



## NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

**Planning Case #:** Design Review 22154

**Owner Name:** LYE TRINI TR

**Case Planner:** Marnie R. Waffle, AICP, Principal Planner

**Date Posted:** \_\_\_\_\_

**Date Approved:** 05/16/2022

**Project Location:** San Carlos 3 NE of 5th

**APN #:** 010132010000      **BLOCK/LOT:** 57/ALL OF LOTS 12 AND 14

**Applicant:** Judy Glanville, A.G. Davi Property Management

**Project Description:** Approval of Design Review application DR 22-154 (Trini Lye TR) authorizes the replacement of wood shake shingles with CertainTeed Landmark Triple Laminate (TL) Luxury Roofing Shingles in 'Mountain Timber' on the one-story commercial building (not including the kiosk building) and two-story commercial building located at San Carlos Square on San Carlos Street 3 northeast of 4th Avenue in the Central Commercial (CC) District as depicted in the application materials submitted by Judy Glanville stamped approved and on file in the Community Planning & Building Department, unless modified by the conditions of approval.

**Can this project be appealed to the Coastal Commission?** Yes  No

*Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.*

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	<b>Authorization.</b> Approval of Design Review application DR 22-154 (Trini Lye TR) authorizes the replacement of wood shake shingles with CertainTeed Landmark Triple Laminate (TL) Luxury Roofing Shingles in 'Mountain Timber' on the one-story commercial building (not including the kiosk building) and two-story commercial building located at San Carlos Square on San Carlos Street 3 northeast of 4 <sup>th</sup> Avenue in the Central Commercial (CC) District as depicted in the application materials submitted by Judy Glanville stamped approved and on file in the Community Planning & Building Department, unless modified by the conditions of approval contained herein.	✓
2.	<b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the CC zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	<b>Permit Validity.</b> This approval shall be valid for 18 months from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	<b>Modifications.</b> The applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to submit the change in writing, with revised plans, within 2 weeks of the City being notified. A cease work order may be issued any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
5.	<b>Tree Removal.</b> Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	<b>Tree Protection Measures.</b> Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. <ul style="list-style-type: none"> <li>● Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.</li> <li>● Excavation within 6 feet of a tree trunk is not permitted.</li> <li>● No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.</li> <li>● Per Municipal Code Chapter 17.48.110 no material may be stored within the</li> </ul>	✓

	<p>dripline of a protected tree to include the drip lines of trees on neighboring parcels.</p> <ul style="list-style-type: none"> <li>● Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.</li> <li>● The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.</li> <li>● If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.</li> <li>● If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.</li> </ul>	
7.	<p><b>Indemnification.</b> The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.</p>	✓

8.	<b>Conditions of Approval.</b> All conditions of approval for the Planning permit(s) shall be included with the building permit application submitted to the Building Safety Division.	✓
<b>SPECIAL CONDITIONS</b>		
9.	<b>Time Limits on Design Review Approval.</b> In accordance with CMC 17.52.170 (Time Limits on Approvals and Denials) this commercial design review approval shall remain valid for a period of five (5) years from the date of action during which time roof replacements on both the two-story building and the one-story building shall be completed. Failure to complete the entire project within the specified time frame will result in a violation of this permit approval and no further permits or licenses shall be issued for the property until such time that the violation is corrected.	✓

Acknowledgement and acceptance of conditions of approval:

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

*Once signed, please email to [mwaffle@ci.carmel.ca.us](mailto:mwaffle@ci.carmel.ca.us).*



**Legend**

- Carmel Fire
- Carmel Lodge
- Carmel-by-the-Sea
- Chase Bank
- Clarion College
- De Tierra Vineyards
- Feature 1
- Feature 2
- Feature 3
- Pak Mail
- Shell

**30-year comp**

**30-year comp**

**Concrete Tile**

**Existing Building Figured to be Re-roofed**

**Wood Shakes**

**CARMEL-BY-THE-SEA  
PLANNING DEPARTMENT  
APPROVED**

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Permit #: DR 22-154 (Lye)

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Date Approved: 5/16/2022

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Planner: M. Waffle

# LANDMARK<sup>®</sup> TL

Triple Laminate  
Luxury Roofing  
Shingles

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**CertainTeed**  
SAINT-GOBAIN



# Your Home Deserves the Triple Crown.

Three laminated layers of the industry's most durable materials, providing a dramatically thick roofing product styled with the classic appeal of wood shakes.

Landmark® TL is the triple performance shake that has the hand-split look of cedar and the durable dimension of tri-laminate technology.



## The New American Landscape

See it for yourself. The thickness that gives Landmark TL unmatched durability also ensures a stunning natural appearance. Like a real wood shake, it's truly dimensional in shape, with distinct butted edges and long-lasting curb appeal.

## Triple-play Construction

TL is triple-layer, the secret behind beauty with performance. Landmark TL features three laminated layers of the industry's strongest materials to produce a thick, dimensional shake that endures, commanding attention wherever it goes.

## The Look of Wood (Minus the Worry)

Landmark TL costs a fraction of natural wood shakes, but the benefits don't end there. Unlike wood, it won't rot or decay, and it offers excellent wind and fire resistance.

**Landmark TL.** Don't just choose it for the triple-layer durability, originality, or even the cost advantages. Choose it for the power of its position... high above all the rest.



Shown in Moiré Black

# The Ultimate Power Shake

- Three-piece laminated fiber glass construction
- Rustic appearance of hand-split wood shakes
- 305 lbs. per square

CertainTeed products are tested to ensure the highest quality and comply with the following industry standards:

**Fire Resistance:**

- UL Class A
- UL certified to meet ASTM D3018 Type 1

**Wind Resistance:**

- UL certified to meet ASTM D3018 Type 1
- ASTM D3161 Class F

**Tear Resistance:**

- UL certified to meet ASTM D3462
- CSA standard A123.5

**Wind Driven Rain Resistance:**

- Miami-Dade Product Control Acceptance: Please reference [www.certainteed.com](http://www.certainteed.com) to determine approved products by manufacturing location.

**Quality Standards:**

- ICC-ES-ESR-1389

**WARRANTY**

- Lifetime limited transferable warranty against manufacturing defects on residential applications
- 50-year limited transferable warranty against manufacturing defects on group-owned or commercial applications
- 15-year StreakFighter® algae-resistance warranty (where available)
- 10-year SureStart™ protection
- 15-year 110 mph wind-resistance warranty
- Wind warranty upgrade to 130 mph available. CertainTeed starter and CertainTeed hip and ridge required



See actual warranty for specific details and limitations.

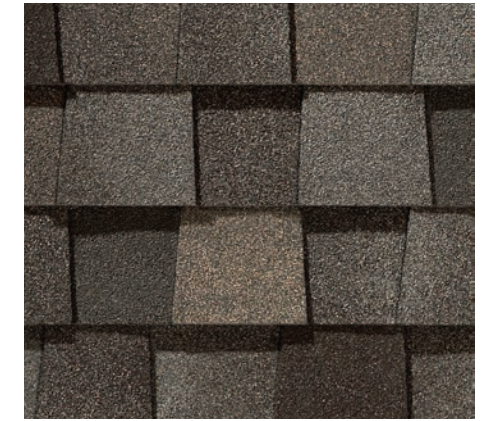
## LANDMARK® TL COLOR PALETTE



Chestnut



Platinum



Mountain Timber



Country Gray



Aged Bark



Shenandoah



Old Overton



Max Def Black Walnut



Max Def Moiré Black



Solaris Country Gray  
CRRC Product ID 0668-0149



Solaris Moiré Black  
CRRC Product ID 0668-0148



Solaris Platinum  
CRRC Product ID 0668-0147





Shown in Country Gray

## Add a Little Accent to Your Roof.

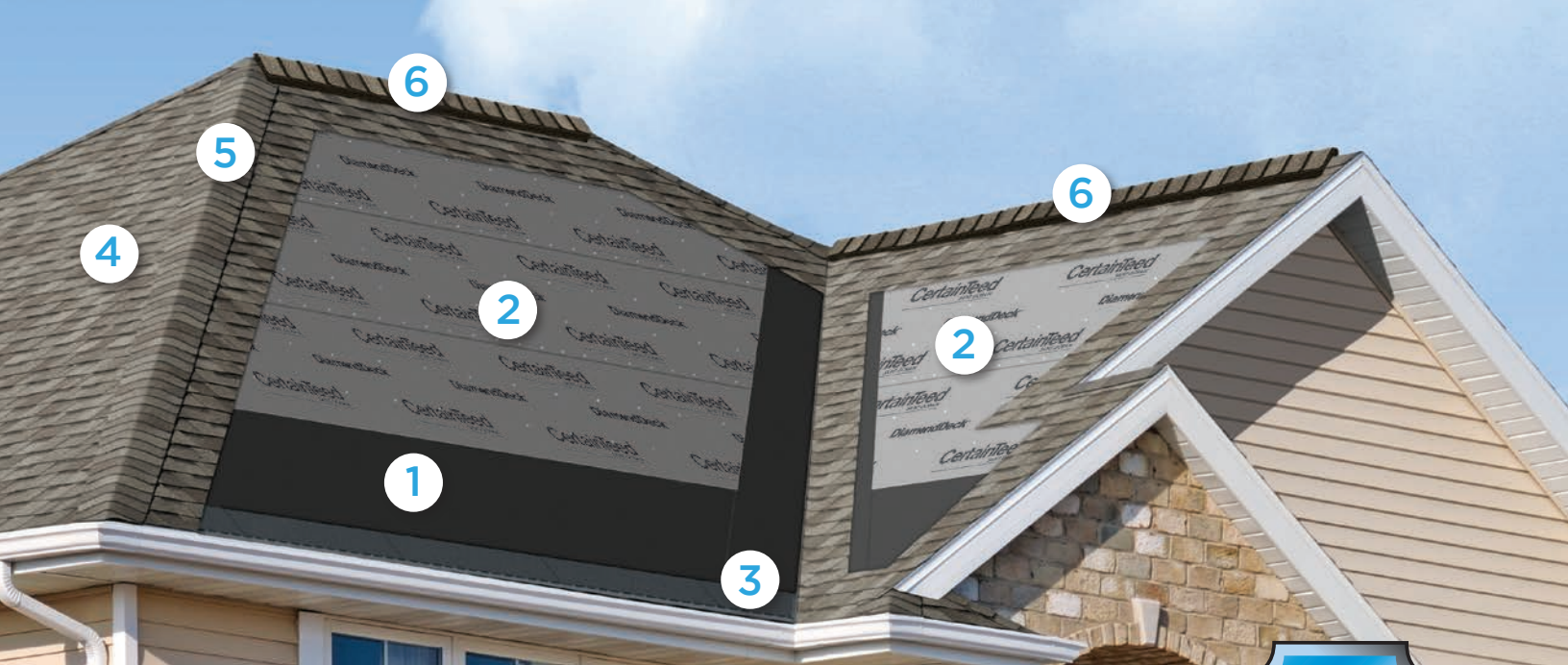
For a finishing touch to cap hips and ridges, use Cedar Crest®—available in colors to coordinate with your Landmark TL shingles. CertainTeed also offers other accessory products for capping hips and ridges—available in colors to match your Landmark TL shingles. CertainTeed Swiftstart is recommended to be used as the starter course.



## Color Companion Products for Flat Roof Areas

With CertainTeed Flintlastic® SA, you can coordinate flat roof areas like carports, canopies and porches with your main roof. Flintlastic SA is a self-adhering low slope roofing product available in ten colors that complement some of the most popular CertainTeed shingles.





# Integrity Roof System™

A COMPLETE APPROACH TO LONG LASTING BEAUTY AND PERFORMANCE



With as much care as you take in selecting the right contractor, choosing the right roof system is equally as important. A CertainTeed Integrity Roof System combines key elements that help ensure you have a well-built roof for long-lasting performance.

## 1. Waterproofing Underlayment

The first step in your defense against the elements. Self-adhering underlayment is installed at vulnerable areas of your roof to help prevent leaks from wind-driven rain and ice dams.

## 2. Water-Resistant Underlayment

Provides a protective layer over the roof deck and acts as a secondary barrier against leaks.

## 3. Starter Shingles

Starter Shingles are the first course of shingles that are installed and designed to work in tandem with the roof shingles above for optimal shingle sealing and performance.

## 4. Shingles

Choose from a variety of Good-Better-Best styles to complement any roof design and fit your budget.

## 5. Hip & Ridge Caps

Available in numerous profiles, these accessories are used on the roof's hip and ridge lines for a distinctive finishing touch to your new roof.

## 6. Ventilation

A roof that breathes is shown to perform better and last longer. Ridge Vents, in combination with Intake Vents, allow air to flow on the underside of your roof deck, keeping the attic cooler in the summer and drier in the winter.



learn more at:

[certainteed.com/roofing](https://certainteed.com/roofing)

Landmark® TL  
available in  
areas shown



### CertainTeed Corporation

ROOFING • SIDING • TRIM • DECKING • RAILING • FENCE • GYPSUM • CEILINGS • INSULATION

20 Moores Road Malvern, PA 19355 Professional: 800-233-8990 Consumer: 800-782-8777 [certainteed.com](https://certainteed.com)



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## Signed application and Owner Authorization

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**Judy Glanville** <judy@agdavi.com>  
To: "Marnie R. Waffle" <mwaffle@ci.carmel.ca.us>

Wed, May 4, 2022 at 11:25 AM

Thank you Marni. Just an FYI we are going with Mountain Timber for the color.

*Judy Glanville*  
*Commercial Property Manager*  
*A.G. Davi Property Management*  
*831-373-2222 office*  
*831-277-7271 cell*

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**From:** Marnie R. Waffle <mwaffle@ci.carmel.ca.us>  
**Sent:** Wednesday, May 4, 2022 11:21 AM  
**To:** Judy Glanville <judy@agdavi.com>  
**Subject:** Re: Signed application and Owner Authorization

Hi Judy - Thank you for emailing the signed application. Attached are all the pieces of information we have discussed for this application. I am providing you with a copy for your records. Once we have created a permit number we will reach out to collect the application fee (\$430). I'll be in touch again soon.

**Marnie R. Waffle, AICP**  
**Principal Planner**  
City of Carmel-by-the-Sea  
(831) 620-2057

Please take our [Customer Satisfaction Survey](#).

[Quoted text hidden]

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