

CRI RESIDENTIAL DEVELOPMENT

Lot #2 Guadalupe Street Carmel-By-The-Sea, CA 93921

REVISION	No.

CONSULTANT:

ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

COVER SHEET

CRI RESIDENTIAL LOT #2
 Guadalupe Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-014

DATE: 3/18/22

SCALE:

DRAWN: CS

JOB NO. 2005

A-0.1
 SHEET OF

GENERAL NOTES

- CONTRACTOR LICENSE:** THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE:** THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL:** IT IS THE DIRECT INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE OWNER AND ARCHITECT SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.
- WARRANTY:** THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS:** UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL/NOTICE/CODE COMPLIANCE:** THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (2019 C.B.C.)
- CONSTRUCTION RESPONSIBILITY:** THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- JOB SITE SAFETY:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.
- INSURANCE:** LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY, INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRE CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- INDEMNIFICATION:** THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT FROM AND AGAINST ALL CLAIMS/DAMAGES/LOSSES/AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANING UP:** THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- EXISTING CONDITIONS:** CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS, CONDITION AND EXISTING, AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
- CONSTRUCTION NOTES:** ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- BUILDING CODES:** THIS PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA FIRE CODE (CFC), CALIFORNIA GREEN BUILDING CODE (CGBC) AND CALIFORNIA TITLE-24 ENERGY CODE.

PROJECT DATA

ADDRESS: LOT #2 GUADALUPE STREET
CARMEL BY THE SEA, CA 93921

PROJECT DESCRIPTION: CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING WITH ATTACHED GARAGE, CONSISTING OF 660 SF MAIN FLOOR, 875 SF UPPER FLOOR, 200 SF GARAGE, AND 230 SF BASEMENT.

LOT SIZE: 4,000 S.F.

ZONING: R1

A.P.N.: 010-021-014-000

TYPE OF CONSTRUCTION: (V-B)

SETBACK

FRONT: 15'

REAR: 15'

SIDE: 25% OF LOT WIDTH- 10' MAX.

STREET SIDE: 5'

INTERIOR SIDE: 3'

BUILDING HEIGHT: FIRST STORY PLATE HT.- 12.0'
2ND STORY PLATE HT.- 18.0'
MAX ROOF HEIGHT- 24.0'

LOT AREA:	4,000 S.F.
BASE FLOOR AREA ALLOWED	1,800 S.F.
MAIN FLOOR AREA	660 S.F.
GARAGE	200 S.F.
UPPER FLOOR AREA	875 S.F.
BASEMENT	130 S.F.
BASEMENT BONUS AREA	100 S.F.
TOTAL	1,965 S.F.

F.A.R. FLOOR AREA CALCULATIONS

660 S.F. (MAIN LEVEL) + 875 S.F. (UPPER LEVEL) + 200 S.F. (GARAGE) = 1735 S.F. (TOTAL)

1800 S.F. (MAX. ALLOWED) + 130 S.F. BASEMENT + 100 S.F. (BONUS @ BASEMENT)= 2,030 S.F.

PROJECT FLOOR AREA= 1965 S.F.

PROJECT TEAM

OWNER: CRI ON CARPENTER, INC.
HITESH DESAI - CEO
1240 MUNRAS AVENUE
MONTEREY, CA 93940
PH: 510-253-2100

ARCHITECT: ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVE.
MONTEREY, CA 93940
PH: 831-372-0410
CONTACT: LUYEN VU

SURVEYOR: LANDSET ENGINEERING
520-B CRAZY HORSE CANYON ROAD
SALINAS, CA 93907
PH: 831-443-6970
CONTACT: GUY GIRAUDO

CIVIL:

LANDSCAPE:

ARBORIST:

SHEET INDEX

SHEET NUMBER	SHEET NAME	SCALE
A-0.1	COVER SHEET	
A-0.2	RENDERED ELEVATIONS	
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A-0.4	AS-BUILT SITE PLAN	
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A-1.2	SITE COVERAGE	1/4"=1'-0"
A-2.1	BASEMENT FLOORPLAN	1/4"=1'-0"
A-2.2	MAIN LEVEL FLOORPLAN	1/4"=1'-0"
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OWNERSHIP NOTES

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

- TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED
- THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
- THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHER FOR ANOTHER SITE.
- IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

TREE REMOVAL

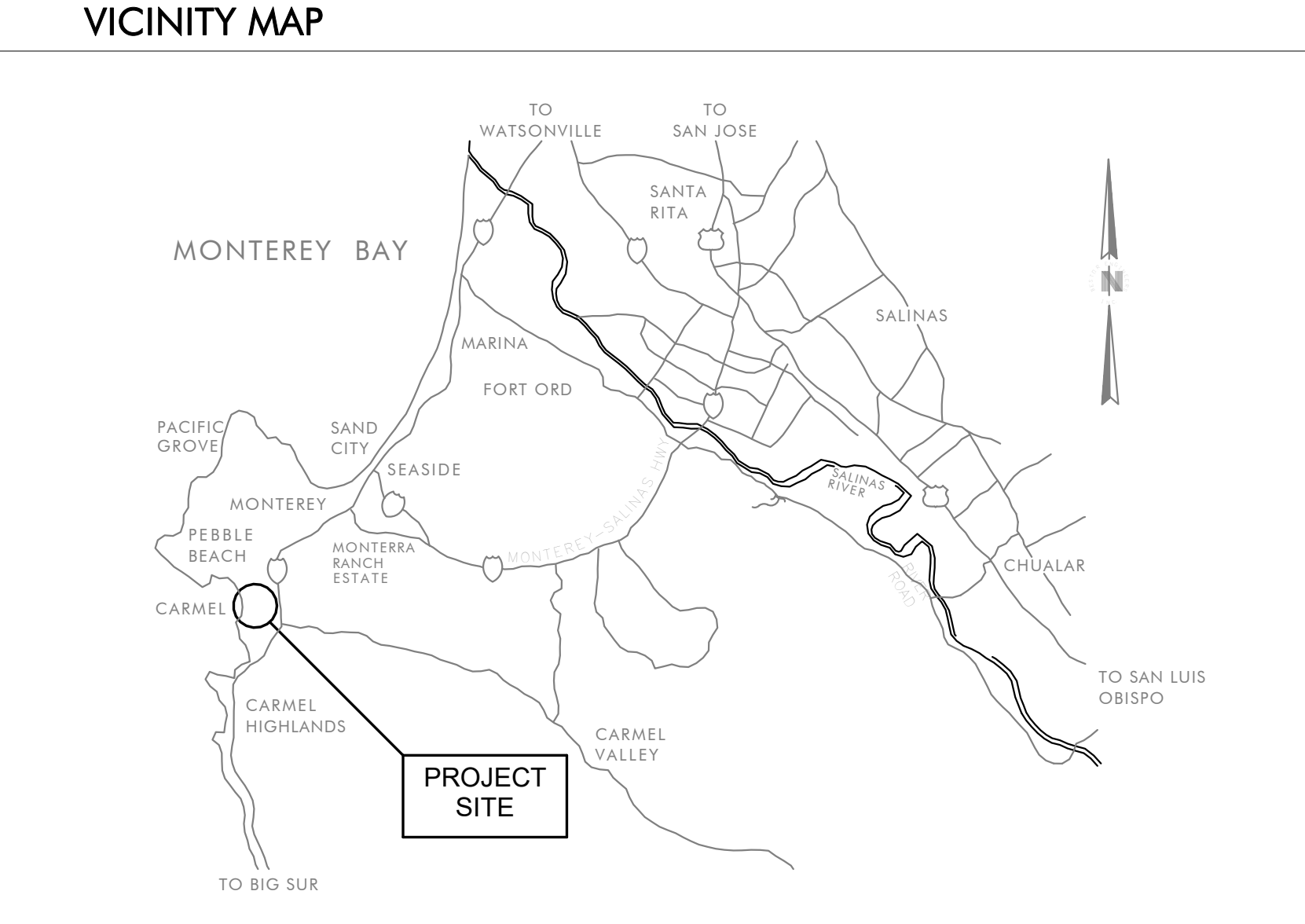
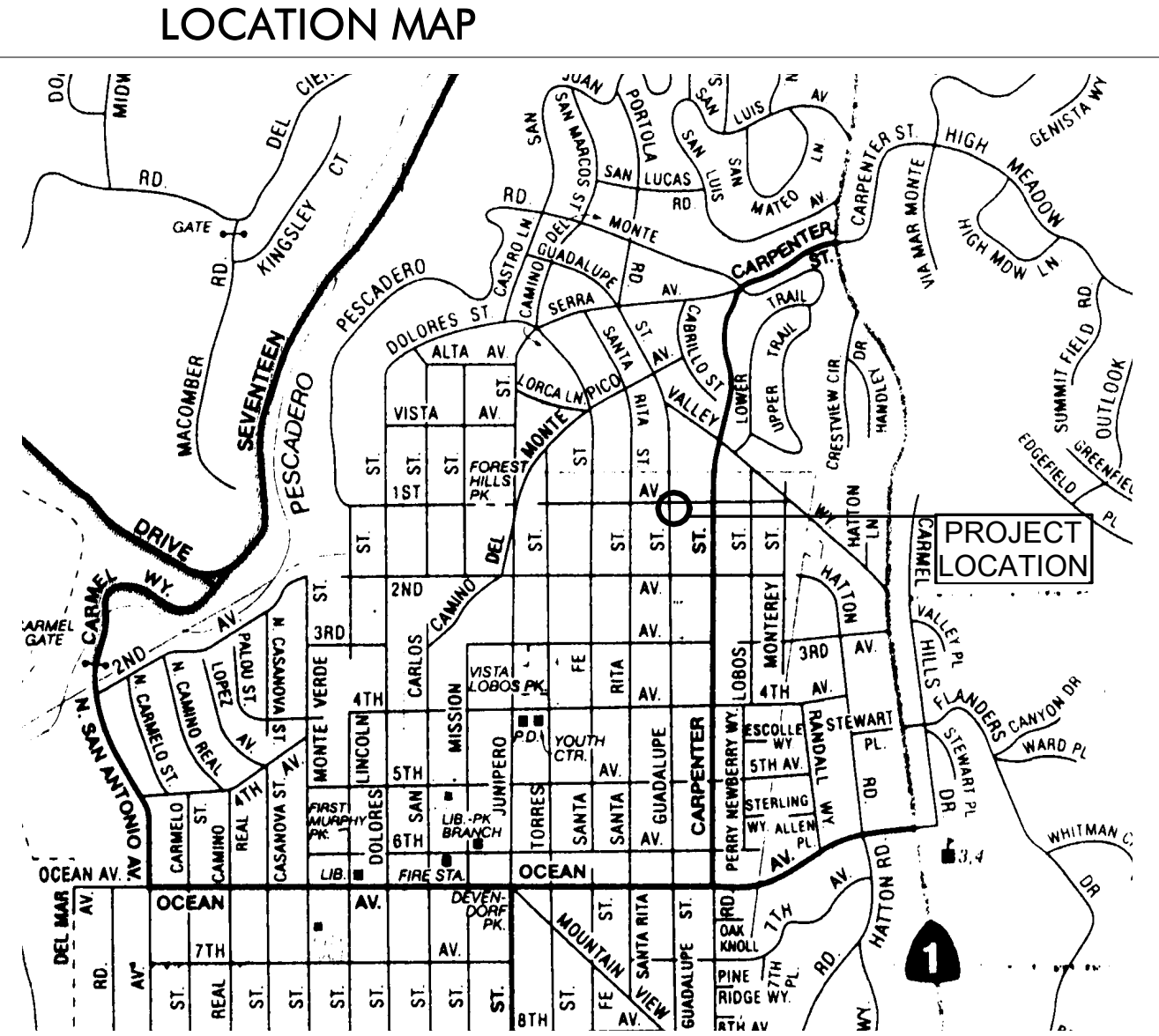
FOUR (4) TREES TO BE REMOVED: 15" TREE (#50), TRIPLE 8",8",11" TREE (#85)

EXTERIOR LIGHTING NOTE

ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING SHALL BE NO HIGHER THAN 10 FEET ABOVE GROUND AND NOT EXCEED 25 WATTS (INCANDESCANT EQUIVALENT) IN POWER PER FIXTURE.

SITE COVERAGE

ALLOWED	556.0 S.F.
PROPOSED IMPERVIOUS COVERAGE	
ENTRY LANDING	66.87 S.F.
FRONT LANDING	26.22 S.F.
SITE WALLS	115.38 S.F.
STAIRS	55.47 S.F.
FENCE COLUMNS	19.80 S.F.
TOTAL IMPERVIOUS COVERAGE	271.74 S.F.
PROPOSED PERVIOUS COVERAGE	
BASEMENT LANDING	41.71 S.F.
DRIVEWAY	125.93 S.F.
BACK PATIO	70.00 S.F.
WALKWAY 1	15.50 S.F.
WALKWAY 2	12.00 S.F.
WALKWAY 3	13.46 S.F.
TOTAL PERVIOUS COVERAGE	276.60 S.F.
TOTAL PROPOSED SITE COVERAGE	555.74 S.F.





FIRST AVENUE

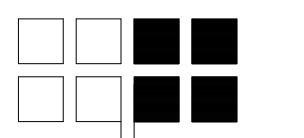
EMPTY LOT



ADJACENT STRUCTURE

GUADALUPE STREET

REVISION	No.



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CONSULTANT:

RENDERED ELEVATIONS

CR1 RESIDENTIAL LOT #2

Guadalupe Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-014

DATE: 3/18/22

SCALE:

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JOB NO. 2005

A-0.2
 SHEET OF



FIRST AVENUE PERSPECTIVE



FIRST AVENUE PERSPECTIVE



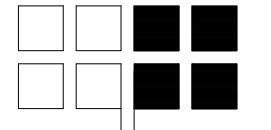
GUADALUPE STREET PERSPECTIVE



GUADALUPE STREET PERSPECTIVE

REVISION	No.

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ARCHITECT:

RENDERINGS

CR1 RESIDENTIAL LOT #2

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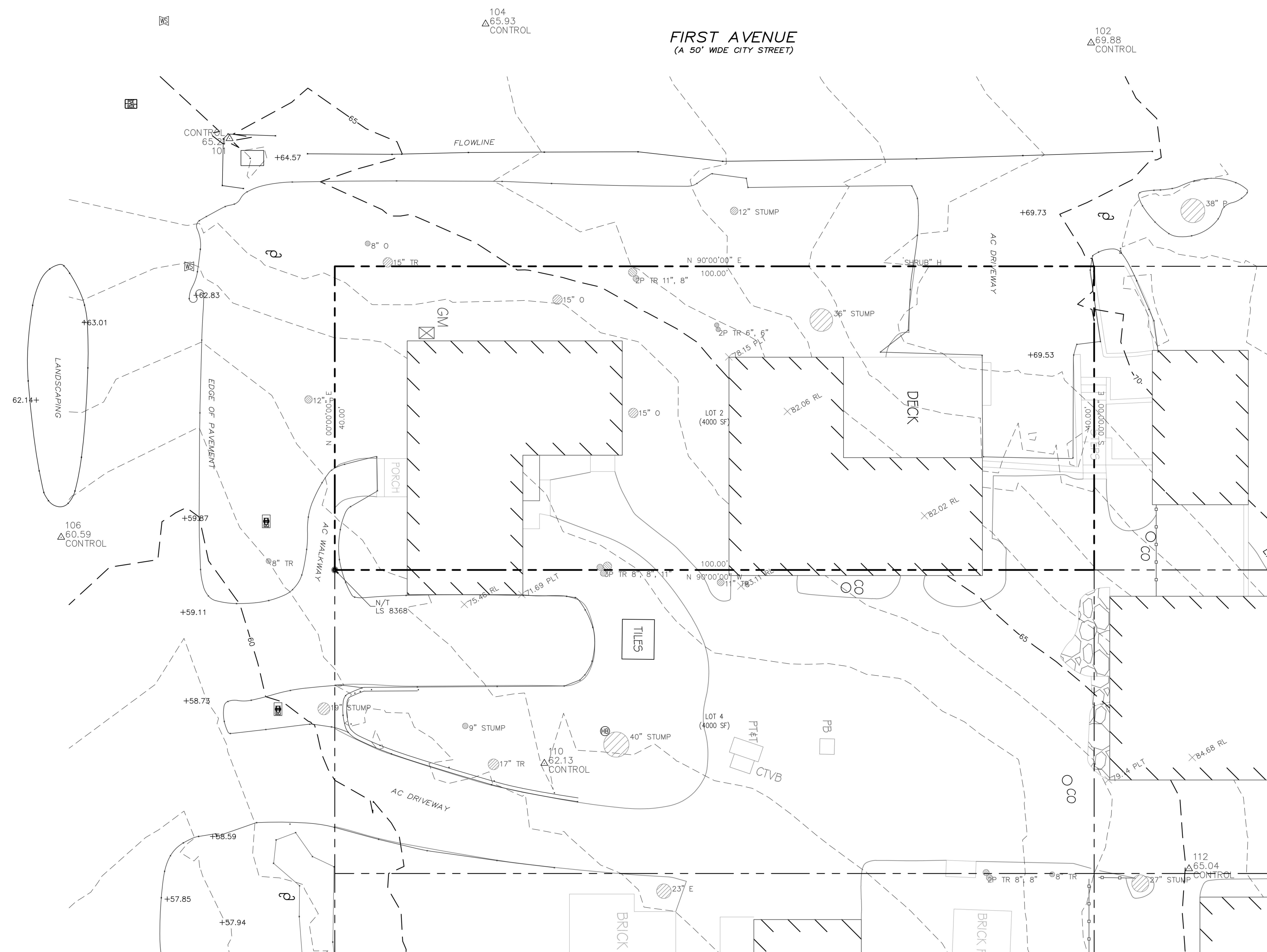
A-0.3
SHEET OF

2
4
6
8
10
12
14
16

MAP KEY

LEGEND:

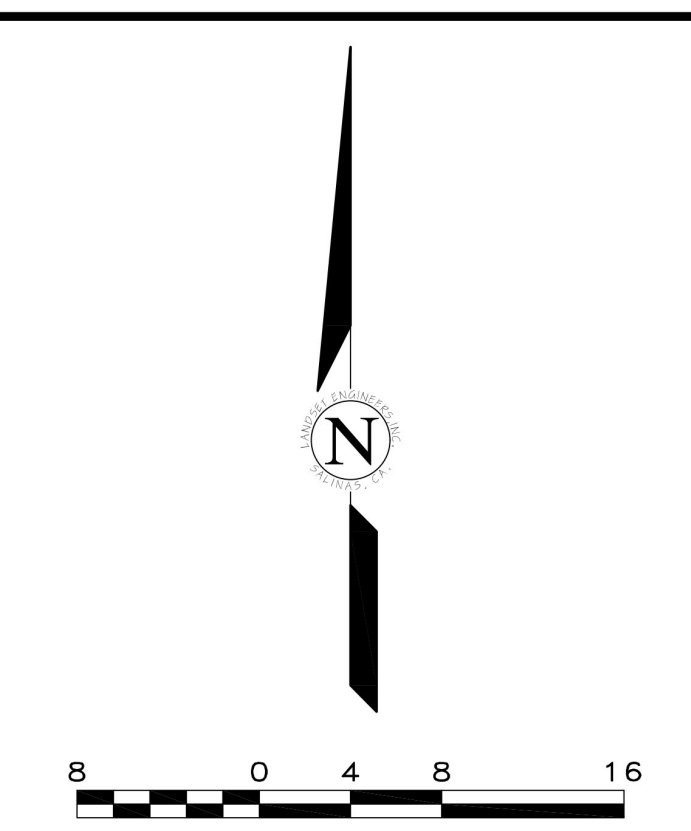
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	ORIGINAL PROPERTY BOUNDARY LINE
	EASEMENT LINE (TYPE AS SHOWN)
	ROADWAY CENTERLINE
	MAJOR CONTOUR LINE (5' INTERVAL)
	MINOR CONTOUR LINE (1' INTERVAL)



GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #100, A MAGNETIC NAIL LOCATED IN GUADALUPE STREET APPROXIMATELY 29 FEET WEST OF THE NORTHWESTERLY PROPERTY CORNER OF LOT 16, BLOCK 17, ELEVATION = 50.00' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP SERVES TO VALIDATE AND AUGMENT PREVIOUS TOPOGRAPHIC INFORMATION PRESENTED BY LICENSED SURVEYORS. THIS MAP IS THEREFORE A COMPILED OF SURVEYS PERFORMED BY SEPARATE PARTIES ON DIFFERENT DATES SPANNING FROM DECEMBER 2018 TO JULY 2020. THIS MAP DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

	CONDUIT		GAS LINE		GAS METER		FOUND MONUMENT - TYPE NOTED
	PIPE		TELEPHONE SERVICE		WATER METER		SURVEY H&V CONTROL POINT
	CLEANOUT		UNKNOWN UTILITY		PGE BOX		SPOT ELEVATION
	DOWNSPOUT		FUSE BOX		UTILITY HUB		X50.00 RL RIDGE LINE
	HOSE BIB		ELECTRICAL OUTLET		TELEPHONE BOX		X50.00 PLT PLATE HEIGHT
	WATER SERVICE		UTILITY POLE		ELECTRICAL HUB		TREE (TYPE AND SIZE AS MARKED) CENTER OF SYMBOL IS APPROX. CENTER OF TREE
	IRRIGATION BOX		GUY WIRE		ELECTRICAL PANEL		TWO-PRONGED TREE (2P)
	IRRIGATION CONTROL VALVE		MAILBOX		ELECTRICAL METER		THREE-PRONGED TREE (3P)
	WATER VALVE		AREA DRAIN		SANITARY SEWER MANHOLE		MULTIPRONGED TREE (MP)
	DRAIN LINE		HYDRANT		STORM DRAIN MANHOLE		CE = CEDAR PA = PALM
	STREET LIGHT		SIGN		PGE GAS MANHOLE		CW = COTTON WOOD PE = PEPPER
					ELECTRICAL MANHOLE		CYP = CYPRESS P = PINE
							E = EUCALYPTUS R = REDWOOD
							H = HOLLY TR = TREE
							O = OAK W = WILLOW



APPROVED BY:

GUY R. GIRARDINO
P.L.S. No. 07003

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TOPOGRAPHIC MAP
OF
LOT 2 IN BLOCK 17
VOLUME 1 OF CITIES AND TOWNS AT PAGE 52
CARMEL-BY-THE-SEA, CALIFORNIA
FOR
MR. DON DESAI

CONTACT INFORMATION:
OWNER:
MR. DON DESAI
PO BOX 2106
MONTEREY, CA 93942
ARCHITECT:
ATTN: LUYEN WU
ERIC MILLER ARCHITECTS
211 HOFFMAN AVENUE
MONTEREY, CA 93940
SITE LOCATION:
GUADALUPE ST, BETWEEN 1ST AND 2ND AVE
CARMEL-BY-THE-SEA, CA 93921

SCALE: 1" = 8'
DATE: AUG 2020
JOB NO. 2143-01
SHEET 2
OF 9 SHEETS
08/18/20 JK RELEASED TO CLIENT
No. DATE BY REVISION

REVISION No.

CONSULTANT:

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AS-BUILT SITE PLAN

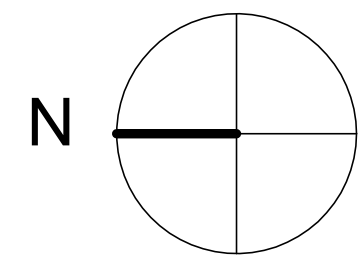
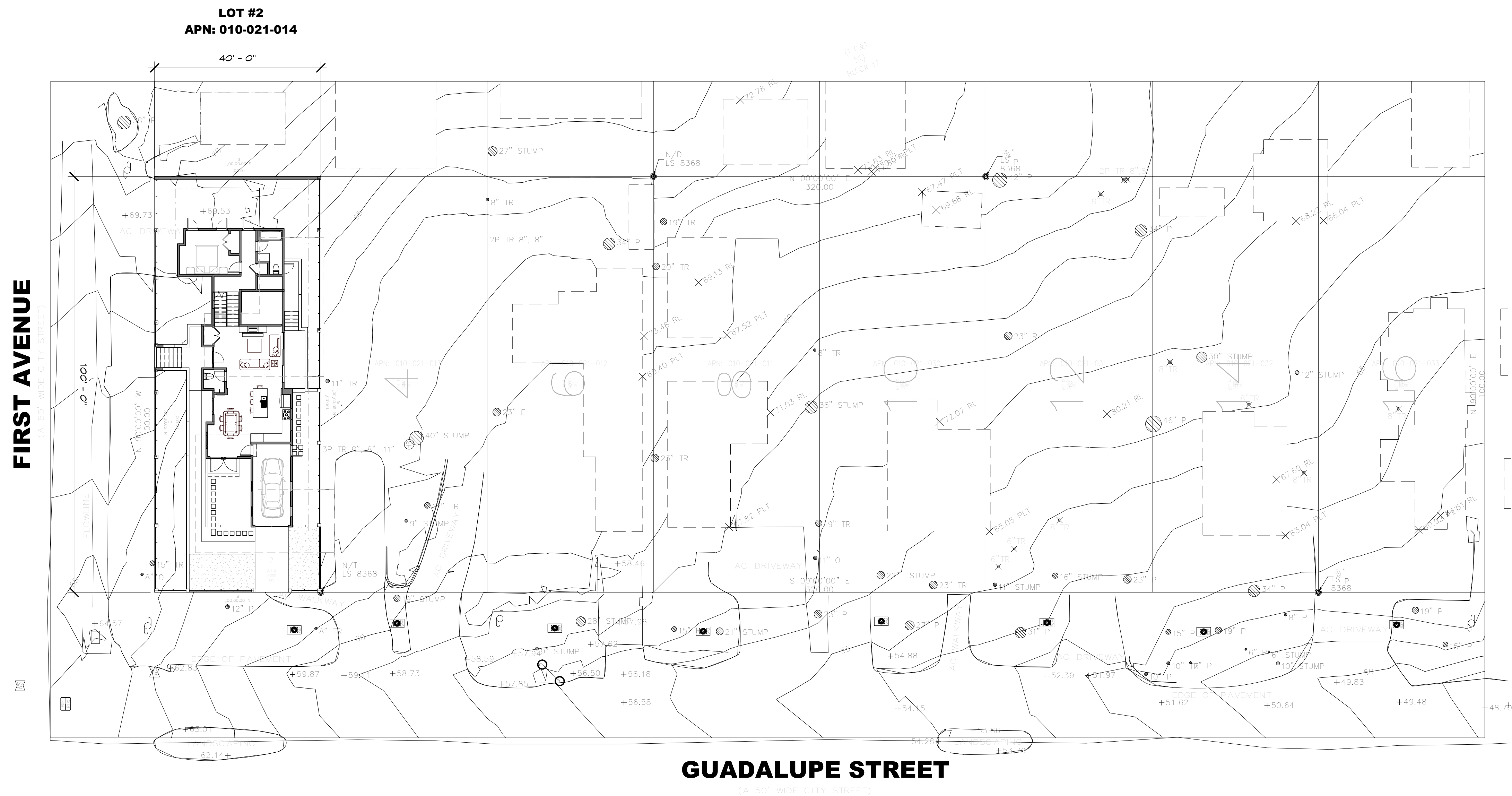
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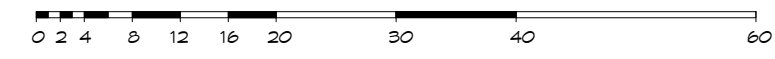
JOB NO. 2005

A-0.4 SHEET OF



OVERALL SITE PLAN- LOT #2

SCALE 1/16" = 1'-0"



REVISION	No.

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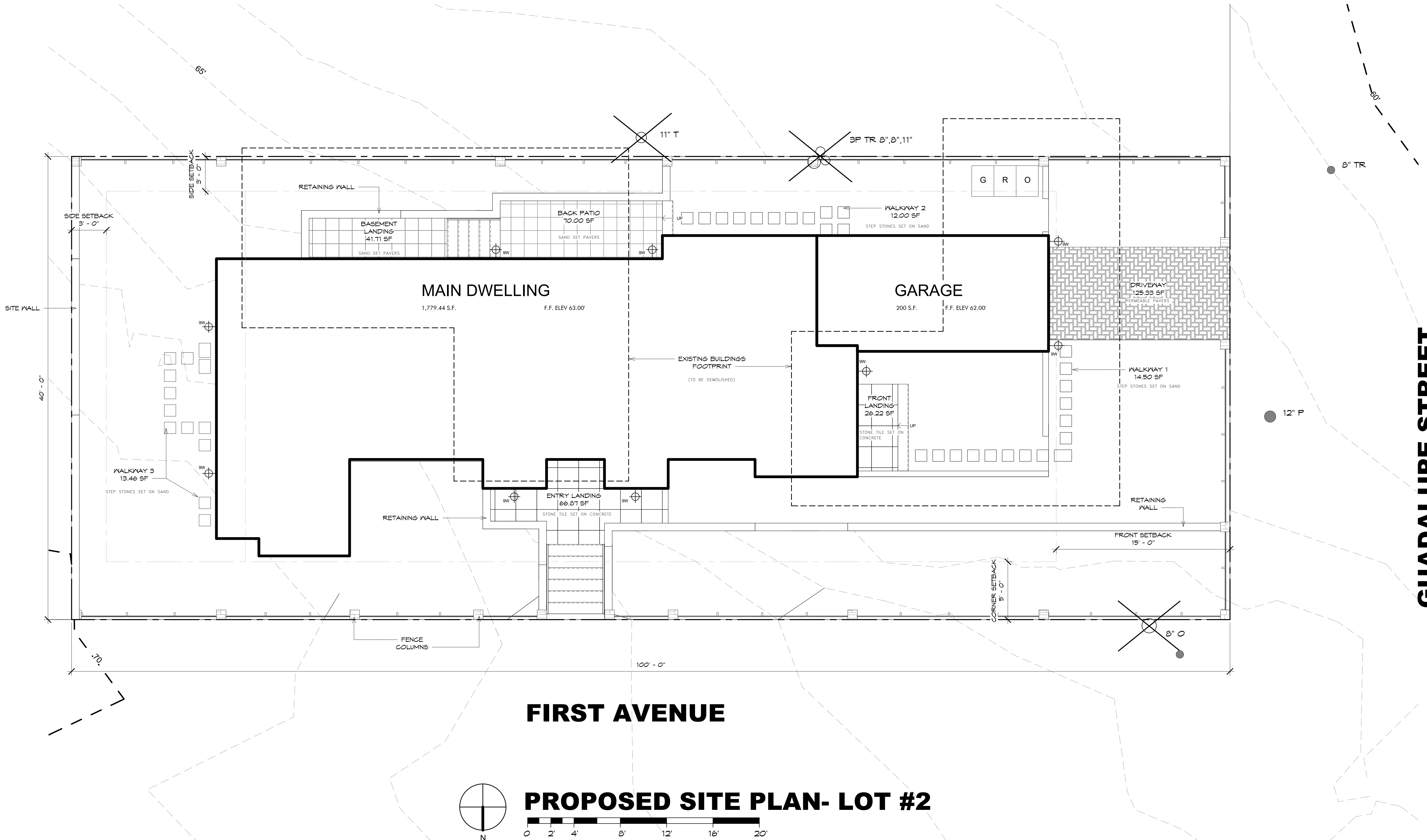
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SITE PLAN

CRI RESIDENTIAL LOT #2
 Guadalupe Street between 1st and Ave.
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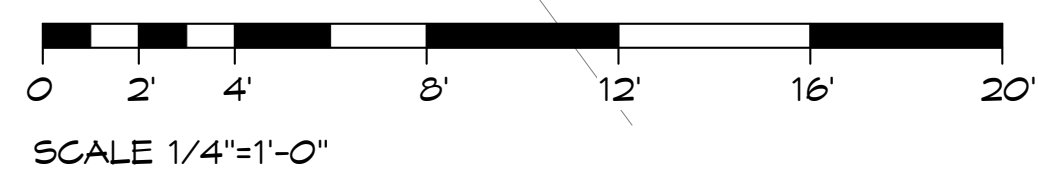
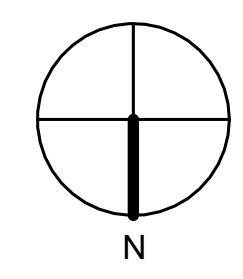
A-1.1
 SHEET OF



GUADALUPE STREET

FIRST AVENUE

PROPOSED SITE PLAN- LOT #2



1 Site Plan
1/4" = 1'-0"

SITE COVERAGE	
ALLOWED	556.0 SF
PROPOSED IMPERVIOUS COVERAGE	
ENTRY LANDING (STONE TILE ON CONCRETE)	66.87 SF
FRONT LANDING (STONE TILE ON CONCRETE)	26.22 SF
SITE WALLS (STONE CLAD RETAINING WALLS)	115.93 SF
STAIRS (CAST STAIR)	55.47 SF
FENCE COLUMNS	13.80 SF
TOTAL IMPERVIOUS COVERAGE	271.74 SF
PROPOSED PERVIOUS COVERAGE	
BASEMENT LANDING (SAND-SET PAVERS)	41.71 SF
DRIVEWAY (PAVERS SET IN SAND)	125.93 SF
BACK PATIO (SAND-SET PAVERS)	70.00 SF
WALKWAY 1 (STEP STONES SET ON SAND)	15.50 SF
WALKWAY 2 (STEP STONES SET ON SAND)	12.00 SF
WALKWAY 3 (STEP STONES SET ON SAND)	13.46 SF
TOTAL PERVIOUS COVERAGE	278 SF
TOTAL PROPOSED SITE COVERAGE	555.74 SF

REVISION	No.

CONSULTANT:

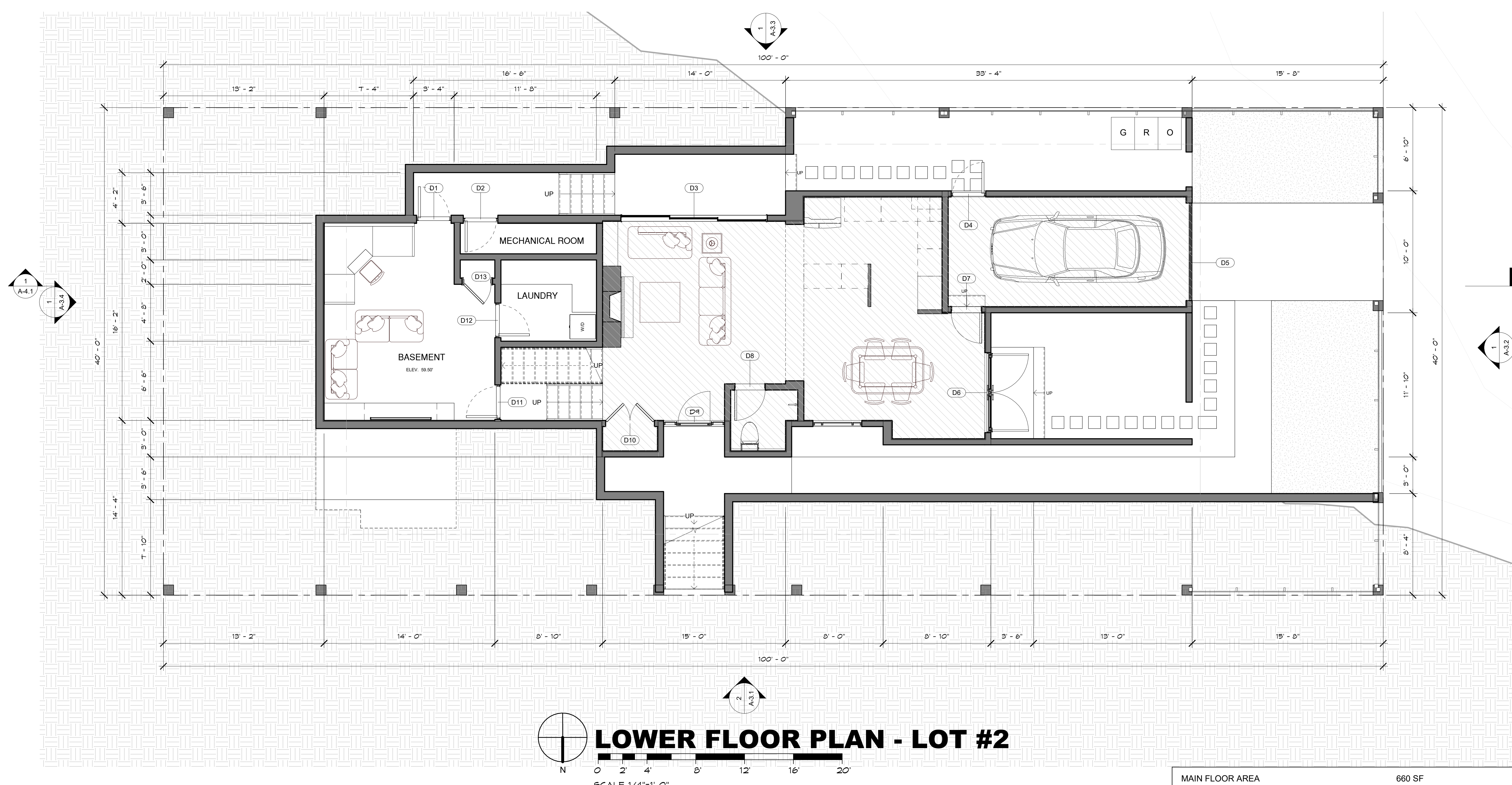
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SITE COVERAGE

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A-1.2
SHEET OF



1 BASEMENT F.F.E.
1/4" = 1'-0"

LOWER FLOOR PLAN - LOT #2
SCALE 1/4"=1'-0"

MAIN FLOOR AREA	660 SF
GARAGE	200 SF
MID / UPPER FLOOR AREA	875 SF
BASEMENT FLOOR AREA	130 SF
BASEMENT BONUS AREA	100 SF
TOTAL	1,965 S.F.

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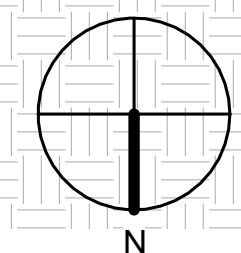
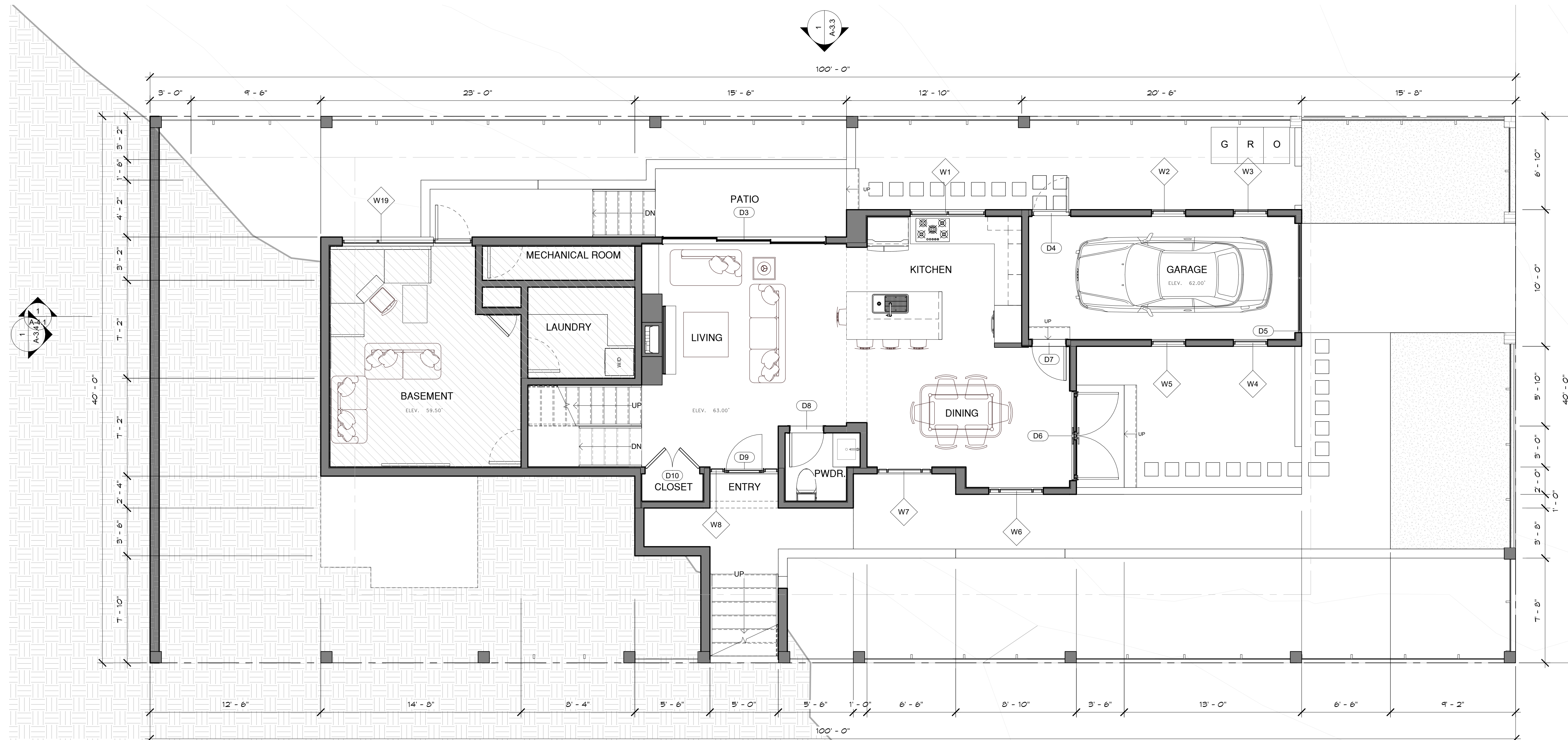
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BASEMENT FLOORPLAN
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A-2.1
SHEET OF



MAIN FLOOR PLAN - LOT #2

SCALE 1/4" = 1'-0"

1 MAIN FLOOR F.F.E.
1/4" = 1'-0"

MAIN FLOOR AREA	660 SF
GARAGE	200 SF
MID / UPPER FLOOR AREA	875 SF
BASEMENT FLOOR AREA	130 SF
BASEMENT BONUS AREA	100 SF
TOTAL	1,965 S.F.

REVISION	No.

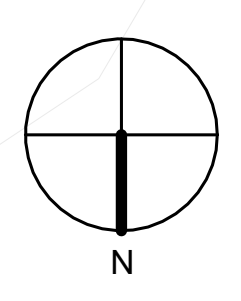
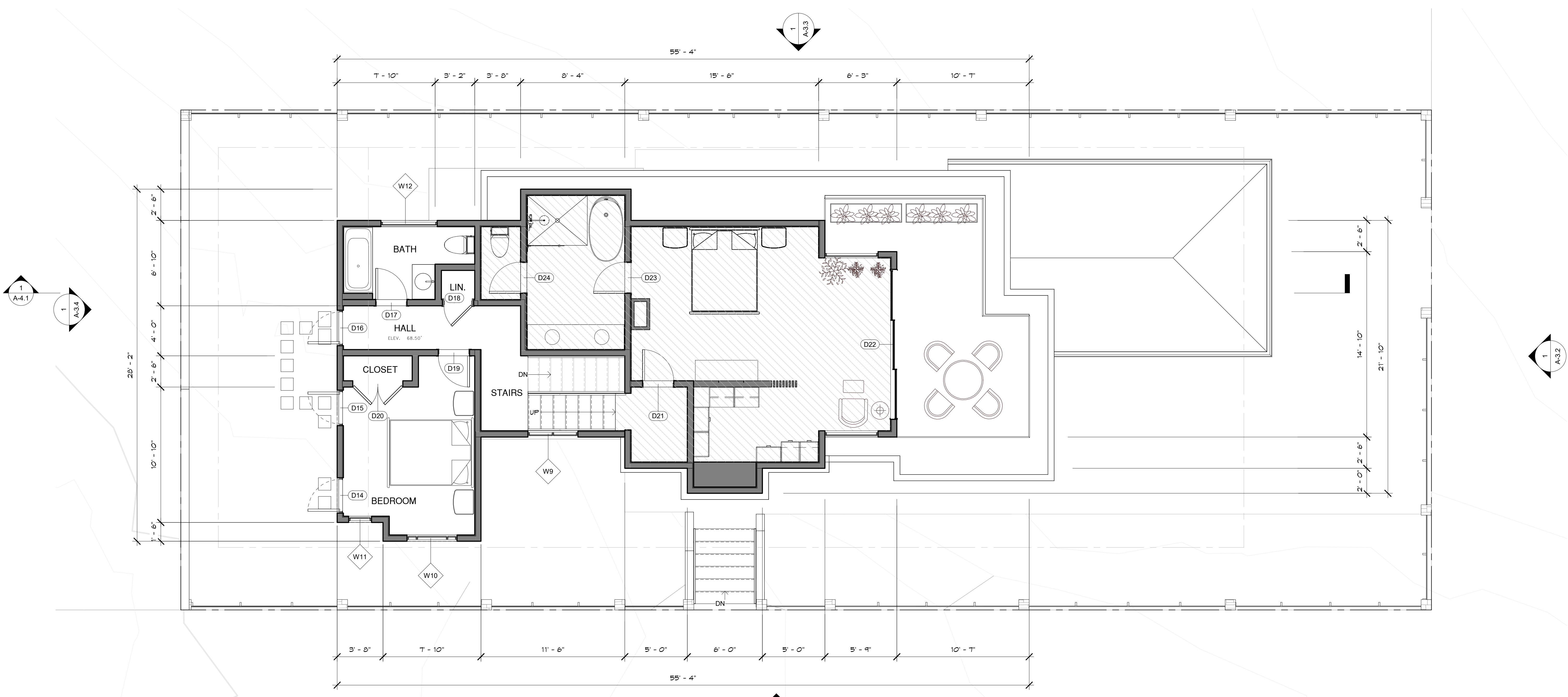
CONSULTANT:

 ARCHITECT:
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

MAIN LEVEL FLOORPLAN
CR1 RESIDENTIAL LOT #2
 Guadalupe Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-014

DATE: 3/18/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO. 2005

A-2.2
 SHEET OF



MID FLOOR PLAN - LOT #2



1 MID FLOOR F.F.E.
1/4" = 1'-0"

MAIN FLOOR AREA	660 SF
GARAGE	200 SF
MID / UPPER FLOOR AREA	875 SF
BASEMENT FLOOR AREA	130 SF
BASEMENT BONUS AREA	100 SF
TOTAL	1,965 S.F.

REVISION	No.

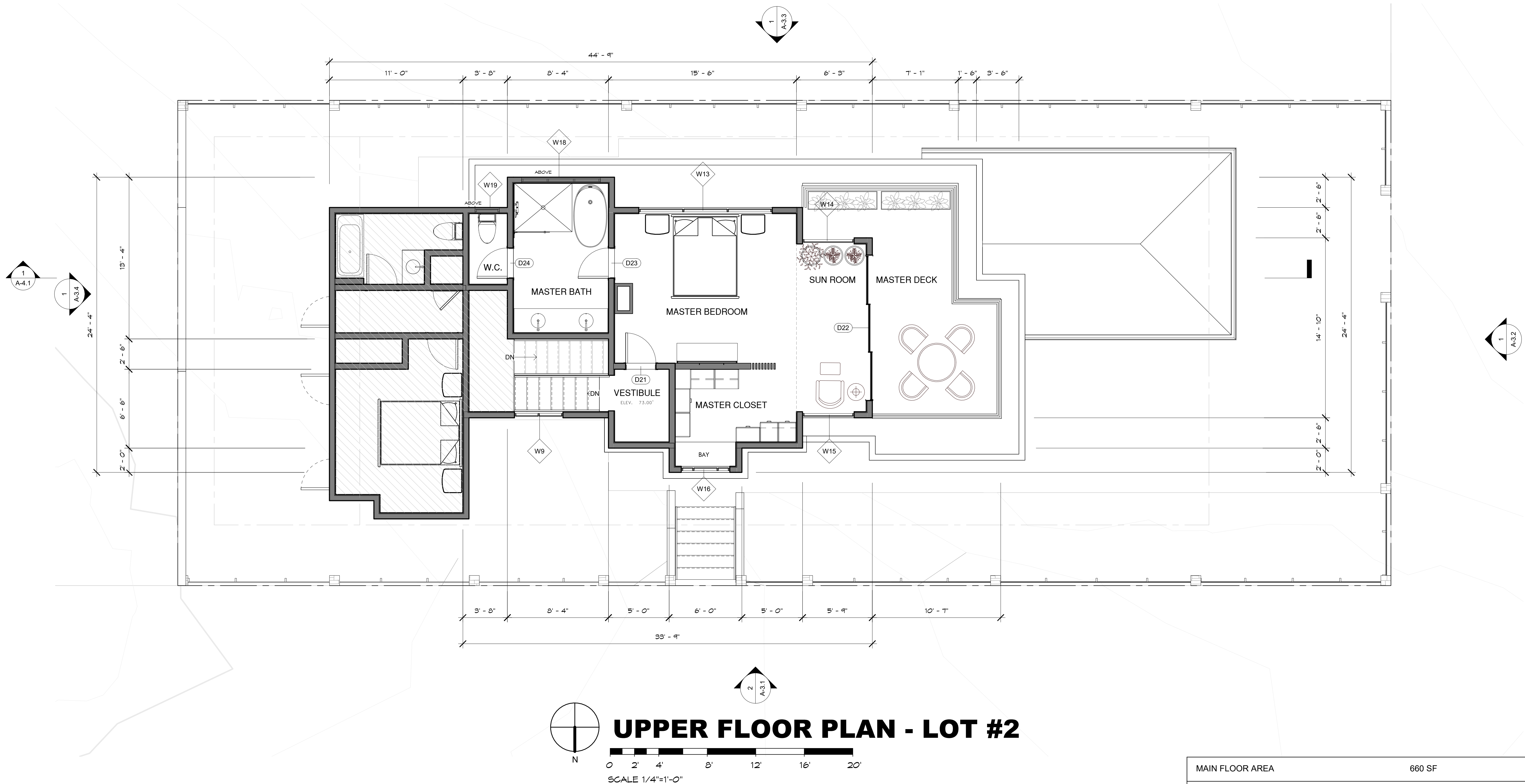
CONSULTANT:

ARCHITECT:
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

MIDDLE LEVEL FLOORPLAN
CR1 RESIDENTIAL LOT #2
 Guadalupe Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-014

DATE: 3/18/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO.: 2005

A-2.3
 SHEET OF



1 UPPER FLOOR F.F.E.
1/4" = 1'-0"

UPPER FLOOR PLAN - LOT #2

SCALE 1/4" = 1'-0"

MAIN FLOOR AREA	660 SF
GARAGE	200 SF
MID / UPPER FLOOR AREA	875 SF
BASEMENT FLOOR AREA	130 SF
BASEMENT BONUS AREA	100 SF
TOTAL	1,965 S.F.

REVISION	No.

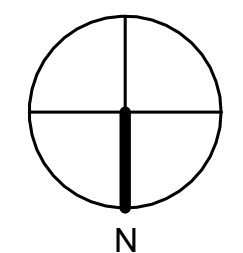
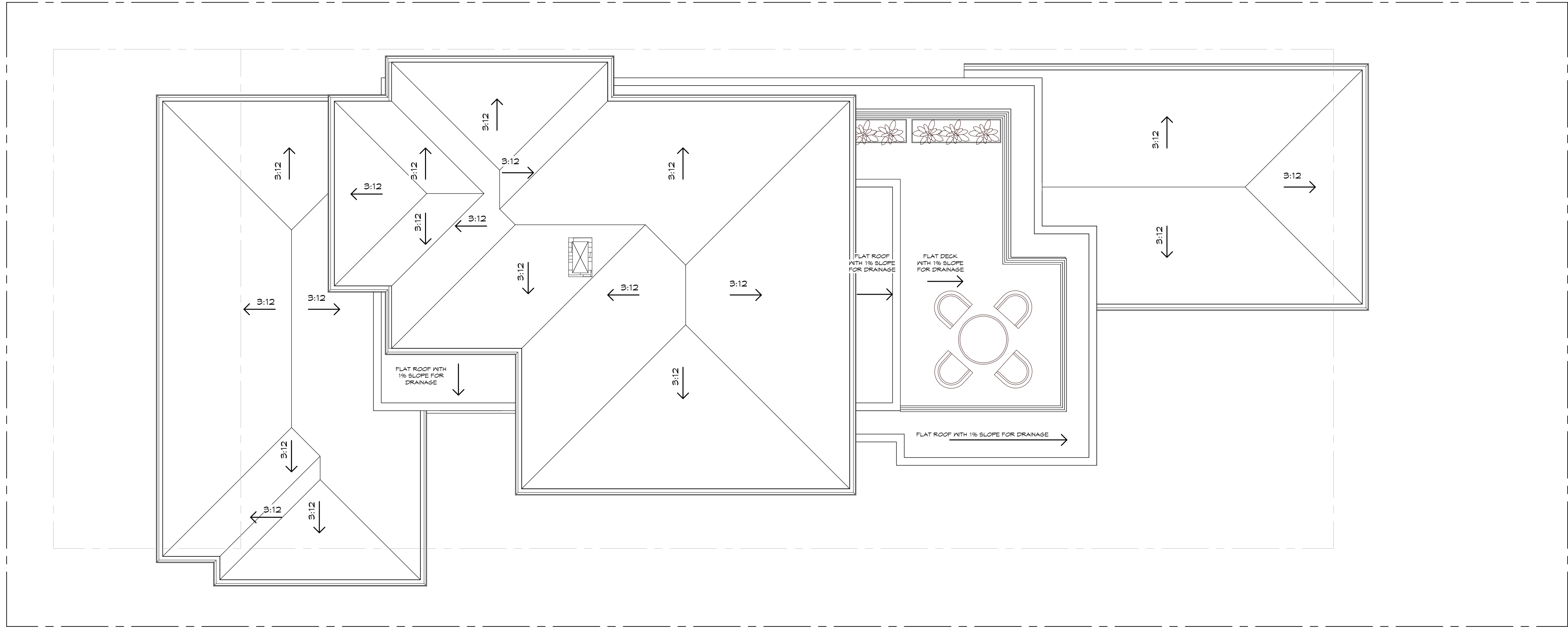
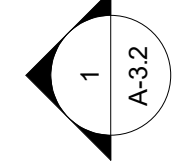
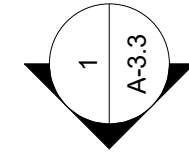
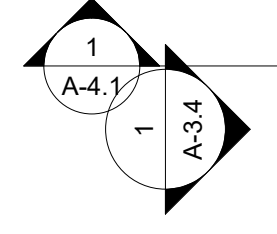
CONSULTANT:
ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

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UPPER LEVEL FLOOR PLAN
CR1 RESIDENTIAL LOT #2
Guadalupe Street between 1st and 2nd Ave.
Carmel, CA 93921
A.P.N. 010-021-014

DATE: 3/18/22
SCALE: 1/4" = 1'-0"
DRAWN: CS
JOB NO.: 2005

A-2.4
SHEET OF



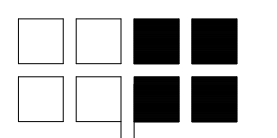
ROOF PLAN - LOT #2



1 ROOF PLAN
1/4" = 1'-0"

REVISION	No.

CONSULTANT:



ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**
 211 HOFFMAN AVENUE MONTEREY, CA 93940
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ROOF PLAN

CR1 RESIDENTIAL LOT #2
 Guadalupe Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-014

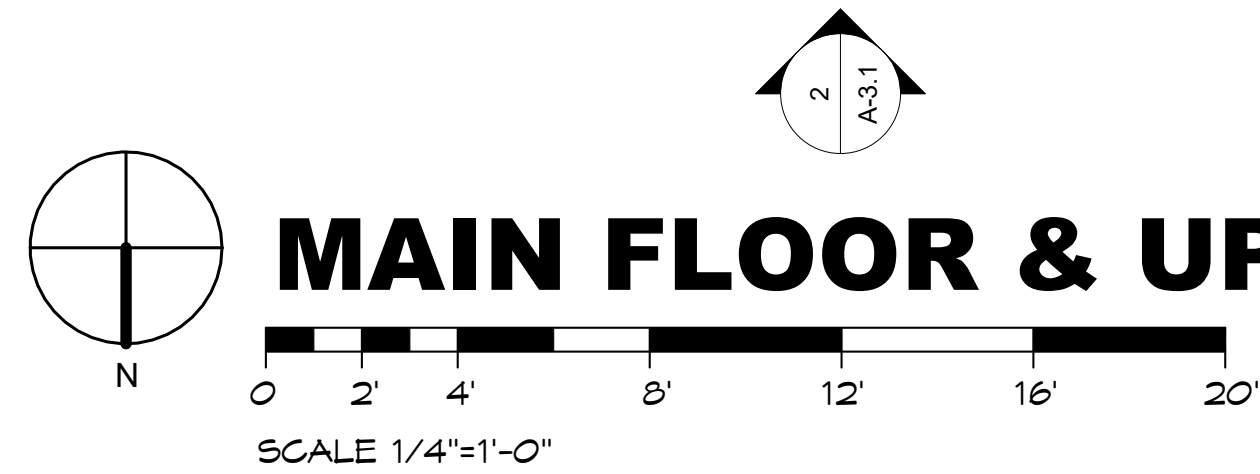
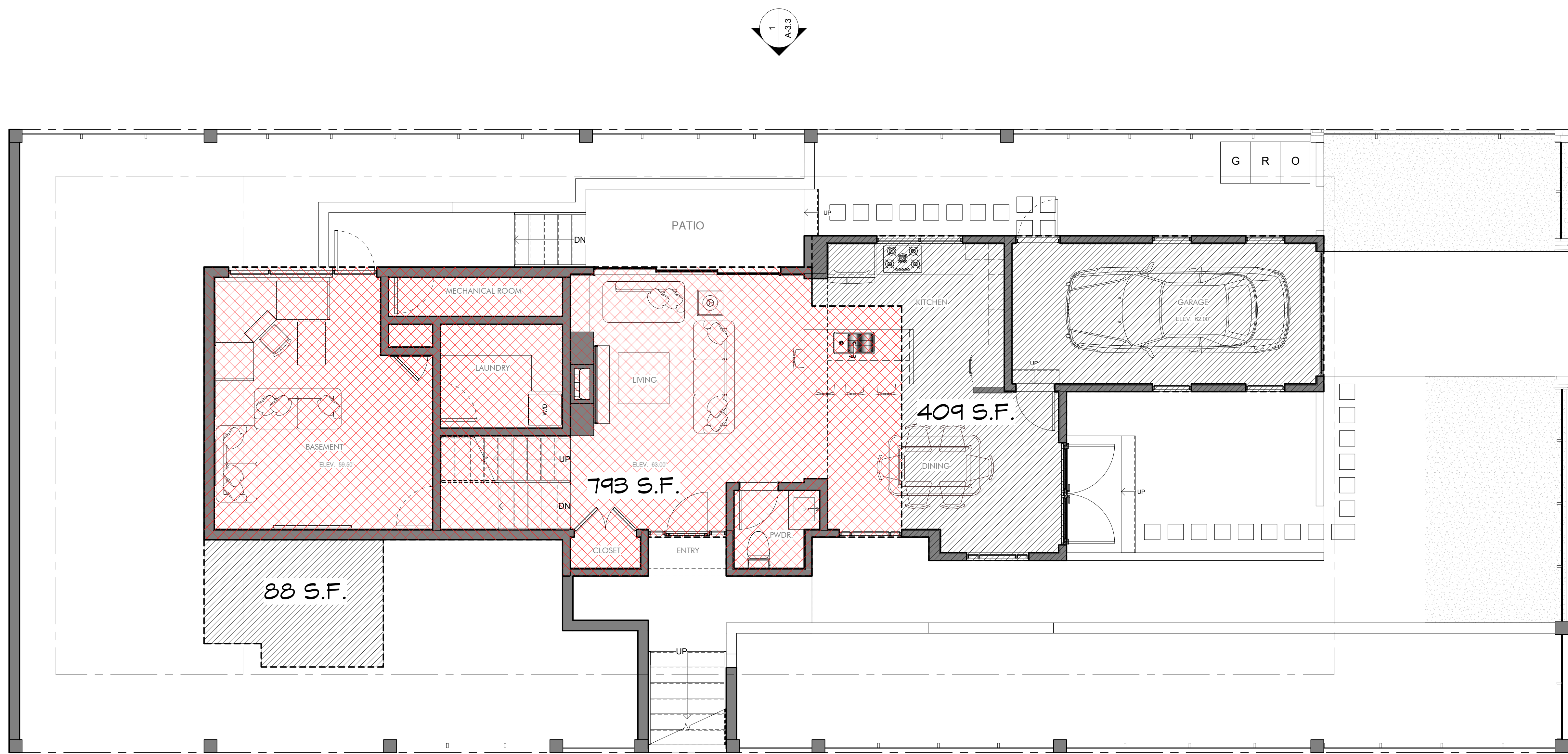
DATE: 3/18/22

SCALE: 1/4" = 1'-0"

DRAWN CS

JOB NO. 2005

A-2.5
 SHEET OF



MAIN FLOOR & UPPER FLOOR OVERLAY

① OVERLAY
1/4" = 1'-0"

LEGEND		OVERLAPPING & NON-OVERLAPPING FLOOR AREA	
	OVERLAPPING FLOOR AREA	=	793 S.F.
	NON-OVERLAPPING FLOOR AREA	=	491 S.F.

REVISION	No.

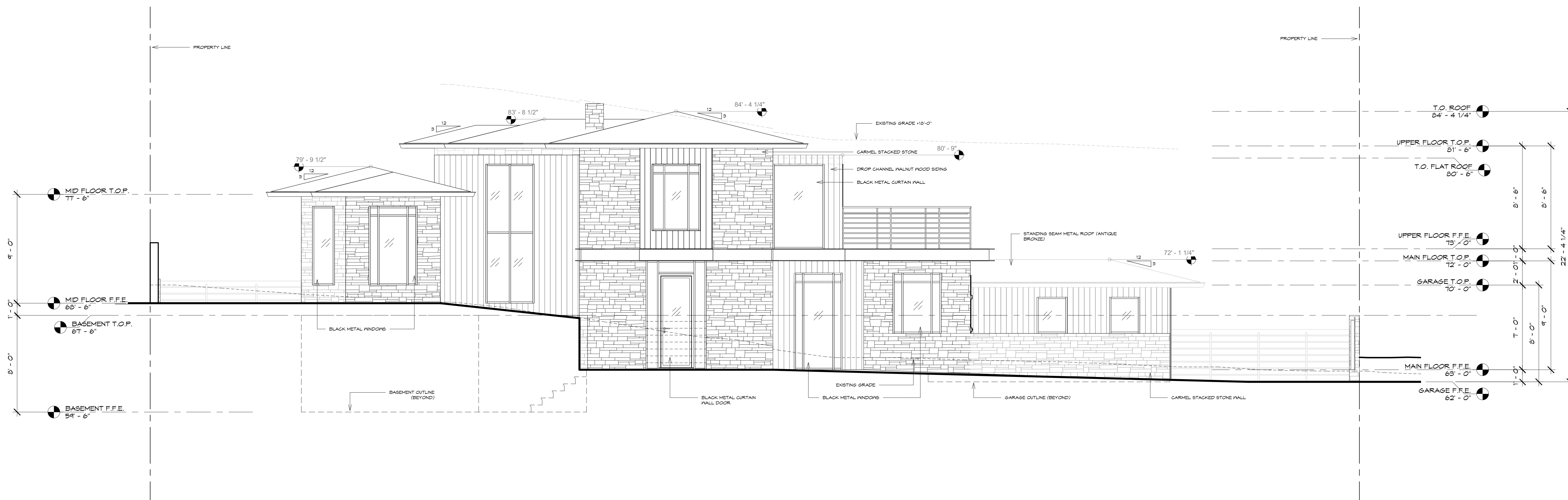
CONSULTANT:

ARCHITECT:
ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

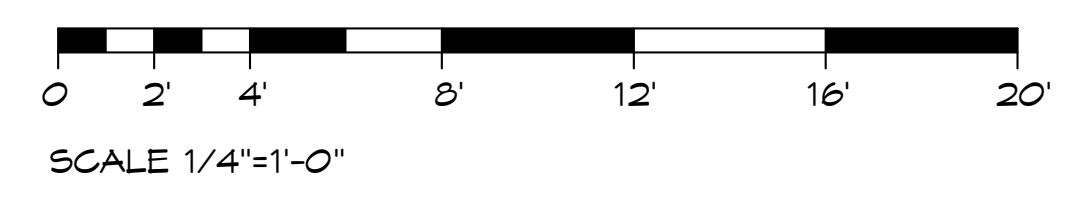
MAIN FLOOR & UPPER FLOOR OVERLAY
CR1 RESIDENTIAL LOT #2
Guadalupe Street between 1st and 2nd Ave.
Carmel, CA 93921
A.P.N. 010-021-014

DATE: 3/18/22
SCALE: 1/4" = 1'-0"
DRAWN: CS
JOB NO.: 20.05

A-2.6
SHEET OF



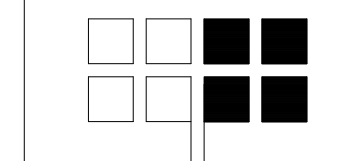
PROPOSED NORTH ELEVATION - LOT #2



② NORTH
1/4" = 1'-0"

REVISION	No.

CONSULTANT:



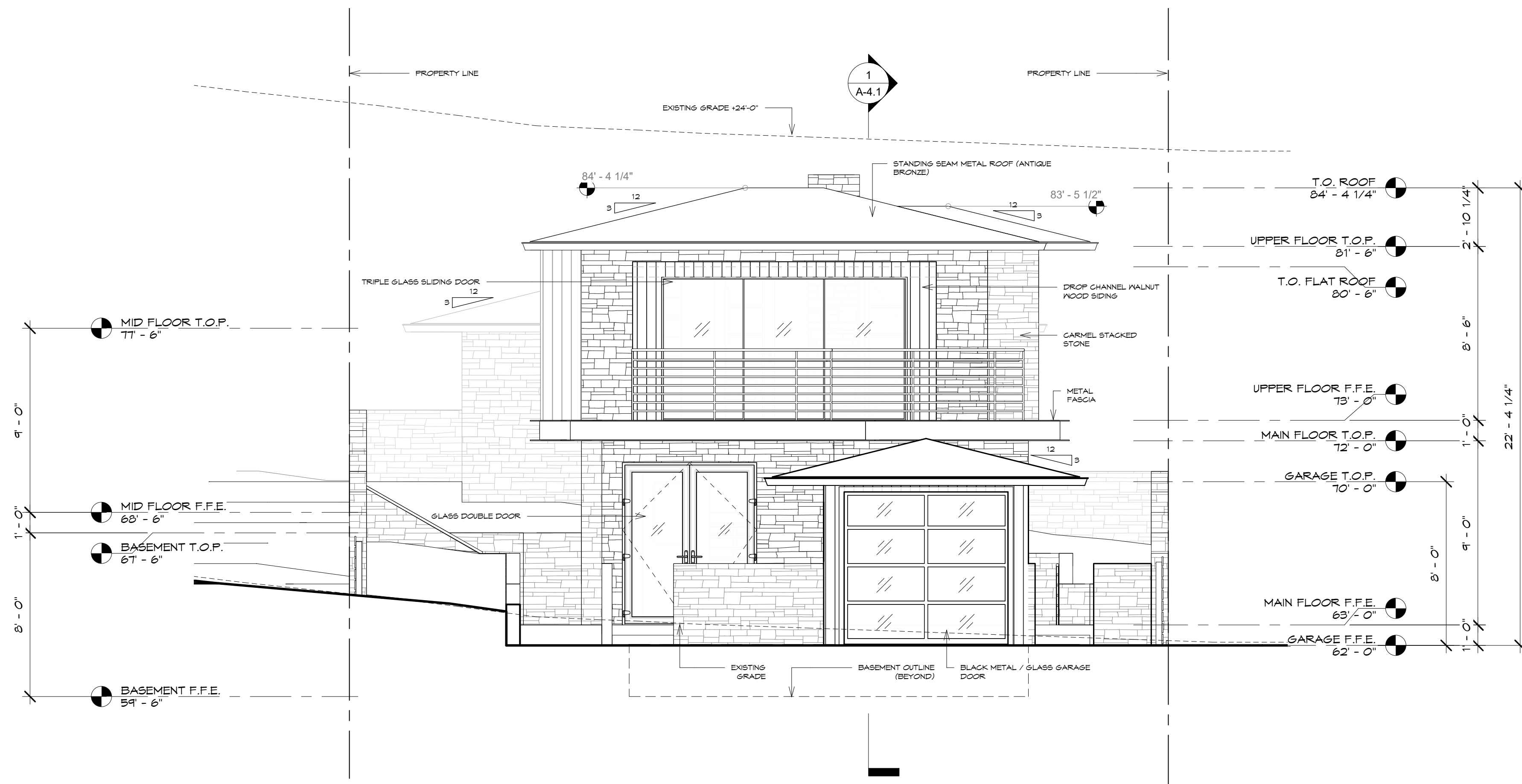
ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

NORTH ELEVATION

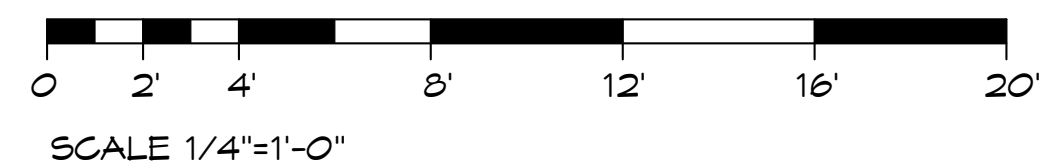
CR1 RESIDENTIAL LOT #2
 Guadalupe Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-014

DATE: 3/18/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO. 2005

A-3.1
 SHEET OF



PROPOSED WEST ELEVATION - LOT #2



① WEST
1/4" = 1'-0"

REVISION	No.

CONSULTANT:

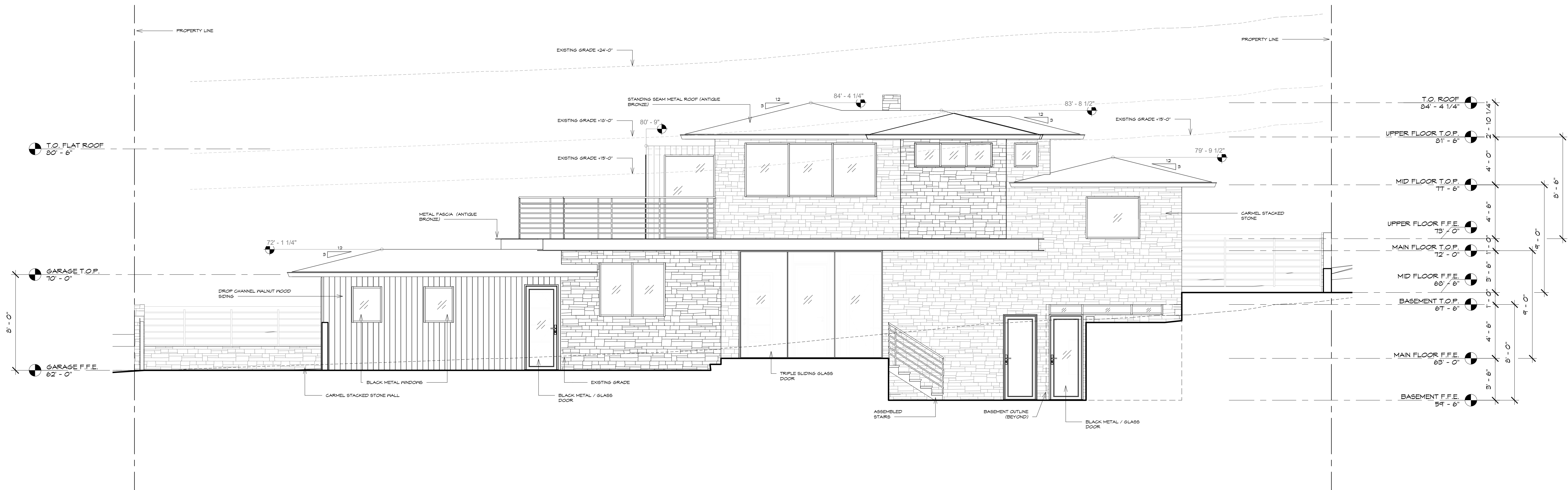
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

ARCHITECT:
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 211 HOFFMAN AVENUE MONTEREY, CA 93940
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WEST ELEVATION
CR1 RESIDENTIAL LOT #2
 Guadalupe Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-014

DATE: 3/18/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO. 2005

A-3.2
 SHEET OF



PROPOSED SOUTH ELEVATION - LOT #2



SCALE 1/4"=1'-0"

① SOUTH
1/4" = 1'-0"

REVISION	No.

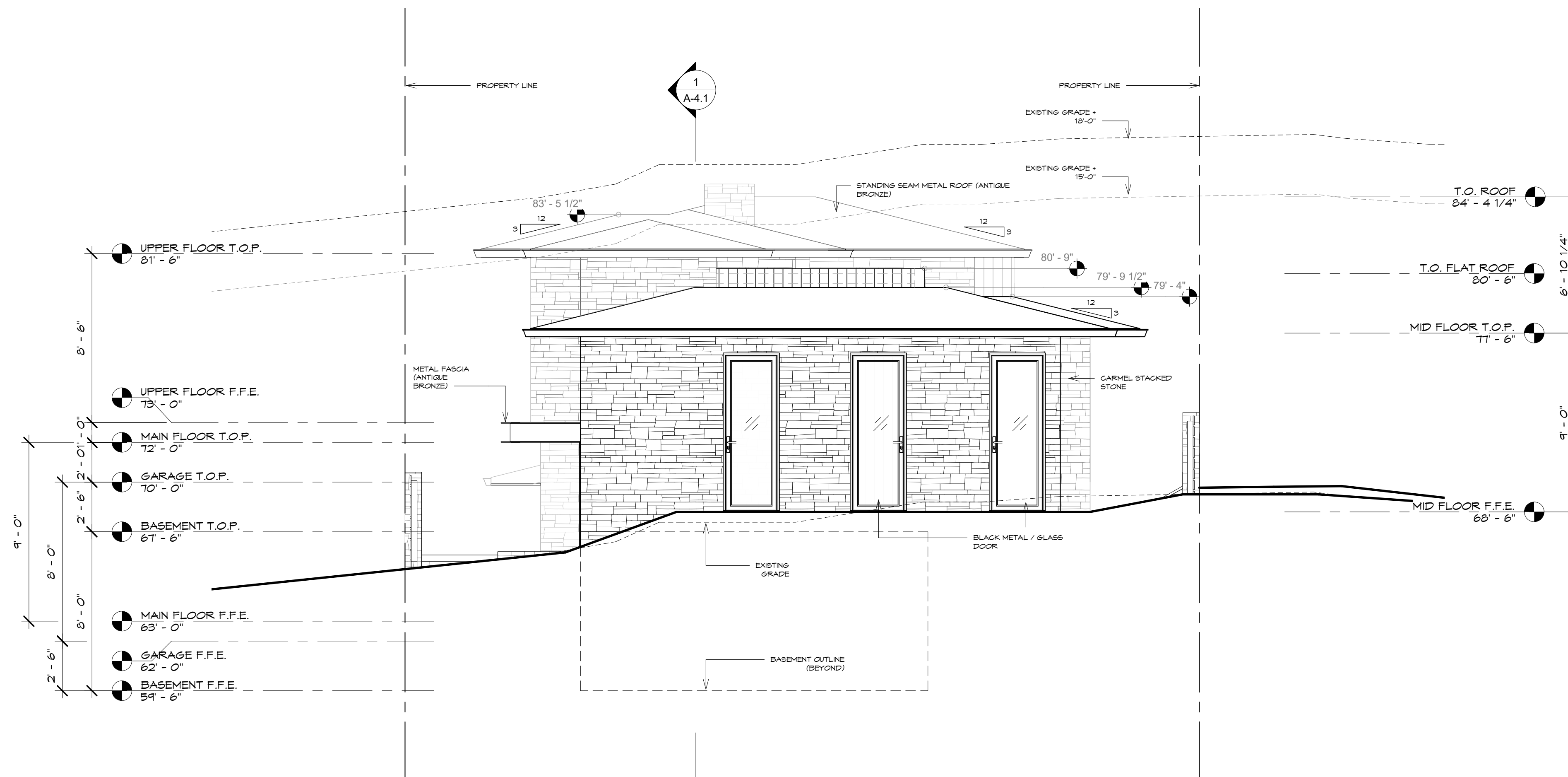
CONSULTANT:
ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

ARCHITECT:
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PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

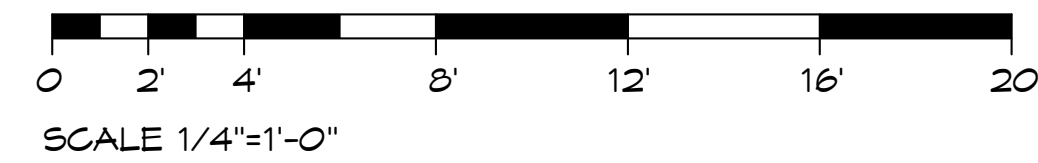
SOUTH ELEVATION
CRI RESIDENTIAL LOT #2
Guadalupe Street between 1st and 2nd Ave.
Carmel, CA 93921
A.P.N. 010-021-014

DATE: 3/18/22
SCALE: 1/4" = 1'-0"
DRAWN: CS
JOB NO. 2005

A-3.3
SHEET OF



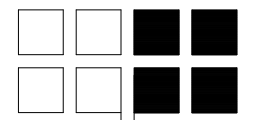
PROPOSED EAST ELEVATION - LOT #2



① EAST
1/4" = 1'-0"

REVISION	No.

CONSULTANT:



ARCHITECT:
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PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

EAST ELEVATION

CRI RESIDENTIAL LOT #2
Guadalupe Street between 1st and 2nd Ave.
Carmel, CA 93921
A.P.N. 010-021-014

DATE: 3/18/22

SCALE: 1/4" = 1'-0"

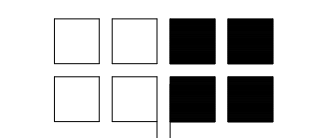
DRAWN CS

JOB NO. 2005

A-3.4
SHEET OF

REVISION	No.

CONSULTANT:



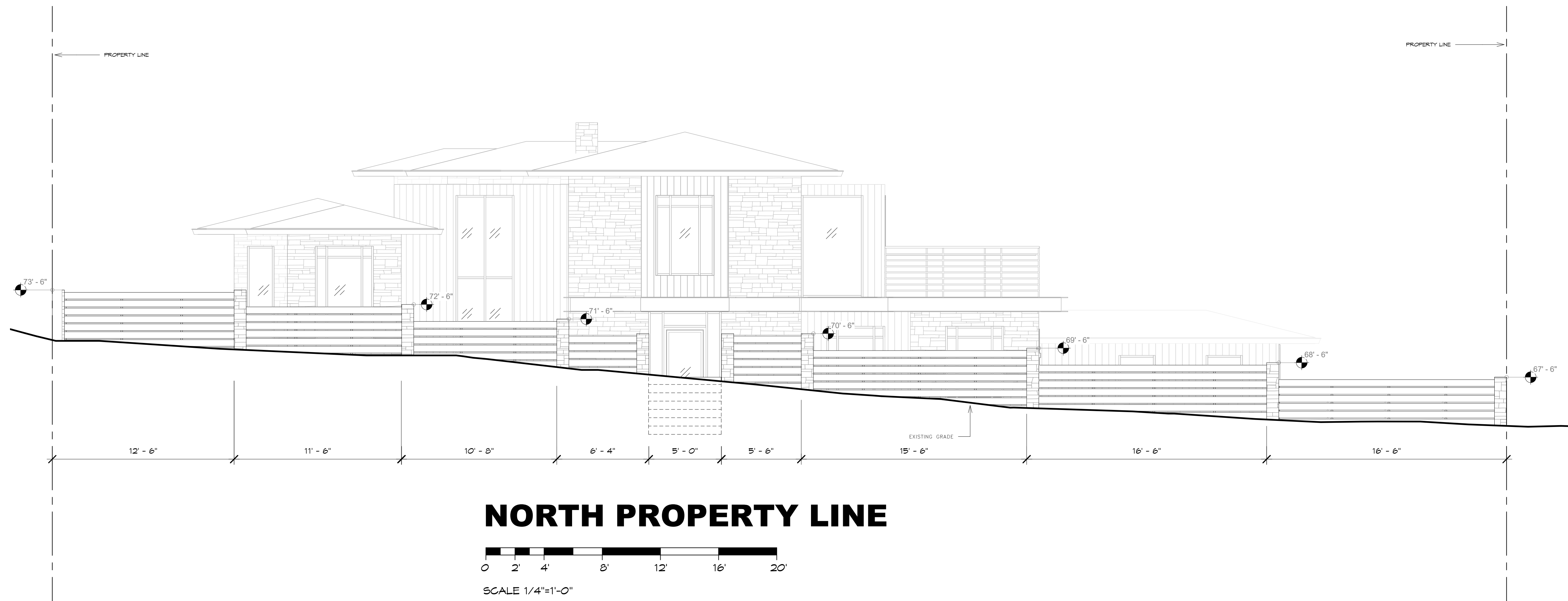
ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

NORTH/ SOUTH FENCING ELEVATIONS

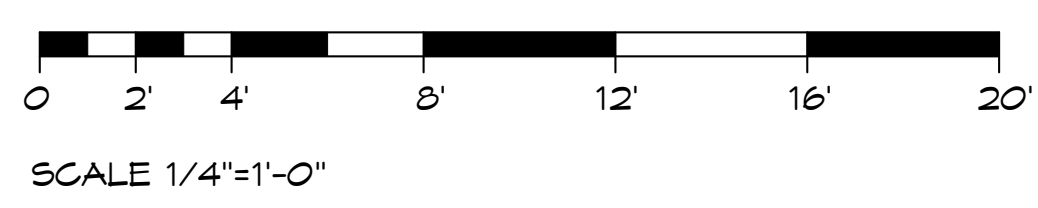
CRI RESIDENTIAL LOT #2
 Guadalupe Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-014

DATE: 3/18/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO. 2005

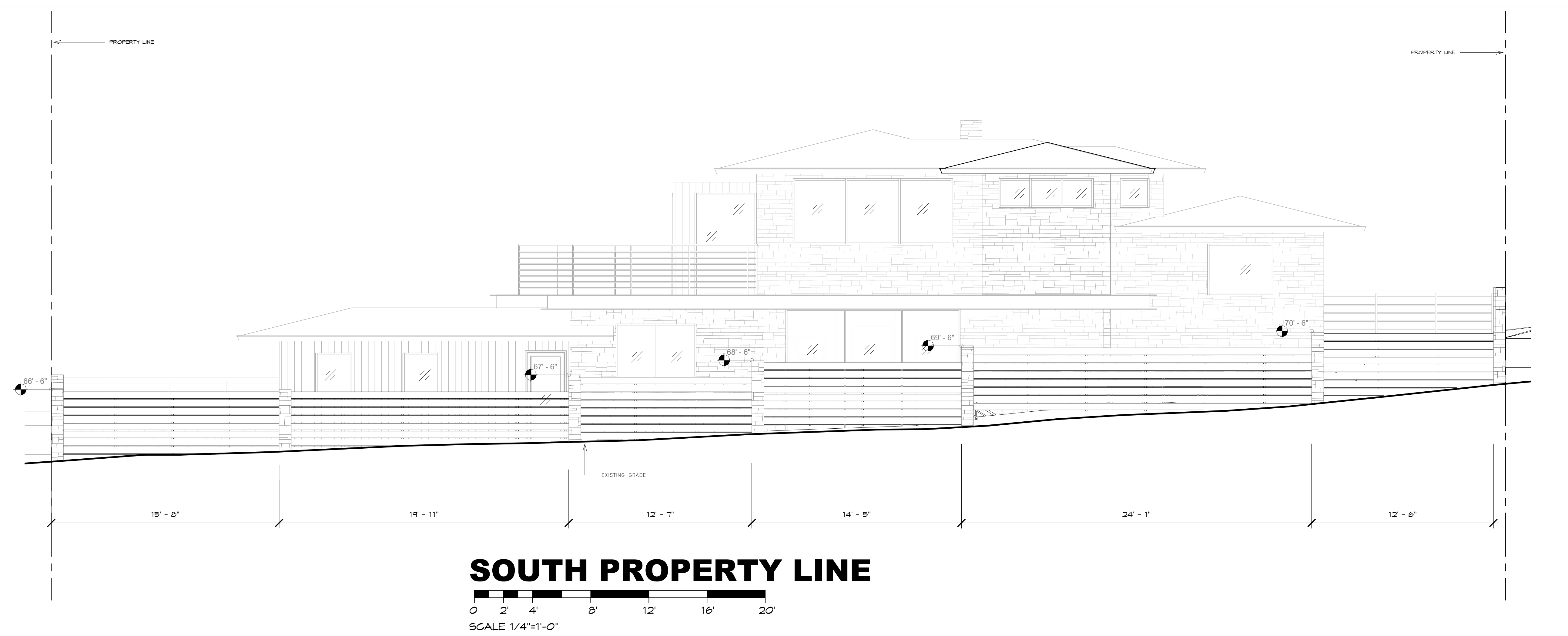
A-3.5
 SHEET OF



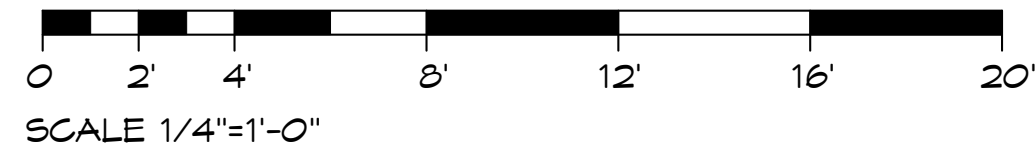
NORTH PROPERTY LINE



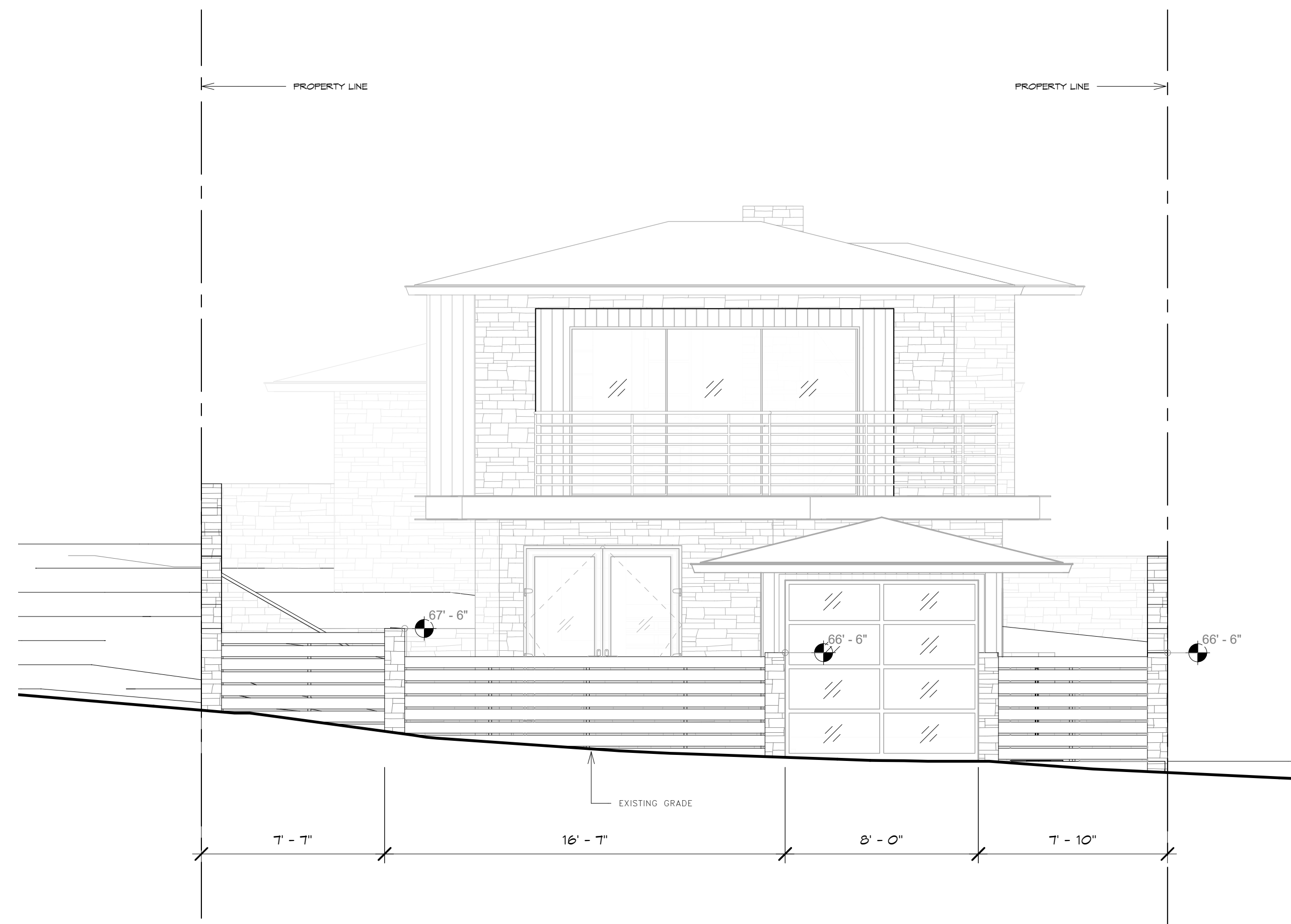
① NORTH FENCE
 1/4" = 1'-0"



SOUTH PROPERTY LINE



② SOUTH FENCE
 1/4" = 1'-0"



WEST PROPERTY LINE



SCALE 1/4"=1'-0"

① WEST FENCE
1/4" = 1'-0"



EAST PROPERTY LINE

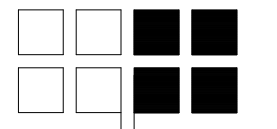


SCALE 1/4"=1'-0"

② EAST FENCE
1/4" = 1'-0"

REVISION	No.

CONSULTANT:



ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**

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EAST / WEST FENCING ELEVATIONS

CR1 RESIDENTIAL LOT #2

Guadalupe Street between 1st and 2nd Ave.
Carmel, CA 93921
A.P.N. 010-021-014

DATE: 3/18/22

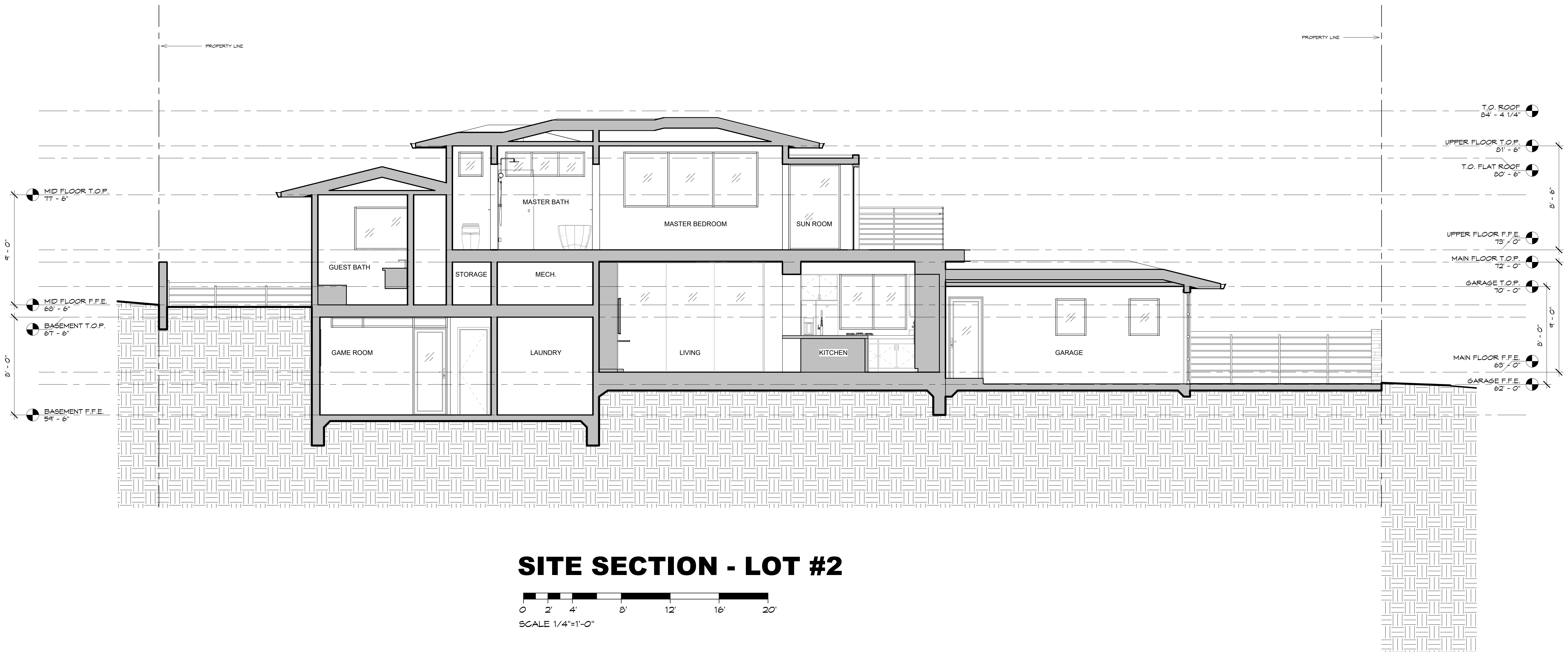
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DRAWN CS

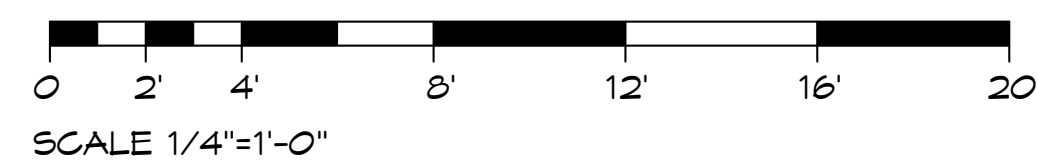
JOB NO. 2005

A-3.6

SHEET OF



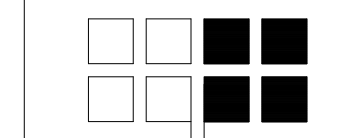
SITE SECTION - LOT #2



① Section 1
1/4" = 1'-0"

REVISION	No.

CONSULTANT:



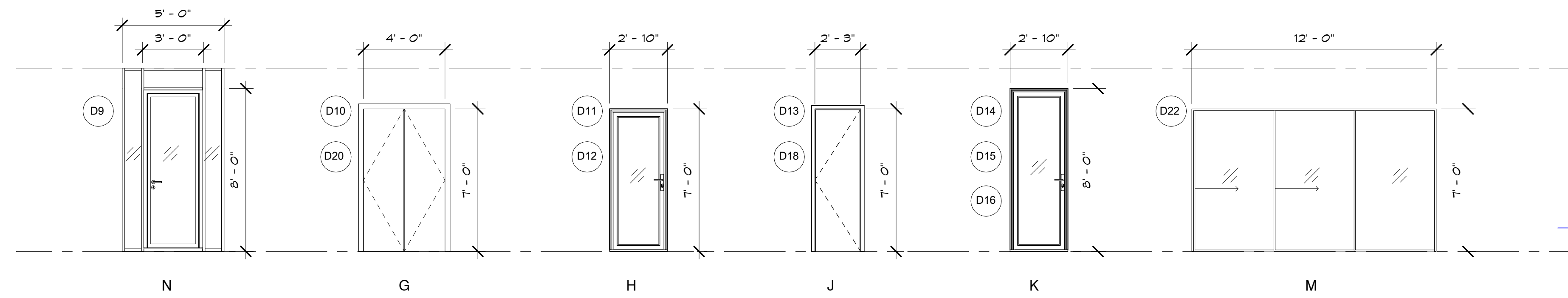
ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**
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SECTIONS
CR1 RESIDENTIAL LOT #2
 Guadalupe Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-014

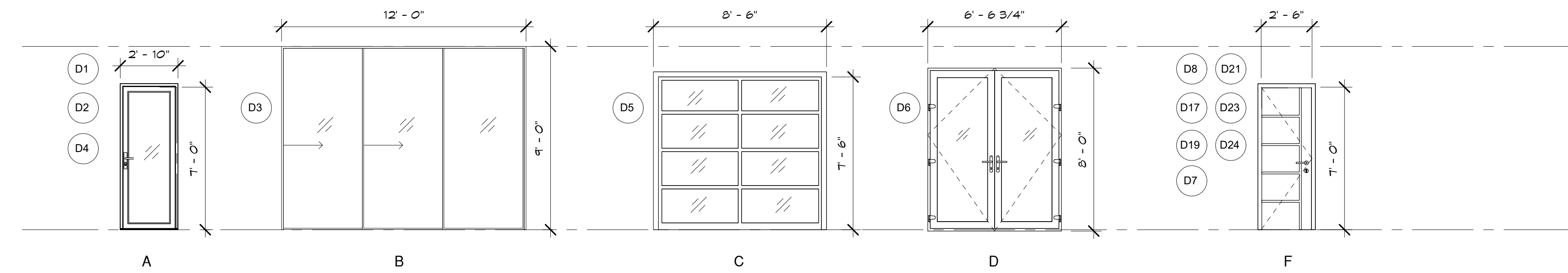
DATE: 3/18/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO. 2005

A-4.1
 SHEET OF

Door Schedule						
Mark	Type Mark	Width	Height	Level	Door Material	Frame Material
D1	A	2' - 10"	7' - 0"	BASEMENT F.F.E.	Tempered Glass	Metal
D2	A	2' - 10"	7' - 0"	BASEMENT F.F.E.	Tempered Glass	Metal
D3	B	12' - 0"	9' - 0"	MAIN FLOOR F.F.E.	Wood	Wood
D4	A	2' - 10"	7' - 0"	GARAGE F.F.E.	Tempered Glass	Metal
D5	C	8' - 6"	7' - 6"	GARAGE F.F.E.	Tempered Glass	Metal
D6	D	6' - 6 3/4"	8' - 0"	MAIN FLOOR F.F.E.	Tempered Glass	Metal
D7	F	2' - 6"	7' - 0"	MAIN FLOOR F.F.E.	Wood	Wood
D8	F	2' - 6"	7' - 0"	MAIN FLOOR F.F.E.	Wood	Wood
D10	G	4' - 0"	7' - 0"	MAIN FLOOR F.F.E.	Wood	Wood
D11	H	2' - 10"	7' - 0"	BASEMENT F.F.E.	Frosted Glass	Metal
D12	H	2' - 10"	7' - 0"	BASEMENT F.F.E.	Frosted Glass	Metal
D13	J	2' - 3"	7' - 0"	BASEMENT F.F.E.	Wood	Wood
D14	K	2' - 10"	8' - 0"	MID FLOOR F.F.E.	Tempered Glass	Metal
D15	K	2' - 10"	8' - 0"	MID FLOOR F.F.E.	Tempered Glass	Metal
D16	K	2' - 10"	8' - 0"	MID FLOOR F.F.E.	Tempered Glass	Metal
D17	F	2' - 6"	7' - 0"	MID FLOOR F.F.E.	Wood	Wood
D18	J	2' - 3"	7' - 0"	MID FLOOR F.F.E.	Wood	Wood
D19	F	2' - 6"	7' - 0"	MID FLOOR F.F.E.	Wood	Wood
D20	G	4' - 0"	7' - 0"	MID FLOOR F.F.E.	Wood	Wood
D21	F	2' - 6"	7' - 0"	UPPER FLOOR F.F.E.	Wood	Wood
D22	M	12' - 0"	7' - 0"	UPPER FLOOR F.F.E.	Tempered Glass	Metal
D23	F	2' - 6"	7' - 0"	UPPER FLOOR F.F.E.	Wood	Wood
D24	F	2' - 6"	7' - 0"	UPPER FLOOR F.F.E.	Wood	Wood
D9	N	3'-0"	8'-0"	MAIN FLOOR F.F.E.	Glass	Metal



② DOOR SCHEDULE 2
1/4" = 1'-0"



① DOOR SCHEDULE
1/4" = 1'-0"

DOOR NOTES

ALL NEW DOORS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED (U.O.N.),

- SHALL BE 2'-0" X 7'-0" MINIMUM.
- SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
- THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 3/4" ABOVE FINISH FLOOR, EGRESS DOORS TO HAVE A MAX. HEIGHT OF 1/2" A.F.F.
- PROVIDE (2) PAIR, 4-1/2" X 4-1/2" BUTTS ON ALL DOORS.
- ALL HARDWARE TO BE ROCKY MOUNTAIN OR EQUIVALENT, SELECTED BY OWNER.
- ALL FIRE-RATED DOORS SHALL HAVE FIRE-RESISTANCE RATING OF 20 MINUTES, PEMKO S88D (OR EQUIVALENT) SMOKE SEALS AND SHALL BE TIGHT-FITTING, SELF-CLOSING, AND SELF-LATCHING.
- ALL EXTERIOR DOORS TO BE WEATHER STRIPPED.
- ALL WOOD DOORS SHALL BE SOLID CORE.
- EXTERIOR GLAZED DOORS SHALL BE MULTI-PANE INSULATED GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-TA-2. [R337.8.2.1] ALL DOOR GLAZING TO BE TEMPERED.
- ALL HINGED SHOWER DOORS SHALL OPEN OUTWARD PER CBC SECTION 1134A.6.7 AND SHALL BE SAFETY GLAZING, PER CBC 2406.4.5.
- REQUIRED NATURAL LIGHT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% OF ROOM FLOOR AREA.
- REQUIRED NATURAL VENT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE AREA OF OPENINGS NOT LESS THAN 4% OF AREAS BEING VENTED.
- EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITION-RESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8" THICK WITH INTERIOR PANEL THICKNESS NO LESS THAN 1-1/4" THICK, SHALL HAVE FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM 12-TA-1 AND ASTM E2707. [R337.8.3]

REVISION	No.

CONSULTANT:

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ARCHITECT:

DOOR SCHEDULE

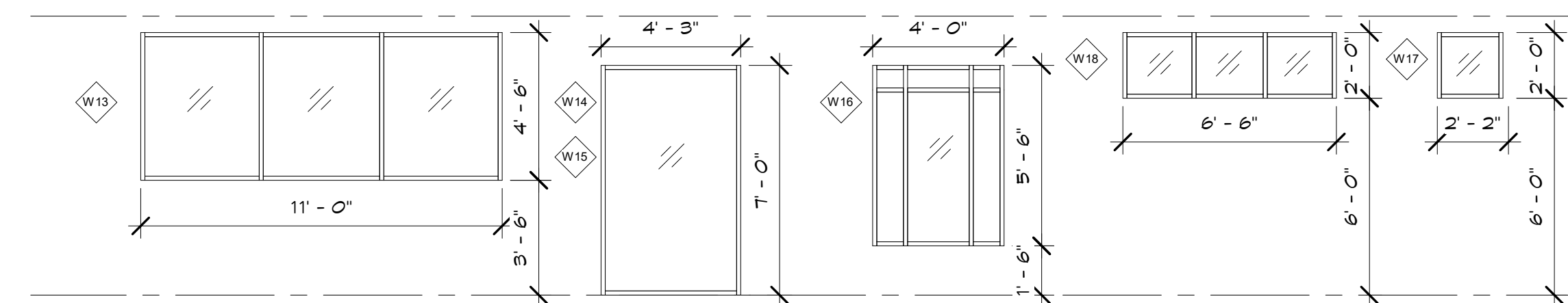
CR1 RESIDENTIAL LOT #2

Guadalupe Street between 1st and 2nd Ave.
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 A.P.N. 010-021-014

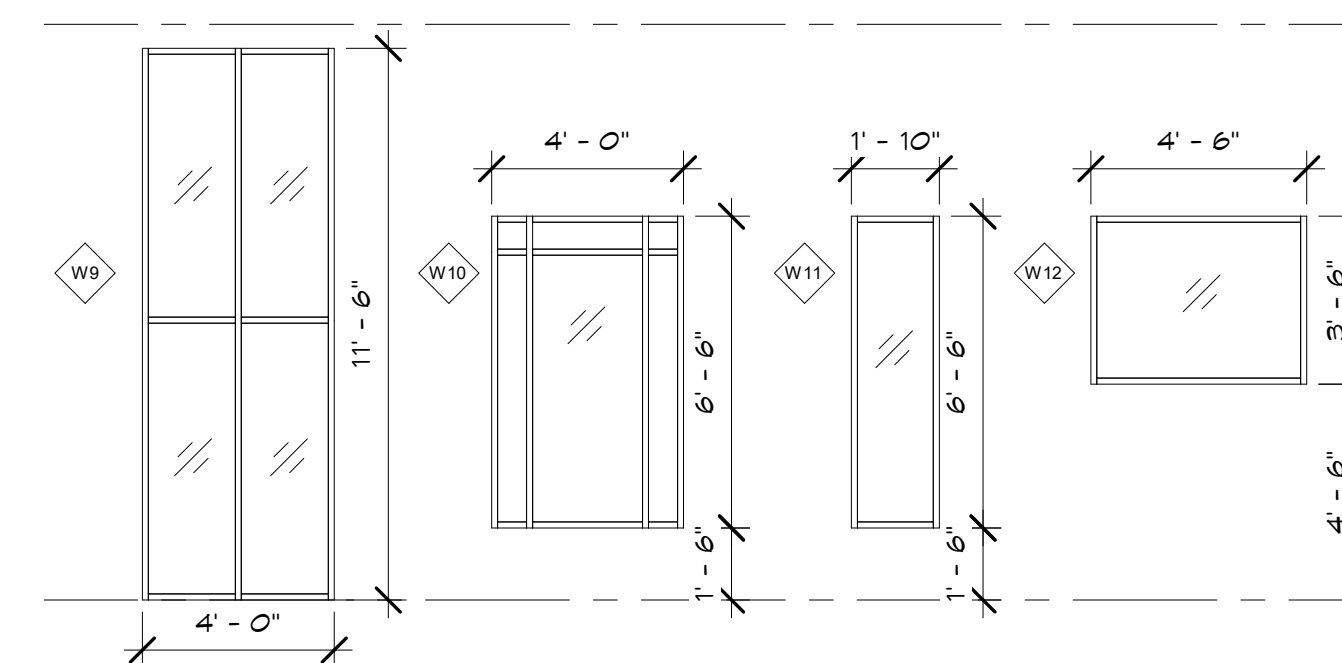
DATE: 3/18/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO. 2005

A-5.1
 SHEET OF

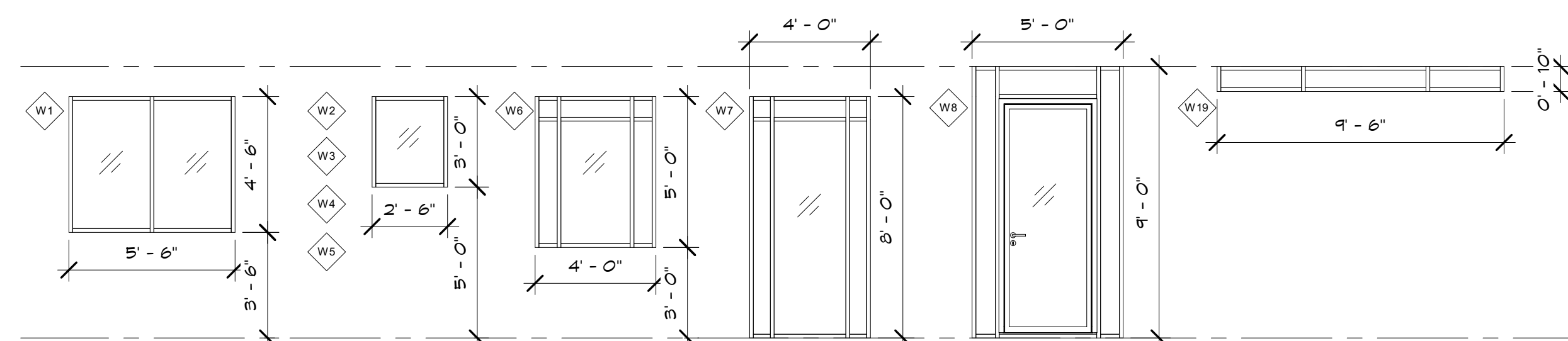
Window/ Glass Wall Schedule									
Mark	Type	Type Mark	Height	Width	Base Constraint	Base Offset	Top Constraint	Top Offset	Comments
W1	Storefront	W2	4' - 6"	5' - 6"	MAIN FLOOR F.F.E.	3' - 6"	Up to level: UPPER FLOOR F.F.E.	-2' - 0"	Double Glazed, Black Metal
W2	Storefront	W2	3' - 0"	2' - 6"	MAIN FLOOR F.F.E.	3' - 0"	Up to level: GARAGE T.O.P.	-1' - 0"	Double Glazed, Black Metal
W3	Storefront	W2	3' - 0"	2' - 6"	MAIN FLOOR F.F.E.	3' - 0"	Up to level: GARAGE T.O.P.	-1' - 0"	Double Glazed, Black Metal
W4	Storefront	W2	3' - 0"	2' - 6"	MAIN FLOOR F.F.E.	3' - 0"	Up to level: GARAGE T.O.P.	-1' - 0"	Double Glazed, Black Metal
W5	Storefront	W2	3' - 0"	2' - 6"	MAIN FLOOR F.F.E.	3' - 0"	Up to level: GARAGE T.O.P.	-1' - 0"	Double Glazed, Black Metal
W6	Storefront	W2	5' - 0"	4' - 0"	MAIN FLOOR F.F.E.	3' - 0"	Up to level: UPPER FLOOR F.F.E.	-2' - 0"	Double Glazed, Black Metal
W7	Storefront	W2	8' - 0"	4' - 0"	MAIN FLOOR F.F.E.	0' - 0"	Up to level: UPPER FLOOR F.F.E.	-2' - 0"	Double Glazed, Black Metal
W8	Storefront	W2	9' - 0"	5' - 0"	MAIN FLOOR F.F.E.	0' - 0"	Up to level: UPPER FLOOR F.F.E.	-1' - 0"	Double Glazed, Black Metal
W9	Storefront	W2	11' - 6"	4' - 0"	MID FLOOR F.F.E.	0' - 0"	Up to level: UPPER FLOOR T.O.P.	-1' - 6"	Double Glazed, Black Metal
W10	Storefront	W2	6' - 6"	4' - 0"	MID FLOOR F.F.E.	1' - 6"	Up to level: MID FLOOR T.O.P.	-1' - 0"	Double Glazed, Black Metal
W11	Storefront	W2	6' - 6"	1' - 10"	MID FLOOR F.F.E.	1' - 6"	Up to level: MID FLOOR T.O.P.	-1' - 0"	Double Glazed, Black Metal
W12	Storefront	W2	3' - 6"	4' - 6"	MID FLOOR F.F.E.	4' - 6"	Up to level: MID FLOOR T.O.P.	-1' - 0"	Double Glazed, Black Metal
W13	Storefront	W2	4' - 6"	11' - 0"	UPPER FLOOR F.F.E.	3' - 6"	Up to level: UPPER FLOOR T.O.P.	-0' - 6"	Double Glazed, Black Metal
W14	Storefront	W2	7' - 0"	4' - 6"	UPPER FLOOR F.F.E.	0' - 0"	Up to level: UPPER FLOOR T.O.P.	-1' - 6"	Double Glazed, Black Metal
W15	Storefront	W2	7' - 0"	4' - 6"	UPPER FLOOR F.F.E.	0' - 0"	Up to level: UPPER FLOOR T.O.P.	-1' - 6"	Double Glazed, Black Metal
W16	Storefront	W2	5' - 6"	4' - 0"	UPPER FLOOR F.F.E.	1' - 6"	Up to level: UPPER FLOOR T.O.P.	-1' - 6"	Double Glazed, Black Metal
W17	Storefront	W2	2' - 0"	2' - 0"	UPPER FLOOR F.F.E.	6' - 0"	Up to level: UPPER FLOOR T.O.P.	-0' - 6"	Double Glazed, Black Metal
W18	Storefront	W2	2' - 0"	6' - 6"	UPPER FLOOR F.F.E.	6' - 0"	Up to level: UPPER FLOOR T.O.P.	-0' - 6"	Double Glazed, Black Metal
W19	Storefront	W2	0' - 10"	9' - 6"	BASEMENT F.F.E.	7' - 2"	Up to level: MID FLOOR F.F.E.	-1' - 0"	Double Glazed, Black Metal



3 WINDOWS UPPER LEVEL
1/4" = 1'-0"



2 WINDOWS MID LEVEL
1/4" = 1'-0"



1 WINDOWS BASEMENT/ MAIN LEVEL
1/4" = 1'-0"

WINDOW NOTES

ALL WINDOWS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED (U.O.N.).

- EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 24 INCHES IN HEIGHT, 20 INCHES IN WIDTH, 5.7 S.F. IN AREA, AND A SILL HEIGHT NOT MORE THAN 44" A.F.F. PER CRC SECTION R310.1.
- WOOD WINDOWS - POWDER-COATED ALUMINUM-GLAD WOOD WINDOWS, PAINTED INTERIORS - COLORS TO BE SELECTED.
- ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH CRC SECTION R308.3. ALL SAFETY GLAZING IN HAZARDOUS LOCATIONS SHALL COMPLY WITH CRC SECTION R308.4.
- ALL SLOPED GLAZING SHALL COMPLY WITH CRC SECTION R308.6 FOR INSTALLATION AND MATERIALS.
- SEE WINDOW TYPES THIS SHEET FOR OPERABLE PORTIONS OF WINDOWS AND TO VERIFY NATURAL VENTILATION PER CRC SEC. R303.1 AND EGRESS PER CRC SEC. R310.
- ALL WINDOW GLAZING SHALL BE LOW-E, DOUBLE GLAZED U.O.N.
- ALL EXTERIOR OPENINGS SHALL PROVIDE NATURAL LIGHTING, IN HABITABLE ROOMS, WITH AN AREA OF NOT LESS THAN 8% OF ROOM FLOOR AREA PER CRC SEC. R303.1, AND NATURAL VENTILATION WITH AN AREA OF NOT LESS THAN 4% OF ROOM FLOOR AREA PER CRC SECTION 303.1.
- TEMPERED SAFETY GLAZING,
 - IS REQUIRED WHERE THE NEAREST EDGE OF GLAZING IS WITHIN A 24-INCH ARC OF EITHER SIDE OF A DOOR IN A CLOSED POSITION (UNLESS THERE IS AN INTERVENING WALL BETWEEN THE DOOR AND THE GLAZING, OR IF THE GLAZING IS 5' OR HIGHER ABOVE THE WALKING SURFACE).
 - GLAZING GREATER THAN 9 SQUARE FEET WITH THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND THE TOP EDGE GREATER THAN 36" ABOVE THE FLOOR (UNLESS THE GLAZING IS MORE THAN 36" HORIZONTALLY AWAY FROM THE WALKING SURFACES OR IF A COMPLYING PROTECTIVE BAR IS INSTALLED).
 - GLAZING IN SHOWER AND TUB ENCLOSURES (LESS THAN 60" ABOVE STANDING SURFACE)
 - GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE GLAZING IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
 - WINDOWS IN BATHROOMS ARE TEMPERED IF LESS THAN 60" HORIZONTAL OR VERTICAL FROM STANDING SURFACE OF TUB AND/OR SHOWER. [CRC SECTION 308.4.5]
- EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE EITHER MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PAN, GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [CRC SECTION R337.0.2.1]

REVISION	No.

CONSULTANT:

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WINDOW/ GLASS WALL SCHEDULE

CRI RESIDENTIAL LOT #2
 Guadalupe Street between 1st and 2nd Ave.
 Carmel, CA 95021
 A.P.N. 010-021-014

DATE: 3/18/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO. 2005

A-5.2
 SHEET OF



BLACK METAL WINDOW / GLASS WALL SYSTEMS



1 GLAZING



DROP CHANNEL WALNUT VERTICAL SIDING

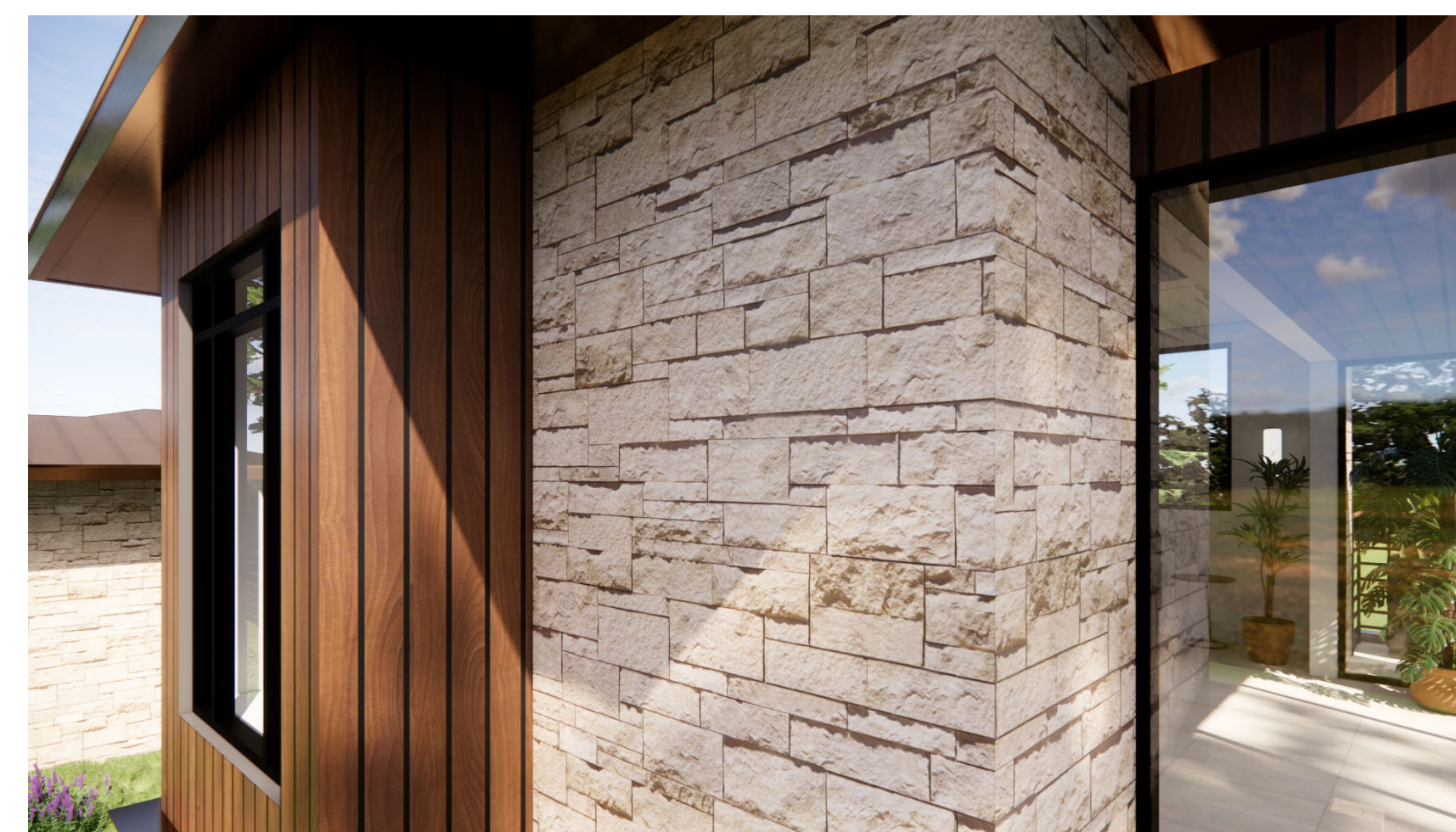


5 EXTERIOR FINISH



BLACK METAL GUARDRAIL WITH WALNUT TOP RAIL

2 RAILINGS



CARMELO STONE VENEER

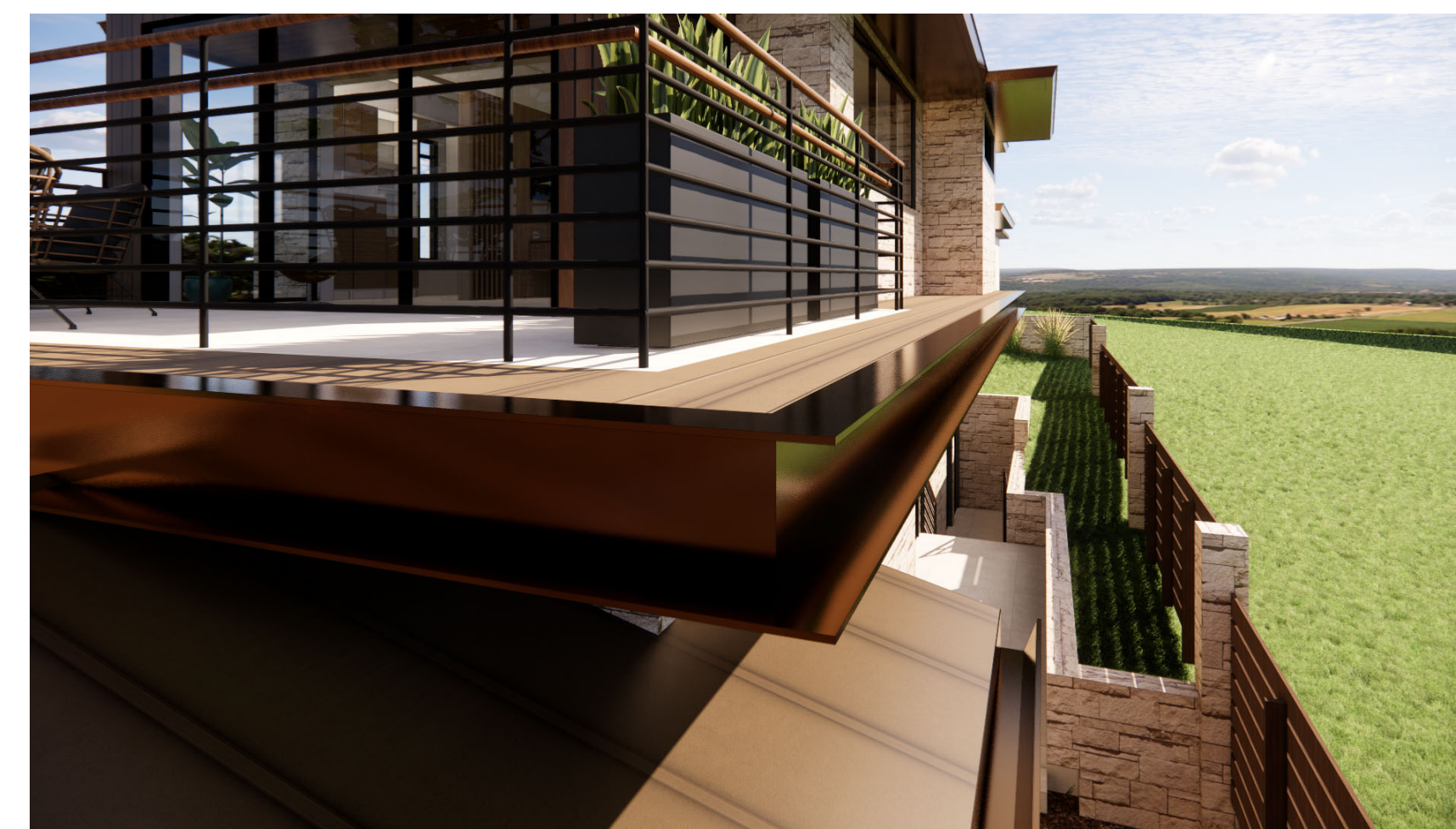
6 EXTERIOR FINISH



PERMEABLE PAVERS



3 DRIVEWAY PAVERS

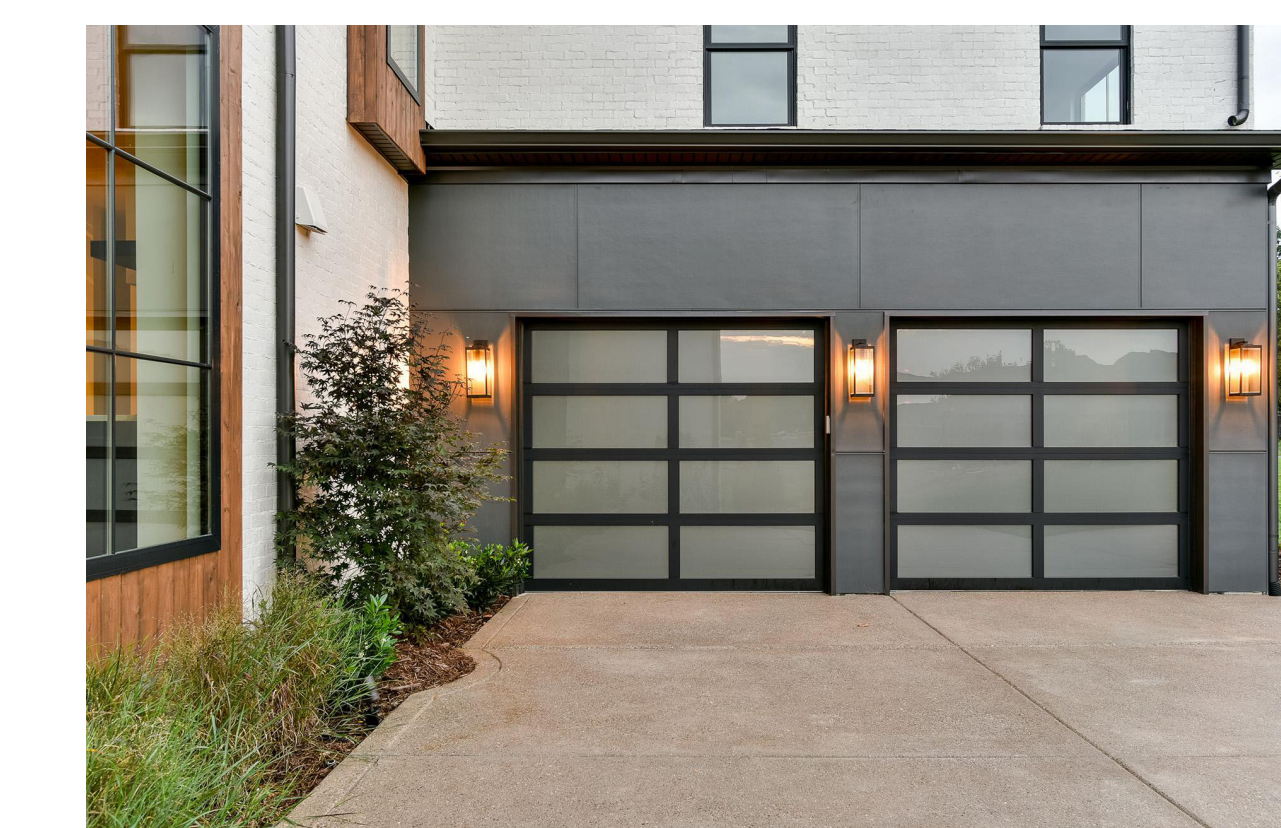


ANTIQUE BRONZE COLOR FASCIA

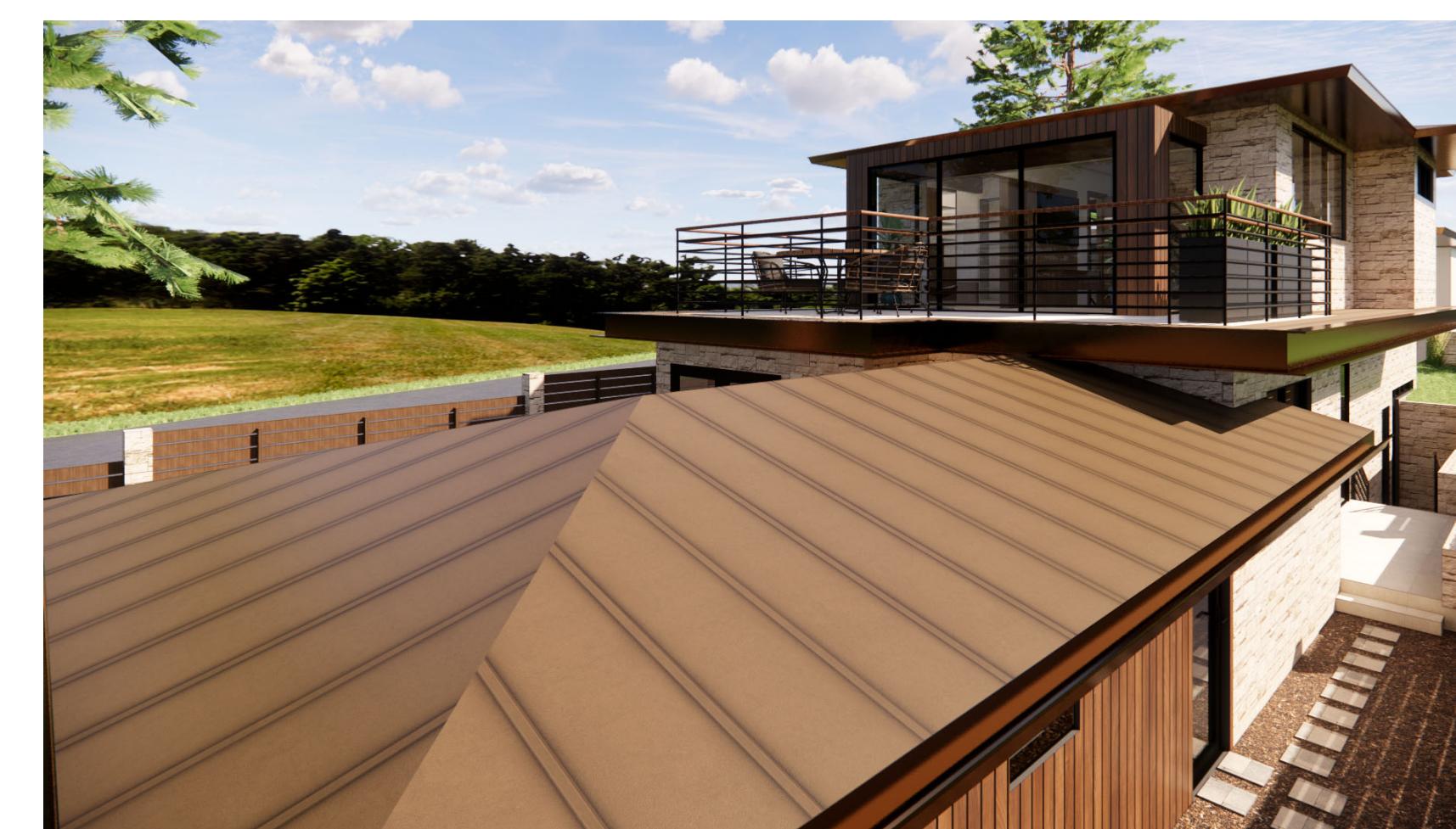
7 FASCIA



BLACK METAL AND GLASS GARAGE DOOR



4 GARAGE DOOR



FABRAL STANDING SEAM METAL ROOF

8 ROOFING



Antique Bronze 854
SR: .29 IE: .83 SRI: 27

Siliconized Modified Polyester (SMP)
paint system

Available in Midwest, Northeast /
Mid-Atlantic, Western for
Commercial, Residential systems

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MATERIAL SAMPLES
CRI RESIDENTIAL LOT #2
 Guadalupe Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-014

DATE: 3/18/22
 SCALE:
 DRAWN: CS
 JOB NO.: 2005
A-6.1
 SHEET OF