



7th Ave. frontage at Mission St. (view South)



GBG entrance, two street parking spaces



Parking area view from 7th Ave., GBG building on left



Parking area and adjacent First American Title building



Display cases on Mission St.



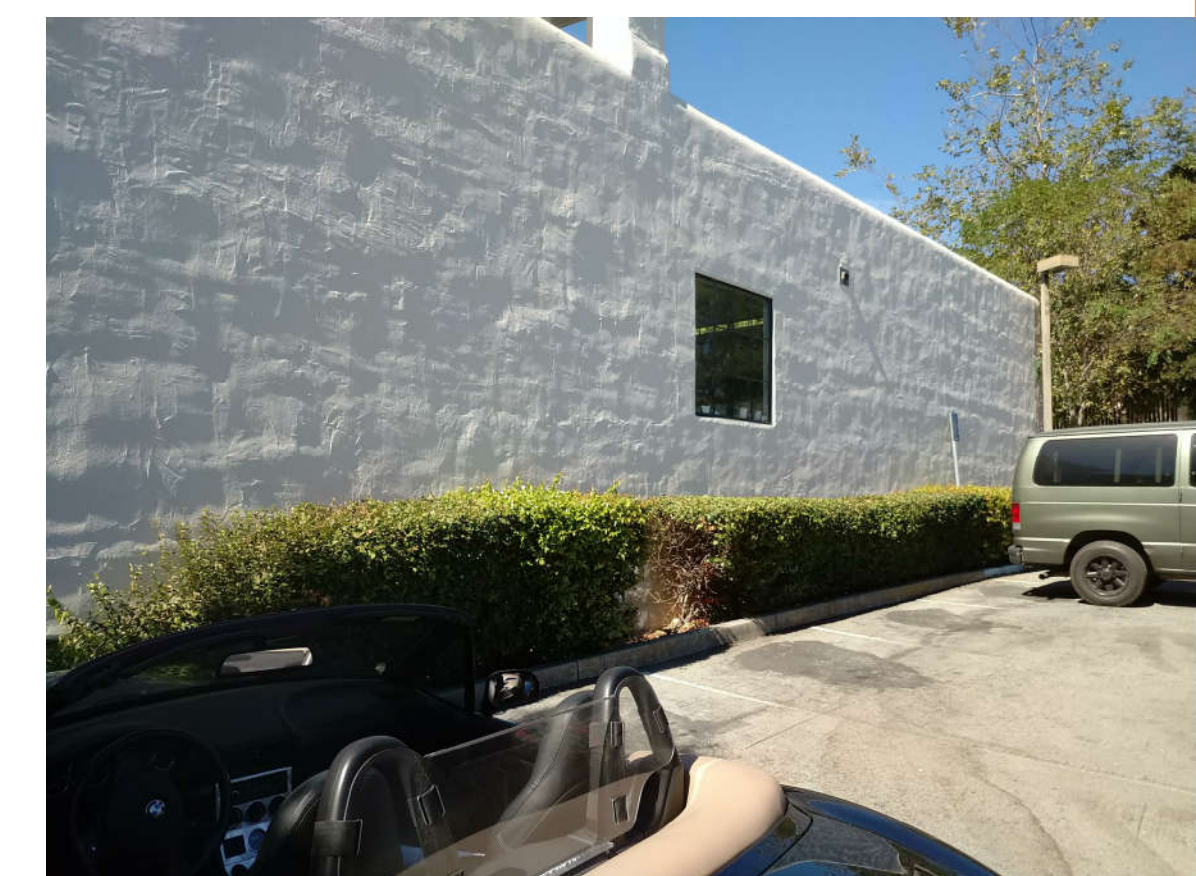
Display cases on 7th Ave.



East side of parking at driveway



East side of parking (GBG building)



West side of parking area (First American Title bldg.)

**4 SITE PHOTOS**



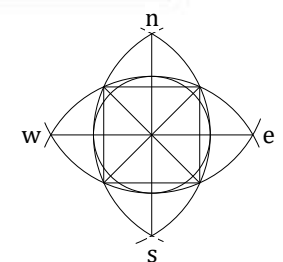
**5 OVERVIEW**

<b>ADDRESS</b>	Mission St. and 7th Ave. SW
<b>ASSESSORS PARCEL ID</b>	010-142-001-000
<b>LEGAL</b>	Block 90 Lots 1 & 3
<b>OWNERS</b>	Sweetpea and Montag Ivester, TEL 831-277-8260 tagivester@gmail.com PO Box AA, Carmel by the Sea, CA 93921
<b>APPLICANT</b>	Carl M. Maxey, Architect TEL 831-236-0817 carlmaxeyarchitect@protonmail.ch PO Box U, Carmel by the Sea, CA 93921
<b>LAND USE</b>	Mixed use commercial
<b>ZONING DESIGNATION</b>	SC
<b>SITE AREA</b>	8,000 Square feet
<b>JURISDICTIONS</b>	CITY OF CARMEL BY THE SEA, MONTEREY PENINSULA WATER MANAGEMENT DISTRICT

**2 PROPERTY INFORMATION**



**3 LOCATION MAP, Mission St. & 7th Ave.**



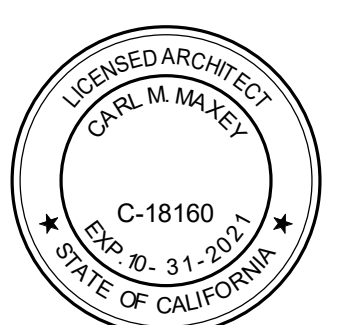
1. Relocate (flip) all parking spaces from the West side to the East side of the parking area to improve ADA and pedestrian access and safety. Provide a new walkway and revise landscaping through the parking area to 7th Ave. adjacent to the GBG building.
2. Relocate the driveway access and reduce it's width from 21 feet to 11 feet. Relocate/strip 1 street parking space. There would be potential to add bicycle/motorcycle parking at the corner because of the narrower new driveway.
3. Construct a masonry screen wall and landscaping area along the 7th Ave. frontage at the back of sidewalk to screen the parking area from street view.
4. The screen wall would have 1 wood vehicle gate and 1 wood pedestrian gate and 2 display cases to match existing ones on the adjacent GBG building. Display cases would contribute to the sidewalk illumination at night. Gates would remain open during business hours, closed at night.

**1 PROJECT DESCRIPTION**

**ISSUE DATE:**  
12/09/20

**REVISIONS**

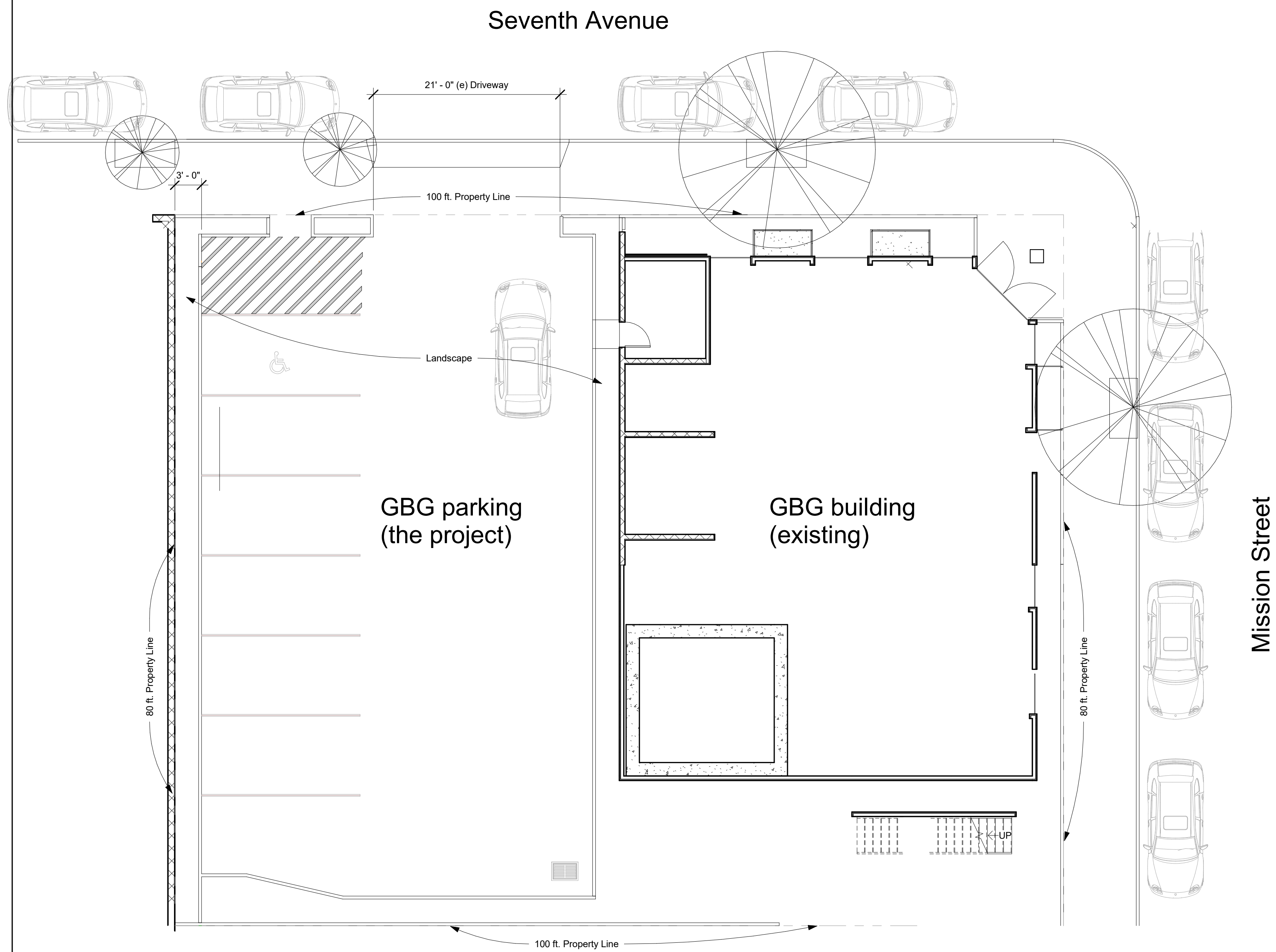
Rev.	Date



**PLANNING INFORMATION**

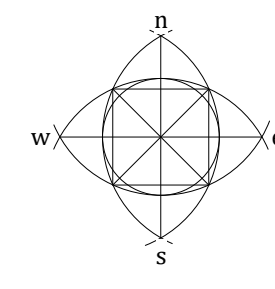
**SHEET**  
**G 1.0**



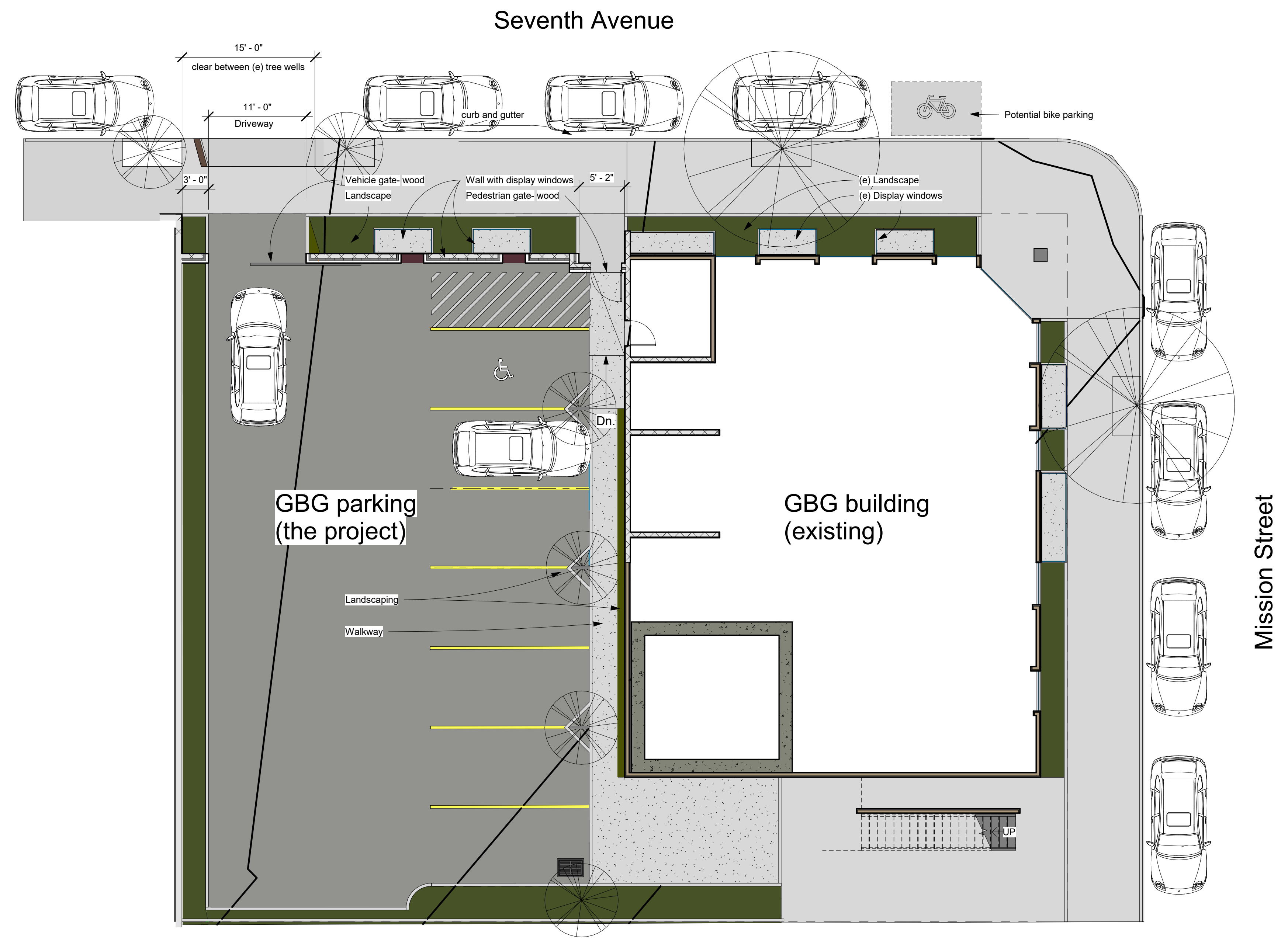


2 SITE PLAN EXISTING

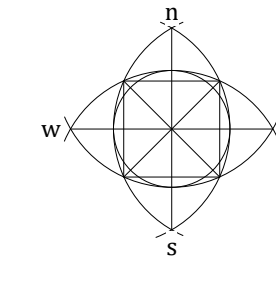
50 ft. Property Line



0' 4' 8'



1 SITE PLAN PROPOSED

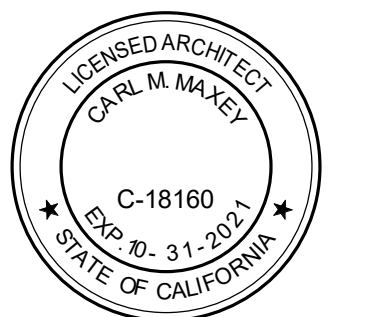


0' 4' 8'

ISSUE DATE:  
12/09/20

REVISIONS

Rev.	Date



SITE PLANS

SHEET  
A 1.0

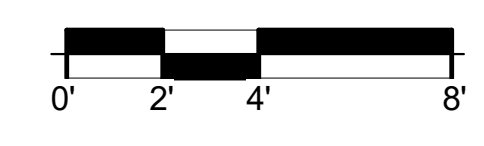


REVISIONS

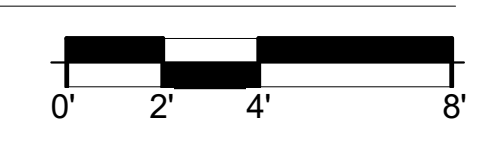
Rev.	Date



2 NORTH ELEVATION-EXISTING



1 NORTH ELEVATION-PROPOSED







TAX CODE AREA 1-00

ASSESSOR'S MAP BOOK 10 PAGE 14

THIS MAP IS INTENDED TO BE USED FOR PROPERTY TAX ASSESSMENT PURPOSES ONLY.

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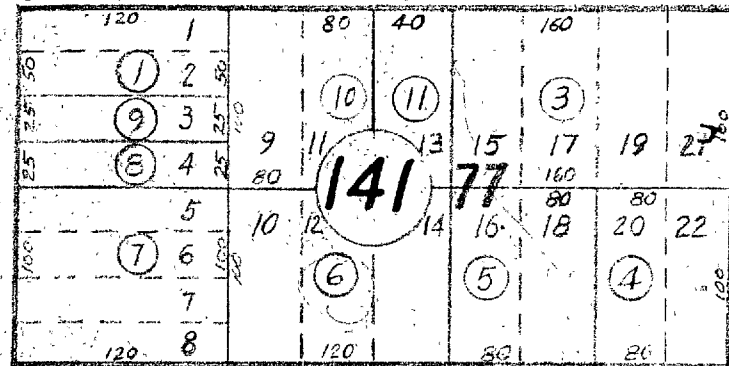
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MISSION

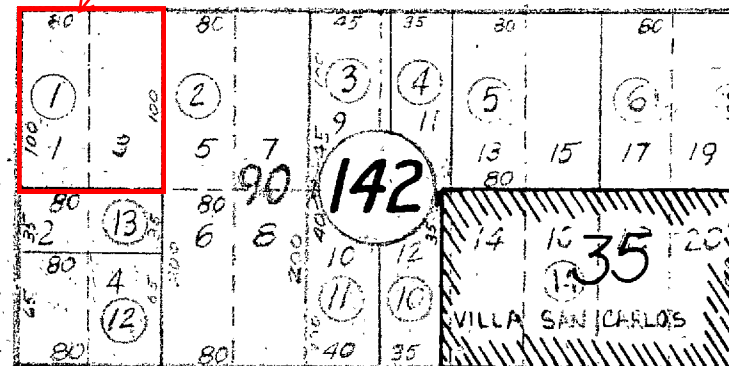
Subject property

ST.

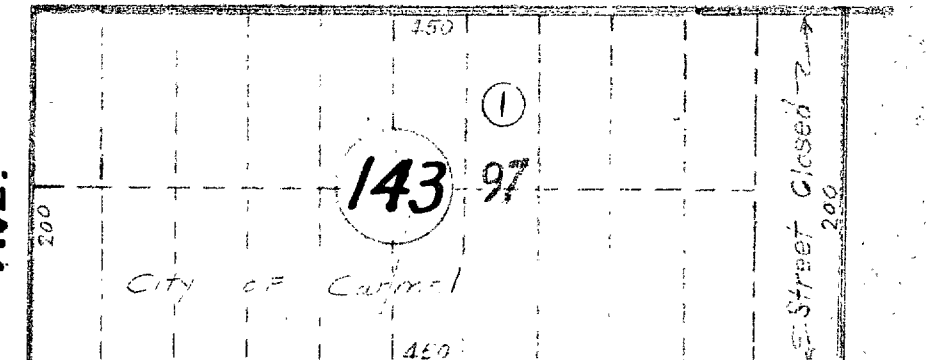
AVE.



AVE.



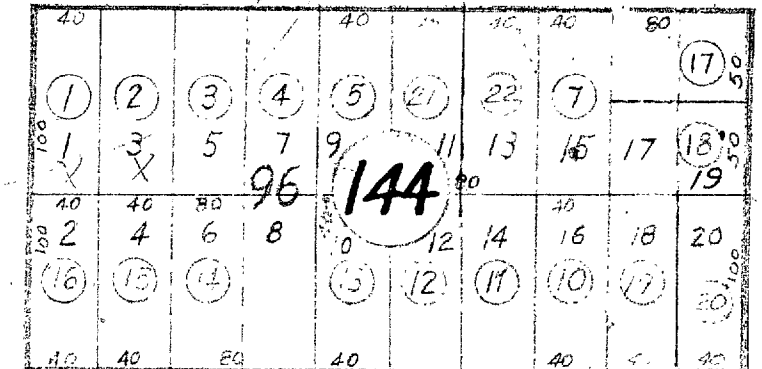
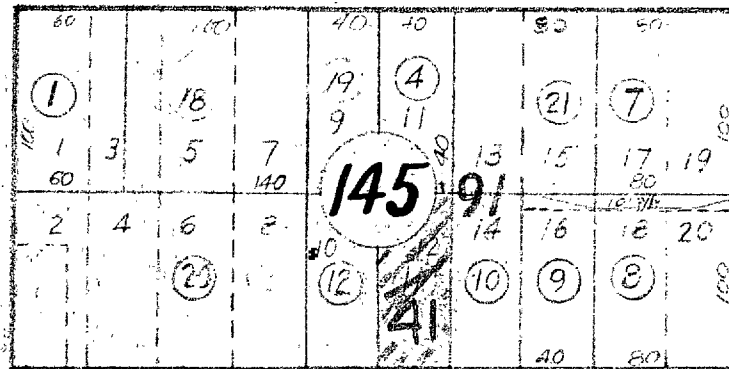
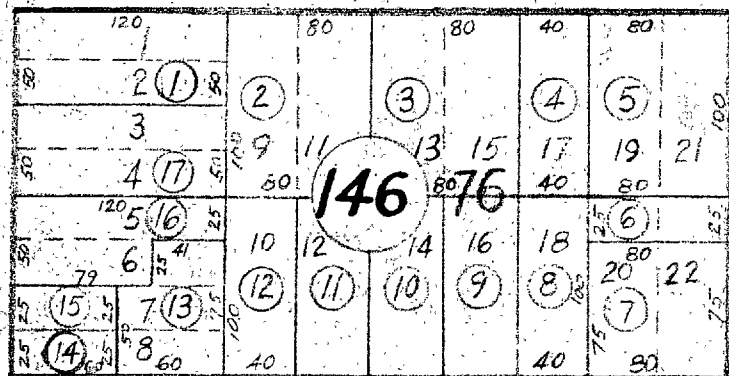
AVE.



SAN CARLOS

ST.

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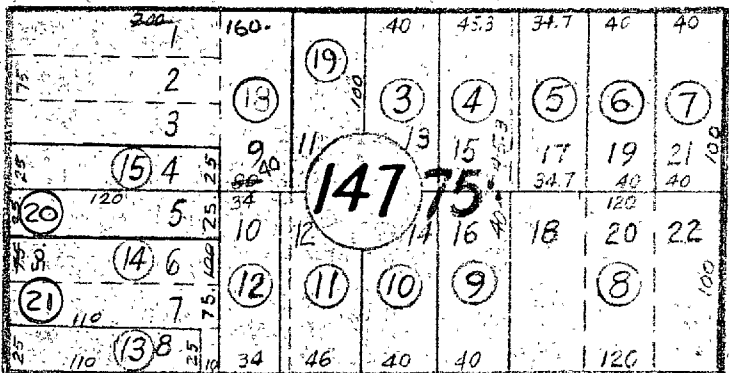
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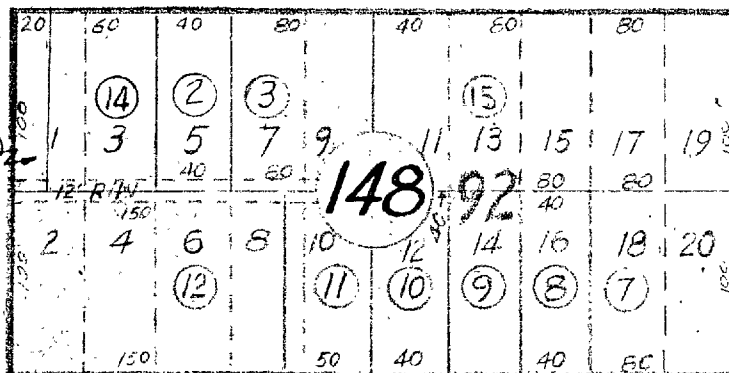
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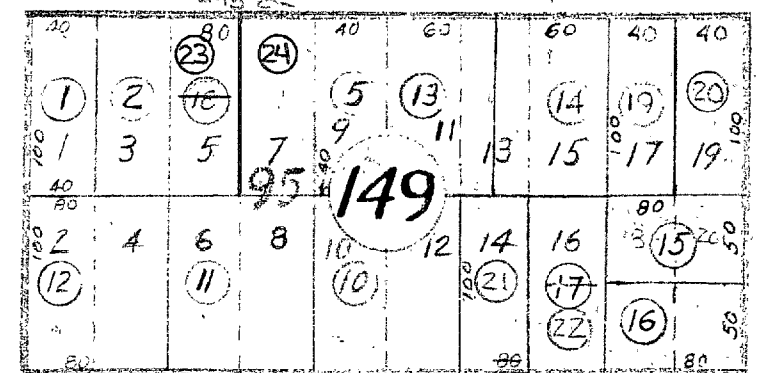
OCEAN



7TH



8TH



9TH

LINCOLN

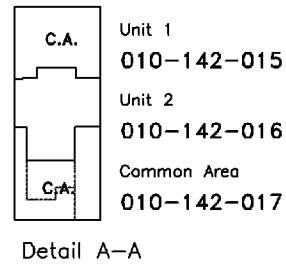
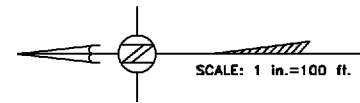
ST.

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18

CARMEL BY THE SEA BLOCKS 75,76,77, 90,91,92,95,96 & 97



09-9

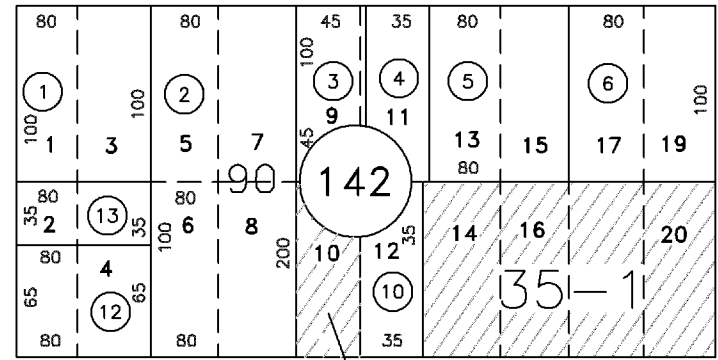
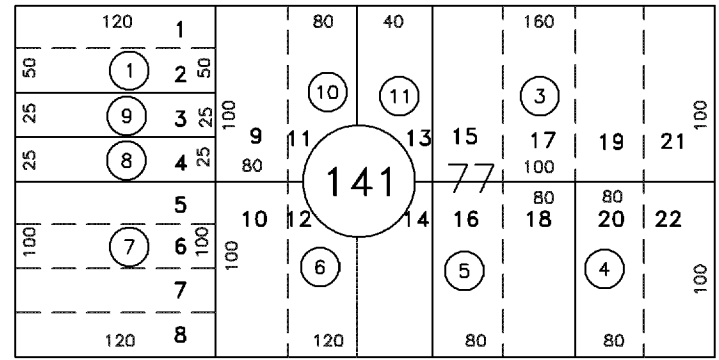
08-8

07-6

AVE.

MISSION

ST.



AVE.

143

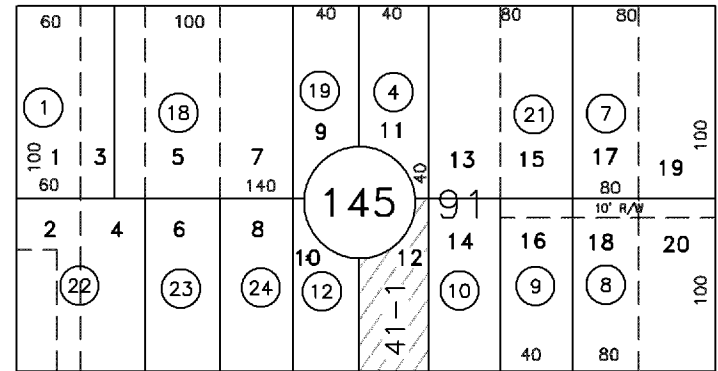
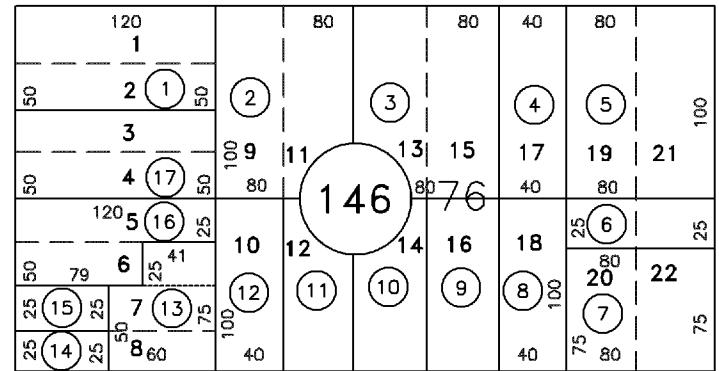
City of Carmel

SFREET CLOSED

SAN CARLOS

ST.

13-8



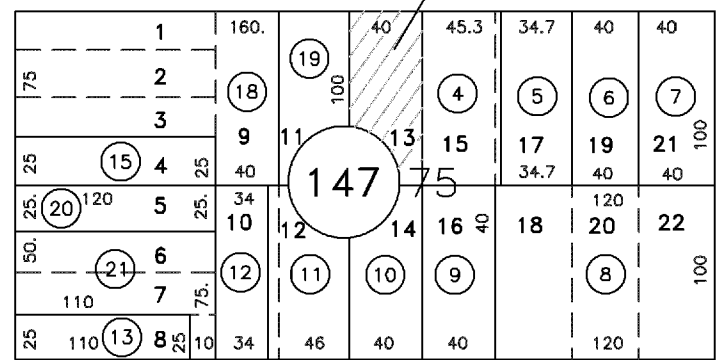
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15-9

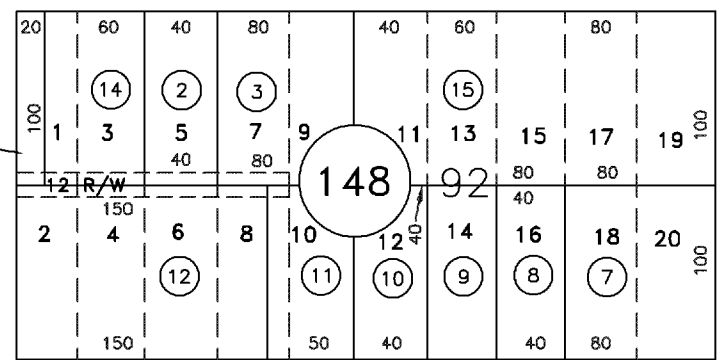
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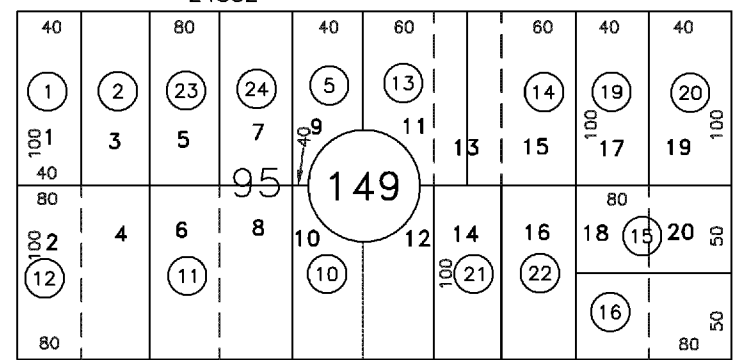
OCEAN



7 TH



8 TH



9 TH

LINCOLN

ST.

21-4

19-6

18-6

