZING FLUID THAT COMPLES WITH CBC 7-2 (2022) AND ULIOC. CLOSERS SHALL BE POWDER COATED TO MATCH BHMA 689. CLOSERS TO BE INSTALLED WITH SEX OR THROUGH													APP	
4. DIRECTION OF WINE	DOW OPERAT	TION SHOW	WN ON INT	ERIOR / E			NS BY ARROW FOR SLIDING	CLOSERS SHALL BE OWNER COATED TO MATCH BMM ARB. CLOSERS TO BE INSTALLED WITH SEX OR THROUGH BOLTS: CLOSERS SHALL OPERATE WITH A MXMUIN FORCE OF SUBLES AND NOT NEXCESS OF 18 LBS: FOR FIRE RATED DOORS. INSTALL CLOSERS ON DOOM SIDE OF BUILDINGS, DO NOT INSTALL CLOSERS ON EXTERIOR SIDE OF BUILDINGS ON I HALLWAYS OF CORFIDORS F AT ALL POSSIBLE.												СС	05 OMMUNITY P	
WINDOW AND DASH	IED LINE FOR	RSWINGIN	IG WINDOW	Ν.				BUILDINGS OR IN HALLWAYS OR CORRIDORS IF AT ALL POSSIBLE. 5. THRESHOLDS: THRESHOLDS SHALL NOT EXCEED X <sup>*</sup> IN HEIGHT.													proved by: Ev	$\cap \simeq$
							NUFACTURED STANDARD SIZES. ND COMPLY W/SECTION 2406 OF HEN LOCATED WITHIN 60° OF THE	6. GASKETING: PROVIDE FIRE OR DRAFT GASKETING AS APPROVED BY THE SELECTED DOOR MANUFACTURERS												~~P		
THE CURRENT EDIT WALKING SURFACE	ION OF THE OR WITHIN 2	U.B.C. ALL 24" HORIZO	GLAZING	SHALL BE	E SAFETY ROM ANY E	GLAZED W	HEN LOCATED WITHIN 60° OF THE CERTIFICATE MUST ACCOMPANY BLE CONSUMER PRODUCT	APPROVALS AND INSTALLATIONS INSTRUCTIONS FOR "POSITIVE PRESSURE" TESTING PROCEDURES. 7. INSTALLATION: ALL OPERATING HARDWARE SHALL BE INSTALLED BETWEEN 30" AND 44" AFF.														ORIN TIMF
SAFETY STANDARD	S.								-													ÉÉ
7. ALL ROUGH OPENIN EXISTING CONDITIO	G DIMENSIO	N SHALL E	BE FIELD V	/ERIFIED.	WINDOW F	FRAME ANI	D GLAZING SHALL MATCH THE	MANUFACTURER'S SYMBOL														GRAN TC TENANT
							EXISTING CONDITION.	ACC= ACCURATE DOOR & HARDWARE NARROW STILE LOCK CASES GLY = GLYNN-JOHNSON CORPORATION VICE = IVES IVE = IVES DUTS, COORDINATORS, DUST PROOF STRIKES,														え 町
9. ALL HOLLOW METAL CORNERS AND HING	L WINDOW FF	RAMES SH	IALL HAVE	WELDED	CORNERS	S, GROUND	SMOOTH, WITH REINFORCED															ΩΈ
								LON LON DUST PULS A RICK PLATES, DOOR STOPS & SILENCERS SCIE SCHLAGE ELECTRONICS ELECTRONIC DOOR COMPONENTS SCIE SCHLAGE LOCK COMPANY SCHLAGE LOCK - UNIN INFORM. EVENTOEVICE & CHLINDERS														JOB NO.:
								VON = VON DUPRIN EXIT DÉVICES ZER = ZERO INTERNATIONAL THRESHOLDS, GASKETING & WEATHER-STRIPPING														24110
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								HARDWA	RE G	RO	UP											PLOT DATE:
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FILE NAME: 24110-A301



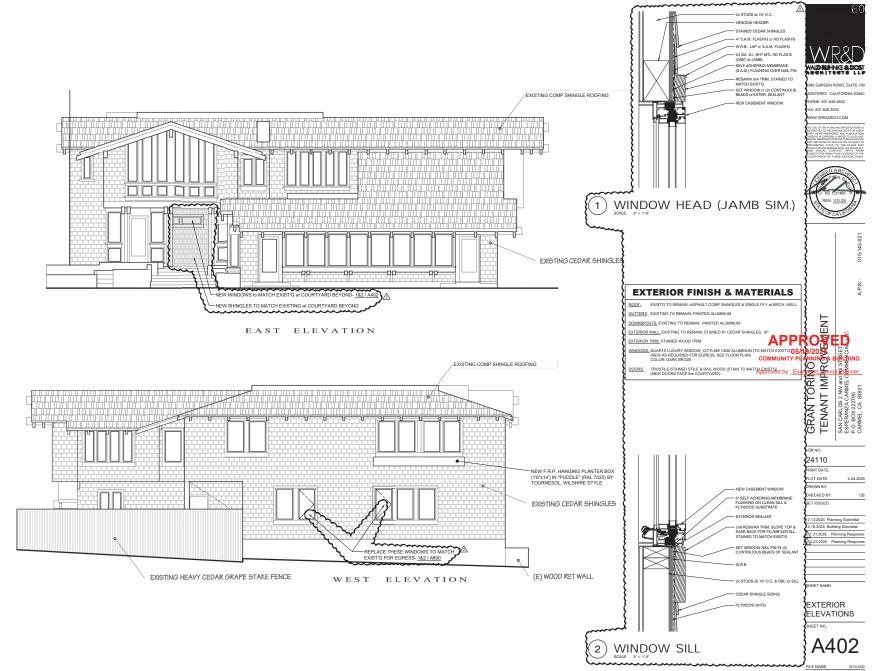


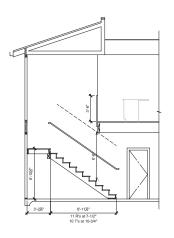
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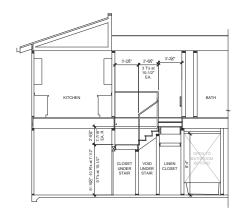
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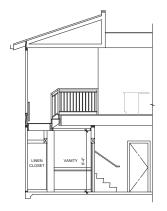
SHEET NO.:

24110-A401











B STAIR SECTION

C STAIR SECTION



2340 GAALER KORD, SUITE 100 MONTEREY, CALIFORNIA 93940 PHONE: 831.649.4642 FAX: 831.649.3530 WWW.WRDARCH.COM





JOB NO .:	
24110	
PRINT DATE:	
PLOT DATE:	4.24.2025
DRAWN BY:	RC
CHECKED BY:	CB
SET ISSUED:	

 12.13.2024
 Planning Submittal

 12.16.2024
 Building Submittal

 11.11.2025
 Planning Response

 12.42.3.2025
 Planning Response

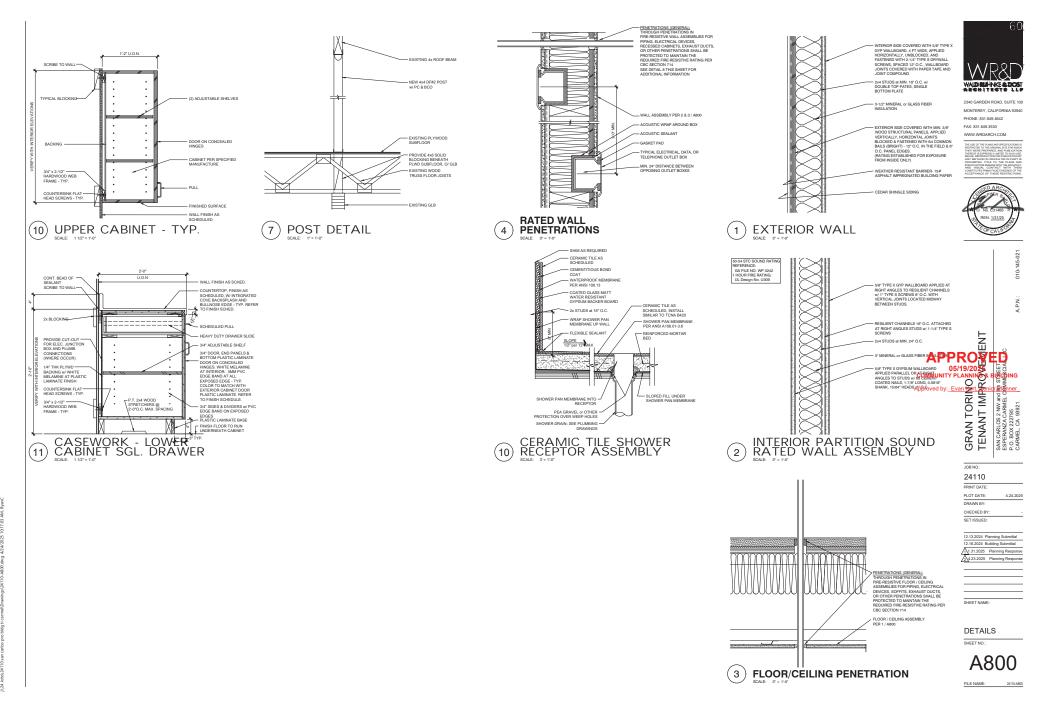
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STAIR SECTIONS

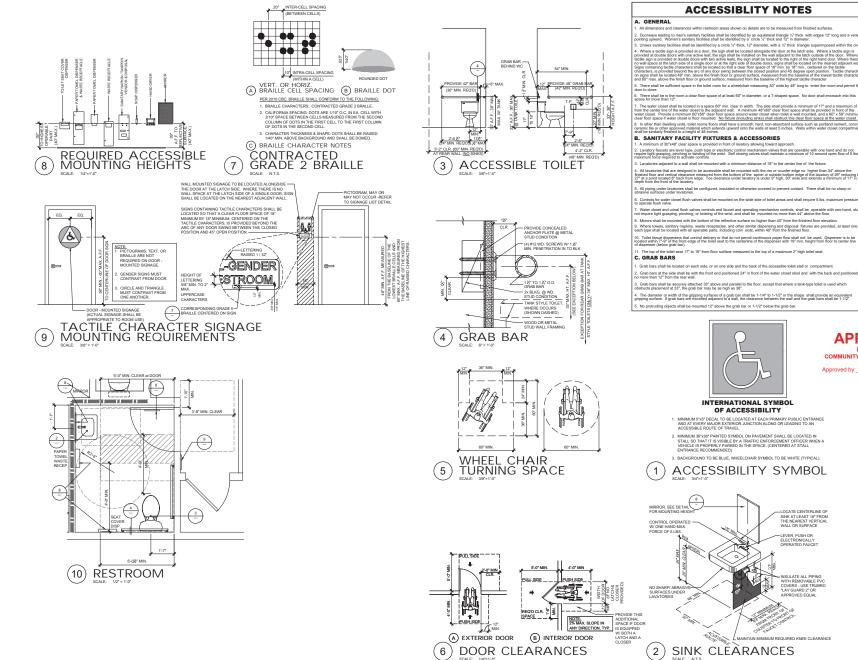
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2340 GARDEN ROAD, SUITE 100 MONTEREY, CALIFORNIA 93940 PHONE: 831.649.4642

FAX: 831.649.3530 WWW.WRDARCH.COM



ENT

JOB NO ·

24110

PLOT DATE:

SAN CARLOS 21 ESPERANZA CA P.O. BOX 222796 CARMEL, CA 93

4.24.2025

CB

Grab bars at the side shall be with the front end positioned 24" in front of the water closet stool and with the back end more than 12" from the near wall



ACCESSIBILITY SYMBOL



ACCESSIBILITY DETAILS SHEET NO .:

FILE NAME:

A900