



## NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

**Planning Case #:** Design Review 23278

**Owner Name:** CARL CHERRY FOUNDATION

**Case Planner:** Katherine Wallace, Associate Planner

**Date Posted:** \_\_\_\_\_

**Date Approved:** 06/20/2024

**Project Location:** NW Corner of Guadalupe and 4th Avenue

**APN #:** 010024013000      **BLOCK/LOT:** 40/ALL LOTS 15,17,18,19,20

**Applicant:** Bob Walker

**Project Description:** Demolition of an existing 300-square-foot brick patio; 36-square-foot theatre building storage closet; and 360-square-foot art studio building to accommodate a 775-square-foot new art studio building at the historic "Carl Cherry Center for the Arts" located at the northwest corner of Guadalupe Street and 4th Avenue in the Single-Family Residential (R-1) District. APN: 010-024-013-000.

**Can this project be appealed to the Coastal Commission?** Yes  No

*Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.*

**CONDITIONS OF APPROVAL**

No.	Standard Conditions
1.	<p><b>Authorization.</b> This approval of Design Review application DR 24278 (Carl Cherry Foundation) authorizes demolition of an existing 300-square-foot brick patio; 36-square-foot theatre building storage closet; and 360-square-foot art studio building to accommodate a 775-square-foot new art studio building at the historic “Carl Cherry Center for the Arts” located at the northwest corner of Guadalupe Street and 4th Avenue in the Single-Family Residential (R-1) District, APN: 010-024-013-000, as depicted on plans stamped approved and on file in the Community Planning and Building Department, unless modified by the conditions of approval contained herein.</p>
2.	<p><b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Community Planning and Building Department, the Planning Commission, and/or Historic Resources Board, as appropriate.</p>
3.	<p><b>Permit Validity.</b> In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.</p>
4.	<p><b>Fire Sprinklers - Residential.</b> Additions, alterations, or repairs to existing structures that involve the addition, removal, or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require the installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135).</p>
5.	<p><b>Modifications.</b> The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to final inspection.</p>
6.	<p><b>Water Use.</b> Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this permit will be scheduled for reconsideration, and appropriate findings will be prepared for review and adoption by the Planning Commission.</p>
7.	<p><b>Exterior Revisions to Planning Approval Form.</b> All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the “<a href="#">Revisions to Planning Approval</a>” form on file in the Planning and Building Department. Any modification incorporated into construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.</p>
8.	<p><b>Conflicts Between Planning Approvals and Construction Plans.</b> It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning &amp; Building Director or their designee.</p> <p>When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City’s attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans</p>

	and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.
9.	<b>Skylights &amp; Skylight Shades.</b> Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer’s specifications for all skylights (new and/or replaced) and skylight shades. Skylights shall be low-profile and use non-reflective glass to minimize light and glare visible from adjoining properties. Skylight flashing shall match the roof color. Manual or automatic shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness.
10.	<b>Exterior Lighting.</b> Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer’s specifications, including illumination information, for all exterior light fixtures. All fixtures shall be shielded and down-facing.  Exterior wall-mounted lighting shall be limited to 25 watts or less (incandescent equivalent or 375 lumens) per fixture and shall be installed no higher than 10 feet above the ground or walking surface.  Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent or 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used as accent lighting, nor shall it be used to illuminate trees, walls, or fences. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property and outdoor living spaces.
11.	<b>Landscaping.</b> All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City’s recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.
12.	<b>Tree Removal.</b> Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.
13.	<b>Tree Protection Measures.</b> Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. <ul style="list-style-type: none"> <li>● Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.</li> <li>● Excavation within 6 feet of a tree trunk is not permitted.</li> <li>● No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree.</li> <li>● Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.</li> <li>● Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.</li> <li>● The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5’ above the soil line, whichever is greater.</li> </ul>

	<p>Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.</p> <ul style="list-style-type: none"> <li>• If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.</li> </ul> <p>If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.</p>
14.	<p><b>Indemnification.</b> The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.</p>
15.	<p><b>USA North 811.</b> Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)</p>
16.	<p><b>Hazardous Materials Waste Survey.</b> Prior to the issuance of a demolition permit, the Applicant shall submit a hazardous materials waste survey to the Building Division in conformance with the Monterey Bay Unified Air Pollution Control District.</p>
17.	<p><b>Drainage Plan.</b> Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning &amp; Building and Public Works Departments a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused on one corner of the property; infiltration features must be sized appropriately and located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas.</p>
18.	<p><b>BMP Tracking Form.</b> Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning &amp; Building and Public Works Departments a completed BMP Tracking form.</p>
19.	<p><b>Erosion and Sediment Control Plan.</b> Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning &amp; Building and Public Works Departments an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access.</p>
20.	<p><b>Conditions of Approval.</b> Prior to the issuance of a building permit, these signed Conditions of Approval shall be printed on a full-size sheet within the construction plan set submitted to the Building Division.</p>
<b>Special Conditions</b>	
21.	<p><b>Building Permit.</b> The applicant shall obtain a Building Permit from the Planning and Building Department.</p>
22.	<p><b>Conditions of Approval Acknowledgement.</b> Prior to the issuance of a building permit, a completed <a href="#">Conditions of Approval Acknowledgment</a> form shall be included in the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor.</p>
23.	<p><b>Pre-construction Meeting.</b> The contractor overseeing the project shall schedule a pre-</p>

	construction meeting with the project Planner for the purpose of reviewing the conditions of approval and expectations during construction.
24.	<b>Lighting.</b> The applicant shall revise the lighting to comply with the City's limit of 375 lumens for exterior LED lighting (or 25 watts if it is incandescent). The lamp shall be shielded and down-facing. The applicant shall print the new proposed lighting and product specifications on the building plans.
25.	<b>Exterior Doors.</b> Prior to issuance of a building permit, the Applicant shall revise the plans to ensure consistency regarding the three doors proposed for the south elevation.
26.	<b>Existing Siding.</b> The existing siding shall be removed and re-used as siding for the new studio building, if possible.
27.	<b>Roof Material.</b> The Applicant shall provide a sample of the proposed roof material for review and approval by the Planning Division prior to issuance of a building permit. There should be a ballast (ex. gravel) applied over the top to maintain a natural appearance. The color selected should mimic wood, and shall not be white or black.
28.	<b>Site Coverage.</b> This approval does not authorize the installation of new site coverage elements, ie: gravel, brick, stone walkways, etc.

Acknowledgment and acceptance of conditions of approval:

\_\_\_\_\_  
 Property Owner Signature

\_\_\_\_\_  
 Printed Name

\_\_\_\_\_  
 Date

\_\_\_\_\_  
 Applicant Signature

\_\_\_\_\_  
 Printed Name

\_\_\_\_\_  
 Date

**CARMEL-BY-THE-SEA  
PLANNING DIVISION  
APPROVED**

Carl Cherry Foundation  
Proposed project description    **Permit #:** DR 23-278 (Carl Cherry Foundation)  
New Art Studio                      **Date Approved:** 6/20/2024  
Revised 03-03-2024.                **Planner:** K. Wallace

The proposed project is to rebuild the existing Art Studio located on the north side of the property. The existing structure is located 1 foot from the property line. The new structure will be 3 feet from the side property line and five feet from the rear property line.

The structure will be built in the same manner as the existing structure, double wall, wood frame building. The existing siding will be removed and replaced onto the new building to maintain the same look to the building. The roof will be composition rolled roofing. There will be no plumbing in this building. A new electrical sub panel will be installed and all new electrical. The heating will be electrical wall heaters. The foundation will be a slab concrete. The exterior walls and ceiling will be insulated per building code.

The windows will be from a Company Jeldwen they will be wooden windows with Aluminum cladding frames holding double pane glass. The upper portion of each window will be fixed, and the lower portion will be an awning window for ventilation. The window dimensions will be 48" wide and 55" tall.

The skylights will be fixed (non-opening) windows made be Velux. The frames are of dark grey aluminum holding double pane glass. The dimensions are 46.5" by 72.5 "There will be two of these skylights. These skylights will have interior shades as required.

The doors will be handmade wood solid core doors. There will be two access doors on the East side of the building entering into the studios each 80" tall and 30" wide. The door into the storage area will be 80" tall and 48" wide. The front double door will also be handmade of wood and be 80" tall by 72" wide. The three south side entrance doors will have a small ADU compliant ramp.

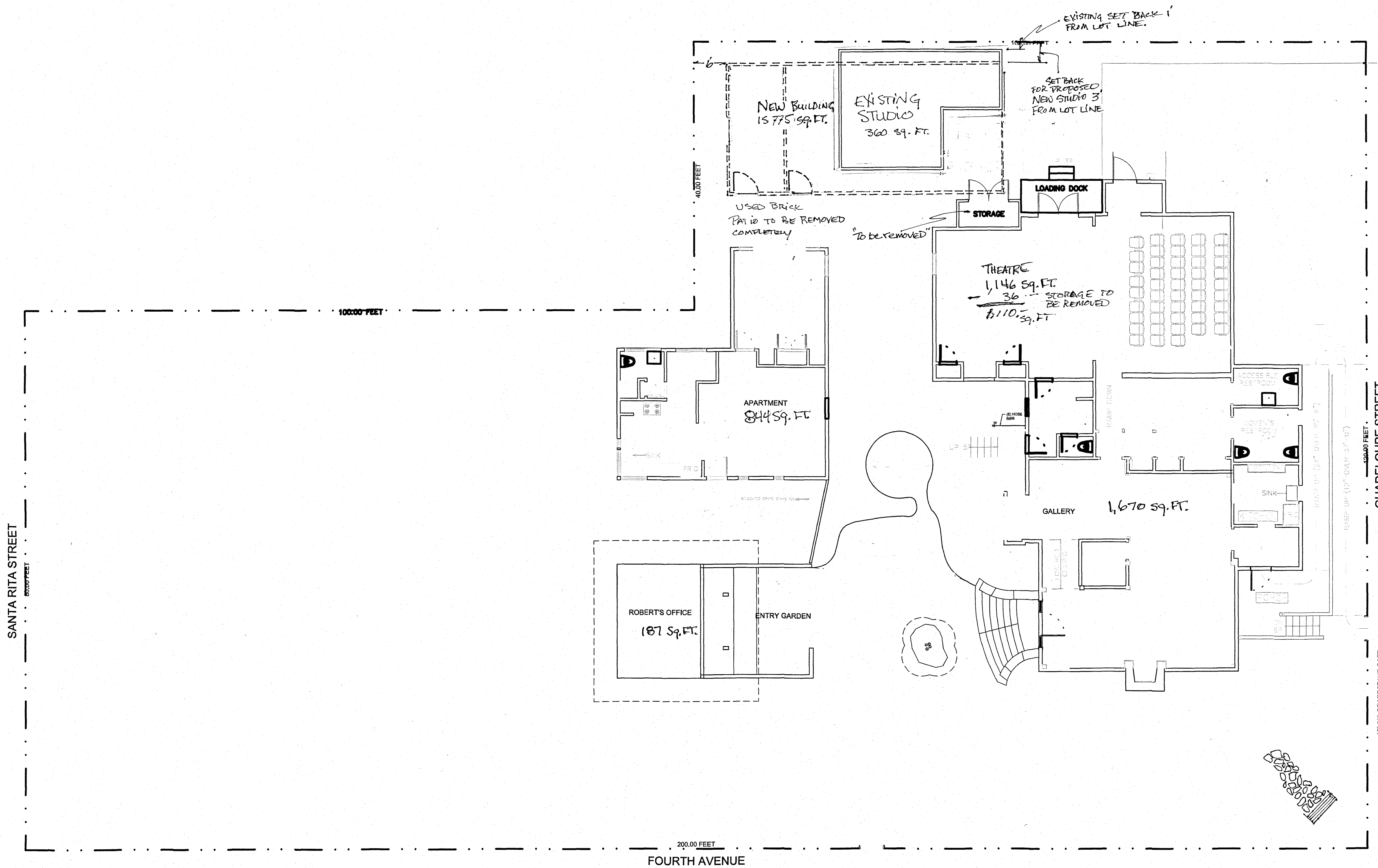
The roofing material will be rolled roofing material like a composition shingle material. Roof angle is 15% There will be a rain gutter running the length of the Northside of the building to manage rain runoff.

The exterior of the building will be redwood Board and Bat style to match the original exterior of the building. There will be exterior lights located at each of the exit doors to the building.

The building will be equipped with Fire Sprinklers.

The interior walls with be Drywall over insulation. The floors will be concrete. And the interior lights will be 3" can lights LED.

There will be no plumbing in this building other than the fire sprinklers.



SITE PLAN  
1/8" = 1'-0"

PAGE 1 OF 3

NOTE:  
EXISTING WALLS ——— TO BE REMOVED, STUDIO ONLY.  
PROPOSED WALLS - - - - -

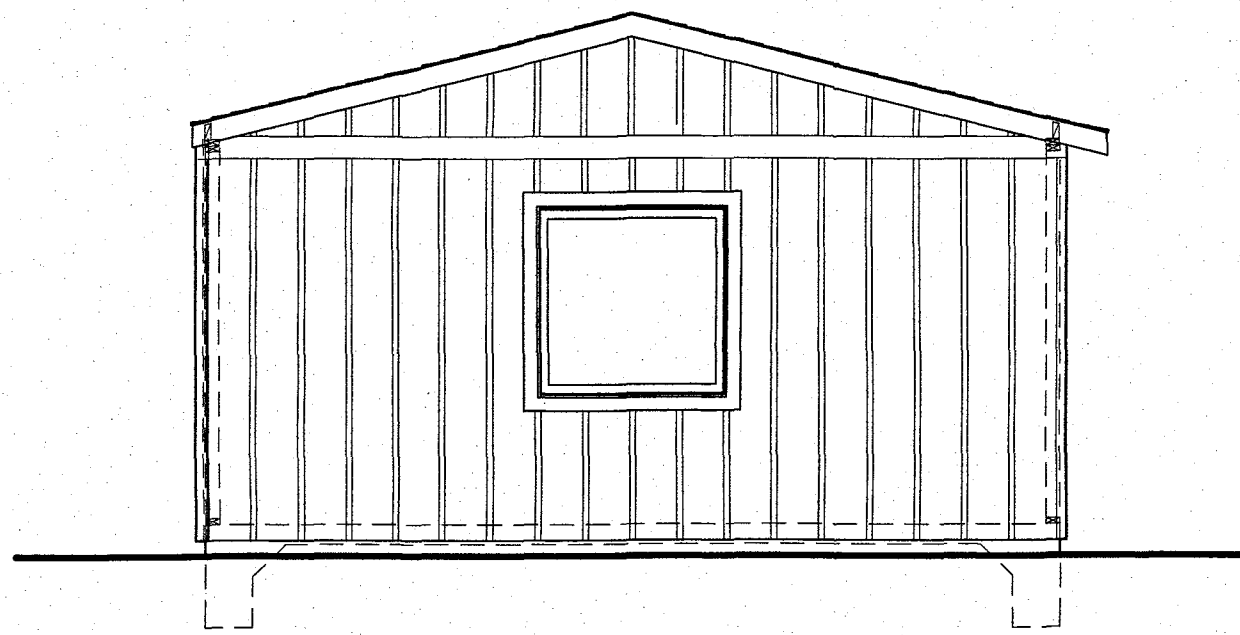
SITE PLAN  
1/8" = 1'-0"

CARL CHERRY  
CENTER FOR THE ARTS  
FOURTH & GUADALUPE,  
FOURTH AVE.  
CARMEL, CA 93921  
100 240 130 000

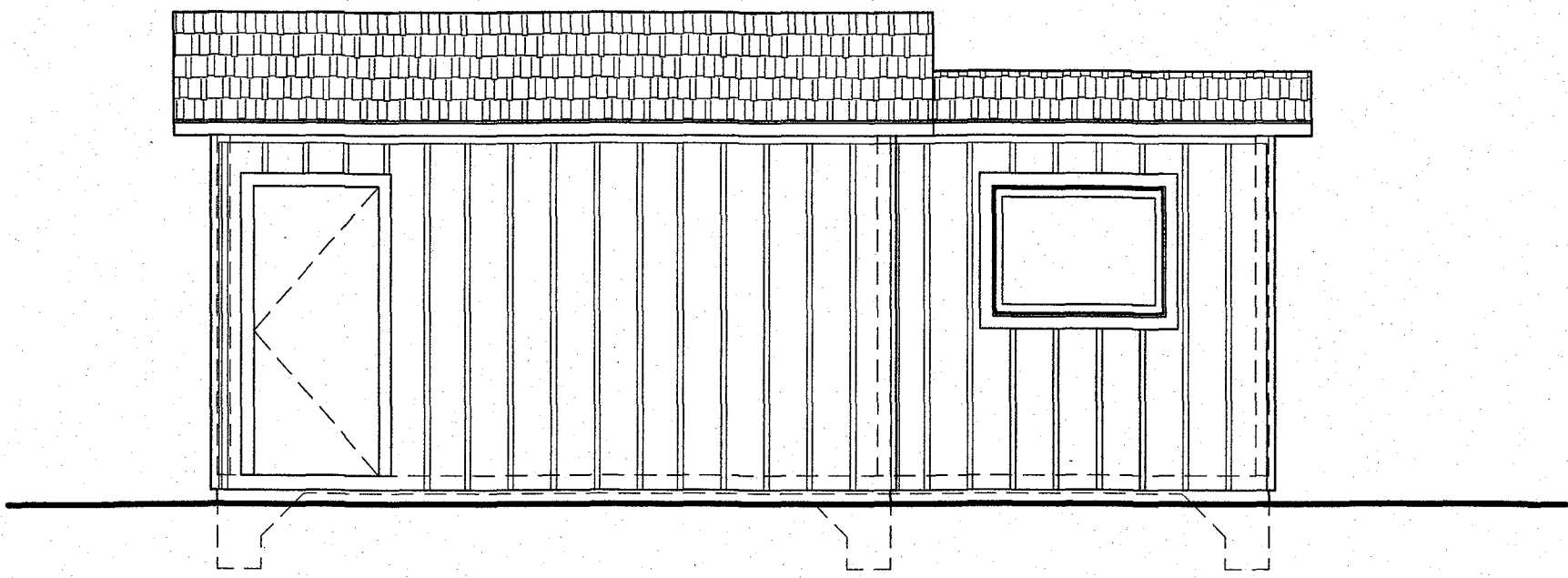
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*Robert Walker*  
 ROBERT WALKER  
 831-236-7826  
 robwalker31@gmail.com

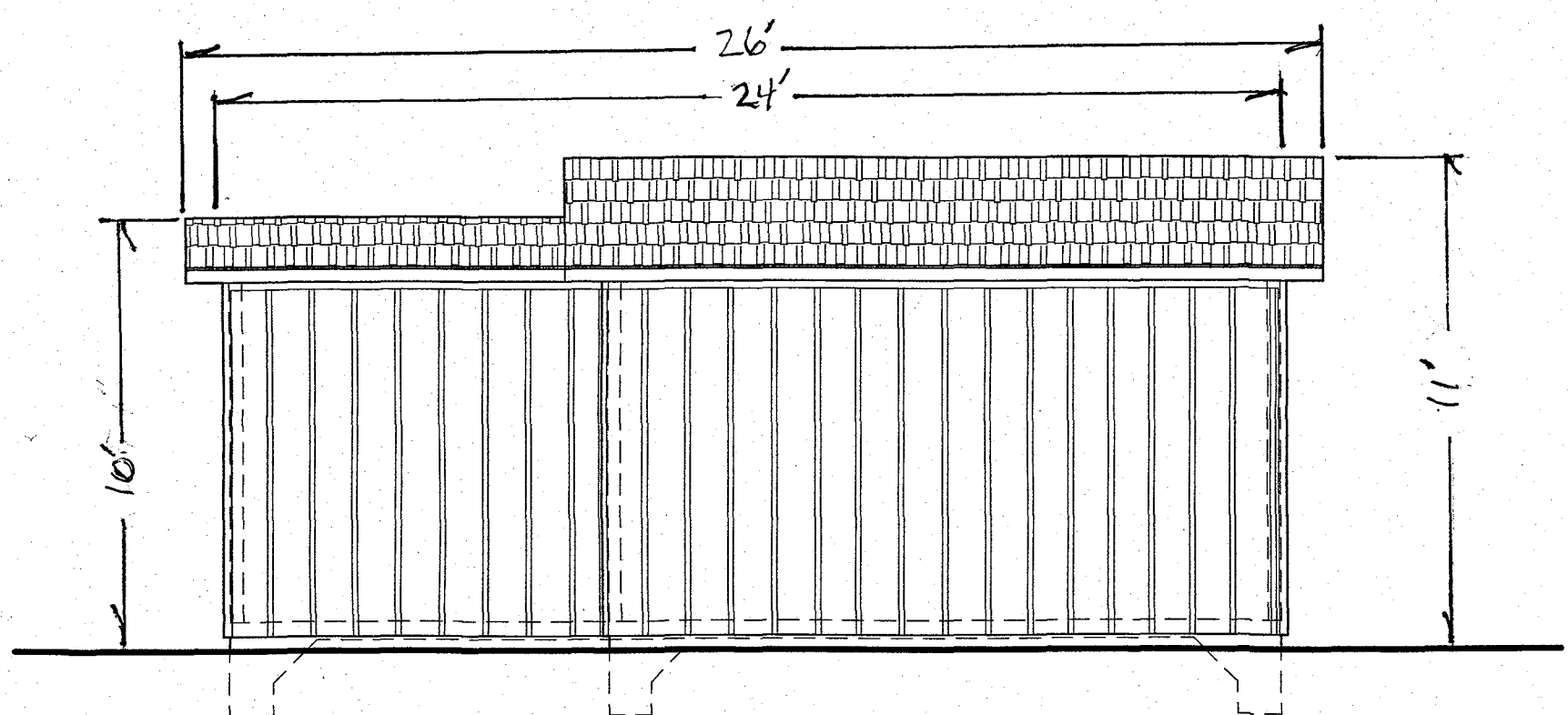
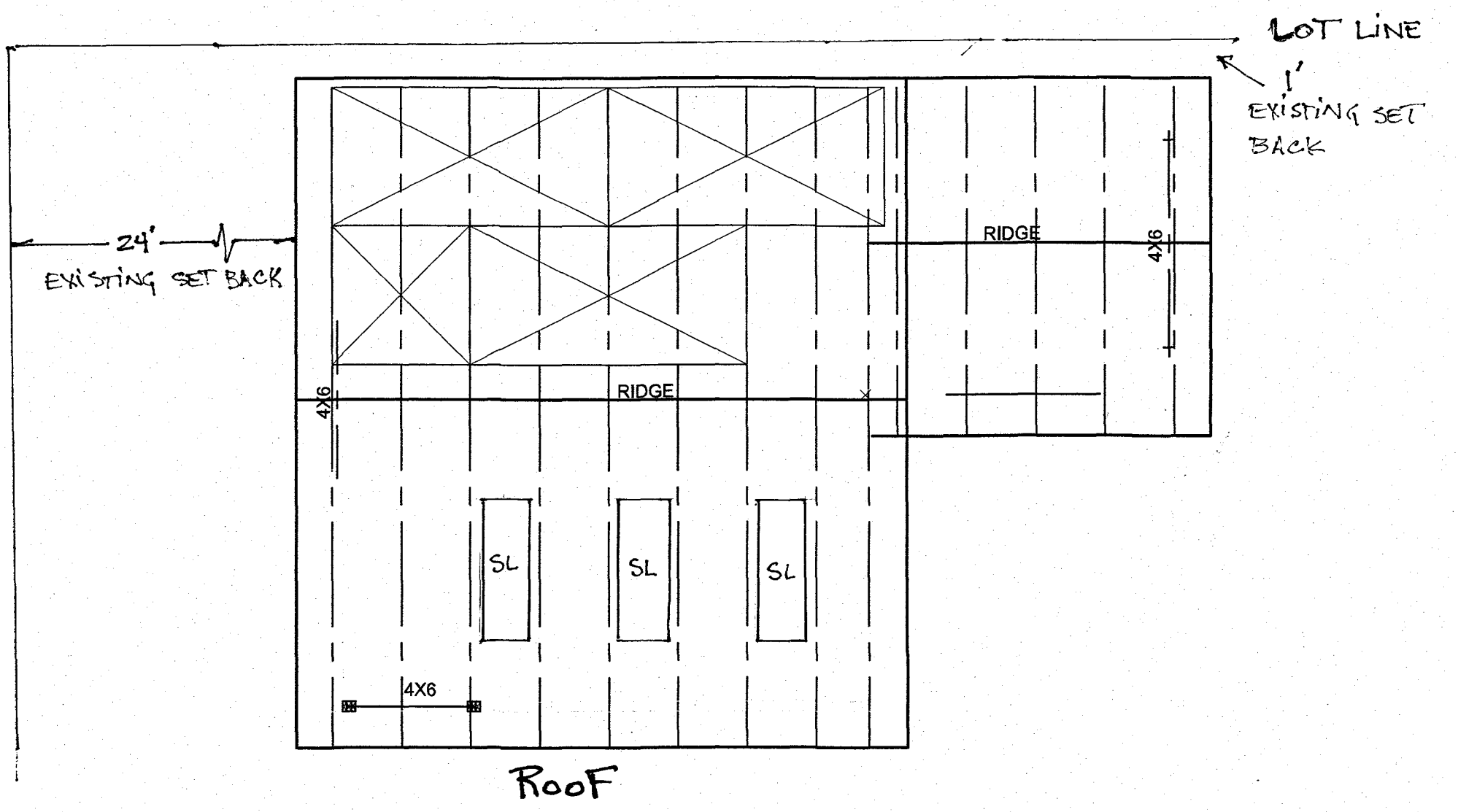
SITE



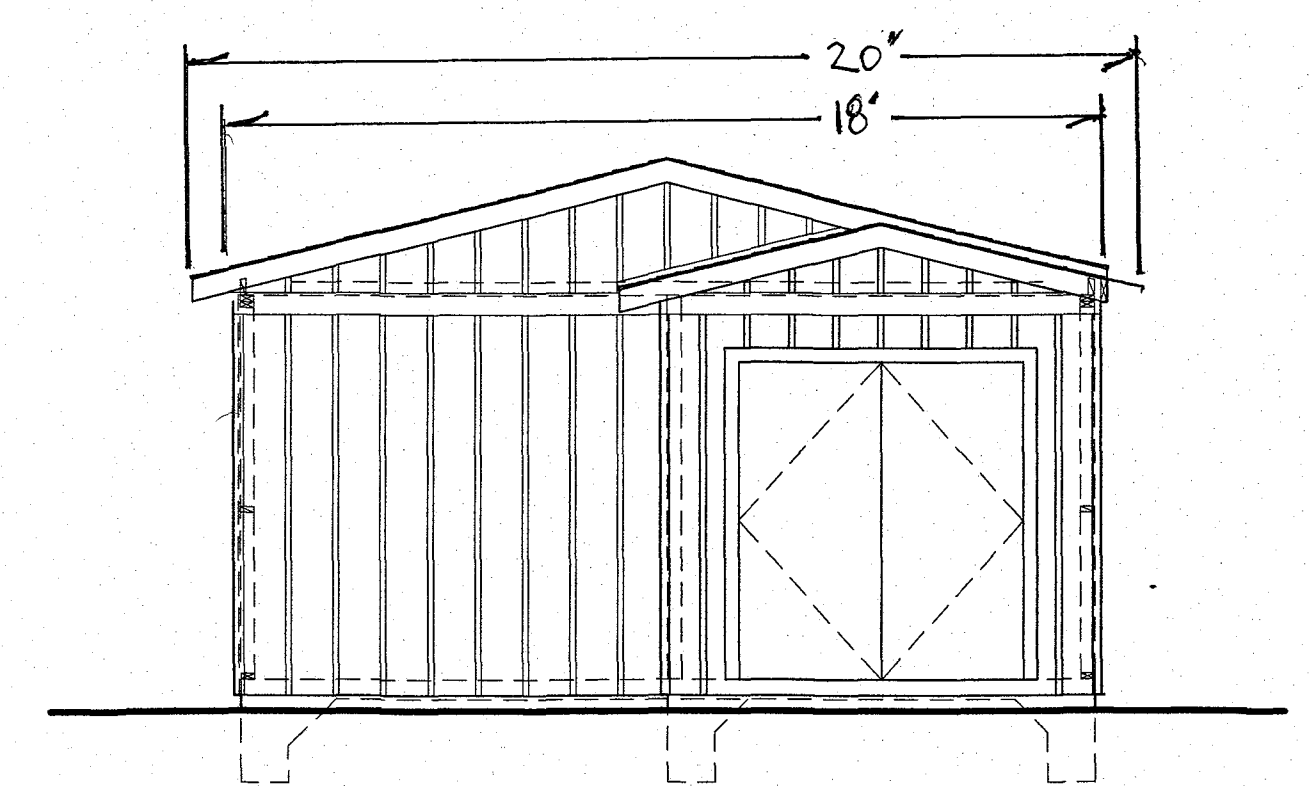
WEST ELEVATION



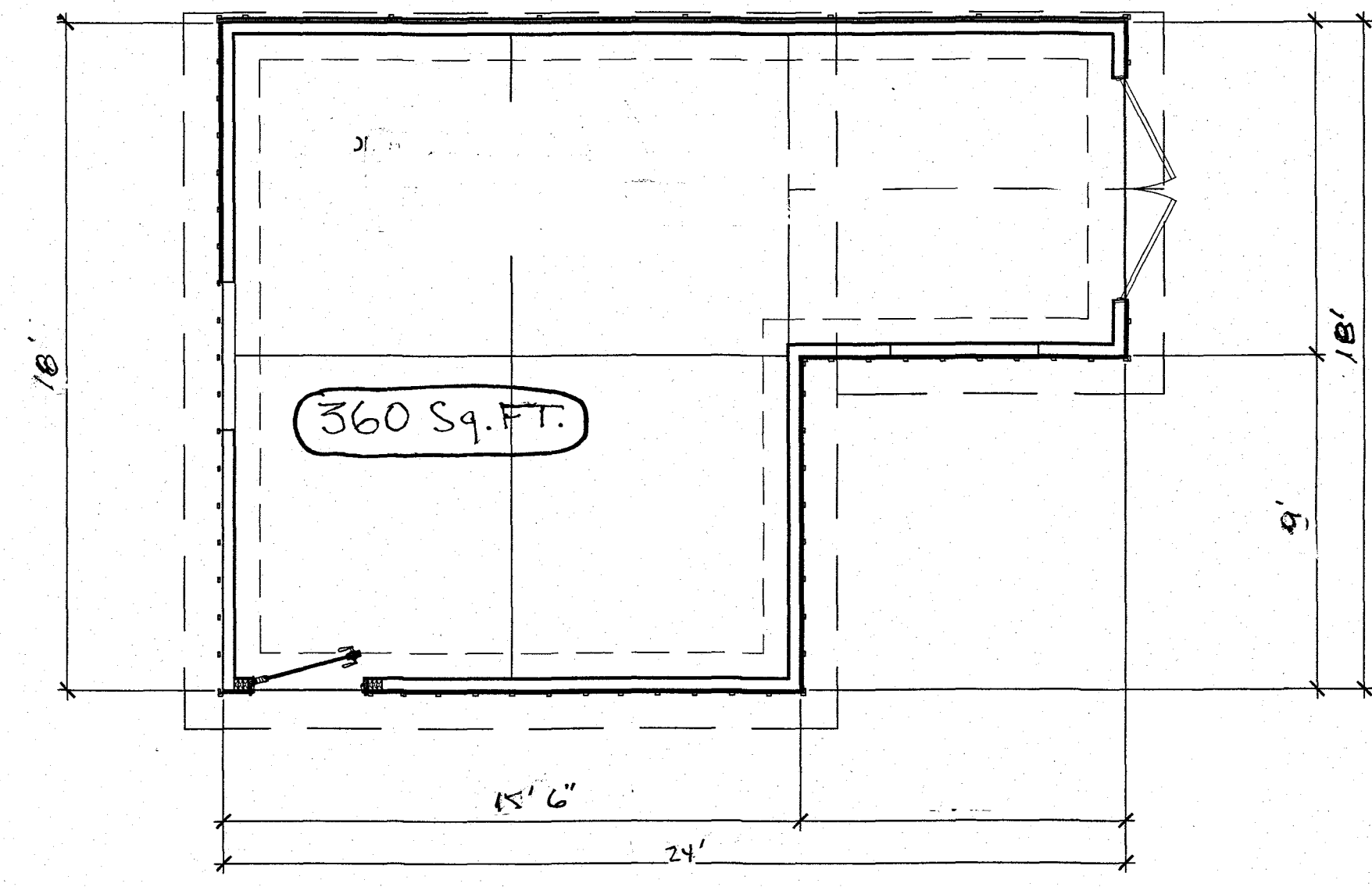
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



CARL CHERRY CENTER FOR THE ARTS  
FOURTH & GUADALUPE  
CARMEL, CA 93921  
APN: 100-240-130-000  
EXISTING STUDIO

*Robert Walker*  
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bobwalker831@gmail.com

CARL CHERRY  
CENTER FOR THE ARTS  
FOURTH & GUADALUPE,  
FOURTH AVE.  
CARMEL, CA 93921  
100 240 130 000

DATE: \_\_\_\_\_  
PROGRESS: \_\_\_\_\_







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the one place where you

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Skip





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Welcome to Freshconnect



is the one place where you

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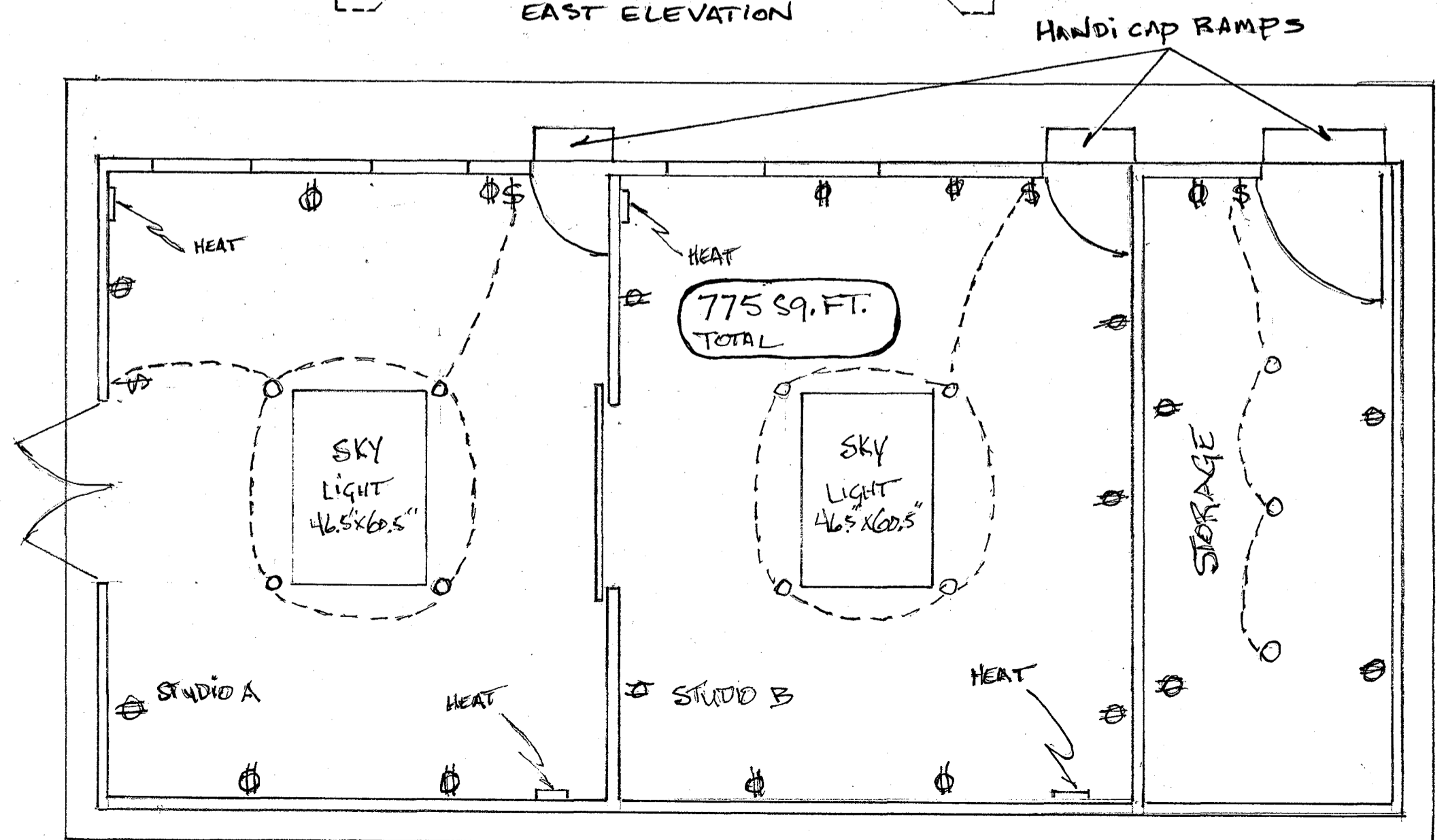
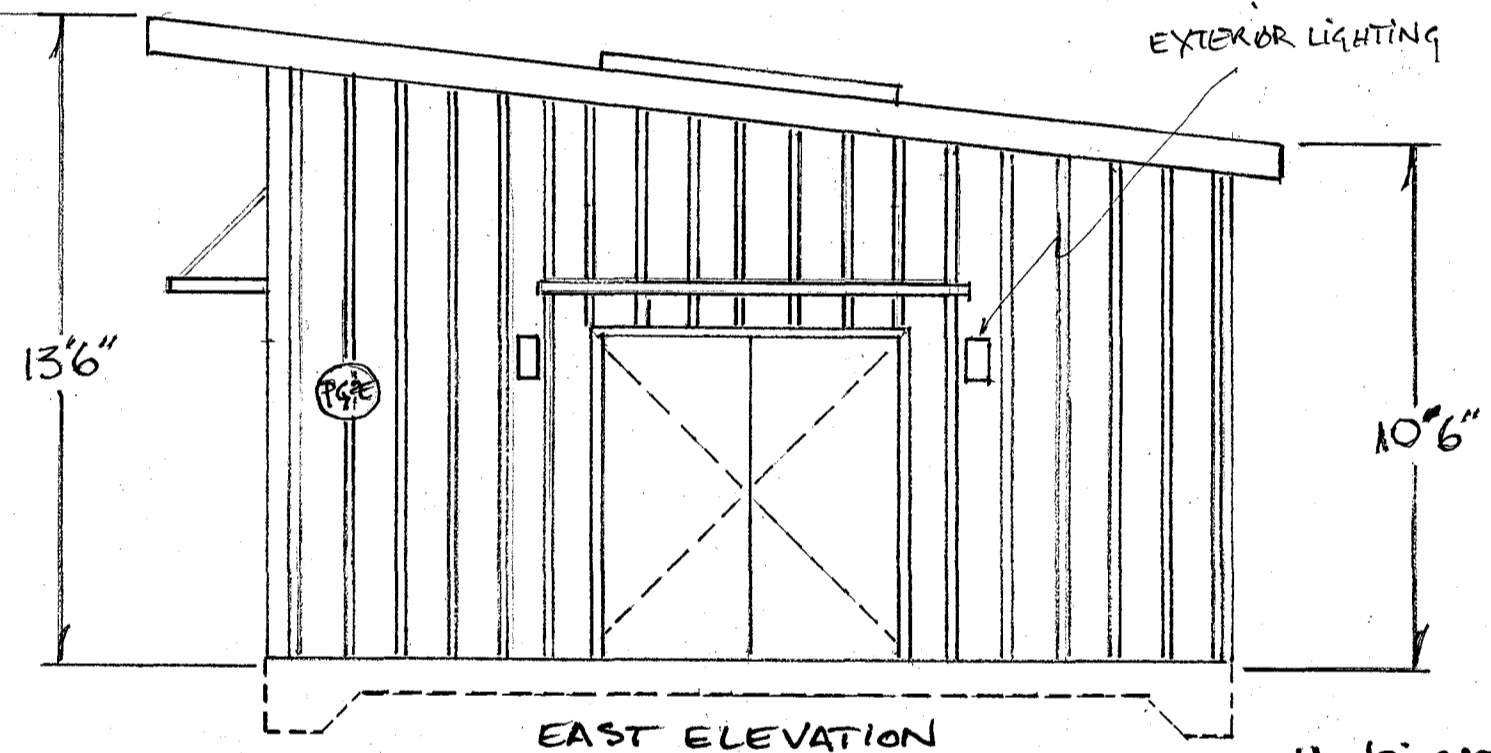
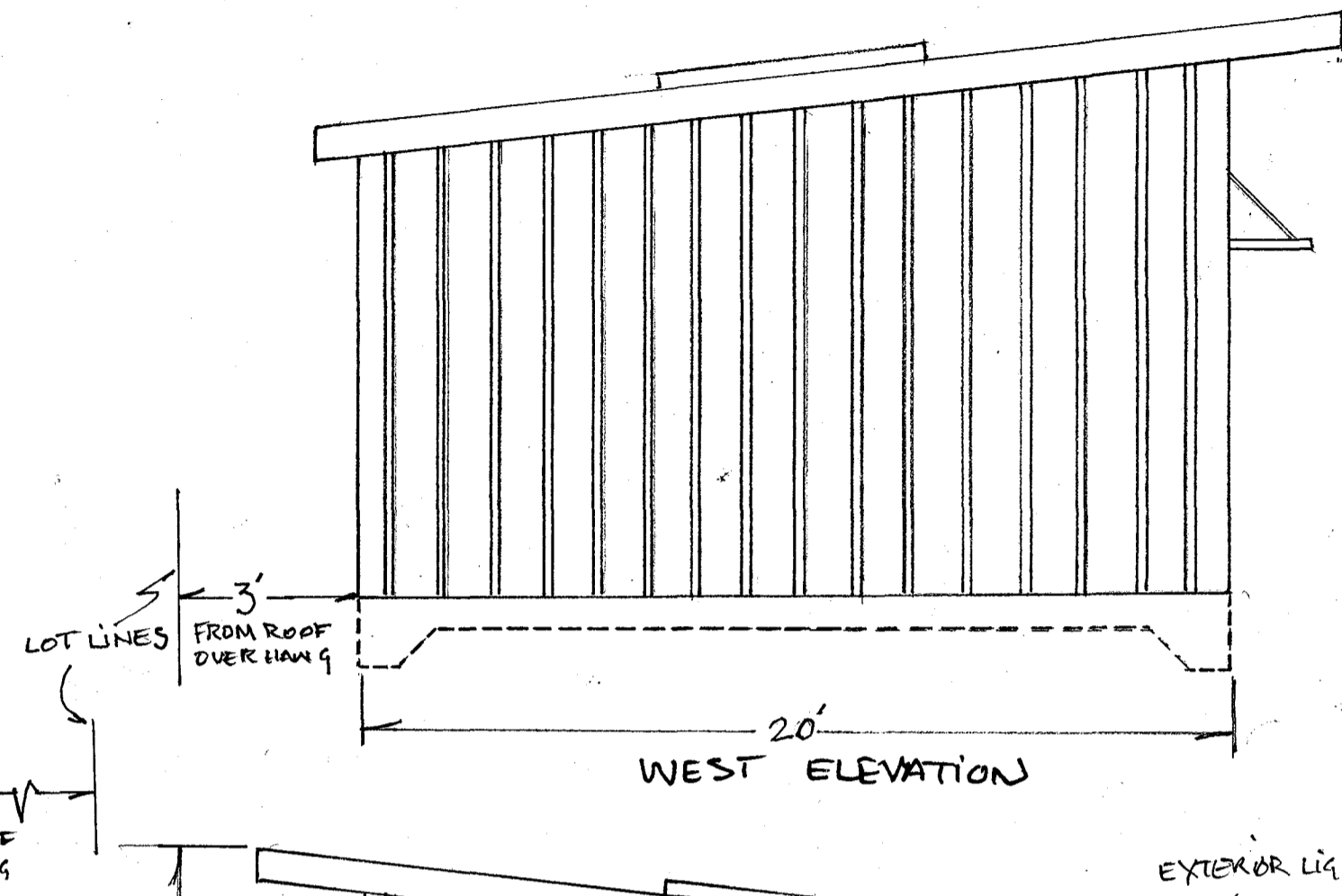
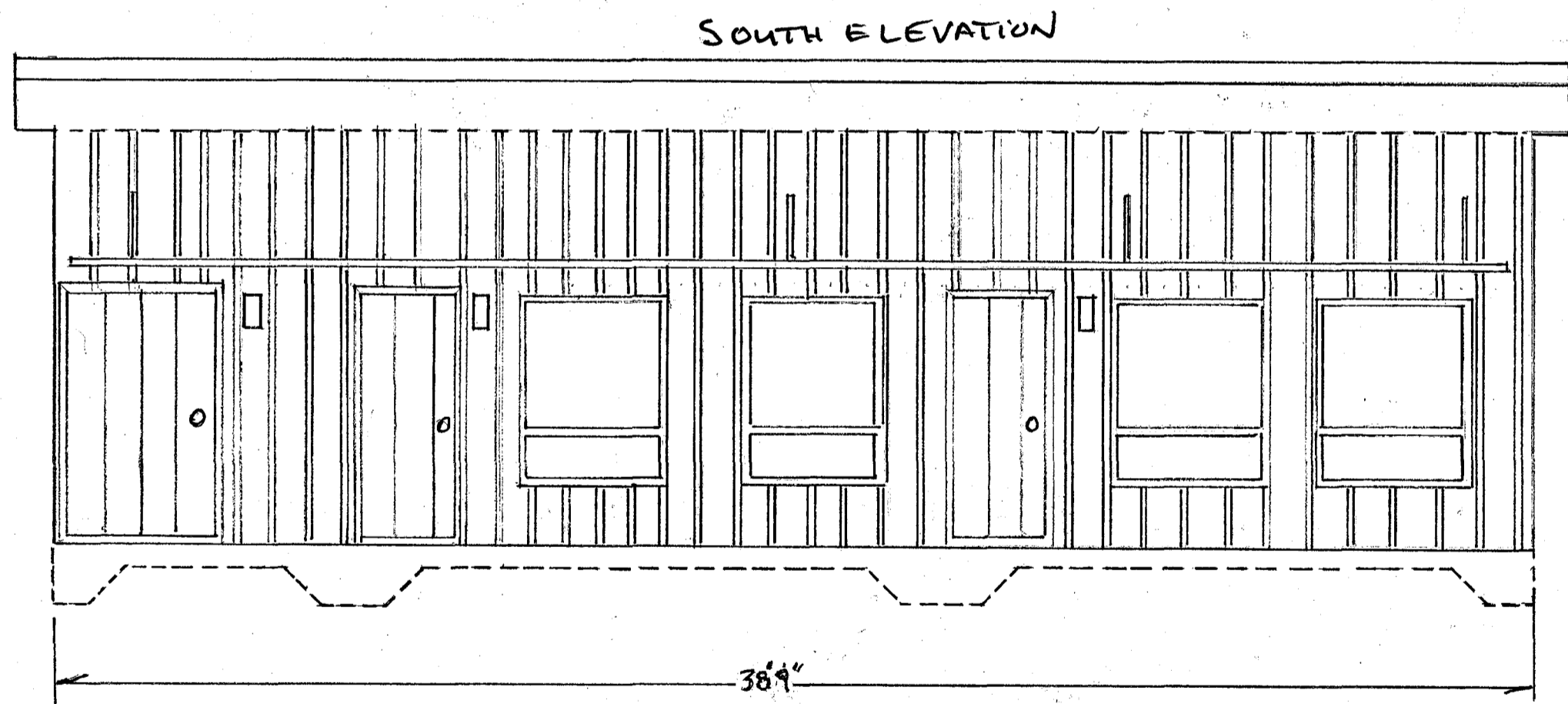
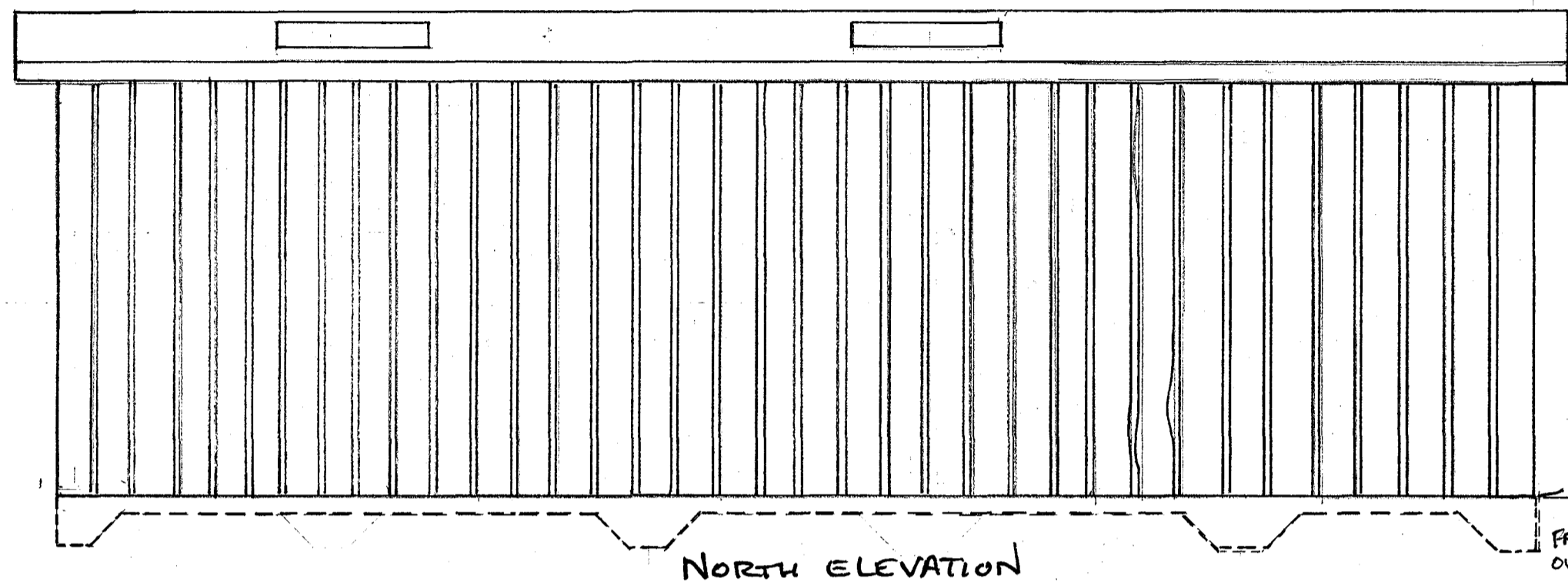




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3 of 4





CARL CHERRY FOUNDATION  
 4TH & GUADALUPE  
 CARMEL, CA 93921  
 APN: 010-024-013-000

TOTAL SQ. FT = 775

*Bob Walker*

PROPOSED ART STUDIO  
 SCALE: 1/4" = 1"  
 SPRINKLERED: YES

BOB WALKER: 831-236-7826  
 bob.walker831@gmail.com



Floor Area Table		
	Existing	Proposed
Studio	360	775
Theatre	1146	1110 Exclcluding the Storage
Gallery	1670	1670
Apartment	844	844
Office	187	187
<b>Total</b>	<b>4207</b>	<b>4586</b>

Site Coverage Table		
	Existing	Proposed
Stone Walk ways	45	45
Gravel Walk Ways	132	132
Decomposed Gravel Walk ways	290	290
Gallery Steps	130	130
Brick Patio	300	0
Concrete Porch and ramp	344	344
<b>Total</b>	<b>1241</b>	<b>941</b>



What can we help you find today?



Salinas 10PM

93940

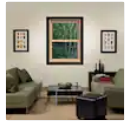
Home / Doors & Windows / Windows / Double Hung Windows

Internet # 323082330 Model # THDJW237700025 UPC Code # 733222466780

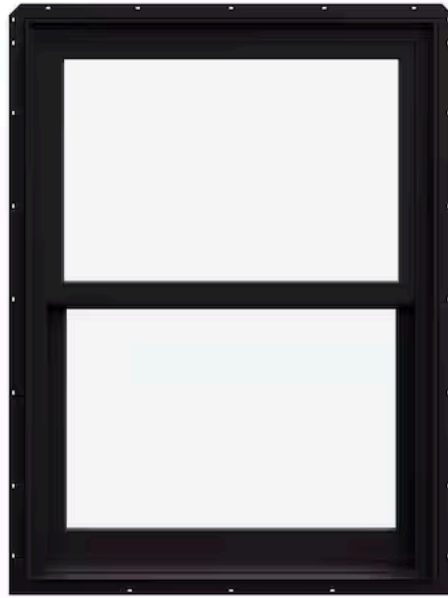
JELD-WEN

### 35.375 in. x 48 in. W-5500 Double Hung Wood Clad Window

★★★★★ Questions & Answers (6)



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Feedback

# \$765<sup>00</sup>

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ProX  
Robert





Width (in.) x Height (in.): 35 x 48

35 x 48

Pickup at [Salinas](#)

Delivering to [93940](#)

<p><b>Ship to Store</b></p> <p>Apr 11 - Apr 12</p> <p>200 available</p> <p><b>FREE</b></p>	<p><b>Delivery</b></p> <p>Apr 10 - Apr 12</p> <p>200 available</p>
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Request a consultation

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Saturday - Sunday from 9AM - 9PM ET.

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#### Product Details



#### Specifications

Dimensions: H 48 in, W 35 in, D 4.5625 in



#### Questions & Answers

6 Questions



#### Customer Reviews



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### Compare Similar Items

CURRENT ITEM				
 <p><b>JELD-WEN</b> 35.375 in. x 48 in. W-5500 Double Hung Wood Clad Window</p> <p><b>\$765<sup>00</sup></b></p>	 <p><b>Andersen</b> 37-5/8 in. x 56-7/8 in. 400 Series White Clad Wood Tilt-Wash Double-Hung Window with Low-E Glass, White Int and Hardware</p> <p>★★★★★ (80)</p> <p><b>\$539<sup>00</sup></b></p>	 <p><b>JELD-WEN</b> 28 in. x 54 in. W5500 Double Hung Wood Clad Window with Stormy Exterior</p> <p>★★★★★ (1)</p> <p><b>\$1268<sup>00</sup></b></p>	 <p><b>JELD-WEN</b> 28 in. x 54 in. W5500 Double Hung Wood Clad Window Black Exterior</p> <p><b>\$1411<sup>00</sup></b></p>	
<b>Window Use Type</b>				
New Construction	New Construction	New Construction	New Construction	
<b>Frame Material</b>				
Wood Clad	Wood Clad	Wood Clad	Wood Clad	

Quotes

Lists

Cleaning

Width (in.) x Height (in.)

35 x 48

37.625 x 56.875

28 x 54

28 x 54

Glass Type

Low-E Glass

Low-E Glass

Low-E Glass

Low-E Glass

Recently Viewed

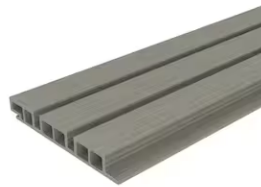


**JELD-WEN**  
35.375 in. x 48 in. W-5500  
Double Hung Wood Clad  
Window

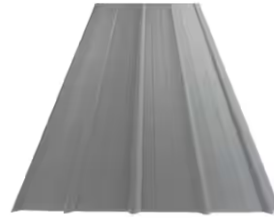


**Barrette Outdoor Living**  
Mixed Materials 0.875 in. x 6  
in. x 72.1 in. Gray Infill Boards  
(12-Pack)

★★★★★ (1)



**NewTechWood**  
European Siding System 7.7  
in. x 96 in. Composite Belgian  
Board Siding in Roman...



**Gibraltar Building Products**  
12 ft. SM-Rib Galvalume Steel  
29-Gauge Roof/Siding Panel in  
Gray

★★★★★ (41)



**Fasade**  
18 in. x 24 in. Skyline  
Onyx Vinyl Backsplas  
(Pack of 5)

Live Chat

Feedback

< 1/2 >

## About This Product

The JELD-WEN W-5500 wood window provides unmatched beauty and elegance. Double Hung wood window is best suited for traditional architectural styles and features upper and lower sashes that slide up and down for varying ventilation. Each sash also tilts for simple cleaning and locks securely in place when done. It is a popular choice for multi-level houses because you can clean your windows safely and easily from inside your home.

### Highlights

- Beautifully crafted, energy-efficient wood windows with a wide array of options for making them your own
- Designed to keep the sun's heat and harmful UV rays out of your home
- Low-E insulating glass helps retain heat during colder months to keep you comfortable
- SunResist glass is engineered to be energy efficient in warmer climates
- Made with AurelEst wood that is guaranteed not to rot for as long as you own and occupy your home
- Lifetime limited warranty coverage for wood decay and termites damage
- Natural pine wood interior adds warmth and beauty to any home
- Low maintenance exterior aluminum cladding has a baked-on color finish
- Screen included with window
- BetterVue screen included and features a durable, fine, black fiberglass mesh that is less intrusive to your view
- Wood windows add a sense of warmth and elegance to any home
- Check local building codes before beginning your project to ensure compliancy
- Not all products are suitable for locations that experience severe weather
- [Return Policy](#)
- California residents see Prop 65 WARNINGS

### Product Information

Internet # 323082539

Model # THD.IW237700015

## Additional Resources

[Shop All JELD-WEN](#)

### From the Manufacturer

- [Instructions / Assembly](#)
- [Return Policy](#)

## Spec Sheet Preview

Customize

Add custom contact info, project, logo and more.

Create

Generate PDF Spec Sheet to save, print and share.

Andare Up and Down Outdoor Wall Light  
By Huxe



Call Us (877) 445-4486

## Product Options

**Finish:** Black,

**Size:** Small.

**Light Option:** Incandescent

## Dimensions

Small Option Backplate: Width 4.6", Height 4.9"

Small Option Fixture: Width 5", Height 15", Depth 6.25"

### Lighting

Small

- Lamp Type  
LED
- Total Lumens  
2200.0
- # of Bulbs  
2 (Not Included)
- Bulb Type  
9W A19 E26
- Volts  
120
- Color Temp  
2700 (Warm)
- Average Lifespan (Hours)  
15,000
- CRI  
90
- Equivalent Halogen, CFL or LED Bulb Can Be Used  
Yes

## Additional Details

**Product URL:** <https://www.lumens.com/andare-up-and-down-outdoor-wall-light-by-huxe-MXH2074442.html>

**Rating:** UL Listed Wet



# SA-SBS Cap Sheet

SA-SBS Cap Sheet & SA-SBS Cap Sheet FR are a premium self-adhering polyester reinforced modified bitumen membrane manufactured to meet the toughest code requirements of the industry. SA-SBS Cap Sheet & SA-SBS Cap Sheet FR are manufactured using Adeso® dual-compound technology, whereby the membrane consists of a Styrene Butadiene Styrene (SBS) modified asphalt compound on top and a pressure sensitive adhesive compound on the bottom. The adhesive is covered with a split release liner. SA-SBS Cap Sheet & SA-SBS Cap Sheet FR are finished with granules on the top surface and features SEALLap® ULTRA side lap with self-adhesive compound for an instant bond, tested stronger than all other application methods and FASTLap®, granule free end lap. Each of these patented features provide for greater ease of application as well as improved long-term performance. SA-SBS Cap Sheet & SA-SBS Cap Sheet FR are also used as a flashing membrane in all applicable specifications.

