

**SITE PLAN**  
DOLORIS STREET  
(PUBLIC STREET)

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**FOREST & BEACH COMMISSION NOTES:**

**TOTAL SIZE OF OPEN SPACE:**  
AREA: 1,920 S.F.

**LANDSCAPING AREA REQUIRED:**  
1,920 / 2 = 960 S.F.

**PLANT ALTERNATIVES ALLOWED:**  
960 X 0.25 = 240 S.F.

**LANDSCAPE AREA REQUIRED W/ 25% PLANT ALTERNATIVES:**  
720 S.F.

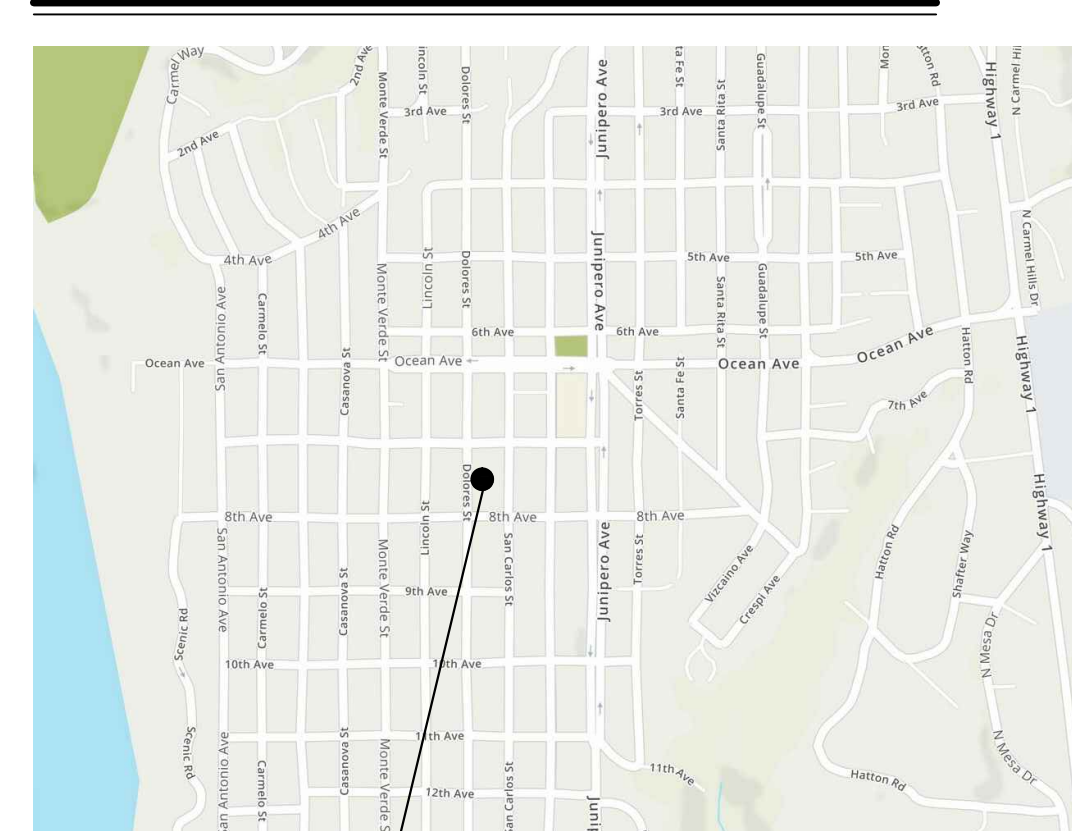
**LANDSCAPE AREAS PROVIDED:**  
GROUND FLOOR: 494 S.F.  
GREEN ROOF: 1,927 S.F.  
TOTAL: 2,421 S.F.

**NEW TREE SUMMARY:**  
UPPER CANOPY ON PRIVATE PROPERTY: 3  
UPPER CANOPY ON PUBLIC PROPERTY: 2  
TOTAL: 5

LOWER CANOPY TREES ON ROOF: 4  
(SEE SHEET A5.0)

**NOTE:**  
SEE SECTION D/A6.3 FOR TYPICAL EXCAVATION CUT

**VICINITY MAP**



LOCATION OF PROJECT

**PLANNING INFO.**

- **PROPERTY OWNER:**  
ESPERANZA CARMEL COMMERCIAL, LLC  
ATTN: CHRISTOPHER MITCHELL  
C/O INTERNATIONAL DESIGN GROUP, INC.  
721 LIGHTHOUSE AVENUE  
PACIFIC GROVE, CA 93950
  - **ARCHITECT**  
INTERNATIONAL DESIGN GROUP LLC  
PROJECT MANAGER  
ALEM DERMICEK, AIA  
ALEM@IDG-INC.NET  
PHONE: (831) 646-1261 #209
  - **PROJECT ADDRESS:**  
DOLORIS ST.  
2 SE OF 7TH AVE.,  
CARMEL-BY-THE-SEA, CA 93921
  - **PROJECT SCOPE:**  
DEMOLITION OF EXISTING BUILDINGS.  
NEW CONSTRUCTION FOR PARKING GARAGE, COMMERCIAL SPACES  
ON GROUND FLOOR, & 8 RESIDENTIAL APARTMENTS ON 2ND  
FLOOR.
  - **OCCUPANCY:** A-2, B, M, R-2, S-2
  - **CONST. TYPE:** V-B, TYPE I-GARAGE
  - **A.P.N.** 010-145-012, 023, & 024
  - **LEGAL DESC.:** LOTS: 6, 8, & 10 BLOCK: 91
  - **ZONE:** SC (SERVICE COMMERCIAL)
  - **STORIES:** 2 + UNDERGROUND GARAGE
  - **MAX BLDG. HT:** 30 FT ALLOWED
  - **CUT/FILL:** 6,369 C.Y. CUT / 0 C.Y. FILL
  - **CUT / FILL CALCULATIONS**  
1002.33' = AVERAGE GRADE  
988' = B.O. GARAGE SLAB & SUBSTRATE (SAND, ROCK)  
1002.33' - 988' = 14.33 X 12,000 = 171,960 C.F. = 6,369 C.Y.
  - **TREE REMOVAL:** SEE A1.1
  - **TOPOGRAPHY:** SEE TOPOGRAPHIC MAP, SHEET 1 OF 1
  - **PROJECT CODE COMPLIANCE:**  
2019 CBC, CMC, CPC, CFC, CEC, CALIFORNIA GREEN BUILDING CODE  
& 2019 CALIFORNIA ENERGY CODE
  - **LOT AREA:** 12,000 S.F. (0.276 AC.)
  - **BUILDING COVERAGE ALLOWED:**  
17.14.130  
A. EXCEPTIONS MAY BE GRANTED UP TO A MAXIMUM BUILDING  
COVERAGE OF 95 PERCENT = 95% (11,400 SF)
  - **BUILDING COVERAGE CALCULATIONS**
- |       | EXISTING TO BE REMOVED | PROPOSED    |
|-------|------------------------|-------------|
| TOTAL | 2,962 S.F.             | 10,100 S.F. |
|       | 24.68%                 | 84.17%      |
- **FLOOR AREA RATIO (FAR) ALLOWED:**  
FOR 2 STORIES = 135% (16,200 S.F.)  
+ INTRABLOCK ACCESS = 10% (1,200 S.F.)  
TOTAL = 145% (17,400 S.F.)
  - **FAR CALCULATIONS**
- |              | EXISTING TO BE REMOVED | PROPOSED              |
|--------------|------------------------|-----------------------|
| GROUND FLOOR | 2,962 S.F.             | 8,531 S.F.            |
| SECOND FLOOR | 1,597 S.F.             | 8,360 S.F.            |
| TOTAL        | 4,559 S.F.             | 16,891 S.F. (140.76%) |
- **NOT INCLUDED IN FAR CALCULATIONS**
- |                   |   |             |
|-------------------|---|-------------|
| BASEMENT (GARAGE) | 0 | 11,371 S.F. |
|-------------------|---|-------------|
- **PARKING REQUIREMENTS**  
COMMERCIAL RETAIL REQ. 1 PER 600 SQ. FT.  
7718 / 600 S.F. = 12.86 = 13 SPACES  
RESIDENTIAL REQUIRES 1 PER UNIT  
8 UNITS = 8 SPACES  
TOTAL REQ. = 21 SPACES
  - ACCESSIBILITY REQ.**  
VAN PARKING REQ. = 1 PER 25 SPACES
- |                  |                                 |
|------------------|---------------------------------|
| TOTAL REQ. =     | 10 COMPACT PARKING SPACES       |
|                  | 10 STANDARD PARKING SPACES      |
|                  | 1 ACCESSIBLE VAN PARKING SPACES |
|                  | 21 SPACES                       |
| TOTAL PROVIDED = | 10 COMPACT PARKING SPACES       |
|                  | 10 STANDARD PARKING SPACES      |
|                  | 1 ACCESSIBLE VAN PARKING SPACES |
|                  | 21 SPACES                       |



721 LIGHTHOUSE AVE  
PACIFIC GROVE CA  
93950

PH (831) 646-1261  
FAX (831) 646-1260  
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WEB idg-inc.net

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STAMPS:

PROJECT/CLIENT:

**JB PASTOR BUILDING**

PROJECT ADDRESS:  
**DOLORIS, 2ND SE OF 7TH CARMEL, CA 93921**

APN: 010-145-012, 022, & 023

DATE: DECEMBER 18, 2020  
TRACK-2 SUBMITTAL

- REVISIONS:
- △ MARCH 4, 2021 FOREST & BEACH COMMISSION
  - △ MARCH 26, 2021 HISTORIC BOARD COMMISSION
  - △ APRIL 14, 2021 REVISED TRACK-2 APPLICATION

**SITE PLAN**

SHEET NO.



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STAMPS:

PROJECT/CLIENT:

PROJECT ADDRESS:

**DOLORES ST,  
1 SE OF 7TH AVE  
CARMEL, CA 93921**

APN: 010-145-020  
010-145-023

DATE: JANUARY 24, 2022

CLIENT REVIEW

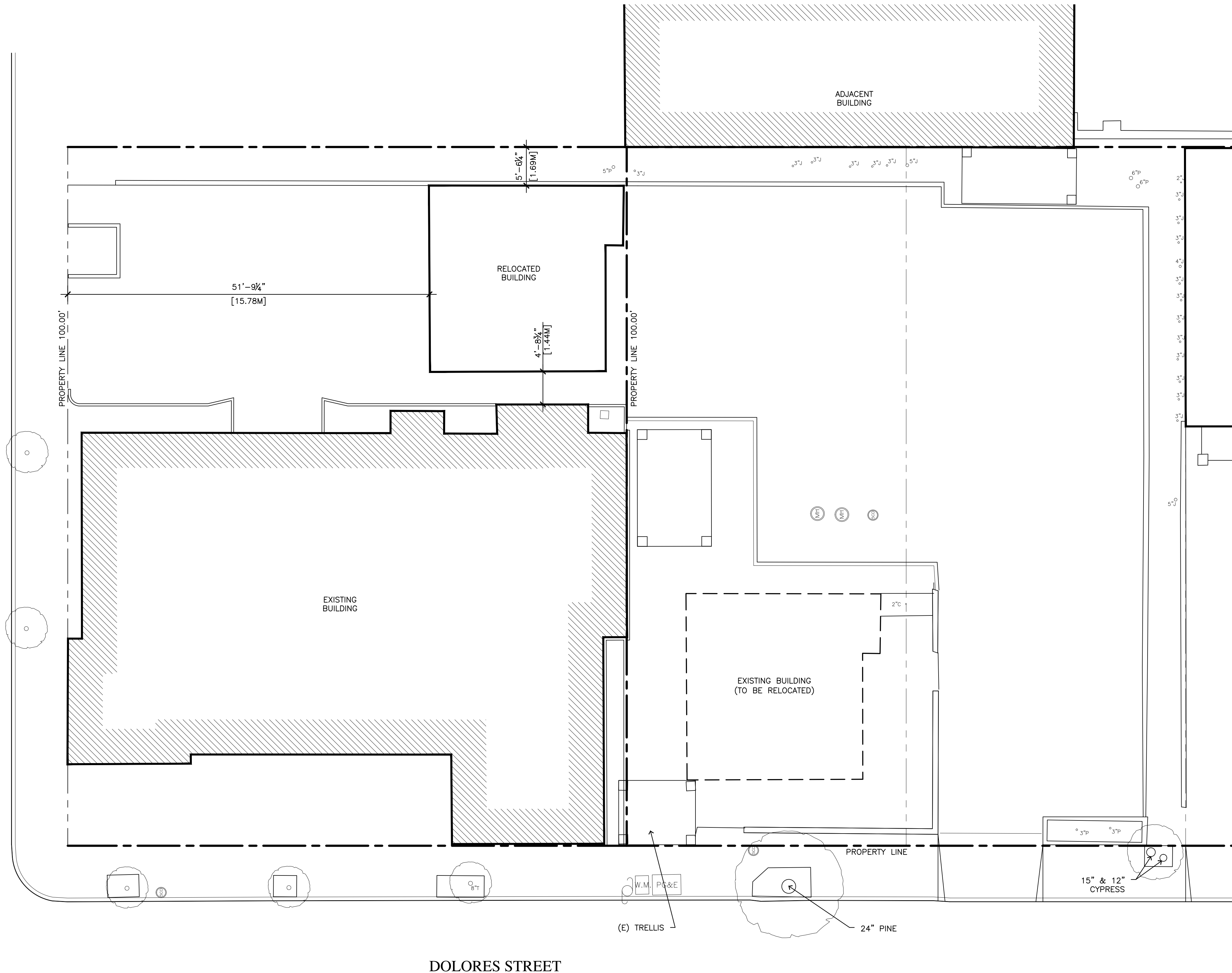
REVISIONS:

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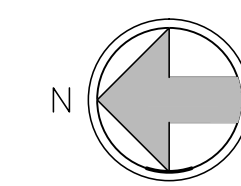
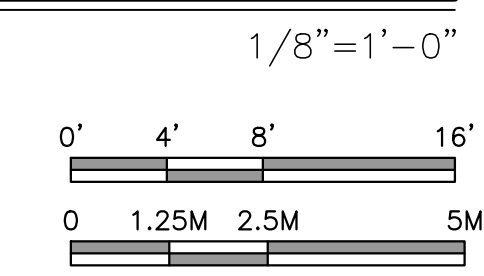
**RELOCATION  
SITE PLAN**

SHEET NO.

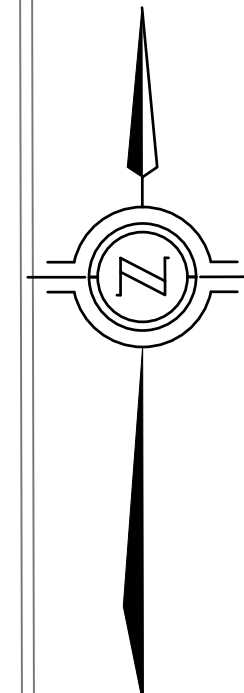
**A1.0**



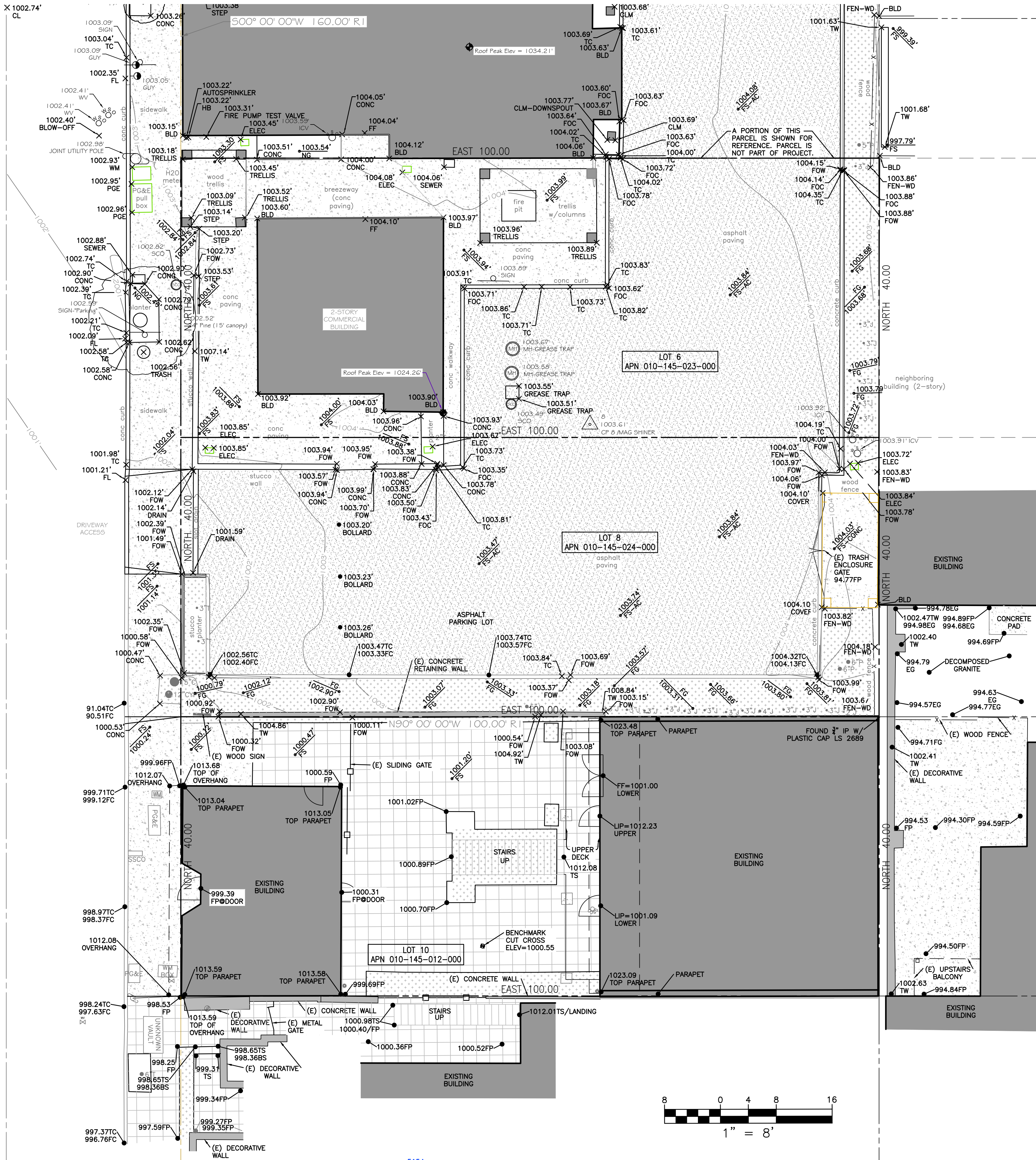
SITE PLAN







DOLORES STREET



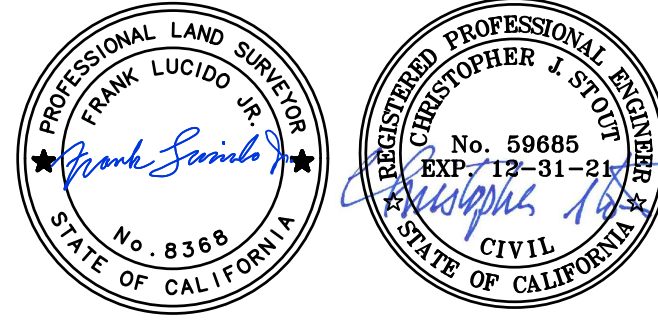
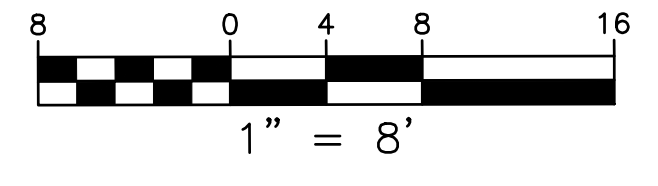
**LEGEND**

	WATER METER		PROPERTY BOUNDARY LINE
	WATER VALVE		BUILDING OVERHANG
	HOSE BIB		METAL FENCE
	FIRE DEPARTMENT CONNECTION		CONCRETE CURB
	IRRIGATION CONTROL VALVE		CONCRETE
	JOINT POLE		PAVERS
	ELECTRICAL METER		PLANTER
	DOWNSPOUT		ASPHALT
	CLEANOUT		
	CONTROL POINT		
	FIRE HYDRANT		
	LIGHT STANDARD		
	MANHOLE		
	SEWER CLEAN OUT		
	SIGN (POLE)		
	SEWER MANHOLE		
	TELEPHONE MANHOLE		
	WATER SHUTOFF		

**ABBREVIATIONS**

CLM	COLUMN
E	EXISTING
EG	EXISTING GRADE
FF	FINISH FLOOR
FOC	FACE OF CURB
FW	FACE OF WALL
FP	FINISH PAVEMENT
FT	JUNIPER TREE/BUSH
TS	TOP OF STAIR
TW	TOP OF WALL

- NOTES:**
- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS.
  - THIS TOPOGRAPHIC SURVEY HAS BEEN COMBINED WITH A PREVIOUSLY MAPPED RASMUSSEN LAND SURVEYING INC TOPOGRAPHIC SURVEY MAP (LOT 6 AND 8) TO PROVIDE AN OVERALL PROJECT BASEMAP. L&S ENGINEERING AND SURVEYING INC IS NOT RESPONSIBLE FOR THE TOPOGRAPHIC MAPPING ACCURACY FROM THE RASMUSSEN MAPPING, HOWEVER AN EFFORT HAS BEEN MADE TO COMBINE MAPS AND REVIEW FOR COMPLETENESS.
  - DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
  - TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
  - ELEVATION SHOWN ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK ELEVATION - CUT CROSS - ON PAVERS BETWEEN PLANTERS AS SHOWN ABOVE. ELEV=1000.55
  - POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS, IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
  - ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.



DRAWN BY: P/M  
 DESIGNED BY: N/A  
 DATE: 12/21/18  
 SCALE: 1" = 8'  
 JOB NUMBER: 19-47  
 LAST REVISED: 7/27/20  
 REVISED BY: C/S

PREPARED FOR:  
 INTERNATIONAL DESIGN GROUP, INC  
 721 LIGHTHOUSE AVE  
 PACIFIC GROVE, CA

TOPOGRAPHIC SURVEY  
 DOLORES, 2SE OF 7TH  
 LOTS 6, 8, & 10  
 CARMEL-BY-THE-SEA







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STAMPS:

PROJECT/CLIENT:

**JB PASTOR  
BUILDING**

PROJECT ADDRESS:

**DOLORES, 2ND SE  
OF 7TH  
CARMEL, CA  
93921**

APN: 010-145-012  
022, & 023

DATE: DECEMBER 18, 2020

TRACK-2 SUBMITTAL

REVISIONS:

- ▲ MARCH 4, 2021  
FOREST & BEACH COMMISSION
- ▲ MARCH 26, 2021  
HISTORIC BOARD COMMISSION
- ▲ APRIL 14, 2021  
REVISED TRACK-2 APPLICATION
- ▲ \_\_\_\_\_
- ▲ \_\_\_\_\_
- ▲ \_\_\_\_\_

**EXITING, F.A.R. &  
BUILDING COVERAGE  
DIAGRAMS**

SHEET NO.

**A1.2**

## EXIT ANALYSIS

### BASEMENT

<b>TYPE S-2 OCCUPANCY</b>	
PARKING GARAGE	= 6,452/200 GROSS = 32.26 = 33 OCCUPANTS
<b>TYPE S-3 OCCUPANCY</b>	
STORAGE-1	= 750 SF
STORAGE-2	= 2,165 SF
MECHANICAL/ELECTRICAL	= 253 SF
STAIR-1	= 89 SF
STAIR-2	= 121 SF
TRASH	= 345 SF
ELEVATOR	= 58 SF
LOBBY	= 48 SF
MEN'S RESTROOM	= 191 SF
WOMEN'S RESTROOM	= 217 SF
ELEVATOR MECHANICAL	= 40 SF
JANITOR	= 12 SF
<b>TOTAL</b>	<b>= 4,289 SF/300 GROSS = 14.29 = 15 OCCUPANTS</b>

S-2, & S-3 OCCUPANT LOAD = 48 OCCUPANTS > 2 EXITS REQUIRED > 24 OCCUPANTS EACH

### EXIT WIDTH REQUIRED:

48 X 0.2" = 9.6" @ DOOR > 72" PROVIDED  
48 X 0.3" = 14.4" @ STAIR > 88" PROVIDED

### GROUND FLOOR

<b>TYPE A-2 OCCUPANCY (ASSEMBLY)</b>	
UNIT-110	= 741 SF/15 NET = 49.4 = 50 OCCUPANTS
UNIT-111	= 501 SF/15 NET = 33.4 = 34 OCCUPANTS

<b>TYPE B OCCUPANCY (BUSINESS) 100 SF GROSS = OCCUPANTS</b>	
<b>TYPE M OCCUPANCY (MERCANTILE) 60 SF GROSS = OCCUPANTS</b>	

### CALCULATED FOR TYPE M

UNIT-101	= 781 SF
UNIT-102	= 764 SF
UNIT-103	= 959 SF
UNIT-104	= 662 SF
UNIT-105	= 662 SF
UNIT-106	= 1,157 SF
UNIT-107	= 418 SF
UNIT-108	= 425 SF
UNIT-109	= 466 SF
<b>TOTAL</b>	<b>= 6,294 SF/60 GROSS = 104.9 = 105 OCCUPANTS</b>

A-2 + M(B) OCCUPANT LOAD = 189 OCCUPANTS > 2 EXITS REQUIRED > 95 OCCUPANTS EACH

### EXIT WIDTH REQUIRED:

96 X 0.2" = 19" @ DOOR > 72" PROVIDED  
96 X 0.3" = 28.5" @ STAIR > 88" PROVIDED

### 2ND FLOOR

<b>TYPE R-2 OCCUPANCY</b>	
APARTMENT-2A	= 1,308 SF
APARTMENT-2B	= 916 SF
APARTMENT-2C	= 589 SF
APARTMENT-2D	= 1,139 SF
APARTMENT-2E	= 608 SF
APARTMENT-2F	= 608 SF
APARTMENT-2G	= 1,149 SF
APARTMENT-2H	= 1,260 SF
<b>TOTAL</b>	<b>= 7,577 SF/200 GROSS = 37.89 = 38 OCCUPANTS</b>

R-2 OCCUPANT LOAD = 38 OCCUPANTS > 2 EXITS REQUIRED > 19 OCCUPANTS EACH

### EXIT WIDTH REQUIRED:

19 X 0.2" = 3.8" @ DOOR > 72" PROVIDED  
19 X 0.3" = 5.7" @ STAIR > 88" PROVIDED

## F.A.R. CALCULATIONS

### GROUND FLOOR

BUILDING 1	= 5,479.6 SF
BUILDING 2	= 1,680.1 SF
BUILDING 3	= 1,371.7 SF
<b>TOTAL</b>	<b>= 8,531.4 SF</b>

### 2ND FLOOR

BUILDING 1	= 5,197.3 SF
BUILDING 2	= 1,550.8 SF
BUILDING 3	= 1,611.6 SF
<b>TOTAL</b>	<b>= 8,359.7 SF</b>

GROUND FLOOR + 2ND FLOOR (8,531.4 + 8,359.7) = 16,891.1 SF

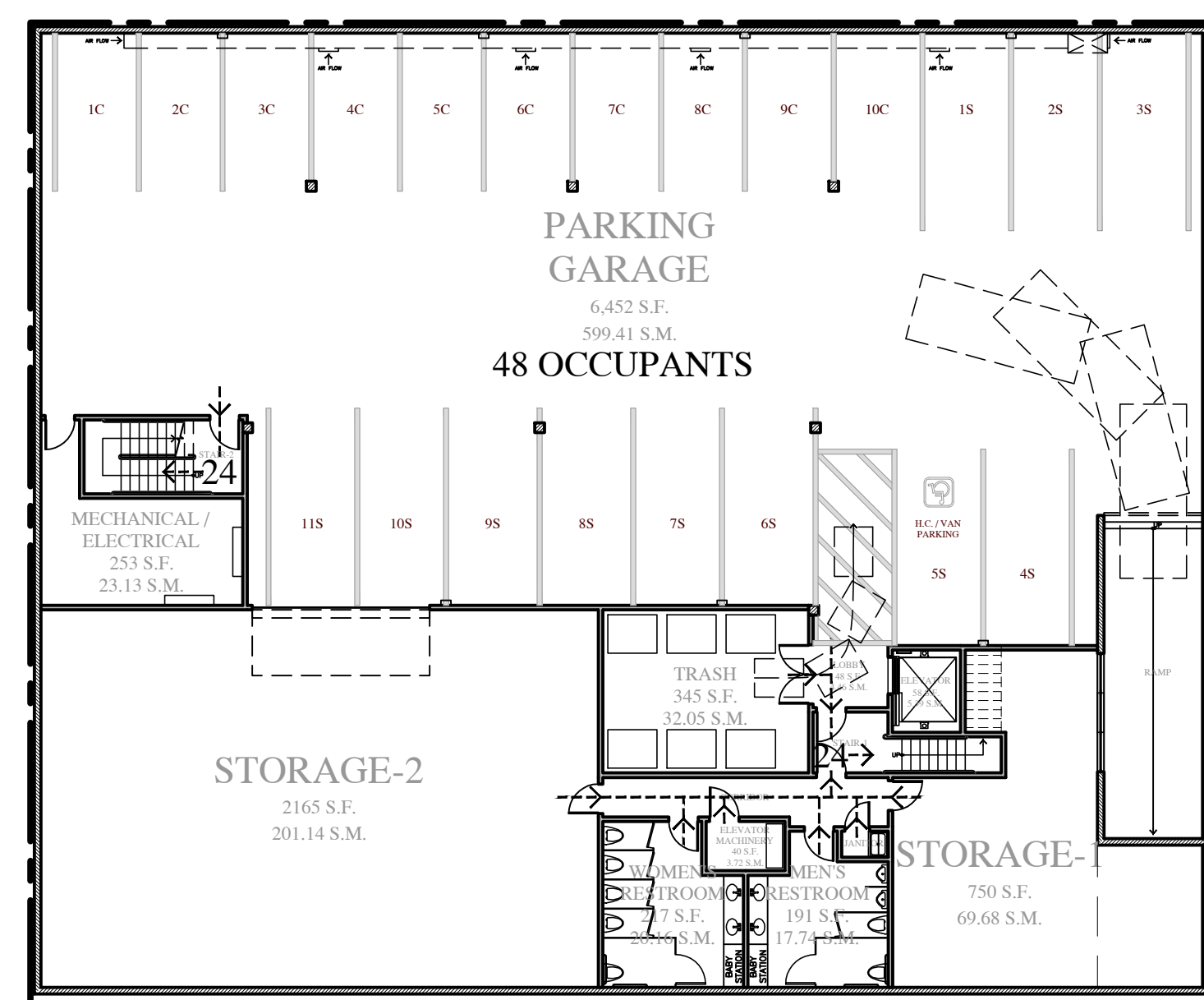
16,891 / 12,000 = 140.76%

## BUILDING COVERAGE SUMMARY

### BUILDING COVERAGE

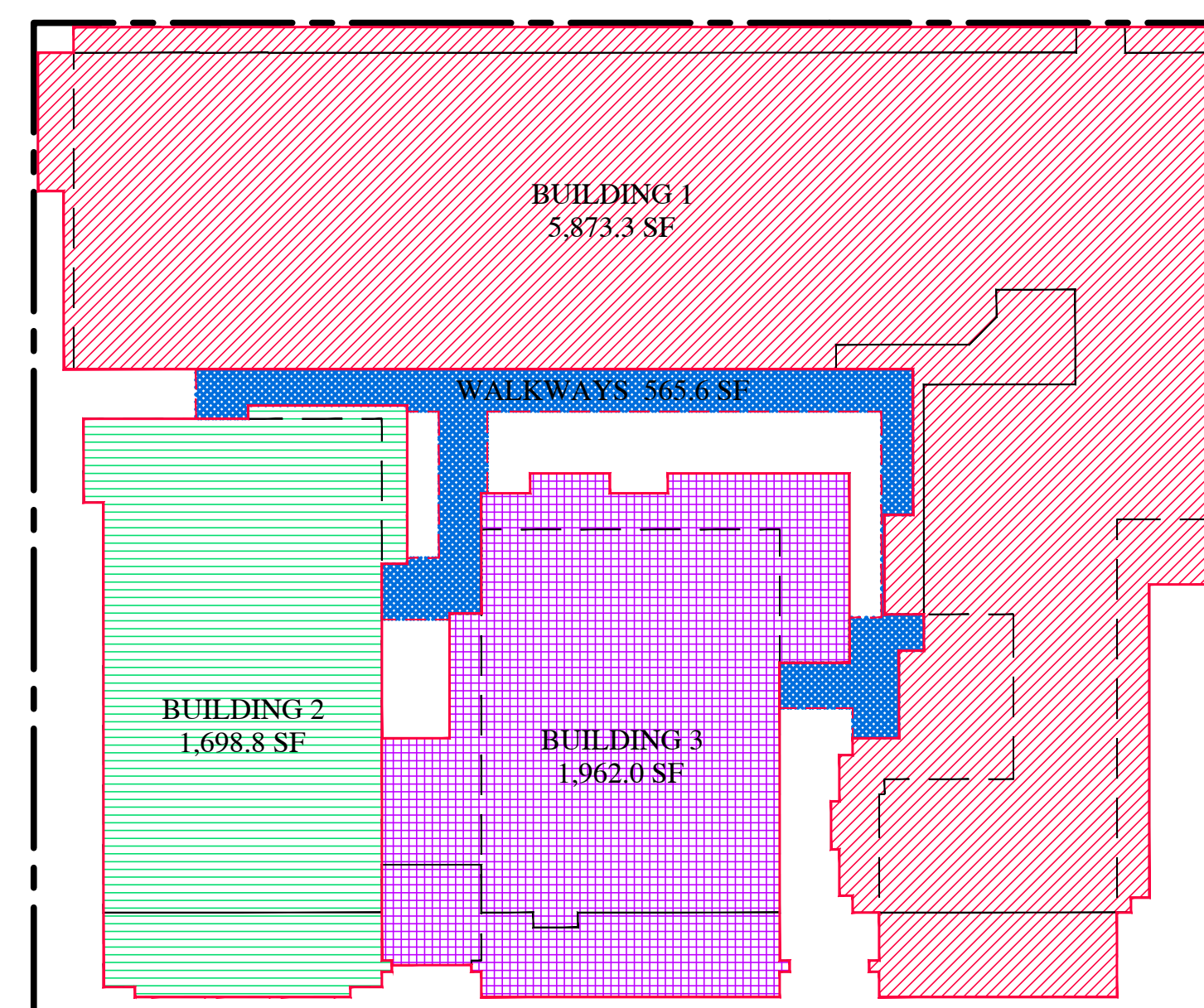
BUILDING 1	= 5,873.3 SF
BUILDING 2	= 1,698.8 SF
BUILDING 3	= 1,962.0 SF
WALKWAYS	= 565.6 SF
<b>TOTAL</b>	<b>= 10,099.7 SF</b>

10,100 / 12,000 = 84.17%



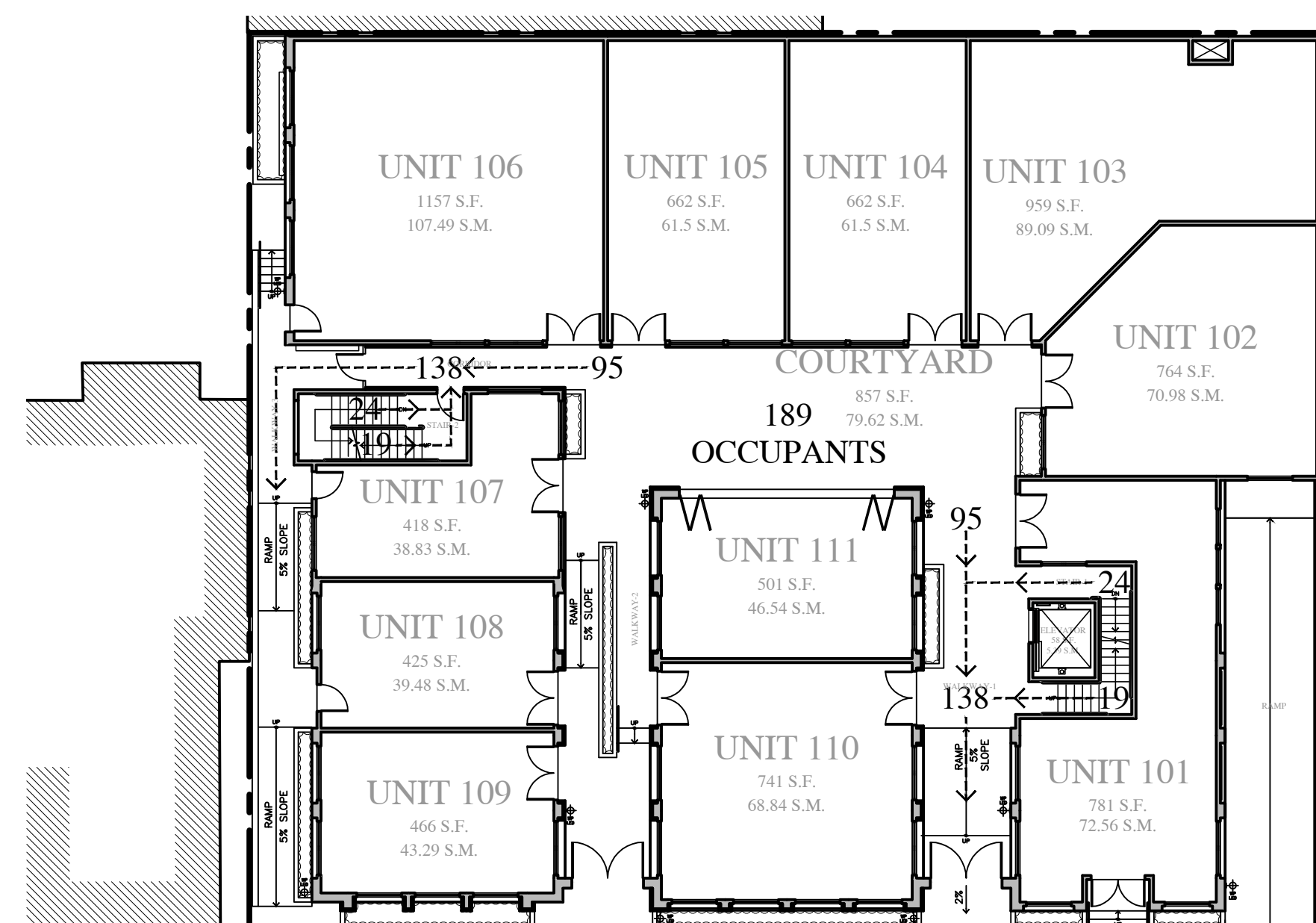
**EXITING - BASEMENT PLAN**

1/16"=1'-0"



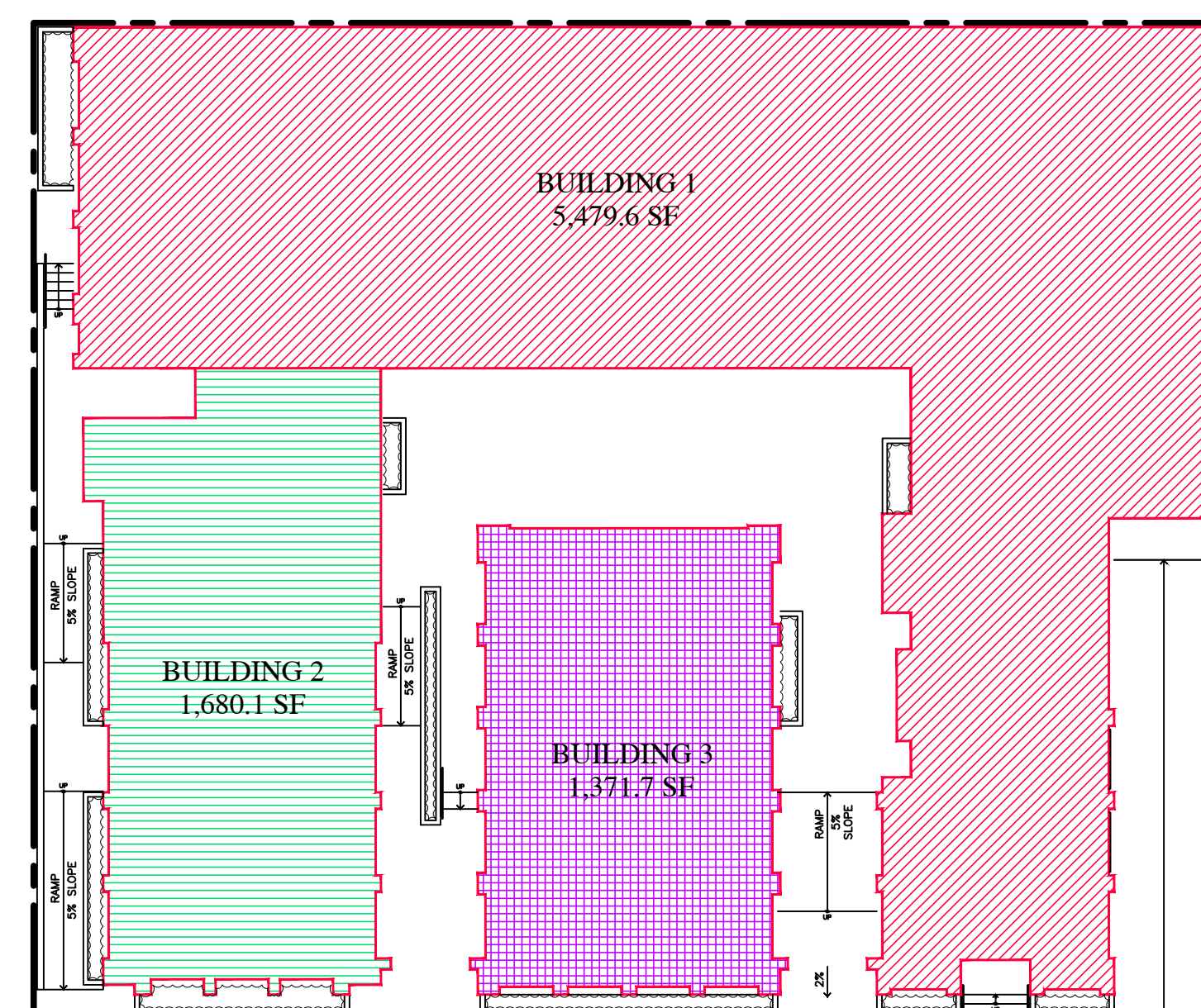
**BUILDING COVERAGE**

1/16"=1'-0"



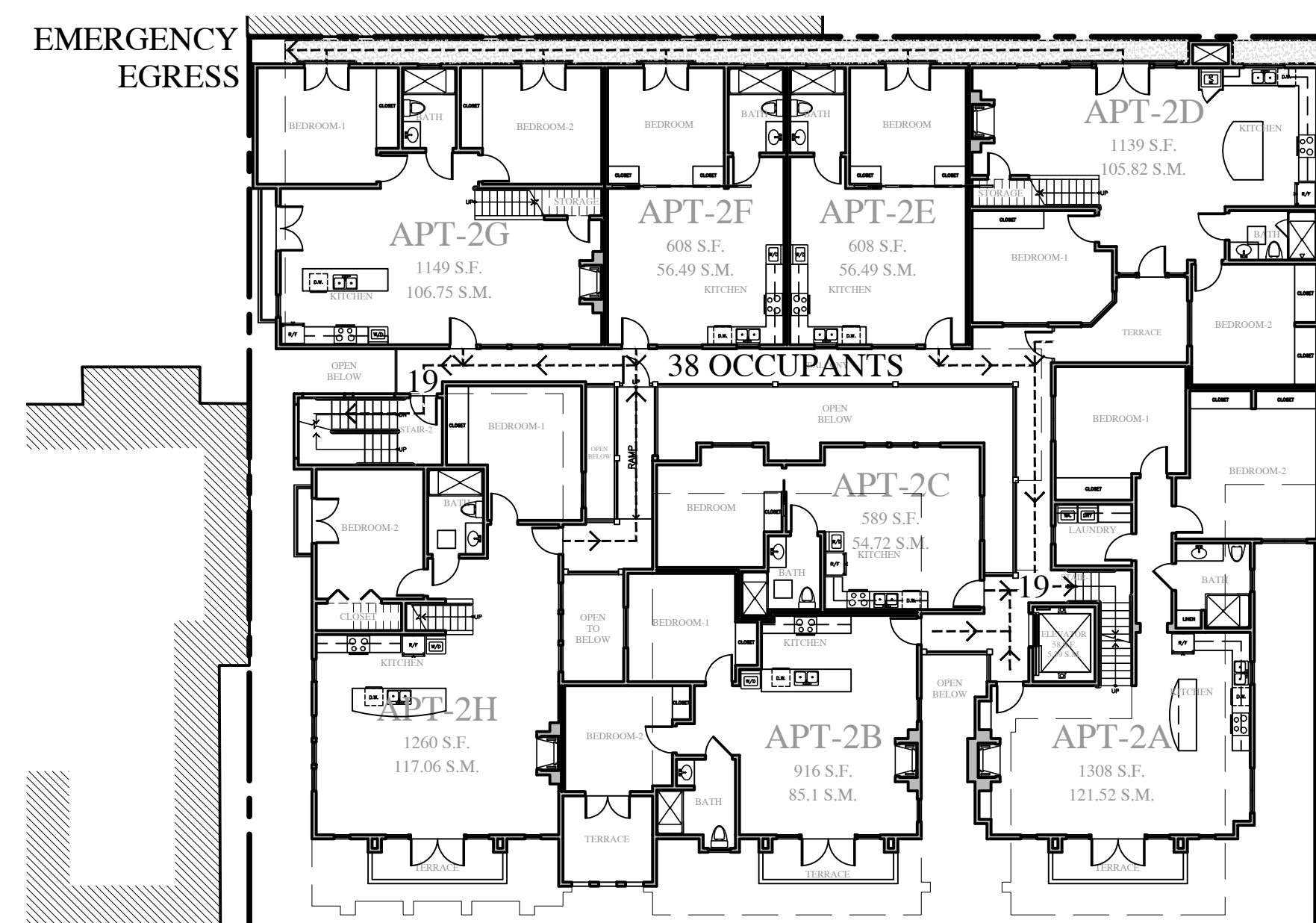
**EXITING - GROUND FLOOR**

1/16"=1'-0"



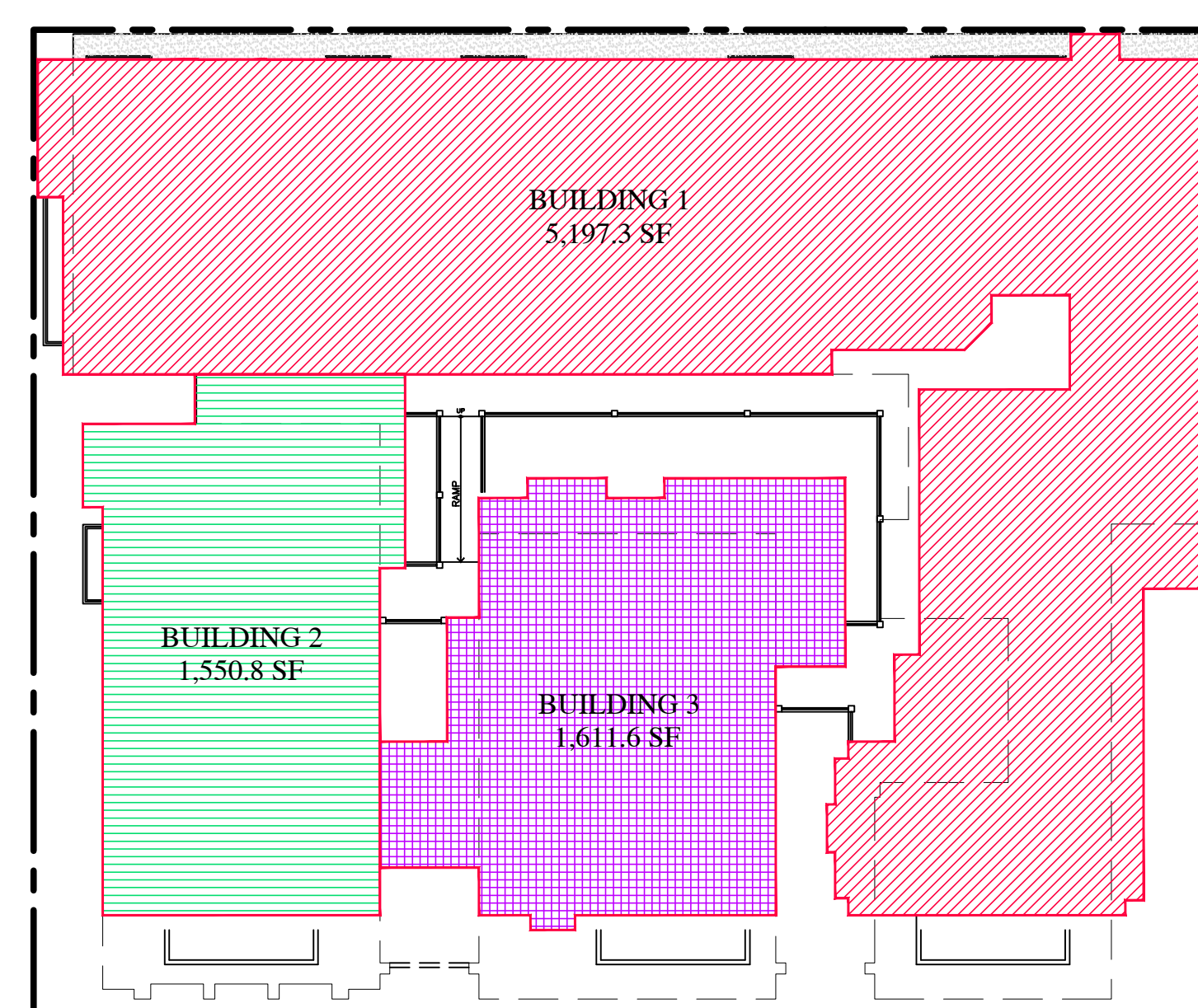
**F.A.R. - GROUND FLOOR**

1/16"=1'-0"



**EXITING - 2ND FLOOR**

1/16"=1'-0"



**F.A.R. - 2ND FLOOR**

1/16"=1'-0"



March 1, 2021

**Preliminary Phase Two Report for the Palo Alto - Salinas Savings and Loan Bank, Community Room, Parking Lot, and Garden Wall (APN 010-145-020), Carmel-by-the-Sea, CA.**

**Executive Summary**

The Palo Alto-Salinas Savings and Loan community room, parking lot, and garden wall are part of a larger complex that features the original main bank building as its focal point. All elements in the complex are located on the corner of Dolores and Seventh Streets in downtown Carmel. The bank building has been evaluated for historical significance multiple times. In October 2019<sup>1</sup> the bank building was found eligible for listing in the California Register for Historic Resources (CRHR) under Criterion Three (Architecture) but is currently not eligible for listing on the Carmel Historic Resources Inventory or the National Register of Historic Places due to the Fifty-Year Rule. Nonetheless, it is considered a significant resource for the purposes of CEQA with a period of significance of 1972.

In June 2020<sup>2</sup> the bank's companion community room was evaluated for historical significance under the California Register for Historic Resources criteria and was found ineligible for listing as an individual resource. The garden wall and parking lot have not been evaluated for their individual merit within the complex, however their history and a determination of eligibility will be included as part of this report.

An application has been submitted to the Carmel Planning Department proposing the demolition of the community room, parking lot and garden wall to allow for the construction of an underground parking garage and a two-story building with a combined use of second floor residential apartments and ground floor commercial space. This Phase Two report examines the project's consistency with the *Secretary of the Interior's Standards and Guidelines*<sup>3</sup> based on preliminary plans and makes recommendations which will help guide final plans.

**Parking Lot & Garden Wall: Historical Background and Significance**

The Palo Alto-Salinas Savings and Loan complex was constructed in 1972 on the corner of Dolores and 7<sup>th</sup> streets in the same location as it's former building. The former building (originally the telephone company) fronted on Seventh Street. An eighteen-space parking lot was located behind the building and was entered and exited via Dolores Street. Plans for the new bank building reconfigured the space, so most of the bank's facade and the community room fronted on Dolores Street. The parking lot, again with eighteen spaces, wrapped around the rear of the new building and was entered on Dolores Street and exited on Seventh. An article in the *Carmel Pine Cone* stated that, "parking facilities are less visually

<sup>1</sup> Clovis, Meg, *Evaluation of Significance and Phase Two Report for Seventh & Dolores (formerly the Palo Alto Savings and Loan complex)*, October 3, 2019.

<sup>2</sup> Clovis, Meg, *Addendum to Evaluation of Historical Significance for Seventh & Dolores (formerly the Palo Alto Savings and Loan Complex)*, June 17, 2020.

<sup>3</sup> *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings*. U.S. Department of the Interior, National Park Service, Technical Preservation Services, Washington D.C., 2017.

obtrusive than they are now, stretching around behind the buildings".<sup>4</sup> A drive-up teller window could be accessed from the Seventh Street side of the parking lot and was included in the original construction.

The same *Pine Cone* article that described the future parking facilities also described the garden wall that would partially surround the community room. Originally, a small sculpture garden was planned for the walled space but it never came to fruition. In 2013 a portion of the wall on the south elevation was removed and the entire wall was shortened by twelve inches.

When it was constructed in 1972, the Palo Alto-Salinas Savings and Loan complex included a bank building, a community room, a parking lot, and a wall which surrounded the community room. Historical evaluations have concluded that the bank building is eligible for listing on the California Register of Historic Resources on the local level under Criterion Three (Architecture) because it embodies the distinctive characteristics of a type and period, and it represents the work of two Masters. The community room is not eligible for individual listing on the California Register on its own merit because it does not meet Criterion One (Events), Criterion Two (People), or Criterion Three (Architecture).

Like the Community Room, the parking lot and garden wall are not individually eligible for listing in the California Register. Following is an analysis of their eligibility based on CRHR designation criteria:

- **Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States (Criterion One)**  
There were no events in the parking lot or in the space enclosed by the garden wall that made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States. The parking lot and garden wall are not eligible for listing under Criterion One.
- **Associated with the lives of persons important to local, California or national history (Criterion Two)**  
The parking lot and garden wall did not play a significant role in the lives of any people important to local, California, or national history and they are not eligible for listing under Criterion Two.
- **Embodies the distinctive characteristics of a type, period, region, or method of construction or represents the work of a master or possesses high artistic values (Criterion Three)**

The parking lot and garden wall are generic in design and do not exhibit the distinctive characteristics of a type, period, region, or method of construction. The parking lot in particular was designed to be unobtrusive and not to detract from the main bank building. Although the parking lot and community room were included in the Shaw and Burde plans for the complex, their creative energies were focused on the main bank building. The parking lot supported the bank's functions by offering customers convenient access. The garden wall never enclosed a sculpture court and in 2013 a portion of the wall was removed plus the entire wall was lowered by a foot, thus diminishing its original design and purpose. At one time, both the parking lot and

<sup>4</sup> *Carmel Pine Cone*, September 30, 1971, p. 19.

wall supported the bank's function but they do not contribute to the bank's distinction as a significant local representative of the Bay Region style of architecture. Neither can be considered a historic resource on their own merit and they are not eligible for listing under Criterion Three.

**The Secretary of the Interior's Standards for Rehabilitation**

**Compliance Evaluation**

As a historical resource, the Palo Alto-Salinas Savings and Loan Bank building is subject to review under the California Environmental Quality Act (CEQA). The parking lot, community room, and wall are not historic resources and are not individually subject to CEQA, however the impact of their proposed demolition on the historic resource is relevant under several of the Standards. Generally, under CEQA, a project that follows the *Standards for Rehabilitation* contained within *The Secretary of the Interior's Standards for the Treatment of Historic Properties* is considered to have mitigated impacts to a historic resource to a less-than-significant level (CEQA Guidelines 15064.5).

The impact of the proposed demolition of site features within the Palo Alto-Salinas Savings and Loan Bank complex are reviewed below with respect to the *Rehabilitation Standards*. The Standards are indicated in italics, followed by a discussion regarding the project's consistency or inconsistency with each Standard.

**Standard One**

*A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The bank building has been used as a bank, retail store and most recently as a restaurant. These different uses have required minimal change to its distinctive materials, features, spaces, and spatial relationships. The community room is separated from the main bank building by a walkway. Sheet A1.0 indicates that the proposed adjacent construction will be separated from the bank building by a new walkway. The new walkway will help to maintain spatial relationships between the buildings however that spatial relationship should be maintained from the ground level to the roof by a setback of the north elevation from the bank building. It is also recommended that the proposed walkway be the same width as the current walkway.

**Standard Two**

*The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided.*

The historic character of the bank building will not be altered. No distinctive materials will be removed. Features, and spaces will not be altered. The spatial relationship between the bank and the community room which has been established by the walkway separating the two should be maintained as part of the new construction. *The Secretary of the Interior's Guidelines for Rehabilitation* recommend that new construction adjacent to a historic structure should be placed away from or at the side or rear of a historic building and must avoid obscuring, damaging, or destroying character-defining features of the building. It appears from the Site Plan that the bulk of the new building will be located behind the bank and set back from Seventh Street. The proposed work appears to be consistent with Standard Two.

**Standard Three**

*Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historical properties, will not be undertaken.*

No conjectural features or architectural elements that would create a false sense of history will be added to the historic resource. This Standard is not applicable.

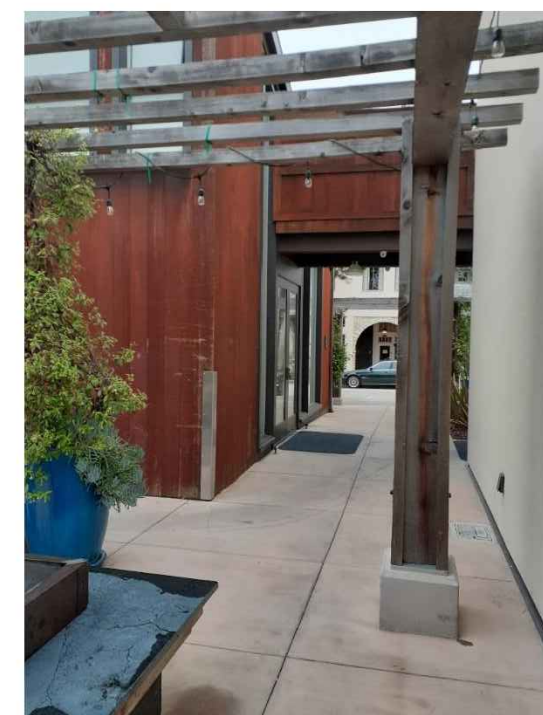
**Standard Four**

*Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The bank building has changed very little over time and there are no features that have achieved significance in their own right. This Standard is not applicable.

**Standard Five**

*Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*



The community room will be demolished as part of this project. It is connected to the main bank building at the second-floor level by an elevated walkway. When the community room is demolished a gap will be created in the exterior wall of the bank building. The wall should be repaired by matching the original wall in design, color, texture, and if possible, materials. If this is clearly indicated on the construction plans, then the work will be consistent with Standard Five.

It is important that a historic structure be protected during adjacent construction. Demolition activities and construction on neighboring sites can cause immediate harm to the physical integrity of a historic building through concentrations of dust, fire, vibration, and more. The National Park Service provides guidance for the temporary protection of historic structures in Preservation Tech Note Number 3<sup>5</sup> (attached to this report).

Providing adequate protection involves the following steps:

1. Consultation between the historic building owner and development team to identify potential risks, negotiate changes and agree upon protective measures.

<sup>5</sup> Preservation Tech Notes, *Protecting a Historic Structure during Adjacent Construction*. Technical Preservation Services, National Park Service, 2001.

2. Documentation of the condition of the historic building prior to adjacent work.
3. Implementation of protective measures at both the construction site and the historic site.
4. Regular monitoring during construction to identify damage, to evaluate the efficacy of protective measures already in place, and to identify and implement additional corrective steps.

Work will be consistent with Standard Five if a protection plan is submitted to the HRB for review and approval prior to the commencement of any work on the proposed project.

**Standard Six**

*Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

No work will be done on the historic bank building except for the repair of the wall juncture between the community room and bank. As stated in Standard Five, the repair of the bank wall should match the original wall in design, color, texture, and where possible, materials. Construction plans should clearly indicate how the wall will be repaired in order to be consistent with Standards Five and Six.

**Standard Seven**

*Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Surface cleaning is not proposed for the historic resource. This Standard is not applicable.

**Standard Eight**

*Archeological resources will be protected and preserved in place.*

The current parking lot will be demolished, and a 10,746 square foot basement area will be excavated which will serve as a parking garage, gym, and support services for the new building. Because there will be major ground disturbance, an archeological report should be prepared to evaluate whether any resources are present. If resources are discovered, appropriate mitigation measures should be implemented. The proposed work will be consistent with Standard Eight once an archeological report is completed.

**Standard Nine**

*New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

The new construction will demolish the parking lot, community room, and garden wall which are part of the bank complex however they are not significant in their own right. These features supported the bank's former function but do not support its eligibility under Criterion Three (Architecture). They are

not considered character-defining features. The pathway separating the community room and the bank creates an important spatial relationship that should be preserved, as discussed under Standards One and Two. The proposed work appears to be consistent with Standard Nine.

**Standard Ten**

*New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

If removed in the future, the proposed new construction adjacent to the historic bank building will not impair the historic property and environment only if care is taken to remove the building following the guidance provided in Preservation Tech Note Number 3 and described under Standard Five.

**Conclusion**

The former Palo Alto-Salinas Savings and Loan complex consists of the historic bank building, a community room, a parking lot and garden wall. The primary building within the complex is the bank, and the property's architectural significance is predicated on the bank, not the community room which is simply an ancillary structure. The community room has been evaluated for eligibility for listing in the California Register based on its merits alone and it does not meet the criteria for listing as an individual resource.

The proposed project will meet Standards One, Two, Five, Six, Eight, Nine, and Ten of the Secretary of the Interior's Standards and Guidelines for Rehabilitation on the condition that recommendations in this report are carried out. Standards Three, Four, and Seven are not applicable to this project. If the proposed project meets the aforementioned Standards then the project will not have a significant impact on the historic bank building.

Respectfully Submitted,

Margaret Clovis



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STAMPS:

PROJECT/CLIENT:

JB PASTOR  
BUILDING

PROJECT ADDRESS:

DOLORES, 2ND SE  
OF 7TH  
CARMEL, CA  
93921

APN: 010-145-012  
022, & 023

DATE: DECEMBER 18, 2020

TRACK-2 SUBMITTAL

REVISIONS:

- ▲ MARCH 4, 2021  
FOREST & BEACH COMMISSION
- ▲ MARCH 26, 2021  
HISTORIC BOARD COMMISSION
- ▲ APRIL 14, 2021  
REVISED TRACK-2 APPLICATION
- ▲ \_\_\_\_\_
- ▲ \_\_\_\_\_
- ▲ \_\_\_\_\_

HISTORIC  
PRESERVATION  
CONDITIONS

SHEET NO.

A1.3







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**PARKING LEGEND**

- 11 STANDARD
- 10 COMPACT
- 21 TOTAL
- #S - STANDARD PARKING STALL
- #C - COMPACT PARKING STALL

**DOOR/WINDOW LEGEND**

- DENOTES A WINDOW
- DENOTES A DOOR

NOTE:  
SEE DOOR & WINDOW SCHEDULE FOR CORRESPONDING DOOR & WINDOW INFORMATION

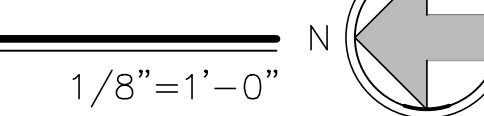
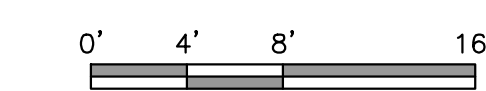
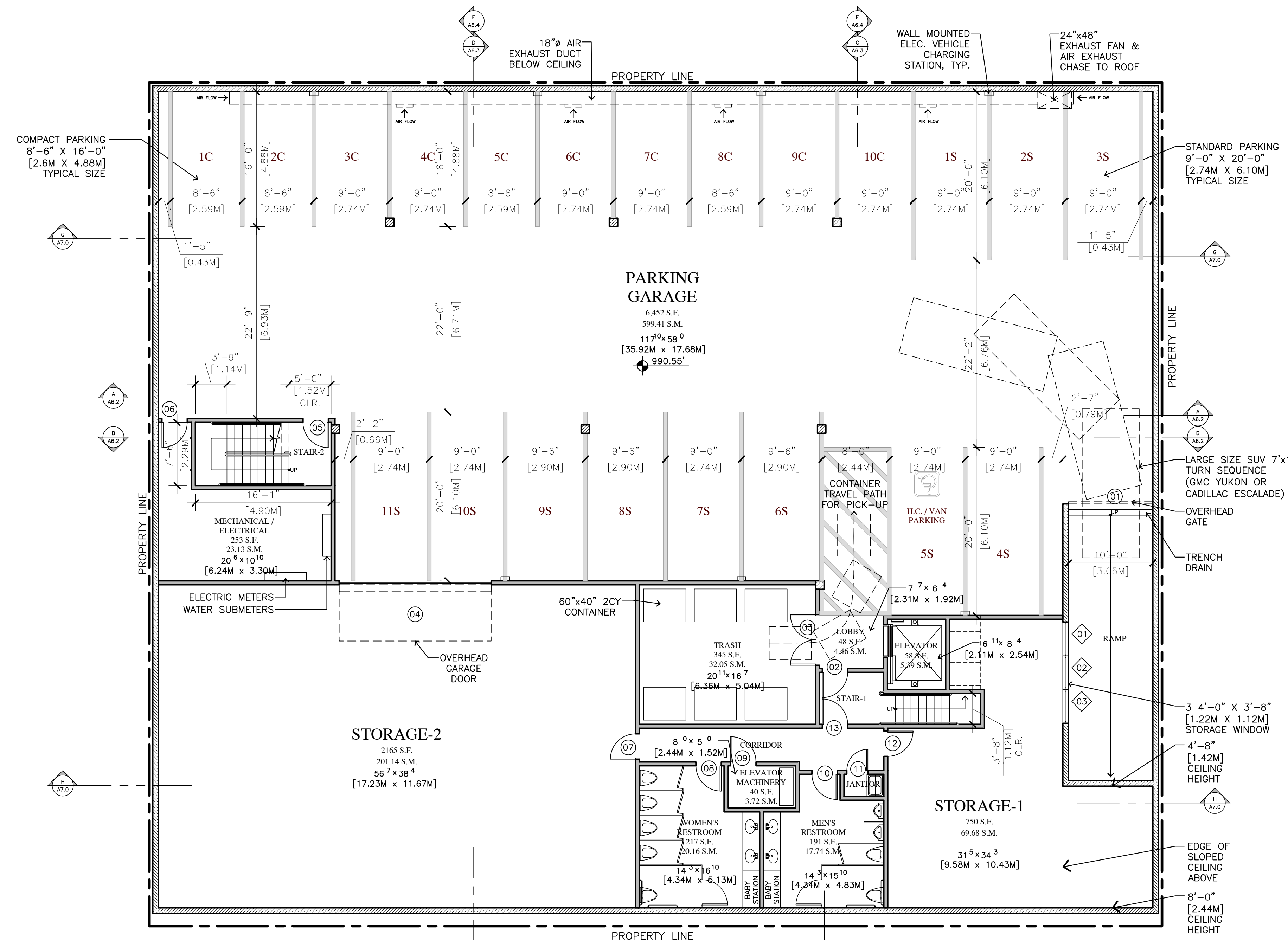
**WALL LEGEND**

- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

**BASEMENT  
PLAN**

SHEET NO.

**A2.0**



**BASEMENT PLAN**  
11,406 SQUARE FEET / 1059.65 SQUARE METERS

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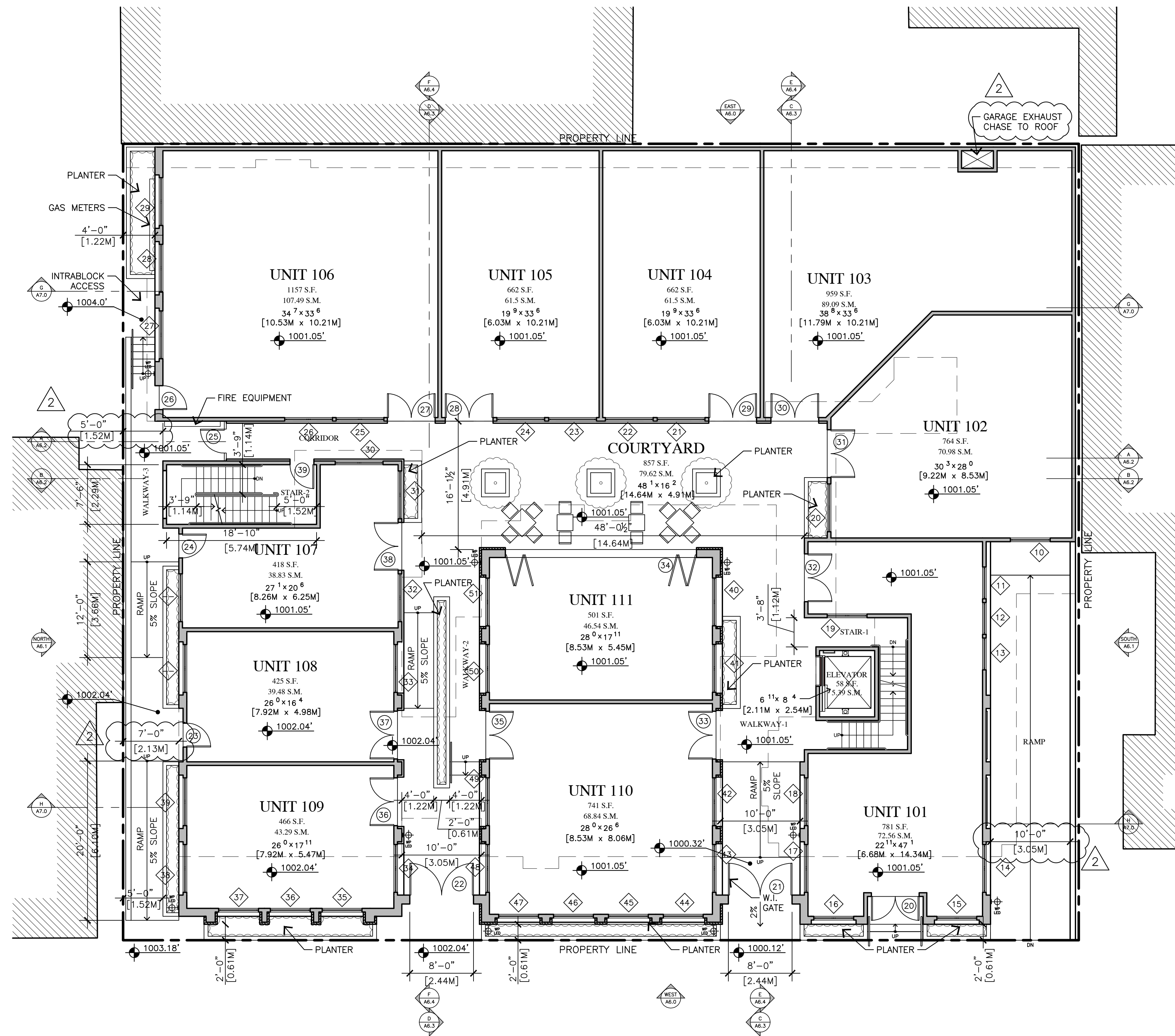
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- ▲ HISTORIC BOARD COMMISSION
- ▲ APRIL 14, 2021
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**GROUND  
FLOOR PLAN**

SHEET NO.

**A3.0**

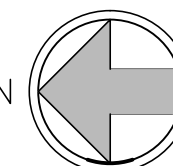


**GROUND FLOOR PLAN**  
8,544 SQUARE FEET / 793.76 SQUARE METERS

0' 4' 8' 16'

0 1.25M 2.5M 5M

1/8" = 1'-0"



**DOOR/WINDOW LEGEND**

- ⊠ DENOTES A WINDOW
- ⊞ DENOTES A DOOR

NOTE:  
SEE DOOR & WINDOW SCHEDULE FOR CORRESPONDING DOOR & WINDOW INFORMATION

**WALL LEGEND**

- ▬ 2X6 EXTERIOR STUD FRAMED WALL
- ▬ 2X4 INTERIOR STUD FRAMED WALL, U.O.N.
- ▬ 2X4 INTERIOR STUD FRAMED WALL, U.O.N.



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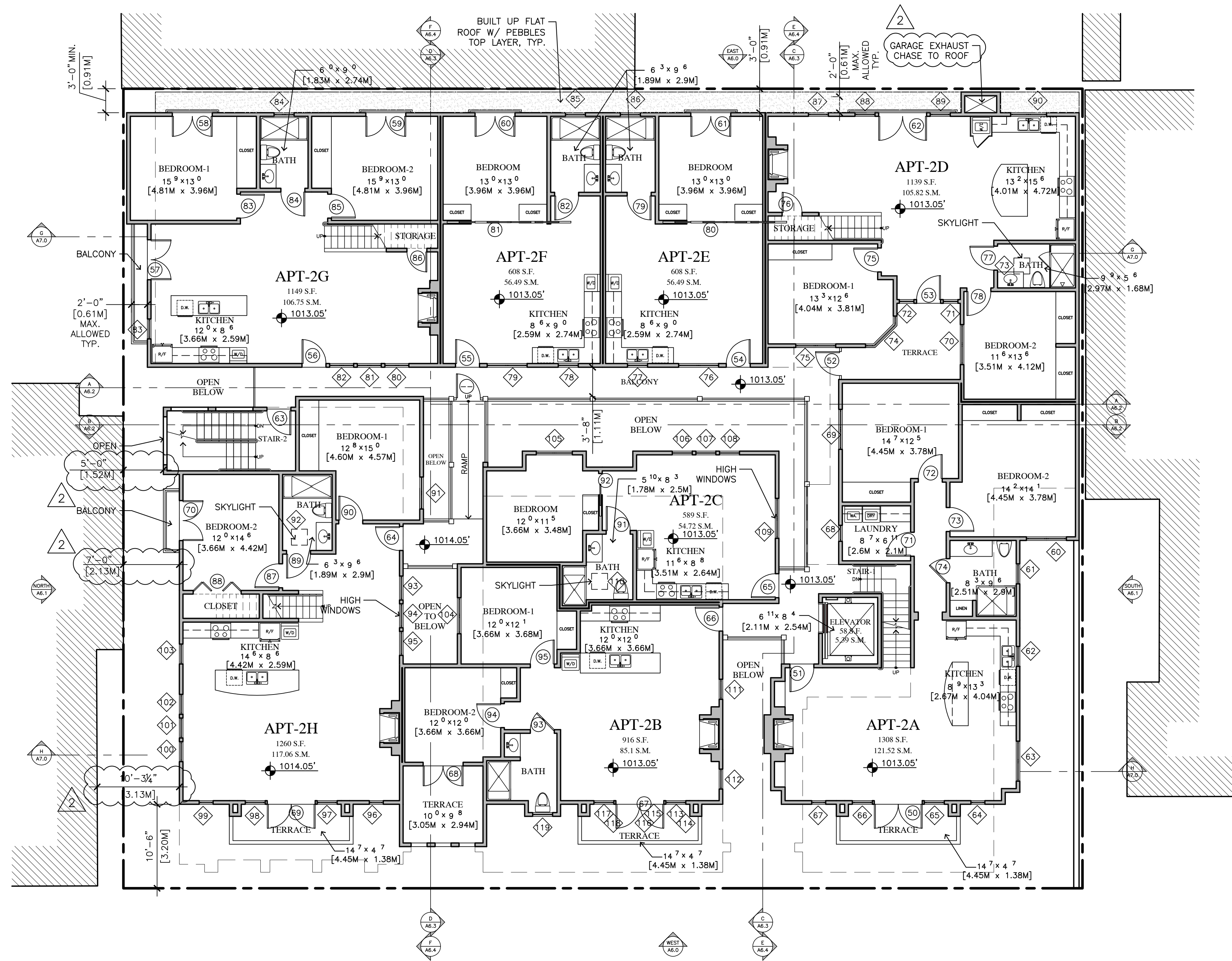
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**SECOND  
FLOOR PLAN**

SHEET NO.

**A4.0**



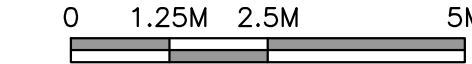
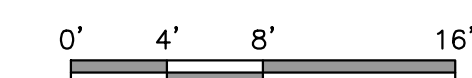
**DOOR/WINDOW LEGEND**

- DENOTES A WINDOW
- DENOTES A DOOR

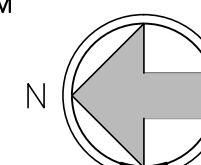
NOTE:  
SEE DOOR & WINDOW SCHEDULE FOR CORRESPONDING DOOR & WINDOW INFORMATION

**WALL LEGEND**

- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.



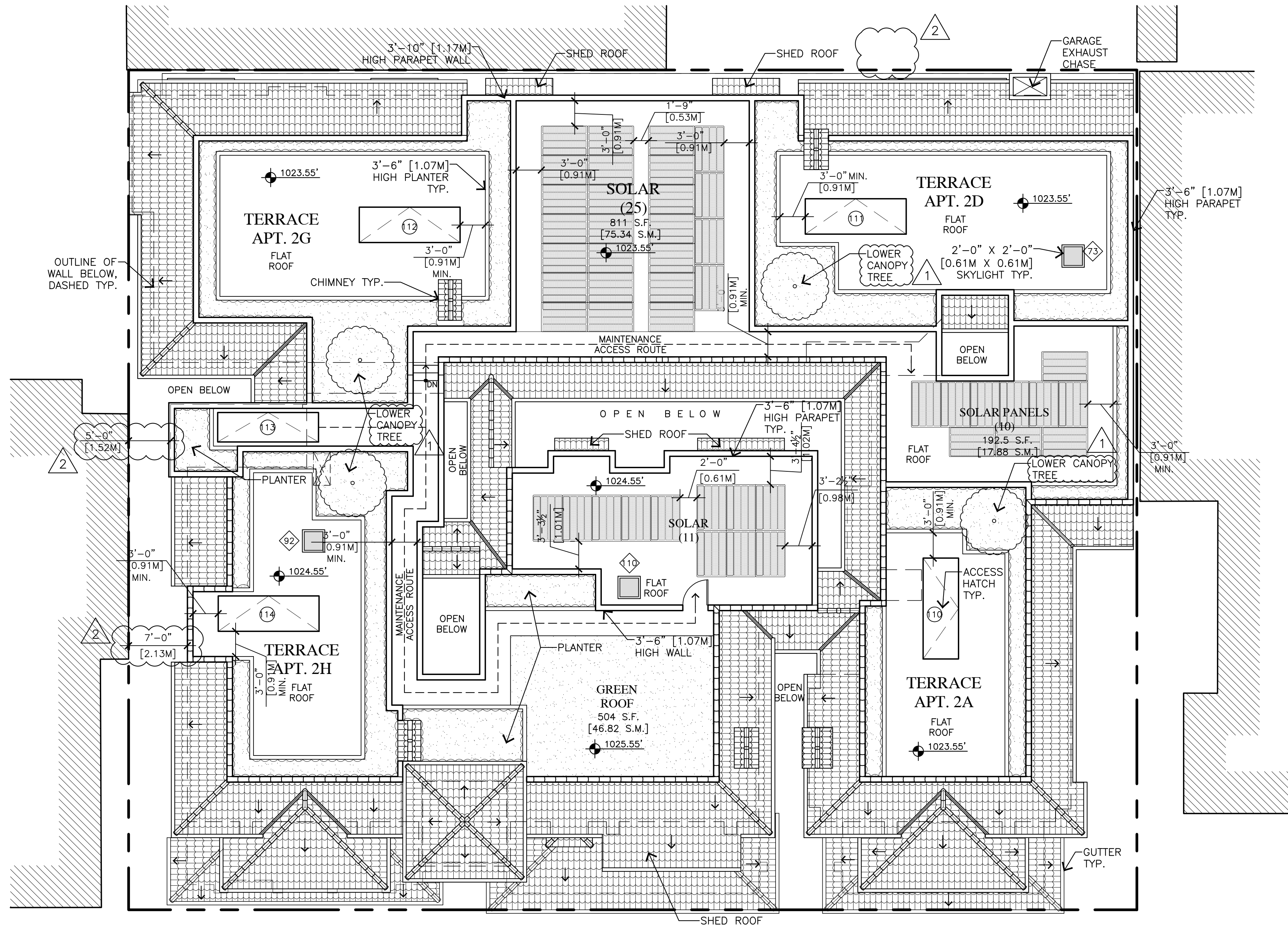
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**SECOND FLOOR PLAN**

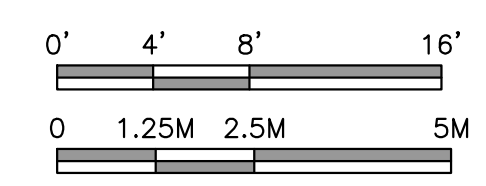
8,354 SQUARE FEET / 776.11 SQUARE METERS



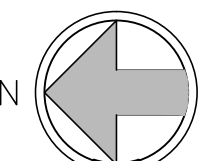


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ROOF PLAN



1/8" = 1'-0"



DOOR/WINDOW LEGEND

- DENOTES A WINDOW
- DENOTES A DOOR

NOTE:  
SEE DOOR & WINDOW SCHEDULE FOR CORRESPONDING DOOR & WINDOW INFORMATION

JUN A. SILLANO, AIA



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ROOF  
PLAN

SHEET NO.

A5.0



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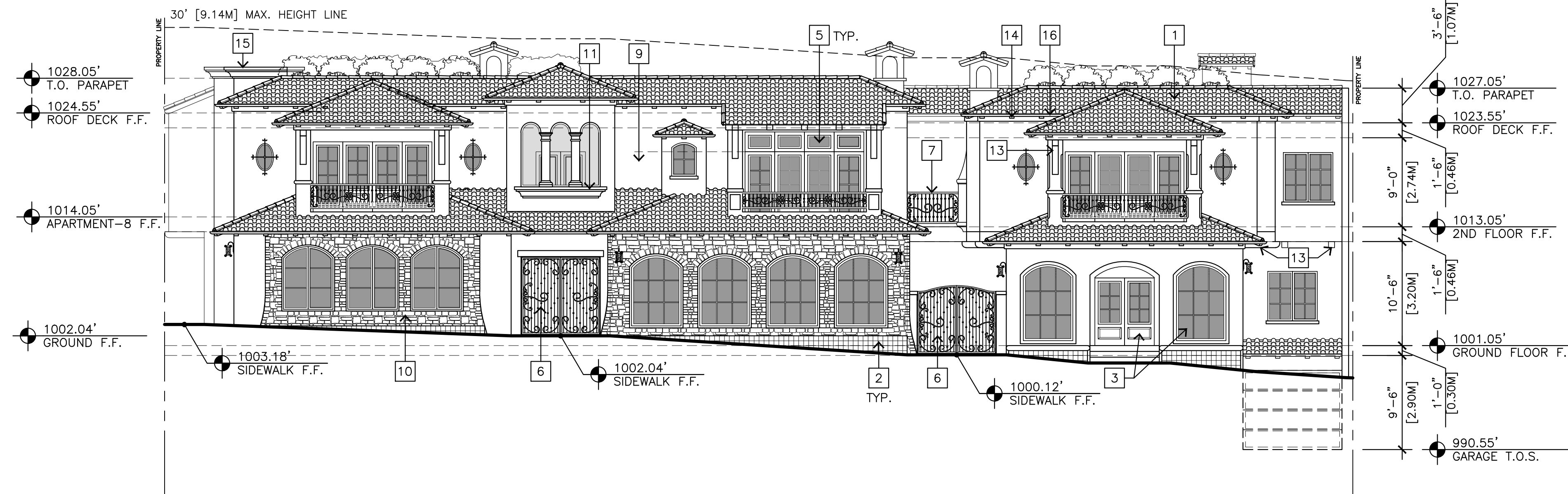
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- ▲ APRIL 14, 2021  
REVISED TRACK-2 APPLICATION
- ▲ \_\_\_\_\_
- ▲ \_\_\_\_\_
- ▲ \_\_\_\_\_

**ELEVATIONS**

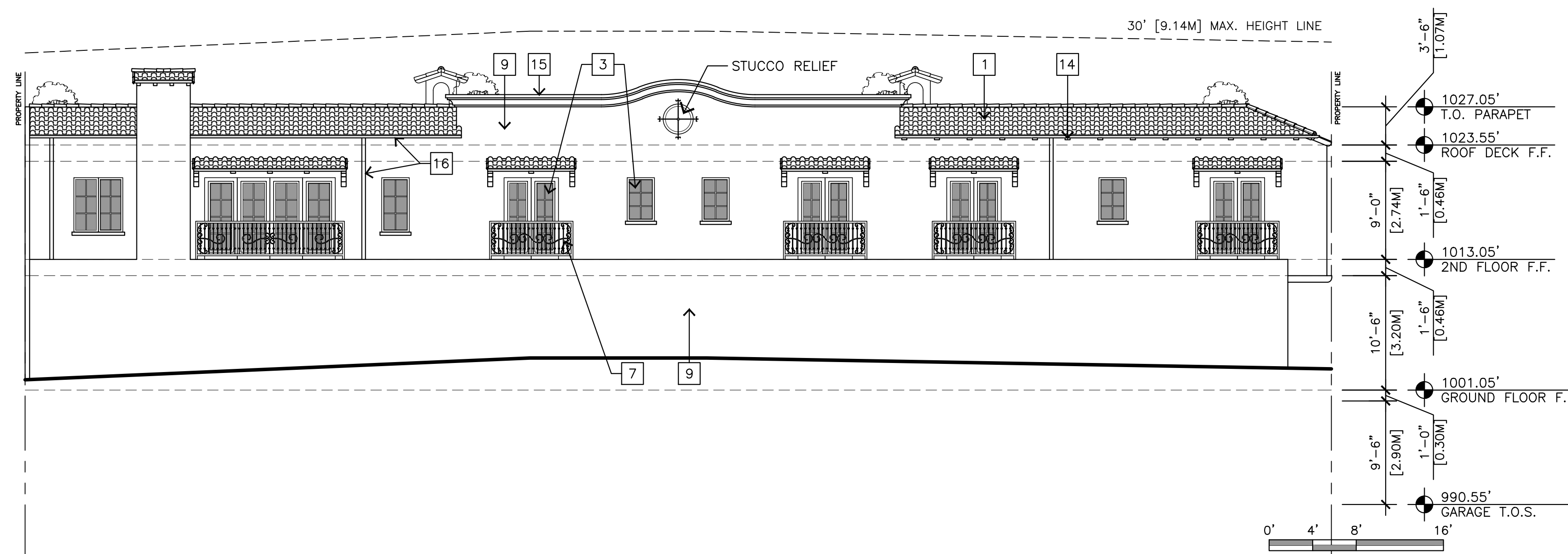
SHEET NO.

**A6.0**

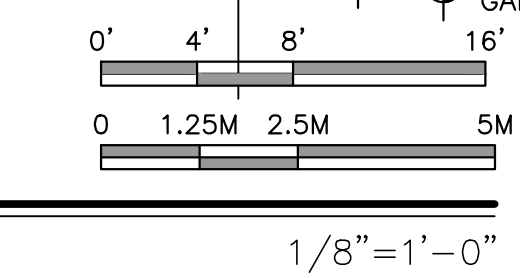


**WEST ELEVATION**

1/8"=1'-0"



**EAST ELEVATION**



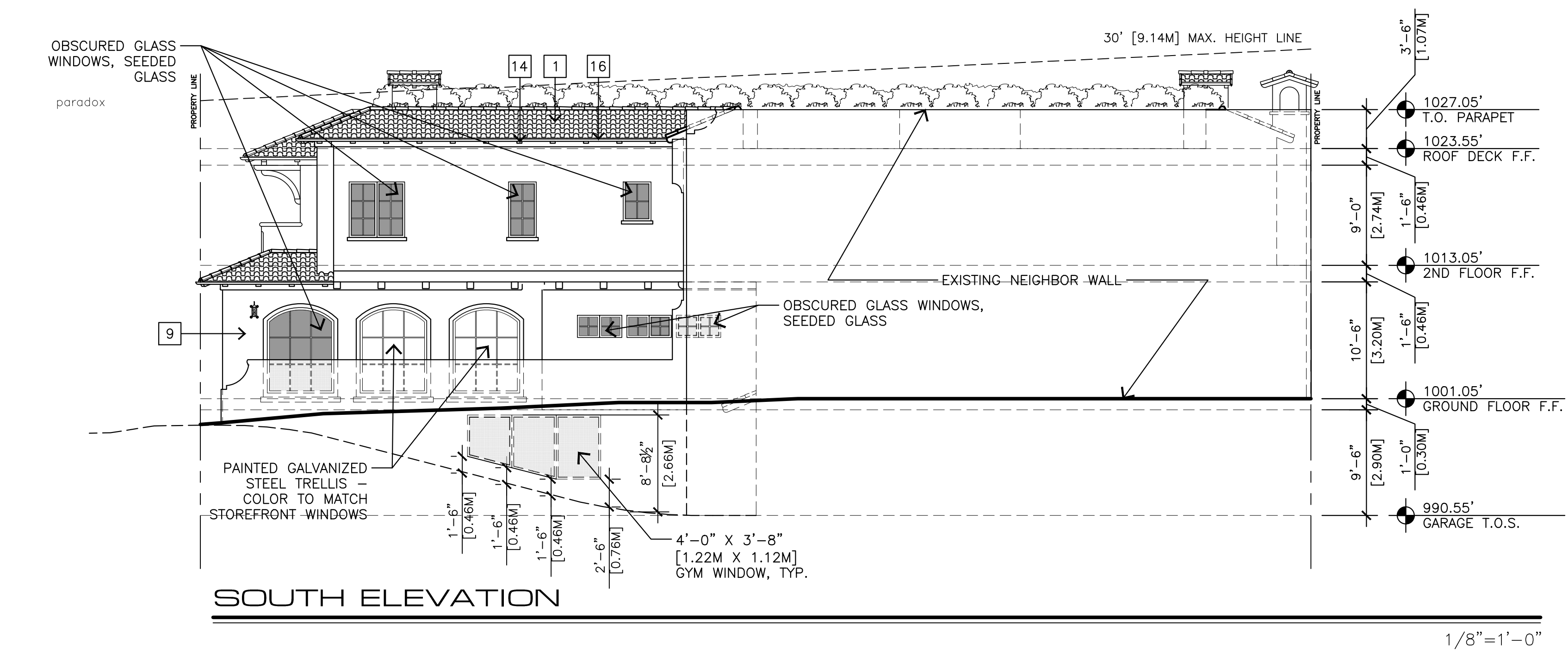
**EXTERIOR FINISH LEGEND**

- 1 MISSION STYLE CLAY TILE ROOF
- 2 DECORATIVE CERAMIC TILE
- 3 ALUMINUM CLAD DOORS & WINDOWS
- 4 PAINTED WOOD DOORS & WINDOWS
- 5 TRANSOM WINDOW
- 6 WROUGHT IRON GATE
- 7 WROUGHT IRON RAILING
- 9 STUCCO FINISH
- 10 RANDOM EXTERIOR STONE
- 11 SHAPED STUCCO SILL
- 12 REDWOOD POST
- 13 REDWOOD BEAMS & CORBELS
- 14 REDWOOD RAFTER TAILS
- 15 PRECAST CONCRETE PARAPET CAP
- 16 COPPER GUTTERS & DOWNSPOUT



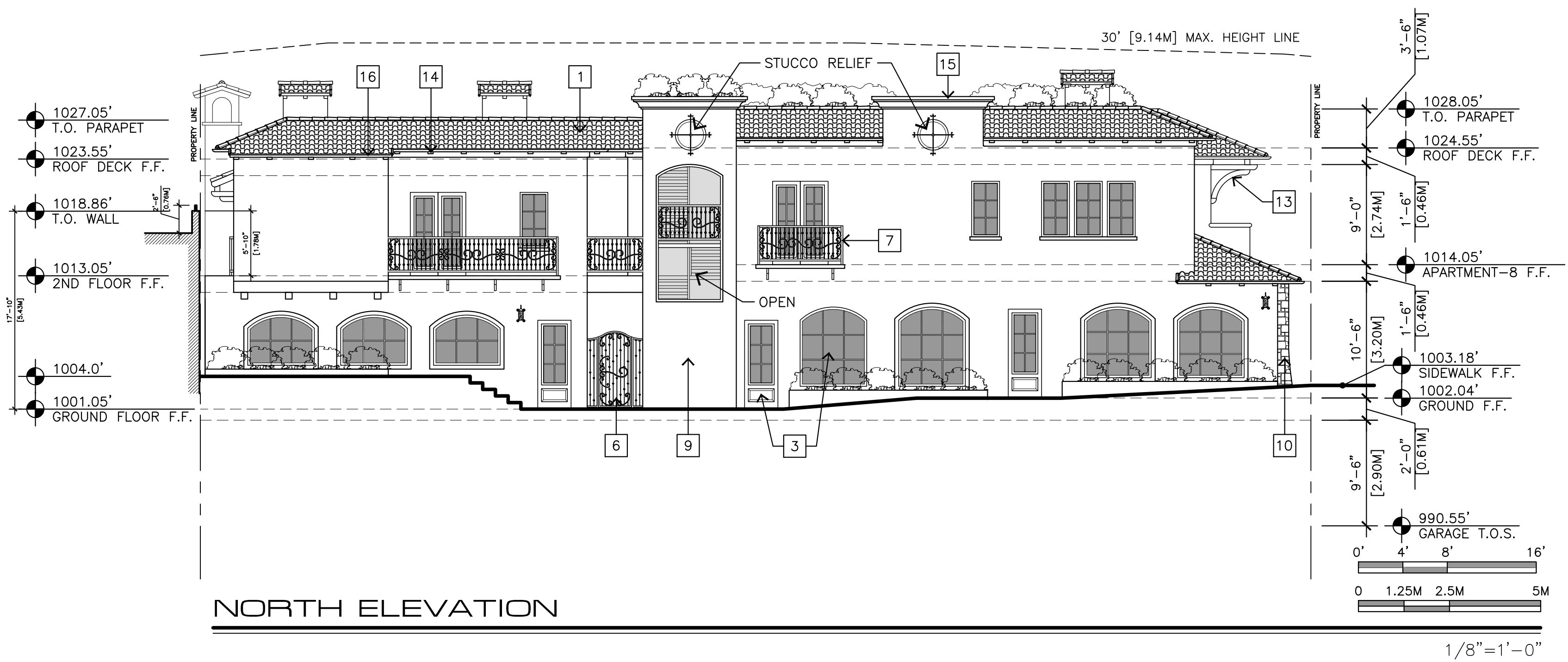
**DISCLAIMER:**  
ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGN ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:



**SOUTH ELEVATION**

1/8"=1'-0"



**NORTH ELEVATION**

1/8"=1'-0"

**EXTERIOR FINISH LEGEND**

- 1 MISSION STYLE CLAY TILE ROOF
- 2 DECORATIVE CERAMIC TILE
- 3 ALUMINUM CLAD DOORS & WINDOWS
- 4 PAINTED WOOD DOORS & WINDOWS
- 5 TRANSOM WINDOW
- 6 WROUGHT IRON GATE
- 7 WROUGHT IRON RAILING
- 9 STUCCO FINISH
- 10 RANDOM EXTERIOR STONE
- 11 SHAPED STUCCO SILL
- 12 REDWOOD POST
- 13 REDWOOD BEAMS & CORBELS
- 14 REDWOOD RAFTER TAILS
- 15 PRECAST CONCRETE PARAPET CAP
- 16 COPPER GUTTERS & DOWNSPOUT

PROJECT/CLIENT:

**JB PASTOR  
BUILDING**

PROJECT ADDRESS:

**DOLORES, 2ND SE  
OF 7TH  
CARMEL, CA  
93921**

APN: 010-145-012  
022, & 023

DATE: DECEMBER 18, 2020  
TRACK-2 SUBMITTAL

- REVISIONS:
- ▲ MARCH 4, 2021  
FOREST & BEACH COMMISSION
  - ▲ MARCH 26, 2021  
HISTORIC BOARD COMMISSION
  - ▲ APRIL 14, 2021  
REVISED TRACK-2 APPLICATION

**ELEVATIONS**

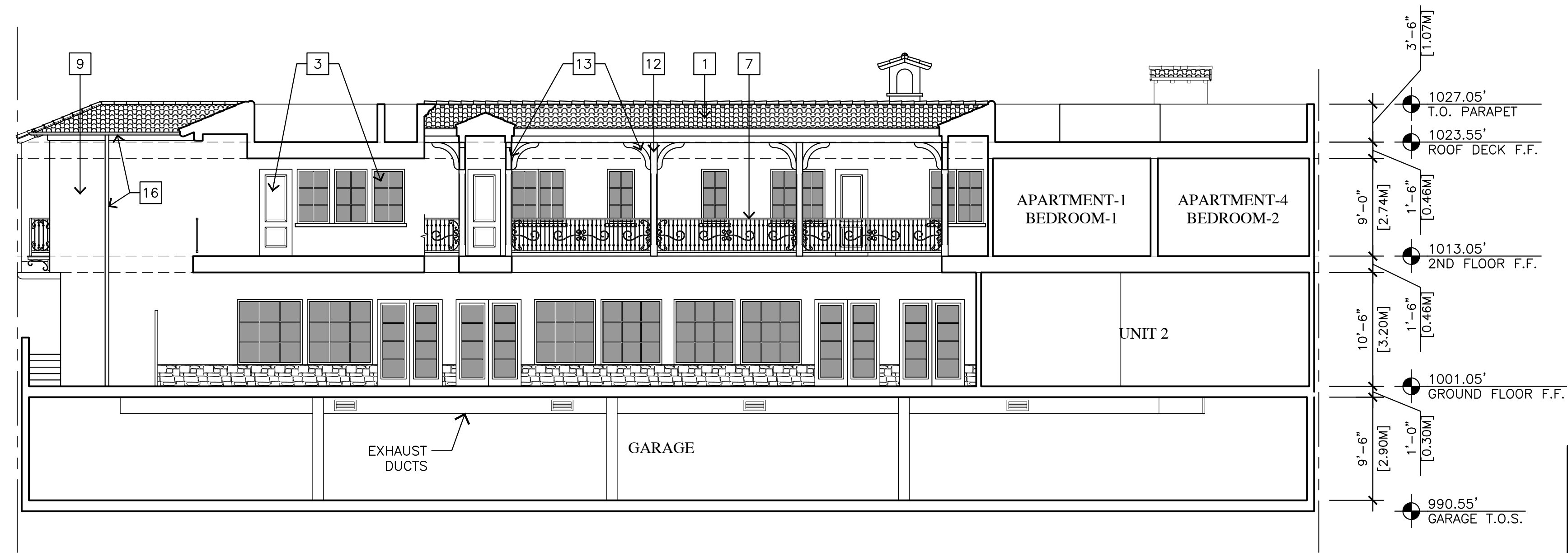
SHEET NO.

**A6.1**



**DISCLAIMER:**  
ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGN ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF IDG INC. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:



EAST COURTYARD / SECTION A

1/8" = 1'-0"

**EXTERIOR FINISH LEGEND**

- 1 MISSION STYLE CLAY TILE ROOF
- 2 DECORATIVE CERAMIC TILE
- 3 ALUMINUM CLAD DOORS & WINDOWS
- 4 PAINTED WOOD DOORS & WINDOWS
- 5 TRANSOM WINDOW
- 6 WROUGHT IRON GATE
- 7 WROUGHT IRON RAILING
- 9 STUCCO FINISH
- 10 RANDOM EXTERIOR STONE
- 11 SHAPED STUCCO SILL
- 12 REDWOOD POST
- 13 REDWOOD BEAMS & CORBELS
- 14 REDWOOD RAFTER TAILS
- 15 PRECAST CONCRETE PARAPET CAP
- 16 COPPER GUTTERS & DOWNSPOUT

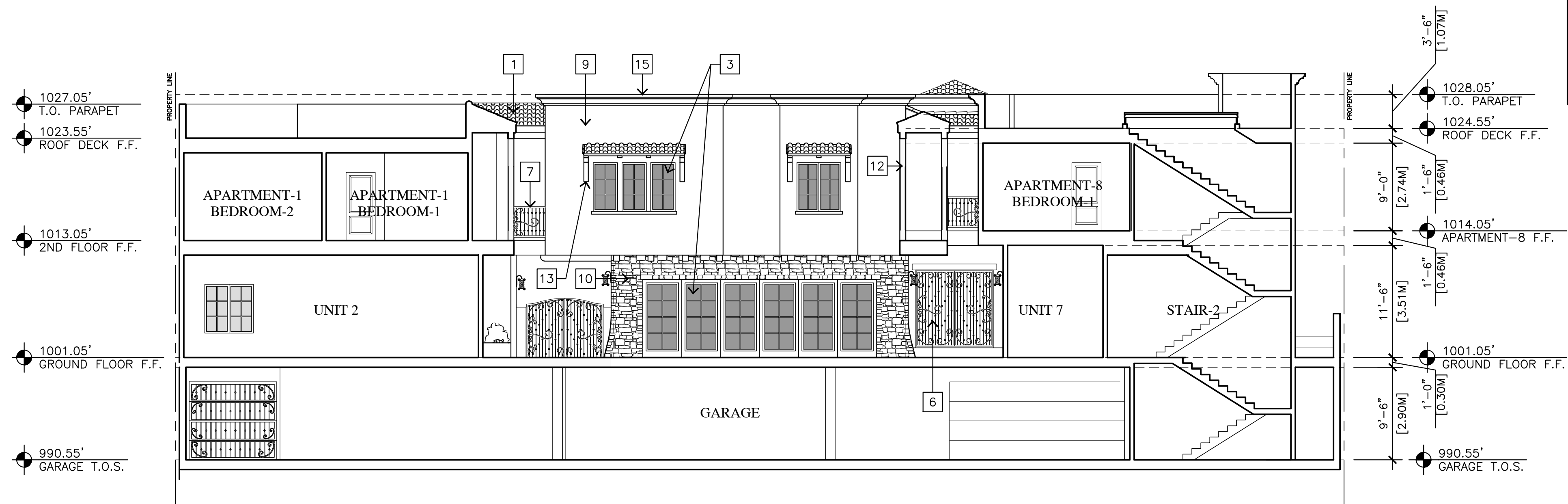
PROJECT/CLIENT:

JB PASTOR  
BUILDING

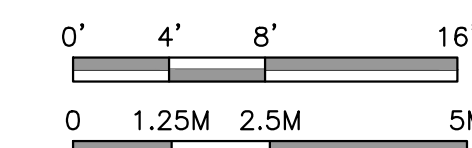
PROJECT ADDRESS:

DOLORES, 2ND SE  
OF 7TH  
CARMEL, CA  
93921

APN: 010-145-012  
022, & 023



WEST COURTYARD / SECTION B



1/8" = 1'-0"

DATE: DECEMBER 18, 2020

TRACK-2 SUBMITTAL

REVISIONS:

- △ MARCH 4, 2021  
FOREST & BEACH COMMISSION
- △ MARCH 26, 2021  
HISTORIC BOARD COMMISSION
- △ APRIL 14, 2021  
REVISED TRACK-2 APPLICATION

ELEVATIONS  
& SECTIONS

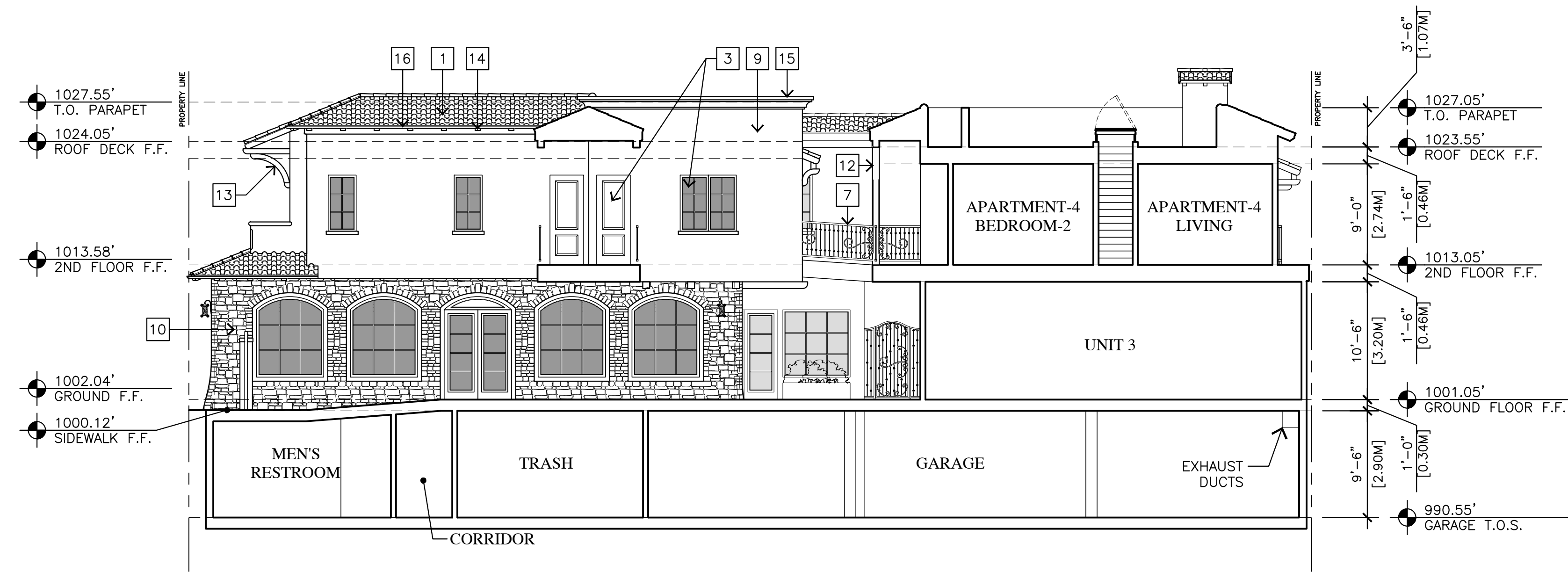
SHEET NO.

A6.2



**DISCLAIMER:**  
ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, DEVELOPED AND PREPARED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGN ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF IDG INC. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:



SOUTH COURTYARD / SECTION C

1/8" = 1'-0"

**EXTERIOR FINISH LEGEND**

- 1 MISSION STYLE CLAY TILE ROOF
- 2 DECORATIVE CERAMIC TILE
- 3 ALUMINUM CLAD DOORS & WINDOWS
- 4 PAINTED WOOD DOORS & WINDOWS
- 5 TRANSOM WINDOW
- 6 WROUGHT IRON GATE
- 7 WROUGHT IRON RAILING
- 9 STUCCO FINISH
- 10 RANDOM EXTERIOR STONE
- 11 SHAPED STUCCO SILL
- 12 REDWOOD POST
- 13 REDWOOD BEAMS & CORBELS
- 14 REDWOOD RAFTER TAILS
- 15 PRECAST CONCRETE PARAPET CAP
- 16 COPPER GUTTERS & DOWNSPOUT

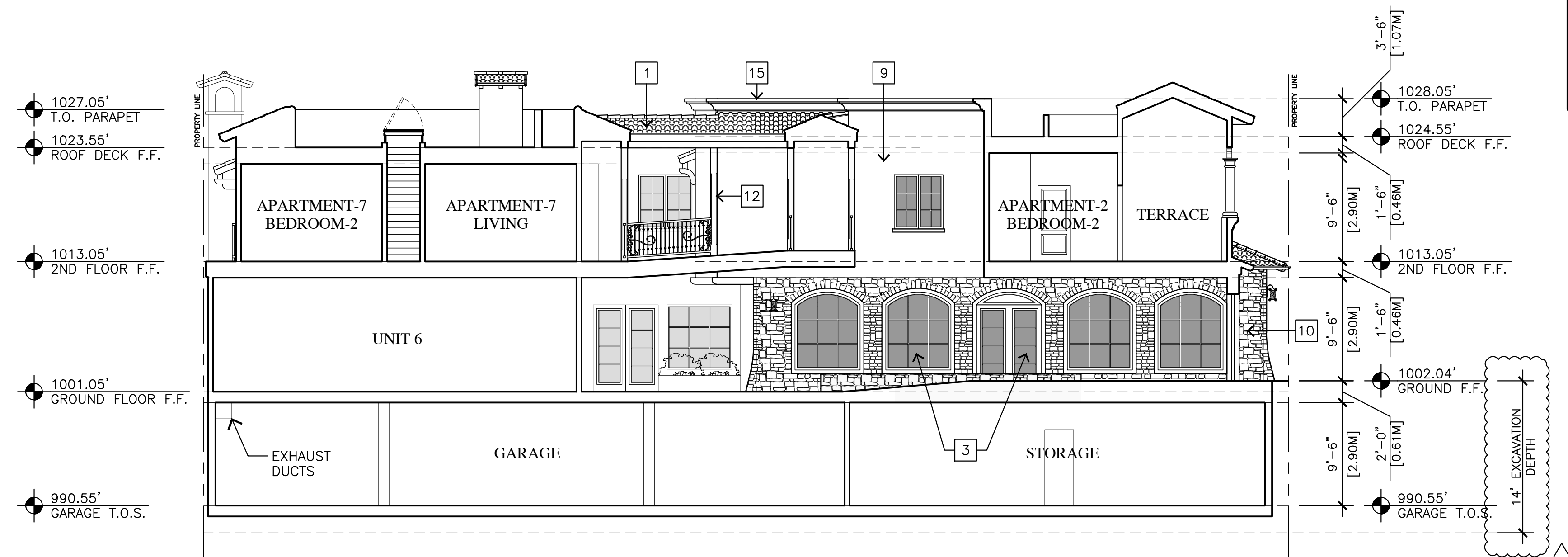
PROJECT/CLIENT:

JB PASTOR  
BUILDING

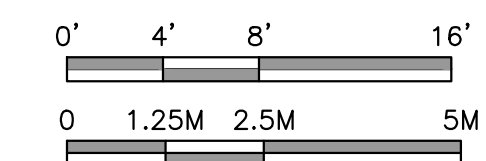
PROJECT ADDRESS:

DOLORES, 2ND SE  
OF 7TH  
CARMEL, CA  
93921

APN: 010-145-012  
022, & 023



NORTH COURTYARD / SECTION D



1/8" = 1'-0"

DATE: DECEMBER 18, 2020

TRACK-2 SUBMITTAL

REVISIONS:

- △ MARCH 4, 2021  
FOREST & BEACH COMMISSION
- △ MARCH 28, 2021  
HISTORIC BOARD COMMISSION
- △ APRIL 14, 2021  
REVISED TRACK-2 APPLICATION

ELEVATIONS  
& SECTIONS

SHEET NO.

A6.3



**DISCLAIMER:**  
ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND WERE CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGN ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:



SOUTH COURTYARD / SECTION E

1/8"=1'-0"

**EXTERIOR FINISH LEGEND**

- 1 MISSION STYLE CLAY TILE ROOF
- 2 DECORATIVE CERAMIC TILE
- 3 ALUMINUM CLAD DOORS & WINDOWS
- 4 PAINTED WOOD DOORS & WINDOWS
- 5 TRANSOM WINDOW
- 6 WROUGHT IRON GATE
- 7 WROUGHT IRON RAILING
- 9 STUCCO FINISH
- 10 RANDOM EXTERIOR STONE
- 11 SHAPED STUCCO SILL
- 12 REDWOOD POST
- 13 REDWOOD BEAMS & CORBELS
- 14 REDWOOD RAFTER TAILS
- 15 PRECAST CONCRETE PARAPET CAP
- 16 COPPER GUTTERS & DOWNSPOUT

PROJECT/CLIENT:

JB PASTOR  
BUILDING

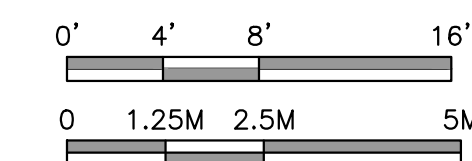
PROJECT ADDRESS:

DOLORES, 2ND SE  
OF 7TH  
CARMEL, CA  
93921

APN: 010-145-012  
022, & 023



NORTH COURTYARD / SECTION F



1/8"=1'-0"

DATE: DECEMBER 18, 2020

TRACK-2 SUBMITTAL

REVISIONS:

- △ MARCH 4, 2021  
FOREST & BEACH COMMISSION
- △ MARCH 26, 2021  
HISTORIC BOARD COMMISSION
- △ APRIL 14, 2021  
REVISED TRACK-2 APPLICATION

ELEVATIONS  
& SECTIONS

SHEET NO.

A6.4



**DISCLAIMER:**  
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STAMPS:

PROJECT/CLIENT:

JB PASTOR  
BUILDING

PROJECT ADDRESS:

DOLORES, 2ND SE  
OF 7TH  
CARMEL, CA  
93921

APN: 010-145-012  
022, & 023

DATE: DECEMBER 18, 2020

TRACK-2 SUBMITTAL

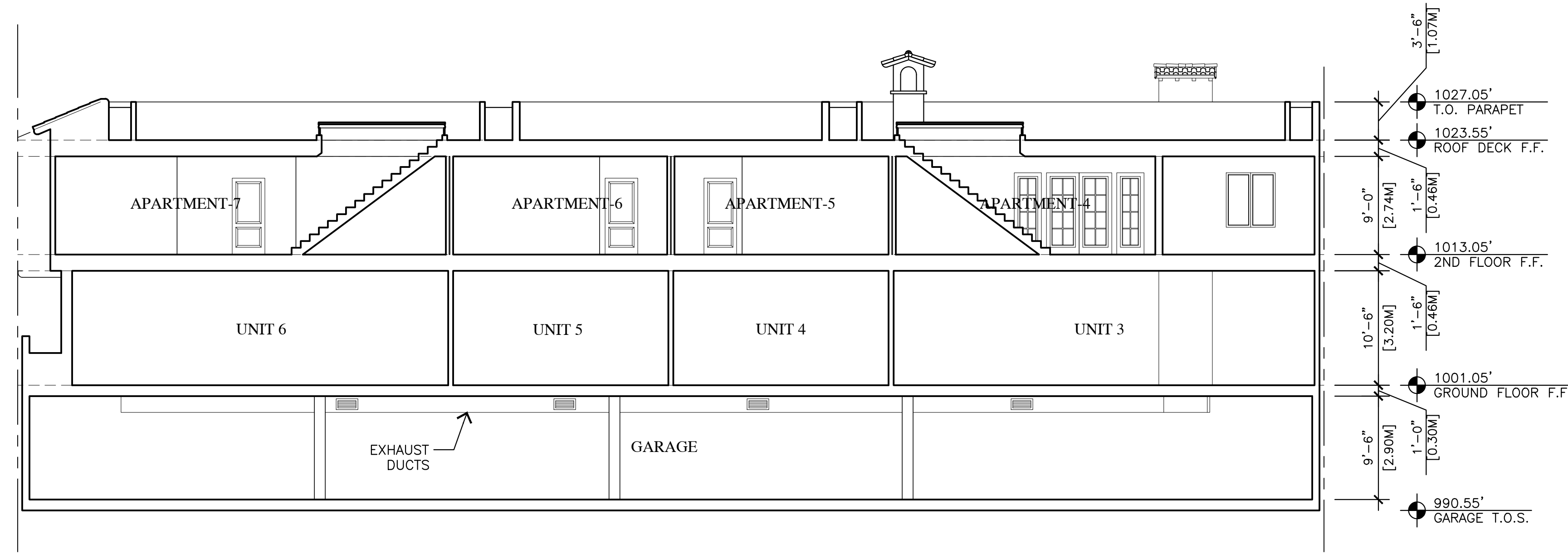
REVISIONS:

- ▲ MARCH 4, 2021  
FOREST & BEACH COMMISSION
- ▲ MARCH 26, 2021  
HISTORIC BOARD COMMISSION
- ▲ APRIL 14, 2021  
REVISED TRACK-2 APPLICATION
- ▲ \_\_\_\_\_
- ▲ \_\_\_\_\_
- ▲ \_\_\_\_\_

SECTIONS

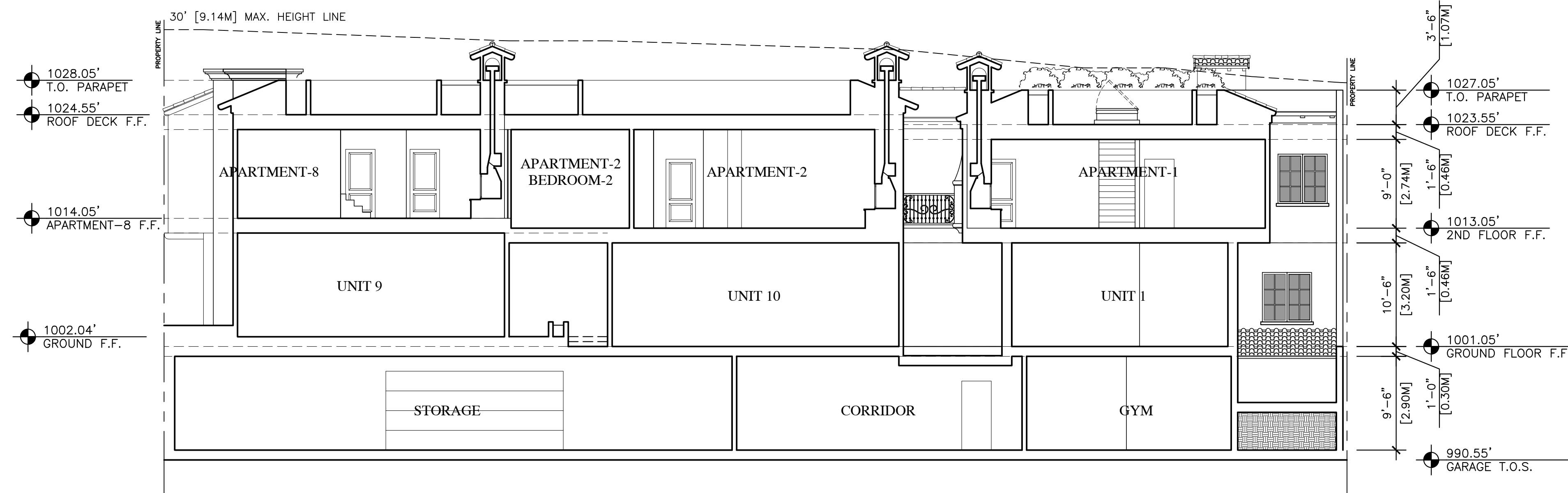
SHEET NO.

A6.5

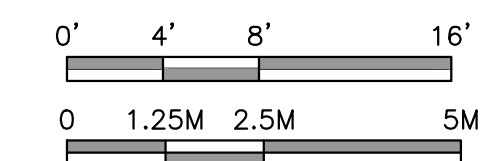


SECTION G

1/8"=1'-0"



NORTH COURTYARD / SECTION F



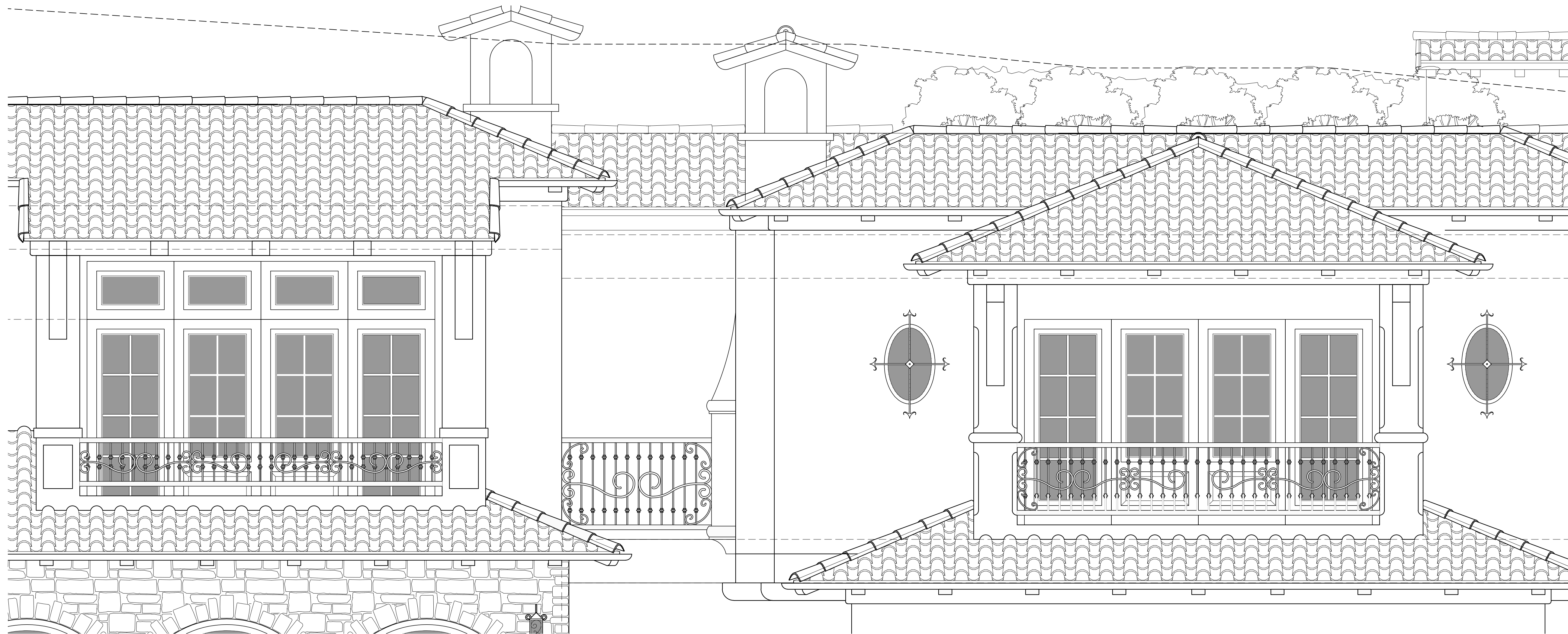
1/8"=1'-0"





APARTMENT-8 TERRACE

1/2"=1'-0"



APARTMENT-3 TERRACE

1/2"=1'-0"

APARTMENT-1 TERRACE

1/2"=1'-0"

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STAMPS:

PROJECT/CLIENT:

JB PASTOR  
BUILDING

PROJECT ADDRESS:

DOLORES, 2ND SE  
OF 7TH  
CARMEL, CA  
93921

APN: 010-145-012  
022, & 023

DATE: DECEMBER 18, 2020  
TRACK-2 SUBMITTAL

- REVISIONS:
- △ MARCH 4, 2021  
FOREST & BEACH COMMISSION
  - △ MARCH 26, 2021  
HISTORIC BOARD COMMISSION
  - △ APRIL 14, 2021  
REVISED TRACK-2 APPLICATION
  - △ \_\_\_\_\_
  - △ \_\_\_\_\_
  - △ \_\_\_\_\_

TERRACE  
DETAILS

SHEET NO.

A6.7



**DISCLAIMER:**  
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STAMPS:

PROJECT/CLIENT:

**JB PASTOR  
BUILDING**

PROJECT ADDRESS:

**DOLORES, 2ND SE  
OF 7TH  
CARMEL, CA  
93921**

APN: 010-145-012  
022, & 023

DATE: DECEMBER 18, 2020

TRACK-2 SUBMITTAL

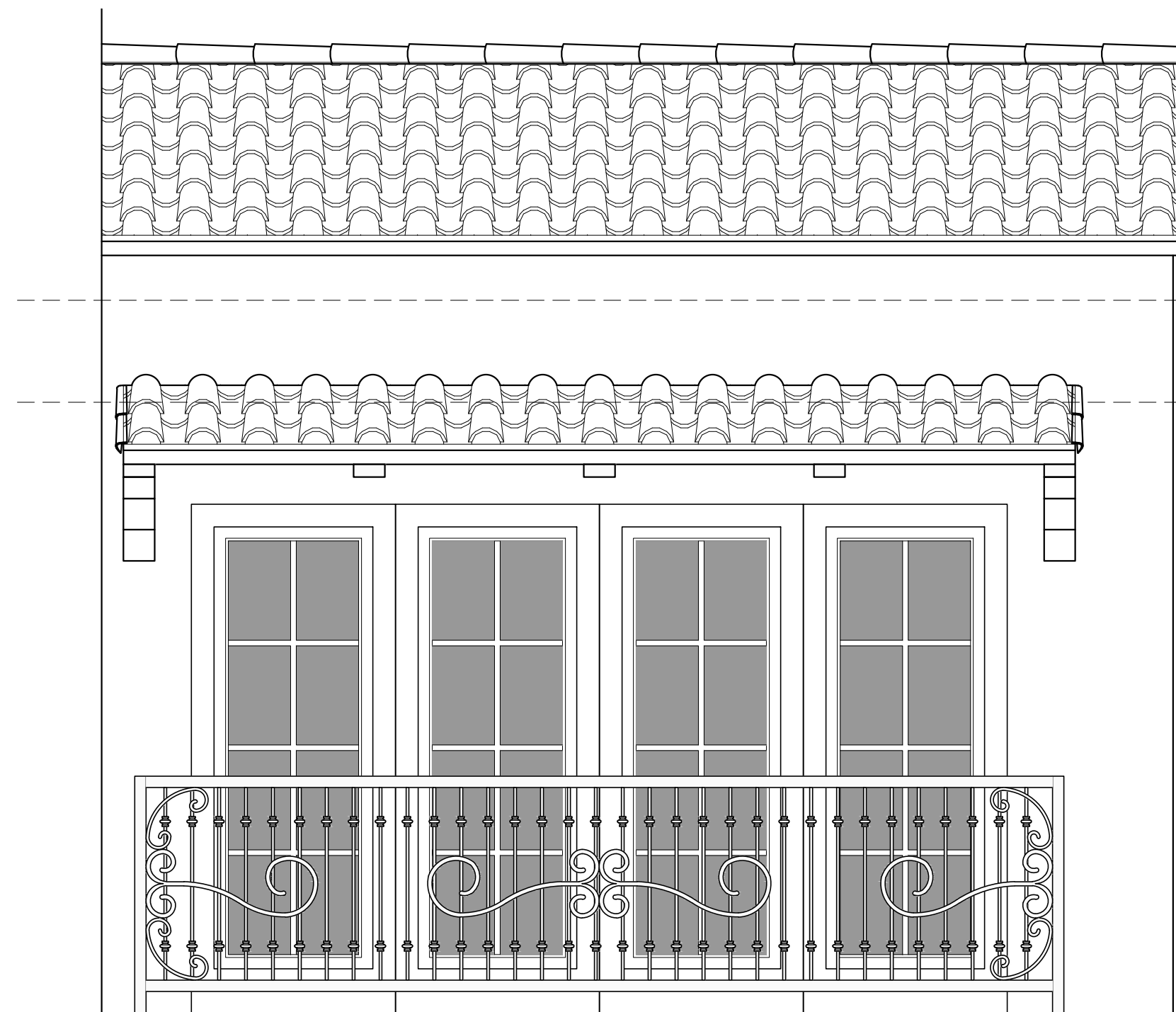
REVISIONS:

- ▲ MARCH 4, 2021  
FOREST & BEACH COMMISSION
- ▲ MARCH 26, 2021  
HISTORIC BOARD COMMISSION
- ▲ APRIL 14, 2021  
REVISED TRACK-2 APPLICATION
- ▲ \_\_\_\_\_
- ▲ \_\_\_\_\_
- ▲ \_\_\_\_\_

**TERRACE  
DETAILS**

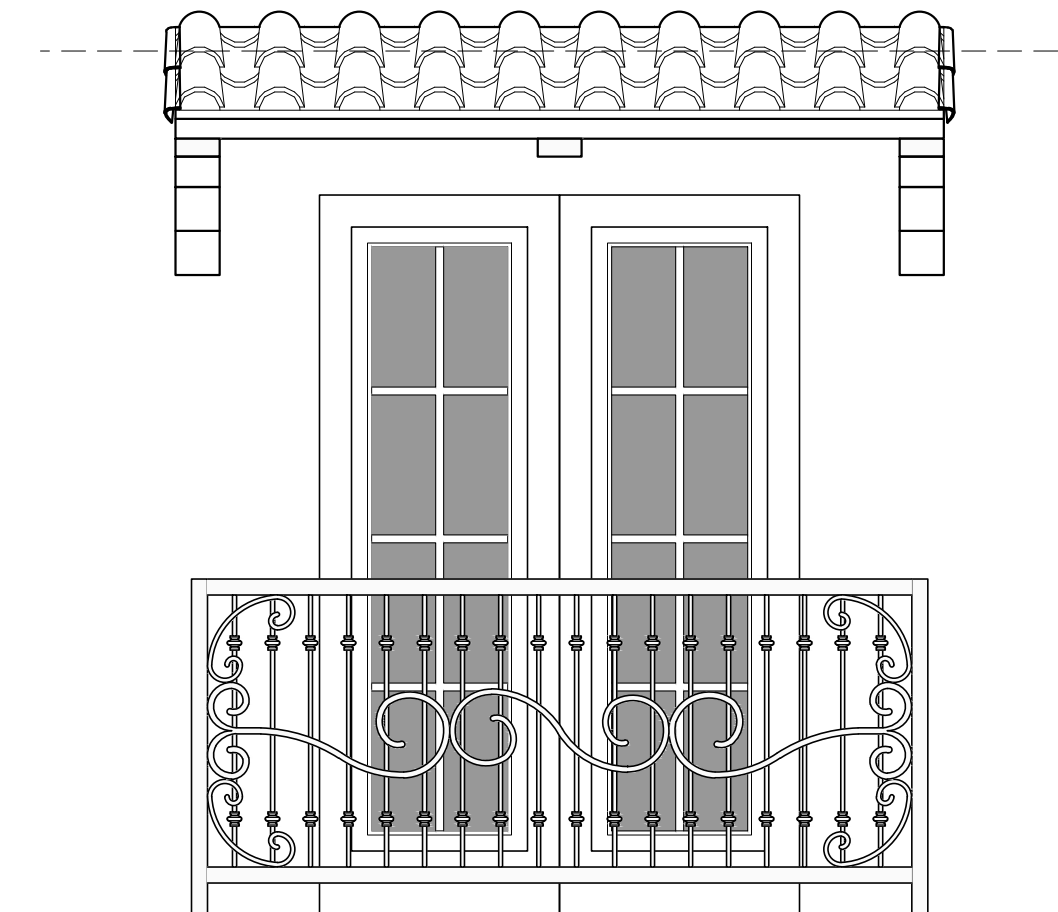
SHEET NO.

**A6.8**



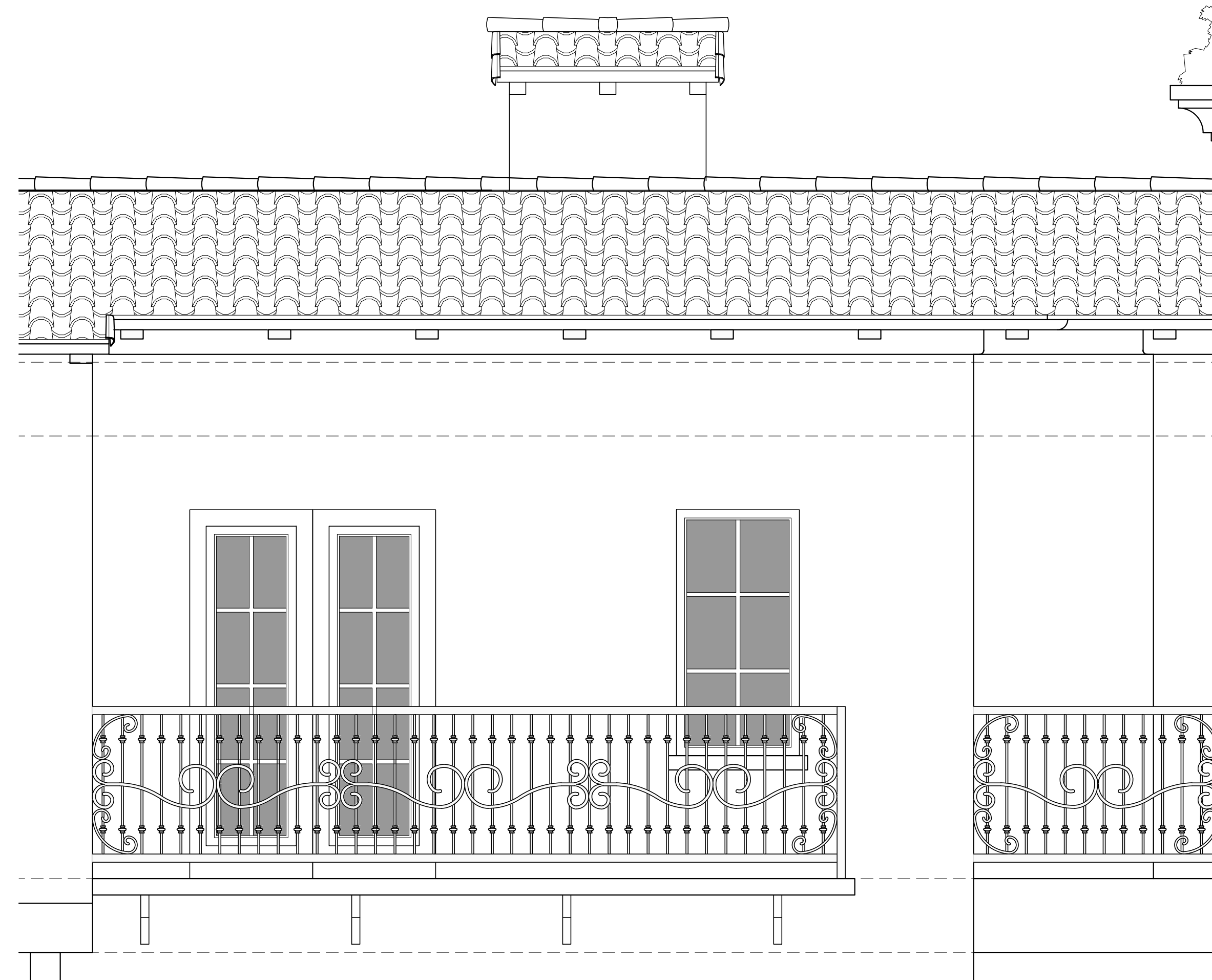
**APARTMENT-4 BALCONY**

1/2"=1'-0"



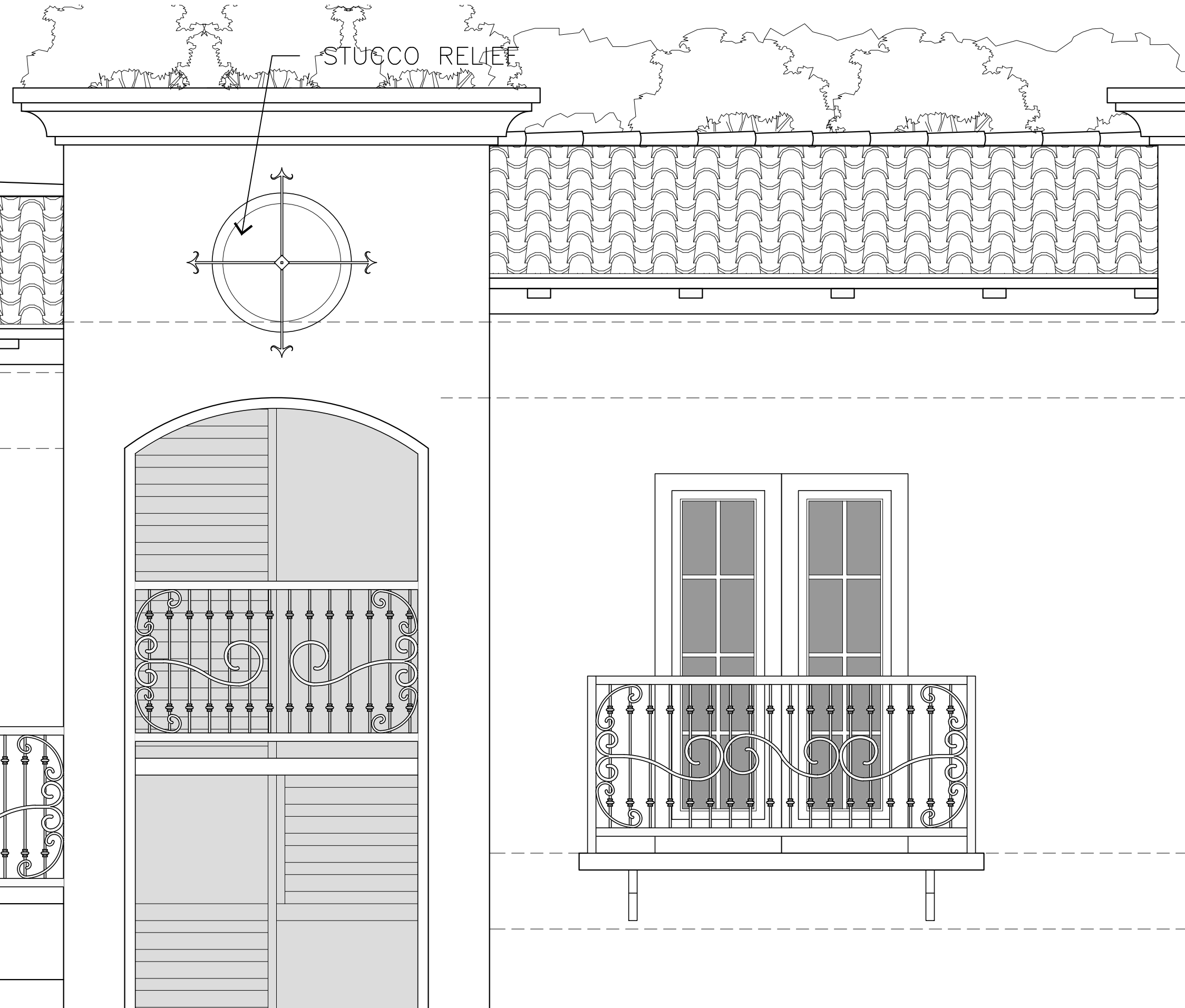
**TYP. BALCONY (APT 5,6,7)**

1/2"=1'-0"



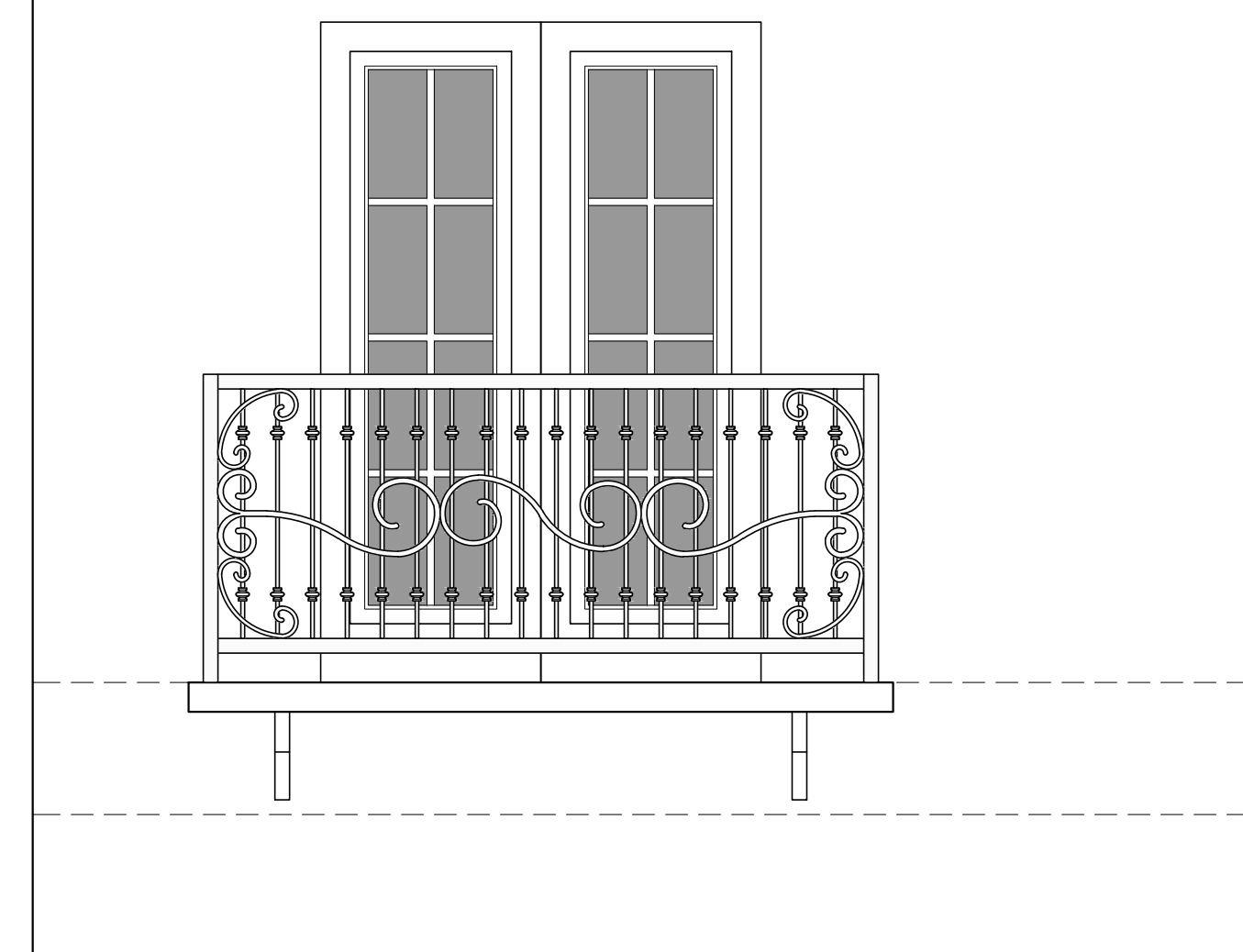
**APARTMENT-7 BALCONY**

1/2"=1'-0"



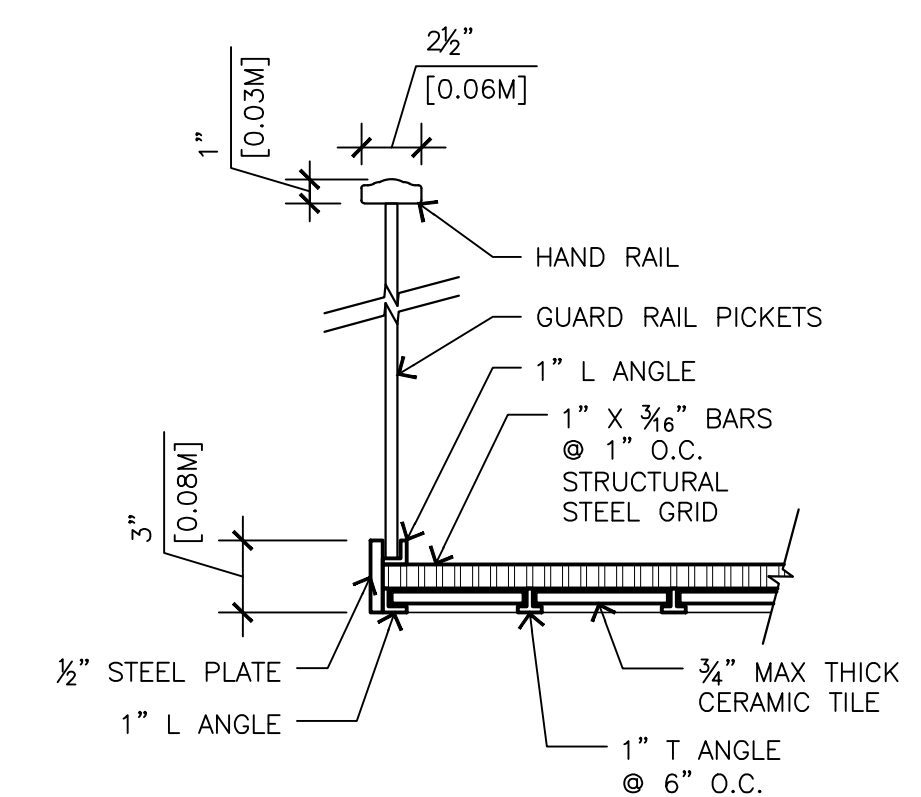
**STAIR TOWER**

1/2"=1'-0"



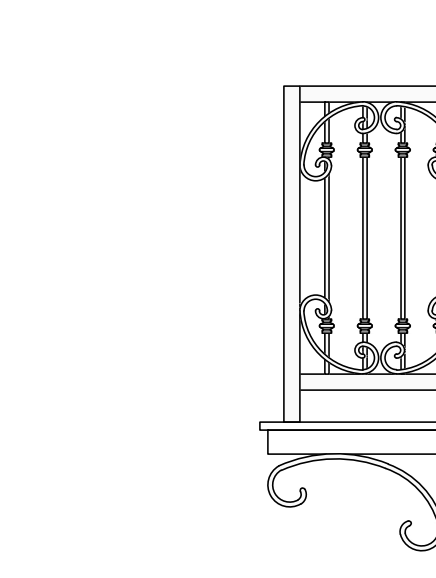
**APARTMENT-8 BALCONY**

1/2"=1'-0"



**BALCONY DETAIL**

1-1/2"=1'-0"

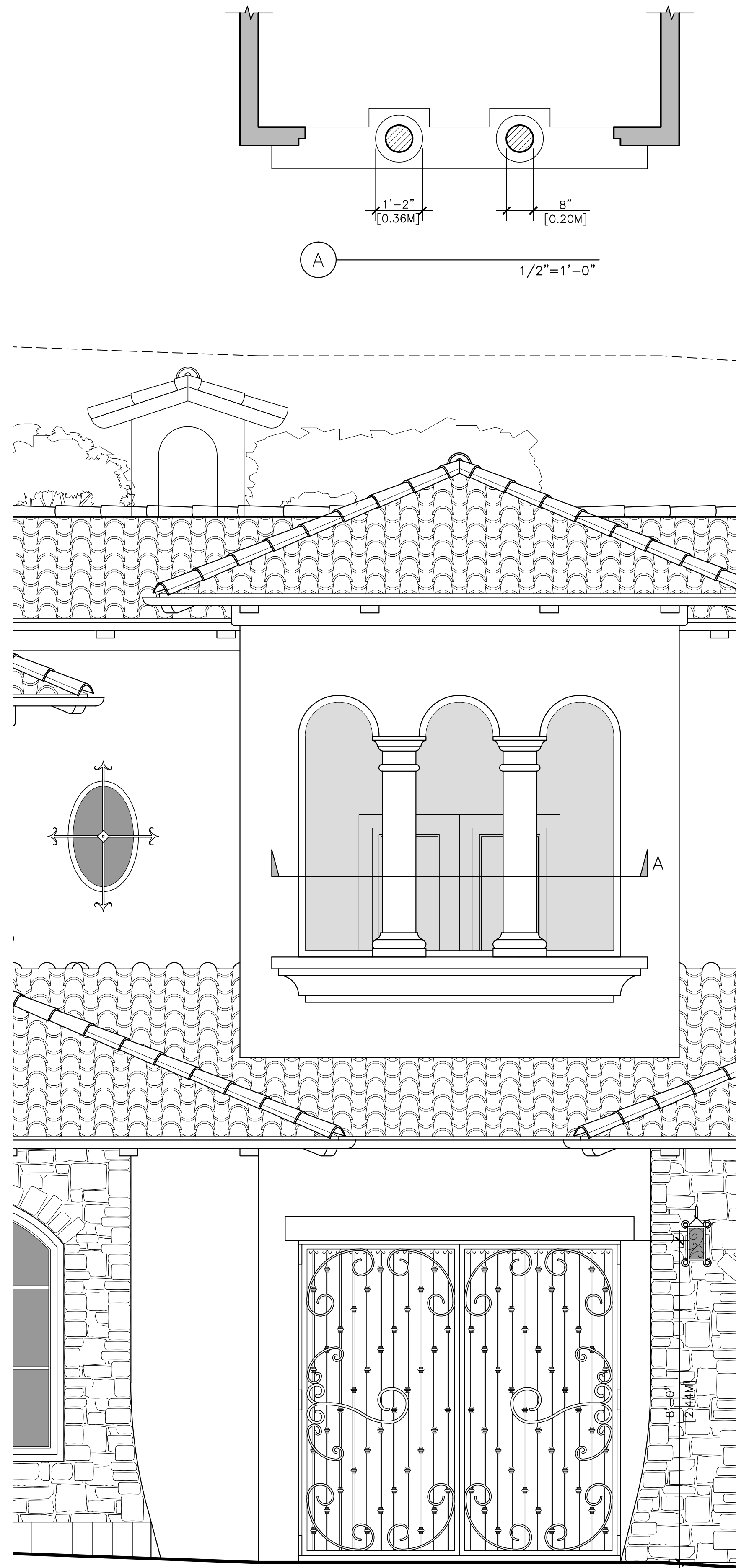


**BALCONY PROFILE TYP.**

1/2"=1'-0"

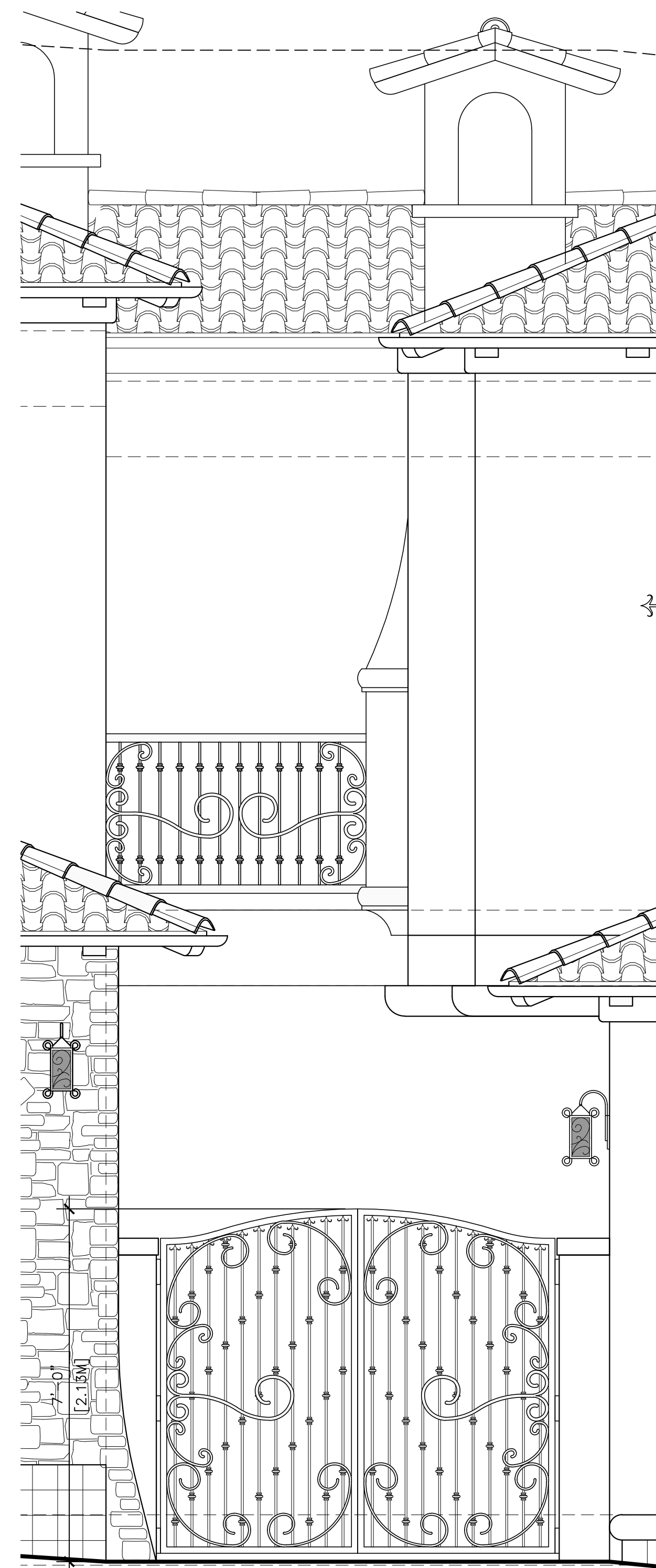


4/14/2021 1:14:39 PM



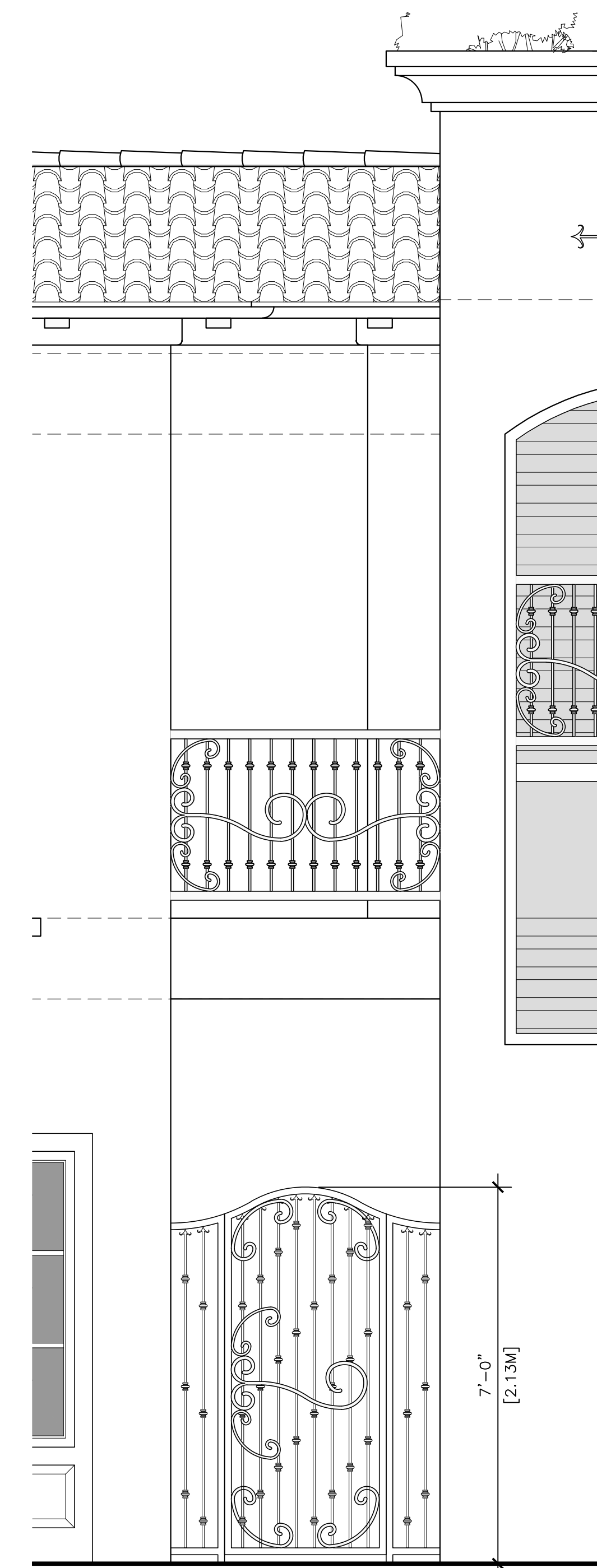
**NORTHWEST GATE & TOWER**

1/2"=1'-0"



**SOUTHWEST GATE**

1/2"=1'-0"



**NORTH ACCESS GATE**

1/2"=1'-0"

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**STAMPS:**

**PROJECT/CLIENT:**

**JB PASTOR  
BUILDING**

**PROJECT ADDRESS:**

**DOLORES, 2ND SE  
OF 7TH  
CARMEL, CA  
93921**

APN: 010-145-012  
022, & 023

DATE: DECEMBER 18, 2020

TRACK-2 SUBMITTAL

**REVISIONS:**

- △ MARCH 4, 2021  
FOREST & BEACH COMMISSION
- △ MARCH 26, 2021  
HISTORIC BOARD COMMISSION
- △ APRIL 14, 2021  
REVISED TRACK-2 APPLICATION
- △ \_\_\_\_\_
- △ \_\_\_\_\_
- △ \_\_\_\_\_

**GATE  
DETAILS**

SHEET NO.

**A6.9**



**DISCLAIMER:**  
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STAMPS:

PROJECT/CLIENT:

ESPERANZA  
CARMEL  
COMMERCIAL LLC

PROJECT ADDRESS:

DOLORES ST  
2 SE of 7th Ave,  
CARMEL, CA 93921

APN: 010-145-012



DATE: DECEMBER 18, 2020  
TRACK II SUBMITTAL

REVISIONS:

- △ MARCH 4, 2021  
FOREST & BEACH COMMISSION
- △ MARCH 26, 2021  
HISTORIC BOARD COMMISSION
- △ APRIL 14, 2021  
REVISED TRACK-2 APPLICATION
- △ \_\_\_\_\_
- △ \_\_\_\_\_
- △ \_\_\_\_\_

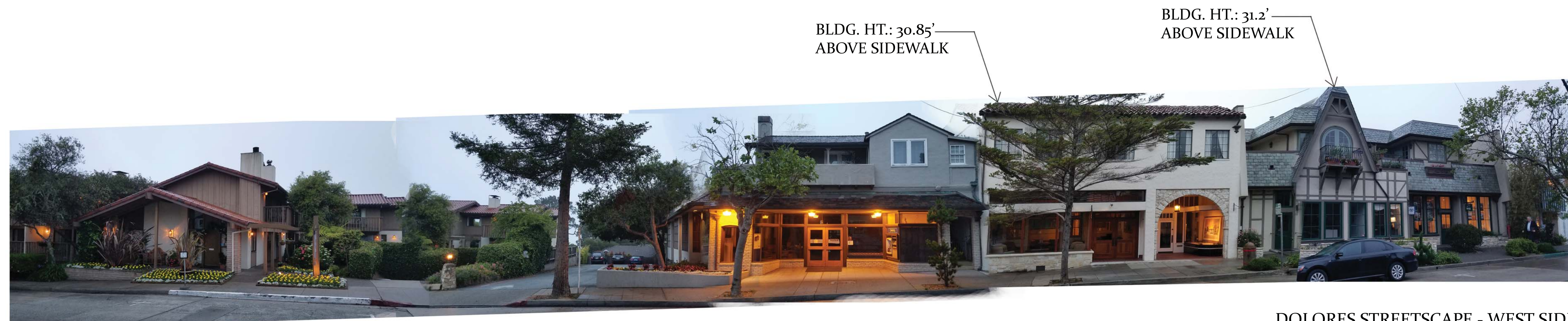
JB-PASTOR  
STREETSCAPES

SHEET NO.

A8.1



DOLORES STREETSCAPE - EAST SIDE



DOLORES STREETSCAPE - WEST SIDE







INTERNATIONAL DESIGN GROUP  
721 LIGHTHOUSE AVE  
PACIFIC GROVE, CA 93950

PREPARED FOR:  
INTERNATIONAL DESIGN GROUP  
721 LIGHTHOUSE AVE  
PACIFIC GROVE, CA 93950

DESIGNED BY:  
DATE: 12-18-20  
SCALE: AS SHOWN  
LAST REVISION: 12/18/20

DOLORES STREET  
ELEVATIONS EXHIBIT

SHEET 2  
OF  
3 SHEETS

ADJACENT BUILDING

N.T.S.



INTERNATIONAL DESIGN GROUP  
721 LIGHTHOUSE AVE  
PACIFIC GROVE, CA 93950

PREPARED FOR:  
INTERNATIONAL DESIGN GROUP  
721 LIGHTHOUSE AVE  
PACIFIC GROVE, CA 93950

DESIGNED BY:  
DATE: 12-18-20  
SCALE: AS SHOWN  
LAST REVISION: 12/18/20

DOLORES STREET  
ELEVATIONS EXHIBIT

SHEET 1  
OF  
3 SHEETS

ADJACENT BUILDING

N.T.S.



INTERNATIONAL DESIGN GROUP  
721 LIGHTHOUSE AVE  
PACIFIC GROVE, CA 93950

PREPARED FOR:  
INTERNATIONAL DESIGN GROUP  
721 LIGHTHOUSE AVE  
PACIFIC GROVE, CA 93950

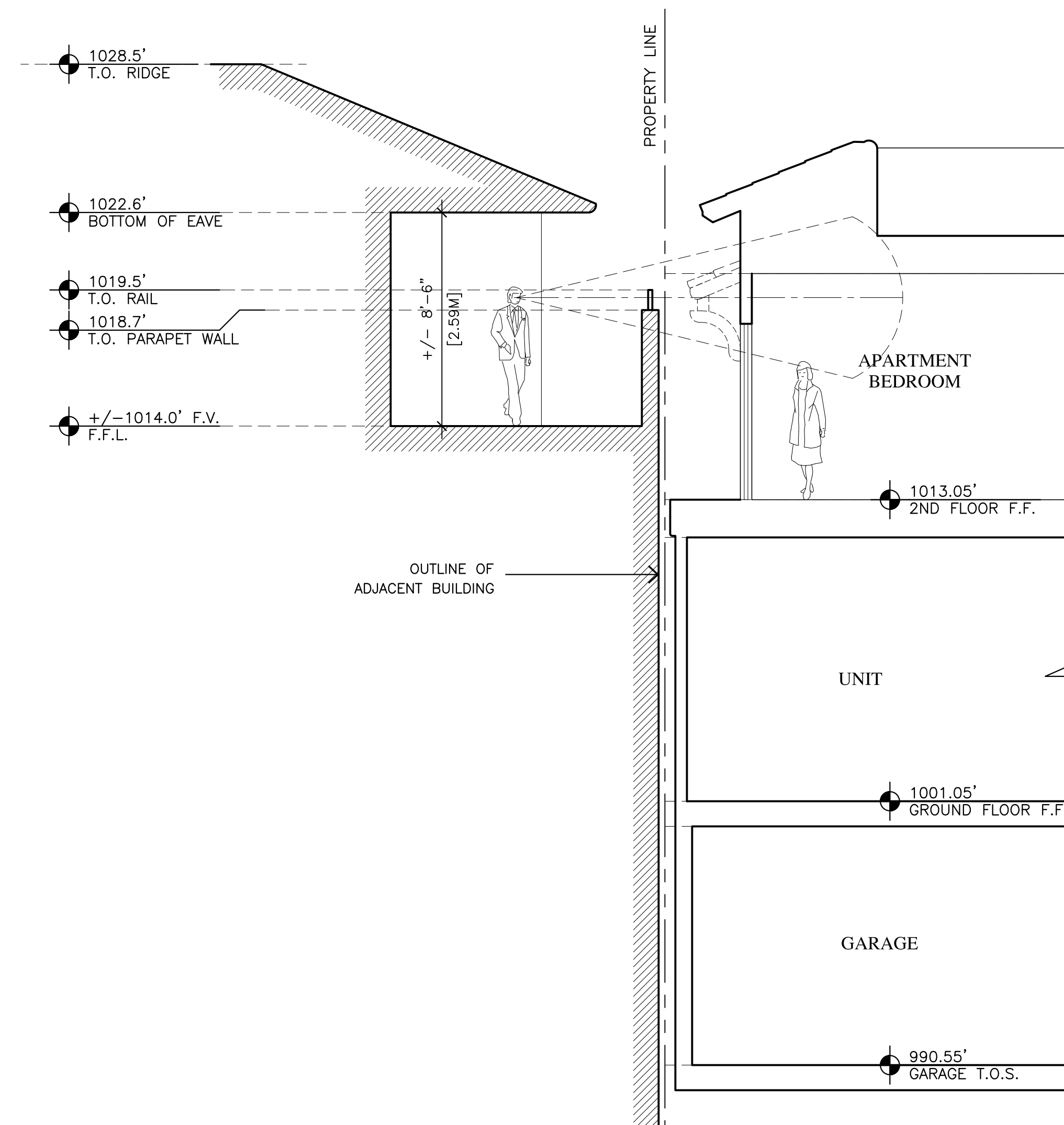
DESIGNED BY:  
DATE: 12-18-20  
SCALE: AS SHOWN  
LAST REVISION: 12/18/20

DOLORES STREET  
ELEVATIONS EXHIBIT

SHEET 3  
OF  
3 SHEETS

ADJACENT BUILDING

N.T.S.



SECTION THRU ADJACENT BUILDING

1/4"=1'-0"

JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

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DISCLAIMER:

ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE AND WERE CREATED, DEVELOPED AND DESIGNED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGN ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

JB PASTOR  
BUILDING

PROJECT ADDRESS:

DOLORES, 2ND SE  
OF 7TH  
CARMEL, CA  
93921

APN: 010-145-012  
022, & 023

DATE: DECEMBER 18, 2020

TRACK-2 SUBMITTAL

REVISIONS:

- △ MARCH 4, 2021  
FOREST & BEACH COMMISSION
- △ MARCH 26, 2021  
HISTORIC BOARD COMMISSION
- △ APRIL 14, 2021  
REVISED TRACK-2 APPLICATION
- △
- △
- △

ADJACENT BUILDING  
ELEVATIONS

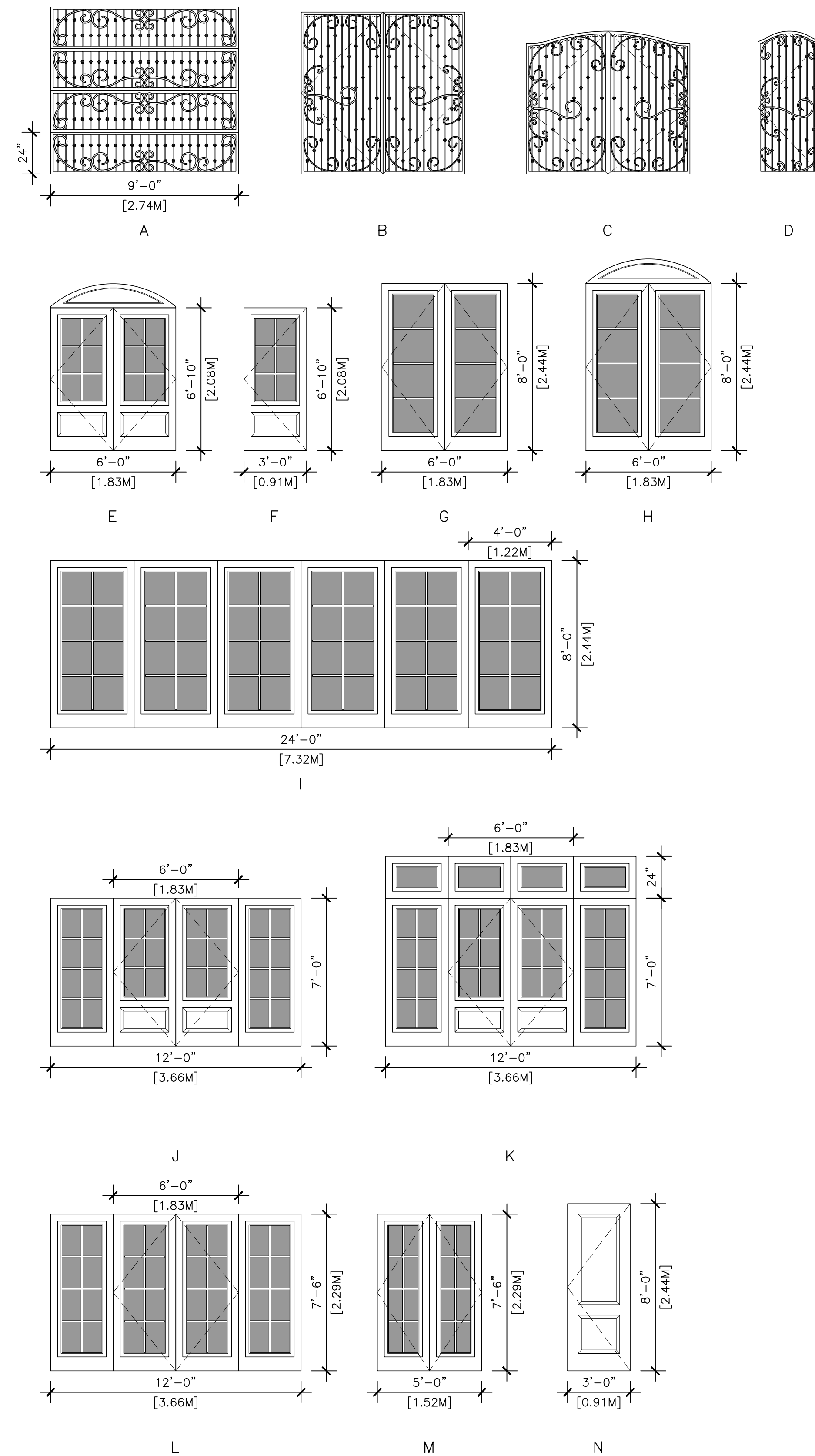
SHEET NO.

A8.2



**DOOR TYPES**

SCALE: 1/4" = 1'-0"



**EXTERIOR DOOR SCHEDULE**

Door No.	Door Size (Finished)			Style	Material	Core	Glass		Finish		Action	Remarks
	Width	Height	Thick				Type	Tempered	Exterior	Interior		
<b>BASEMENT</b>												
1	9'-0"	8'-0"	1-3/4"	A	WR. IRON	---	---	---	---	---	ROLL-UP	⊗ ---
2	3'-0"	7'-0"	1-3/4"	-	---	---	---	---	---	---	SWING	⊗ ---
3	PAIR 3'-0"	7'-0"	1-3/4"	-	---	---	---	---	---	---	SWING	⊗ ---
4	18'-0"	8'-0"	1-3/4"	-	---	---	---	---	---	---	ROLL-UP	⊗ ---
5	3'-0"	7'-0"	1-3/4"	-	---	---	---	---	---	---	SWING	⊗ ---
6	3'-0"	7'-0"	1-3/4"	-	---	---	---	---	---	---	SWING	⊗ ---
7	3'-0"	7'-0"	1-3/4"	-	---	---	---	---	---	---	SWING	⊗ ---
8	3'-0"	7'-0"	1-3/4"	-	---	---	---	---	---	---	SWING	⊗ ---
9	3'-0"	7'-0"	1-3/4"	-	---	---	---	---	---	---	SWING	⊗ ---
10	3'-0"	7'-0"	1-3/4"	-	---	---	---	---	---	---	SWING	⊗ ---
11	2'-6"	7'-0"	1-3/4"	-	---	---	---	---	---	---	SWING	⊗ ---
12	3'-0"	7'-0"	1-3/4"	-	---	---	---	---	---	---	SWING	⊗ ---
13	3'-0"	7'-0"	1-3/4"	-	---	---	---	---	---	---	SWING	⊗ ---
<b>GROUND FLOOR</b>												
20	PAIR 3'-0"	7'-0"	1-3/4"	E	---	---	DBL.-PANE	YES	---	---	SWING	⊗ ---
21	PAIR 4'-0"	7'-0"	1-3/4"	B	WR. IRON	---	---	---	---	---	SWING	SOUTHWEST GATE ⊗ COURTYARD
22	PAIR 4'-0"	8'-0"	1-3/4"	C	WR. IRON	---	---	---	---	---	SWING	NORTHWEST GATE ⊗ COURTYARD
23	3'-0"	8'-0"	1-3/4"	F	---	---	DBL.-PANE	YES	---	---	SWING	⊗ ---
24	3'-0"	8'-0"	1-3/4"	F	---	---	DBL.-PANE	YES	---	---	SWING	⊗ ---
25	3'-0"	8'-0"	1-3/4"	D	WR. IRON	---	---	---	---	---	SWING	NORTH GATE ⊗ COURTYARD
26	3'-0"	8'-0"	1-3/4"	F	---	---	DBL.-PANE	YES	---	---	SWING	⊗ ---
27	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	DBL.-PANE	YES	---	---	SWING	⊗ ---
28	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	DBL.-PANE	YES	---	---	SWING	⊗ ---
29	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	DBL.-PANE	YES	---	---	SWING	⊗ ---
30	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	DBL.-PANE	YES	---	---	SWING	⊗ ---
31	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	DBL.-PANE	YES	---	---	SWING	⊗ ---
32	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	DBL.-PANE	YES	---	---	SWING	⊗ ---
33	PAIR 3'-0"	8'-0"	1-3/4"	H	---	---	DBL.-PANE	YES	---	---	SWING	⊗ ---
34	SIX 4'-0"	8'-0"	1-3/4"	I	---	---	DBL.-PANE	YES	---	---	BI-FOLD	⊗ ---
35	PAIR 3'-0"	8'-0"	1-3/4"	H	---	---	DBL.-PANE	YES	---	---	SWING	⊗ ---
36	PAIR 3'-0"	8'-0"	1-3/4"	H	---	---	DBL.-PANE	YES	---	---	SWING	⊗ ---
37	PAIR 3'-0"	8'-0"	1-3/4"	H	---	---	DBL.-PANE	YES	---	---	SWING	⊗ ---
38	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	DBL.-PANE	YES	---	---	SWING	⊗ ---
39	3'-0"	8'-0"	1-3/4"	-	---	---	---	---	---	---	SWING	GATE ⊗ STAIR 2
<b>2ND FLOOR</b>												
50	PAIR 3'-0"	7'-8"	1-3/4"	J	---	---	DBL.-PANE	YES	---	---	SWING	⊗ TERRACE, APT. 1
51	3'-0"	7'-6"	1-3/4"	N	---	---	---	---	---	---	SWING	⊗ APT. 1
52	3'-0"	7'-0"	1-3/4"	D	WR. IRON	---	---	---	---	---	SWING	GATE ⊗ APT. 4
53	3'-0"	7'-6"	1-3/4"	N	---	---	---	---	---	---	SWING	⊗ APT. 4
54	3'-0"	7'-6"	1-3/4"	N	---	---	---	---	---	---	SWING	⊗ APT. 5
55	3'-0"	7'-6"	1-3/4"	N	---	---	---	---	---	---	SWING	⊗ APT. 6
56	3'-0"	7'-6"	1-3/4"	N	---	---	---	---	---	---	SWING	⊗ APT. 7
57	PAIR 2'-6"	7'-6"	1-3/4"	M	---	---	DBL.-PANE	YES	---	---	SWING	⊗ BALCONY, APT. 7
58	PAIR 2'-6"	7'-6"	1-3/4"	M	---	---	DBL.-PANE	YES	---	---	SWING	⊗ BALCONY, APT. 7
59	PAIR 2'-6"	7'-6"	1-3/4"	M	---	---	DBL.-PANE	YES	---	---	SWING	⊗ BALCONY, APT. 7
60	PAIR 2'-6"	7'-6"	1-3/4"	M	---	---	DBL.-PANE	YES	---	---	SWING	⊗ BALCONY, APT. 6
61	PAIR 2'-6"	7'-6"	1-3/4"	M	---	---	DBL.-PANE	YES	---	---	SWING	⊗ BALCONY, APT. 5
62	PAIR 3'-0"	7'-6"	1-3/4"	L	---	---	DBL.-PANE	YES	---	---	SWING	⊗ BALCONY, APT. 4
63	3'-0"	7'-6"	1-3/4"	-	---	---	---	---	---	---	SWING	GATE ⊗ STAIR-2
64	3'-0"	7'-6"	1-3/4"	N	---	---	---	---	---	---	SWING	⊗ APT. 8
65	3'-0"	7'-6"	1-3/4"	N	---	---	---	---	---	---	SWING	⊗ APT. 3
66	3'-0"	7'-6"	1-3/4"	N	---	---	---	---	---	---	SWING	⊗ APT. 2
67	PAIR 3'-0"	7'-6"	1-3/4"	K	---	---	DBL.-PANE	YES	---	---	SWING	⊗ TERRACE, APT. 2
68	PAIR 3'-0"	7'-6"	1-3/4"	M	---	---	DBL.-PANE	YES	---	---	SWING	⊗ TERRACE, APT. 2
69	PAIR 3'-0"	7'-6"	1-3/4"	J	---	---	DBL.-PANE	YES	---	---	SWING	⊗ TERRACE, APT. 2
70	PAIR 2'-6"	7'-6"	1-3/4"	M	---	---	DBL.-PANE	YES	---	---	SWING	⊗ BALCONY, APT. 8
<b>ROOF</b>												
110	4'-3"	12'-0"	1-3/4"	-	METAL	---	---	---	---	---	SWING-UP	ROOF HATCH ⊗ APT. 1
111	4'-3"	12'-0"	1-3/4"	-	METAL	---	---	---	---	---	SWING-UP	ROOF HATCH ⊗ APT. 4
112	4'-3"	12'-0"	1-3/4"	-	METAL	---	---	---	---	---	SWING-UP	ROOF HATCH ⊗ APT. 7
113	3'-6"	12'-0"	1-3/4"	-	METAL	---	---	---	---	---	SWING-UP	ROOF HATCH ⊗ STAIR-2
114	4'-3"	12'-0"	1-3/4"	-	METAL	---	---	---	---	---	SWING-UP	ROOF HATCH ⊗ APT. 8

**DOOR NOTES:**

ALL GLAZING IN DOORS SHALL BE TEMP. GLASS.

DOOR SIZES SHOWN ARE PROPOSED DOOR LEAF SIZES. GENERAL CONTRACTOR TO VERIFY MANUFACTURER'S NEAREST STOCK SIZES FOR DESIGNER/OWNER TO REVIEW AND APPROVE.

SPECIALTY DOORS SHALL BE COORDINATED WITH GENERAL CONTRACTOR FOR SITE VERIFICATION AND INSTALLATION.

ALL EXTERIOR DOORS SHALL HAVE A COPPER PAN, 1/2" MAX THRESHOLD, & BRASS HINGES. OUTSWING DOORS SHALL HAVE A 1-1/2" MAX CHANGE IN ELEVATION TO THE EXTERIOR.

ALL EXPOSED EDGES TO BE SEALED TO PREVENT MOISTURE PENETRATION AND WARPING.

ALL FRENCH DOORS ARE TO HAVE DEAD BOLTS.

CONTRACTOR TO VERIFY ALL ASPECTS OF DOORS WITH OWNER PRIOR TO ORDERING

EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITION-RESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1-1/4 INCHES THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM-7A-1. [§R327.8.3]

ALL EXTERIOR GLAZED DOORS ARE TO BE DOUBLE GLAZED, WITH A MINIMUM OF ONE TEMPERED PANE, GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [§R327.8.2.1]

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STAMPS:

PROJECT/CLIENT:

**JB PASTOR BUILDING**

PROJECT ADDRESS:

**DOLORES, 2ND SE OF 7TH CARMEL, CA 93921**

APN: 010-145-012  
022, & 023

DATE: DECEMBER 18, 2020

TRACK-2 SUBMITTAL

REVISIONS:

- △ MARCH 4, 2021 FOREST & BEACH COMMISSION
- △ MARCH 26, 2021 HISTORIC BOARD COMMISSION
- △ APRIL 14, 2021 REVISED TRACK-2 APPLICATION
- △ \_\_\_\_\_
- △ \_\_\_\_\_
- △ \_\_\_\_\_

**DOOR SCHEDULE**

SHEET NO.

**A9.0**

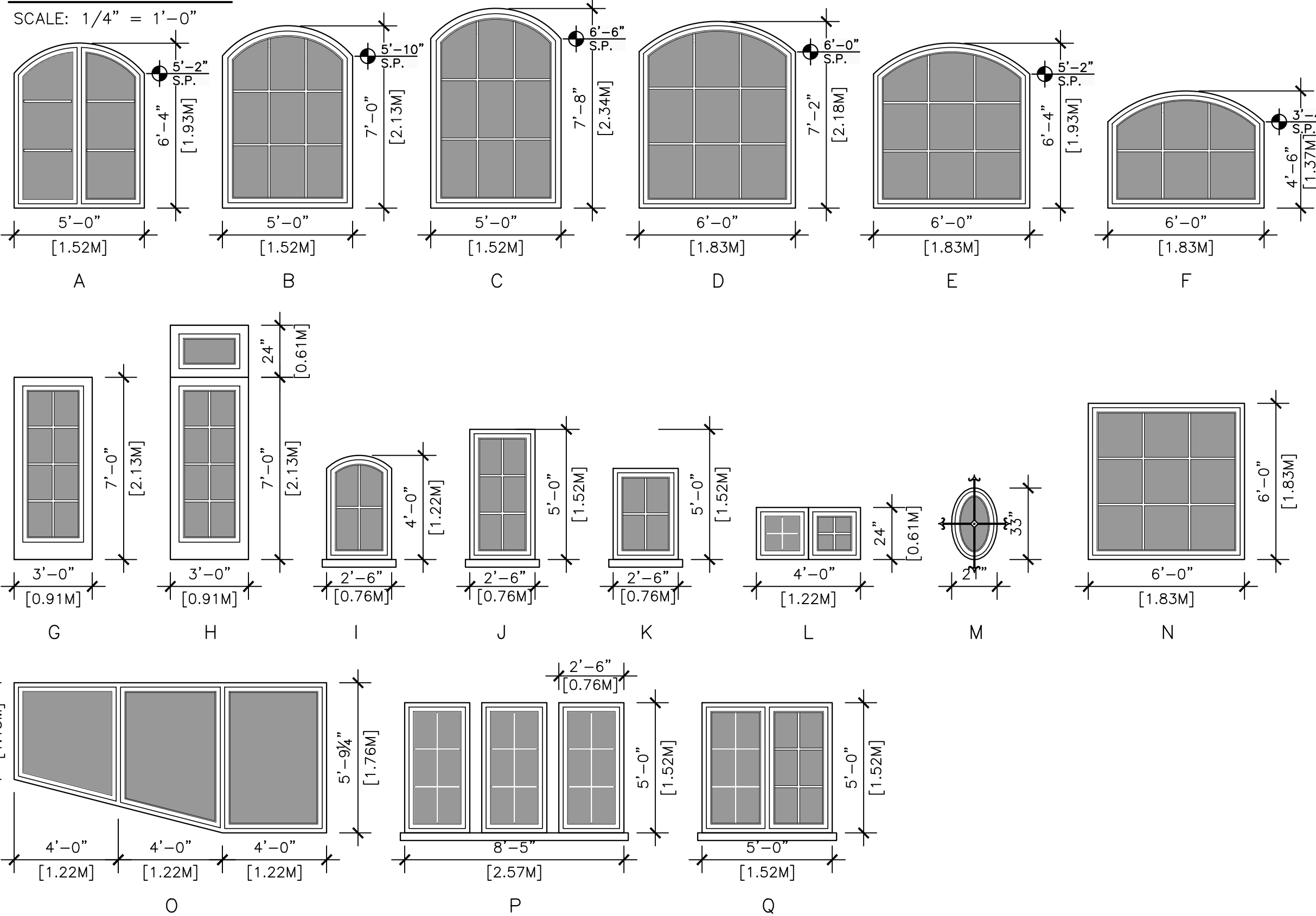


## WINDOW SCHEDULE

Window No.	Window Size (Finished)			Style	Type	Material	Glass		Finish		Remarks
	Width	Height	Head Height				Type	Tempered	Exterior	Interior	
<b>BASEMENT</b>											
1	4'-0"	V.I.F.	9'-0"	O	FIXED	WOOD	DBL.-PANE	YES	METAL-CLAD	---	⊙----
2	4'-0"	V.I.F.	9'-0"	O	FIXED	WOOD	DBL.-PANE	YES	METAL-CLAD	---	⊙----
3	4'-0"	V.I.F.	9'-0"	O	FIXED	WOOD	DBL.-PANE	YES	METAL-CLAD	---	⊙----

<b>GROUND FLOOR</b>											
Window No.	Width	Height	Head Height	Style	Type	Material	Type	Tempered	Exterior	Interior	Remarks
10	5'-0"	5'-0"	7'-6"	Q	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
11	4'-0"	2'-0"	7'-6"	L	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
12	4'-0"	2'-0"	7'-6"	L	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
13	4'-0"	2'-0"	7'-6"	L	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
14	6'-0"	7'-8"	8'-2"	C	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
15	5'-0"	7'-8"	8'-2"	C	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
16	5'-0"	7'-8"	8'-2"	C	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
17	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
18	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
19	5'-0"	6'-0"	8'-0"	Q	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
20	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
21	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
22	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
23	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
24	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
25	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
26	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
27	6'-0"	4'-6"	8'-6"	F	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
28	6'-0"	4'-6"	8'-6"	F	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
29	6'-0"	4'-6"	8'-6"	F	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
30	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
31	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
32	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
33	6'-0"	7'-2"	8'-2"	D	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
34	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
35	5'-0"	6'-4"	8'-7"	A	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
36	5'-0"	6'-4"	8'-7"	A	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
37	5'-0"	6'-4"	8'-7"	A	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
38	6'-0"	6'-4"	8'-2"	E	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
39	6'-0"	6'-4"	8'-2"	E	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
40	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
41	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
42	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
43	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
44	5'-0"	7'-0"	9'-0"	B	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
45	5'-0"	7'-0"	9'-0"	B	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
46	5'-0"	7'-0"	9'-0"	B	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
47	5'-0"	7'-0"	9'-0"	B	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
48	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
49	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
50	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
51	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----

### WINDOW TYPES



## WINDOW SCHEDULE

Window No.	Window Size (Finished)			Style	Type	Material	Glass		Finish		Remarks
	Width	Height	Head Height				Type	Tempered	Exterior	Interior	
<b>2ND FLOOR</b>											
60	5'-0"	5'-0"	7'-6"	Q	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
61	2'-6"	5'-0"	7'-6"	K	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
62	2'-6"	5'-0"	7'-6"	J	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
63	5'-0"	5'-0"	7'-6"	Q	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
64	1'-9"	2'-9"	7'-6"	M	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
65	2'-6"	7'-6"	7'-6"	G	FIXED	WOOD	DBL.-PANE	YES	METAL-CLAD	---	⊙----
66	2'-6"	7'-6"	7'-6"	G	FIXED	WOOD	DBL.-PANE	YES	METAL-CLAD	---	⊙----
67	1'-9"	2'-9"	7'-6"	M	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
68	2'-0"	5'-0"	7'-6"	J	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
69	5'-0"	5'-0"	7'-6"	Q	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
70	5'-0"	5'-0"	7'-6"	Q	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
71	1'-10"	5'-0"	7'-6"	G	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
72	1'-10"	5'-0"	7'-6"	G	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
73	2'-0"	2'-0"	7'-6"	---	SKYLIGHT	WOOD	DBL.-PANE	YES	METAL-CLAD	---	⊙----
74	4'-0"	4'-0"	7'-6"	---	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
75	5'-0"	5'-0"	7'-6"	Q	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
76	5'-0"	5'-0"	7'-6"	Q	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
77	2'-6"	5'-0"	7'-6"	J	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
78	2'-6"	5'-0"	7'-6"	J	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
79	5'-0"	5'-0"	7'-6"	Q	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
80	2'-6"	5'-0"	7'-6"	P	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
81	2'-6"	5'-0"	7'-6"	P	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
82	2'-6"	5'-0"	7'-6"	P	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
83	2'-6"	5'-0"	7'-6"	J	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
84	2'-6"	5'-0"	7'-6"	J	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
85	2'-6"	4'-0"	7'-6"	J	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
86	2'-6"	4'-0"	7'-6"	J	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
87	2'-6"	5'-0"	7'-6"	J	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
88	2'-6"	7'-6"	7'-6"	G	FIXED	WOOD	DBL.-PANE	YES	METAL-CLAD	---	⊙----
89	2'-6"	7'-6"	7'-6"	G	FIXED	WOOD	DBL.-PANE	YES	METAL-CLAD	---	⊙----
90	5'-0"	5'-0"	7'-6"	Q	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
91	5'-0"	5'-0"	7'-6"	Q	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
92	2'-0"	2'-0"	7'-6"	---	SKYLIGHT	WOOD	DBL.-PANE	YES	METAL-CLAD	---	⊙----
93	3'-0"	5'-0"	7'-6"	P	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
94	3'-0"	5'-0"	7'-6"	P	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
95	3'-0"	5'-0"	7'-6"	P	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
96	1'-9"	2'-9"	7'-6"	M	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
97	2'-6"	7'-6"	7'-6"	G	FIXED	WOOD	DBL.-PANE	YES	METAL-CLAD	---	⊙----
98	2'-6"	7'-6"	7'-6"	G	FIXED	WOOD	DBL.-PANE	YES	METAL-CLAD	---	⊙----
99	1'-9"	2'-9"	7'-6"	M	FIXED	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
100	2'-6"	5'-0"	7'-6"	P	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
101	2'-6"	5'-0"	7'-6"	P	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
102	2'-6"	5'-0"	7'-6"	P	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
103	2'-6"	5'-0"	7'-6"	J	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
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108	2'-6"	5'-0"	7'-6"	Q	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
109	5'-0"	5'-0"	7'-6"	J	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
110	2'-0"	5'-0"	7'-6"	---	SKYLIGHT	WOOD	DBL.-PANE	YES	METAL-CLAD	---	⊙----
111	2'-6"	5'-0"	7'-6"	J	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
112	2'-6"	5'-0"	7'-6"	J	---	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----
113	2'-6"	7'-6"	7'-6"	H	FIXED	WOOD	DBL.-PANE	YES	METAL-CLAD	---	⊙----
114	2'-6"	2'-0"	9'-6"	H	HOPPER	WOOD	DBL.-PANE	YES	METAL-CLAD	---	⊙----
115	2'-6"	2'-0"	9'-6"	H	HOPPER	WOOD	DBL.-PANE	YES	METAL-CLAD	---	⊙----
116	2'-6"	2'-0"	9'-6"	H	HOPPER	WOOD	DBL.-PANE	YES	METAL-CLAD	---	⊙----
117	2'-6"	7'-6"	7'-6"	H	FIXED	WOOD	DBL.-PANE	YES	METAL-CLAD	---	⊙----
118	2'-6"	2'-0"	9'-6"	H	HOPPER	WOOD	DBL.-PANE	YES	METAL-CLAD	---	⊙----
119	2'-6"	4'-0"	7'-6"	I	CASEMENT/TILT	WOOD	DBL.-PANE	---	METAL-CLAD	---	⊙----

### WINDOW NOTES:

- ALL CASEMENT WINDOWS USED IN BEDROOMS AS EMERGENCY EGRESS MUST BE "BREAK AWAY" TYPE TO ENSURE COMPLETE OPENABLE AREA FOR ACCESS.
- WINDOW DIMENSIONS ARE PROPOSED FINISHED OPENING SIZES. GENERAL CONTRACTOR IS TO VERIFY MANUFACTURER'S NEAREST STOCK SIZES. ALL WINDOW SIZES, SHAPES, COLORS, HARDWARE, SCREENS, GLAZING, ETC. MUST BE APPROVED BY OWNER PRIOR TO ORDERING.
- SPECIALTY WINDOWS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR FOR SITE VERIFICATION AND INSTALLATION.
- ALL WINDOWS ARE TO BE DOUBLE GLAZED, WITH A MINIMUM OF ONE TEMPERED PANE, GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [§R327.8.2.1]
- OWNERS TO SPECIFY WHICH WINDOW ARE TO BE LOW "E".
- FOR WINDOWS THAT SERVE AS EMERGENCY EGRESS FROM SLEEPING AREAS:
  - MINIMUM NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT.
  - MINIMUM NET CLEAR OPENABLE DIMENSION OF 20 INCHES IN WIDTH.
  - MINIMUM NET CLEAR OPENABLE DIMENSION OF 5.7 SQUARE FEET IN AREA.
  - SILL HEIGHTS OF SUCH OPENINGS SHALL NOT EXCEED 44 INCHES ABOVE FLOOR.
- ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED TO COMPLY WITH HUMAN IMPACT LOADS PER CRC SECTIONS R308.3 & R308.4 AND LISTED BELOW:
  1. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.
  2. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARCH OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
  3. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
    - GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

JUN A. SILLANO, AIA



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**DISCLAIMER:**  
ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGN ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

STAMPS:

PROJECT/CLIENT:

**JB PASTOR  
BUILDING**

PROJECT ADDRESS:

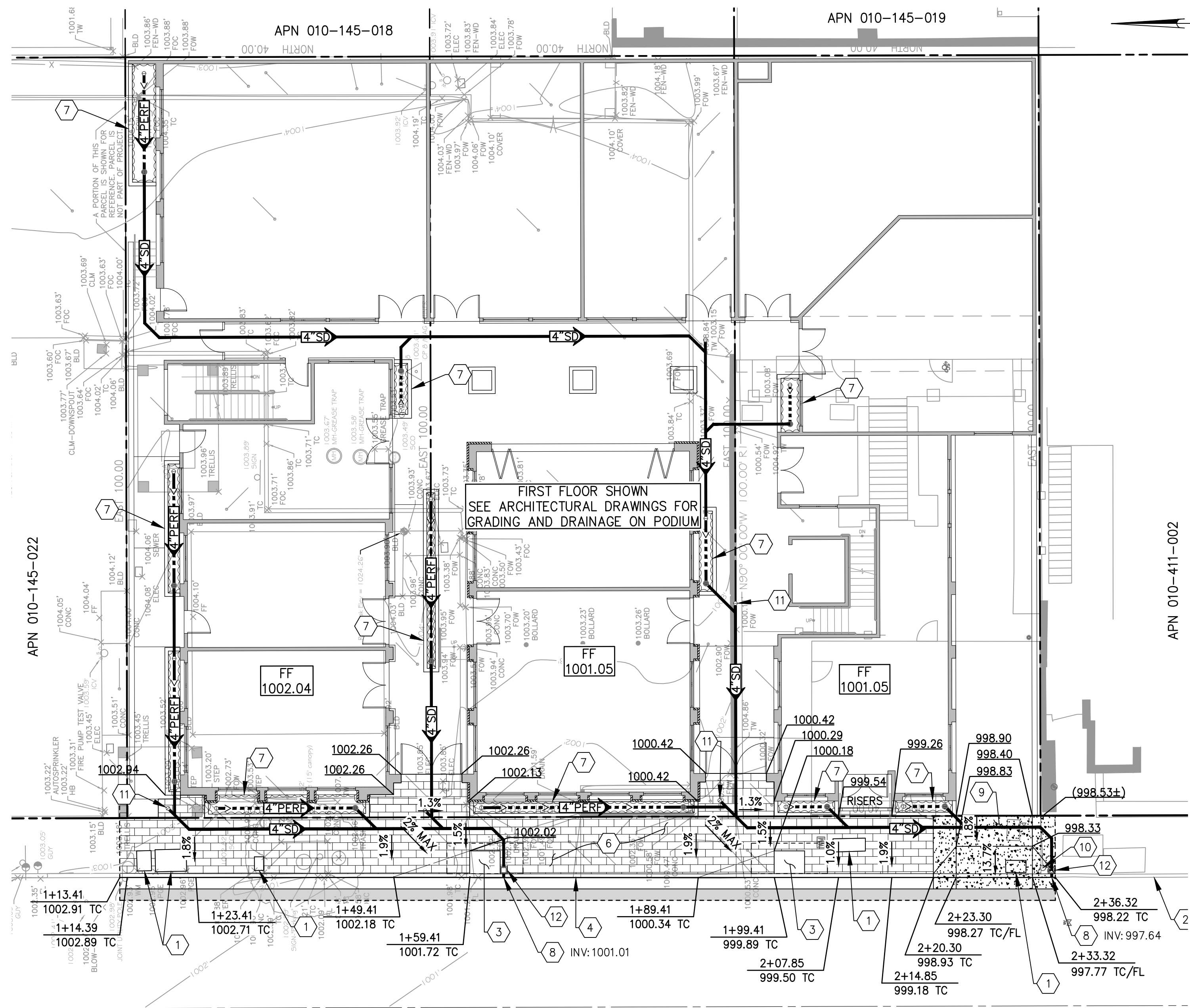
**DOLORES, 2ND SE  
OF 7TH  
CARMEL, CA  
93921**

APN: 010-145-012  
022, & 023

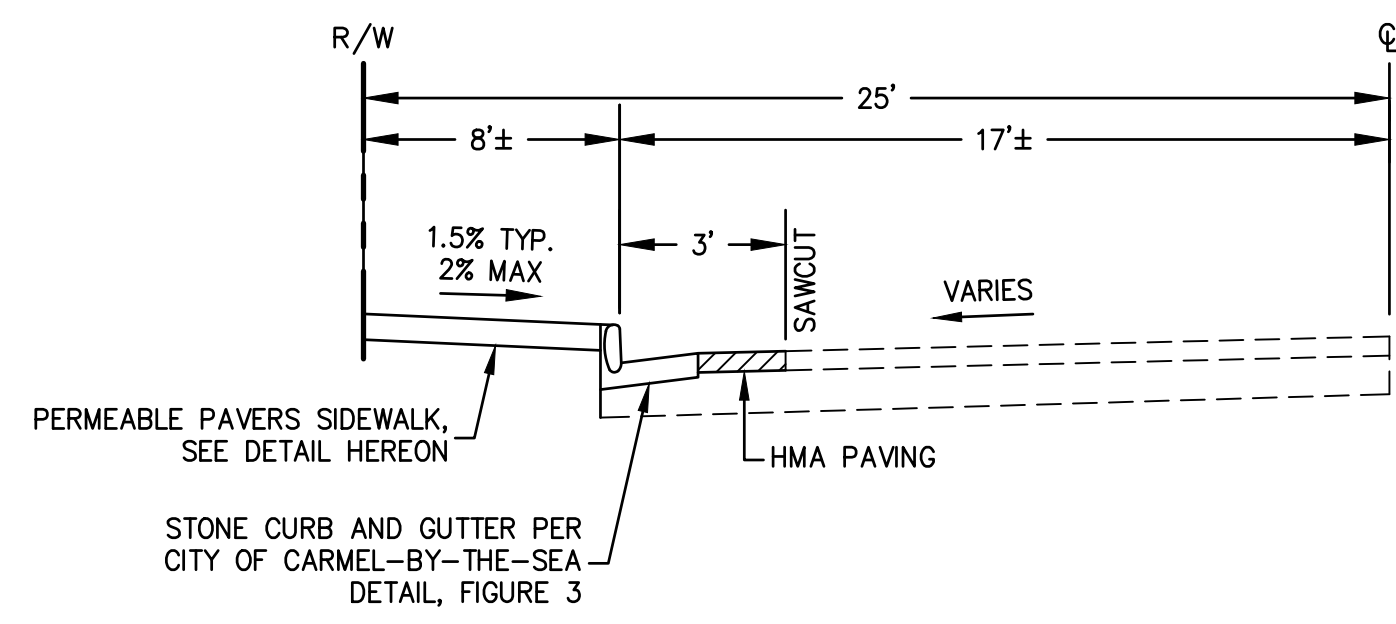
DATE: DECEMBER 18, 2020

TRACK-2 SUBMITTAL

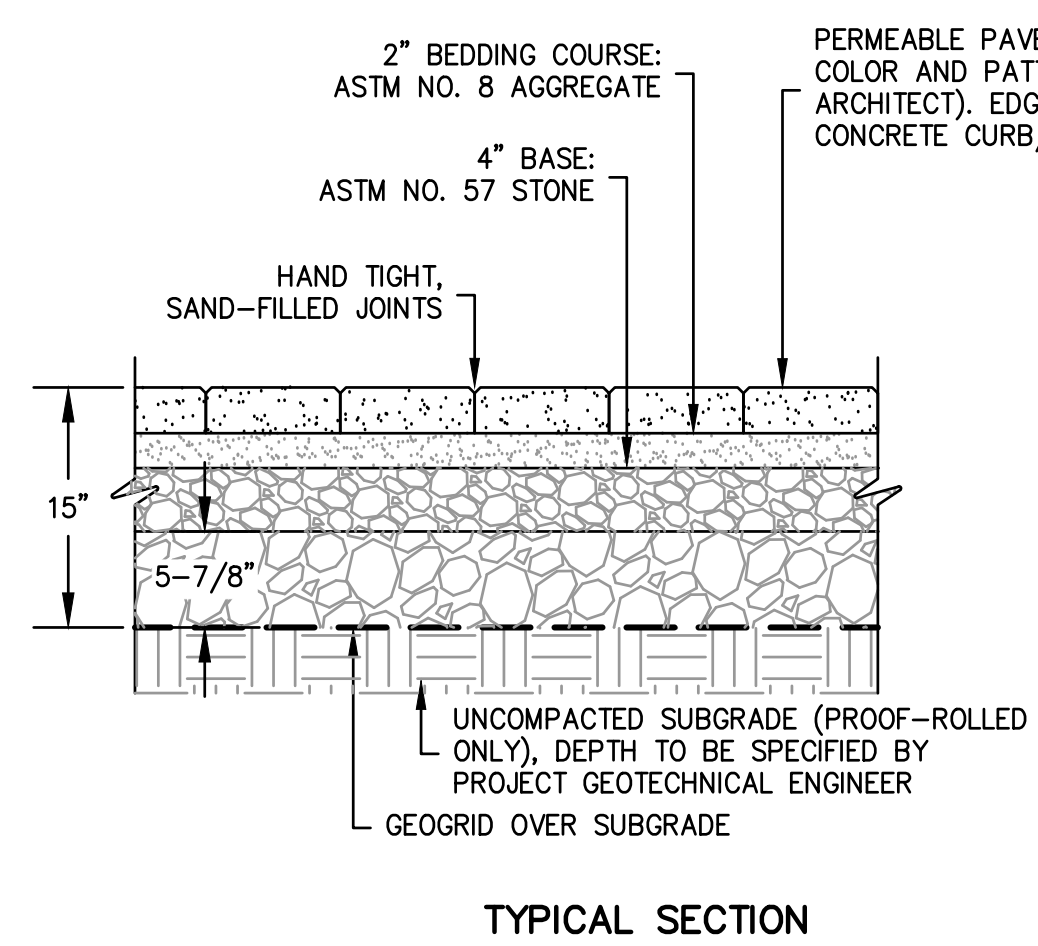




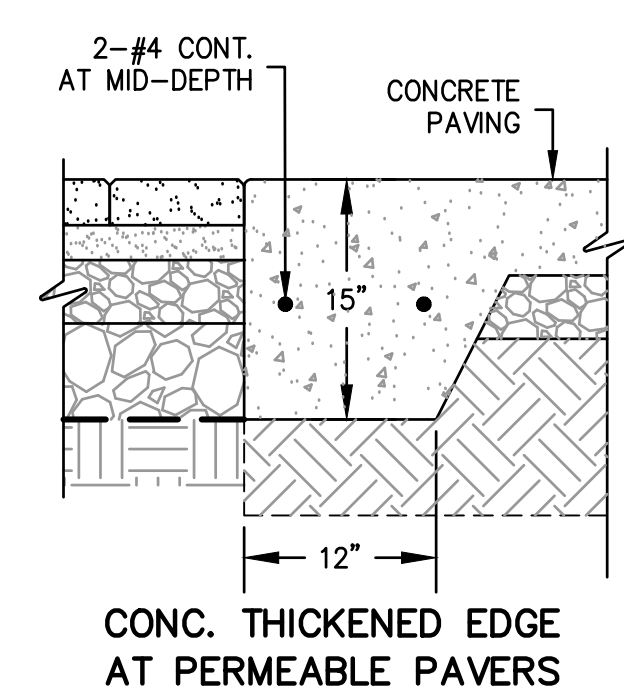
**DOLORES ST**  
(A 50'-WIDE CITY STREET)



**TYPICAL STREET SECTION - DOLORES STREET**  
NOT TO SCALE

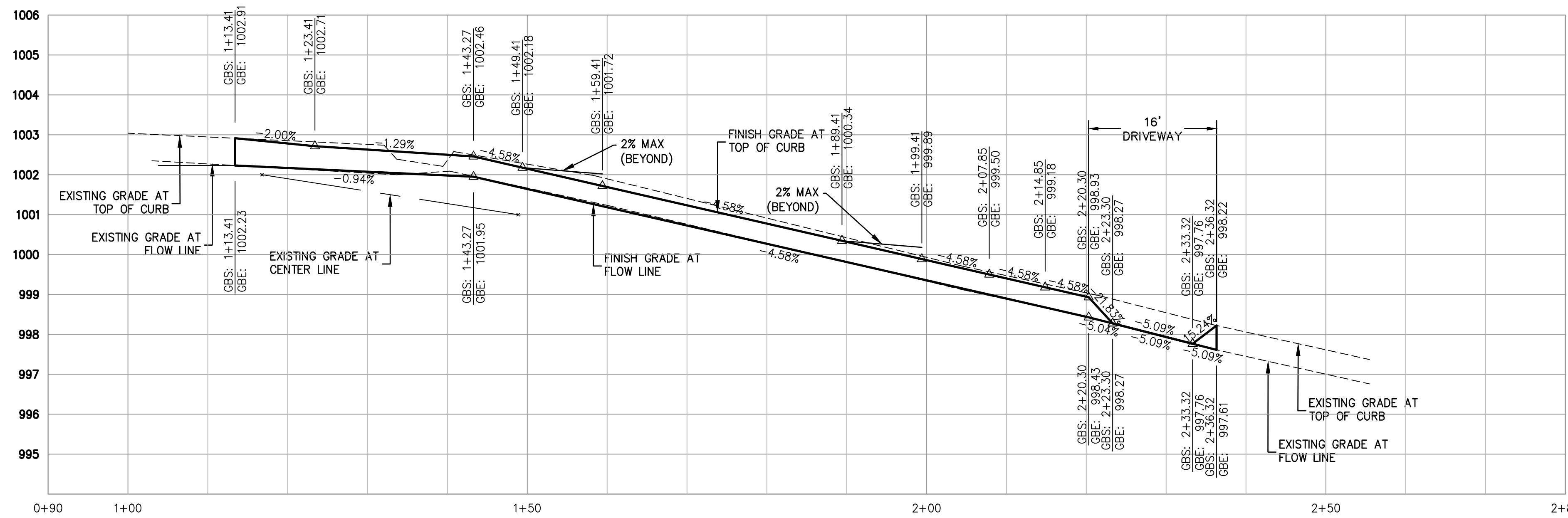


**TYPICAL SECTION**

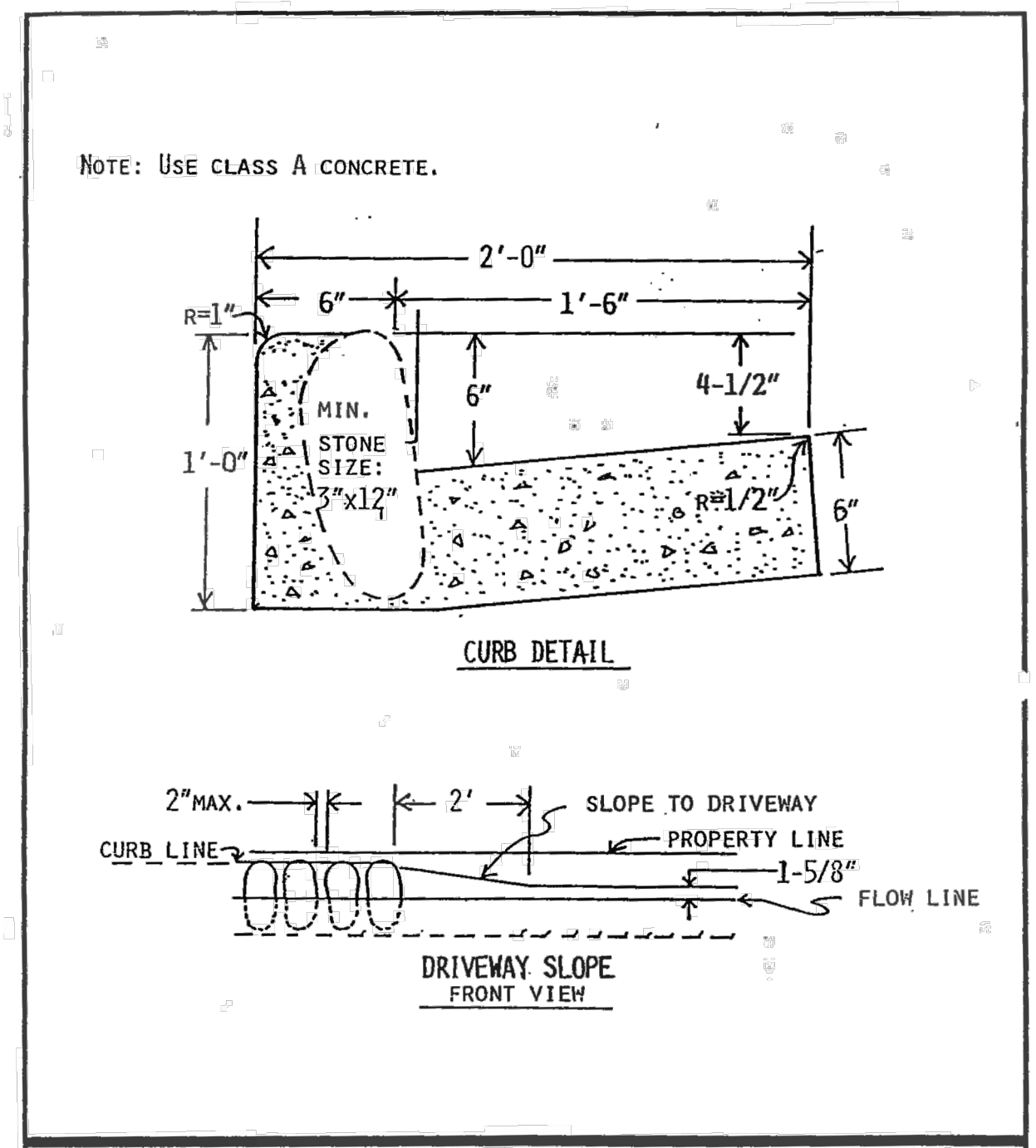


**CONC. THICKENED EDGE AT PERMEABLE PAVERS**

**PERMEABLE PAVER DETAIL**  
NOT TO SCALE



**DOLORES STREET CURB PROFILE**  
SCALE: HORIZONTAL 1" = 10'  
VERTICAL 1" = 2'



**CITY OF CARMEL-BY-THE-SEA**  
FIGURE-3  
STONE CURB AND GUTTER DETAIL

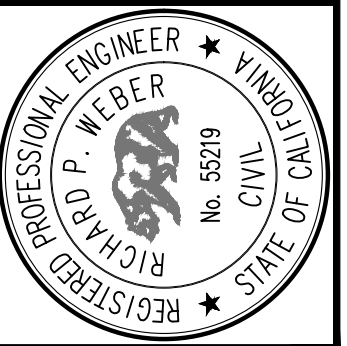
**UTILITY NOTES**

1. DOMESTIC WATER MAIN, FIRE MAIN, AND SANITARY SEWER ARE NOT SHOWN, AS THE BUILDING POINTS OF CONNECTION ARE TBD (BY OTHERS). WATER, FIRE, AND SEWER WILL BE DESIGNED AS PART OF THE BUILDING PERMIT PACKAGE.

**KEYNOTES**

1. EXISTING UTILITY TO REMAIN; ADJUST LID TO GRADE.
2. EXISTING STONE CURB AND GUTTER TO REMAIN; PROTECT IN PLACE.
3. PROPOSED TREE WELL WITH SILVA CELL SYSTEM (EXTENTS SHOWN); SEE LANDSCAPE PLANS.
4. CONSTRUCT STONE CURB AND GUTTER PER CITY OF CARMEL-BY-THE-SEA FIGURE 3; SEE DETAIL HEREON.
5. CONNECT TO EXISTING 6" SS MAIN.
6. CONSTRUCT PERMEABLE PAVER SIDEWALK; SEE DETAIL HEREON.
7. RAISED TREATMENT PLANTER WITH UNDERDRAINAGE SYSTEM, CLEANOUT, AND OVERFLOW INLET.
8. CONSTRUCT CURB DRAIN, DISCHARGE TO GUTTER.
9. CONSTRUCT 16'-WIDE DRIVEWAY APRON.
10. RELOCATE EXISTING POWER POLE.
11. STORM DRAIN CLEANOUT.
12. AREA DRAIN TO SERVE AS JUNCTION BOX/CLEANOUT.

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NO.	DATE	DESCRIPTION

Submittal / Revision  
Dolores, 2nd SE of 7th  
Carmel, California 93921  
APN 010-145-012, -022, & -023

**JB PASTOR BUILDING**  
OFFSITE IMPROVEMENT PLAN

SCALE: 1"=10'  
DRAWN: GK  
JOB No.: 4331.00  
SHEET  
**C3.1**  
OF 1



PLANNING - NOT FOR CONSTRUCTION





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Landscape & General  
Contractors C27 & B 392291  
Landscape Architecture  
CALic #5806

Project:

Esperanza Carmel  
Commercial, LLC  
Dolores St.  
2 SE of 7th Ave.  
Carmel By-The-Sea,  
CA 93921

APN: 010-145-012, 023, 024  
Revisions:



Drawing Title:

Roof Landscape  
Plan

Date: 04/01/21

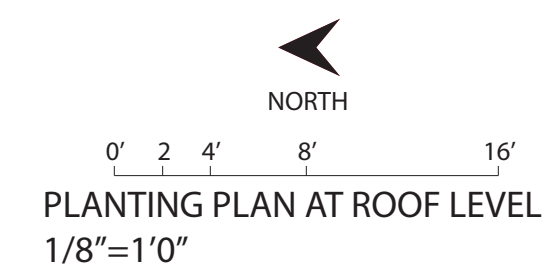
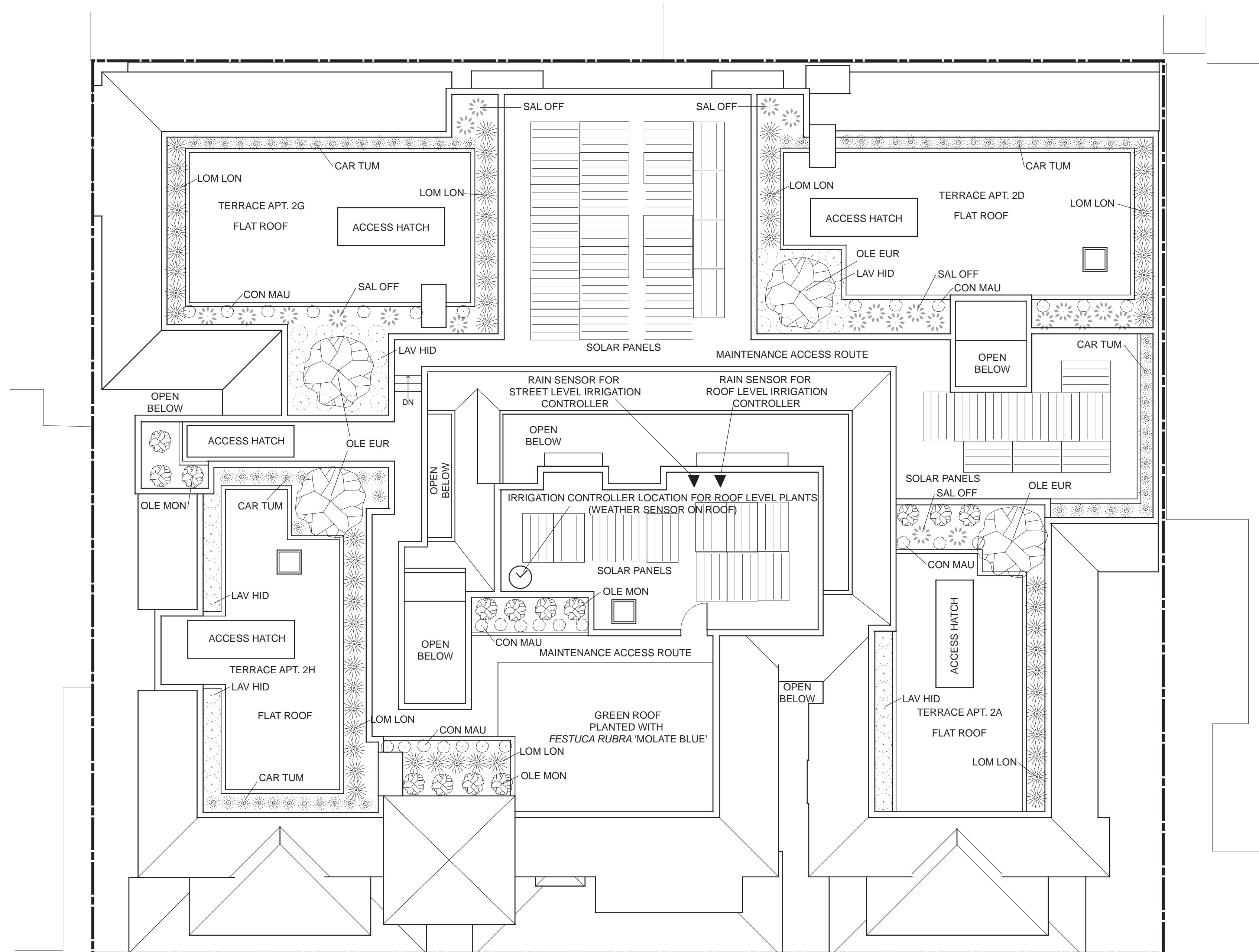
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Drawn By: pw

Page Number:

L1.1

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*Carex tumulicola*



*Convolvulus mauritanicus*



*Olea europea* 'Montra'



*Festuca rubra* 'Molate Blue'



*Ginkgo biloba* 'Fastigiata'



*Olea europea* 'Majestic Beauty'



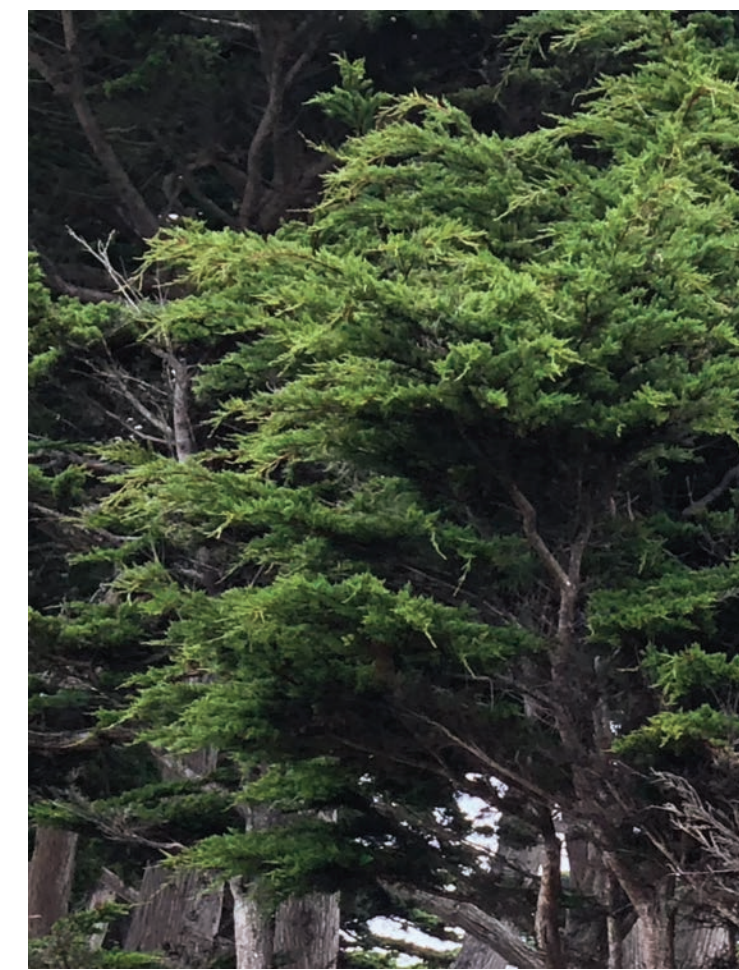
*Lavandula* 'Hidcote Superior'



*Lomandra longifolia* 'Breeze'

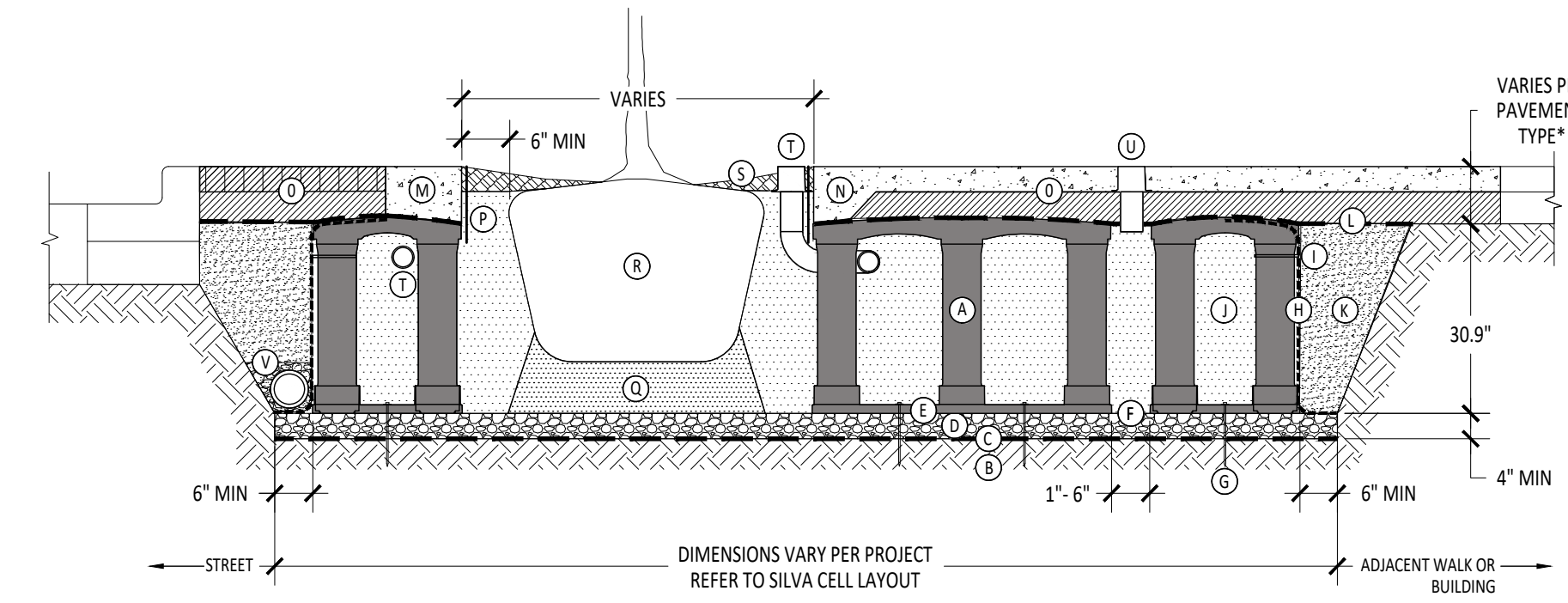


*Salvia officinalis*



*Cupressus macrocarpa*

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**A** SILVA CELL SYSTEM 2X  
NOT TO SCALE

KEY PLAN

- (A) SILVA CELL SYSTEM (DECK, BASE, AND POSTS)
- (B) SUBGRADE, COMPACTED
- (C) GEOTEXTILE FABRIC, PLACED ABOVE SUBGRADE
- (D) 4" MIN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR
- (E) SILVA CELL BASE SLOPE, 10% MAX
- (F) 1" TO 6" SPACING BETWEEN SILVA CELLS AT BASE
- (G) ANCHORING SPIKES, CONTACT DEEPROOF FOR ALTERNATIVE
- (H) GEGRID, WRAPPED AROUND PERIMETER OF SYSTEM, WITH 6" TOE (OUTWARD FROM BASE) AND 12" EXCESS (OVER TOP OF DECK)
- (I) CABLE TIE, ATTACHING GEGRID TO SILVA CELL AT BASE OF UPPER LEG FLARE, AS NEEDED

- (J) PLANTING SOIL, PER PROJECT SPECIFICATIONS, PLACED IN LIFTS AND WALK-IN COMPACTED TO 75-85% PROCTOR
- (K) COMPACTED BACKFILL, PER PROJECT SPECIFICATIONS
- (L) GEOTEXTILE FABRIC TO EDGE OF EXCAVATION
- (M) RIBBON CURB AT TREE OPENING (TO BE USED WITH PAVERS OR ASPHALT)
- (N) THICKENED EDGE AT TREE OPENING (TO BE USED WITH CONCRETE)
- (O) PAVEMENT AND AGGREGATE BASE PER PROJECT \*

\*MINIMUM PAVEMENT PROFILE OPTIONS TO MEET H-20 LOADING

PAVEMENT	AGGREGATE BASE COURSE
2" CONCRETE	+ 4" AGGREGATE
3" PAVER	+ 12" AGGREGATE
4" ASPHALT	+ 12" AGGREGATE
2.0" PAVER	+ 5" CONCRETE

- (P) DEEPROOF ROOT BARRIER, 12" OR 18" DEPTH DETERMINED BY THICKNESS OF PAVEMENT SECTION, INSTALL DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT
  - (Q) PLANTING SOIL BELOW ROOT BALL, COMPACTED WELL TO PREVENT SETTLING
  - (R) ROOT BALL
  - (S) TREE OPENING TREATMENT, PER PROJECT SPECIFICATIONS
  - (T) DEEPROOF WATER AND AIR VENT, ROOTBALL, WHEN REQUIRED
  - (U) DEEPROOF WATER AND AIR VENT, WHEN REQUIRED
  - (V) UNDERDRAIN SYSTEM, WHEN REQUIRED (LOCATION AND DETAILS BY OTHERS)
- NOTES
- EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS
  - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
  - PROVIDE SUPPLEMENTAL IRRIGATION
  - DO NOT SCALE DRAWINGS

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SILVA CELL SYSTEM 2X

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Contractors C27 & B 392291  
Landscape Architecture  
CALic #5806

Project:

Esperanza Carmel  
Commercial, LLC  
Dolores St.  
2 SE of 7th Ave.  
Carmel By-The-Sea,  
CA 93921

APN: 010-145-012, 023, 024  
Revisions:



Drawing Title:

Landscape Details  
and Plant Pictures

Date: 04/01/21

Scale:

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Page Number:

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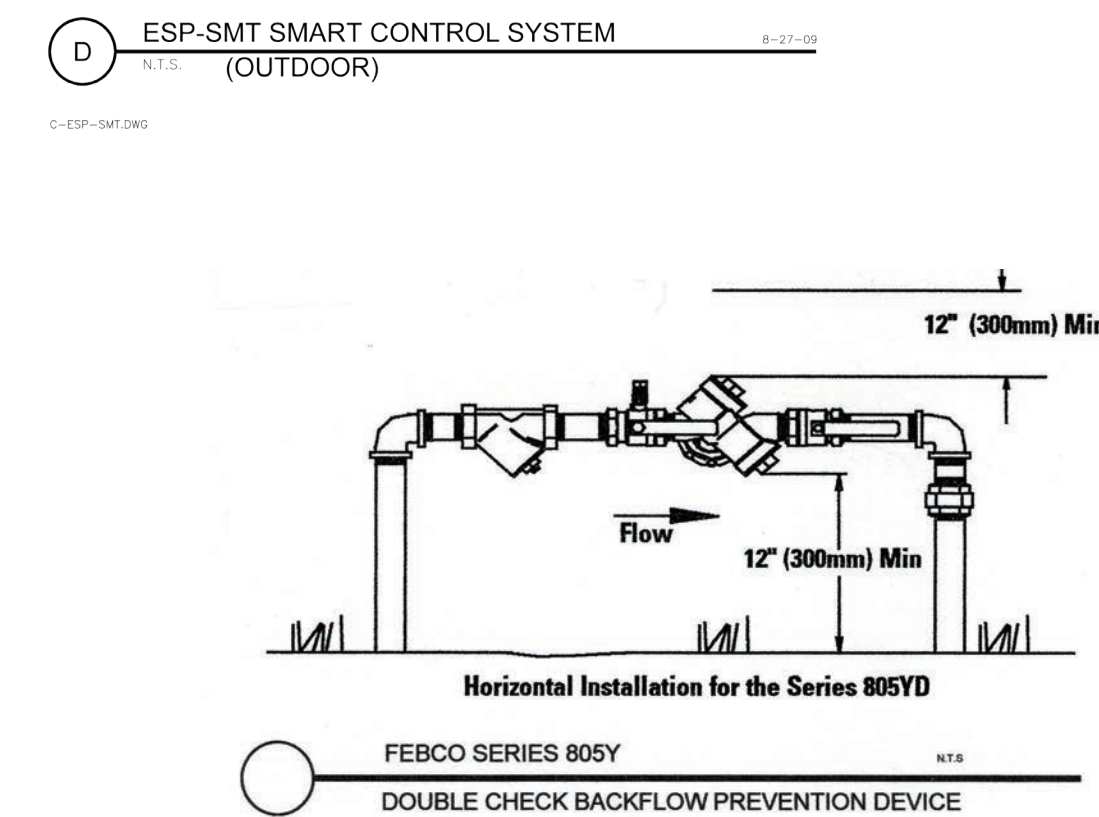
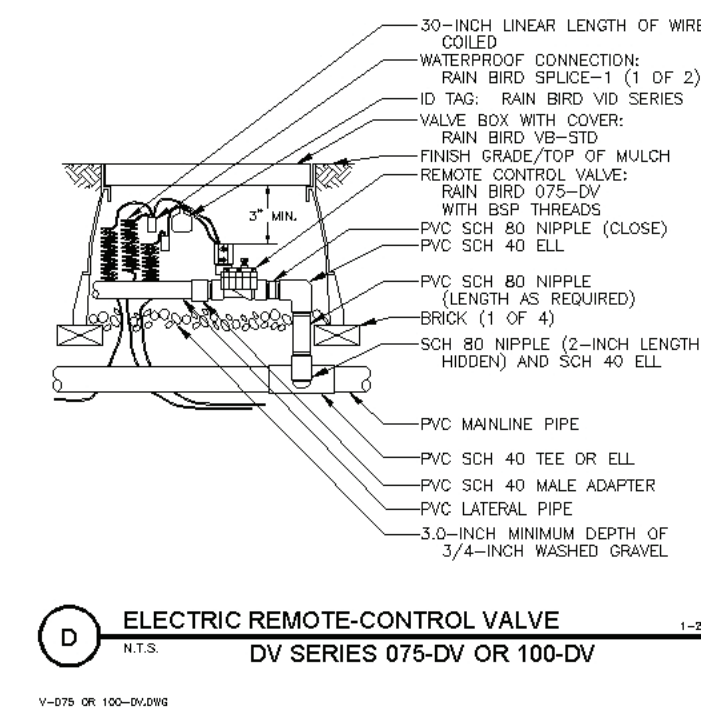
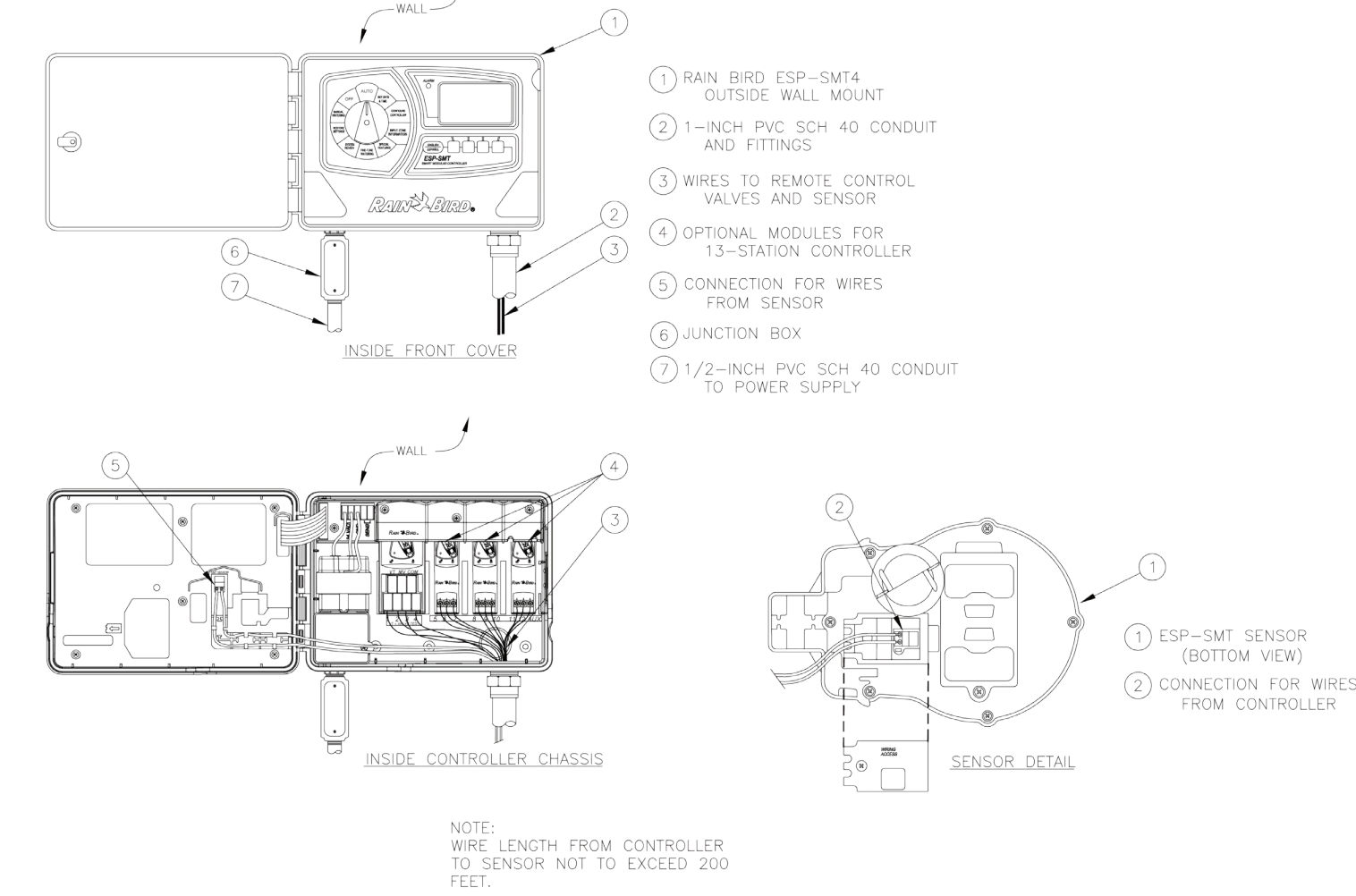
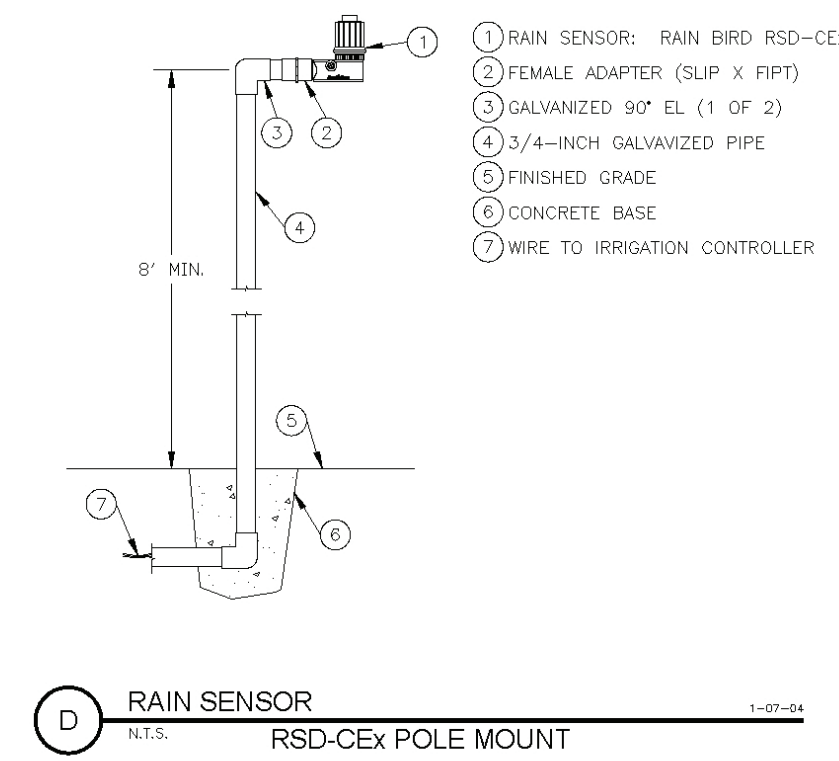
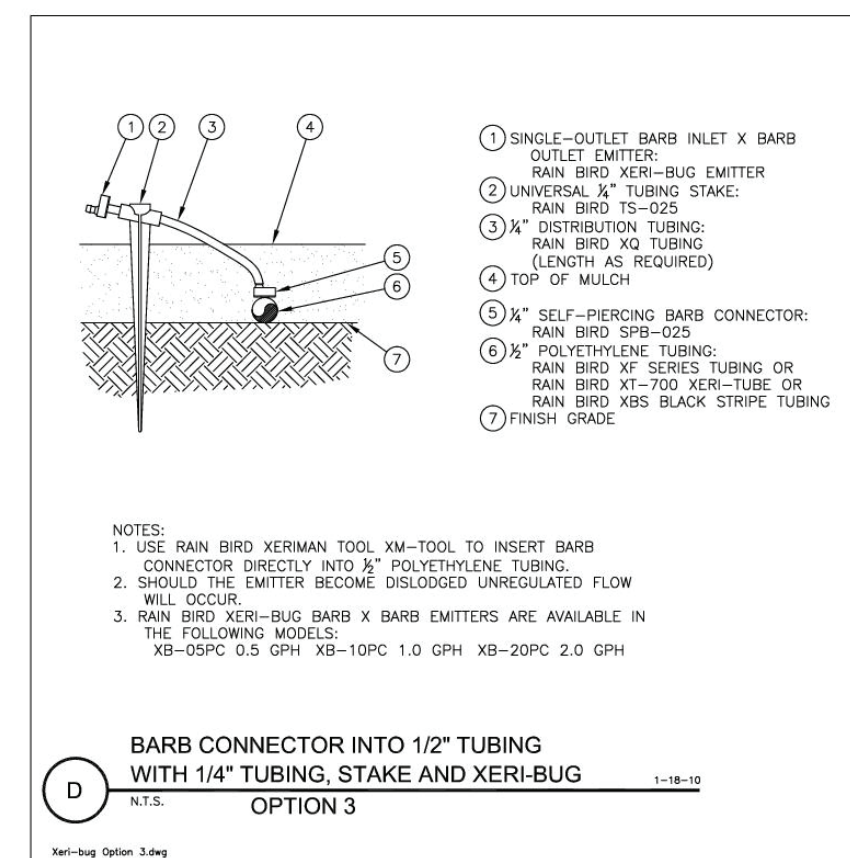
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Water Efficient Landscape Worksheet							
<i>Instructions:</i>							
Fill in all items in this color							
Answer is shown in this color							
Reference Evapotranspiration (ET <sub>o</sub> )		32.9		Carmel			
	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement	MAWA requirement	ETWU requirement	
Hydrozones/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (LA) (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
<b>Regular Landscape Areas</b>							
1) low water use plants	0.2	Drip	0.81	0.247	1,016	250.86	5,117
2) medium water use plants	0.4	Drip	0.81	0.494	24	11.85	242
3) high water use (pool & spa)	0.7	Drip	1	0.700	0	0.00	0
Totals						1,040	5,359
<b>Special Landscape Areas (SLA): Recycled Water</b>							
1) low water use plants				1	0	0	0
2) medium water use plants				1	0	0	0
3) medium water use plants				1	0	0	0
Totals						0	0
<b>Estimated Total Water Use (ETWU)</b>						5,359	
<b>Maximum Allowed Water Allowance (MAWA)</b>						9,546	
Plant Water Use Type	Plant Factor	Irrigation method	Irrigation Efficiency				
very low	0-0.1	overhead spray	0.75				
low	0.1-0.3	drip	0.81				
medium	0.4-0.6						
high	0.7-1.0						
<b>MAWA (annual gallons allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]</b>							
where 0.62 is a conversion factor that converts acre-inches per acre/year to gallons per sq. ft./year. LA is the total landscape area in sq. ft., SLA is the total special landscape area in sq. ft., and ETAF is .55 for residential areas and 0.45 for non-residential areas.							
<b>ETAF Calculations</b>							
<b>Regular Landscape Areas</b>							
Total ETAF x Area	263						
Total Area	1,040		Average ETAF for regular landscape areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.				
Average ETAF	0.25						
<b>All Landscape Areas</b>							
Total ETAF x Area	263						
Total Area	1,040						
Sitewide ETAF	0.25						

ESTIMATED TOTAL WATER USE = 5,359 GALLONS PER YEAR  
 MAXIMUM ALLOWED WATER ALLOWANCE = 9,546 GALLONS PER YEAR  
 ETWU IS LESS THAN MAWA



Drawing Title:

Landscape Details  
 and Plant Pictures

Date: 04/01/21

Scale:

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**IRRIGATION NOTES:**

VALVE SIZES ON PLAN ARE SCHEMATIC AND NOT ACTUAL SIZE OF BOXES

SYSTEM DESIGNED TO PREVENT LOW HEAD DRAINAGE AND NO OVERSPRAY OR RUNOFF

IRRIGATION LAID OUT TO CONFORM TO HYDROZONES INDICATED ON LANDSCAPE PLAN

SYSTEM DESIGNED TO ACHIEVE MINIMUM IRRIGATION EFFICIENCY OF .75 FOR OVERHEAD SPRAY AND .81 FOR DRIP ZONES

SYSTEM USES LOW VOLUME IRRIGATION IN MULCHED PLANTING AREAS

SYSTEM HAS MATCHED PRECIPITATION RATES FOR HEAD AND EMISSION DEVICES

THE IRRIGATION HEADS ARE LAID OUT FOR OPTIMAL SPACING

SWING JOINTS ARE USED ON ALL SPRINKLER HEADS

SYSTEM USES CHECK OR ANTI-DRAIN VALVES

SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY FOR TURF OR OTHER AREAS LESS THAN 10 FEET IN WIDTH

WHERE SPRINKLER HEADS ARE CLOSER THAN 24" TO HARDSCAPE, HARDSCAPE IS DESIGNED TO DRAIN ENTIRELY INTO LANDSCAPE

EACH VALVE IRRIGATES HYDROZONE WITH SIMILAR CONDITIONS WITH SPRINKLER HEADS AND EMISSION DEVICES THAT ARE APPROPRIATE FOR THE PLANT TYPE WITHIN THE HYDROZONE

TREES WILL BE PLACED ON SEPARATE VALVES FROM SHRUBS, GROUNDCOVERS, AND TURF WHERE FEASIBLE

DRIP EMITTERS TO BE 1 GPH UNLESS OTHERWISE NOTED

ALL IRRIGATION MAIN LINE TRENCHING SHALL BE A MINIMUM OF 18" MIN. BELOW FINISH AT PLANTER BEDS AND 24" MIN. BELOW PAVED SURFACES. LATERAL LINES TO BE 12" BELOW FINISH AND DRIP LINES TO BE 5" BELOW FINISH.

CONNECT IRRIGATION WATER LINE TO DOMESTIC MAIN SUPPLY VIA BACKFLOW PREVENTION DEVICE. (SEE DETAIL.)

ALL BANKS OF IRRIGATION VALVES TO BE CONNECTED TO IRRIGATION MAINLINE AFTER A GATE VALVE FOR SERVICING OF INDIVIDUAL BANKS.

IRRIGATION DEMAND:

14GPM AT 55 PSI STATIC UPSTREAM OF BACKFLOW PREVENTOR. VERIFY EXACT PRESSURE PRIOR TO COMMENCEMENT OF WORK.

ALL TRENCHES FOR IRRIGATION WORK TO BE LAID OUT ONSITE TO AVOID DAMAGE TO ANY EXISTING TREE ROOTS

**AUTOMATIC CONTROLLER DEVICE:**

SHALL BE WALL MOUNTED AS DIRECTED BY LANDSCAPE CONTRACTOR. SERVICE TO BE 120 VOLT AC HARDWIRED PER ELECTRICAL CONTRACTOR.

**LOW VOLTAGE LIGHTING:**

TO BE INSTALLED IN ELECTRICAL CONDUIT. RUN ADDITIONAL 2" CHASES AND EXTRA WIRES AS NEEDED. LOCATE BELOW MAIN IRRIGATION LINES. SEE ELECTRICAL PLAN.

**HOSE BIBS:**

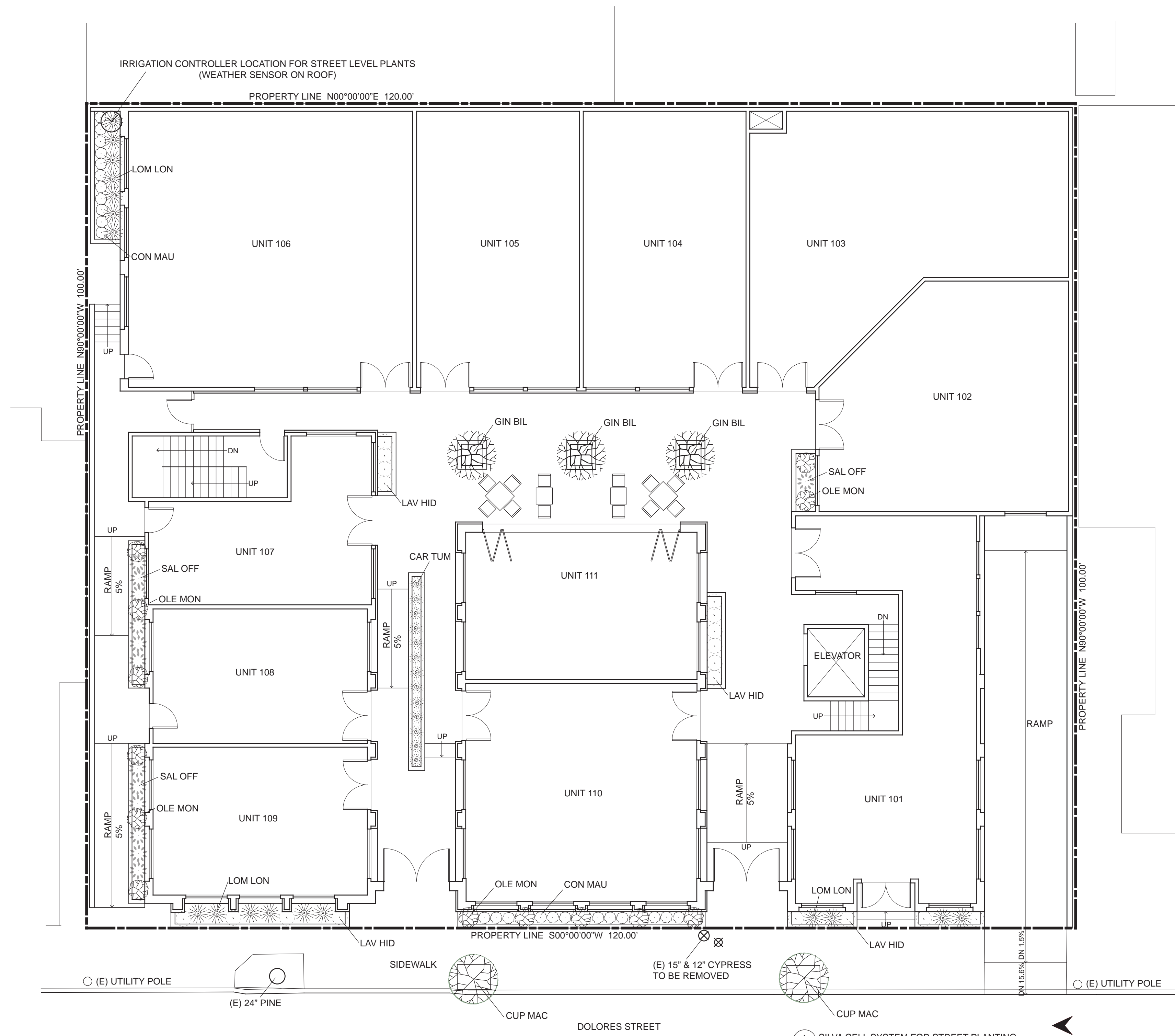
TO BE BRASS AND INSTALLED ON A 4"x4" PRESSURE TREATED POST.

**VALVE BOXES, PIPE, AND HOSE BIBS:**  
ALL EXPOSED COMPONENTS OF IRRIGATION SYSTEM TO BE PURPLE IN COLOR TO SHOW IT IS RECLAIMED WATER IF NECESSARY.

**IRRIGATION SCHEDULE:**  
FOR ESTABLISHMENT PERIOD - ONE YEAR  
1 AND 2 GALLON PLANTS 15 MINS X 2 TIMES PER WEEK  
5 AND 15 GALLON PLANTS 20 MINS X 2 TIMES PER WEEK  
24" BOX TREES 30 MINS X 2 TIMES PER WEEK

FOR MATURE PERIOD - AFTER ONE YEAR OR DETERMINE ON PLANT TO PLANT BASIS  
1 AND 2 GALLON PLANTS 15 MINS X 1 TIMES PER WEEK  
5 AND 15 GALLON PLANTS 20 MINS X 1 TIMES PER WEEK  
24" BOX TREES 30 MINS X 1 TIMES PER WEEK

AS PLANTS MATURE AND BECOME MORE ESTABLISHED, THE IRRIGATION CAN BEGIN TO TAPER OFF AS MUCH AS THE PLANTS WILL ALLOW.



**PLANTING LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	WUCOLS
CAR TUM	<i>Carex tumulicola</i>	Foothill Sedge	91	1 gal	Low
CON MAU	<i>Convolvulus mauritanicus</i>	Ground Morning Glory	52	1 gal	Low
CUP MAC	<i>Cupressus macrocarpa</i>	Monterey Cypress	2	5 gal	Low
FES RUB	<i>Festuca rubra</i> 'Molate Blue'	Molate Blue Fescue	1 lb	seed	Low
GIN BIL	<i>Ginkgo biloba</i> 'Fastigiata'	Upright Maidenhair Tree	3	24" box	Med
LAV HID	<i>Lavandula</i> 'Hidcote Superior'	Hidcote Superior	65	1 gal	Low
LOM LON	<i>Lomandra longifolia</i> 'Breeze'	Dwarf Mat Rush	80	5 gal	Low
OLE EUR	<i>Olea europea</i> 'Majestic Beauty'	Majestic Beauty Fruitless Olive	4	15 gal	Low
OLE MON	<i>Olea europea</i> 'Montra'	Little Ollie	27	5 gal	Low
SAL OFF	<i>Salvia officinalis</i>	Garden Sage	35	5 gal	Low

**SCOPE OF WORK:**

THIS PROJECT INVOLVES LANDSCAPE INSTALLATION IN PLANTERS WITH NEW LOW FLOW DRIP IRRIGATION SYSTEM. THE LANDSCAPE IS DESIGNED TO USE ALL NATIVE AND/OR DROUGHT TOLERANT PLANTING.

**PROJECT INFORMATION:**

OWNER: ESPERANZA CARMEL COMMERCIAL, LLC  
ATTN: CHRISTOPHER MITCHELL

SITE: DOLORES ST  
2 SE OF 7TH AVE.  
CARMEL-BY-THE-SEA, CA  
LOTS: 6,8,10 BLOCK 91

APN: 010-145-012, 023, 024

TOPOGRAPHY: FLAT

TREE REMOVAL: NONE

GRADING: SEE CIVIL SHEET

**LANDSCAPING STATEMENT:**

I PATRICK WILSON CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL CITY OF CARMEL'S LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

**XERISCAPE PRACTICES:**

1. LOW WATER USE, DROUGHT TOLERANT PLANTS
2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS
3. DRIP IRRIGATE ALL PLANT MATERIAL
4. INSTALLATION OF RAIN SENSOR

**PLANTING NOTES:**

ALL LANDSCAPE AREAS SHALL BE CONTINUOUSLY MAINTAINED IN A LITTER FREE, WEED FREE CONDITION AND ALL PLANT MATERIAL SHALL BE CONTINUOUSLY MAINTAINED IN A HEALTHY GROWING CONDITION.

**STAKING:**  
STAKING SHALL BE PROVIDED FOR TREES AND SHRUBS AS NEEDED. TIES TO BE LOCATED AND SIZED TO ALLOW FOR EXPANSION AND GROWTH.

**MULCHING:**  
SPREAD 3" OF MULCH OVER ALL EXPOSED PLANTING AREAS

COMPOST MINIMUM OF 4 CUBIC YARDS PER 1,000SQFT OF PERMEABLE AREA TO A DEPTH OF 6"

**STAGING:**  
WHEN STAGING PLANT MATERIAL ON SITE INSTALL A TEMPORARY DRIP LINE AS NEEDED.

SOIL AMENDMENT TO BE ADDED TO PLANTED ARE AS NEEDED FOR PLANT MATERIAL

**BUILDING DEPARTMENT NOTES:**

PERMITS & INSPECTIONS:

THE CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS FOR THE WORK AND GIVE THE OWNER TIMELY NOTICE OF INTENT TO EACH INSPECTION.

CODES:

ALL MATERIAL, WORKMANSHIP AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE UBC AND LOCAL BUILDING CODES.

NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED WATER.

CONTRACTOR TO USE AUTO SHUT-OFF NOZZLES ON ANY WATER HOSES USED ON THE PROJECT.

**LAYOUT NOTES:**  
ANNOTATED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DRAWINGS.

**FIRE SAFETY NOTES:**  
ALL NON IRRIGATED BRUSH TO BE KEPT AT GROUND LEVEL FOR AN AREA OF 50' SURROUNDING THE PROPOSED RESIDENCE.

TREES TO BE CLEARED OF DEAD LIMBS WITHIN A 50' RADIUS OF THE PROPOSED RESIDENCE. ANY TREE LIMBS WITHIN 10' OF A CHIMNEY WILL BE REMOVED.



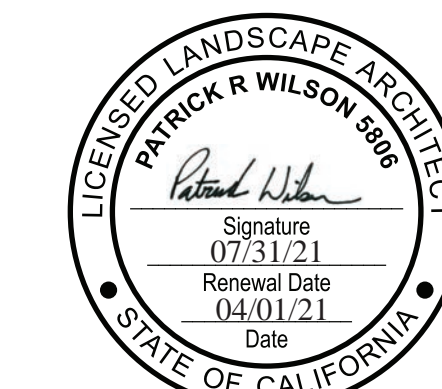
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P.O. BOX 875  
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CALIFORNIA 93950

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Contractors C27 & B 392291  
Landscape Architecture  
CALic #5806

Project:

Esperanza Carmel  
Commercial, LLC  
Dolores St.  
2 SE of 7th Ave.  
Carmel By-The-Sea,  
CA 93921

APN: 010-145-012, 023, 024  
Revisions:



Drawing Title:

Street Level Landscape  
Plan

Date: 04/01/21

Scale: 1/8" = 1'0"

Drawn By: pw

Page Number:

**L1.0**