



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Review 24349

Owner Name: Cypress Inn Investments

Case Planner: Katherine Wallace, Associate Planner

Date Posted: _____

Date Approved: 04/11/2025

Project Location: NEC 7th Ave & Lincoln Street

APN #: 010-147-008, 010-147-009

BLOCK/LOT: 75/ALL LOTS 16, 18, 20, 22

Applicant: Charles Mandurrango

Project Description: Design Review application DR 24349 (Cypress Inn Investment) authorizes the removal and replacement of a deteriorated second-story balcony fronting 7th Avenue (railing increased from 36" to 42" high and spacing between rails decreased from 6" to 4" for building code compliance); maintenance of the concrete tower involving hand wash and natural bristle brush cleaning, as well as repair of cracks and new paint to match existing; maintenance of courtyard walls involving hand wash and natural bristle brush cleaning and new paint to match existing; and modification of an interior courtyard door with a new ADA push plate power door operator. The project is located at the northeast corner of Lincoln Street and 7th Avenue, APN 010-147-008 and APN 010-147-009 in the Residential Commercial (RC) District and Downtown Conservation (DC) District. All work shall be implemented in accordance with the plans and statements submitted by Mandurrango & Associates, stamped approved on April 11, 2025 and on file in the Community Planning & Building Department unless modified by the conditions of approval

Can this project be appealed to the Coastal Commission? Yes ☐ No ☒

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	Authorization. This approval of Design Review application DR 24349 (Cypress Inn Investment) authorizes the removal and replacement of a deteriorated second-story balcony fronting 7 th Avenue (railing increased from 36" to 42" high and spacing between rails decreased from 6" to 4" for building code compliance); maintenance of the concrete tower involving hand wash and natural bristle brush cleaning, as well as repair of cracks and new paint to match existing; maintenance of courtyard walls involving hand wash and natural bristle brush cleaning and new paint to match existing; and modification of an interior courtyard door with a new ADA push plate power door operator. The project is located at the northeast corner of Lincoln Street and 7 th Avenue, APN 010-147-008 and APN 010-147-009 in the Residential Commercial (RC) District and Downtown Conservation (DC) District. All work shall be implemented in accordance with the plans and statements submitted by Mandurrago & Associates, stamped approved on April 11, 2025 and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein.
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the CC and DC Districts. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Director, Historic Resources Board, and/or Planning Commission.
3.	Permit Required. <input checked="" type="checkbox"/> A Building Permit shall be applied for and obtained from the Building Division prior to commencement of work. The Building Permit shall be applied for in a manner consistent with the submittal requirements prescribed by the Building Division.
4.	Conditions of Approval. Prior to the issuance of a Building Permit or Notice of Authored Work, the Applicant shall print a copy of the signed Conditions of Approval within the construction plan set submitted to the Building Safety Division as part of the submittal for the Building Permit Application or Notice of Authorized Work.
5.	Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a commercial design study approval remains valid for 18 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
6.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised

	plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
7.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the “Revisions to Planning Approval” form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.
8.	<p>Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee.</p> <p>When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City’s attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p>
9.	Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
10.	Tree Removal Prohibited. Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed or pruned with the approval of the City Forester or Forest and Beach Commission.

11.	<p>Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> • Prior to grading, excavation, or construction, the contractor/builder shall clearly tag or mark all trees to be preserved. • Excavation within 6 feet of a tree trunk is not permitted. • No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree. Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels. • Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4- foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. • Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. • If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. <p>If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place. The Forester can be reached at 831-620-2073.</p>
Special Conditions	
12.	<p>Pre-Construction Meeting. Prior to the issuance of a building permit, the contractor overseeing the project shall schedule a pre-construction meeting with the <u>Project Planner</u> for the purpose of reviewing the conditions of approval and expectations during construction.</p>
13.	<p>Conditions of Approval Acknowledgement. Prior to the issuance of a building permit revision, a completed <u>Conditions of Approval Acknowledgment</u> form shall be included in</p>

	the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor prior to the issuance of a building permit.
14.	Inspection. The City shall be allowed inspection of the repair periodically as necessary.
15.	Final Inspection. A final inspection is required by the Planning Division.

Acknowledgment and acceptance of conditions of approval:

_____ Applicant	_____ Printed Name	_____ Date
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_____ Property Owner Signature	_____ Printed Name	_____ Date
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Photo ①



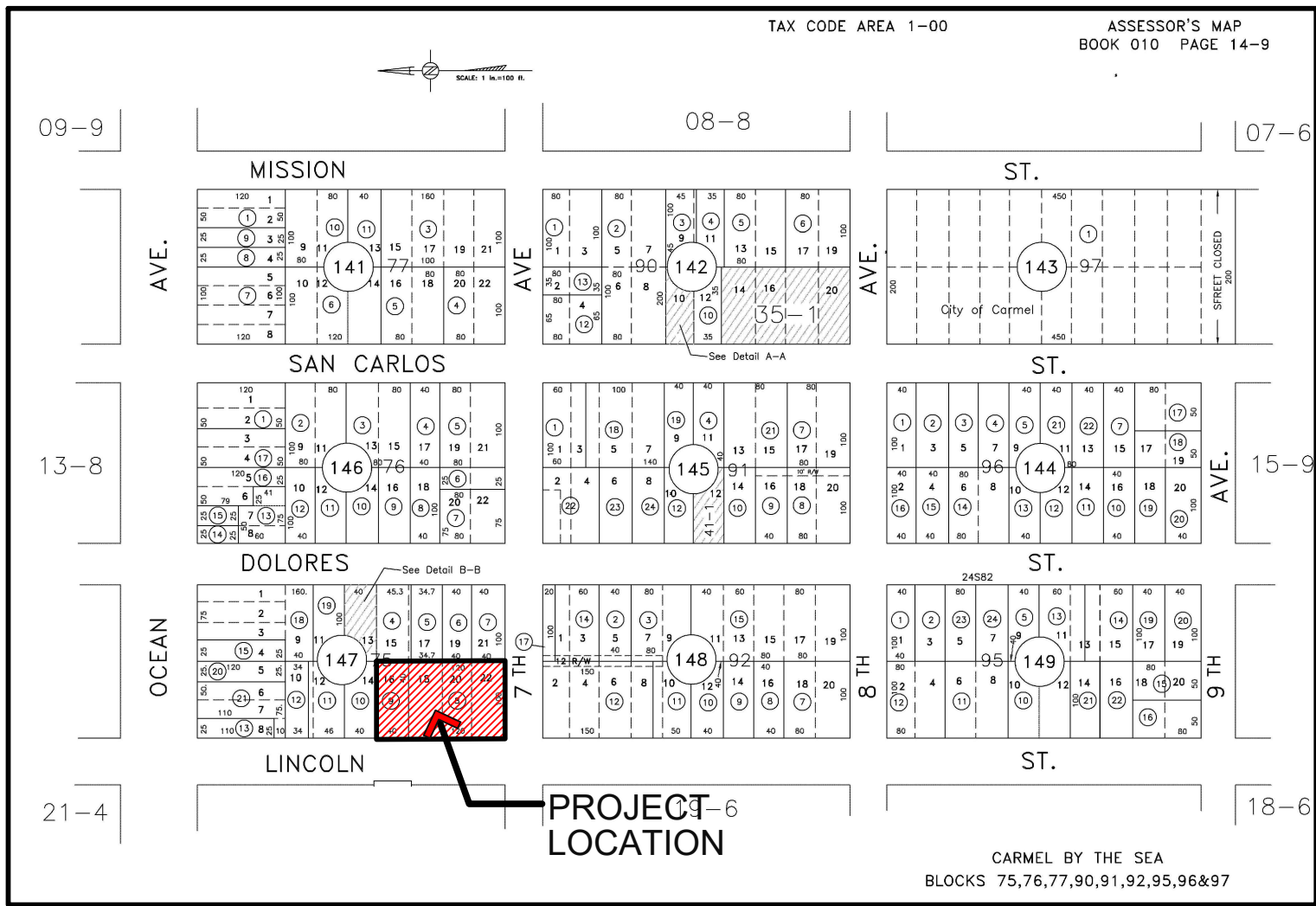
Photo ②



Photo ③



Photo ④



PARCEL MAP

ESTIMATED COST OF CONSTRUCTION

(ESTIMATED COST OF CONSTRUCTION FOR TIME AND MATERIAL.
18% WILL BE ADDED FOR ALL LABOR AND MATERIAL)

PEMITS / PLANNING	\$ 5,200
TOWER RESTORATION	
SCAFFOLDING	\$ 15,000
PAINT / MORTAR / HAND WASH	\$ 14,000
ROOFING	\$ 6,000
BALCONY	
DEMO	\$ 5,500
FRAMING / STRUCTURAL	\$ 10,000
STUCCO / SHEETROCK	\$ 8,800
PAINT	\$ 6,000
GALVANIZED BALCONY	\$ 11,000
ELECTRICAL	\$ 4,000
RENTALS / PARKING / SIDEWALK PERMITS	\$ 3,200
ADA COMPLIANT DOOR OPERATOR	\$ 11,000
OVERHEAD / PROFIT 18%	\$ 17,586
TOTAL	\$ 115,286

GENERAL NOTES:

THE PROJECT WILL COMPLY WITH THE FOLLOWING
BUILDING CODES AND ASSOCIATED CITY OF CARMEL
AMENDMENTS:
2022 CALIFORNIA BUILDING CODE (CBC) AND/OR
CALIFORNIA RESIDENTIAL CODE (CRC)
2022 CALIFORNIA GREEN BUILDING STANDARDS
CODE (CALGREEN)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA FIRE CODE (CFC)
2022 CALIFORNIA BUILDING ENERGY EFFICIENCY
STANDARDS (CBEES)

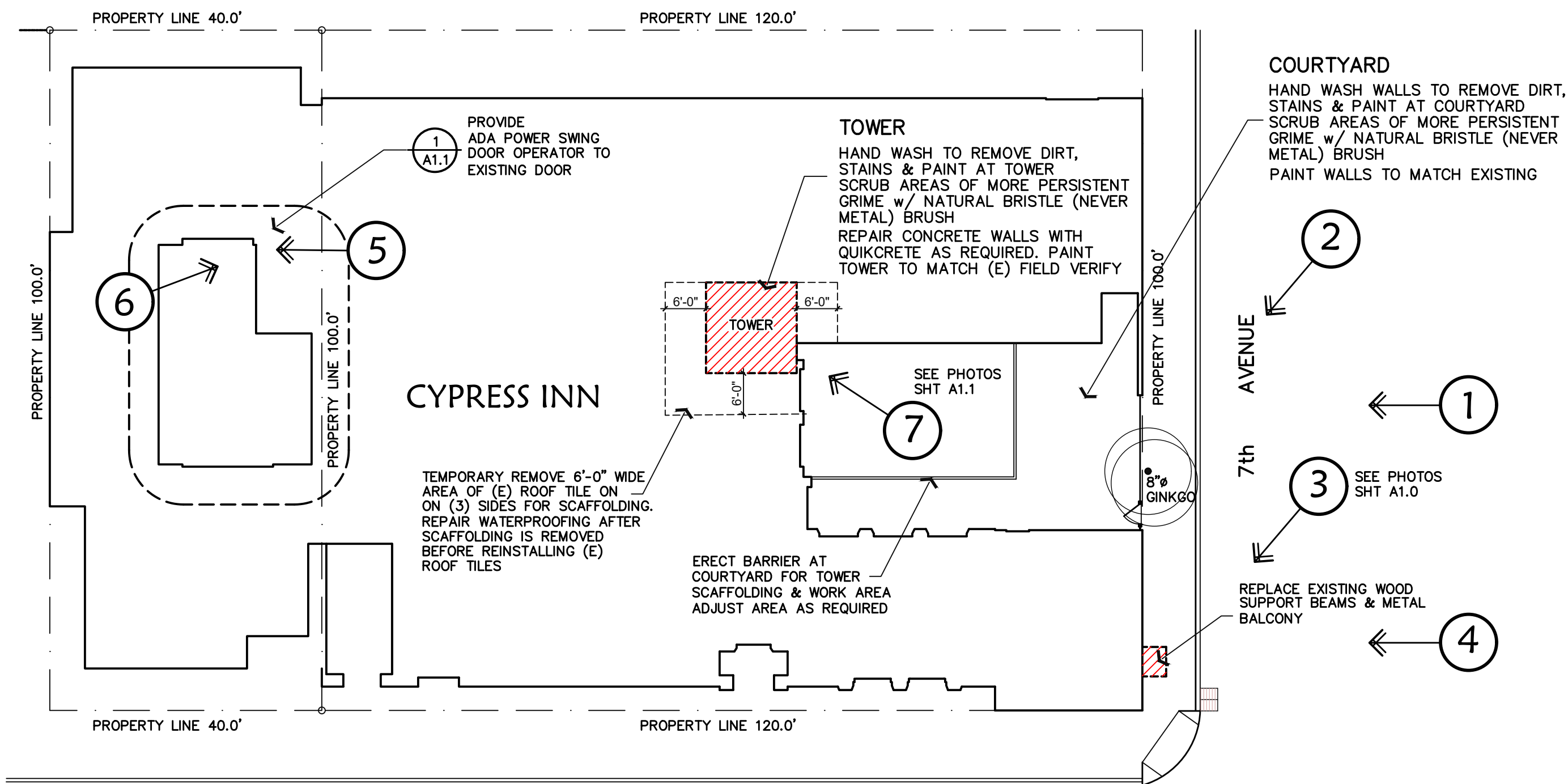
****HISTORIC PROPERTY****

**CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED**

Permit #: DR 24349 (Cypress Inn Investments)

Date Approved: 4/11/2025

Planner: K. Wallace



LINCOLN STREET

SHEET INDEX

- A1.0 COVER SHEET / SITE PLAN
- A1.1 ADA DOOR & PHOTOS
- A1.2 CONSTRUCTION BMP
- A2.0 FRAMING PLAN & DETAILS
- A3.0 DETAILS

PROJECT INFORMATION

A.P.N.: 010-147-008
ADDRESS: N/E CORNER LINCOLN & 7th AVE.
ZONING: RC
LOT AREA: 12,000 S.F.
OCCUPANCY GROUP R1
TYPE OF CONSTRUCTION VB

SITE COVERAGE

NO CHANGE

FLOOR AREA

NO CHANGE

OWNER

CYPRESS INN INVESTMENT
P.O. BOX 1
CARMEL-BY-THE-SEA, CA. 93921
831-624-4115

SCOPE OF WORK

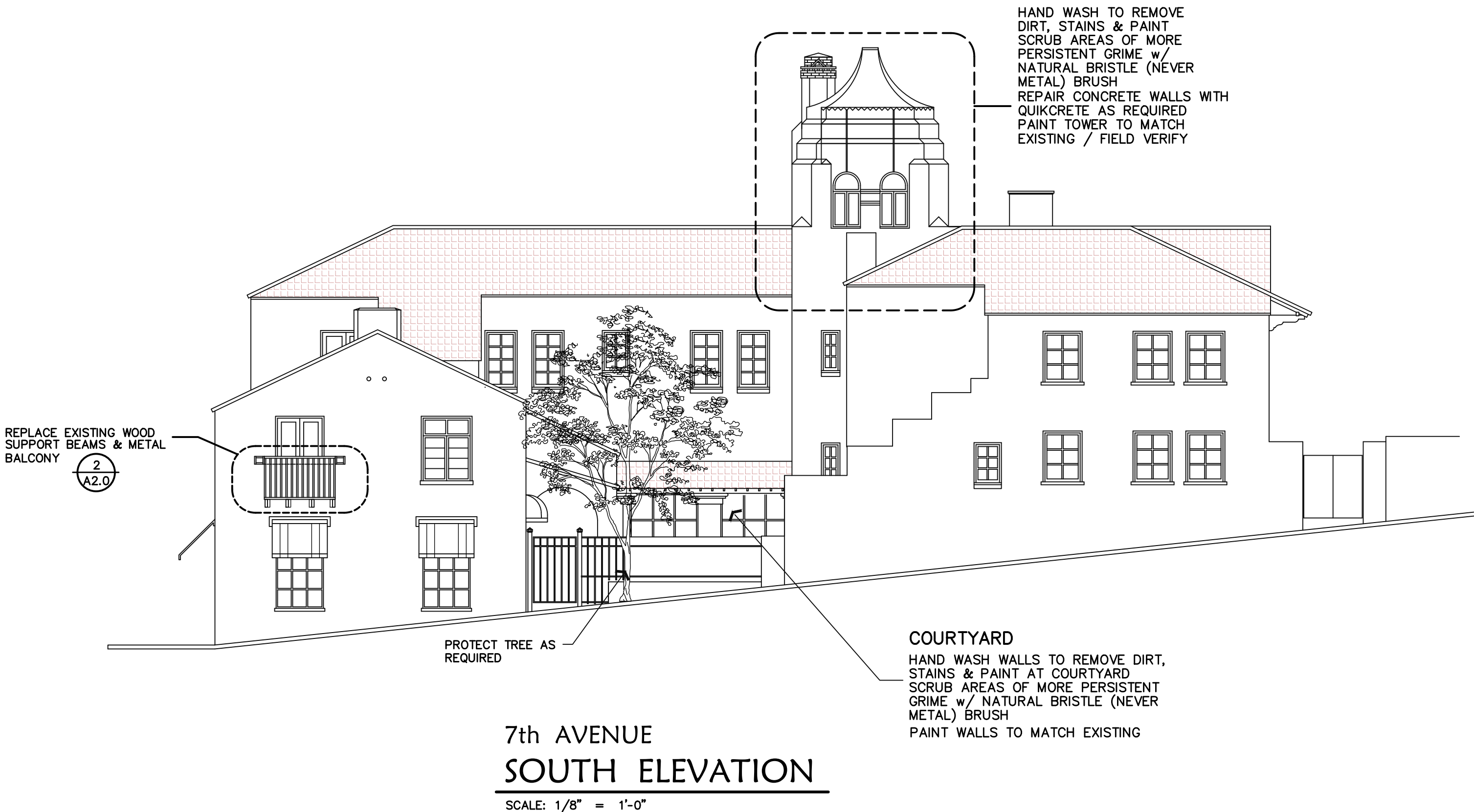
BALCONY SEE SHT. A1.0 & A2.0
REPAIR BALCONY AT ROOM 219
REPLACE FRAMING/TRIM AS REQUIRED
REPLACE (E) $\pm 36"$ HIGH GUARD RAIL
w/ (N) 42" HIGH GUARD RAIL
REPLACE (E) SOLID PICKETS $\pm 6"$ o.c.
w/ (N) SOLID PICKETS $\pm 4"$ o.c.

TOWER SEE SHT. A1.0 & A1.1
HAND WASH TO REMOVE DIRT,
STAINS & PAINT AT TOWER
SCRUB AREAS OF MORE PERSISTENT
GRIME w/ NATURAL BRISTLE (NEVER
METAL) BRUSH
REPAIR CONCRETE WALLS WITH
QUIKCRETE AS REQUIRED. PAINT
TOWER TO MATCH (E) FIELD VERIFY

TEMPORARY REMOVE 6'-0" WIDE
AREA OF (E) ROOF TILE ON
ON (3) SIDES FOR SCAFFOLDING.
REPAIR WATERPROOFING AFTER
SCAFFOLDING IS REMOVED
BEFORE REINSTALLING (E)
ROOF TILES

INTERIOR COURTYARD SEE SHT. A1.1
EXISTING DOOR NEAR ELEVATOR TO BE
PROVIDED WITH A.D.A. PUSH PLATE POWER
DOOR OPERATOR

COURTYARD SEE SHT. A1.0
HAND WASH WALLS TO REMOVE DIRT,
STAINS & PAINT AT COURTYARD
SCRUB AREAS OF MORE PERSISTENT
GRIME w/ NATURAL BRISTLE (NEVER
METAL) BRUSH
PAINT WALLS TO MATCH EXISTING



7th AVENUE
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

CYPRESS INN INVESTMENT

BALCONY REPAIR

ROOM No. 219

MANDURRAGO & ASSOCIATES

P.O. BOX 1504 CARMEL, CA. 93921
PHONE: 831.535-0709
EMAIL: CHARLES@MANDURRAGO.NET

DRAWN BY: MANDURRAGO

DRAWING DATE: 1-30-25

REVISIONS:

PROJECT:

CYPRESS INN
LOT 18, 20 & 22
BLOCK 75
CARMEL-BY-THE-SEA
CA. 93921
APN 010-147-008-000

SHEET NUMBER:

A1.0

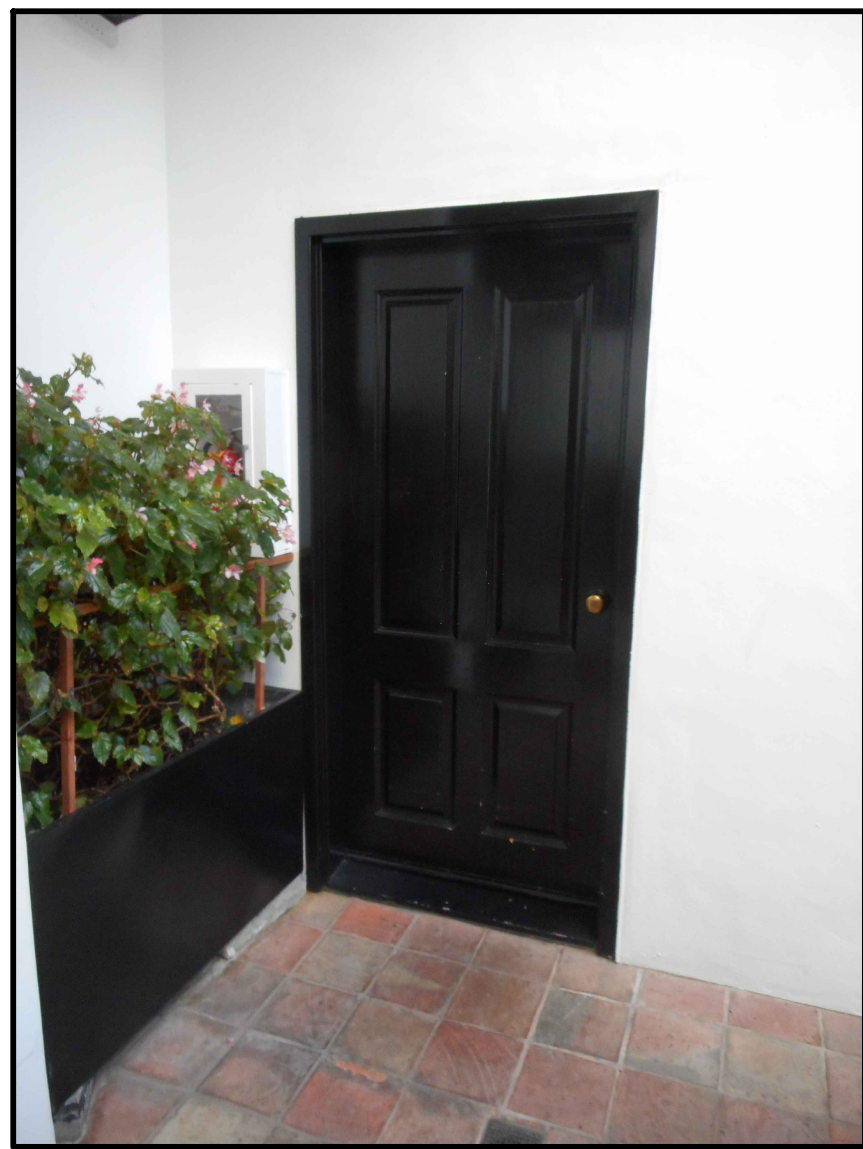


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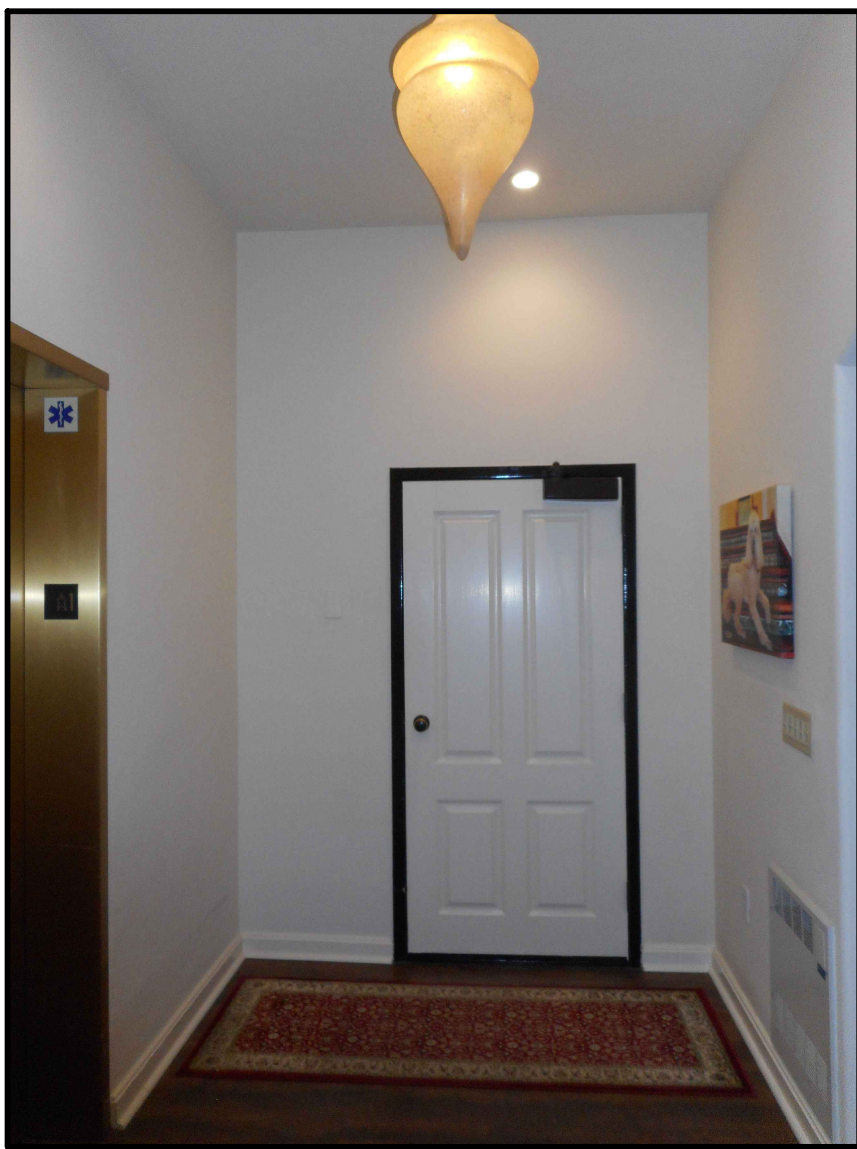


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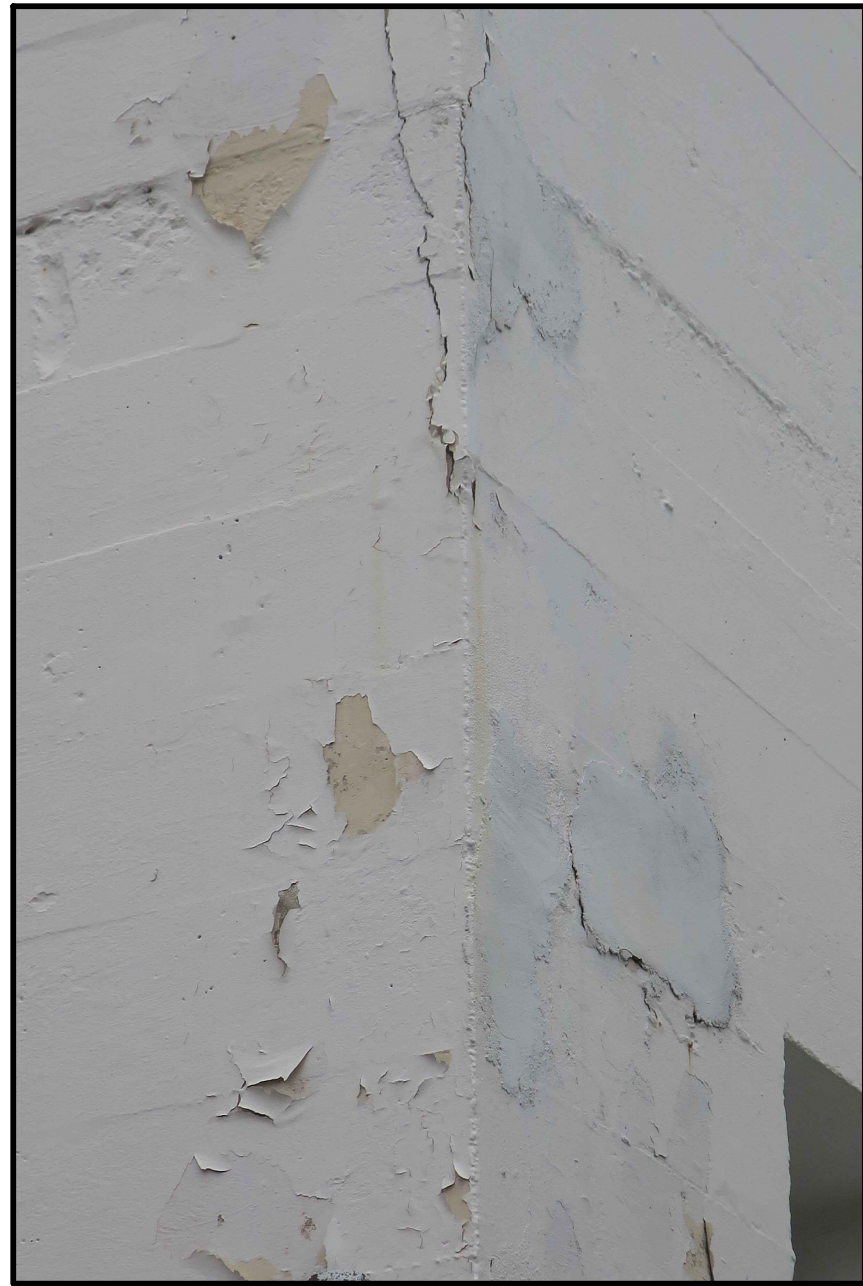


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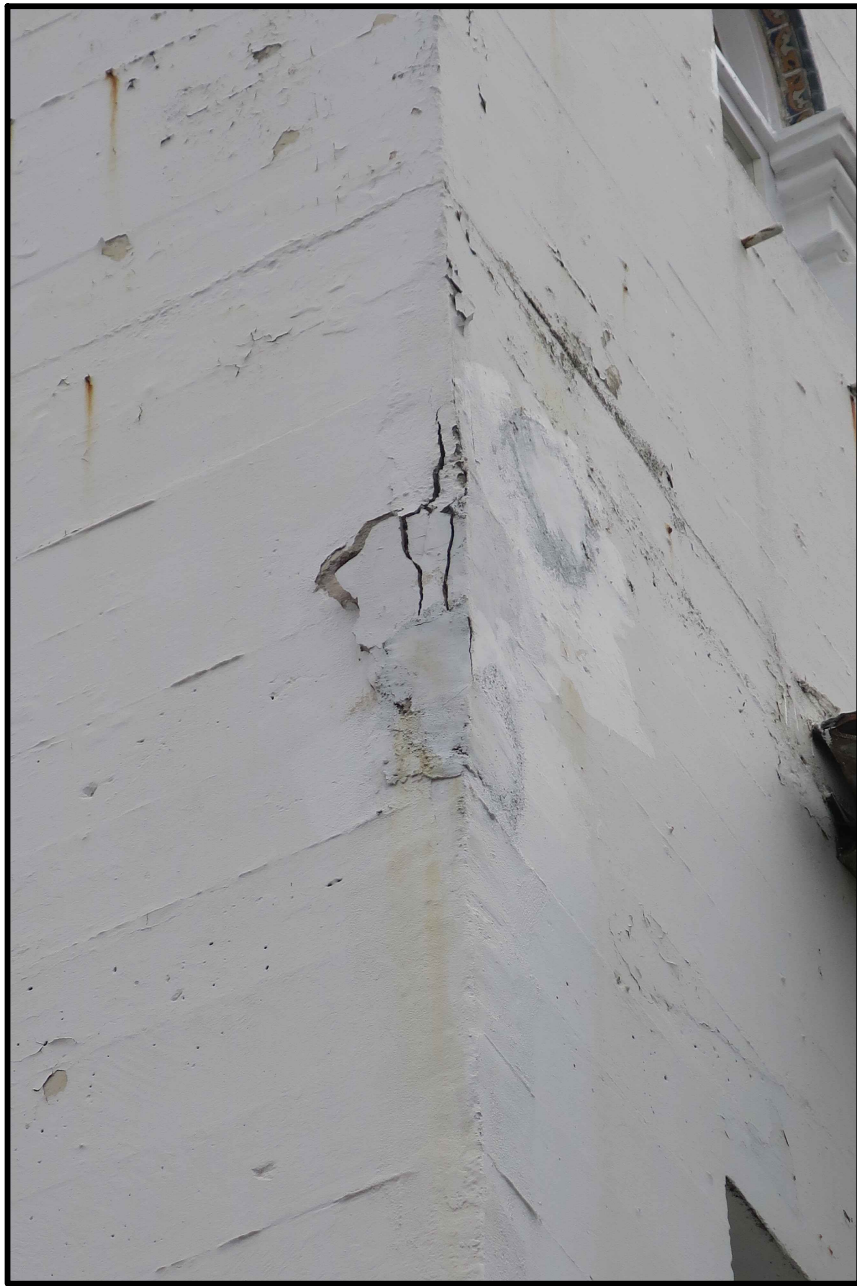


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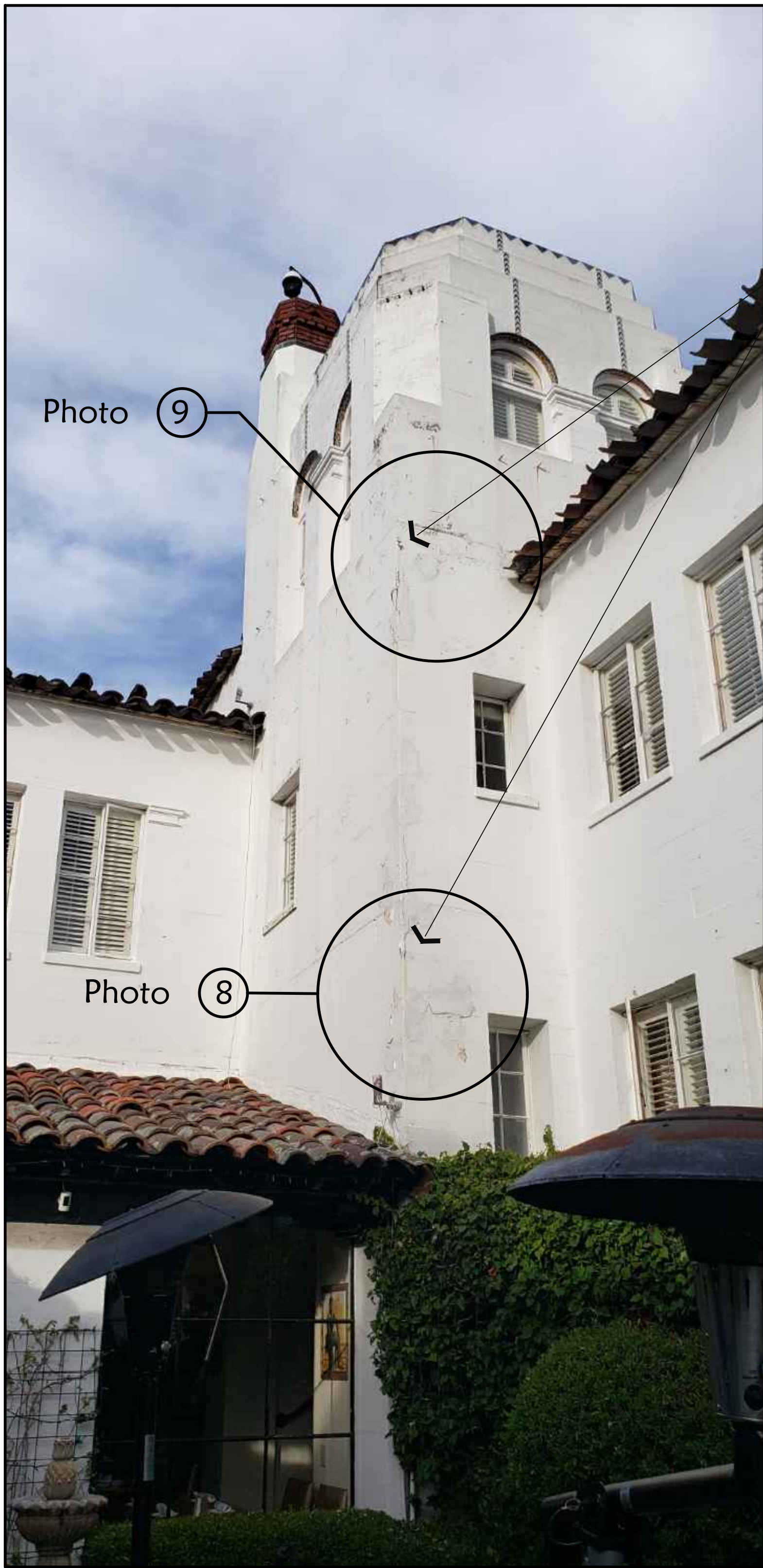


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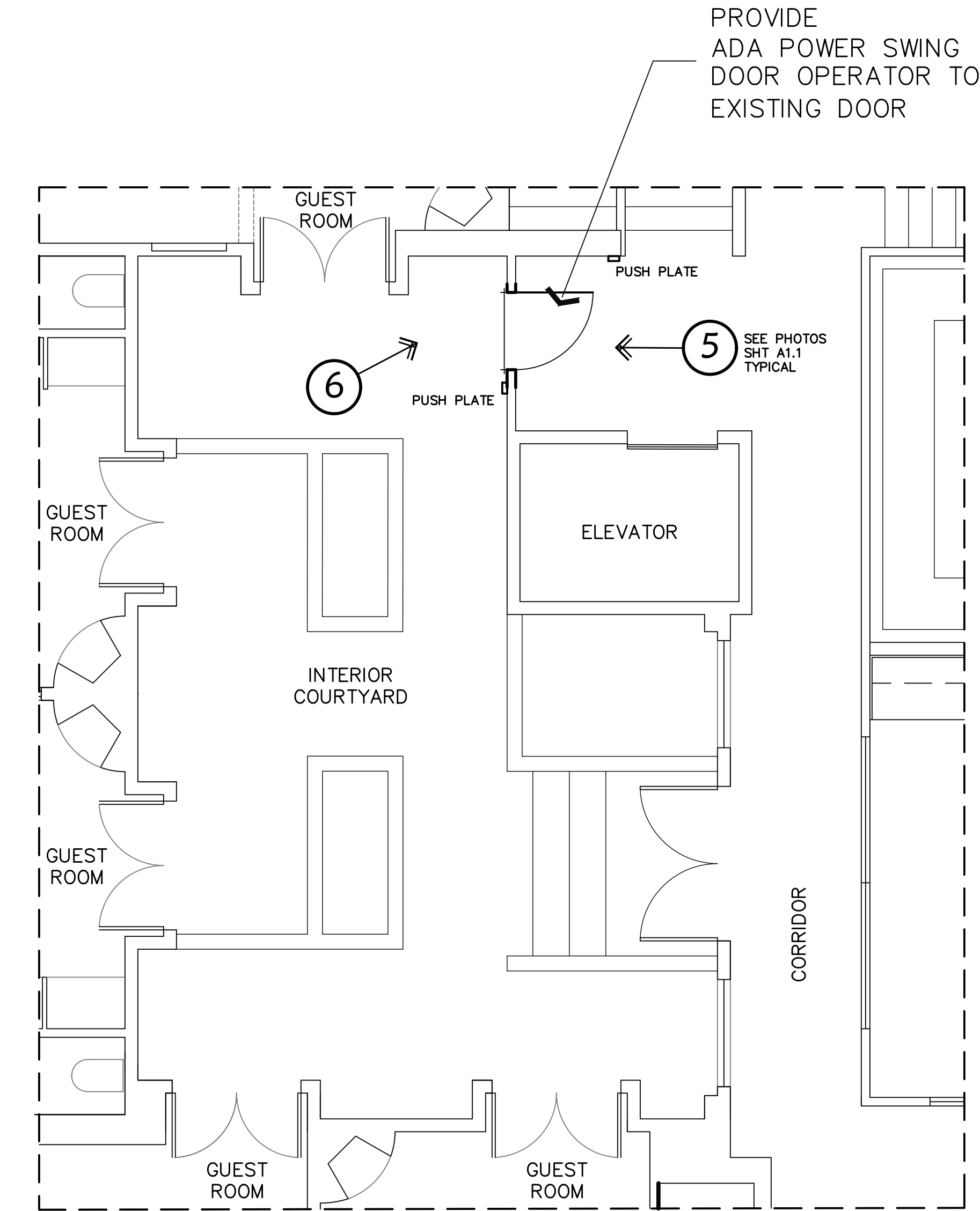
TOWER
NOT ALL AREAS SHOWN IN PHOTO

HAND WASH TO REMOVE
DIRT, STAINS & PAINT
SCRUB AREAS OF MORE
PERSISTENT GRIME w/
NATURAL BRISTLE (NEVER
METAL) BRUSH
REPAIR CONCRETE WALLS WITH
QUIKCRETE AS REQUIRED
PAINT TOWER TO MATCH
EXISTING / FIELD VERIFY

****HISTORIC PROPERTY****

**CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED**

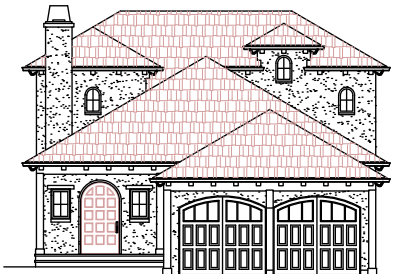
Permit #: DR 24349 (Cypress Inn Investments)
Date Approved: 4/11/2025
Planner: K. Wallace



1
A1.1
**PARTIAL
FLOOR PLAN**
SCALE: 1/8" = 1'-0"

CYPRESS INN INVESTMENT
BALCONY REPAIR
ROOM No. 219

MANDURRAGO
&
ASSOCIATES



P.O. BOX 1504 CARMEL, CA. 93921
PHONE: 831.535-0709
EMAIL: CHARLESEMANDURRAGO.NET

DRAWN BY: MANDURRAGO
DRAWING DATE: 1-30-25

REVISIONS:
△
△
△
△

PROJECT:

CYPRESS INN
LOT 18, 20 & 22
BLOCK 75
CARMEL-BY-THE-SEA
CA. 93921
APN 010-147-008-000

SHEET NUMBER:

A1.1



LAS MEJORES PRÁCTICAS DE CONSTRUCCIÓN

Los proyectos de construcción deben implementar las Mejores Prácticas de Construcción dadas en esta página, ya que son pertinentes a su proyecto todo el año.



MANEJO DE MATERIALES Y RESIDUOS

Materiales no peligrosos

- Haga un borde alrededor y cubra con lomas impermeables las pilas de arena, tierra u otros materiales de construcción cuando haya pronóstico de lluvia o si no se están usando activamente. Para mejor resultado, esto debería hacerse diariamente al final del día de trabajo durante toda la construcción cuando sea posible.
- Use (pero no abuse) agua reclamada para controlar el polvo.

Materiales peligrosos

- Píngales etiqueta con nombre a todos los materiales y residuos peligrosos (como pesticidas, pintura, diluyentes, solventes, gasolina, aceite y anticongelante) de acuerdo con las regulaciones de la ciudad, del condado, del estado y federales.
- Ponga los materiales y residuos peligrosos en contenedores de manera segura que no pierdan, píngales luego en contenedores secundarios apropiados y cubralos después de cada día de trabajo, o durante la temporada lluviosa, o cuando se haya pronosticado lluvia.
- Al aplicar los materiales peligrosos, siga las instrucciones del fabricante y tenga cuidado de no usar más de lo necesario. No aplique productos químicos en el exterior cuando se haya pronosticado lluvia en las próximas 24 horas.
- Asegúrese de desahucarse apropiadamente de todos los residuos peligrosos.

Entradas y perímetros de los sitios de construcción

- Establezca y mantenga control efectivo de los perímetros y establezca todas las entradas y salidas del sitio de construcción

- Mantenga suficientemente la erosión y la descarga de sedimentos del sitio para que no salgan del sitio.
- Barra o aspire inmediatamente lo que haya pasado a la calle y controle la fuente de origen para prevenir que siga sucediendo. Nunca lave con manguera las calles para limpiar lo que haya sido acarreado o llevado del sitio de construcción.

Gestión de residuos

- El Código de Construcción Ecológica de California requiere que todos los proyectos permitidos de construcción, demolición y adiciones o alteraciones, residenciales o no residenciales, reciclen o salven un mínimo del 65% de los materiales de construcción no peligrosos del proyecto.
- Cubra los contenedores de residuos de manera segura con lomas impermeables al término de cada día de trabajo y durante el tiempo de lluvias.
- Limpie o reemplace los excusados portátiles o inspecciónelos con frecuencia para ver que no pierdan o se derramen. Incorpore contenedor secundario y colóquelos lejos de los desagües de aguas pluviales.
- Deshágase de los residuos líquidos de pintura, solventes, aceites y líquidos de limpieza como materiales peligrosos (la compañía de Gestión de Residuos Monterey Regional Waste Management District, tiene una planta para residuos peligrosos del hogar que acepta estos artículos).

MANEJO DEL EQUIPO Y CONTROL DE DERRAMES

Mantenimiento y estacionamiento

- Diseñe un área especial, usando técnicas apropiadas de control de polución, para estacionar los vehículos y el equipo, y para almacenamiento.
- Realice las tareas mayores de mantenimiento, los trabajos de reparación y el lavado de vehículos y equipos fuera del sitio de construcción.
- Si es necesario ponerle gasolina a un vehículo o hacer reparaciones en el sitio, trabaje en un área bordeada, alejada de los desagües pluviales y sobre una bandeja de goteo de tamaño suficiente para contener los líquidos peligrosos que se derramen. Recicle o deshágase de los líquidos como materiales peligrosos.
- Si es necesario lavar los vehículos o equipos en el sitio de construcción, limpie los suelos con agua, en un área contenida que no permita que el agua de enjuague llegue a cunetas, calles, desagües de aguas pluviales o superficies acústicas (lagos, arroyos, etc.).
- No lave vehículos o equipos en el sitio de construcción usando jabones, solventes, desengrasadores, equipo de limpieza en seco, etc.
- La protección del conducto de entrada es el último punto de defensa de derrames. Desagües/ entradas que reciben aguas pluviales deben ser cubiertos o de otra manera protegidos contra sedimentos, tierra, barro u otras basuras, o contra descargas ilícitas, y debe incluir el control de caudales y la filtración, donde sea pertinente, de manera que no obstruya el tránsito o la seguridad.

Prevención y control de derrames

- Mantenga a mano en el sitio de construcción, en todo momento, los materiales para limpiar derrames (tampos, absorbentes, etc.).
- Inspeccione frecuentemente los vehículos y equipos para descubrir pérdidas de fluidos y repáralos inmediatamente. Use bandejas de goteo para recoger el líquido de la pérdida hasta que pueda hacer las reparaciones.
- Limpie los derrames o pérdidas inmediatamente y deshágase apropiadamente de los materiales de limpieza (vea las guías del Monterey Regional Waste Management District para ver los materiales peligrosos aceptados como desperdicio).
- No lave con manguera las superficies donde se hayan volcado líquidos. Use métodos en seco (materiales absorbentes, aserrín de cajas sanitarias para gatos, o trapos).
- Barra inmediatamente los materiales secos que se hayan desmenuado. No trate de deshacerse de ellos usando agua, ni de enterrarlos.
- Limpie los derrames en la tierra excavando la tierra contaminada y desahúcese correctamente de ella (vea las guías del Monterey Regional Waste Management District sobre el criterio para aceptar tierra contaminada).
- Comunique inmediatamente cualquier derrame significativo. La ley obliga a comunicar todos los derrames de materiales peligrosos, incluyendo el petróleo. Para comunicar un derrame: llame al 911.



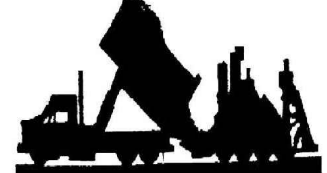
TRABAJO EN LA TIERRA Y SUELOS CONTAMINADOS

Control de erosión

- Planee trabajo de nivelación y excavación sólo cuando no vaya a llover.
- Establezca todas las áreas desnudas, instale y mantenga control de erosión provisorio (como tela de control de erosión o matriz de tejido pagado) hasta que se haya establecido la vegetación.
- Plante semillas o plantas para control de erosión en superficies en declive o donde no se planea la construcción inmediata.
- Limpie los suelos de los desagües de aguas pluviales, las cunetas, canales y cursos de drenaje, usando apropiadas técnicas de control de polución, como bolsas con grava, rollos de filtros, bordes, etc.
- No use agua para lavar pavimento de concreto y asfalto fresco.

Control de sedimento

- Proteja las rejillas de los desagües de aguas pluviales, las cunetas, canales y cursos de drenaje, usando apropiadas técnicas de control de polución, como bolsas con grava, rollos de filtros, bordes, etc.
- Prevenga que los sedimentos migren fuera del sitio instalado y manteniendo conductos de sedimentos, como rollos de fibra, cerca de sedimentos o estanques de sedimentos.
- Mantenga la tierra que se haya excavado en el sitio de construcción en un lugar donde no pueda ser acarreada a la calle.
- Proteja las entradas de desagües de aguas pluviales, canalinas, cunetas y cursos de drenaje con lomas impermeables cuando no estén en uso activo.
- Ponga sobre paletas los materiales de jardinería que puedan sufrir erosión. Cubra o guarde esos materiales cuando no sean activamente usados o aplicados.
- No continúe aplicando cualquier material de jardinería que pueda sufrir erosión por lo menos dos días antes de una lluvia pronosticada o durante tiempo lluvioso.



TRABAJO CON PAVIMENTO/ASFALTO

- Evite pavimentar o recurrir pavimento en temporada de lluvias, o cuando se haya pronosticado lluvia para antes que el nuevo pavimento haya tenido tiempo de secarse.
- Cubra las rejillas de los desagües de aguas pluviales y las bocas de sumideros antes de aplicar la capa de sellado, capa ligante, capa de lechada (slurry seal), capa final fluida, etc.
- Junte y recicle o deshágase apropiadamente del exceso de grava o arena abrasiva. NO las barra ni las empuje con agua a los desagües de aguas pluviales.
- No use agua para lavar pavimento de concreto y asfalto fresco.

Cortando con sierra y removiendo asfalto/concreto

- Cubra completamente o erija una barrera alrededor de las rejillas de desagües de aguas pluviales cuando corte con sierra. Use tela de filtro, filtros en las bocas de admisión, o bolsas de grava para evitar que la lechada entre en el sistema de desagües pluviales.
- Proteja las entradas de desagües de aguas pluviales, canalinas, cunetas y cursos de drenaje con lomas impermeables cuando no estén en uso activo.
- Levante con pala, absorba o aspire la lechada producida por la sierra y deshágase de todos los residuos tan pronto como haya finalizado en un sitio, o al terminar cada día de trabajo (lo que ocurra antes).
- Si la lechada producida por la sierra entra en un sumidero, límpielo inmediatamente.
- Si se observan cualquiera de las siguientes condiciones, analice la tierra para descubrir contaminación y comuníquese con la Junta Regional de Control de Calidad del Agua y con el inspector municipal local:
 - Condiciones inusuales en la tierra, descoloración u olor.
 - Tanques enterrados abandonados.
 - Pozos de agua abandonados.
 - Barriles, basuras o residuos enterrados.



APLICACIÓN DE CONCRETO, LECHADA DE CEMENTO Y ARGAMASA

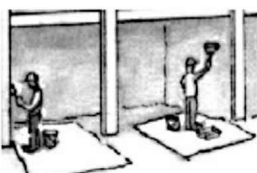
- Cuando el concreto, la lechada de cemento y la argamasa cubiertos, en paletas y alejados de las áreas de desagüe. Estos materiales nunca deben llegar a los desagües pluviales.
- Lave el concreto del equipo y de los camiones fuera del sitio de construcción o en un área contenida, para que no descarguen en la tierra subyacente o en las áreas de alrededor. Deje secar el concreto y deshágase de él como basura.
- Junte el agua con la que lavó el concreto de agregado expuesto y deshágase de ella apropiadamente fuera del sitio de construcción.



MATERIALES DE JARDINERÍA

- Contenga los materiales de jardinería ya apilados manteniéndolos cubiertos con lomas impermeables cuando no estén en uso activo.
- Ponga sobre paletas los materiales de jardinería que puedan sufrir erosión. Cubra o guarde esos materiales cuando no sean activamente usados o aplicados.
- No continúe aplicando cualquier material de jardinería que pueda sufrir erosión por lo menos dos días antes de una lluvia pronosticada o durante tiempo lluvioso.

* Adaptado con el permiso del Programa de Prevención de Polución del Agua del Condado de San Mateo.



PINTANDO Y REMOVIENDO PINTURA

Limpieza después de pintar

- Nunca lave los pinceles ni enjuague los tarros de pintura en la calle, en las cunetas, desagües pluviales o superficies de aguas (arroyos, lagos, etc.).
- Al terminar de usar pinturas a base de agua, quite lo más que pueda con la última pintura en el pincel. Enjuague los pinceles en un desagüe a las cloacas una vez que haya obtenido el permiso de las autoridades locales del sistema de tratamiento de aguas negras. Nunca eche pintura en un desagüe.
- Usando pinturas a base de aceite, pinte lo más que pueda con la última pintura en el pincel y limpie el pincel con diluyente o solvente en un envase apropiado. Filtre y vuelva a usar los diluyentes y solventes. Deshágase del residuo y del diluyente/solvente como desechos peligrosos.

Removiendo pintura

- Los residuos de productos químicos para remover pintura y los trozos y el polvo de pinturas marinas o de pinturas que contienen plomo o tributyltin, deben ser desechados como residuos peligrosos.
- Los trozos de pintura y el polvo de productos no peligrosos y removidos en seco o con ráfagas de arena pueden ser barridos o juntados en tela de plástico y echados a la basura.



EXTRACCIÓN DEL AGUA

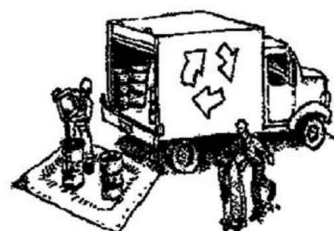
- Controle efectivamente toda el agua que corra al sitio, o dentro del sitio y la que corra hacia afuera originada en el sitio.
- Desvie toda el agua que venga hacia el sitio para que no llegue a las áreas disturbadas o de alguna otra manera asegúrese de proteger la calidad del agua para cumplir con las ordenanzas.
- Al extraer el agua, notifique y obtenga el permiso de la municipalidad local antes de descargar agua en la cuneta de una calle o en un desagüe de aguas pluviales. Píngale el permiso de filtración, o desvío a través de un depósito, o desvío a través de sedimentación y/o puede ser requerida la descarga en un desagüe cloacal.
- En las áreas que se saben contaminadas, se requiere análisis antes de volver a usar o descargar el agua subterránea. Consulte con el ingeniero y el personal municipal para determinar si es necesario el análisis y cómo interpretar los resultados. El agua subterránea contaminada debe ser tratada o acarreada fuera del sitio para su eliminación apropiada.

¡QUIENES CONTAMINEN LOS DESAGÜES DE AGUAS PLUVIALES PUEDEN RECIBIR MULTAS DE HASTA \$10,000 POR DÍA!



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.

- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Waste Management

- The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the project.
- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- Inlet protection is the last line of spill defense. Drains/inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.



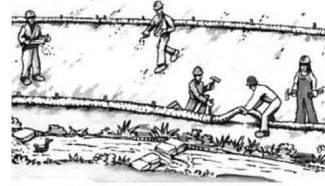
EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
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Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.



EARTHWORK & CONTAMINATED SOILS

Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filter, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.
- If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
 - Unusual soil conditions, discoloration, or odor
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.

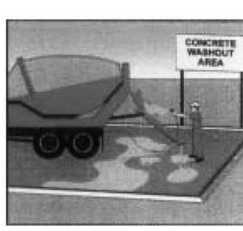


PAVING/ASFALTO WORK

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt or concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.



CONCRETE, GROUT & MORTAR APPLICATION

- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/ trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



LANDSCAPE MATERIALS

- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

****HISTORIC PROPERTY****

**CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED**

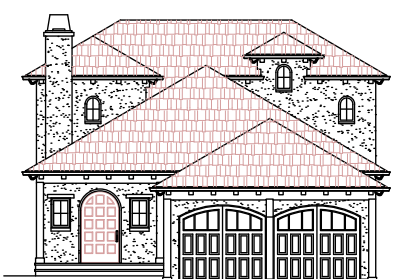
Permit #: DR 24349 (Cypress Inn Investments)

Date Approved: 4/11/2025

Planner: K. Wallace

CYPRESS INN INVESTMENT
BALCONY REPAIR
ROOM No. 219

MANDURRAGO
&
ASSOCIATES



P.O. BOX 1504 CARMEL, CA. 93921
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EMAIL: CHARLES@MANDURRAGO.NET

DRAWN BY: MANDURRAGO

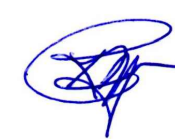
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REVISIONS:



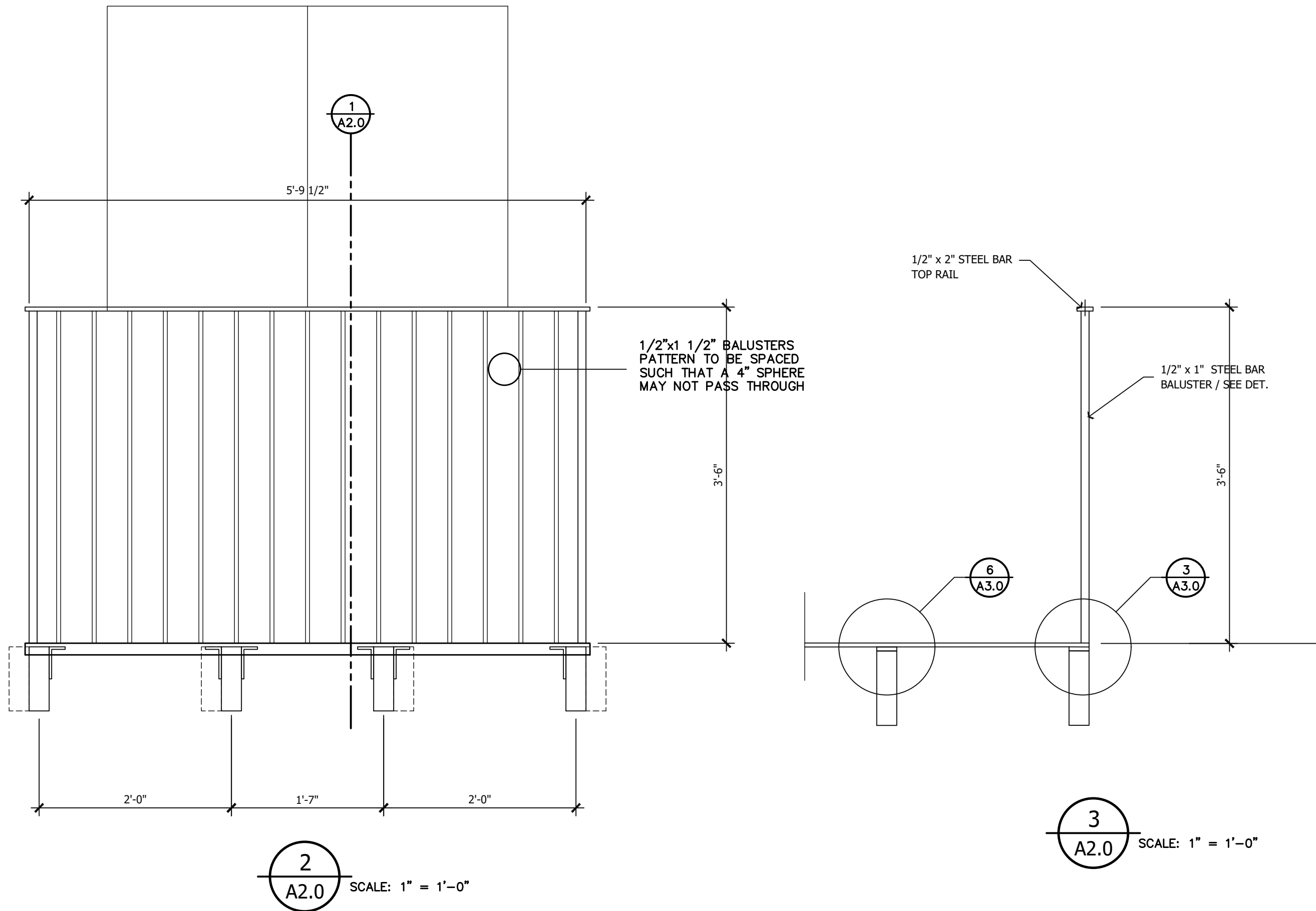
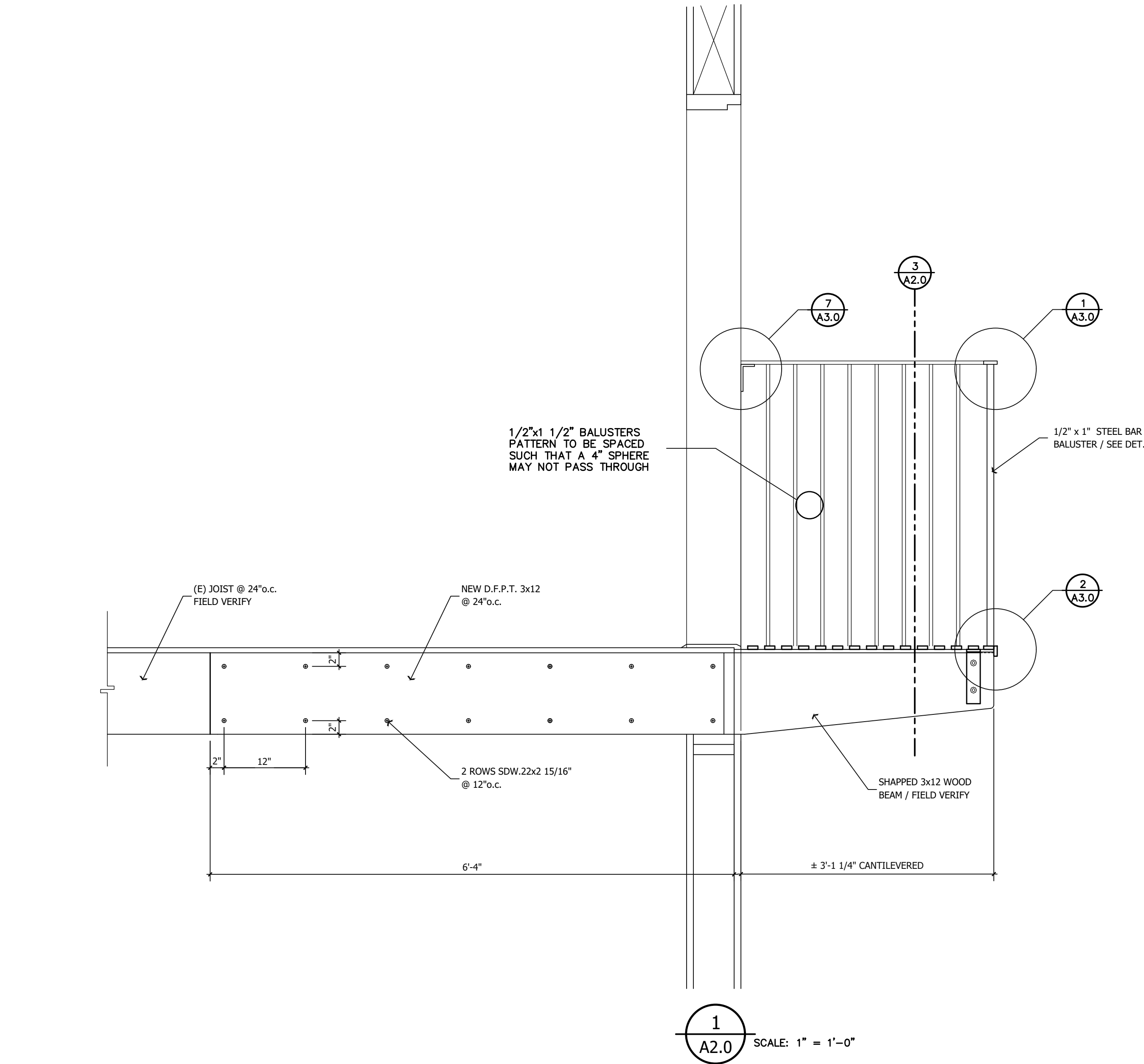
PROJECT:

CYPRESS INN
LOT 18, 20 & 22
BLOCK 75
CARMEL-BY-THE-SEA
CA. 93921
APN 010-147-008-000



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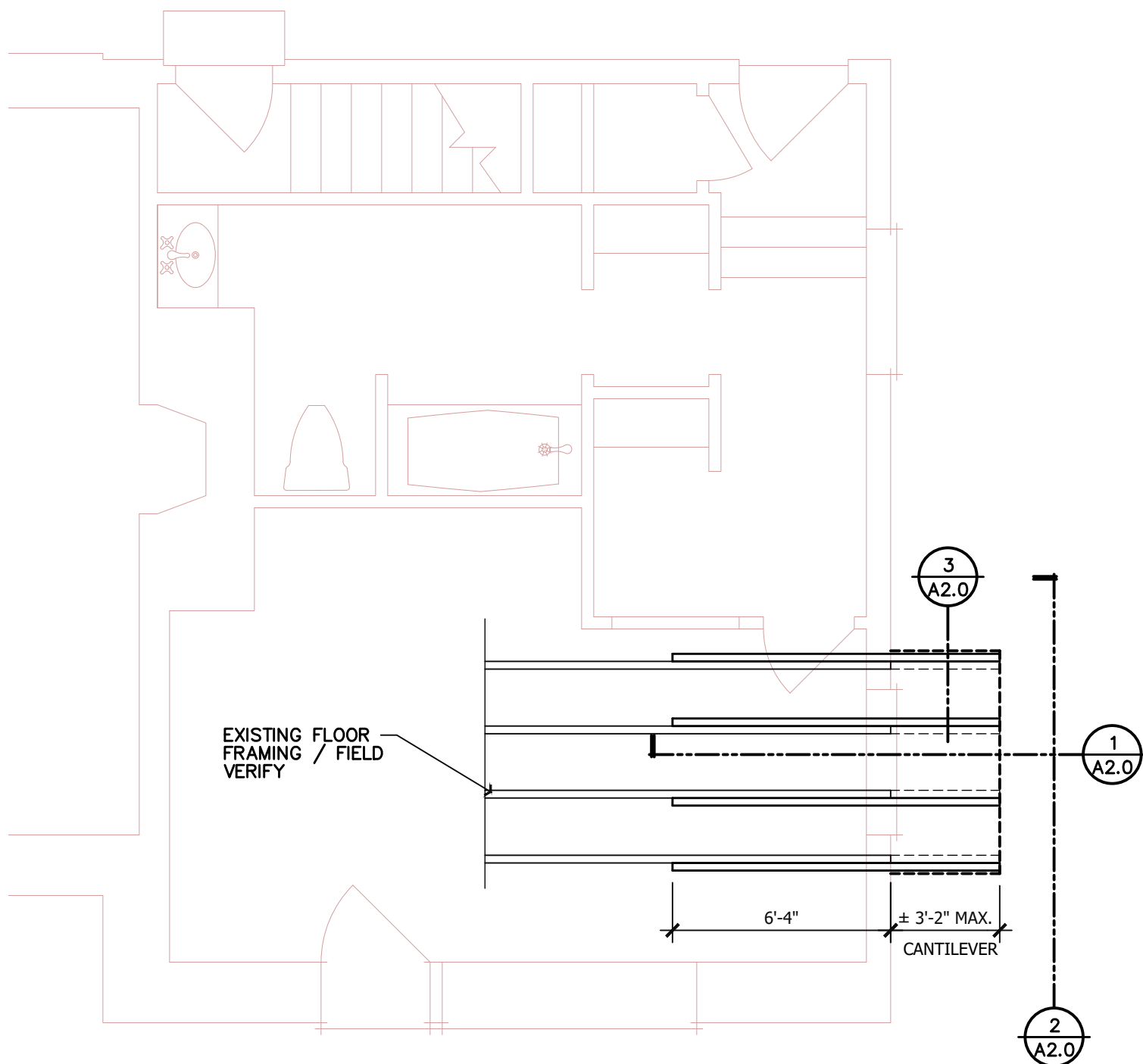
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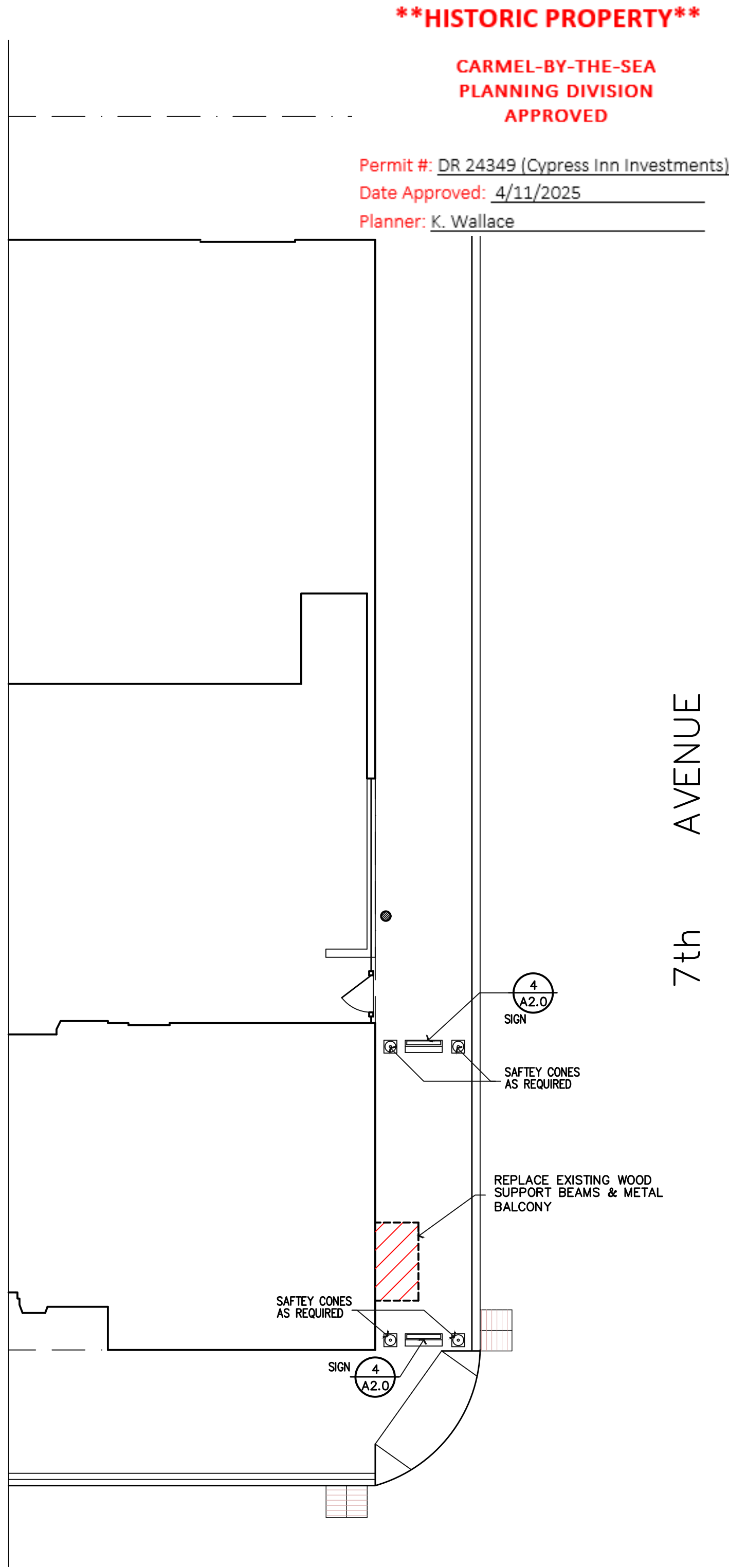
4
A2.0
TEMPORARY
SIDEWALK CLOSURE SIGN
SCALE: N.T.S.

DEMOLITION NOTES:

1. DEMOLITION PLAN AND NOTES SHOW GENERAL DEMOLITION REQUIREMENTS AND ARE NOT INTENDED TO BE A COMPLETE AND EXHAUSTIVE INDICATION OF ALL ITEMS TO BE REMOVED OR DEMOLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING MATERIALS REQUIRED TO PROVIDE FOR NEW CONSTRUCTION AS SHOWN OR AS INTENDED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEMOLISHED MATERIALS.
3. THE CONTRACTOR SHALL COORDINATE WITH OWNER ON ANY MATERIALS, EQUIPMENT, ECT. TO BE SALVAGED AND KEPT BY THE OWNER.
4. VERIFY CONDITION OF EXISTING FRAMING, SHEATHING, ROOFING, AND OTHER MATERIALS. NOTIFY THE DESIGNER OF ANY DAMAGED, DECAYED, OR SUBSTANDARD MATERIALS WHICH REQUIRE REPLACEMENT AND ARE NOT INDICATED ON THE DRAWINGS.
5. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY EXISTING CONDITIONS WHICH ARE IN VARIANCE WITH THESE PLANS OR WHICH WILL AFFECT THE DESIGN INTENT OF THE NEW CONSTRUCTION AS SHOWN IN THE DRAWINGS OR SPECIFICATIONS.
6. REMOVE INTERIOR FINISHES INCLUDING FLOORING, WALL FINISHES, BASES, CEILINGS AS REQUIRED FOR INSTALLATION OF NEW FINISHES.
7. TEMPORARILY CLOSE SIDEWALK WHILE REMOVING DEBRIS.



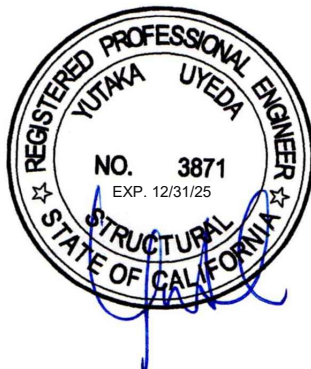
ROOM 219
BALCONY FRAMING PLAN
SCALE: 1/4" = 1'-0"



LINCOLN STREET

PARTIAL
SITE PLAN
SCALE: 1/8" = 1'-0"

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(831) 373-3181 FAX:(831)373-3188



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CARMEL-BY-THE-SEA
PLANNING DIVISION
APPROVED

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CYPRESS INN INVESTMENT

BALCONY REPAIR

ROOM No. 219

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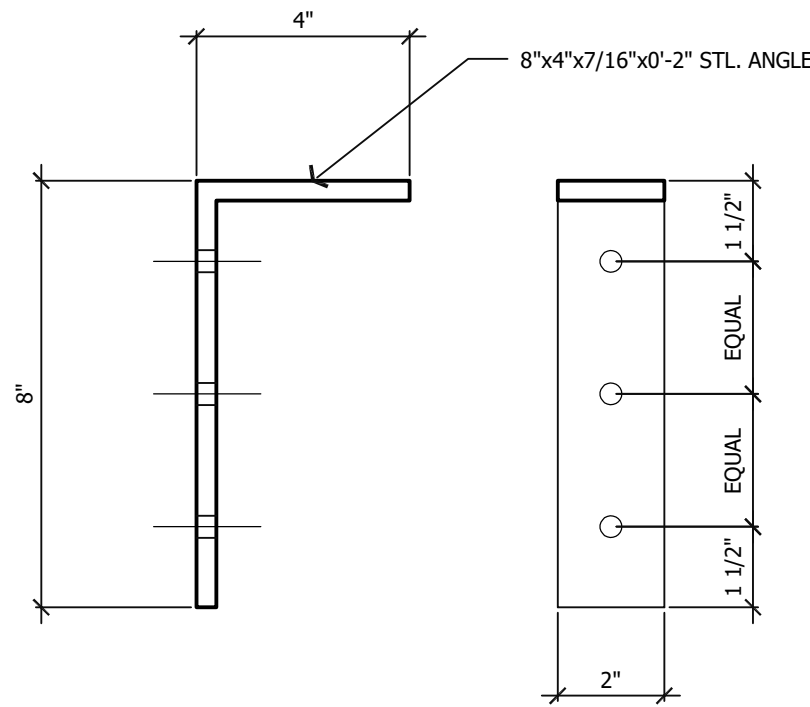
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DRAWING DATE: 1-30-25

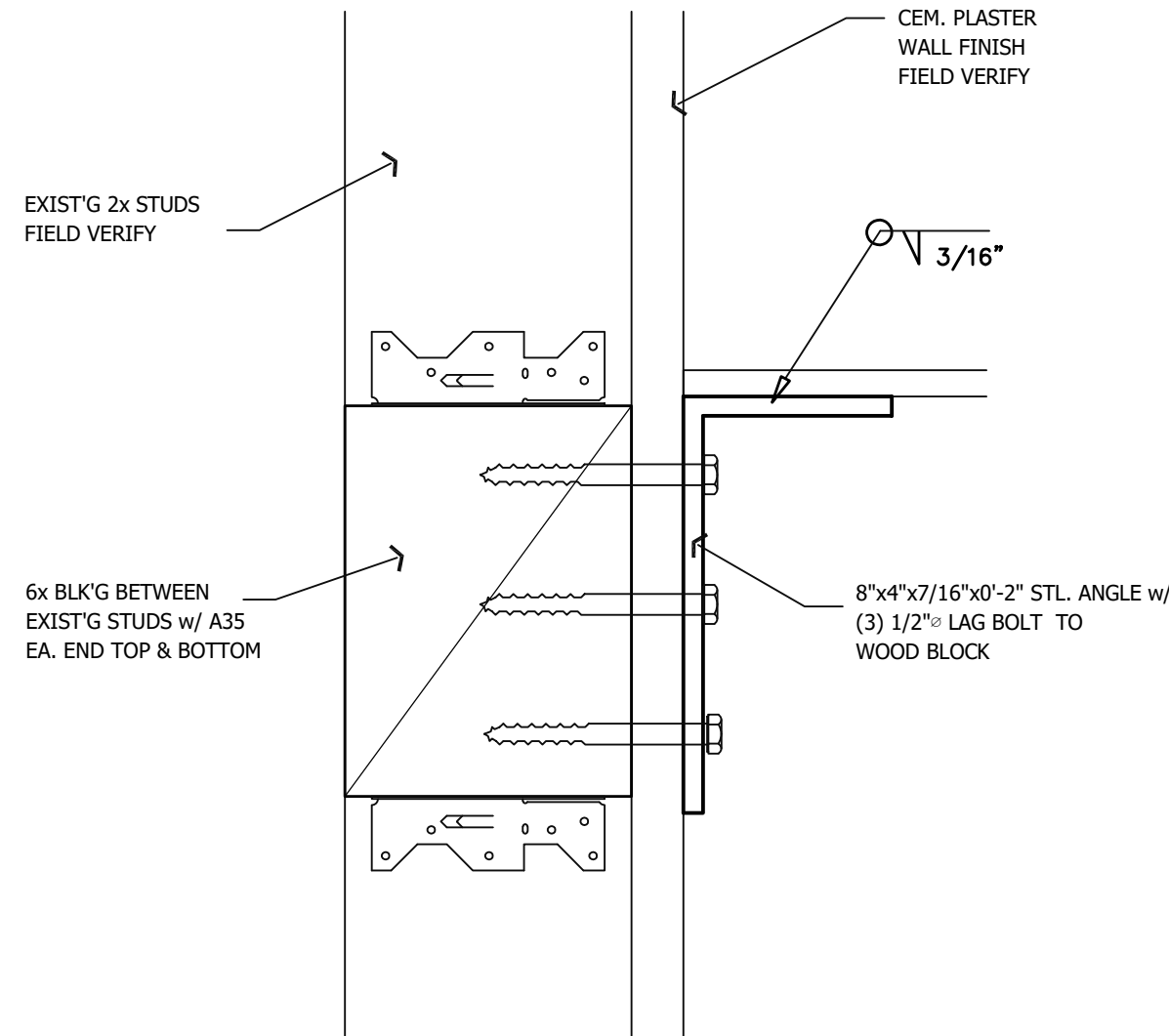
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PROJECT:
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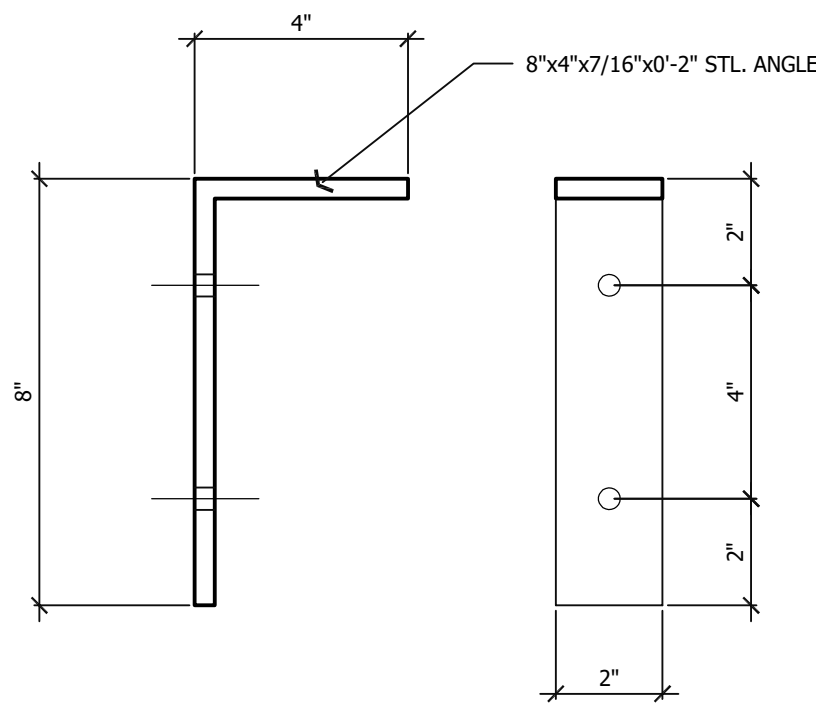
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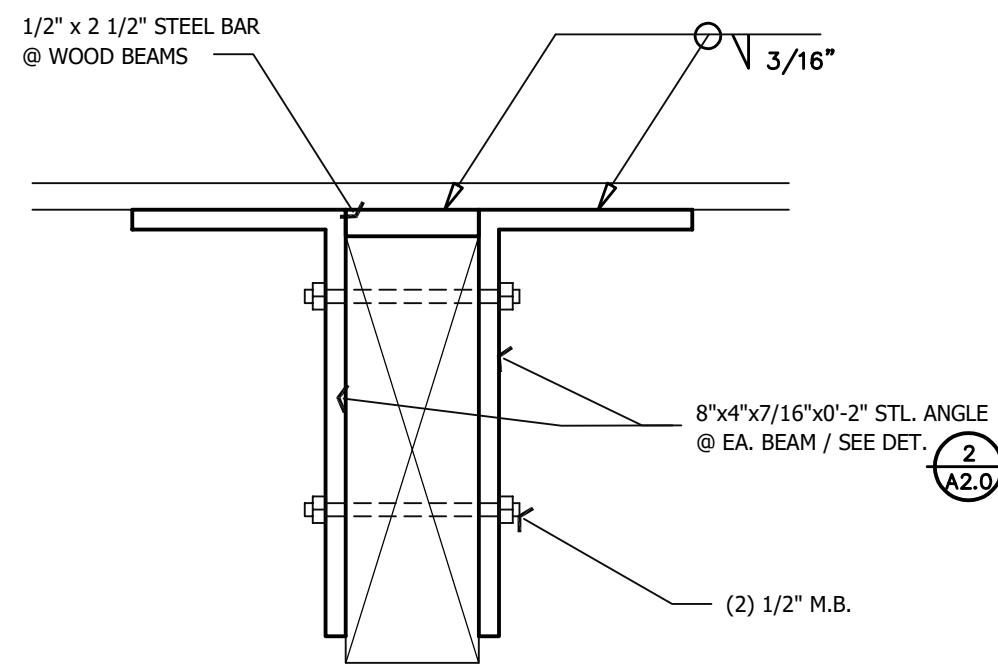
B ANGLE @ TOP RAIL / WALL



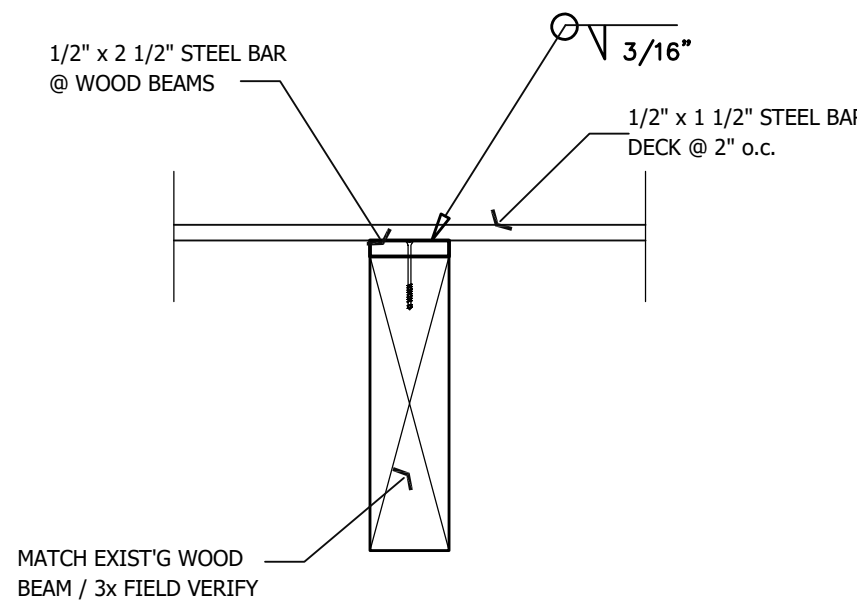
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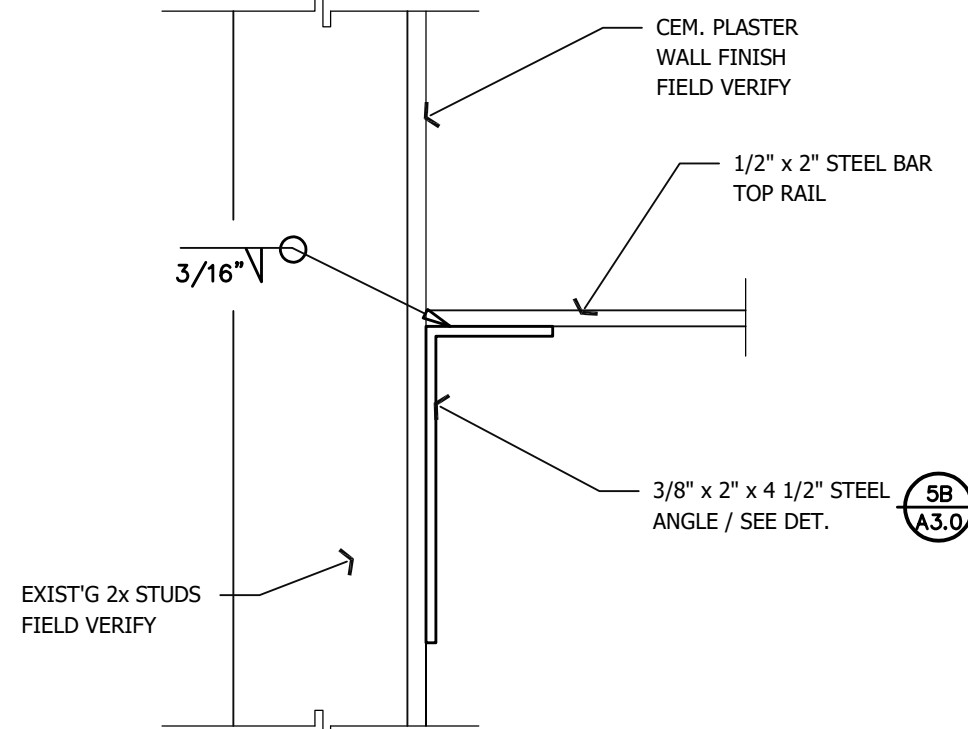
B ANGLE @ Beam



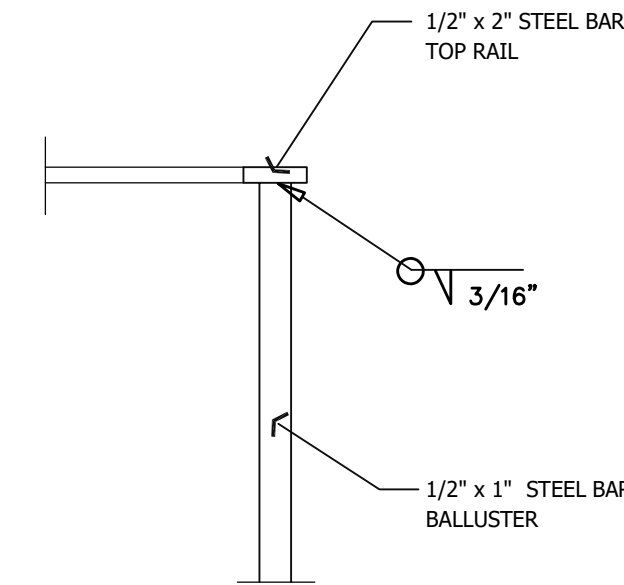
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A3.0 SCALE: 6" = 1'-0"



6
A3.0 SCALE: 3" = 1'-0"



4
A3.0 SCALE: 3" = 1'-0"



1
A3.0 SCALE: 3" = 1'-0"

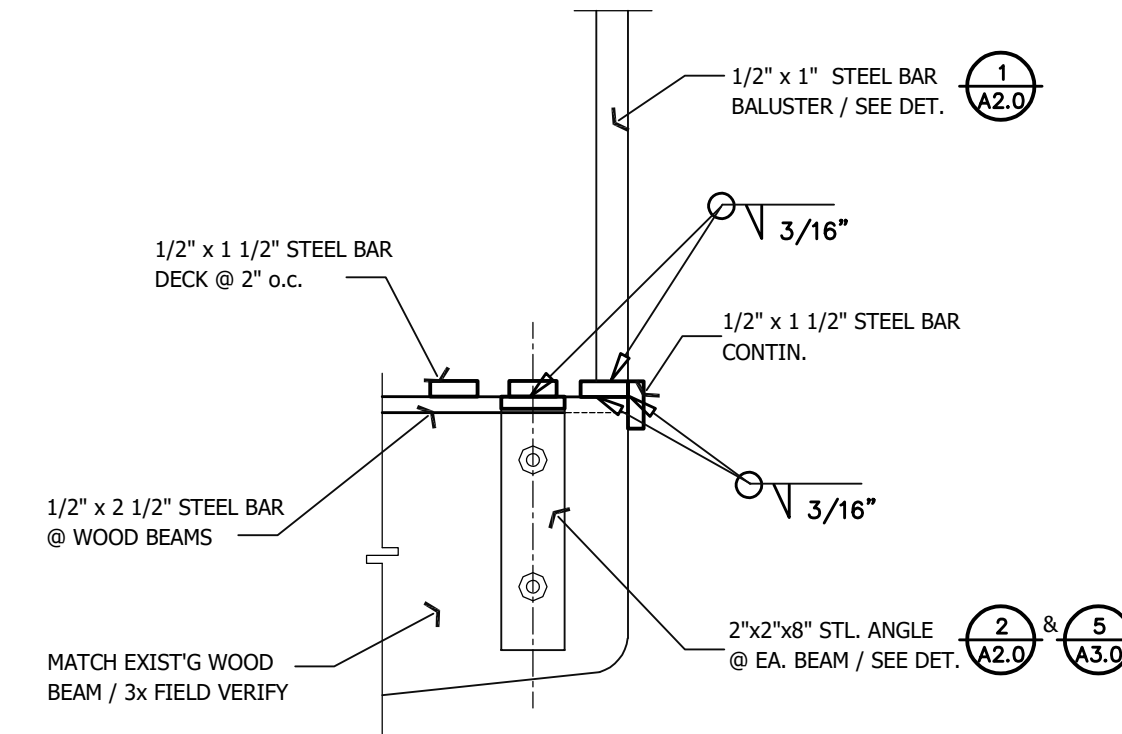
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PLANNING DIVISION
APPROVED**

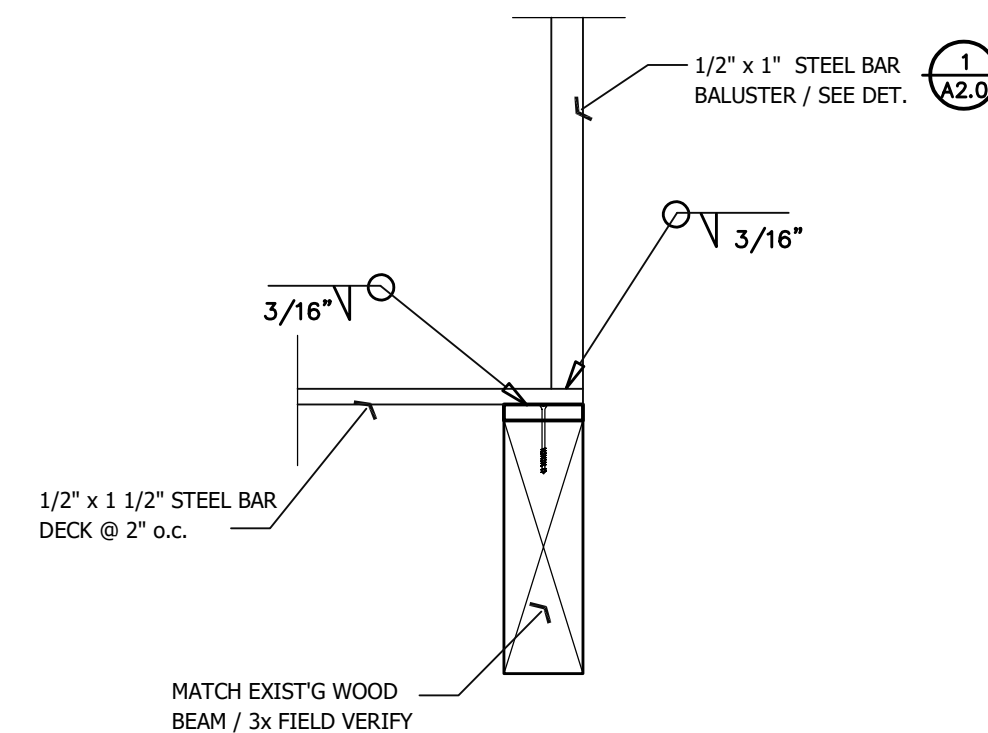
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Planner: K. Wallace



2
A3.0 SCALE: 3" = 1'-0"



3
A3.0 SCALE: 3" = 1'-0"

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CYPRESS INN INVESTMENT BALCONY REPAIR ROOM No. 219

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