



NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7th Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

Planning Case #: Design Review 22283

Owner Name: LPP JUNIPERO PROP LLC

Case Planner: Marnie R. Waffle, AICP, Principal Planner

Date Posted: _____

Date Approved: 01/10/2023

Project Location: Junipero 2 NW & 8th

APN #: 010087003000 **BLOCK/LOT:** 89/ALL LOTS 21,22,23,24

Applicant: Paul W. Davis, Architect

Project Description: This approval of Design Review application DR 22-283 (The Hideaway) authorizes exterior painting of the hotel, a new entry door at the lobby, and new exterior light fixtures located on Junipero Street 2 northwest of 8th Avenue in the Residential & Limited Commercial (RC) District as depicted in the plans prepared by The Paul Davis Partnership stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval.

Can this project be appealed to the Coastal Commission? Yes No

Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	Authorization. This approval of Design Review application DR 22-283 (The Hideaway) authorizes exterior painting of the hotel, a new entry door at the lobby, and new exterior light fixtures located on Junipero Street 2 northwest of 8 th Avenue in the Residential & Limited Commercial (RC) District as depicted in the plans prepared by The Paul Davis Partnership stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein.	✓
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the RC zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	Permit Validity. This approval shall be valid for a period of 18 months from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.	✓
5.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that are not listed on this form, shall not be deemed approved upon issuance of a building permit.	✓
6.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal, and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall	✓

	<p>govern, unless otherwise approved in writing by the Community Planning & Building Director or their designee.</p> <p>When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p>	
7.	<p>Exterior Lighting. Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer's specifications, including illumination information, for all exterior light fixtures. All fixtures shall be shielded and down-facing.</p> <p>Exterior wall-mounted lighting shall be limited to 25 watts or less (incandescent equivalent or 375 lumens) per fixture and shall be installed no higher than 10 feet above the ground or walking surface.</p> <p>Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent or 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used as accent lighting nor shall it be used to illuminate trees, walls, or fences. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property and outdoor living spaces.</p>	✓
8.	<p>Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings, to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.</p>	✓
9.	<p>Cultural Resources. Throughout construction, all activities involving excavation shall immediately cease if cultural resources are discovered on the site, and the Applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are</p>	✓

	properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during the excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	
10.	USA North 811. Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
11.	Conditions of Approval. Prior to the issuance of a building permit, the Applicant shall print a copy of the Resolution adopted by the Planning Commission and signed by the property owner(s) on a full-size sheet within the construction plan set submitted to the Building Safety Division.	✓
LANDSCAPE CONDITIONS		
12.	Tree Removal Prohibited. Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission.	✓
13.	Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. <ul style="list-style-type: none"> ● Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. ● Excavation within 6 feet of a tree trunk is not permitted. ● No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree. ● Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels. ● Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of 	✓

	<p>trunk diameter at 4.5 feet above the soil line outside of the fencing.</p> <ul style="list-style-type: none"> ● The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. ● If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. ● If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place. 	
SPECIAL CONDITIONS		
14.	<p>Condition of Approval Acknowledgement. Prior to the issuance of a building permit, the Applicant shall include a signed copy of the Condition of Approval Acknowledgment form in the construction drawings. The Condition of Approval Acknowledgement form, available from the Community Planning and Building Department, shall be signed by ALL parties prior to the issuance of a building permit.</p>	✓

Acknowledgment and acceptance of conditions of approval:

 Property Owner Signature

 Printed Name

 Date

THE HIDEAWAY

CARMEL-BY-THE-SEA CALIFORNIA

Project / Owner:
THE HIDEAWAY
 JUNIPERO ST. & 8th AVE.
 CARMEL-BY-THE-SEA CA. 93923
 APN: 010-087-003

MATERIALS	ABBREVIATIONS	CODE ANALYSIS	PROJECT INFORMATION	SHEET INDEX																																																																																																																																																																																																																																																																																																			
CONCRETE CERAMIC TILE OR TILE PAVERS (IN PLAN VIEW (SEE FINISH SCHEDULE)) MASONRY BATT INSULATION IN SECTION RIGID INSULATION IN SECTION FINISH WOOD MEMBER IN SECTION CONTINUOUS WOOD MEMBER IN SECTION WOOD BLOCKING BETWEEN FRAMING MEMBERS IN SECTION PLYWOOD IN SECTION STEEL IN SECTION ACOUSTIC TILE CEILING MATERIAL IN SECTION	<table border="0"> <tr> <td>A. AND</td> <td>FLR. FLOOR (ING)</td> <td>P.L. PROPERTY LINE</td> </tr> <tr> <td>L. ANGLE</td> <td>FLUOR. FLUORESCENT</td> <td>P.LAM. PLASTIC LAMINATE</td> </tr> <tr> <td>@ CENTERLINE</td> <td>F.O. FACE OF</td> <td>PLAS. PLASTER</td> </tr> <tr> <td>Ø DIAMETER OR ROUND</td> <td>F.O.C. FACE OF CONCRETE</td> <td>PLY. PLYWOOD</td> </tr> <tr> <td>⊥ PERPENDICULAR</td> <td>F.O.F. FACE OF FINISH</td> <td>PR. PAIR</td> </tr> <tr> <td>// PARALLEL</td> <td>F.O.M. FACE OF MASONRY</td> <td>P.S.F. POUNDS PER SQUARE FOOT</td> </tr> <tr> <td># POUND OR NUMBER</td> <td>F.O.S. FACE OF STUDS</td> <td>P.S.I. POUNDS PER SQUARE INCH</td> </tr> <tr> <td>(E) EXISTING</td> <td>F.P. FIREPLACE</td> <td>P.T. PRESSURE TREATED</td> </tr> <tr> <td>A.B. ANCHOR BOLT</td> <td>F.F. FULL SIZE</td> <td>PART. PARTITION</td> </tr> <tr> <td>A.B.S. ACRYLONITRILE BUTADIENE STYRENE</td> <td>FT. FOOT OR FEET</td> <td>P.T.D. PAPER TOWEL DISPENSER</td> </tr> <tr> <td>A.C. ACOUSTICAL CEILING TILE</td> <td>FTG. FOOTING</td> <td>P.V.C. POLYVINYL CHLORIDE</td> </tr> <tr> <td>A.C. AIR CONDITIONING</td> <td>FURR. FURRED (ING)</td> <td>R. RISER (S)</td> </tr> <tr> <td>ACOUS. ACOUSTICAL</td> <td>GA. GAUGE</td> <td>R.A. RETURN AIR</td> </tr> <tr> <td>ADJ. ADJUSTABLE, ADJACENT</td> <td>G.B. GRAB BAR</td> <td>RAD. RADIUS</td> </tr> <tr> <td>AGGR. AGGREGATE</td> <td>G.I. GALVANIZED IRON</td> <td>R.D. ROOF DRAIN</td> </tr> <tr> <td>ALUM. ALUMINUM</td> <td>GR. GRADE, GRADING</td> <td>REG. REGISTER</td> </tr> <tr> <td>ANOD. ANODIZED</td> <td>G.W.B. GYPSUM WALLBOARD</td> <td>REF. REFRIGERATOR</td> </tr> <tr> <td>A.P.A. AMERICAN PLYWOOD ASSOCIATION</td> <td>H.B. HOSE BIB</td> <td>REINF. REINFORCED, REINFORCING</td> </tr> <tr> <td>APPROX. APPROXIMATE</td> <td>HBD. HARDBOARD</td> <td>RECO. REQUIRED</td> </tr> <tr> <td>ARCH. ARCHITECT (URAL)</td> <td>HDR. HOLLOW CORE</td> <td>RECMT. REQUIREMENT</td> </tr> <tr> <td>BD. BOARD</td> <td>HDWR. HARDWARE</td> <td>RESIL. RESILIENT</td> </tr> <tr> <td>BIT. BITUMINOUS</td> <td>H.M. HOLLOW METAL</td> <td>R.H.M.S. ROUND HEAD METAL SCREW</td> </tr> <tr> <td>BLDG. BUILDING</td> <td>HORIZ. HORIZONTAL</td> <td>R.H.W.S. ROUND HEAD WOOD SCREW</td> </tr> <tr> <td>BLK. BLOCK</td> <td>HGT. HEIGHT</td> <td>RM. ROOM</td> </tr> <tr> <td>BLKG. BLOCKING</td> <td>HTG. HEATING</td> <td>R.O. ROUGH OPENING</td> </tr> <tr> <td>B.M. BENCH MARK</td> <td>H.W. HOT WATER</td> <td>R.O.W. RIGHT OF WAY</td> </tr> <tr> <td>BM. BEAM</td> <td>HVAC. HEATING, VENTILATING, AND AIR CONDITIONING</td> <td>R.S. RESAWN</td> </tr> <tr> <td>BOT. BOTTOM</td> <td>I.C.B.O. INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS</td> <td>RUB. RUBBER</td> </tr> <tr> <td>BRG. BEARING</td> <td>I.D. INSIDE DIAMETER</td> <td>REDWD. REDWOOD</td> </tr> <tr> <td>BTWN. BETWEEN</td> <td>INCL. INCLUDED, INCLUDING</td> <td>R.W.L. RAIN WATER LEADER</td> </tr> <tr> <td>B.W. BOTH WAYS</td> <td>INT. INTERIOR</td> <td>S. SOUTH</td> </tr> <tr> <td>CAB. CABINET</td> <td>INSUL. INSULATION</td> <td>S.B. SOLID BLOCKING</td> </tr> <tr> <td>C.B. CATCH BASIN</td> <td>INT. INTERIOR</td> <td>S.C. SOLID CORE</td> </tr> <tr> <td>C.C.B.R. CLOSED CELL BACKER ROD</td> <td>INV. INVERT</td> <td>SCHED. SCHEDULE</td> </tr> <tr> <td>CEM. CEMENT</td> <td>JAN. JANITOR</td> <td>S.D. STORM DRAIN</td> </tr> <tr> <td>CER. CERAMIC</td> <td>J.H. JOIST HANGER</td> <td>SECT. SECTION</td> </tr> <tr> <td>C.F. CUBIC FOOT</td> <td>JT. JOINT</td> <td>SERV. SERVICE</td> </tr> <tr> <td>C.I. CAST IRON</td> <td>KIT. KITCHEN</td> <td>S.F. SQUARE FEET (FOOT)</td> </tr> <tr> <td>CLKG. CALKING</td> <td>L. LONG, LENGTH</td> <td>S.G. STAIN GRADE</td> </tr> <tr> <td>CLG. CEILING</td> <td>LAM. LAMINATE, LAMINATED</td> <td>SH. SHELF, SHELVING</td> </tr> <tr> <td>CLR. CLEAR (ANCE)</td> <td>LAV. LAVATORY</td> <td>SHWR. SHOWER</td> </tr> <tr> <td>COL. COLUMN</td> <td>L.B. LAG BOLT</td> <td>SHT. SHEET</td> </tr> <tr> <td>COMP. COMPOSITION</td> <td>LOC. LOCATE, LOCATION</td> <td>SHTG. SHEATHING</td> </tr> <tr> <td>CONC. CONCRETE</td> <td>L.W. LIGHT WEIGHT</td> <td>SIM. SIMILAR</td> </tr> <tr> <td>CONN. CONNECT (ION)</td> <td>MAS. MASONRY</td> <td>S.O.H. SIMILAR OPPOSITE HAND</td> </tr> <tr> <td>CONSTR. CONSTRUCT (ION)</td> <td>MAT. MATERIAL (S)</td> <td>S.S. STAINLESS STEEL</td> </tr> <tr> <td>CONT. CONTINUOUS</td> <td>MAX. MAXIMUM</td> <td>S.M. SHEET METAL</td> </tr> <tr> <td>CORR. CORRUGATED</td> <td>M.B. MACHINE BOLT</td> <td>S.M.S. SHEET METAL SCREW</td> </tr> <tr> <td>CSMT. CASEMENT</td> <td>M.C. MACHINE BOLT</td> <td>SPEC. SPECIFICATIONS</td> </tr> <tr> <td>CSWK. CASEWORK</td> <td>M.H. 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DIMENSION</td> <td>MULL. MULLION</td> <td>TEL. TELEPHONE</td> </tr> <tr> <td>DISP. DISPENSER</td> <td>N. NORTH</td> <td>TEMP. TEMPERED</td> </tr> <tr> <td>DN. DOWN</td> <td>(N) NEW</td> <td>T.E.N. TYPICAL EDGE NAILING</td> </tr> <tr> <td>DRWG. DRAWING</td> <td>NAT. NATURAL</td> <td>T & G TONGUE AND GROOVE</td> </tr> <tr> <td>D.S. DOWNSPOUT</td> <td>N.I.C. NOT IN CONTRACT</td> <td>T.G. TOP OF GRATE</td> </tr> <tr> <td>DWR. DRAWER</td> <td>NOM. NOMINAL</td> <td>THK. THICK (NESS)</td> </tr> <tr> <td>E. EAST</td> <td>N.O.N. NOT OTHERWISE NOTED</td> <td>THRESH. THRESHOLD</td> </tr> <tr> <td>EA. EACH</td> <td>N.S. NOT TO SCALE</td> <td>T.O. TOP OF</td> </tr> <tr> <td>ELEV. ELEVATION, ELEVATOR</td> <td>O. OVER</td> <td>T.P. TOP OF PAVEMENT</td> </tr> <tr> <td>ELEC. ELECTRIC (AL)</td> <td>OBS. OBSCURE</td> <td>T.P.H. TOILET PAPER HOLDER</td> </tr> <tr> <td>EMER. EMERGENCY</td> <td>O.C. ON CENTER</td> <td>TV. TELEVISION</td> </tr> <tr> <td>ENCL. ENCLOSURE</td> <td>O.D. OUTSIDE DIAMETER</td> <td>T.W. TOP OF WALL</td> </tr> <tr> <td>EQUIP. EQUIPMENT</td> <td>O.F.C.I. OWNER FURNISH, CONTRACTOR INSTALL</td> <td>TYP. TYPICAL</td> </tr> <tr> <td>EXIST. (E) EXISTING</td> <td>OFF. OFFICE</td> <td>U.B.C. UNIFORM BUILDING CODE</td> </tr> <tr> <td>EXH. EXHAUST</td> <td>O.H.M.S. OVALHEAD MACHINE SCREW</td> <td>UL. UNDERWRITERS LABORATORIES</td> </tr> <tr> <td>EXP. EXPOSED, EXPANSION</td> <td>OPNG. OPENING</td> <td>U.O.N. UNLESS OTHERWISE NOTED</td> </tr> <tr> <td>EXT. EXTERIOR</td> <td>OPP. OPPOSITE</td> <td>UR. URINAL</td> </tr> <tr> <td>F.A. FIRE ALARM</td> <td>O.S.B. ORIENTED STRAND BOARD</td> <td>V.B. VAPOR BARRIER</td> </tr> <tr> <td>FAST. FASTEN, FASTENER</td> <td>P.A.F. POWDER ACTUATED FASTENER</td> <td>VAR. VARIES</td> </tr> <tr> <td>F.B. FLAT BAR</td> <td>PART. BD. PARTICLE BOARD</td> <td>VERT. VERTICAL</td> </tr> <tr> <td>F.D. FLOOR DRAIN</td> <td>P.G. PAINT GRADE</td> <td>V.G. VERTICAL GRAIN</td> </tr> <tr> <td>FDN. FOUNDATION</td> <td>PERF. PERFORATED</td> <td>V.T. VINYL TILE</td> </tr> <tr> <td>F.E.C. FIRE EXTINGUISHER CABINET</td> <td>P.L.F. POUNDS PER LINEAL FOOT</td> <td>W. WEST</td> </tr> <tr> <td>FIBERGL. FIBERGLASS</td> <td></td> <td>W. WIDE, WIDTH</td> </tr> <tr> <td>FIN. FINISH (ED)</td> <td></td> <td>W.C. WATER CLOSET</td> </tr> <tr> <td>F.H.M.S. FLAT HEAD MACHINE SCREW</td> <td></td> <td>WD. WOOD</td> </tr> <tr> <td>F.H.W.S. FLAT HEAD WOOD SCREW</td> <td></td> <td>WOW. WINDOW</td> </tr> <tr> <td>FLASH. FLASHING</td> <td></td> <td>W.H. WATER HEATER</td> </tr> <tr> <td></td> <td></td> <td>W.W.I.C. WOODWORK INSTITUTE OF CALIFORNIA</td> </tr> <tr> <td></td> <td></td> <td>WID. WITHOUT</td> </tr> <tr> <td></td> <td></td> <td>W.P. WATERPROOF</td> </tr> <tr> <td></td> <td></td> <td>W.R. WATER RESISTANT</td> </tr> <tr> <td></td> <td></td> <td>W.S. WOOD SCREW</td> </tr> <tr> <td></td> <td></td> <td>WISC. WAINSCOT</td> </tr> <tr> <td></td> <td></td> <td>WT. WEIGHT</td> </tr> <tr> <td></td> <td></td> <td>W.W.M. WELDED WIRE MESH</td> </tr> </table>	A. AND	FLR. FLOOR (ING)	P.L. PROPERTY LINE	L. ANGLE	FLUOR. FLUORESCENT	P.LAM. PLASTIC LAMINATE	@ CENTERLINE	F.O. FACE OF	PLAS. PLASTER	Ø DIAMETER OR ROUND	F.O.C. FACE OF CONCRETE	PLY. PLYWOOD	⊥ PERPENDICULAR	F.O.F. FACE OF FINISH	PR. PAIR	// PARALLEL	F.O.M. FACE OF MASONRY	P.S.F. POUNDS PER SQUARE FOOT	# POUND OR NUMBER	F.O.S. FACE OF STUDS	P.S.I. POUNDS PER SQUARE INCH	(E) EXISTING	F.P. FIREPLACE	P.T. PRESSURE TREATED	A.B. ANCHOR BOLT	F.F. FULL SIZE	PART. PARTITION	A.B.S. ACRYLONITRILE BUTADIENE STYRENE	FT. FOOT OR FEET	P.T.D. PAPER TOWEL DISPENSER	A.C. ACOUSTICAL CEILING TILE	FTG. FOOTING	P.V.C. POLYVINYL CHLORIDE	A.C. AIR CONDITIONING	FURR. FURRED (ING)	R. RISER (S)	ACOUS. ACOUSTICAL	GA. GAUGE	R.A. RETURN AIR	ADJ. ADJUSTABLE, ADJACENT	G.B. GRAB BAR	RAD. RADIUS	AGGR. AGGREGATE	G.I. GALVANIZED IRON	R.D. ROOF DRAIN	ALUM. ALUMINUM	GR. GRADE, GRADING	REG. REGISTER	ANOD. ANODIZED	G.W.B. GYPSUM WALLBOARD	REF. REFRIGERATOR	A.P.A. AMERICAN PLYWOOD ASSOCIATION	H.B. HOSE BIB	REINF. REINFORCED, REINFORCING	APPROX. APPROXIMATE	HBD. HARDBOARD	RECO. REQUIRED	ARCH. ARCHITECT (URAL)	HDR. HOLLOW CORE	RECMT. REQUIREMENT	BD. BOARD	HDWR. HARDWARE	RESIL. RESILIENT	BIT. BITUMINOUS	H.M. HOLLOW METAL	R.H.M.S. ROUND HEAD METAL SCREW	BLDG. BUILDING	HORIZ. HORIZONTAL	R.H.W.S. ROUND HEAD WOOD SCREW	BLK. BLOCK	HGT. HEIGHT	RM. ROOM	BLKG. BLOCKING	HTG. HEATING	R.O. ROUGH OPENING	B.M. BENCH MARK	H.W. HOT WATER	R.O.W. RIGHT OF WAY	BM. BEAM	HVAC. HEATING, VENTILATING, AND AIR CONDITIONING	R.S. RESAWN	BOT. BOTTOM	I.C.B.O. INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS	RUB. RUBBER	BRG. BEARING	I.D. INSIDE DIAMETER	REDWD. REDWOOD	BTWN. BETWEEN	INCL. INCLUDED, INCLUDING	R.W.L. RAIN WATER LEADER	B.W. BOTH WAYS	INT. INTERIOR	S. SOUTH	CAB. CABINET	INSUL. INSULATION	S.B. SOLID BLOCKING	C.B. CATCH BASIN	INT. INTERIOR	S.C. SOLID CORE	C.C.B.R. CLOSED CELL BACKER ROD	INV. INVERT	SCHED. SCHEDULE	CEM. CEMENT	JAN. JANITOR	S.D. STORM DRAIN	CER. CERAMIC	J.H. JOIST HANGER	SECT. SECTION	C.F. CUBIC FOOT	JT. JOINT	SERV. SERVICE	C.I. CAST IRON	KIT. KITCHEN	S.F. SQUARE FEET (FOOT)	CLKG. CALKING	L. LONG, LENGTH	S.G. STAIN GRADE	CLG. CEILING	LAM. LAMINATE, LAMINATED	SH. SHELF, SHELVING	CLR. CLEAR (ANCE)	LAV. LAVATORY	SHWR. SHOWER	COL. COLUMN	L.B. LAG BOLT	SHT. SHEET	COMP. COMPOSITION	LOC. LOCATE, LOCATION	SHTG. SHEATHING	CONC. CONCRETE	L.W. LIGHT WEIGHT	SIM. SIMILAR	CONN. CONNECT (ION)	MAS. MASONRY	S.O.H. SIMILAR OPPOSITE HAND	CONSTR. CONSTRUCT (ION)	MAT. MATERIAL (S)	S.S. STAINLESS STEEL	CONT. CONTINUOUS	MAX. MAXIMUM	S.M. SHEET METAL	CORR. CORRUGATED	M.B. MACHINE BOLT	S.M.S. SHEET METAL SCREW	CSMT. CASEMENT	M.C. MACHINE BOLT	SPEC. SPECIFICATIONS	CSWK. CASEWORK	M.H. MAN HOLE	SQ. SQUARE	C.T. CERAMIC TILE	MECH. MECHANICAL	STL. STEEL	CTR. COUNTER	MEMB. MEMBRANE	STD. STANDARD	CTSK. COUNTERSINK	MEZZ. MEZZANINE	STAG. STAGGERED	CY. CUBIC YARD	MFR. MANUFACTURE (ER)	STOR. STORAGE	DBL. DOUBLE	MIN. MINIMUM	STRUC. STRUCTURAL	DEPT. DEPARTMENT	MISC. MISCELLANEOUS	SUSP. SUSPENDED	DET. DETAIL	MOLD. MOLDING	SYM. SYMMETRICAL	D.F. DOUGLAS FIR	M.O. MALLEABLE IRON WASHER	SYS. SYSTEM	D.H. DOUBLE HUNG	M.O. MASONRY OPENING	T. TREAD (S)	DIAG. DIAGONAL	MTD. MOUNTED	T.B. TOWEL BAR	DIA. DIAMETER	MTL. METAL	T.C. TOP OF CURB	DIMEN. DIMENSION	MULL. MULLION	TEL. TELEPHONE	DISP. DISPENSER	N. NORTH	TEMP. TEMPERED	DN. DOWN	(N) NEW	T.E.N. TYPICAL EDGE NAILING	DRWG. DRAWING	NAT. NATURAL	T & G TONGUE AND GROOVE	D.S. DOWNSPOUT	N.I.C. NOT IN CONTRACT	T.G. TOP OF GRATE	DWR. DRAWER	NOM. NOMINAL	THK. THICK (NESS)	E. EAST	N.O.N. NOT OTHERWISE NOTED	THRESH. THRESHOLD	EA. EACH	N.S. NOT TO SCALE	T.O. TOP OF	ELEV. ELEVATION, ELEVATOR	O. OVER	T.P. TOP OF PAVEMENT	ELEC. ELECTRIC (AL)	OBS. OBSCURE	T.P.H. TOILET PAPER HOLDER	EMER. EMERGENCY	O.C. ON CENTER	TV. TELEVISION	ENCL. ENCLOSURE	O.D. OUTSIDE DIAMETER	T.W. TOP OF WALL	EQUIP. EQUIPMENT	O.F.C.I. OWNER FURNISH, CONTRACTOR INSTALL	TYP. TYPICAL	EXIST. (E) EXISTING	OFF. OFFICE	U.B.C. UNIFORM BUILDING CODE	EXH. EXHAUST	O.H.M.S. OVALHEAD MACHINE SCREW	UL. UNDERWRITERS LABORATORIES	EXP. EXPOSED, EXPANSION	OPNG. OPENING	U.O.N. UNLESS OTHERWISE NOTED	EXT. EXTERIOR	OPP. OPPOSITE	UR. URINAL	F.A. FIRE ALARM	O.S.B. ORIENTED STRAND BOARD	V.B. VAPOR BARRIER	FAST. FASTEN, FASTENER	P.A.F. POWDER ACTUATED FASTENER	VAR. VARIES	F.B. FLAT BAR	PART. BD. PARTICLE BOARD	VERT. VERTICAL	F.D. FLOOR DRAIN	P.G. PAINT GRADE	V.G. VERTICAL GRAIN	FDN. FOUNDATION	PERF. PERFORATED	V.T. VINYL TILE	F.E.C. FIRE EXTINGUISHER CABINET	P.L.F. POUNDS PER LINEAL FOOT	W. WEST	FIBERGL. FIBERGLASS		W. WIDE, WIDTH	FIN. FINISH (ED)		W.C. WATER CLOSET	F.H.M.S. FLAT HEAD MACHINE SCREW		WD. WOOD	F.H.W.S. FLAT HEAD WOOD SCREW		WOW. WINDOW	FLASH. FLASHING		W.H. WATER HEATER			W.W.I.C. WOODWORK INSTITUTE OF CALIFORNIA			WID. WITHOUT			W.P. WATERPROOF			W.R. WATER RESISTANT			W.S. WOOD SCREW			WISC. WAINSCOT			WT. WEIGHT			W.W.M. WELDED WIRE MESH	<p>APPLICABLE CODES:</p> <p>2019 Building Standards Administrative Code, Part 1, CBSC</p> <p>2019 California Building Code (CBC) Part 2, CBSC (2006 IBC & California Amendments)</p> <p>2019 California Electrical Code (CEC) Part 3, CBSC (2005 NEC & California Amendments)</p> <p>2019 California Mechanical Code (CMC) Part 4, CBSC (2006 UMC & California Amendments)</p> <p>2019 California Plumbing Code (CPC), Part 5 CBSC (2006 UPC & California Amendments)</p> <p>2019 California Energy Code, Part 6 CBSC</p> <p>2019 California Fire Code, Part 9 CBSC (2006 IFC & California Amendments)</p> <p>2019 California Referenced Standards, Part 12, CBSC</p> <p>Title 19 C.C.R., Public Safety, SFM Regulations</p> <p>NFPA 13, Automatic Sprinkler System, 2010 edition</p> <p>NFPA 72, Nat'l Fire Alarm Code, (Ca Amended) 2010 Edition (See UL Standard 1971 for "Visual Devices)</p> <p>Carmel Municipal Code (Current Edition)</p>	<p>LOCATION: JUNIPERO ST. & 8TH AVE. CARMEL - BY THE SEA, CA 93923</p> <p>APN: 010-087-003</p> <p>ZONING: RC</p> <p>OCCUPANCY: R-1</p> <p>DESCRIPTION OF WORK:</p> <ol style="list-style-type: none"> 1. PAINT EXTERIOR OF BUILDING RAILINGS & DOORS 2. NEW STAINED WOOD LOBBY ENTRY DOOR 3. NEW EXTERIOR LIGHT FIXTURES 	<p>A0.1 PROJECT INFORMATION</p> <p>A0.2 DESIGN CONCEPT</p> <p>A0.3 MATERIALS / COLORS & FIXTURES</p> <p>A1.1 SITE PLAN</p> <p>A2.1 FLOOR PLAN, POWER & DATA, AND FINISH PLAN</p> <p>A4.1 COURTYARD ELEVATIONS</p> <p>A4.2 EXTERIOR ELEVATIONS</p> <p>A4.3 EXTERIOR ELEVATIONS</p>
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ENCL. ENCLOSURE	O.D. OUTSIDE DIAMETER	T.W. TOP OF WALL																																																																																																																																																																																																																																																																																																					
EQUIP. EQUIPMENT	O.F.C.I. OWNER FURNISH, CONTRACTOR INSTALL	TYP. TYPICAL																																																																																																																																																																																																																																																																																																					
EXIST. (E) EXISTING	OFF. OFFICE	U.B.C. UNIFORM BUILDING CODE																																																																																																																																																																																																																																																																																																					
EXH. EXHAUST	O.H.M.S. OVALHEAD MACHINE SCREW	UL. UNDERWRITERS LABORATORIES																																																																																																																																																																																																																																																																																																					
EXP. EXPOSED, EXPANSION	OPNG. OPENING	U.O.N. UNLESS OTHERWISE NOTED																																																																																																																																																																																																																																																																																																					
EXT. EXTERIOR	OPP. OPPOSITE	UR. URINAL																																																																																																																																																																																																																																																																																																					
F.A. FIRE ALARM	O.S.B. ORIENTED STRAND BOARD	V.B. VAPOR BARRIER																																																																																																																																																																																																																																																																																																					
FAST. FASTEN, FASTENER	P.A.F. POWDER ACTUATED FASTENER	VAR. VARIES																																																																																																																																																																																																																																																																																																					
F.B. FLAT BAR	PART. BD. PARTICLE BOARD	VERT. VERTICAL																																																																																																																																																																																																																																																																																																					
F.D. FLOOR DRAIN	P.G. PAINT GRADE	V.G. VERTICAL GRAIN																																																																																																																																																																																																																																																																																																					
FDN. FOUNDATION	PERF. PERFORATED	V.T. VINYL TILE																																																																																																																																																																																																																																																																																																					
F.E.C. FIRE EXTINGUISHER CABINET	P.L.F. POUNDS PER LINEAL FOOT	W. WEST																																																																																																																																																																																																																																																																																																					
FIBERGL. FIBERGLASS		W. WIDE, WIDTH																																																																																																																																																																																																																																																																																																					
FIN. FINISH (ED)		W.C. WATER CLOSET																																																																																																																																																																																																																																																																																																					
F.H.M.S. FLAT HEAD MACHINE SCREW		WD. WOOD																																																																																																																																																																																																																																																																																																					
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FLASH. FLASHING		W.H. WATER HEATER																																																																																																																																																																																																																																																																																																					
		W.W.I.C. WOODWORK INSTITUTE OF CALIFORNIA																																																																																																																																																																																																																																																																																																					
		WID. WITHOUT																																																																																																																																																																																																																																																																																																					
		W.P. WATERPROOF																																																																																																																																																																																																																																																																																																					
		W.R. WATER RESISTANT																																																																																																																																																																																																																																																																																																					
		W.S. WOOD SCREW																																																																																																																																																																																																																																																																																																					
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		WT. WEIGHT																																																																																																																																																																																																																																																																																																					
		W.W.M. WELDED WIRE MESH																																																																																																																																																																																																																																																																																																					
<p>PROJECT DIRECTORY</p> <p>CLIENT: LPP JUNIPERO PROP LLC 614 BOYLSTON AVENUE EAST SEATTLE, WA 98120 PHONE: (206) 557-7236 CONTACT: JOHN CHAFFETZ EMAIL: info@timberlanepartners.com</p> <p>PROJECT ARCHITECT: THE PAUL DAVIS PARTNERSHIP, LLP 286 EL DORADO STREET MONTEREY, CA 93940 (831) 373-2784 PHONE (831) 373-7459 FAX CONTACT: PAUL W. DAVIS, AIA EMAIL: paulw@pauldavispartnership.com</p>			<p>CARMEL-BY-THE-SEA PLANNING DIVISION APPROVED</p> <p>Permit #: DR 22-283 (The Hideaway)</p> <p>Date Approved: 01/10/2023</p> <p>Planner: M. Waffle</p>																																																																																																																																																																																																																																																																																																				

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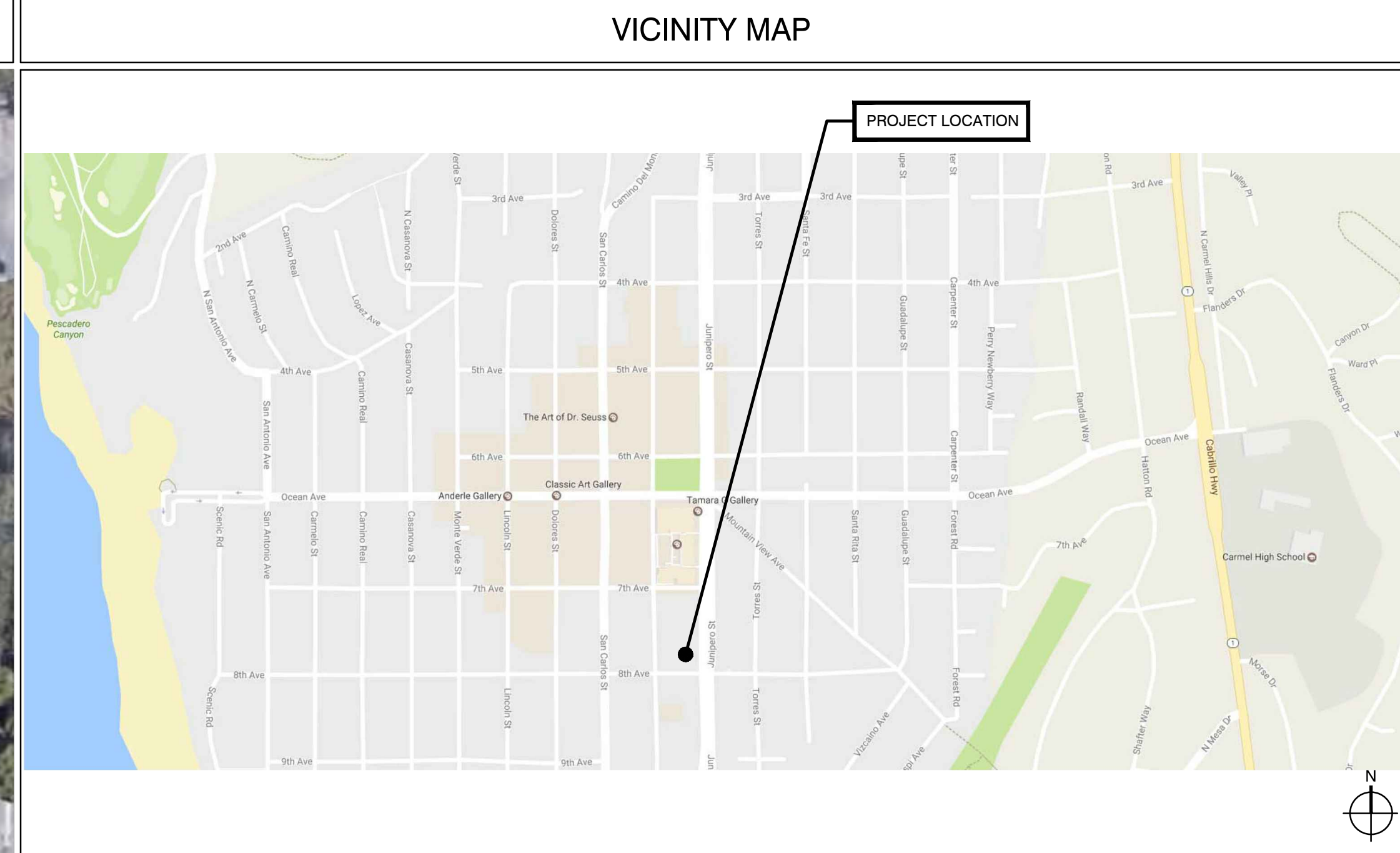
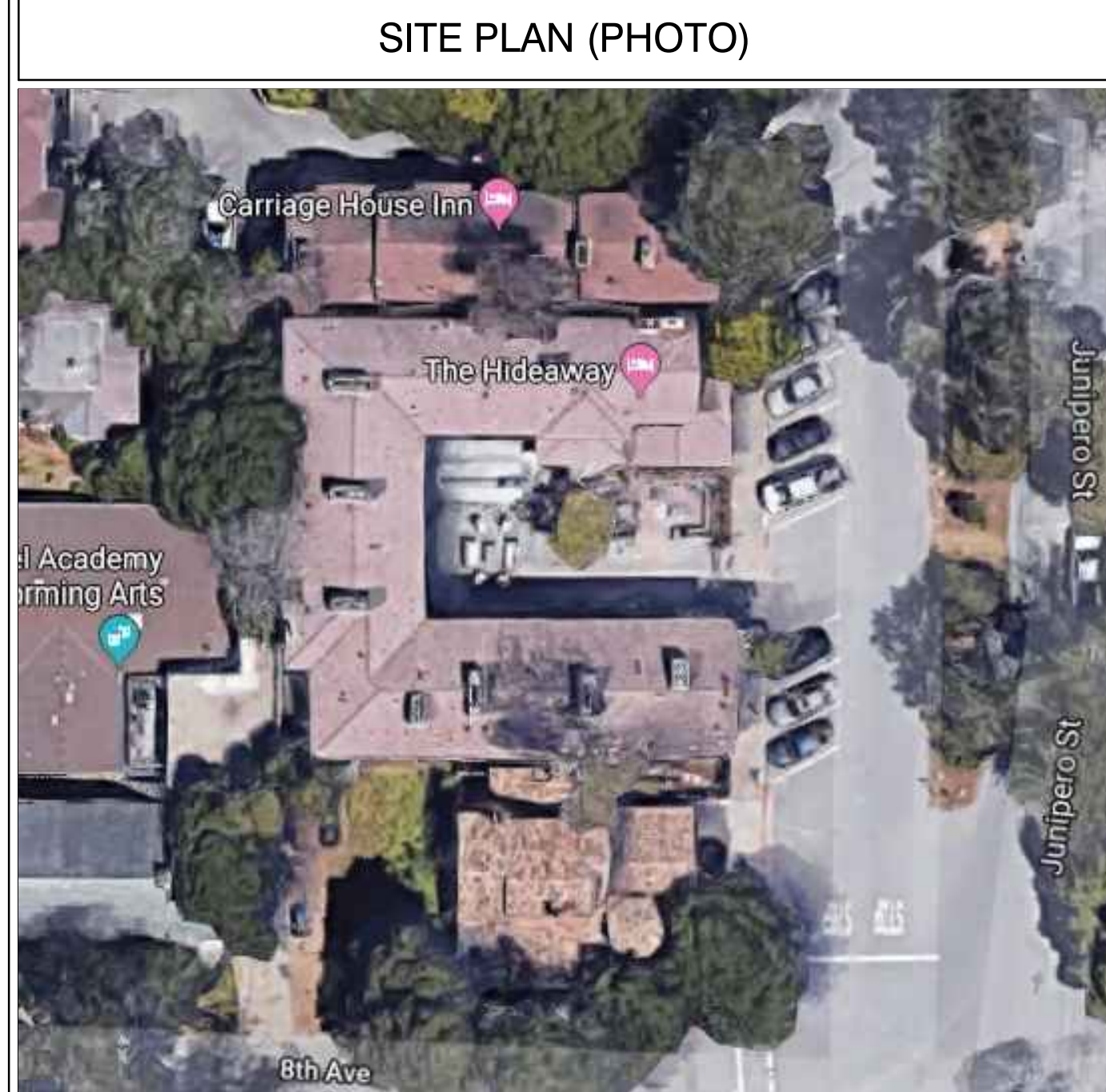
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Drawing Date: 8/15/2022

Project Number: 2214

Revisions:
 11/15/2022 PLANNING RE-SUBMITTAL

SYMBOLS	
	DETAIL KEY
	DETAIL NUMBER
	SHEET NUMBER
	SECTION KEY
	SECTION NUMBER
	SHEET NUMBER
	INTERIOR ELEVATION KEY
	ELEVATION NUMBER
	SHEET NUMBER
	ARROWS INDICATE ELEVATIONS SHOWN
	OFFICE
	ROOM NAME
	ROOM NUMBER
	WORK POINT, CONTROL POINT, OR DATUM POINT
	MATCHLINE
	SHEET NOTE SYMBOL (SEE SHEET NOTES TABLE)
	DOOR NUMBER (SEE DOOR SCHEDULE)
	WINDOW SYMBOL (SEE WINDOW SCHEDULE)
	EQUIPMENT SYMBOL (SEE EQUIPMENT LIST)
	REVISION



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Sheet Title:
PROJECT INFORMATION

Sheet Number:
A0.1



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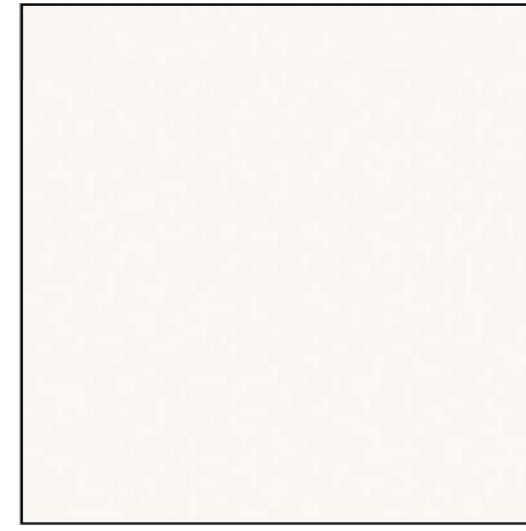
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Sheet Title:
DESIGN THEME

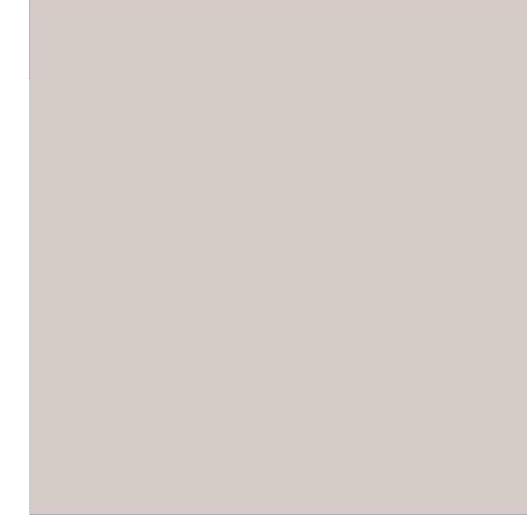
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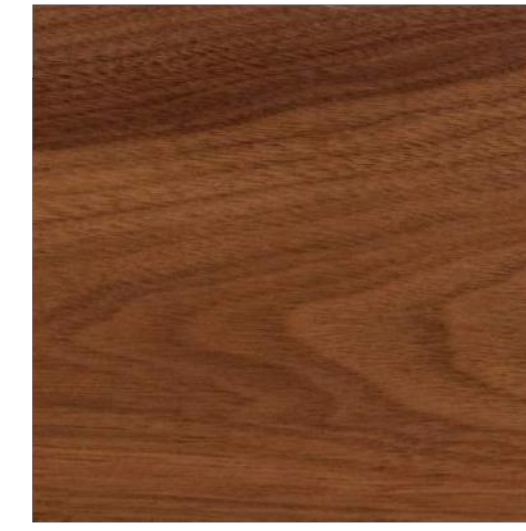
EPT-01: TRIMS, WINDOWS, GUTTERS, POSTS, BEAMS, SOFFITS
 Manufacturer: Benjamin Moore
 Color: Snowfall White OC-118
 Finish: TBD



EPT-02: TYP. DOOR
 Manufacturer: Farrow & Ball
 Color: Grove Green No. G17
 Finish: TBD



EPT-03: TYP. WALL PAINT
 Manufacturer: Sherwin Williams
 Color: Agreeable Gray SW 7029
 Finish: TBD



EPT-04: WOOD STAIN
 Manufacturer: By GC
 Species: Walnut
 Finish: TBD



LT-17: SIGNAGE SCONCE
 Manufacturer: Existing
 Description:
 Dimensions:
 Finish: Vintage Green



LT-18: LOBBY SCONCE
 Manufacturer: Shiplights
 Description: Nautical Schoolhouse Sconce
 Dimensions: 9" H x 9.5" D
 Finish: Brass (antique); milk/white glass
 Source: A-19 LED, 2700K, 1600 Lumens



LT-19: TYP. EXTERIOR SCONCE
 Manufacturer: Shiplights
 Description: Small Brim Wall Light
 Dimensions: 15" H x 12" D
 Finish: Brass (antique); frosted glass
 Source: A-19 LED, 2700K, 1600 Lumens



LT-20: GUESTROOM DOOR SCONCE
 Manufacturer: Shiplights
 Description: 90 Degree Modern Sconce
 Dimensions: 9.25" H x 5.5" D
 Finish: Brass (antique); frosted glass
 Source: 10W LED, 2700K, 800 Lumens



LT-21: LANDSCAPE LIGHTING
 Manufacturer: Volt
 Description: Conehead Path & Area Light
 Dimensions: 25" H x 7" W
 Finish: Bronze
 Source: LED
 Note: Final quantity and location TBD



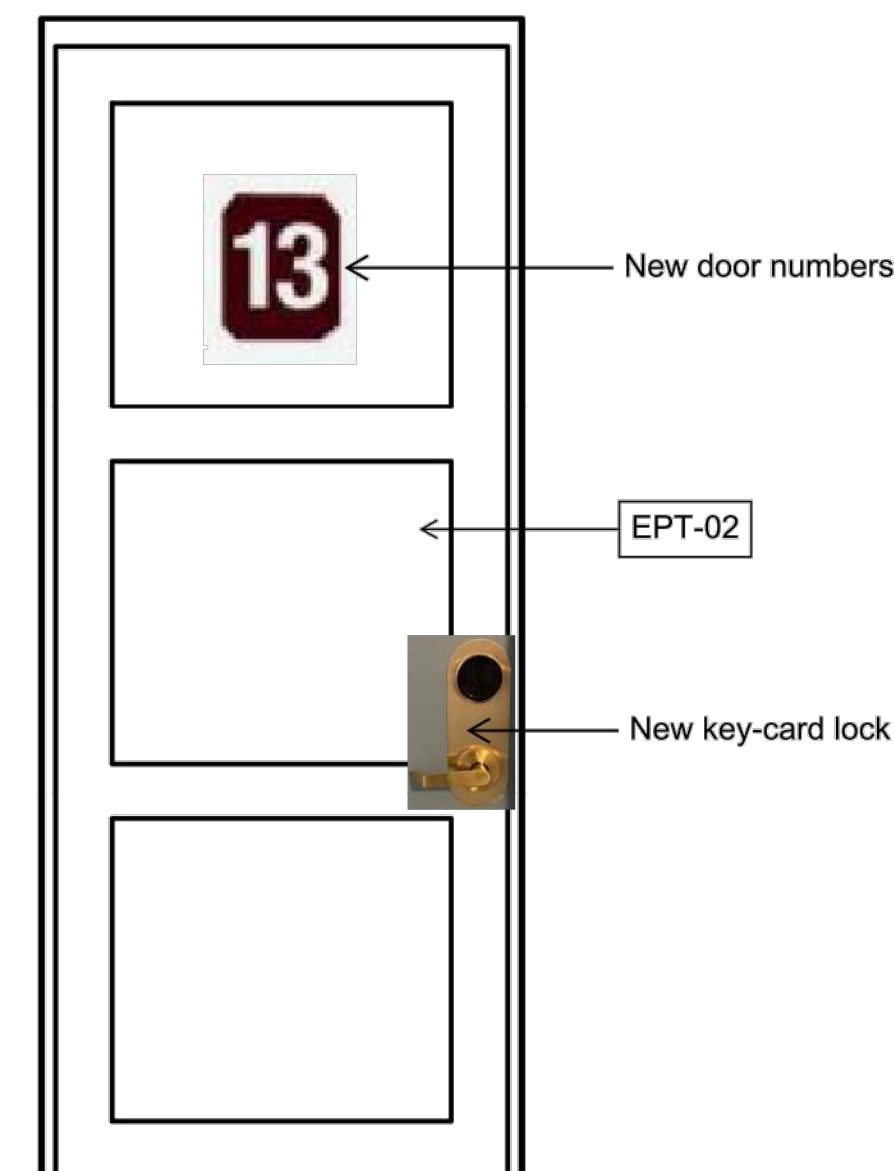
LT-22: STEP LIGHT
 Manufacturer: LUMENS
 Description: Outdoor SL60 LED Step Light
 Dimensions: W 5" x H 3" x D 1.5" - GC to confirm requirements
 Finish: Brass
 Source: 4W LED, 3000K, 200 Lumens



LT-23: STRING LIGHT
 Manufacturer: Restoration Hardware
 Description: Hammered Bronze Domes light string
 Dimensions: 1.5" Dia
 Finish: Clear
 Source: 7W LED, 2700K, 35 Lumens



D1: ENTRY DOOR
 Manufacturer: By GC
 Description: Double 'Dutch' style door w/ window
 Hardware: TBD
 Finish: Stained EPT-04



D2: GUESTROOM DOOR
 Manufacturer: Existing
 Description:
 Finish: EPT-02

Note:
 1. All guestroom doors to have new hardware: hinges, peep hole, seal, sweep, threshold and security latch
 2. Code required signage as needed.

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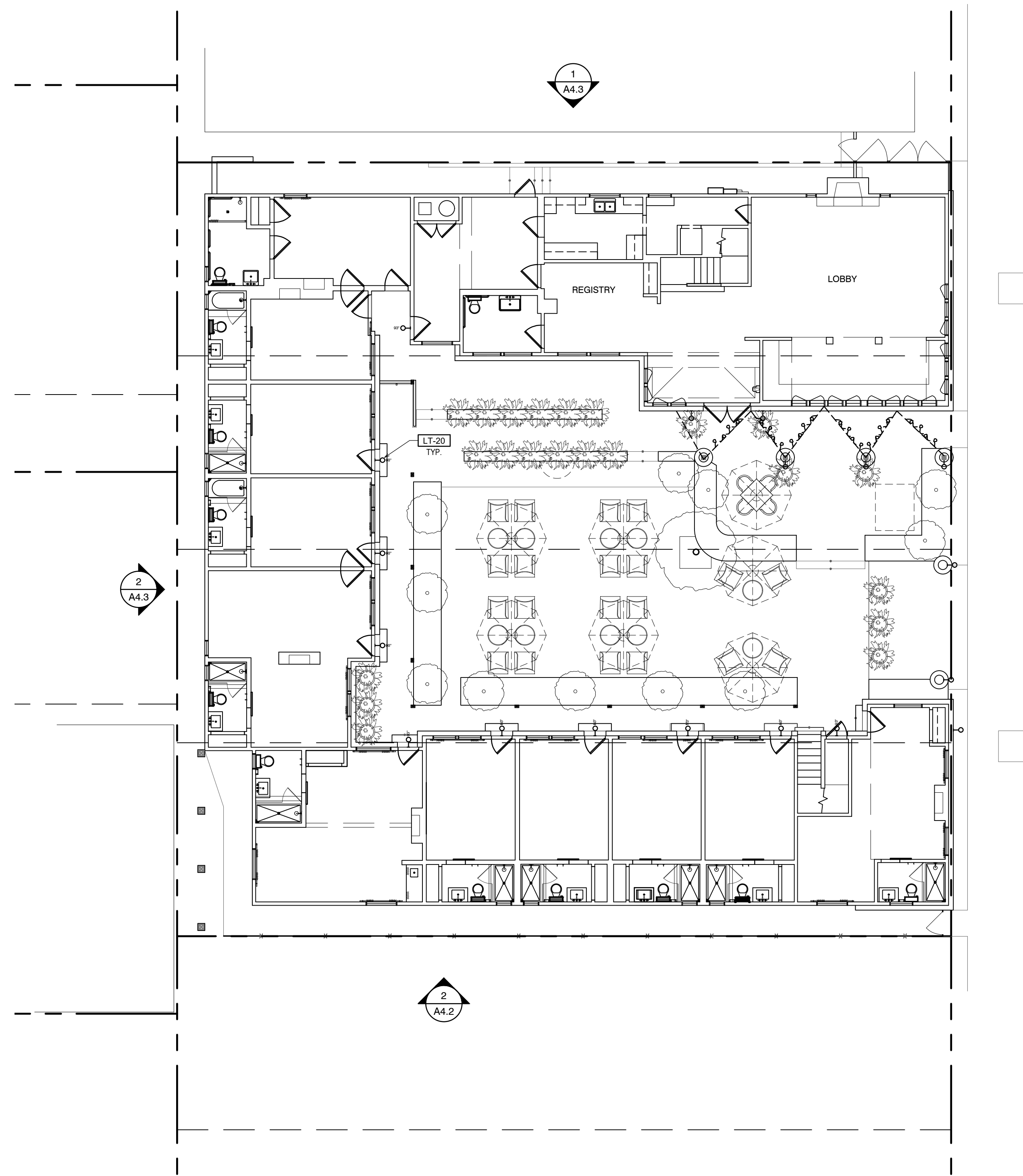
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Sheet Title:
MATERIALS / COLORS & FIXTURES

Sheet Number:



JUNIPERO ST

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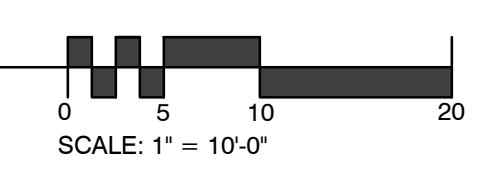
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Sheet Title:
SITE PLAN

Sheet Number:

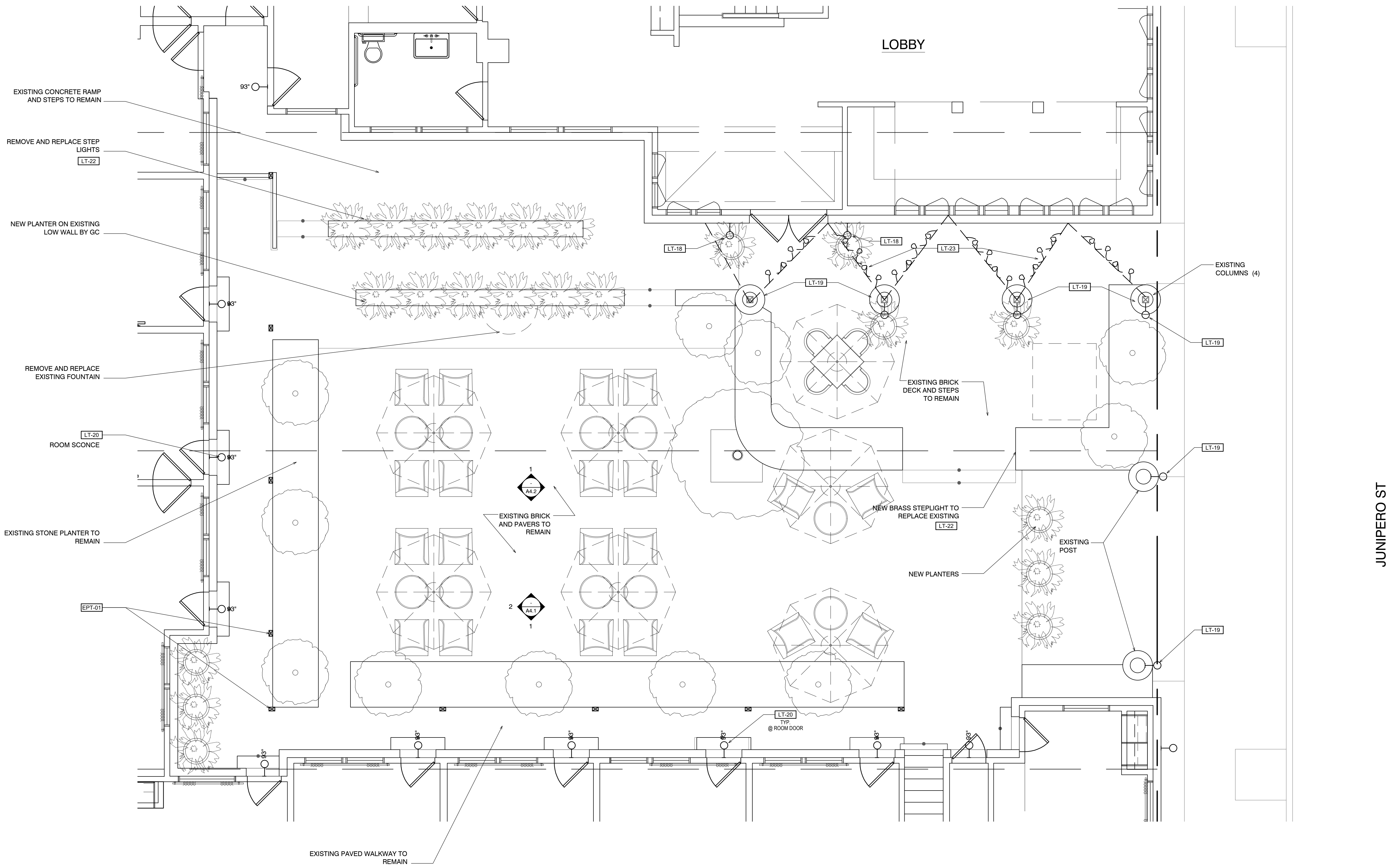
NORTH
SITE PLAN
 SCALE: 1" = 10'-0"



A1.1

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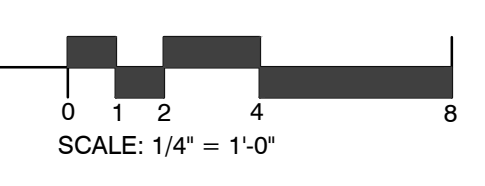
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Sheet Title:
FLOOR PLAN

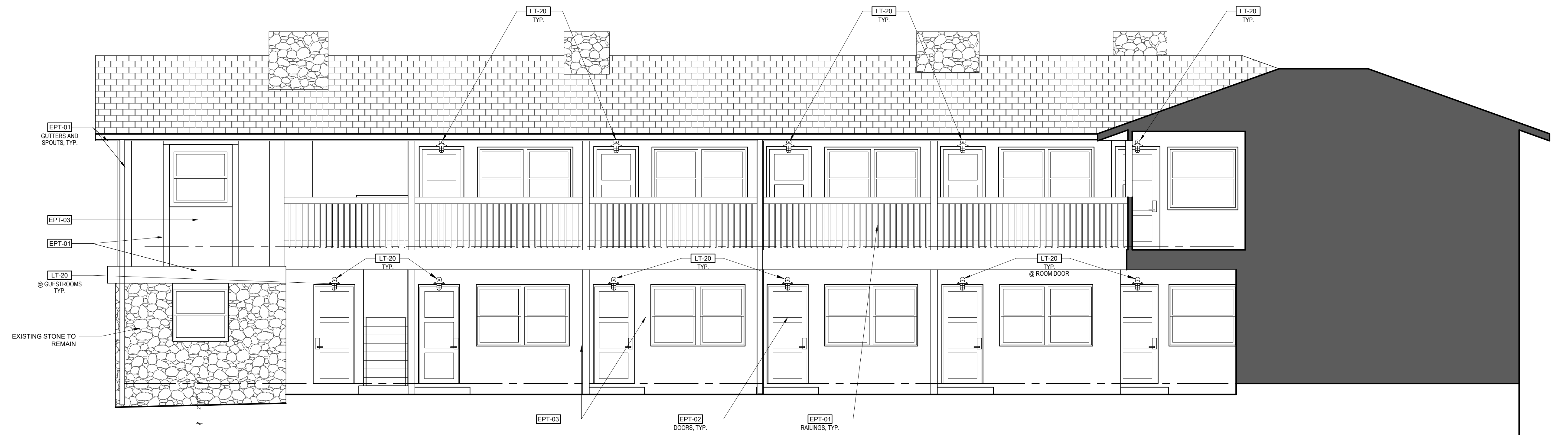
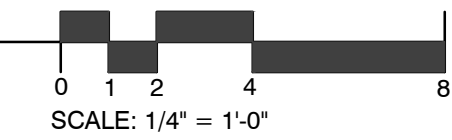
Sheet Number:

NORTH
FLOOR PLAN, POWER AND DATA, AND FINISH PLAN
 SCALE: 1/4" = 1'-0"

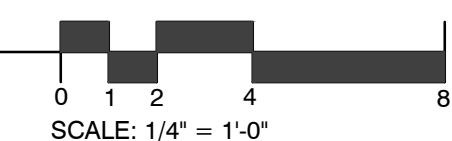




2 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



1 COURTYARD ELEVATION
 SCALE: 1/4" = 1'-0"

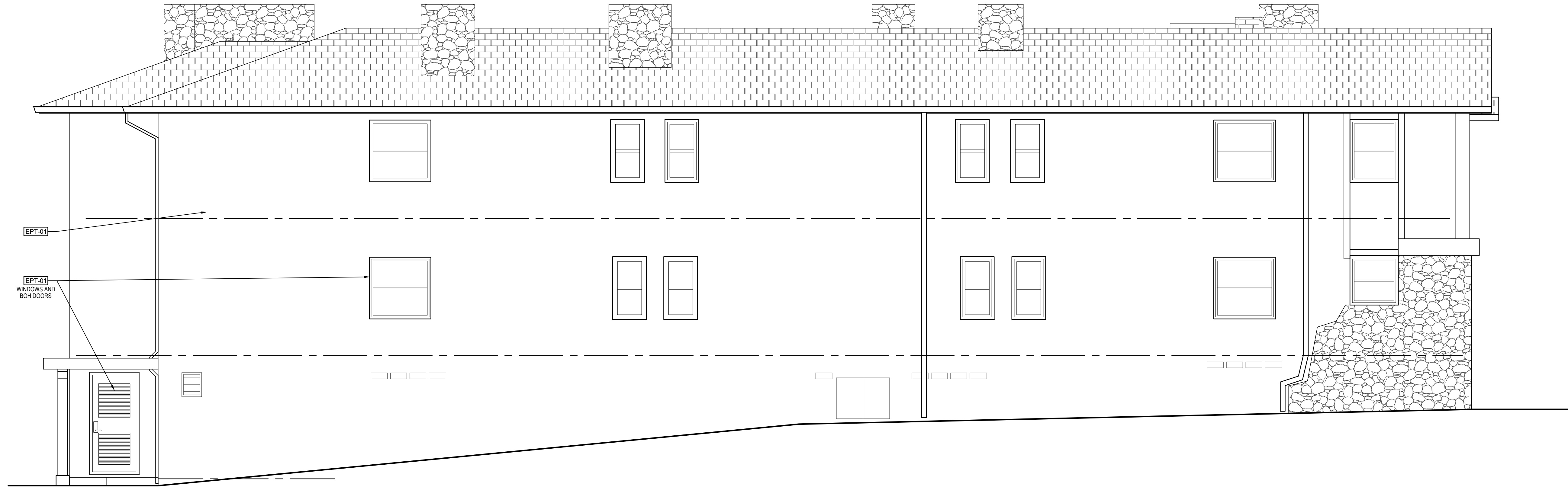


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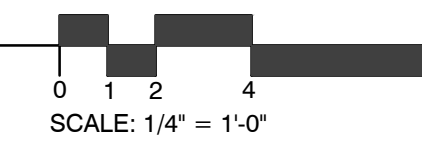
Sheet Title:
COURTYARD ELEVATION

Sheet Number:

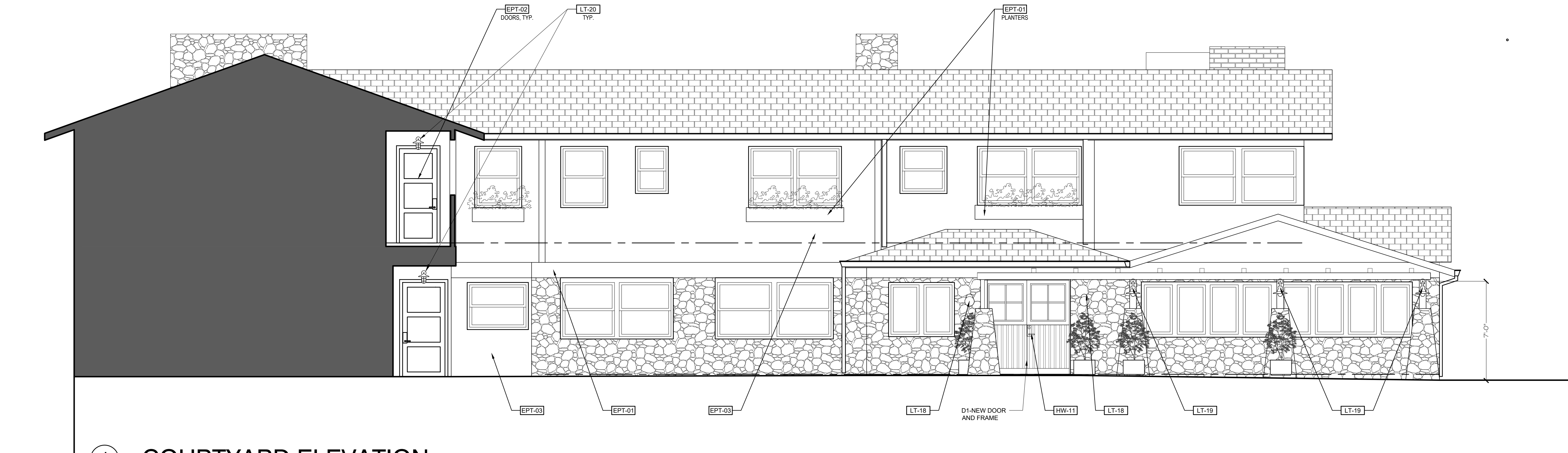


2 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

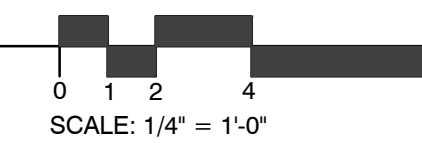


SCALE: 1/4" = 1'-0"



1 COURTYARD ELEVATION

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

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Drawn By: **CGAD**

Drawing Date: 8/15/2022

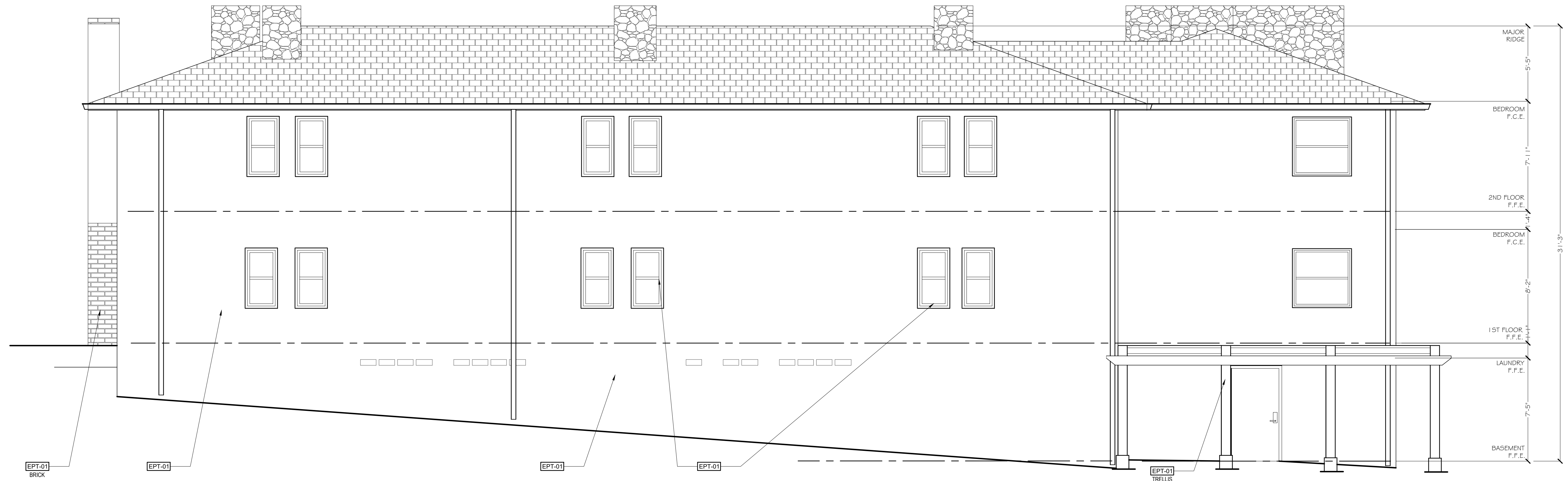
Project Number: 2214

Revisions:
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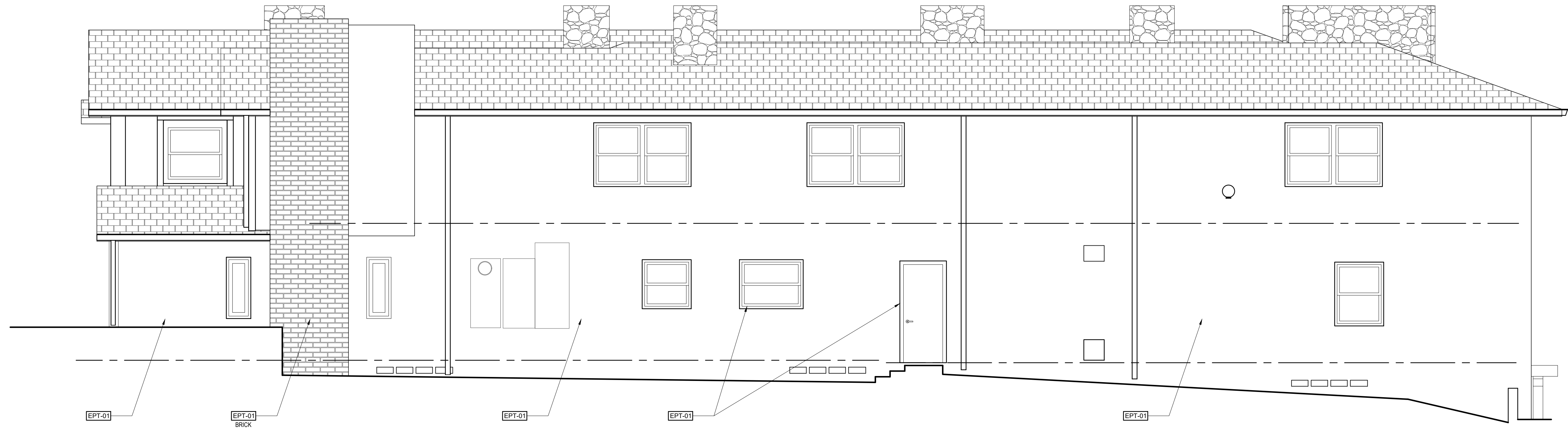
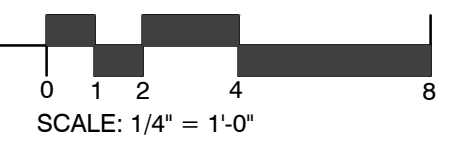
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Sheet Title:
EXTERIOR ELEVATION

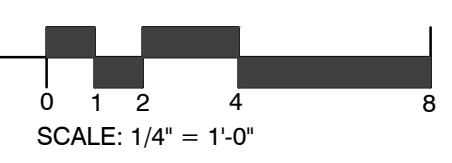
Sheet Number:



② WEST ELEVATION
 SCALE: 1/4" = 1'-0"



① NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



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Sheet Title:
EXTERIOR ELEVATION

Sheet Number: