

CRI - SUITES

Carpenter Street between 1st & 2nd Avenue

Carmel-By-The-Sea, CA 93921

REVISION	No.

CONSULTANT:

ARCHITECT:

ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

COVER SHEET

CRI SUITES
 Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22

SCALE:

DRAWN CS

JOB NO. 18.21

A-0.1
 SHEET OF

GENERAL NOTES

- CONTRACTOR LICENSE: THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE: THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL: IT IS THE DIRECT INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE OWNER AND ARCHITECT SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.
- WARRANTY: THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS: UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL NOTICE/CODE COMPLIANCE: THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (2019 C.B.C.)
- CONSTRUCTION RESPONSIBILITY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- JOB SITE SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.
- INSURANCE: LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY, INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRE CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- INDEMNIFICATION: THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT FROM AND AGAINST ALL CLAIMS/DAMAGES/LOSSES/ AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANING UP: THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- EXISTING CONDITIONS: CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS, CONDITION AND EXISTING, AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
- CONSTRUCTION NOTES: ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- BUILDING CODES: THIS PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA FIRE CODE (CFC), CALIFORNIA GREEN BUILDING CODE (CGB) AND CALIFORNIA TITLE-24 ENERGY CODE.

PROJECT DATA

ADDRESS: CARPENTER STREET BETWEEN 1ST AND 2ND AVENUE CARMEL-BY-THE-SEA, CA 93921

PROJECT DESCRIPTION: REPLACING BUILDINGS 1,2,3, AND 4 WITH NEW CONSTRUCTION, REMODELING BUILDING 12 INTO A CARETAKER'S OFFICE, REMODELING ALL OTHER CRI UNITS, DEMOLISHING BUILDING 13, ADDING TWO PARKING SPOTS IN PLACE OF BUILDING 13. (SEE SHEET A-0.4 FOR BLDG. NUMBERS)

LOT SIZE: 32,000 S.F.

ZONING: R-1

A.P.N.: 010-021-002 / 010-021-003
 010-021-024 / 010-021-025
 010-021-026 / 010-021-027
 010-021-028 / 010-021-029 (V-B)

TYPE OF CONSTRUCTION: (V-B)

BLOCK: 17

SETBACK

FRONT: 15'

REAR: 15'

SIDE: 25% OF SITE WIDTH - 3' MIN.

STREET SIDE: 5'

INTERIOR SIDE: 3'

BUILDING HEIGHT: ONE STORY PLATE HT. - 12.0'
 TWO STORY PLATE HT. - 18.0'
 MAX ROOF HEIGHT- 24.0'

PROPOSED			
LOT No.	BUILDING	MAIN S.F.	
1	A	1575	
1	B	1218	
TOTAL		2,793	
3	C	1575	
3	D	1210	
TOTAL		2,783	

PROJECT TEAM

OWNER: CRI ON CARPENTER, INC.
 HITESS DESAI - CEO
 1240 MUNRAS AVENUE
 MONTEREY, CA 93940
 PH: 510-253-2100

ARCHITECT: ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVE.
 MONTEREY, CA 93940
 PH: 831-372-0410
 CONTACT: LYVEN VU

SURVEYOR: LANDSET ENGINEERING
 520-B CRAZY HORSE CANYON ROAD
 SALINAS, CA 93907
 PH: 831-443-6970
 CONTACT: GUY GIRAUDO

CIVIL:

LANDSCAPE:

ARBORIST:

Sheet List

Sheet Number	Sheet Name	Scale
A-0.1	COVER SHEET	
A-0.2	OVERALL RENDERED ELEVATION	
A-0.3	RENDERED ELEVATIONS	
A-0.4	AS-BUILT SITE PLAN	
A-1.1	PROPOSED OVERALL SITE PLAN	1/16"=1'-0"
A-1.2	SITE PLAN	1/4"=1'-0"
A-1.3	CALCULATIONS LEGEND	
A-2.1	BASEMENT FLOORPLAN	1/4"=1'-0"
A-2.2	MAIN LEVEL FLOORPLAN	1/4"=1'-0"
A-2.4	UPPER LEVEL FLOORPLAN	1/4"=1'-0"
A-2.5	ROOF PLAN	1/4"=1'-0"
A-2.6	MAIN FLOOR & UPPER FLOOR OVERLAY	1/4"=1'-0"
A-3.1	NORTH ELEVATION LOT 1	1/4"=1'-0"
A-3.2	SOUTH ELEVATION LOT 1	1/4"=1'-0"
A-3.3	WEST ELEVATION	1/4"=1'-0"
A-3.4	EAST ELEVATION	1/4"=1'-0"
A-3.5	EAST ELEVATION BLDG. B & D	1/4"=1'-0"
A-3.6	WEST ELEVATION BLDG A & C	1/4"=1'-0"
A-3.7	SOUTH ELEVATION LOT 3	1/4"=1'-0"
A-3.8	NORTH ELEVATION LOT 3	1/4"=1'-0"
A-3.9	NORTH/ SOUTH FENCING ELEVATIONS	1/4"=1'-0"
A-3.10	EAST/ WEST FENCING ELEVATIONS	1/4"=1'-0"
A-4.1	SECTIONS	1/4"=1'-0"
A-5.1	DOOR SCHEDULE	
A-5.2	WINDOW SCHEDULE	
A-6.1	MATERIAL SAMPLES- BLDG A	
A-6.2	MATERIAL SAMPLES- BLDG B	
A-6.3	MATERIAL SAMPLES- BLDG C	
A-6.4	MATERIAL SAMPLES- BLDG D	
A-6.5	RENDERED PERSPECTIVES	

OWNERSHIP NOTES

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

- TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED
- THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
- THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHER FOR ANOTHER SITE.
- IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

TREE REMOVAL

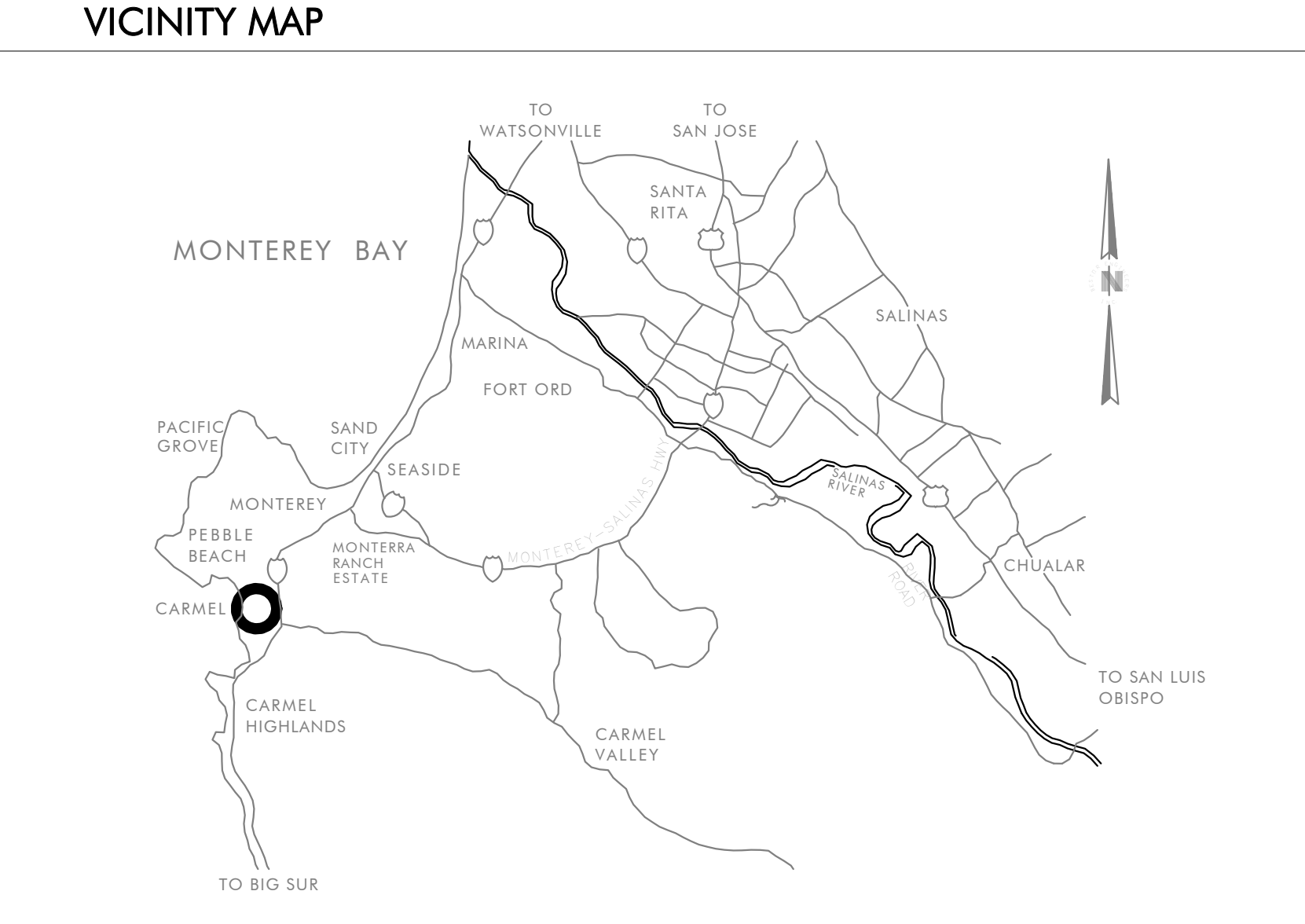
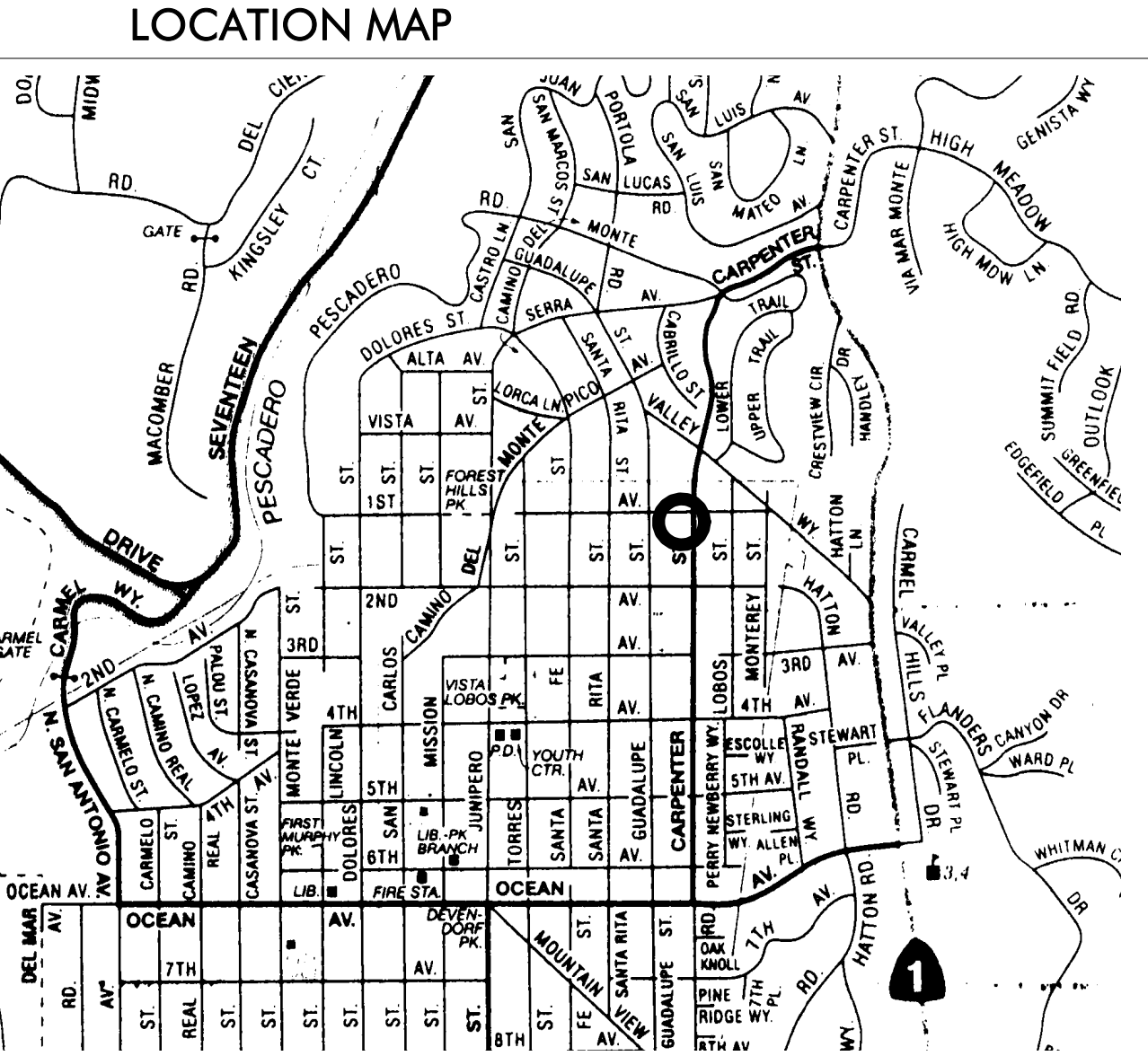
FIVE (5) TREES TO BE REMOVED: 24" P TREE, 25" K TREE, 32" P TREE, 18" T TREE, 21" C TREE

EXTERIOR LIGHTING NOTE

ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING SHALL BE NO HIGHER THAN 10 FEET ABOVE GROUND AND NOT EXCEED 25 WATTS (INCANDESCANT EQUIVALENT) IN POWER PER FIXTURE.

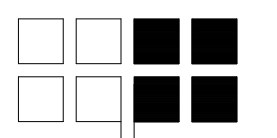
SITE COVERAGE

SEE SHEET A-1.3 CALCULATIONS LEGEND



REVISION	No.

CONSULTANT:



ARCHITECT:
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 FAX (831) 372-7840 WEB: ericmillerarchitects.com

OVERALL RENDERED ELEVATION

CR1 SUITES

Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22

SCALE:

DRAWN CS

JOB NO. 18.21

A-0.2
 SHEET OF





LOT 3

LOT 1

FIRST AVE.



CARPENTER STREET

LOT 1



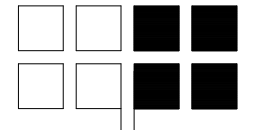
EXISTING STRUCTURE

LOT 3

LOT 1

REVISION	No.

CONSULTANT:



ARCHITECT:
ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

RENDERED ELEVATIONS

CR1 SUITES

Carpenter Street between 1st and 2nd Ave.
Garnet, CA 93931
A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22

SCALE:

DRAWN CS

JOB NO. 18.21

A-0.3
SHEET OF

REVISION	No.

ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

AS-BUILT SITE PLAN
CRI SITES
 Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

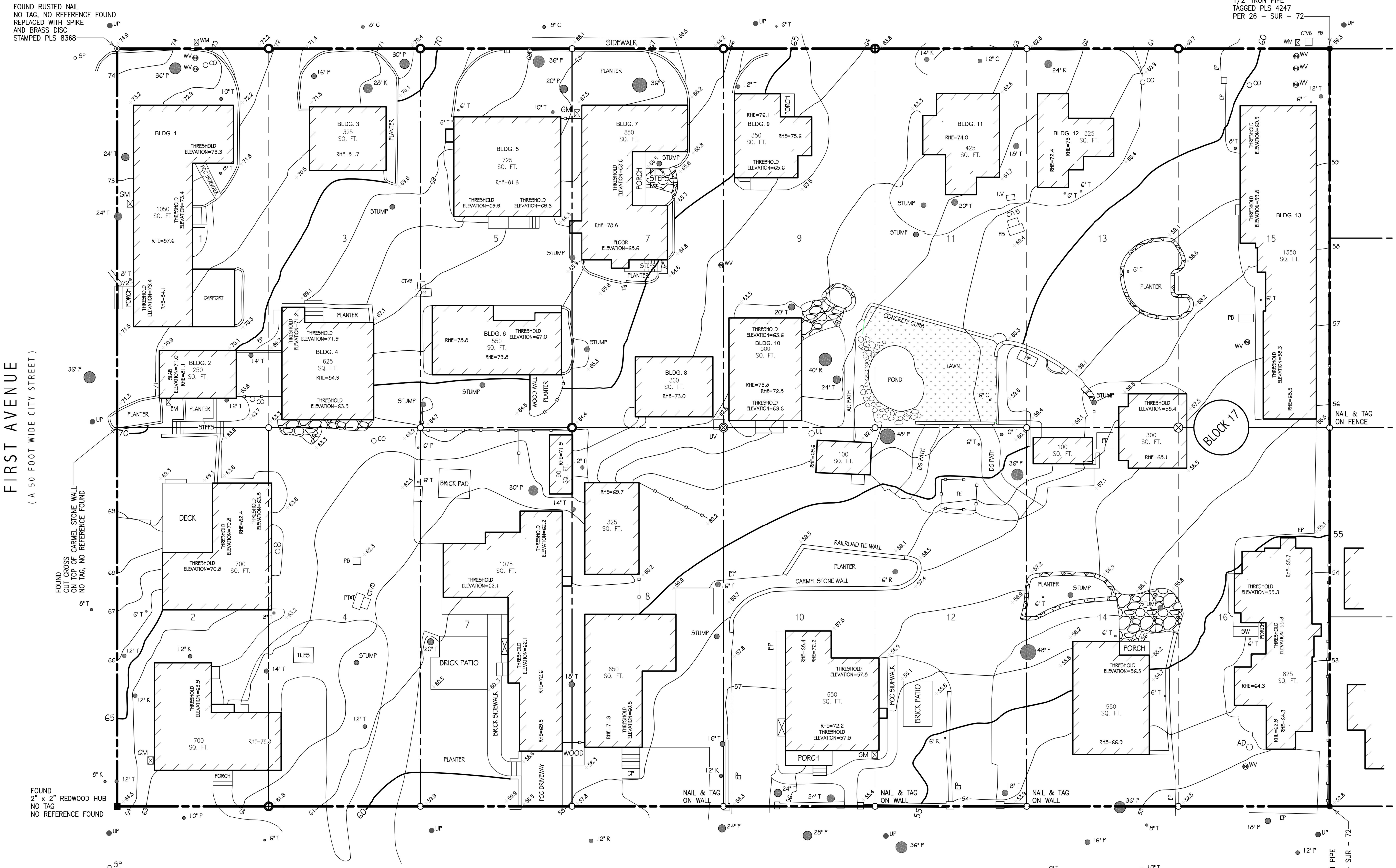
DATE: 4/14/22
 SCALE:
 DRAWN: CS
 JOB NO.: 18.21
A-0.4
 SHEET OF

CARPENTER STREET

(A 50 FOOT WIDE CITY STREET)

GUADALUPE STREET

(A 50 FOOT WIDE CITY STREET)



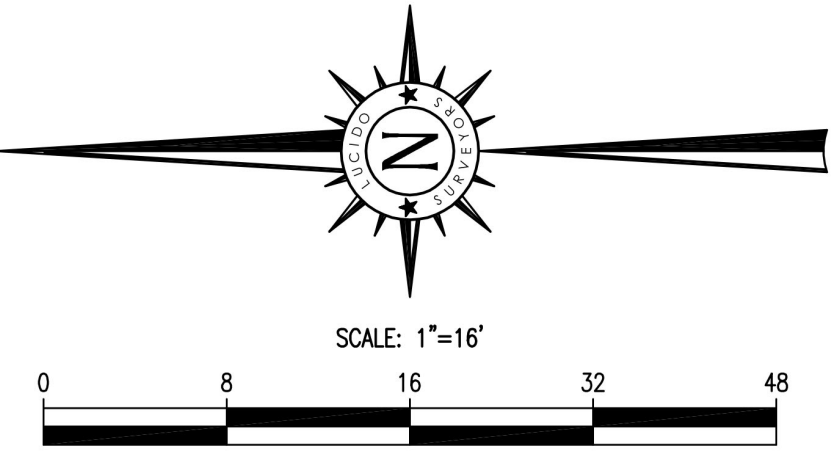
- | | |
|--|--|
| <p>LEGEND:</p> <ul style="list-style-type: none"> ● FOUND 1/2" IRON PIPE, PLS 4247 (UNLESS NOTED OTHERWISE) ■ FOUND 2x2 REDWOOD HUB (UNLESS NOTED OTHERWISE) ⊙ FOUND RUSTED NAIL REPLACED WITH SPIKE & BRASS DISC, PLS 8368 + FOUND CUT CROSS ON TOP OF CARMEL STONE WALL ○ SET 3/4" IRON BAR, PLS 8368 (UNLESS NOTED OTHERWISE) ⊙ SET SPIKE & BRASS DISC, PLS 8368 (UNLESS NOTED OTHERWISE) ⊕ SET DURA NAIL & BRASS DISC, PLS 8368 (UNLESS NOTED OTHERWISE) ⊗ CORNER FALLS IN UTILITY VAULT (MONUMENT NOT SET) ⊗ CORNER FALLS IN BUILDING (MONUMENT NOT SET) — RECORD BOUNDARY — RECORD RIGHT OF WAY — RECORD LOT LINE - - - OLD RECORD LINE — SO CONTOUR (MAJOR) — S0 CONTOUR (MINOR) — EP EDGE OF PAVEMENT — LIP OF GUTTER — FACE OF CURB — BACK OF CURB — SIDEWALK — DRIVEWAY — FLOWLINE — BUILDING OUTLINE — CHIMNEY — THRESHOLD ELEVATION — DECK — CONC PAD — STEP — PLANTER ● WV WATER VALVE ● WM WATER METER ● FH FIRE HYDRANT ● CD SANITARY SEWER CLEAN-OUT ● MH STORM DRAIN MANHOLE ● AD AREA DRAIN ● CB STORM DRAIN CATCH BASIN ● UP UTILITY POLE ● UL UTILITY LID — GW GUY WIRE □ EV ELECTRIC VAULT □ UV UTILITY VAULT ● EM ELECTRIC METER ● SL STREET LIGHT ● LP LAMP POST | <p>LEGEND (cont'd):</p> <ul style="list-style-type: none"> □ TS TELEPHONE STANDARD □ CTVB CABLE TELEVISION BOX ● GM GAS METER — WOOD FENCE — WIRE FENCE — CHAIN LINK FENCE ○ SP SIGN POST □ MB MAIL BOX ○ B BOLLARD □ P PILLAR — BLOCK WALL — BLOCK RETAINING WALL — ROCKS — STACKED BLOCK WALL — BRICK WALKWAY/PATIO — CARMEL STONE — PCC WALKWAY/PATIO AC ASPHALT CONCRETE CS CARMEL STONE CP CONCRETE PAD CONC CONCRETE DG DECOMPOSED GRANITE EX AGG EXPOSED AGGREGATE FP FIRE PIT PCC PORTLAND CEMENT CONCRETE PS PAVER STONE RTE RIDGE HEIGHT ELEVATION SW SIDEWALK TE TRASH ENCLOSURE — EDGE OF FOLIAGE ● T TREE WITH SIZE AND TYPE A ACACIA C CYPRESS K OAK P PINE R REDWOOD T TREE ● S SPOT ELEVATION |
|--|--|

- NOTES:**
- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS ON FILE. A SERIES OF CORNER RECORDS ARE CURRENTLY IN THE SUBMITTAL PROCESS TO THE COUNTY SURVEYOR. (SEE CORNER RECORD 2053).
 - ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
 - DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 - CONTOUR INTERVAL = ONE FOOT.
 - TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY. TO BE VERIFIED BY AN APPROVED ARBORIST PROVIDED BY OTHERS. PER AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 6" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
 - POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS, FENCES AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
 - NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
 - NOT ALL THE DETAIL OF EVERY PHYSICAL FEATURE ON THE SITE ARE SHOWN. ONLY THE NECESSARY DETAILS CONSIDERED BY THE ARCHITECT TO CONVEY THE GENERAL CONDITIONS OF THE SITE ARE SHOWN.
 - THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN DECEMBER OF 2018, MARCH AND APRIL OF 2019.

SQUARE FOOTAGE CALCULATIONS:

- Lots 1 through 16 total 64,000 square feet.
- The buildings and/or structures are shown approximate only due to measurement limitations, irregular shape of materials, pop-outs, bull nose corners, etc. The square footage number (shown as SQ. FT.) for each structure is also approximate only. The criteria for calculating the square footage for a building and/or structure can vary, depending on the needs of the interested parties. The interested parties have requested an approximate only calculation, based on approximate building and/or structure measurements. All of these figures are preliminary only, and subject to revision at a later date.

BENCHMARK:
 ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A MAG NAIL & DISC SET IN THE PAVEMENT NEAR THE SOUTHWESTERLY CORNER OF THE SUBJECT PROPERTY (SAID BENCHMARK NOT SHOWN).



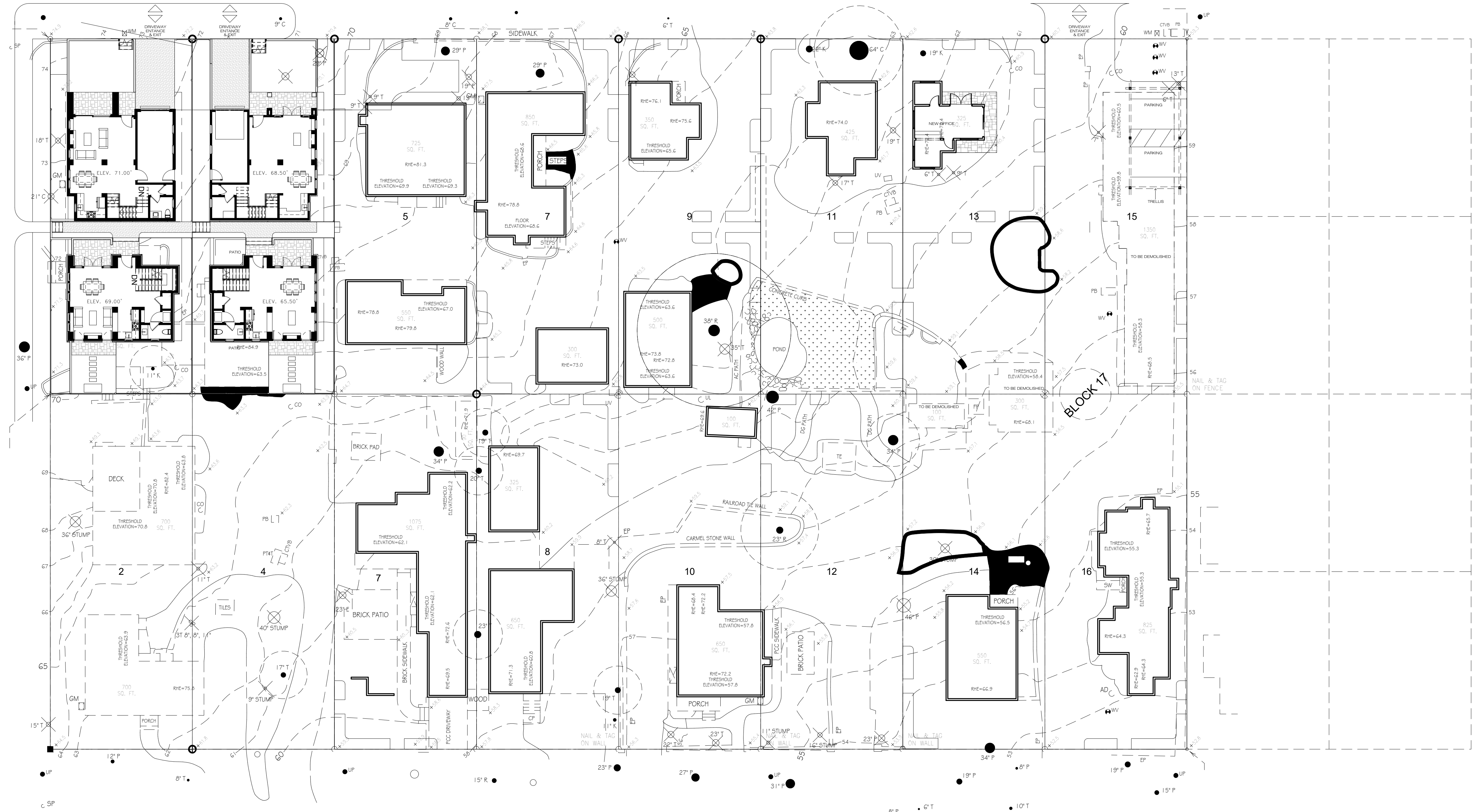
TOPOGRAPHIC SITE SURVEY
 OF
 Lots 1 thru 16 in Block 17
 per
 Volume 1 of Cities and Towns at Page 52
 Records of Monterey County
 PREPARED FOR
Don Desai
 BY
LUCIDO SURVEYORS
 Boundary and Construction Surveys · Topographic and Planimetric Mapping
 ALTA Surveys and GIS Database Management · Land Planning and Consulting
 2 Saucito Avenue info@lucidosurveyors.com
 DEL REY OAKS, CALIFORNIA 93940 (831) 620-5032

SCALE: 1"=16' PROJECT NO. 2163 APRIL 2019
 CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA

FIRST AVENUE
(A 50 FOOT WIDE CITY STREET)

CARPENTER STREET
(A 50 FOOT WIDE CITY STREET)

GUADALUPE STREET
(A 50 FOOT WIDE CITY STREET)



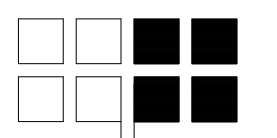
PROPOSED MAIN LEVEL SITE PLAN

1/16"=1'-0" SCALE

0 2 4 6 8 10 12 14 16 18 20

REVISION	No.

CONSULTANT:



ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

ARCHITECT:

PROPOSED OVERALL SITE PLAN

CR1 SITES

Carpenter Street between 1st and 2nd Ave.
Carmel, CA 93921
A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22

SCALE: 1/16" = 1'-0"

DRAWN: CS

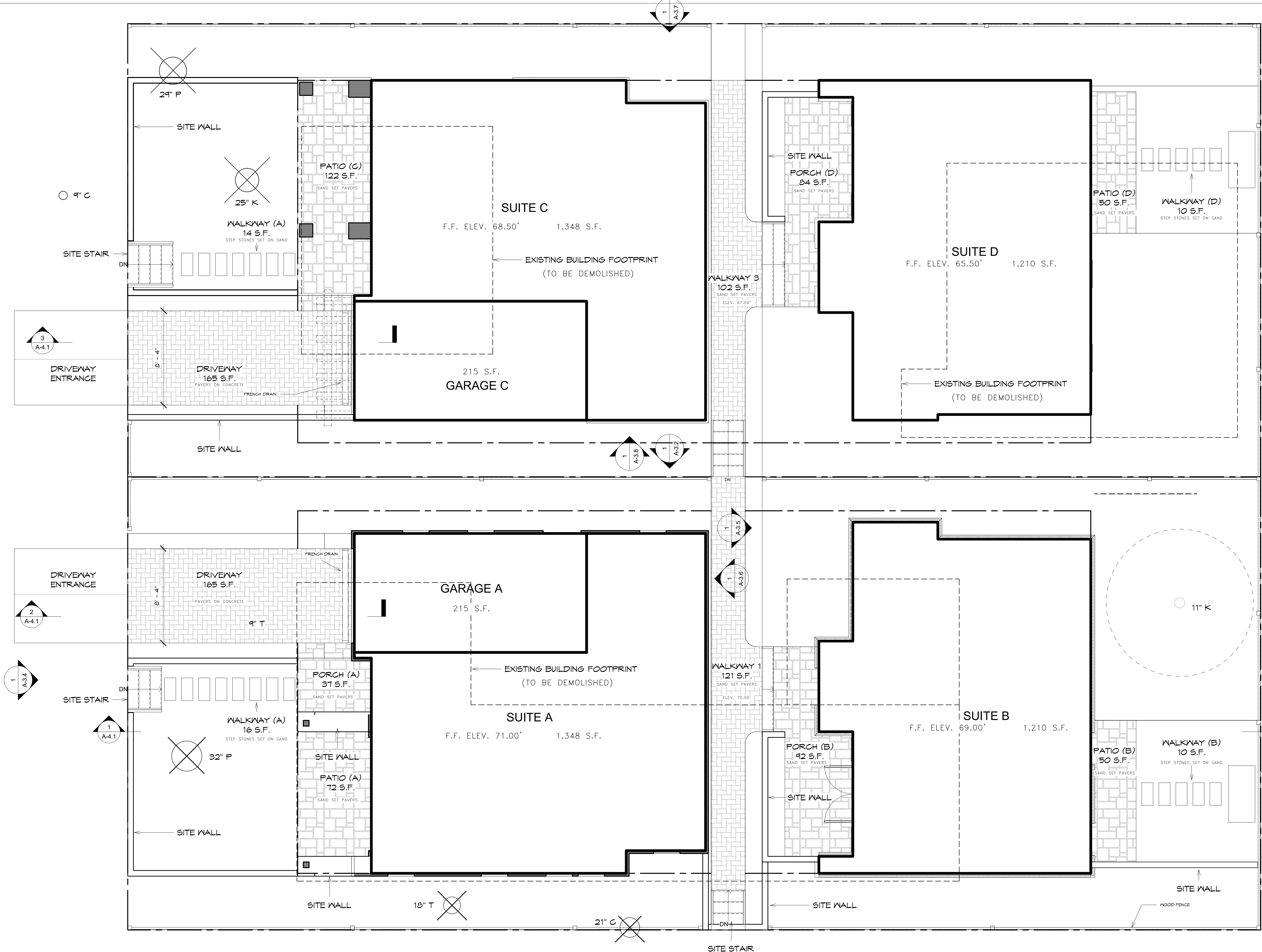
JOB NO. 18.21

A-1.1
SHEET OF

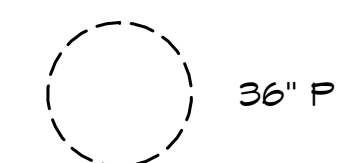
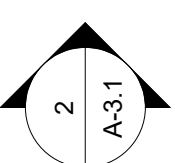
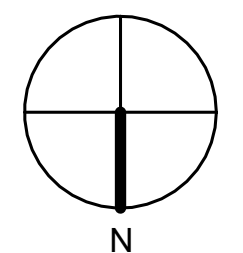
CARPENTER STREET

FIRST AVENUE

6" P

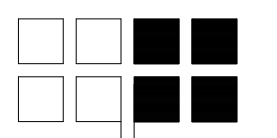


PROPOSED SITE PLAN- LOT 1 AND 3



REVISION	No.

CONSULTANT:



ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

SITE PLAN

CR1 SUITES

Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO.: 18.21

A-1.2
 SHEET OF

SITE COVERAGE LEGEND

LOT 1

SITE COVERAGE LOT 1	
ALLOWED	556 SF
PROPOSED IMPERVIOUS COVERAGE	
DRIVEWAY (PAVERS ON CONCRETE)	165 SF
SITE WALLS (STONE CLAD RETAINING WALLS)	68 SF
STAIRS (CAST STAIR)	20 SF
TOTAL IMPERVIOUS COVERAGE	253 SF
PROPOSED PERVIOUS COVERAGE	
PORCH A (SAND-SET PAVERS)	31 SF
PATIO A (PAVERS SET IN SAND)	72 SF
PORCH B (SAND-SET PAVERS)	42 SF
PATIO B (SAND-SET PAVERS)	50 SF
WALKWAY A (STEP STONES SET ON SAND)	16 SF
WALKWAY B (STEP STONES SET ON SAND)	10 SF
TOTAL PERVIOUS COVERAGE	271 SF
TOTAL PROPOSED SITE COVERAGE	530 SF
INTRA-BLOCK WALKWAY	
WALKWAY 1 (PAVERS SET ON SAND)	121 SF

LOT 3

SITE COVERAGE LOT 3	
ALLOWED	556 SF
PROPOSED IMPERVIOUS COVERAGE	
DRIVEWAY (PAVERS ON CONCRETE)	165 SF
SITE WALLS (STONE CLAD RETAINING WALLS)	49 SF
STAIRS (CAST STAIR)	46 SF
TOTAL IMPERVIOUS COVERAGE	260 SF
PROPOSED PERVIOUS COVERAGE	
PATIO C (PAVERS SET IN SAND)	122 SF
PORCH D (SAND-SET PAVERS)	84 SF
PATIO D (SAND-SET PAVERS)	50 SF
WALKWAY C (STEP STONES SET ON SAND)	14 SF
WALKWAY D (STEP STONES SET ON SAND)	10 SF
TOTAL PERVIOUS COVERAGE	280 SF
TOTAL PROPOSED SITE COVERAGE	540 SF
INTRA-BLOCK WALKWAY	
WALKWAY 3 (PAVERS SET ON SAND)	102 SF

BUILDING AREA LEGEND

LOT 1

BUILDING A	
MAIN FLOOR	672 SF
UPPER FLOOR	688 SF
GARAGE	215 SF
BLDG. A TOTAL	1,575 SF
BUILDING B	
MAIN FLOOR	655 SF
UPPER FLOOR	563 SF
BLDG. B TOTAL	1,218 SF
OVERALL TOTAL	2,793 SF

BASEMENT A	302 SF
BASEMENT B	256 SF
TOTAL	558 SF

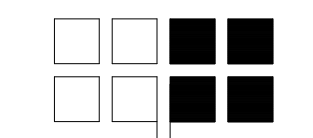
LOT 3

BUILDING C	
MAIN FLOOR	672 SF
UPPER FLOOR	688 SF
GARAGE	215 SF
BLDG. C TOTAL	1,575 SF
BUILDING D	
MAIN FLOOR	647 SF
UPPER FLOOR	563 SF
BLDG. D TOTAL	1,210 SF
OVERALL TOTAL	2,785 SF

BASEMENT C	302 SF
BASEMENT D	256 SF
TOTAL	558 SF

REVISION	No.

CONSULTANT:



ARCHITECT: ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

CALCULATIONS LEGEND

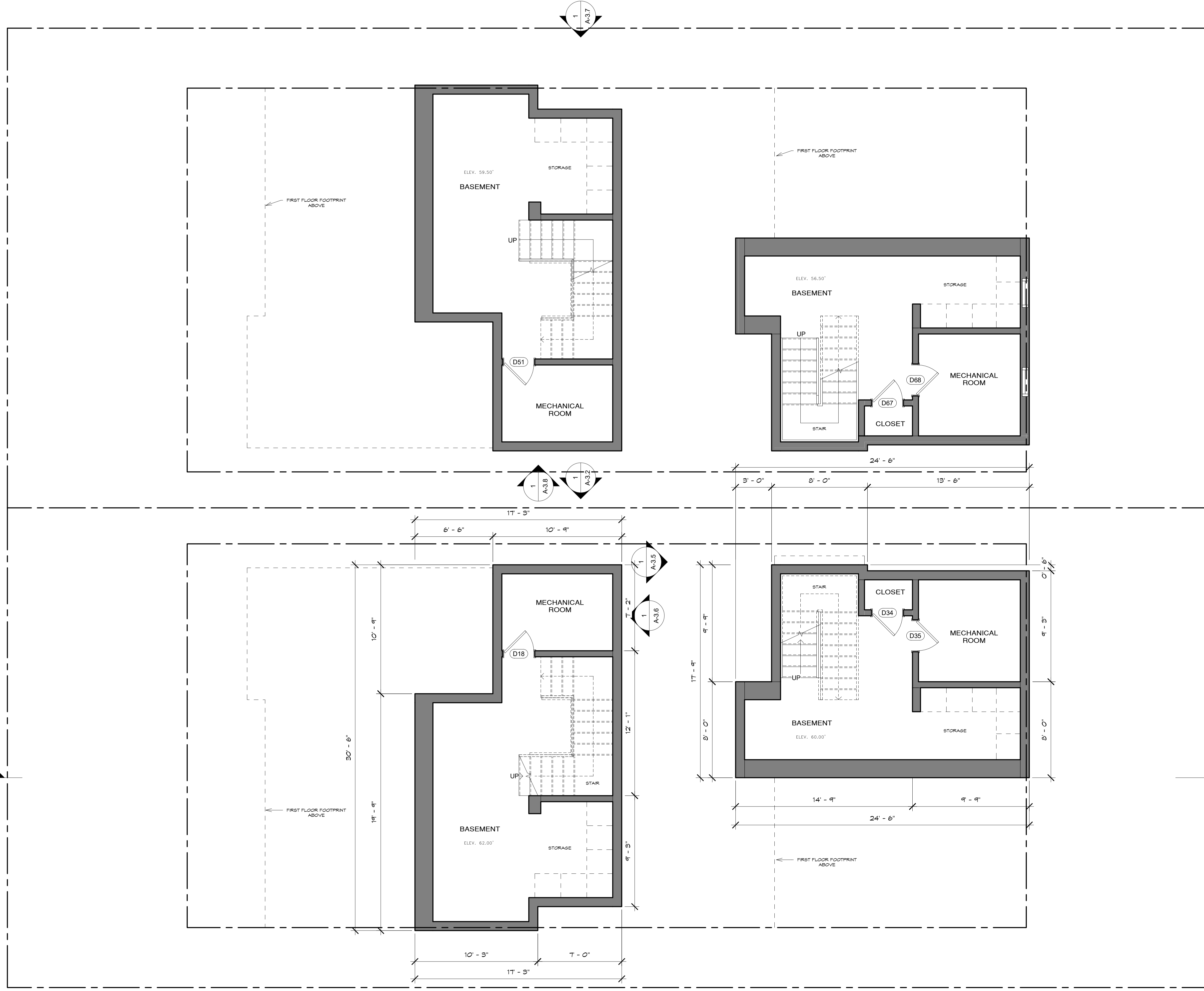
CR1 SITES

Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22
 SCALE:
 DRAWN CS
 JOB NO. 18.21

A-1.3

SHEET OF

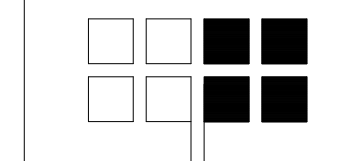


BASEMENT FLOOR PLAN - LOT #1 & #3

SCALE 1/4"=1'-0"

REVISION	No.

CONSULTANT:



ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

BASEMENT FLOORPLAN

CR1 SUITES
 Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO.: 18.21

A-2.1
 SHEET OF

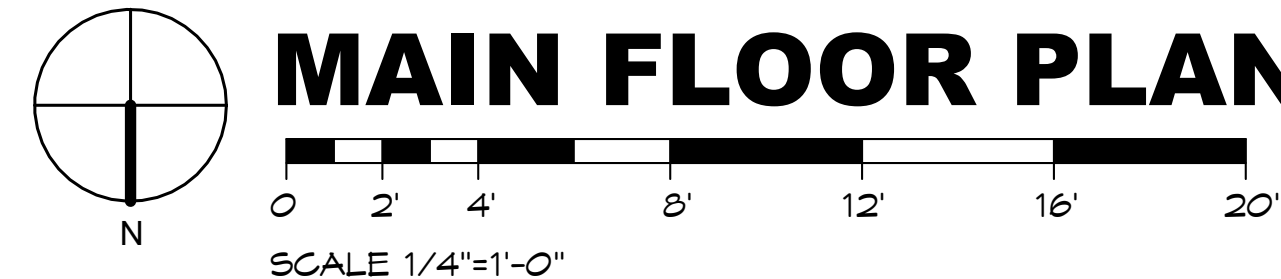
REVISION	No.

ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

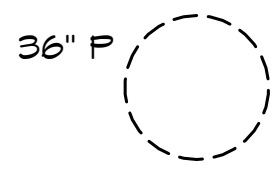
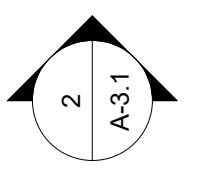
MAIN LEVEL FLOOR PLAN
CRI SUITES
 Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO. 18.21

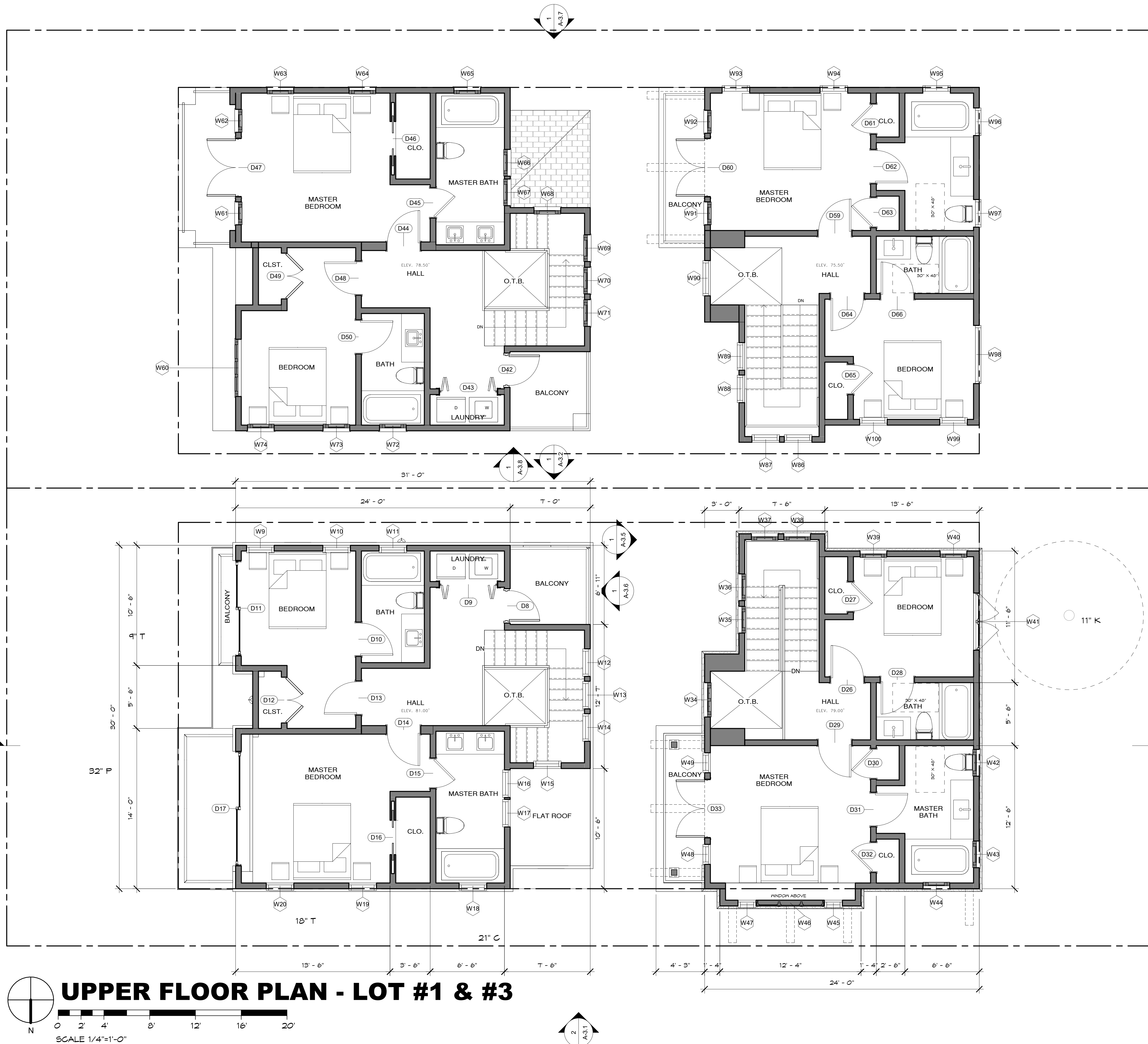
A-2.2
 SHEET OF



MAIN FLOOR PLAN - LOT #1 & #3



CONSULTANT:



UPPER FLOOR PLAN - LOT #1 & #3
 SCALE 1/4"=1'-0"

REVISION	No.

CONSULTANT:

ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

UPPER LEVEL FLOOR PLAN
CR1 SUITES
 Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

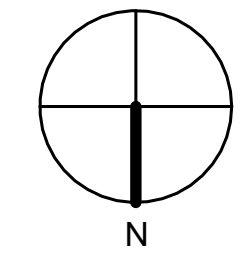
DATE: 4/14/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO. 18.21

A-2.4
 SHEET OF

1
A-4.1



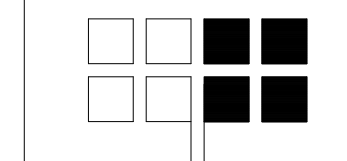
ROOF PLAN - LOT #1 & #3



0 2' 4' 8' 12' 16' 20'
SCALE 1/4"=1'-0"

REVISION	No.

CONSULTANT:



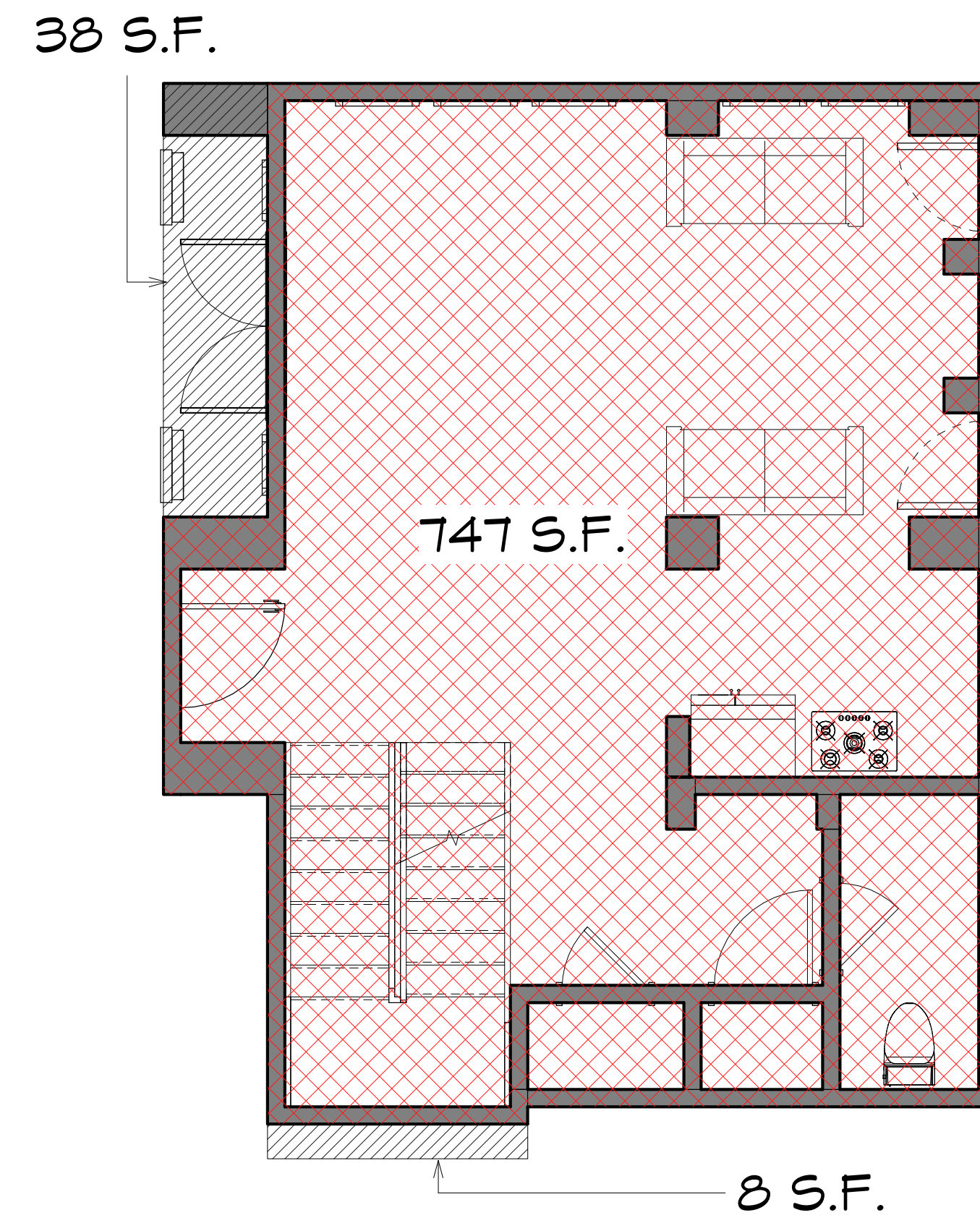
ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

ROOF PLAN

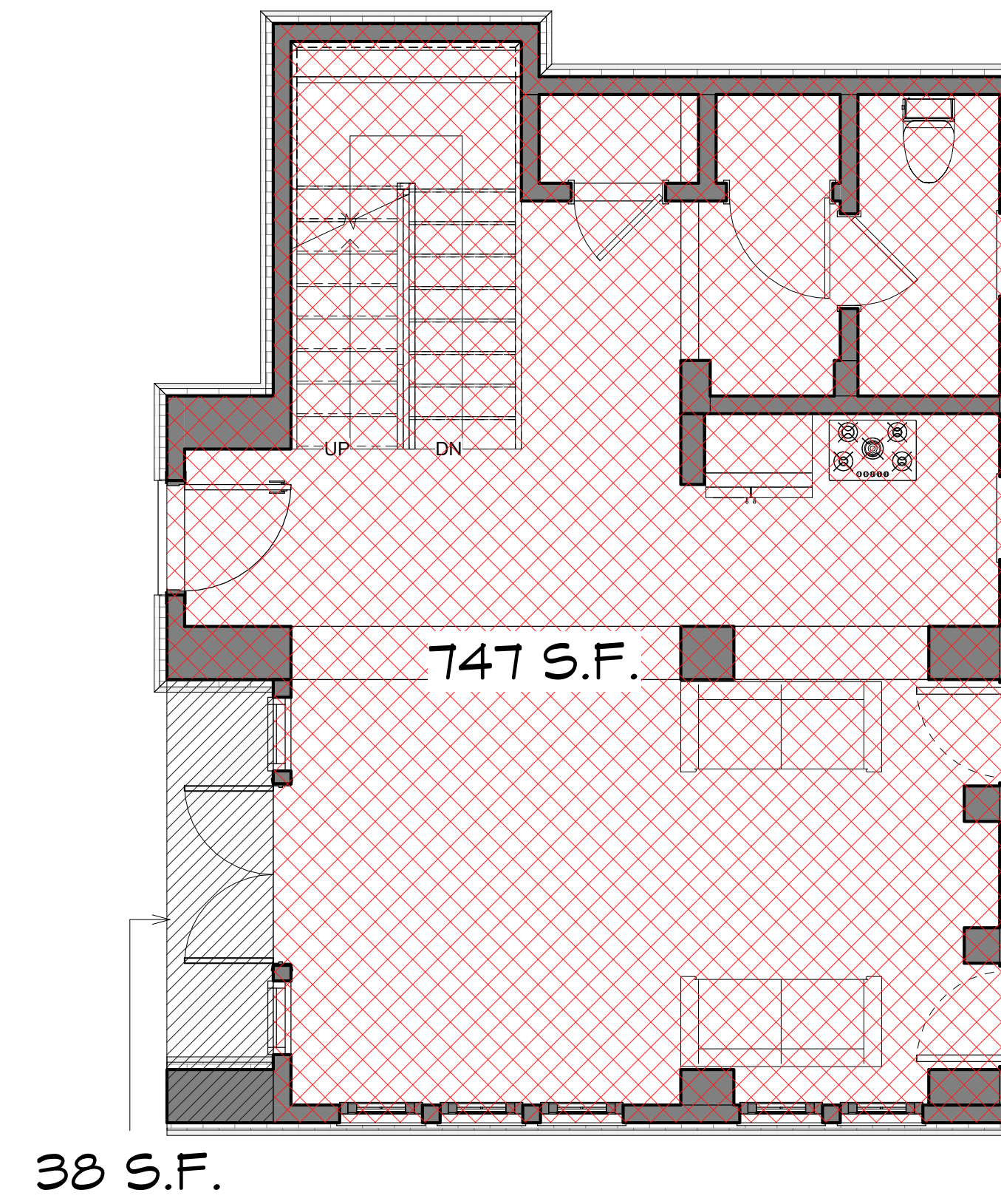
CR1 SUITES
 Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO. 18.21

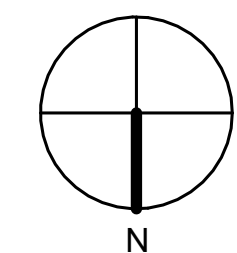
A-2.5
 SHEET OF



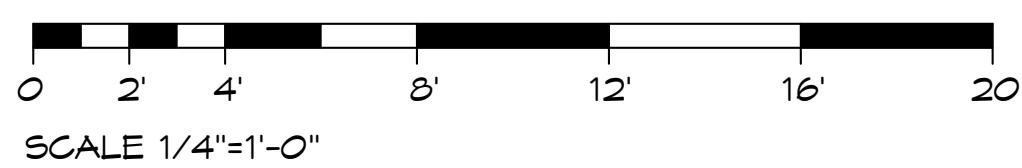
LEGEND		OVERLAPPING & NON-OVERLAPPING FLOOR AREA	
	OVERLAPPING FLOOR AREA	=	1421 S.F.
	NON-OVERLAPPING FLOOR AREA	=	174 S.F.



LEGEND		OVERLAPPING & NON-OVERLAPPING FLOOR AREA	
	OVERLAPPING FLOOR AREA	=	1433 S.F.
	NON-OVERLAPPING FLOOR AREA	=	170 S.F.



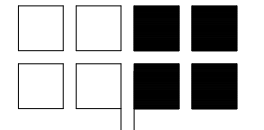
MAIN FLOOR & UPPER FLOOR OVERLAY



① OVERLAY
1/4" = 1'-0"

REVISION	No.

CONSULTANT:



ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**

211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

ARCHITECT:

MAIN FLOOR & UPPER FLOOR
OVERLAY

CR1 SUITES

Carpenter Street between 1st and 2nd Ave.
Garnet, CA 93931
A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22

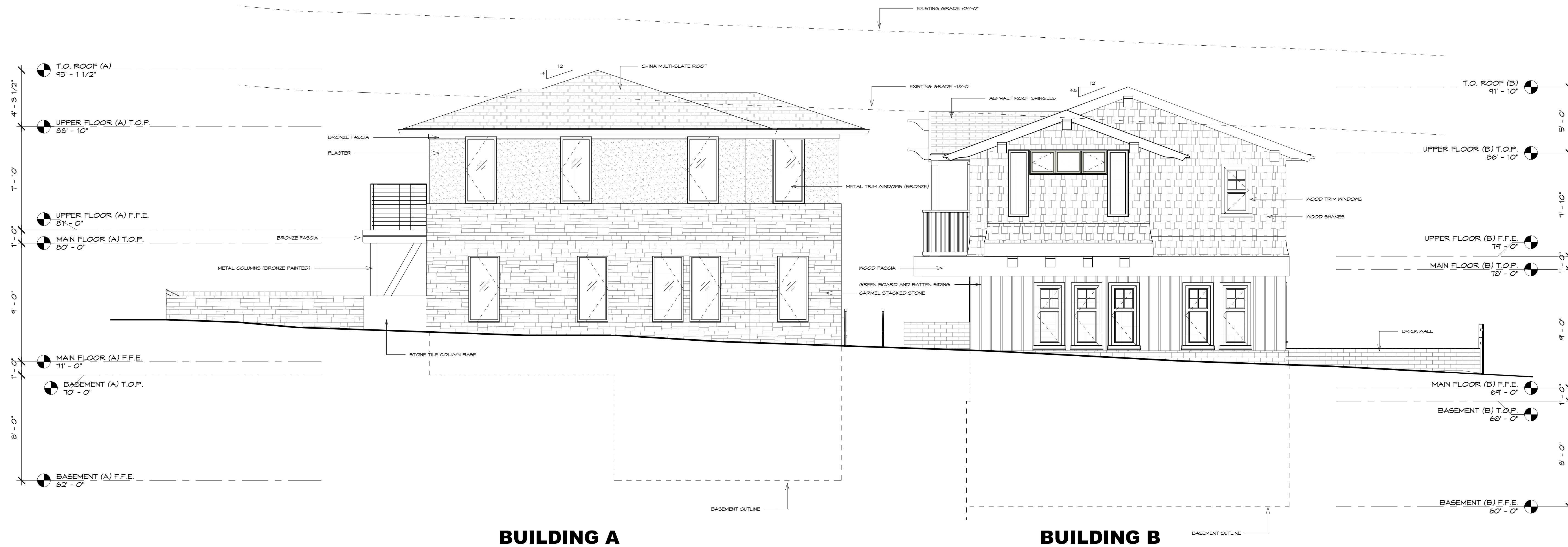
SCALE: 1/4" = 1'-0"

DRAWN: CS

JOB NO.: 18.21

A-2.6

SHEET OF



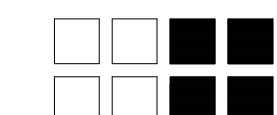
PROPOSED NORTH ELEVATION - LOT #1



SCALE 1/4" = 1'-0"

REVISION	No.

CONSULTANT:



ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

ARCHITECT:

NORTH ELEVATION LOT 1

CR1 SUITES

Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

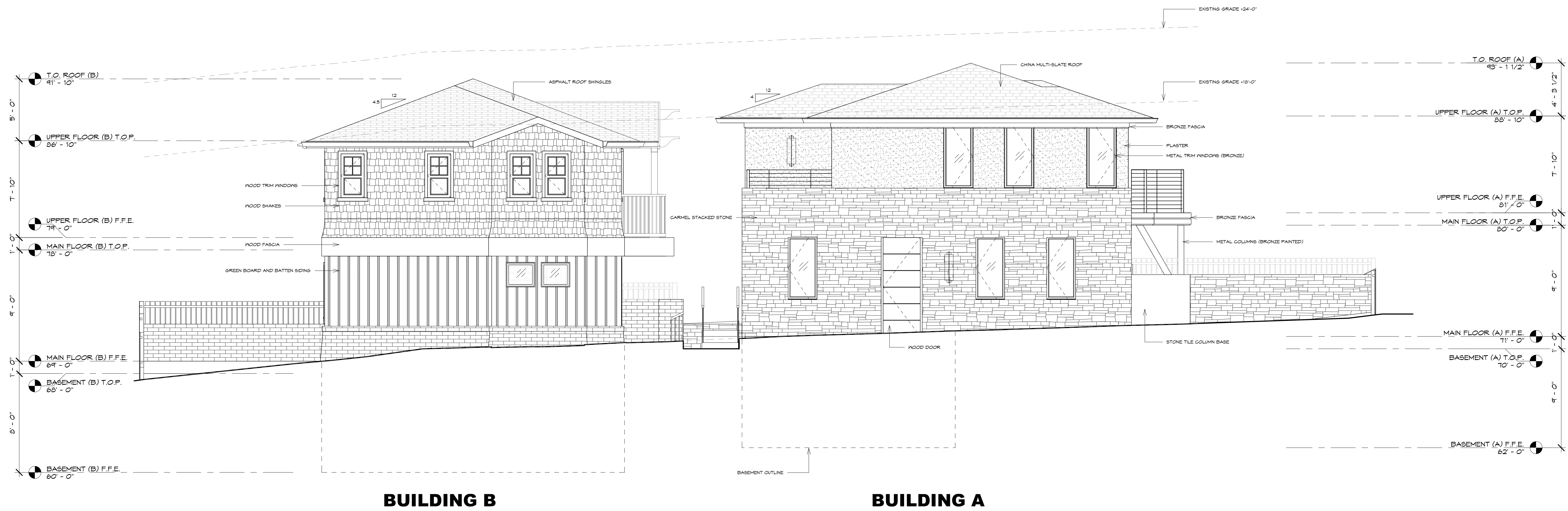
DATE: 4/14/22

SCALE: 1/4" = 1'-0"

DRAWN: CS

JOB NO. 18.21

A-3.1
SHEET OF



BUILDING B

BUILDING A

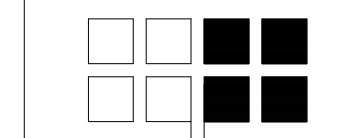
PROPOSED SOUTH ELEVATION - LOT #1



1 SOUTH LOT 1
1/4" = 1'-0"

REVISION	No.

CONSULTANT:



ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

SOUTH ELEVATION LOT 1

CR1 SUITES

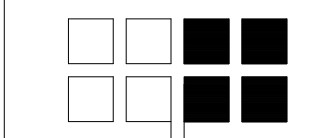
Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO. 18.21

A-3.2
 SHEET OF

REVISION	No.

CONSULTANT:



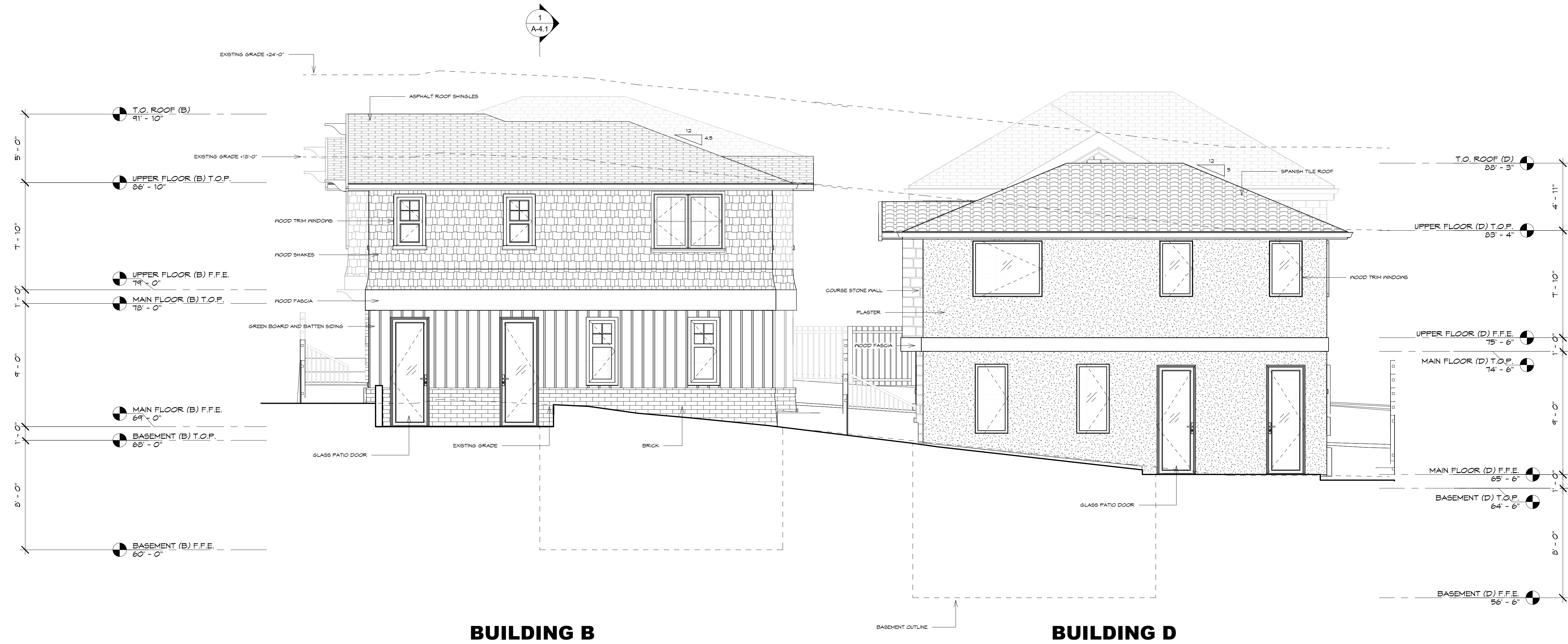
ARCHITECT:
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

ARCHITECT:

WEST ELEVATION
CR1 SUITES
 Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

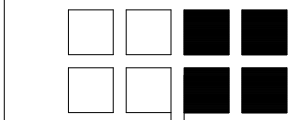
DATE: 4/14/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO. 18.21

A-3.3
 SHEET OF



REVISION	No.

CONSULTANT:

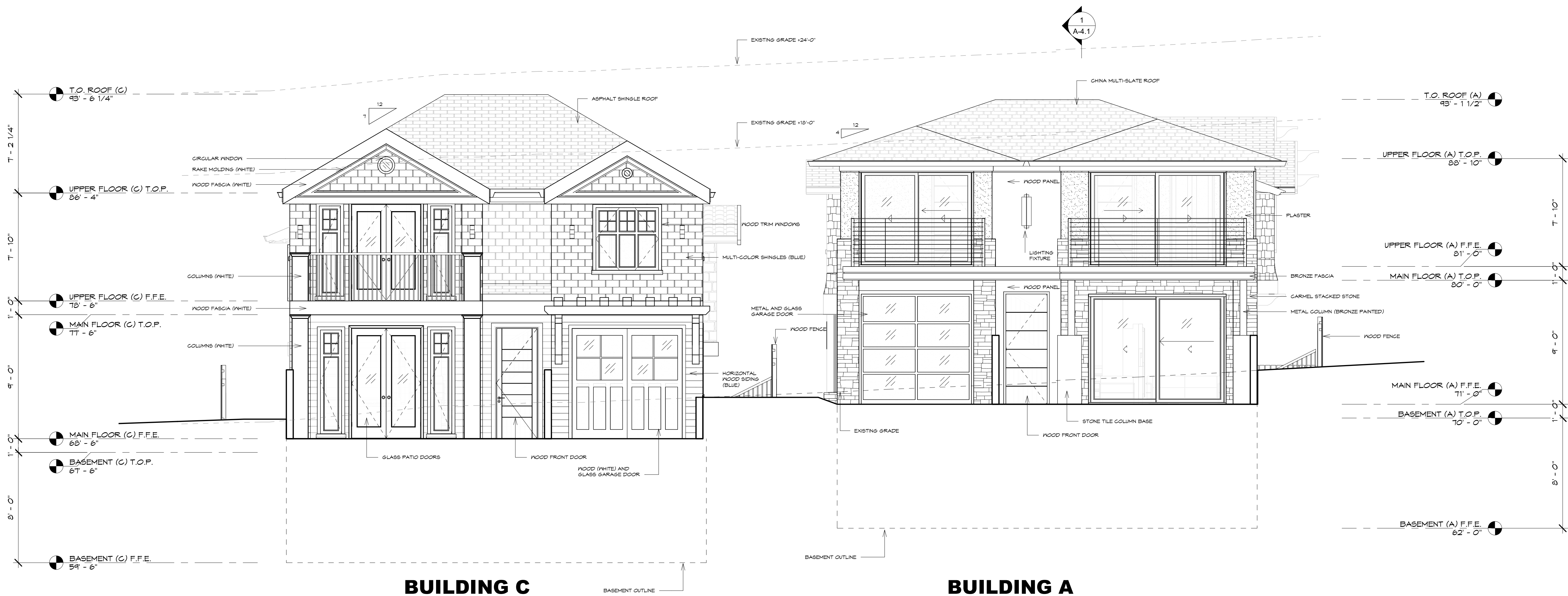


ARCHITECT:
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

EAST ELEVATION
CR1 SUITES
 Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO. 18.21

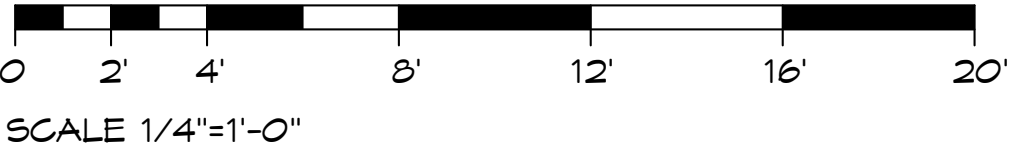
A-3.4
 SHEET OF



BUILDING C

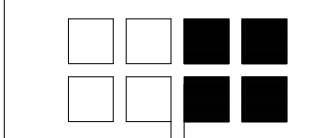
BUILDING A

PROPOSED EAST ELEVATION - LOT #1 & 3



REVISION	No.

CONSULTANT:

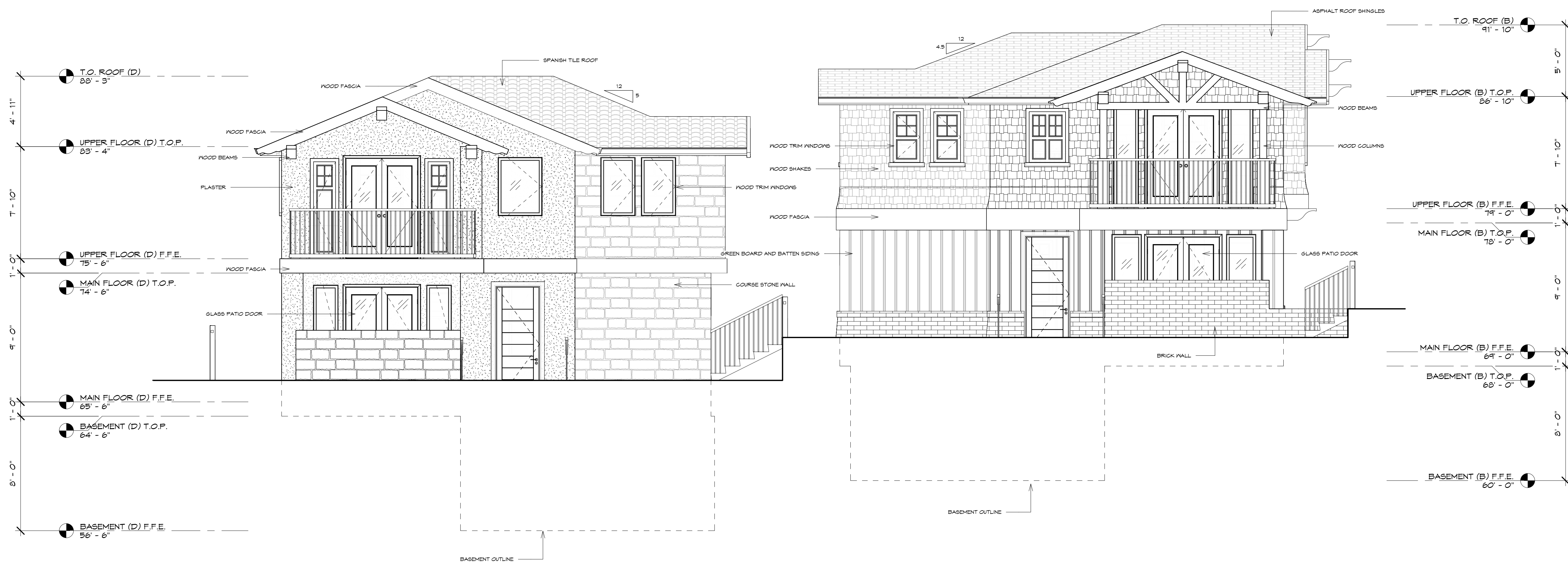
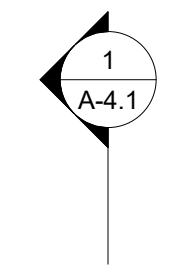


ARCHITECT:
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

EAST ELEVATION BLDG. B & D
CR1 SITES
 Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO. 18.21

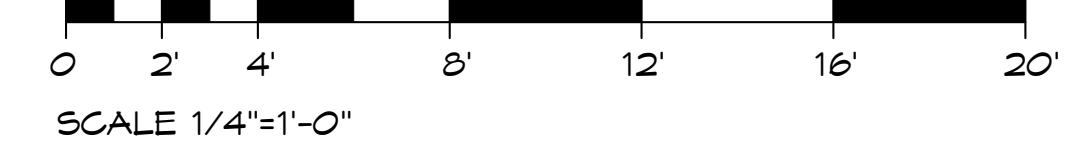
A-3.5
 SHEET OF



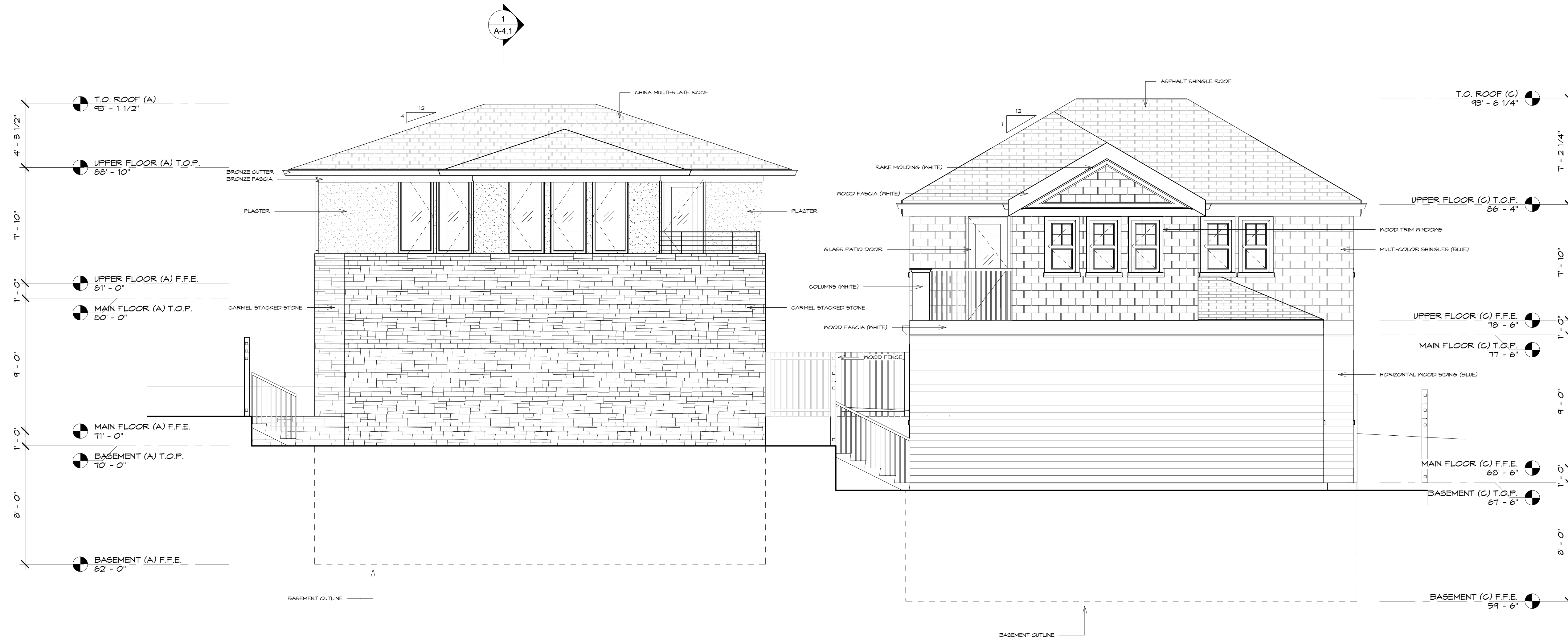
BUILDING D

BUILDING B

PROPOSED EAST ELEVATION - BLDG. B & D



① EAST BUILDING B
 1/4" = 1'-0"



BUILDING A

BUILDING C

PROPOSED WEST ELEVATION - BLDG. A & C

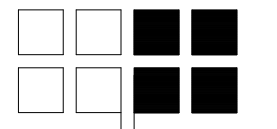


SCALE 1/4"=1'-0"



REVISION	No.

CONSULTANT:



ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**

211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

WEST ELEVATION BLDG A & C

CR1 SITES

Carpenter Street between 1st and 2nd Ave.
Carmel, CA 93921
A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22

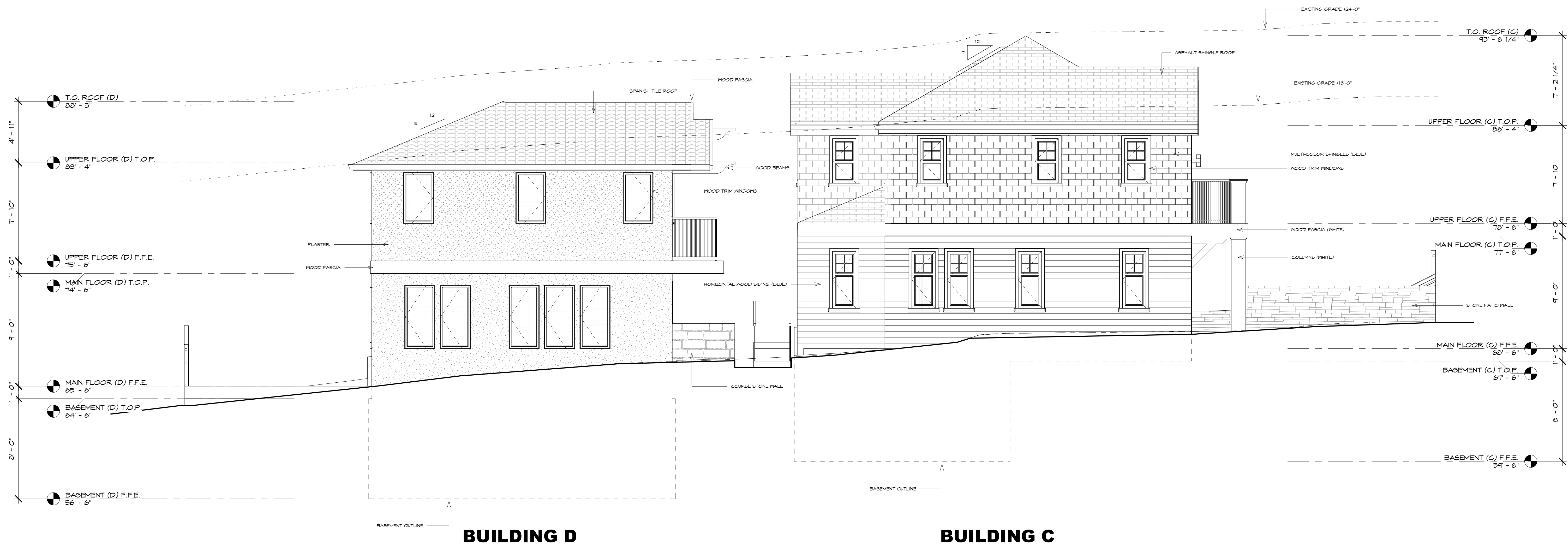
SCALE: 1/4" = 1'-0"

DRAWN: CS

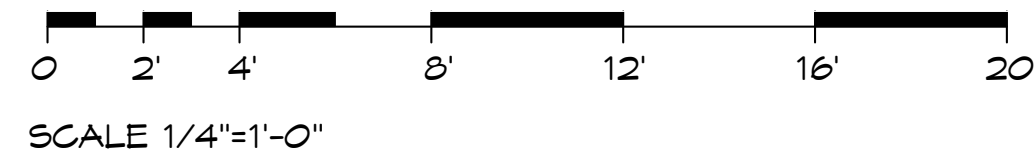
JOB NO. 18.21

A-3.6

SHEET OF

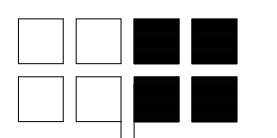


PROPOSED SOUTH ELEVATION - LOT #3



REVISION	No.

CONSULTANT:



ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

ARCHITECT:

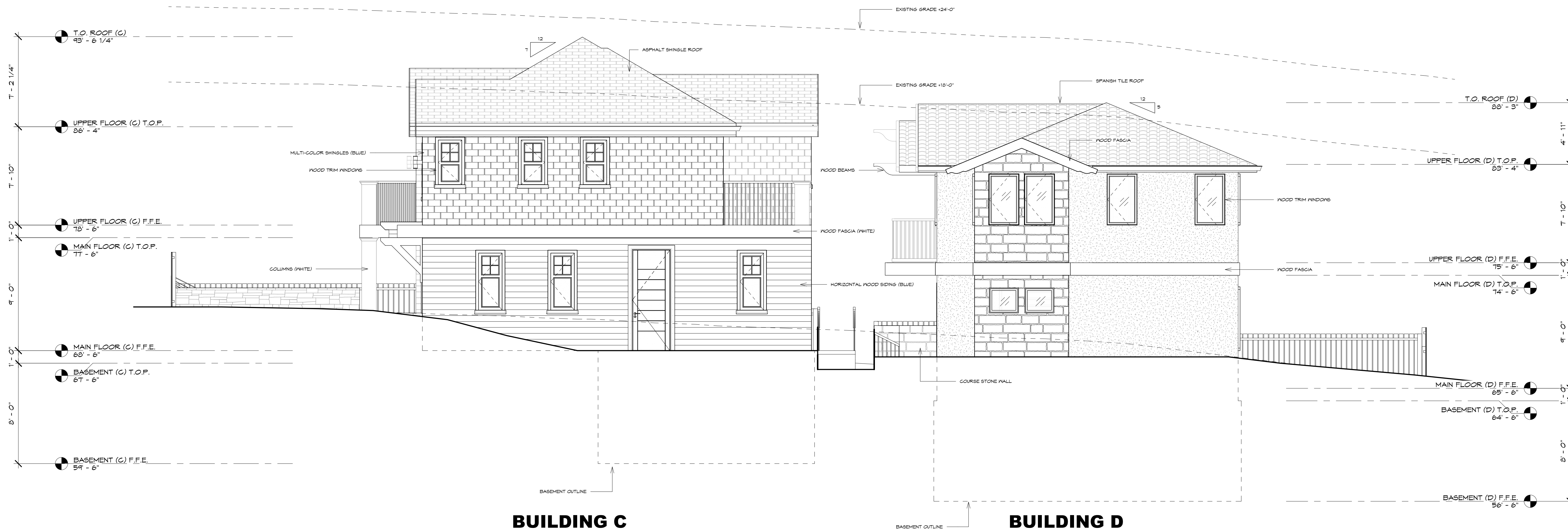
SOUTH ELEVATION LOT 3

CR1 SUITES
 Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

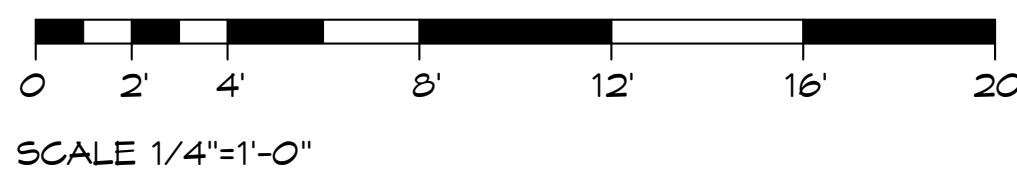
DATE: 4/14/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO. 18.21

A-3.7
 SHEET OF

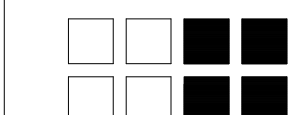
REVISION	No.



PROPOSED NORTH ELEVATION - LOT #3



CONSULTANT:



ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

ARCHITECT:

NORTH ELEVATION LOT 3

CR1 SUITES

Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22

SCALE: 1/4" = 1'-0"

DRAWN: CS

JOB NO. 18.21

A-3.8

SHEET OF

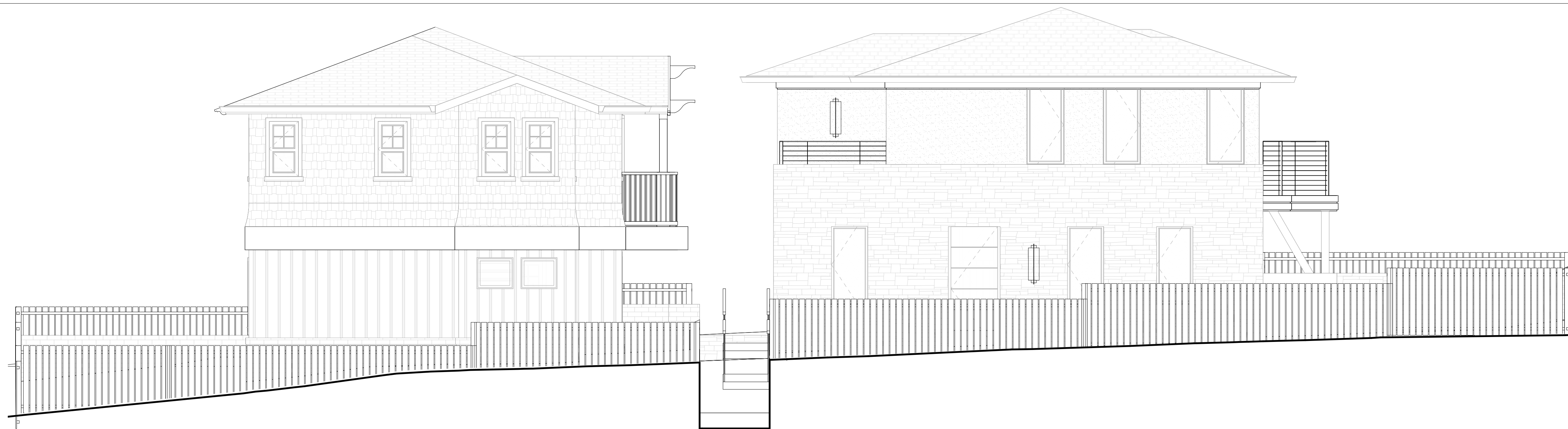


NORTH PROPERTY LINE



SCALE 1/4"=1'-0"

① NORTH FENCE
1/4" = 1'-0"



SOUTH PROPERTY LINE

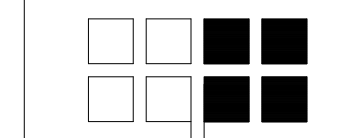


SCALE 1/4"=1'-0"

② SOUTH FENCE
1/4" = 1'-0"

REVISION	No.

CONSULTANT:



ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

NORTH/ SOUTH FENCING ELEVATIONS

CRI SITES
 Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO. 18.21

A-3.9
 SHEET OF



① WEST FENCE
1/4" = 1'-0"

WEST PROPERTY LINE



SCALE 1/4"=1'-0"



② EAST FENCE
1/4" = 1'-0"

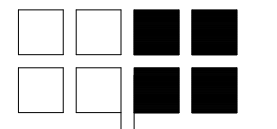
EAST PROPERTY LINE



SCALE 1/4"=1'-0"

REVISION	No.

CONSULTANT:



ARCHITECT:
ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

EAST / WEST FENCING ELEVATIONS

CR1 SUITES

Carpenter Street between 1st and 2nd Ave.
Garnet, CA 93931
A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22

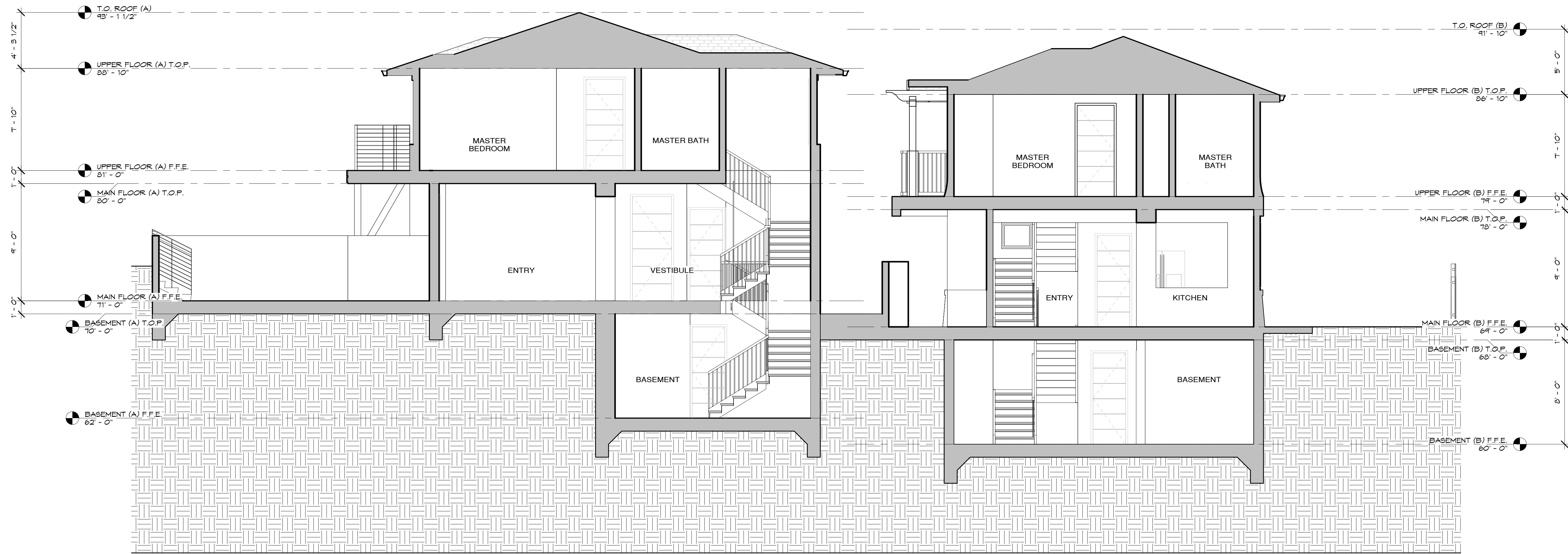
SCALE: 1/4" = 1'-0"

DRAWN: CS

JOB NO. 18.21

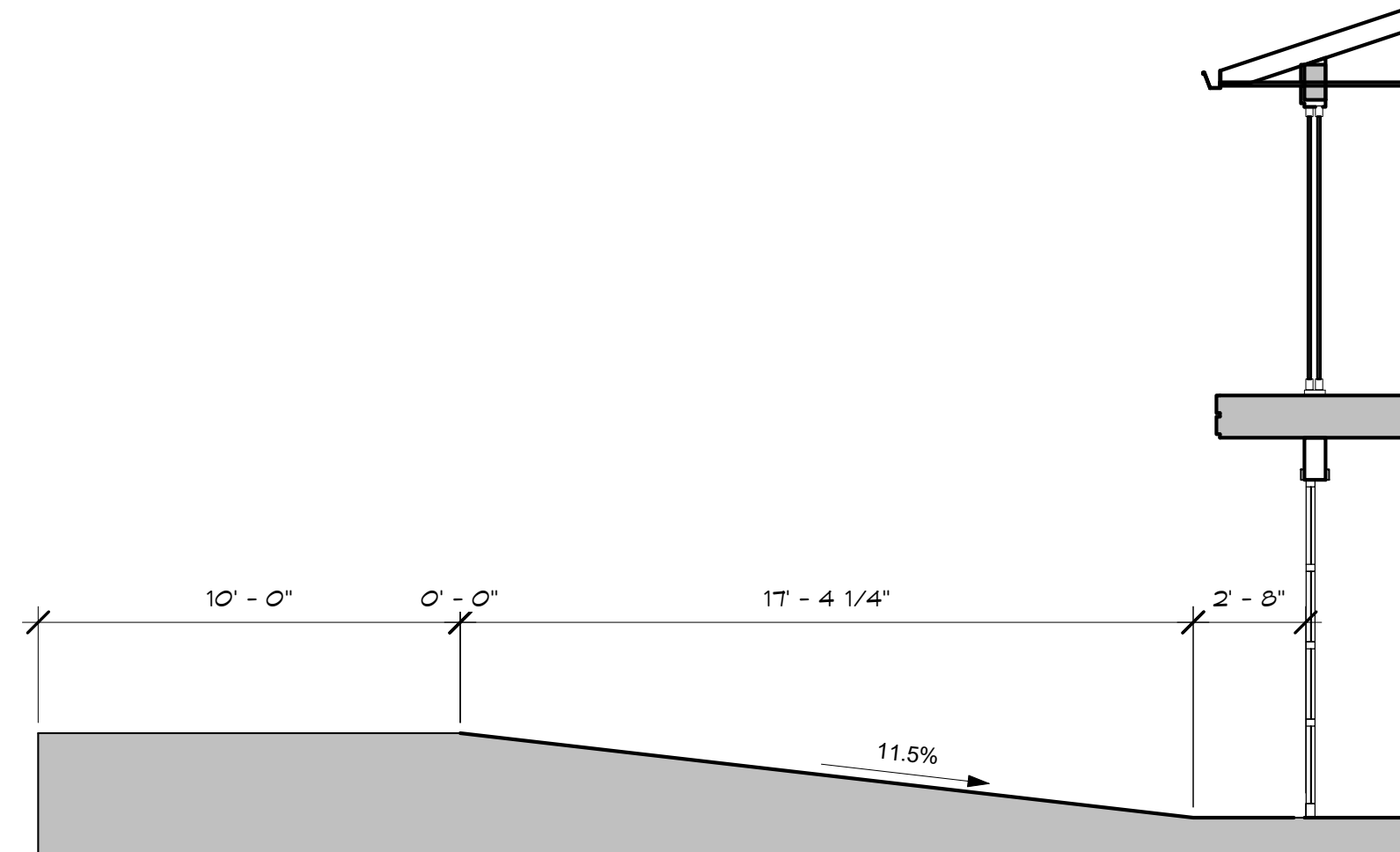
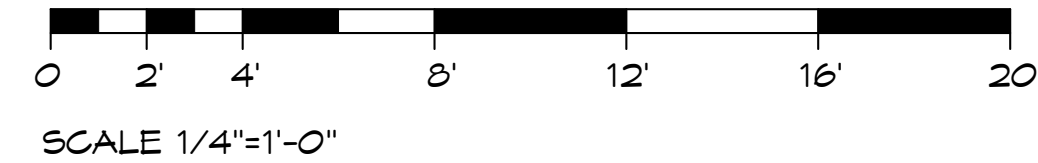
A-3.10

SHEET OF

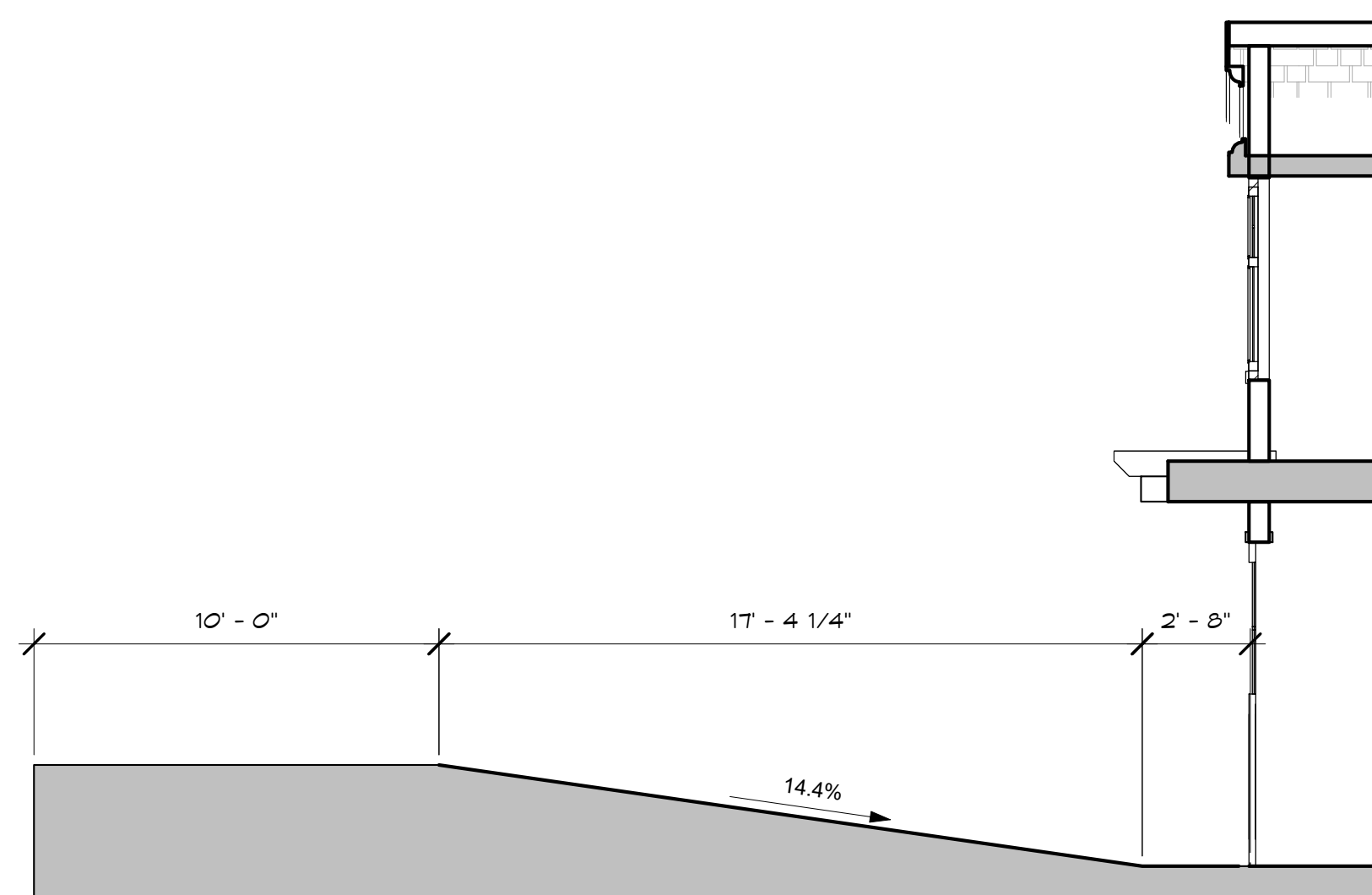


① LOT 1 SECTION
1/4" = 1'-0"

SITE SECTION - LOT #1



② LOT 1 DRIVEWAY SECTION
1/4" = 1'-0"



③ LOT 3 DRIVEWAY SECTION
1/4" = 1'-0"

REVISION	No.

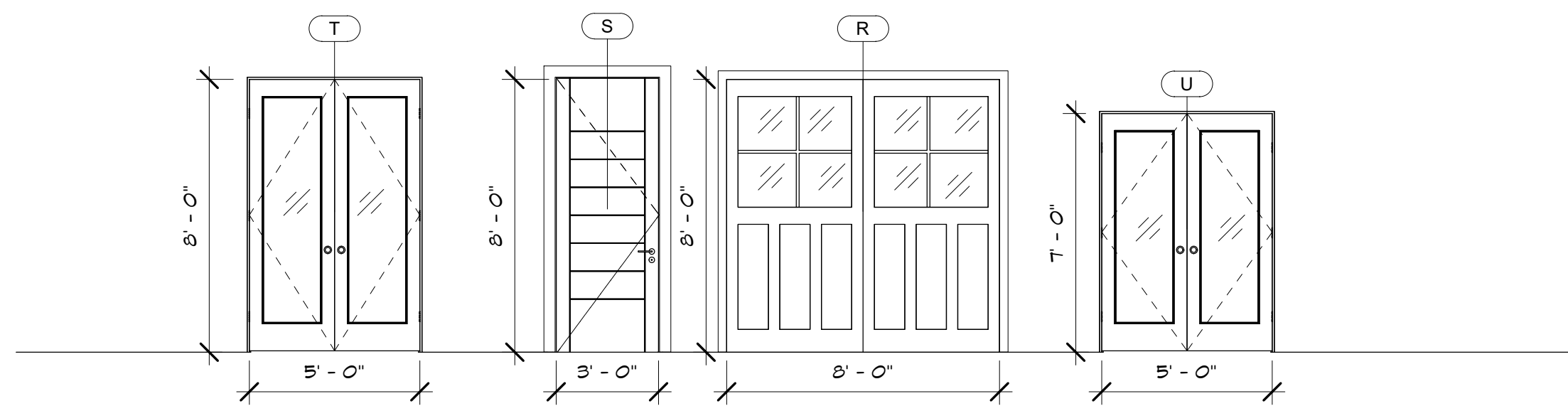
CONSULTANT:

ARCHITECT:
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

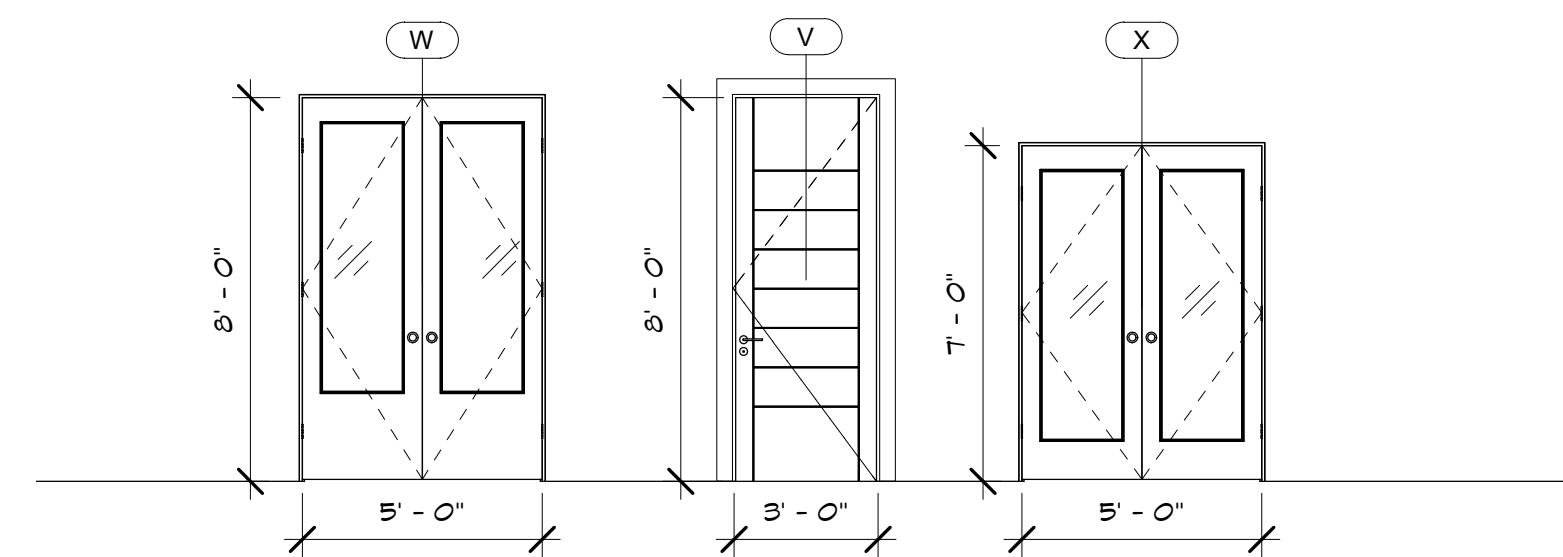
SECTIONS

CR1 SUITES
 Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

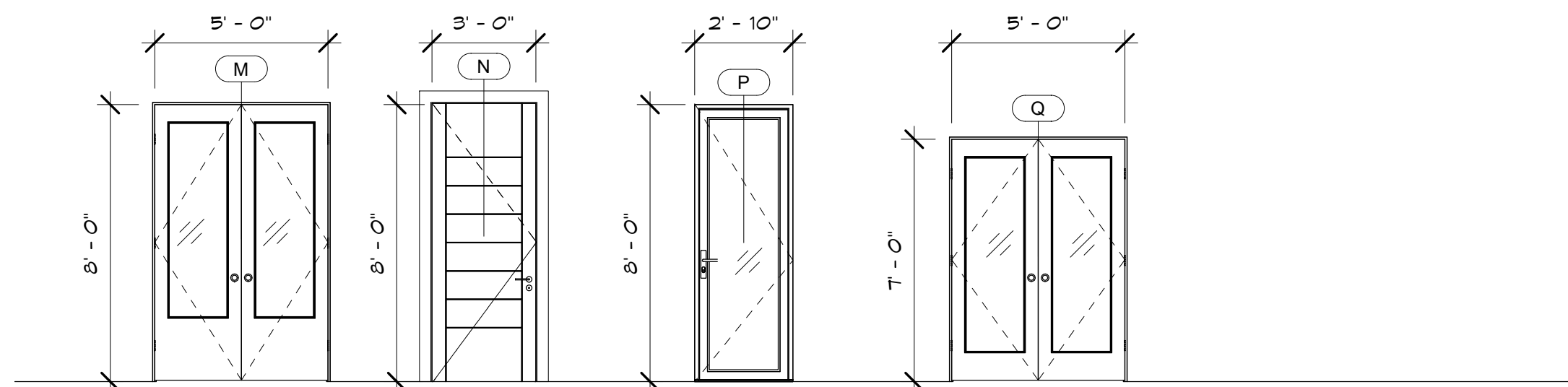
DATE: 4/14/22
 SCALE: 1/4" = 1'-0"
 DRAWN: CS
 JOB NO. 18.21



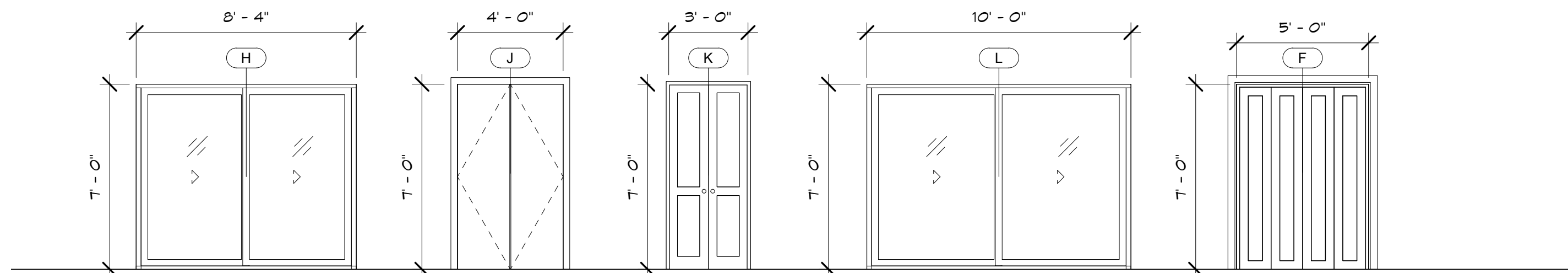
3 LEGEND 3
1/4" = 1'-0"



4 LEGEND 4
1/4" = 1'-0"



2 LEGEND 2
1/4" = 1'-0"



1 LEGEND 1
1/4" = 1'-0"

DOOR NOTES

ALL NEW DOORS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED (U.O.N.),

- SHALL BE 2'-0" X 7'-0" MINIMUM.
- SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
- THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 3/4" ABOVE FINISH FLOOR, EGRESS DOORS TO HAVE A MAX. HEIGHT OF 1/2" A.F.F.
- PROVIDE (2) PAIR, 4-1/2" X 4-1/2" BUTTS ON ALL DOORS.
- ALL HARDWARE TO BE ROCKY MOUNTAIN OR EQUIVALENT, SELECTED BY OWNER.
- ALL FIRE-RATED DOORS SHALL HAVE FIRE-RESISTANCE RATING OF 20 MINUTES, PEMKO S88D (OR EQUIVALENT) SMOKE SEALS AND SHALL BE TIGHT-FITTING, SELF-CLOSING, AND SELF-LATCHING.
- ALL EXTERIOR DOORS TO BE WEATHER STRIPPED.
- ALL WOOD DOORS SHALL BE SOLID CORE.
- EXTERIOR GLAZED DOORS SHALL BE MULTI-PANE INSULATED GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [R337.8.2.1] ALL DOOR GLAZING TO BE TEMPERED.
- ALL HINGED SHOWER DOORS SHALL OPEN OUTWARD PER CBC SECTION 1134A.6.7 AND SHALL BE SAFETY GLAZING, PER CBC 2406.4.5.
- REQUIRED NATURAL LIGHT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% OF ROOM FLOOR AREA.
- REQUIRED NATURAL VENT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE AREA OF OPENINGS NOT LESS THAN 4% OF AREAS BEING VENTED.
- EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITION-RESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8" THICK WITH INTERIOR PANEL THICKNESS NO LESS THAN 1-1/4" THICK, SHALL HAVE FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM 12-7A-1 AND ASTM E2107. [R337.8.3]

DOOR SCHEDULE BUILDING A						
Mark	Type Mark	Width	Height	Level	Door Material	Frame Material
D1	A	10' - 0"	8' - 0"	MAIN FLOOR (A) F.F.E.	Glass	Metal
D2	B	3' - 0"	8' - 0"	MAIN FLOOR (A) F.F.E.	Wood	Wood
D3	C	16' - 0"	8' - 0"	MAIN FLOOR (A) F.F.E.	Glass	Metal
D4	B	3' - 0"	8' - 0"	MAIN FLOOR (A) F.F.E.	Wood	Wood
D5	B	3' - 0"	8' - 0"	MAIN FLOOR (A) F.F.E.	Wood	Wood
D6	D	2' - 6"	7' - 0"	MAIN FLOOR (A) F.F.E.	Wood	Wood
D7	D	2' - 6"	7' - 0"	MAIN FLOOR (A) F.F.E.	Wood	Wood
D8	E	2' - 8"	7' - 0"	UPPER FLOOR (A) F.F.E.	Glass	Metal
D9	F	5' - 0"	7' - 0"	UPPER FLOOR (A) F.F.E.	Wood	Wood
D10	G	2' - 10"	7' - 0"	UPPER FLOOR (A) F.F.E.	Wood	Wood
D11	H	8' - 4"	7' - 0"	UPPER FLOOR (A) F.F.E.	Glass	Metal
D12	J	4' - 0"	7' - 0"	UPPER FLOOR (A) F.F.E.	Wood	Wood
D13	G	2' - 10"	7' - 0"	UPPER FLOOR (A) F.F.E.	Wood	Wood
D14	G	2' - 10"	7' - 0"	UPPER FLOOR (A) F.F.E.	Wood	Wood
D15	D	2' - 6"	7' - 0"	UPPER FLOOR (A) F.F.E.	Wood	Wood
D16	K	3' - 0"	7' - 0"	UPPER FLOOR (A) F.F.E.	Wood	Wood
D17	L	10' - 0"	7' - 0"	UPPER FLOOR (A) F.F.E.	Glass	Metal
D18	D	2' - 6"	7' - 0"	BASEMENT (A) F.F.E.	Wood	Wood

DOOR SCHEDULE BUILDING B						
Mark	Type Mark	Width	Height	Level	Door Material	Frame Material
D19	M	5' - 0"	8' - 0"	MAIN FLOOR (B) F.F.E.	Glass	Wood
D20	N	3' - 0"	8' - 0"	MAIN FLOOR (B) F.F.E.	Wood	Wood
D21	D	2' - 6"	7' - 0"	MAIN FLOOR (B) F.F.E.	Wood	Wood
D22	G	2' - 10"	7' - 0"	MAIN FLOOR (B) F.F.E.	Wood	Wood
D23	D	2' - 6"	7' - 0"	MAIN FLOOR (B) F.F.E.	Wood	Wood
D24	P	2' - 10"	8' - 0"	MAIN FLOOR (B) F.F.E.	Glass	Wood
D25	P	2' - 10"	8' - 0"	MAIN FLOOR (B) F.F.E.	Glass	Wood
D26	G	2' - 10"	7' - 0"	UPPER FLOOR (B) F.F.E.	Wood	Wood
D27	D	2' - 6"	7' - 0"	UPPER FLOOR (B) F.F.E.	Wood	Wood
D28	G	2' - 10"	7' - 0"	UPPER FLOOR (B) F.F.E.	Wood	Wood
D29	G	2' - 10"	7' - 0"	UPPER FLOOR (B) F.F.E.	Wood	Wood
D30	D	2' - 6"	7' - 0"	UPPER FLOOR (B) F.F.E.	Wood	Wood
D31	G	2' - 10"	7' - 0"	UPPER FLOOR (B) F.F.E.	Wood	Wood
D32	D	2' - 6"	7' - 0"	UPPER FLOOR (B) F.F.E.	Wood	Wood
D33	Q	5' - 0"	7' - 0"	UPPER FLOOR (B) F.F.E.	Glass	Wood
D34	D	2' - 6"	7' - 0"	BASEMENT (B) F.F.E.	Wood	Wood
D35	D	2' - 6"	7' - 0"	BASEMENT (B) F.F.E.	Wood	Wood

DOOR SCHEDULE BUILDING C						
Mark	Type Mark	Width	Height	Level	Door Material	Frame Material
D36	R	8' - 0"	8' - 0"	MAIN FLOOR (C) F.F.E.	Glass	Wood
D37	S	3' - 0"	8' - 0"	MAIN FLOOR (C) F.F.E.	Wood	Wood
D38	T	5' - 0"	8' - 0"	MAIN FLOOR (C) F.F.E.	Glass	Wood
D39	D	2' - 6"	7' - 0"	MAIN FLOOR (C) F.F.E.	Wood	Wood
D41	S	3' - 0"	8' - 0"	MAIN FLOOR (C) F.F.E.	Wood	Wood
D42	E	2' - 8"	7' - 0"	UPPER FLOOR (C) F.F.E.	Glass	Metal
D43	F	5' - 0"	7' - 0"	UPPER FLOOR (C) F.F.E.	Wood	Wood
D44	G	2' - 10"	7' - 0"	UPPER FLOOR (C) F.F.E.	Wood	Wood
D45	D	2' - 6"	7' - 0"	UPPER FLOOR (C) F.F.E.	Wood	Wood
D46	K	3' - 0"	7' - 0"	UPPER FLOOR (C) F.F.E.	Wood	Wood
D47	U	5' - 0"	7' - 0"	UPPER FLOOR (C) F.F.E.	Glass	Wood
D48	G	2' - 10"	7' - 0"	UPPER FLOOR (C) F.F.E.	Wood	Wood
D49	J	4' - 0"	7' - 0"	UPPER FLOOR (C) F.F.E.	Wood	Wood
D50	G	2' - 10"	7' - 0"	UPPER FLOOR (C) F.F.E.	Wood	Wood
D51	D	2' - 6"	7' - 0"	BASEMENT (C) F.F.E.	Wood	Wood

DOOR SCHEDULE BUILDING D						
Mark	Type Mark	Width	Height	Level	Door Material	Frame Material
D52	V	3' - 0"	8' - 0"	MAIN FLOOR (D) F.F.E.	Wood	Wood
D53	W	5' - 0"	8' - 0"	MAIN FLOOR (D) F.F.E.	Glass	Wood
D54	P	2' - 10"	8' - 0"	MAIN FLOOR (D) F.F.E.	Glass	Wood
D55	P	2' - 10"	8' - 0"	MAIN FLOOR (D) F.F.E.	Glass	Wood
D56	D	2' - 6"	7' - 0"	MAIN FLOOR (D) F.F.E.	Wood	Wood
D57	G	2' - 10"	7' - 0"	MAIN FLOOR (D) F.F.E.	Wood	Wood
D58	D	2' - 6"	7' - 0"	MAIN FLOOR (D) F.F.E.	Wood	Wood
D59	G	2' - 10"	7' - 0"	UPPER FLOOR (D) F.F.E.	Wood	Wood
D60	X	5' - 0"	7' - 0"	UPPER FLOOR (D) F.F.E.	Glass	Wood
D61	D	2' - 6"	7' - 0"	UPPER FLOOR (D) F.F.E.	Wood	Wood
D62	G	2' - 10"	7' - 0"	UPPER FLOOR (D) F.F.E.	Wood	Wood
D63	D	2' - 6"	7' - 0"	UPPER FLOOR (D) F.F.E.	Wood	Wood
D64	G	2' - 10"	7' - 0"	UPPER FLOOR (D) F.F.E.	Wood	Wood
D65	D	2' - 6"	7' - 0"	UPPER FLOOR (D) F.F.E.	Wood	Wood
D66	G	2' - 10"	7' - 0"	UPPER FLOOR (D) F.F.E.	Wood	Wood
D67	D	2' - 6"	7' - 0"	BASEMENT (D) F.F.E.	Wood	Wood
D68	D	2' - 6"	7' - 0"	BASEMENT (D) F.F.E.	Wood	Wood

REVISION	No.

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

ARCHITECT:

CRI SUITES
 Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 95021
 A.P.N. 010-021-024 & 010-021-025



BRONZE METAL TRIM WINDOW

1 GLAZING



CARMEL STONE VENEER

5 EXTERIOR FINISH



BRONZE METAL GUARDRAIL WITH CABLES

2 RAILINGS



LIGHT BEIGE/OFF-WHITE STUCCO

6 EXTERIOR FINISH

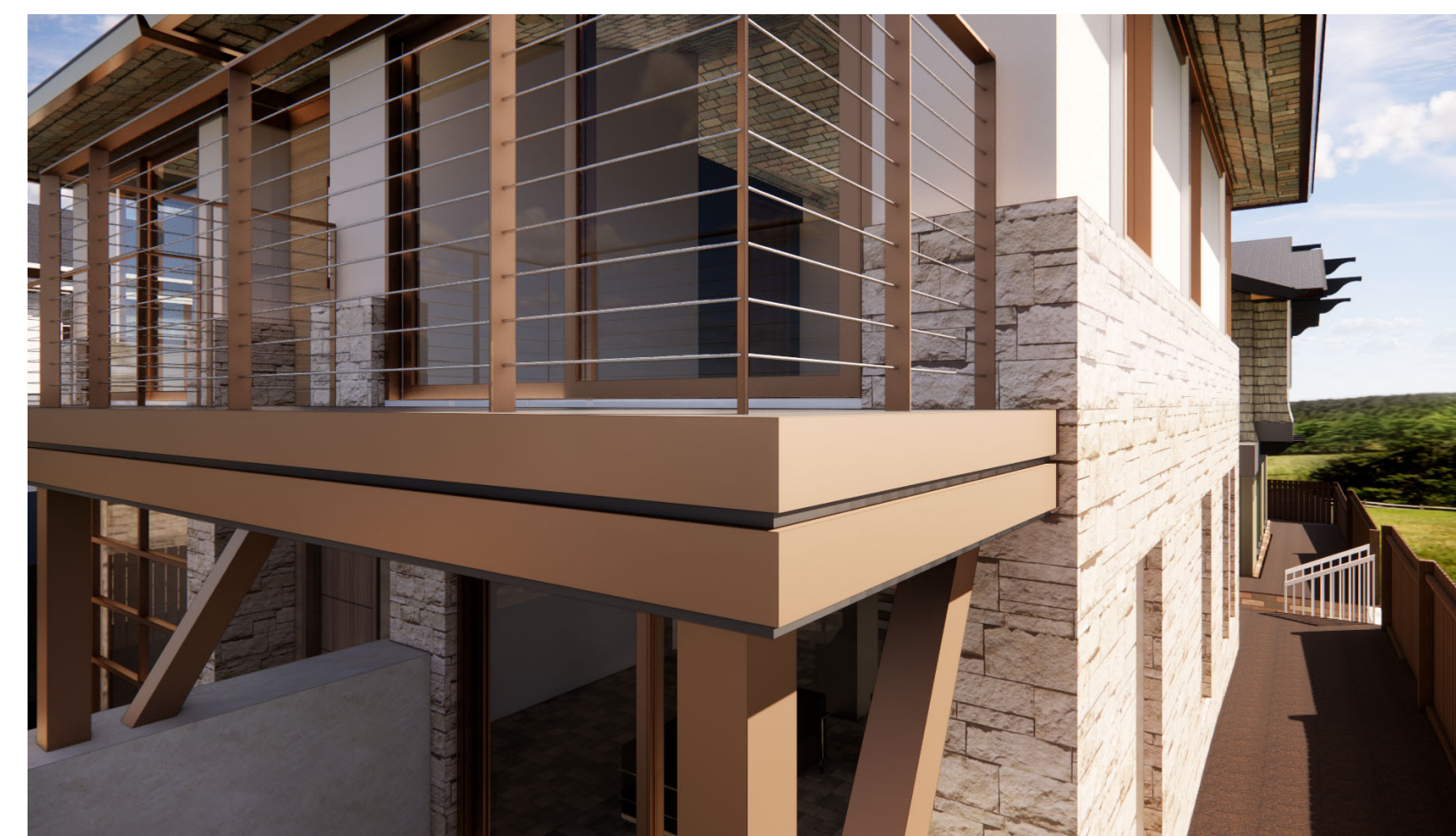


IMPERVIOUS DRIVEWAY PAVERS



PERVIOUS PATIO PAVERS

3 PAVERS



ANTIQUE BRONZE COLOR FASCIA

7 FASCIA & COLUMNS



BRONZE METAL AND GLASS GARAGE DOOR

4 GARAGE DOOR



CHINA MULTI-SLATE ROOFING

8 ROOFING

REVISION	No.

CONSULTANT:

ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

MATERIAL SAMPLES- BLDG A

CR1 SUITES
 Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22
 SCALE:
 DRAWN CS
 JOB NO. 18.21



WOOD WINDOWS

1 GLAZING



GREEN / GREY SHAKES

5 EXTERIOR FINISH



BRONZE METAL GUARDRAIL

2 RAILINGS



GREEN BOARD & BATTEN VERTICAL WOOD SIDING

6 EXTERIOR FINISH



BRONZE GUTTERS

3 GUTTER



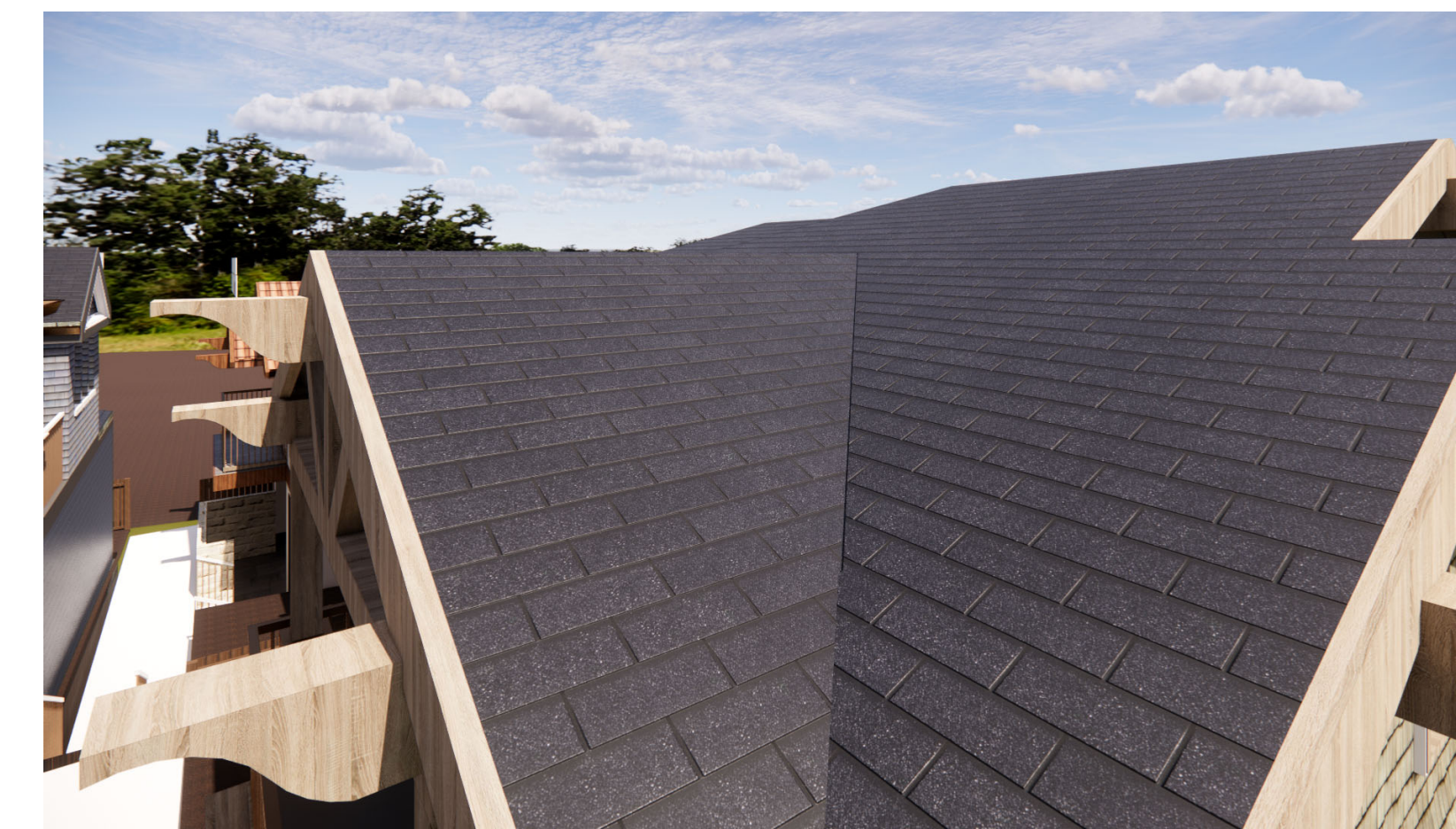
BRICK SKIRT

7 BRICK SKIRT



WOOD DOOR WITH BRONZE EXTERIOR TRIM

4 DOOR



BLACK ASPHALT SHINGLES

8 ROOFING

REVISION	No.

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

ARCHITECT:
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

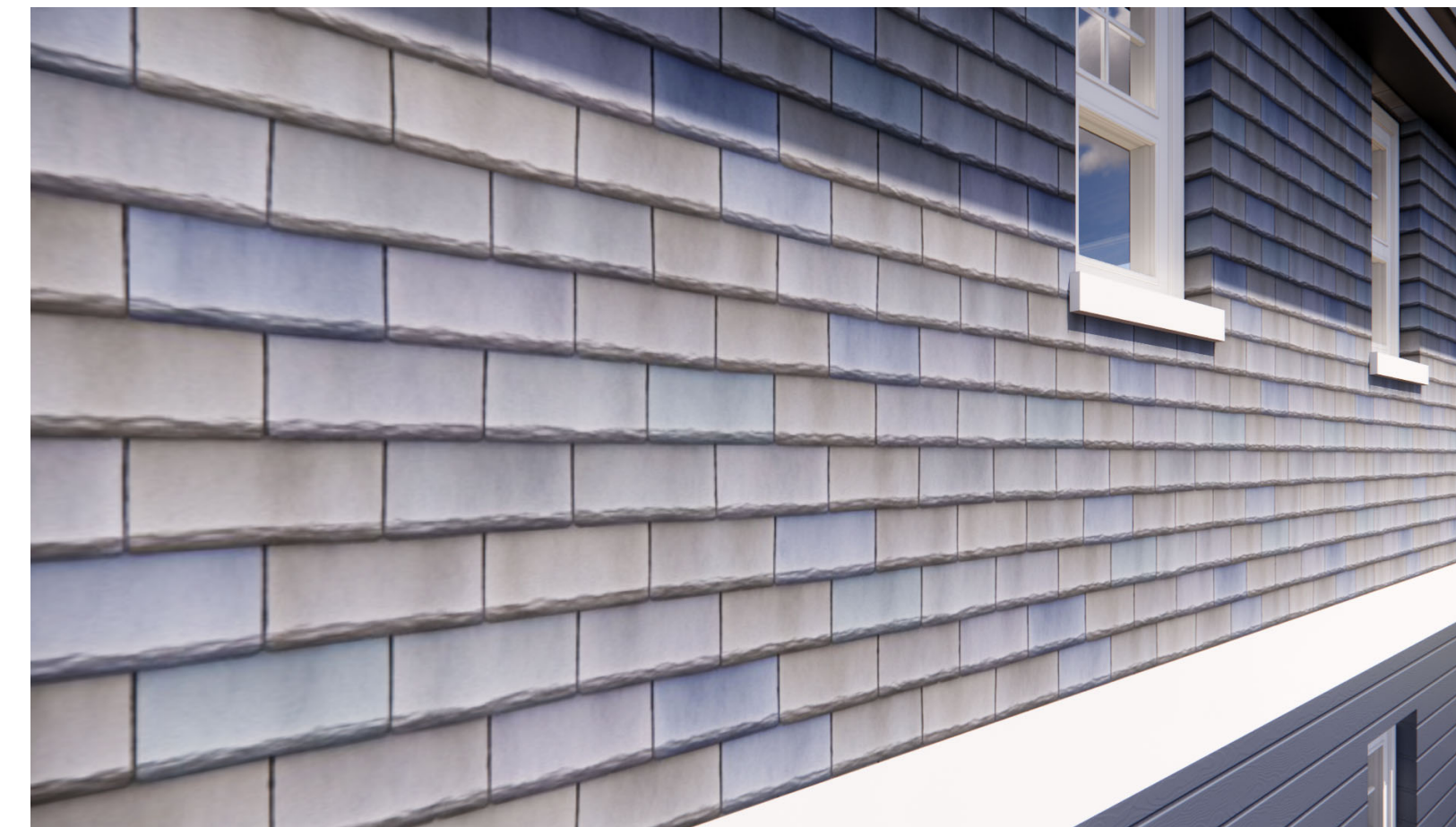
MATERIAL SAMPLES - BLDG B
CRI SUITES
 Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22
 SCALE:
 DRAWN CS
 JOB NO. 18.21
A-6.2
 SHEET OF



WHITE WOOD TRIM WINDOWS

1 GLAZING



MULTI-COLOR SHINGLE SIDING (BLUE/ GREY TONES)

5 EXTERIOR FINISH



WHITE RAILING BETWEEN COLUMNS

2 RAILINGS



HORIZONTAL WOOD SIDING (BLUE)

6 EXTERIOR FINISH

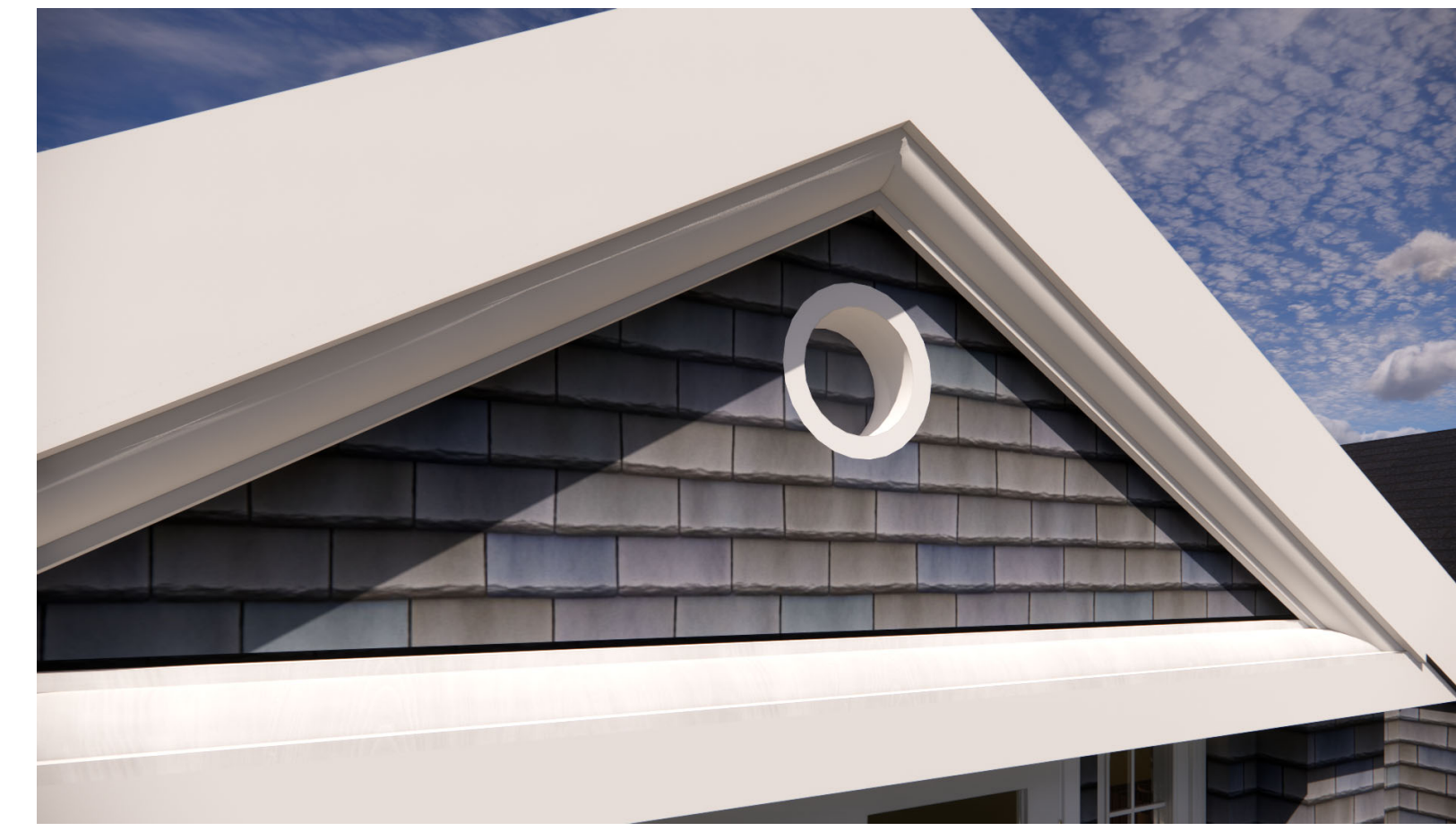


IMPERVIOUS DRIVEWAY PAVERS



PERVIOUS PATIO PAVERS

3 PAVERS



RAKE MOLDING (WHITE)

7 MOLDING



WOOD AND GLASS GARAGE DOOR (PAINTED WHITE)

4 GARAGE DOOR



BLACK ASPHALT SHINGLE ROOF

8 ROOFING

REVISION	No.

CONSULTANT:
 ARCHITECT:
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

MATERIAL SAMPLES- BLDG C
CR1 SUITES
 Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22
 SCALE:
 DRAWN CS
 JOB NO. 18.21
A-6.3
 SHEET OF



DARK STAIN WOOD TRIM WINDOWS

1 GLAZING



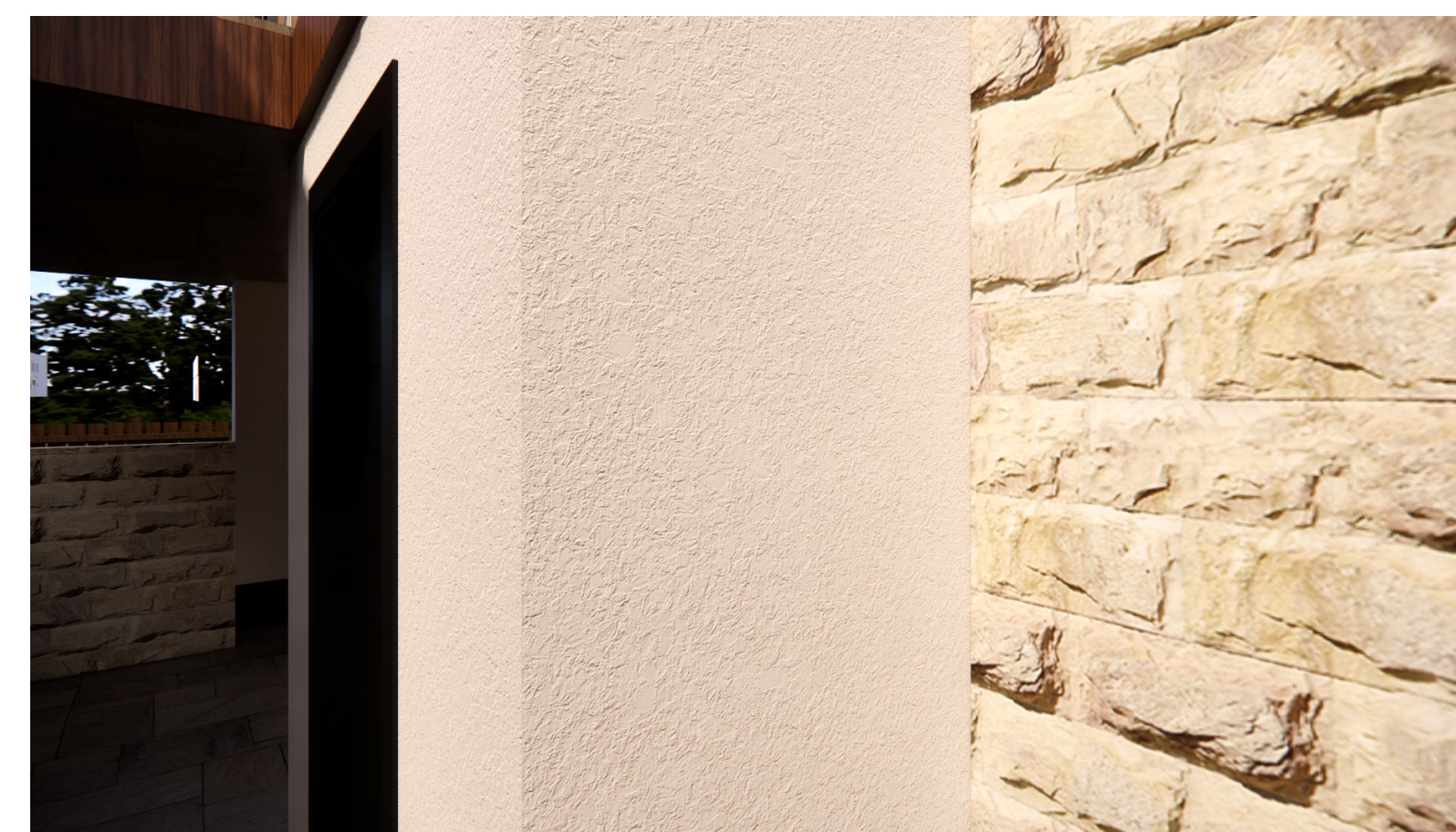
STONE BLOCK VENEER

5 EXTERIOR FINISH



BRONZE METAL GUARDRAIL

2 RAILING



BEIGE PLASTER

6 EXTERIOR FINISH



DARK STAINED WOOD BEAMS

3 BEAMS



DARK STAINED WOOD FASCIA

7 FASCIA



DARK STAINED WOOD DOOR

4 DOOR

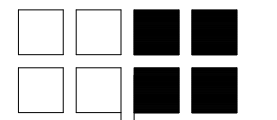


SPANISH TILE ROOF

8 ROOFING

REVISION	No.

CONSULTANT:



ARCHITECT: **ERIC MILLER ARCHITECTS, INC.**

211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

MATERIAL SAMPLES - BLDG D

CR1 SUITES

Carpenter Street between 1st and 2nd Ave.
Carmel, CA 93921
A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22

SCALE:

DRAWN CS

JOB NO. 18.21

A-6.4

SHEET OF



BUILDING A- LOT 1 PERSPECTIVE



BUILDING B- LOT 1 PERSPECTIVE



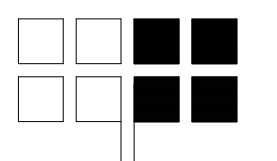
BUILDING C- LOT 3 PERSPECTIVE



BUILDING D- LOT 3 PERSPECTIVE

REVISION	No.

CONSULTANT:



ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CA 93940
 PHONE (831) 372-0410 ■ FAX (831) 372-7840 ■ WEB: ericmillerarchitects.com

ARCHITECT:

RENDERED PERSPECTIVES

CR1 SUITES

Carpenter Street between 1st and 2nd Ave.
 Carmel, CA 93921
 A.P.N. 010-021-024 & 010-021-025

DATE: 4/14/22

SCALE:

DRAWN CS

JOB NO. 18.21

A-6.5
 SHEET OF