



## NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

**Planning Case #:** Design Review 20107

**Owner Name:** PACIFIC REPERTORY THEATRE

**Case Planner:** Evan Kort, Associate Planner

**Date Posted:** \_\_\_\_\_

**Date Approved:** 12/04/2020

**Project Location:** Monte Verde, 4 SW of 8th Avenue

**APN #:** 010194016000      **BLOCK/LOT:** C/ALL LOTS 11, 12, 13, AND 14

**Applicant:** Stephen Moorer, Agent

**Project Description:** This approval authorizes the installation of new Americans with Disabilities Act (ADA) compliant exit ramps located on the north and south sides of the exterior of the existing theater and associated improvements to accommodate the new ramps. Associated improvements include: the removal of the existing exit ramps and stairs on both the north and south sides of the building, the removal of an existing window on the south elevation near the Circle Theater, the relocation of two doors on both the north and south sides of the theater, modifications to the existing mechanical enclosure, the removal of four 3'x5' architectural "pop-outs", and walkway and planter improvements to accommodate the egress provided by the new ADA ramps. The project shall be constructed in substantial compliance with the project plans prepared by RFM Architects, dated received by the Community Planning and Building Department on October 20, 2020 except as modified by the Conditions of Approval herein.

**Can this project be appealed to the Coastal Commission?** Yes  No

*Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.*

## CITY OF CARMEL-BY-THE-SEA

### DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

#### FINDINGS & CONDITIONS FOR DESIGN REVIEW APPROVAL

DR 20-107 (PacRep)

Monte Verde 4 SW 8th

Block/Lot: C/11-14

APN: 010-194-016

Date of Action: December 4, 2020

#### PROJECT DESCRIPTION

Design Review (DR 20-107) application for the installation of new Americans with Disabilities Act (ADA) exit ramps located on the north and south sides of the exterior of the existing theater and associated improvements to accommodate the new ramps. Associated improvements include: the removal of the existing exit ramps and stairs on both the north and south sides of the building, the removal of an existing window on the south elevation near the Circle Theater, the relocation of doors on both the north and south sides of the theater, modifications to the existing mechanical enclosure, the removal of four 3'x5' architectural "pop-outs", and walkway and planter improvements to accommodate the egress provided by the new ADA ramps.

#### FINDINGS OF FACT:

1. The project site is located on Monte Verde 4 SW 8th in the Theatrical (A-1) Zoning District.
2. On May 18, 2020, the Community Planning & Building Department received a Design Review application for proposed modifications to bring the Golden Bough Theater into compliance with American with Disabilities Act (ADA) regulations.
3. Pursuant to CMC Section 17.18.050 (Purpose), the purpose of the Theatrical (A-1) Zoning District is, *"to provide appropriate zoning for existing theaters located amidst the R-1 land use district. Uses permitted in this district shall be limited to those associated with the theater and performing arts."*
4. Live Performance and Motion Picture Theater are permitted uses in the A-1 Zoning District.
5. The existing site is used for theater and performing arts. The site has been used as a performing arts venue since 1922. The currently existing Golden Bough Theater was constructed in 1951.

6. On December 18, 2006 the Historic Resources Board determined that the site is historically significant for its cultural heritage, however, the architectural style of the building is not historically significant and could be remodeled and/or altered.
7. A Certified Access Specialist (CASP) Report was prepared by Izor & Associates Inc. and identified where the existing building and site failed to meet ADA standards.
8. The applicant is proposing modifications to the existing theater to bring the structure into compliance with ADA regulations.
9. Ramps, stoops and stairs, and walkways are permitted to encroach into the side yard setback (CMC 17.10.030.A.2, Setback Exceptions).
10. The site contains existing exit ramps and stairs which are not ADA compliant.
11. The new ADA compliant exit ramps are proposed to replace the existing non-compliant ramps and stairs. All new ramps, stairs, and landings will be constructed over existing site coverage or will replace existing site coverage improvements – site coverage would not increase.
12. This Design Review Application consists of exterior exit ramps to the building for the purpose of bringing the site into compliance with ADA regulations. Any future alteration to the site that otherwise increases the volume of the building through the addition of new exterior floor area, exterior site coverage, or increases the height of the structure shall be reviewed by the Planning Commission for consistency with the A-1 Development Regulations.
13. The project does not fundamentally alter the nature of the service, program, or activity of the historic theater use.
14. A Coastal Development Permit is not required in accordance with CMC 17.52.100.C (Other Improvements).
15. The project qualifies for a Class 1 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines. Class 1 consists of minor alteration of existing private structures involving negligible or no expansion of existing or former use. The project involves the addition of new exit ramps to an existing theater to meet ADA standards and associated site and building improvements to accommodate the new ramps.



**FINDINGS REQUIRED FOR DESIGN REVIEW APPROVAL (CMC 17.58.060.B):**

1. The project conforms to the applicable policies of the General Plan and the Local Coastal Program:

*The project conforms to the applicable policies of the General Plan and the Local Coastal Program. The subject site has a Land Use Designation of "Open Space/Recreation/Cultural." This land use provides for public and quasi-public facilities created to promote cultural activities; the existing theater facility is quasi-public facility that promotes cultural activities. The project allows the theater to be accessible to persons with disabilities and brings the site into compliance with Americans with Disabilities Act (ADA) regulations and does not alter the existing historic use as a theater.*

2. The project complies with all applicable provisions of the zoning code:

*The project complies with all applicable provisions of the zoning code. The project is located in the Theatrical District (A-1) which is intended for the creation of space for theaters and cultural facilities to in the community to promote the arts (CMC 17.04.050.B). The project consists of the removal and replacement of existing exit ramps that are not compliant with Americans with Disabilities Act (ADA) standards with ramps, stairs, and landings and associated changes to accommodate the new accessible ramps.*

3. The project is consistent with applicable adopted design review guidelines.

*The project is consistent with applicable adopted design guidelines. In accordance with CMC 17.18.100 (A-1 District Development Regulations), certain R-1 district regulations are to be used in reviewing any structure built in the A-1 zone for the purpose of maintaining residential character and design. The Americans with Disabilities Act (ADA) upgrades to replace existing non-compliant ramps and stairs with ADA compliant exiting from the theater are not contrary to the character of the surrounding residential district. There is no increase in building coverage or site coverage. The exterior window and door modifications to the building facilitates ADA accessibility and will not have an adverse effect on residential character.*

**CONDITIONS OF APPROVAL:**

1. **Authorization:** This approval authorizes the installation of new Americans with Disabilities Act (ADA) compliant exit ramps located on the north and south sides of the exterior of the existing theater and associated improvements to accommodate the new ramps. Associated improvements include: the removal of the existing exit ramps and stairs on both the north and south sides of the building, the removal of an existing window on the south elevation near the Circle Theater, the relocation of two doors on both the north and south sides of the theater, modifications to the existing mechanical enclosure,

the removal of four 3'x5' architectural "pop-outs", and walkway and planter improvements to accommodate the egress provided by the new ADA ramps. The project shall be constructed in substantial compliance with the project plans prepared by RFM Architects, dated received by the Community Planning and Building Department on October 20, 2020 except as modified by the Conditions of Approval herein.

2. **Codes and Ordinances:** The project shall be constructed in conformance with all requirements of the Theatrical (A-1) zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent design review approval.
3. **Permit Validity:** This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.
4. **Modifications:** The applicant shall submit in writing to the Community Planning and Building Department any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.
5. **Exterior Lighting:** All exterior lighting shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.
6. **Cultural Resources:** All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.

7. **Building Permit Required:** The applicant shall apply for and obtain a building permit prior to commencing work.
8. **Appeal Period:** This approval is subject to a 10-calendar day noticing and appeal period.
9. **Printed Conditions of Approval:** These conditions of approval shall be printed in the building plan set.
10. **Tree Marking:** Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
11. **Attachments:** No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
12. **Tree Protection Zone:** The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing.
13. **Structural Root Zone:** Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots.
14. **Tree Roots (A):** If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
15. **Tree Roots (B):** If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.
16. **Water Use:** Approval of this application does not permit an increase in water use on the project site without adequate supply.
17. **USA North 811:** Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No

digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information).

18. **Mechanical Equipment:** Mechanical equipment shall be screened from public view and conform with the applicable standards outlined in CMC 17.28.020 (Noise from Electrical and Mechanical Equipment).
19. **BMP Tracking Form:** A completed BMP Tracking form will need to be submitted with the Building Permit Application.
20. **Semi-Permeable Surfaces.** Provide cross-section details for any semi-permeable surfaces.
21. **Erosion and Sediment Control Plan.** Provide an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access with Building Permit application.
22. **Indemnification:** The applicant agrees, at the applicant's sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

\*Acknowledgement and acceptance of conditions of approval.

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Property Owner Signature

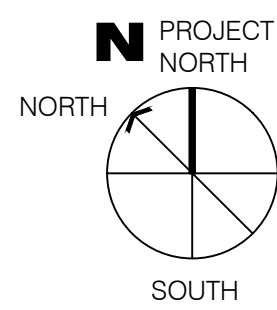
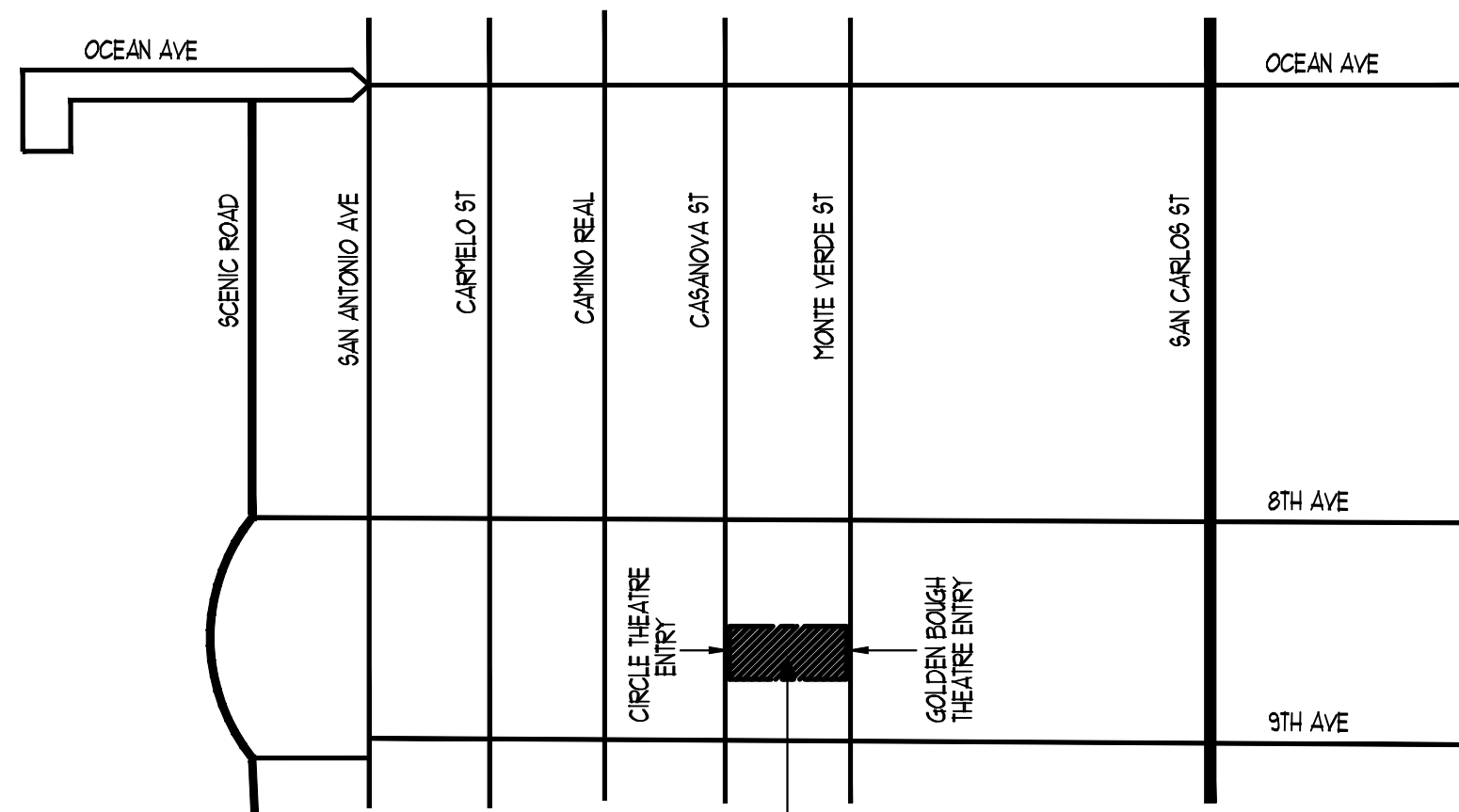
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Printed Name

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Date

***Once signed, please return the original to the project Planner at the Community Planning and Building Department.***



PROJECT SITE

N.T.S.

## VICINITY & ORIENTATION

PACIFIC REPARATORY THEATRE  
LOCATION WITHIN CITY OF CARMEL-BY-THE-SEA

PROJECT ADDRESS:  
MONTE VERDE ST., BETWEEN 8TH AND 9TH AVENUES  
CARMEL-BY-THE-SEA, CA 93921

FOR CONSTRUCTION & OCCUPANCY  
DATA REFER TO SHEET G-002

**Received**  
**City of Carmel -by-the-Sea**

**Oct. 20, 2020**

**Community Planning & Building  
Department**

### PROJECT DATA

OWNER/APPLICANT: ATTN: STEPHEN MOORER  
PACIFIC REPARATORY THEATRE  
MONTE VERDE ST. BETWEEN 8TH AND 9TH AVENUES  
CARMEL-BY-THE-SEA, CA 93921

MAP PREPARER: RFM ARCHITECTS  
40 E. MONTECITO AVE, SIERRA MADRE, CA 91024

ADDRESS: MONTE VERDE ST. BETWEEN 8TH AND 9TH AVENUES  
CARMEL-BY-THE-SEA, CA 93921

ASSESSOR PARCEL NUMBER (APN): 010-134-016-000

LEGAL DESCRIPTION: CARMEL-BY-THE-SEA ADD 1 LOTS 11, 12, 13 & 14 BLK C

ZONING: A-1 THEATRICAL

GENERAL PLAN DESIGNATION: CITY OF CARMEL-BY-THE-SEA  
A-1 - THEATRICAL

LAND USE: A-1 (THEATRICAL):  
(1) THEATER AND CONCERT HALL,

OCCUPANCY GROUP: CBC 3032: ASSEMBLY GROUP A-1  
CBC 3041: BUSINESS GROUP B

CONSTRUCTION TYPE: IV-A

STORIES/HEIGHT: TWO STORY REF. G-003 FOR HEIGHTS

NATURE OF BUSINESS OPERATION: ASSEMBLY, THEATER & CONCERT HALL

ESTIMATED NUMBER OF EMPLOYEES:  
19 FULL-TIME EMPLOYEES,  
11 SEASONAL/PART-TIME EMPLOYEES

NOTES:

### DOCUMENT INDEX

**ARCHITECTURAL**

G-001 PROJECT VICINITY & DRAWING INDEX  
G-002 PROJECT LOGISTICS  
G-003 BUILDING OCCUPANCY & GEN NOTES  
G-004 NOT IN USE  
G-005 ABBREVIATIONS

R-101 (E) SITE PLAN  
R-102 (E) MAIN STAGE & LOBBY PLAN  
R-103 (E) STADIUM SEATING PLAN  
R-104 (E) OFFICE MEZZANINE PLAN  
R-300 (E) EXTERIOR NORTH & SOUTH ELEVATIONS  
R-301 (E) EXTERIOR EAST & WEST ELEVATIONS

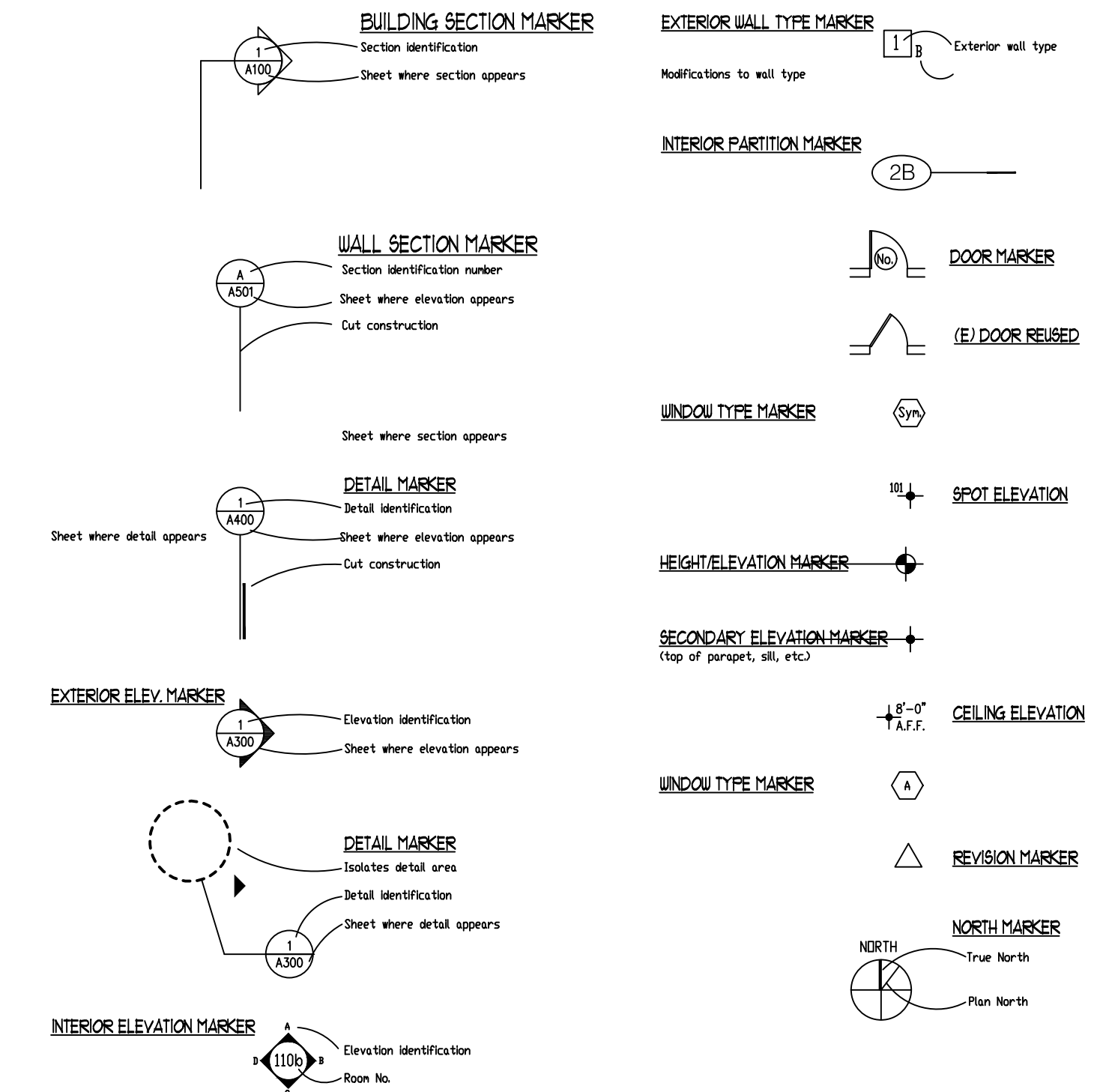
A-100 PHASE-2A REFERENCE PLAN  
A-101 PHASE-2A GALLERY PLAN  
A-108 NOT IN USE  
A-109 PHASE-2A OFFICE MEZZANINE PLAN  
A-300a PHASE-2A NORTH ELEVATION VISUAL COLOR BOARD  
A-300b PHASE-2A SOUTH ELEVATION VISUAL COLOR BOARD  
A-301 PHASE-2A EXTERIOR ADAPTIVE SOUTH ELEVATIONS  
A-302 PHASE-2A EXTERIOR ADAPTIVE NORTH ELEVATIONS  
A-303 PHASE-2A EXTERIOR ADAPTIVE ELEVATIONS EAST & WEST  
A-105 PHASE-2A PARTITION FRAMING DETAILS  
LT-101 PHASE-2A LIGHTING PLAN  
LT-102 PHASE-2A EXTERIOR LIGHTING FIXTURES  
AC-100 PHASE-2A NOISE MITIGATION  
D-100a PHASE-2A DEMOLITION SPECIFICATION  
D-100b NOT IN USE  
D-101 PHASE-2A PROPOSED AREAS OF WORK  
SD-101 PHASE-2A SITE DEV. SOUTH-EAST PLANTER  
SD-102 PHASE-2A SITE DEV. NORTH-EAST PLANTER  
SEA-102 PH-2A SEATING PLAN

### PROJECT DIRECTORY

**ARCHITECT**  
RF McCANN THEATRE ARCHITECTS, INC.  
40 EAST MONTECITO AVE  
SIERRA MADRE, CA 91024  
PH (626) 836-1060  
FX (626) 836-1090

**STRUCTURAL ENGINEER**  
JAIME GARZA, SE  
THE DESIGN COLLABORATIVE  
LOS ANGELES, CA  
(213) 663 2011

### LEGEND OF SYMBOLS



### LEGEND OF WALL REFERENCES

#### NEW WALLS

	NEW CONC. 6-INCH
	NEW CONC. 8-INCH
	NEW WD-FURRED 2-INCH SINGLE GWB
	NEW WD STUD 4-INCH GWB EA. SIDE
	NEW WD STUD 6-INCH DBL GWB EA. SIDE
	NEW WD STUD RC-1 6-INCH GWB EA. SIDE
	NEW WD STUD 6-INCH FUR'D WALL SINGLE GWB
	NEW 8-INCH CMU WALL PER STRUC.
	NEW 10-INCH CMU WALL PER STRUC.
	NEW TEXTURED CMU WALL (EXTERIOR RAMP)

#### EXISTING WALLS

	(E) 5-INCH WD-STUD TO REMAIN
	(E) 6-INCH CONC. TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING PLANTER W/ CARMEL STONE

### SPECIALTY LEGEND

	FIXED RAILS
	REMOVABLE RAILS
	HANDRAIL ONLY 42"
	GUARD RAIL 42" INCL. TOE RAIL ONLY
	FRONT RAIL
	FR (PER DETAIL AS SHOWN)

CHECK DRAWING SIZE BEFORE USING NOMINAL SCALE. IF  
BORDER SIZE IS LESS THAN 23" H. X 31 3/4" W. (OVERSIZE-D),  
NOMINAL SCALES DO NOT APPLY AND GRAPHIC SCALE  
MUST BE USED.

THIS SHEET FOR REVIEW & DISCUSSION ONLY, NOT FOR CONSTRUCTION

PROJECT:  
**GOLDEN BOUGH PLAYHOUSE**  
for PACIFIC REPERTORY THEATRE  
LOCATED BETWEEN 8TH & 9TH AVENUES  
OFF MONTE VERDI AND CASANOVA  
CARMEL, CALIFORNIA



RF McCANN, FAIA  
ARCHITECT  
40 EAST MONTECITO AV  
SIERRA MADRE, CA 91024  
PH (626) 836-1060  
ELECTRICAL ENGINEERING  
DANAR ELECTRIC  
NELSON CHAN, PE.  
1444 W. GAYLORD STREET  
LONG BEACH, CA 90813  
(562) 432-3636  
STRUCTURAL ENGINEERING  
THE DESIGN COLLABORATIVE  
Jaime Garza, SE  
4022 Bernice Place  
Los Angeles, CA 90031 US  
(213) 663-2017

REV. NO.	DATE	DESCRIPTION

RFM JOB # 1809  
PROJECT LOCATION  
CONSULTANT DIRECTORY  
DOCUMENT INDEX

ISSUE DATE:  
SCALE: AS INDICATED  
DRAWN: 2021 ADT DATE: 09-08-2020  
SHEET NUMBER  
**G-001**



# PROJECT DATA:

ORIGINAL DESIGN CODE: 1949 - UNIFORM BUILDING CODE

- YEAR OF COMPLETION: 1951

APPLICABLE CURRENT CODE: 2019 CBC

- CALIFORNIA BUILDING CODE, 2019 EDITION (CBC)  
INCLUDING: CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE  
CODE, TITLE-24. (LISTED ON SHEET G-003)

EXISTING CONSTRUCTION: TYPE V-A SPRINKLERED

- EXISTING THEATRES ARE PRESENTLY SPRINKLERED THROUGHOUT ALL AREAS  
ALL 'NEW AREAS' ARE ALSO TO BE SPRINKLERED (UNDER DEFERRED PERMIT)

EXISTING MAINSTAGE THEATRE OCCUPANCY: ASSEMBLY A-1

- EXISTING MAXIMUM CAPACITY: 317 SEATS
- PROPOSED MAXIMUM CAPACITY: 291 SEATS

EXISTING MEZZANINE BOOTH & OFFICE OCCUPANCY: ASSEMBLY A-1

- EXISTING MAXIMUM CAPACITY: 10
- PROPOSED MAXIMUM CAPACITY: 9

AREA OF INTERIOR ALTERATIONS

- 'PROPOSED' GROSS AREA OF ASSEMBLY ALTERATION = 7,000 SQFT
- 'PROPOSED' GROSS AREA OF MEZZANINE/OFFICE ALTERATION AREA = 650 SQFT

EXTERIOR ACCESSIBILITY

1. PROPOSED NEW RAMPED EXITS AT NORTH/SOUTH SERVING STAGE & AUDIENCE SEATING
2. PROPOSED NEW PATH OF TRAVEL IN COMPLIANCE WITH SLOPE, SURFACE, GUARD & HAND RAIL REQUIREMENTS

PARCEL IDENTIFICATION NUMBER

- ASSES. PARCEL 010-194-016-000

PROPERTY OWNER

- PACIFIC REPERTORY THEATRE  
MONTE VERDE ST., BETWEEN 8TH AND 9TH AVENUES  
CARMEL-BY-THE-SEA, CA 93921

LEGAL DESCRIPTION:

CARMEL BY THE SEA ADD 1 LOTS 11, 12, 13 & 14 BLK C

ZONING: "A-1" (THEATRICAL)

PROJECT:  
**GOLDEN BOUGH PLAYHOUSE**  
for **PACIFIC REPERTORY THEATRE**  
LOCATED BETWEEN 8TH & 9TH AVENUES  
OFF MONTE VERDE AND CASANOVA  
CARMEL, CALIFORNIA

**RFM**  
ARCHITECTS  
RF McCANN, FAIA  
ARCHITECT  
40 EAST MONTECITO AV  
SIERRA MADRE, CA 91024  
PH (626) 836-1060  
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THE DESIGN COLLABORATIVE  
Jaime Garza, SE  
4022 Bernice Place  
Los Angeles, CA 90031 US  
(213) 663-2017

REV. NO.	DATE	DESCRIPTION

SHEET TITLE  
**PROJECT LOGISTICS**  
RFMCO JOB #: 1809

ISSUE DATE:  
SCALE: AS INDICATED  
DRAWN: DATE:  
2021 ADT 03-08-2020  
SHEET NUMBER  
**G-002**

THIS SHEET FOR REVIEW & PLAN CHECK ONLY, NOT FOR CONSTRUCTION

GOLDEN BOUGH THEATRE PH-2A  
 INTERIOR ADDITIONS, UPGRADE (E) EXTERIOR P.O.T.  
**PROJECT SCOPE:**

**EXISTING CONSTRUCTION:**

CONSTRUCTION TYPE 3-A  
 TWO-STORY THEATRE, (E) EXTERIOR WALLS, AND (E) TYPE 3-A INTERIOR  
 BEARING WALL LOBBY & MEZZ. FRAMING. (E) AUDITORIUM & STAGE & OFFICE AREA ROOF FRAMING ARE  
 LONG-SPAN WOOD TRUSS FRAMING OF ROOF OVER AUDITORIUM & STAGE TO BE EXPOSED  
 (PER CBC 602, TAB 601) AT HEIGHT EXCEEDING 20- FEET ABOVE CONCRETE SLAB ON GRADE.

**NEW CONSTRUCTION:**

CONSTRUCTION TYPE - TO BE DETERMINED.  
 NEW STADIUM SEATING, NEW STADIUM LOBBY, NEW MEZZANINE OFFICE EXPANSION TO EXISTING.  
 REPLACE EXISTING EXTERIOR RAMP, UPGRADED ACCESSIBLE PATH-OF-TRAVEL AS REQ'D BY 2019 CBC

**OCCUPANCY:**

GROUP-A-1 (ASSEMBLY): (2019 CBC CHAPTER-3, SECTION 303.2)  
 OCCUPANT EXITS: PER 2019 CBC SECTION 1004 & TABLE 1004.5

	EXISTING	PH-2A	CODE REFERENCE
<b>LOBBY EXPANSION</b>			
MENS FIXTURE INCREASE	(E) WATER CLOSETS: 1 (E) URINALS: 0 (BELOW CODE MIN)	(N) WATER CLOSETS: 2 (N) URINALS: 1 (CODE COMPLIANT)	INCREASE REQ'D BY 2019 CFC TABLE 422.1 (MINIMUM PLUMBING FACILITIES). WATER CLOSETS PER 101-200 MALE OCCUPANTS: 2 URINAL PER 1-200 MALE OCCUPANTS: 1
MENS LAVATORIES	(E) MENS LAVATORIES: 1 (BELOW CODE MIN)	(N) MENS LAVATORIES: 2 (CODE COMPLIANT)	INCREASE REQ'D BY 2019 CFC TABLE 422.1 (MINIMUM PLUMBING FACILITIES). LAVATORY PER 1-200 MALE OCCUPANTS: 1
MENS TOILET ROOMS: ACCESSIBILITY, CLEARANCES.	(E) MENS TOILET ROOMS DO NOT CONFORM TO ACCESSIBILITY REQUIREMENTS	(N) MENS TOILET ROOMS ADDRESS ACCESSIBILITY, CLEARANCES, SPACE, NONDISCRIMINATORY, FIXTURE COUNT. PER 2019 CBC.	(N) TOILET ROOM UPGRADE CONFORMANCE W/ 2019 CBC CH. 11-B, DIVISION 6: PLUMBING ELEMENTS AND FACILITIES.
AREA BY OCCUPANCY	(E) TOTAL SEATING: 317 SEATS (E) M.V. LOBBY AREA: 679 SF  MAXIMUM 135 OCCUPANTS (EXCEEDS CODE MAX. OCCUPANCY)	(N) TOTAL SEATING: 291 SEATS (N) TOTAL LOBBY AREA: 1726 SF  MAXIMUM 345 OCCUPANTS (WITHIN CODE MAX. OCCUPANCY)	INCREASED LOBBY AREA REQ'D BY 2019 CBC TABLE 1004.5 (MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT)  ASSEMBLY WITHOUT FIXED SEATS  STANDING SPACE: 5 SF PER OCC.
<b>STADIUM &amp; ORCHESTRA SEATING FORM</b>			
aisle (EXIT) PATH-OF-TRAVEL	(E) AISLE (EXIT) PATH-OF-TRAVEL (P.O.T.) TURNING RADIUS, HANDRAILS, RAMP SLOPE, NOT CODE COMPLIANT.	(N) AISLE (EXIT) P.O.T. INCLUDES: CODE-COMPLIANT; HANDRAILS, MAX. 8.33% SLOPE AT ALL RAMP, MIN. 5'-0" TURNING RADIUS	(N) AISLE (EXIT) P.O.T. DESIGN TO CONFORM W/ 2019 CBC CH. 11-B (ACCESSIBILITY TO PUBLIC BUILDINGS, PUBLIC ACCOMMODATIONS), DIVISION-5: GENERAL SITE AND BUILDING ELEMENTS, & CBC CH-10 MEANS OF EGRESS
aisle ILLUMINATION	(E) AISLE (EXIT) PATH-OF-TRAVEL (P.O.T.) NO AISLE ILLUMINATION	(N) AISLE (EXIT) P.O.T. INCLUDES AISLE ILLUMINATION, FULL ACCESSIBLE PATH-OF-TRAVEL	(N) AISLE (EXIT) P.O.T. DESIGN TO CONFORM W/ 2019 CBC CH. 10 MEANS OF EGRESS; SECTION 1008 MEANS OF EGRESS ILLUMINATION.
SEATING FORM	(E) SEATING FORM NON CODE COMPLIANT; RISER HEIGHTS EXCEED CODE MAX. 1", AISLE LANDINGS BELOW MIN. DEPTH, HANDHOLDS, HANDRAILS DO NOT MEET CODE REQUIREMENTS	(N) ORCHESTRA & STADIUM SEATING CODE COMPLIANT DESIGN; RISER HEIGHT PER CODE, AISLE LANDINGS DIMENSION PER CODE, HANDHOLDS, HANDRAILS DESIGN PER CODE	(N) ORCHESTRA & STADIUM SEATING FORM DESIGN TO CONFORM W/ 2019 CBC CH. 10 MEANS OF EGRESS; SECTION 1001: STAIRWAYS SECTION 1002: RAMP SLOPE SECTION 1004: HANDRAILS
SEAT ROW SPACING	(E) SEAT ROW SPACING: SEAT ROW WIDTH NOT CODE-COMPLIANT	(N) SEATING DESIGN INCLUDES CODE-COMPLIANT SEAT ROW WIDTH	(N) SEATING ROW DESIGN TO CONFORM W/ 2019 CBC CH. 10 MEANS OF EGRESS; SECTION 1002.13: AISLE ACCESSWAYS.
SIGHT, SOUND, & VIEWING ANGLES	(E) SEATING FORM HINDERS SIGHT, SOUND, & VIEWING ANGLES  NON-CODE COMPLIANT	(N) SEATING FORM DESIGNED FOR NONDISCRIMINATORY SIGHT, SOUND, & VIEWING ANGLES FOR ALL PATRONS.	(N) SEATING FORM DESIGN TO CONFORM W/ 2019 CBC DIVISION 9, SPECIAL ROOMS, SPACES, AND ELEMENTS; SECTION 11B-902.1.4 LINES OF SIGHT SOUND TRANSMISSION VIEWING ANGLES
<b>MEZZANINE LEVEL OFFICE EXPANSION</b>			
MEZZ. LVL. STAIRWAYS	(E) TWO (2) STAIR EXITS DO NOT LEAD TO EXITS, NONCOMPLIANT RISER HEIGHT, TREAD DEPTH, & WIDTH	(N) MEZZ. STAIR LEADING TO EXTERIOR EXIT WITH COMPLIANT RISER HEIGHT, TREAD DEPTH, & STAIR WIDTH. PER 2019 CBC	(N) MEZZ. STAIR TO CONFORM W/ 2019 CBC CH. 10: SECTION 1001: STAIRWAYS
MEZZ. LVL. AREA BY OCCUPANCY	(E) MEZZANINE LEVEL AREA OCCUPANCY MEANS OF EGRESS INCLUDING: STAIRWAY, EXIT LOCATIONS, DOOR SIZE. NOT CODE COMPLIANT	(N) MEZZANINE LEVEL AREA BY OCCUPANCY WITH COMPLIANT: STAIRWAY, EXIT ILLUMINATION, CODE COMPLIANT MEANS OF EGRESS	(N) MEZZANINE LEVEL TO CONFORM W/ 2019 CBC TITLE-24: CH. 10: MEANS OF EGRESS; TABLE 1006.2.1 EGRESS BASED ON OCCUPANT LOAD AND COMMON PATH OF EGRESS TRAVEL DISTANCE

**EXISTING**

<b>GOLDEN BOUGH PROJECT BUILDING FOOTPRINT</b>	
GOLDEN BOUGH FOOTPRINT	EXISTING BUILDING 8,745 SQ FT
<b>BUILDING SET BACKS</b>	
PLAN LEVELS	EXISTING BUILDING
NORTH SIDE	1ST FL = 2'-0"
SOUTH SIDE	1ST FL = 8'-2" 2ND FL = 16'-9"
EAST SIDE	1ST FL = 12'-0" 2ND FL = 30'-0"
WEST SIDE	1ST FL = 34'-0" 2ND FL = 50'-0"
<b>INTERIOR FLOOR AREA</b>	
PLAN LEVELS	EXISTING BUILDING
OFFICE MEZZANINE PLAN	1,015 SQ FT
SEATING FORM	2,815 SQ FT
MAIN STAGE + LOBBY	5,341 SQ FT
<b>FLOOR AREA RATIO</b>	
EXISTING BUILDING .83 FAR	

<b>GOLDEN BOUGH SEATING TABLE</b>	
EXISTING TOTAL SEATING 317 SEATS	
PLAN LEVELS	EXISTING BUILDING SUBTOTAL
GALLERY SEATING	N/A
STADIUM SEATING	178 SEATS
ORCHESTRA SEATING	139 SEATS
CIRCLE THEATRE TOTAL SEATING 120 SEATS	

**PHASE-2A**

<b>GOLDEN BOUGH PROJECT BUILDING FOOTPRINT</b>	
GOLDEN BOUGH FOOTPRINT	PHASE-2A BUILDING 8,745 SQ FT
<b>BUILDING SET BACKS</b>	
PLAN LEVELS	PHASE-2A BUILDING
NORTH SIDE	1ST FL = 2'-0"
SOUTH SIDE	1ST FL = 8'-2" 2ND FL = 16'-9"
EAST SIDE	1ST FL = 12'-0" 2ND FL = 30'-0"
WEST SIDE	1ST FL = 34'-0" 2ND FL = 50'-0"
<b>INTERIOR FLOOR AREA</b>	
PLAN LEVELS	PHASE-2A BUILDING
OFFICE MEZZANINE PLAN	1,205 SF
SEATING FORM	2,625 SQ FT
MAIN STAGE + LOBBY	6,050 SF
<b>FLOOR AREA RATIO</b>	
PHASE-2A BUILDING .88 FAR	

<b>GOLDEN BOUGH SEATING TABLE</b>	
PHASE-2A TOTAL SEATING 291 SEATS	
PLAN LEVELS	PROPOSED PHASE-2A SUBTOTAL
GALLERY SEATING	32 SEATS
STADIUM SEATING	121 SEATS
ORCHESTRA SEATING	138 SEATS
CIRCLE THEATRE TOTAL SEATING 120 SEATS	

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REV. NO.	DATE	DESCRIPTION

SHEET TITLE: **BUILDING OCCUPANCY & GEN. NOTES**  
 RFMCO JOB #: 11009

ISSUE DATE:  
 SCALE: AS INDICATED  
 DRAWN: 2021 ADT DATE: 09-28-2020  
 SHEET NUMBER  
**G-003**

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# ABBREVIATIONS USED ON DRAWINGS & IN NOTES

<p>@ At                  &amp; And                  ☒ Centerline                  # Pound or Number                  ⌀ Diameter or Round                  AB Anchor Bolt                  ABT About (Symmetrical About)                  AC Air Conditioning                  ASC Asphalt Concrete                  AD Area Drain                  ADJ Adjustable                  AFF Above Finished Floor                  ANTI-PRO Anti-proscenium                  also AP Anti-proscenium                  ARCH Architectural                  ASPH Asphalt                  BALC Balcony                  BD Board                  BGR Balcony Guard Rail                  BFR Balcony Front Rail                  BLDG Building                  BLK Block                  BLKG Blocking                  BM Beam                  BN Bullnose                  BOTT Bottom                  BP Building Paper                  BRG Bearing                  BU Built-Up                  CAB Cabinet                  CEM Cement                  CER Ceramic                  CI Cast Iron                  CL Curtain Line                  CLG Ceiling                  CO Clean Out                  CLKG Caulking                  CLOS Closet                  CLR Clear                  CMU Concrete Masonry                  COL Column                  CONC Concrete                  CONN Connection                  CONT Continuous                  COPG Coping (Roof)                  CS Companion Seat                  CTR Center                  C &amp; G Curb &amp; Gutter</p>	<p>DAS Designated Aisle Seat (Movable Arm)                  DBL Double                  DEPT Department                  DF Douglas Fir                  DET Detail                  DIA Diameter                  DIM Dimension                  DIMM Dimmer (Lighting)                  DN Down                  DR Door                  DRYR Dryer (Clothes)                  DS Downspout                  DW Dishwasher                  DWG Drawing                  (E) Existing                  E East                  EA Each                  EL Elevation                  also ELEV Elevation                  ELEC Electrical                  EQ Equal                  EPA Edge of Paving Asphalt                  EPC Edge of Paving Concrete                  EQFT Equipment                  EXIST Existing                  (E) Existing                  EXT Exterior                  F.A.U. Forced Air Unit                  FCS Fixed Companion Seat                  F.D. Floor Drain                  FDN Foundation                  FF Finished Floor                  FIN Finish                  FL Floor                  FLSG Flashing                  FLUOR Fluorescent                  FOC Face of Concrete                  FOB Face of Building                  FOF Face of Finish                  FOH Face of House                  FOS Face of Stud                  FOM Face of Masonry                  FT Foot or Feet                  FTG Footing                  FP Fireproof                  FURR Furring                  FUT Future                  GA Gauge                  GALV Galvanized                  GWB Gypsum Board                  GL Glass                  GM Gas Meter                  GND Ground                  GR Gard Rail                  GRD Grade                  GYP Gypsum</p>	<p>HB Hose Bibb                  HC Hollow Core                  HD Head                  HDR Header                  HORIZ Horizontal                  HR Hand Rail                  ID Inside Diameter (Pipe)                  INSUL Insulation                  INT Interior                  JT Joint                  JUP Joint Use Pole                  KT Oak Tree As Noted                  KIT Kitchen                  L Lavatory Basin                  LAM Laminated                  LOC Location                  LP Light Pole                  MAX Maximum                  MB Machine Bolt                  MC Medicine Cabinet                  MECH Mechanical                  MEMB Membrane                  MET Metal                  MIN Minimum                  MROR Mirror                  MISC Miscellaneous                  MTL Material                  (N) New                  N North                  NBGR New Balcony Guard Rail                  NBFR New Balcony Front Rail                  NIC Not In Contract                  No. Number                  NRR Non-Regularly Reserved Seat                  NTS Not To Scale                  OC On Center                  OD Outside Diameter (Pipe)                  OI Ornamental Iron                  OPP Opposite                  ORCH Orchestra (Seating Level)                  PCS Portable Companion Seat                  P-Line Proscenium Line (Stg-face)                  PL Plate                  PLAM Plastic Laminate                  PLAS Plaster                  PLYWD Plywood                  P.O.T. Path of Travel to/from                  Primary Exit Per ADA                  PROSC Proscenium Arch                  PRO Proscenium                  PT Pine Tree as Noted                  R Riser (Stair or Seat Platform)                  R<sub>s</sub> Radius Point of Seating Arc                  RAD Radius                  RAG Return Air Grill                  REF Reference                  REINF Reinforced                  RD Roof Drain                  REQ Required                  REV Revision                  RM Room                  RL Seat-Riser Length                  RAL Seat-Riser Arc Length                  RO. Rough Opening                  RWID Redwood</p>	<p>S South                  SA Semi-Ambulatory Theatre Seat                  SC Solid Core                  SD Storm Drain                  SECT Section                  SHR Seating Aisle Step-Way Handrail                  SH Sheet                  SHG Sheathing                  SIM Similar                  SOG Slab on Grade (Concrete)                  SP Spacing                  SPEC Specification                  SQ Square                  SST Stainless Steel                  STD Standard (incl Std Pipe)                  STG Stage                  STG-R Stage-Right                  STG-L Stage-Left                  STL Steel                  SUSP Suspended                  SW Side Walk                  SYMM Symmetrical                  T Toilet or Water Closet                  TR Tread                  TRANS Transformer (Electrical)                  TB Towel Bar                  TC Top Of Curb                  TEL Telephone                  T&amp;G Tongue and Groove                  THK Thick                  TGL Tempered Glass                  TV Television                  TO Top Of (Item Noted)                  TR Tread (Stair)                  TYP Typical (for Similar Condition)                  UNF Unfinished                  UNO Unless Noted Otherwise                  VERT Vertical                  VGDF Vertical Grain Douglas Fir                  VIF Verify In Field                  W West                  W/ or W. With                  WD Wood                  W/O Without                  WP Waterproof                  WSHR Washing Machine                  WWF Welded Wire Fabric                  WC Wheel Chair (Ref Context)                  WFL Water Flow Line</p>
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SHEET TITLE  
**ABBREVIATIONS  
 & THEATRE TERMINOLOGY**

RFM Co JOB # 1809

<b>ISSUE DATE:</b>	
<b>SCALE: AS INDICATED</b>	
<b>DRAWN:</b> 2021 ADT	<b>DATE:</b> 03-08-2020
<b>SHEET NUMBER</b>	
<b>G-005</b>	

CHECK DRAWING SIZE BEFORE USING NOMINAL SCALE. IF  
 BORDER SIZE IS LESS THAN 23" H. X 31 3/4" W. (OVERSIZE-D),  
 NOMINAL SCALES DO NOT APPLY AND GRAPHIC SCALE  
 MUST BE USED.

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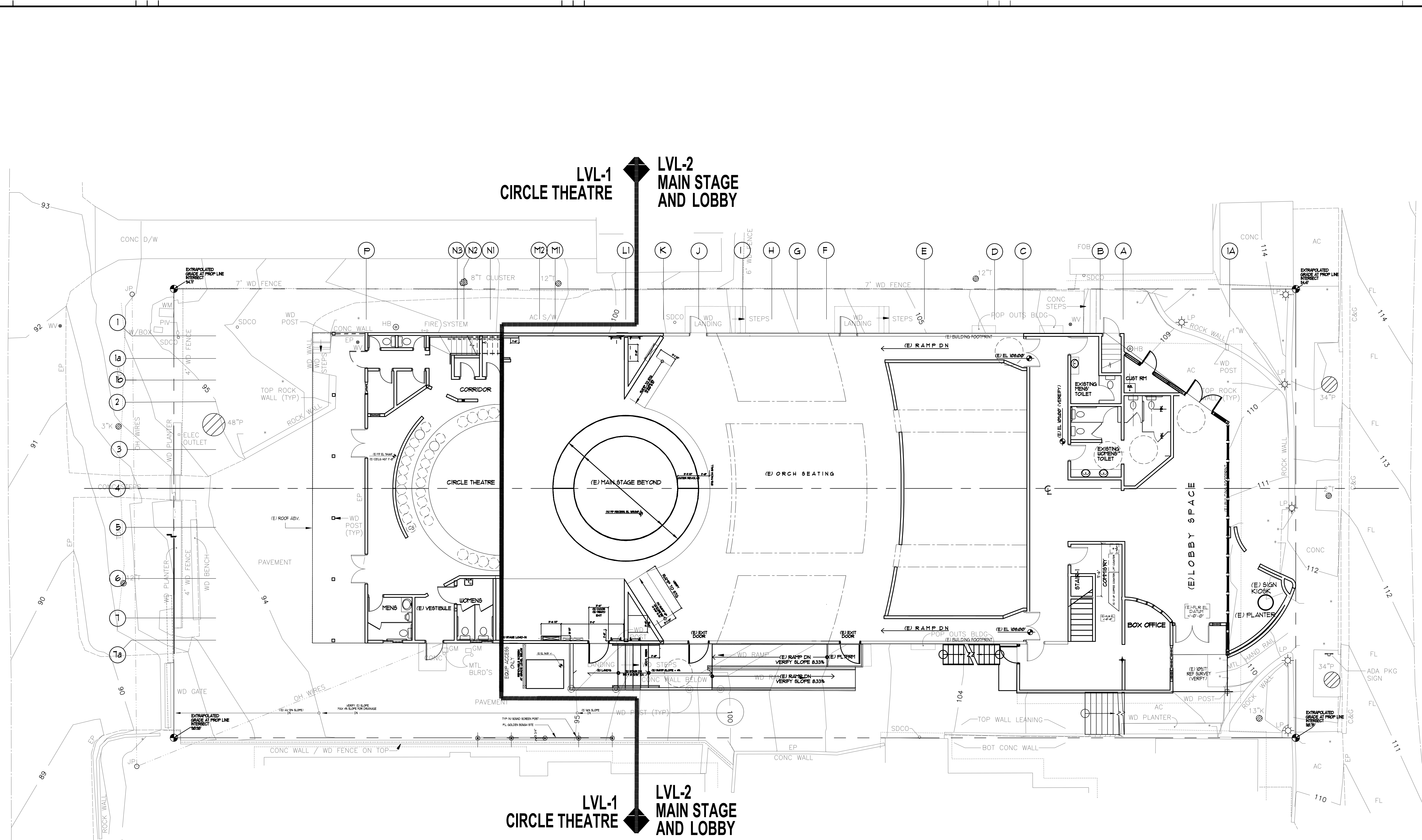
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REV. NO.	DATE	DESCRIPTION

SHEET TITLE: **RECORD CONDITION OF EXISTING SITE PLAN**  
 RFM Co JOB #: 1809

ISSUE DATE:  
 SCALE: AS INDICATED  
 DRAWN: ADT DATE: 03-08-2020  
 SHEET NUMBER  
**R-101**



1 RECORD CONDITION OF EXISTING SITE PLAN  
 SCALE: 1/8" = 1'-0"  
 0 4' 8' 16' 24' 40'  
 1/8" - GRAPHIC SCALE

CHECK DRAWING SIZE BEFORE USING NOMINAL SCALE. IF BORDER SIZE IS LESS THAN 23" H X 31 3/4" W, (OVERSIZE-D), NOMINAL SCALES DO NOT APPLY AND GRAPHIC SCALE

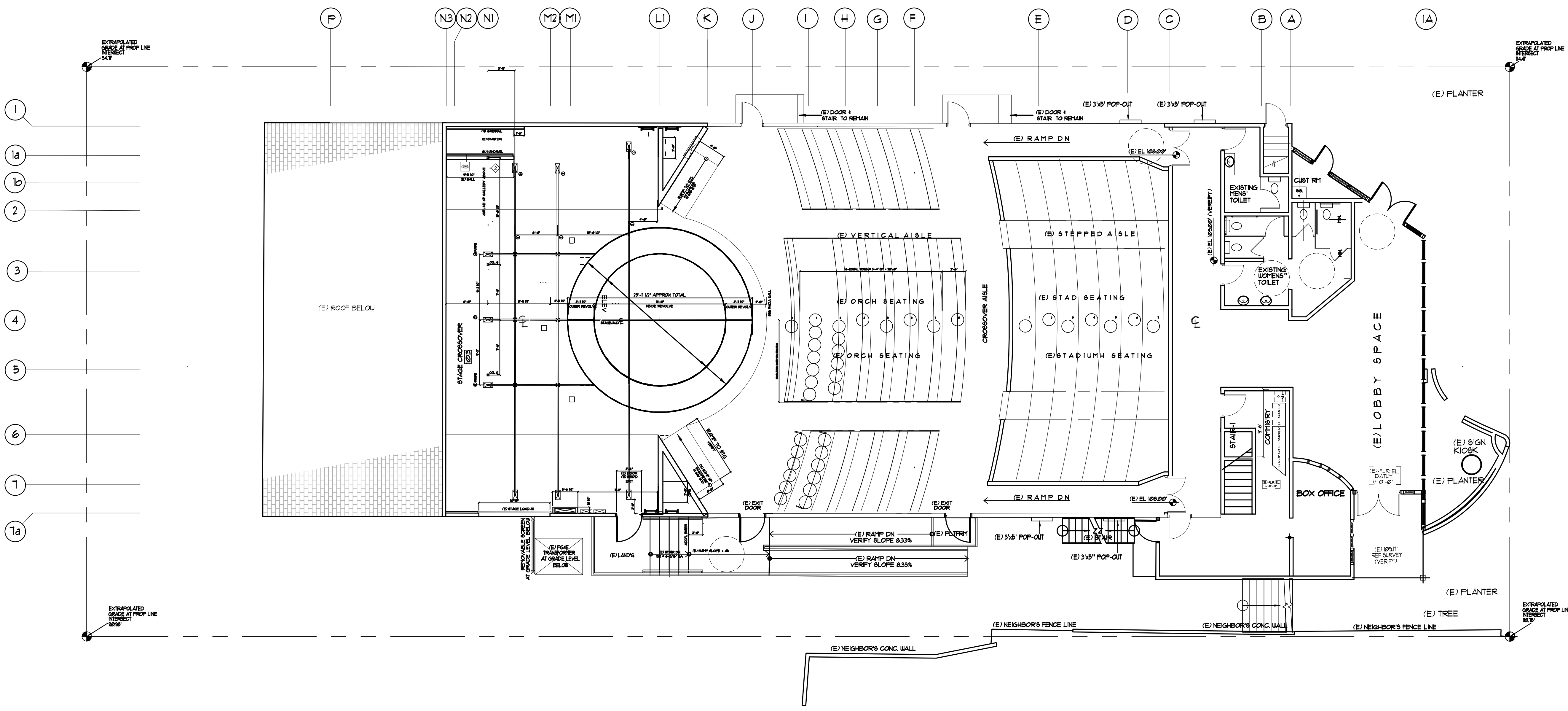
N PROJECT NORTH  
 NORTH  
 SOUTH

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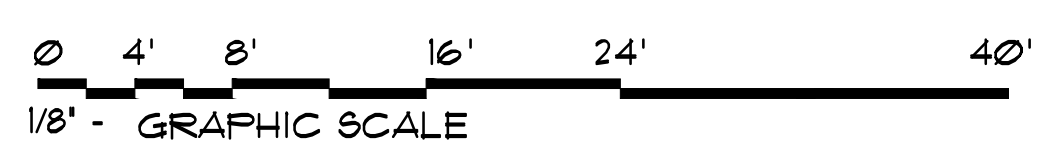
PROJECT: **GOLDEN BOUGH PLAYHOUSE**  
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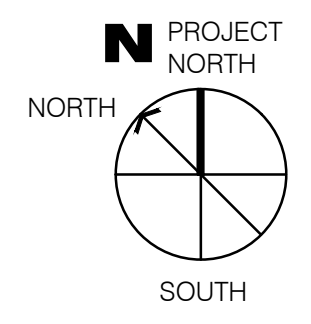


1 EXISTING MAIN STAGE & PLAN

SCALE: 1/8" = 1'-0"



CHECK DRAWING SIZE BEFORE USING NOMINAL SCALE. IF BORDER SIZE IS LESS THAN 23" H X 31 3/4" W, (OVERSIZE-D), NOMINAL SCALES DO NOT APPLY AND GRAPHIC SCALE



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REV. NO.	DATE	DESCRIPTION

SHEET TITLE: RFM Co JOB # 1009  
**EXISTING MAIN STAGE & LOBBY PLAN**

ISSUE DATE:  
 SCALE: AS INDICATED  
 DRAWN: 2021 ADT DATE: 03-08-2020  
 SHEET NUMBER  
**R-102**

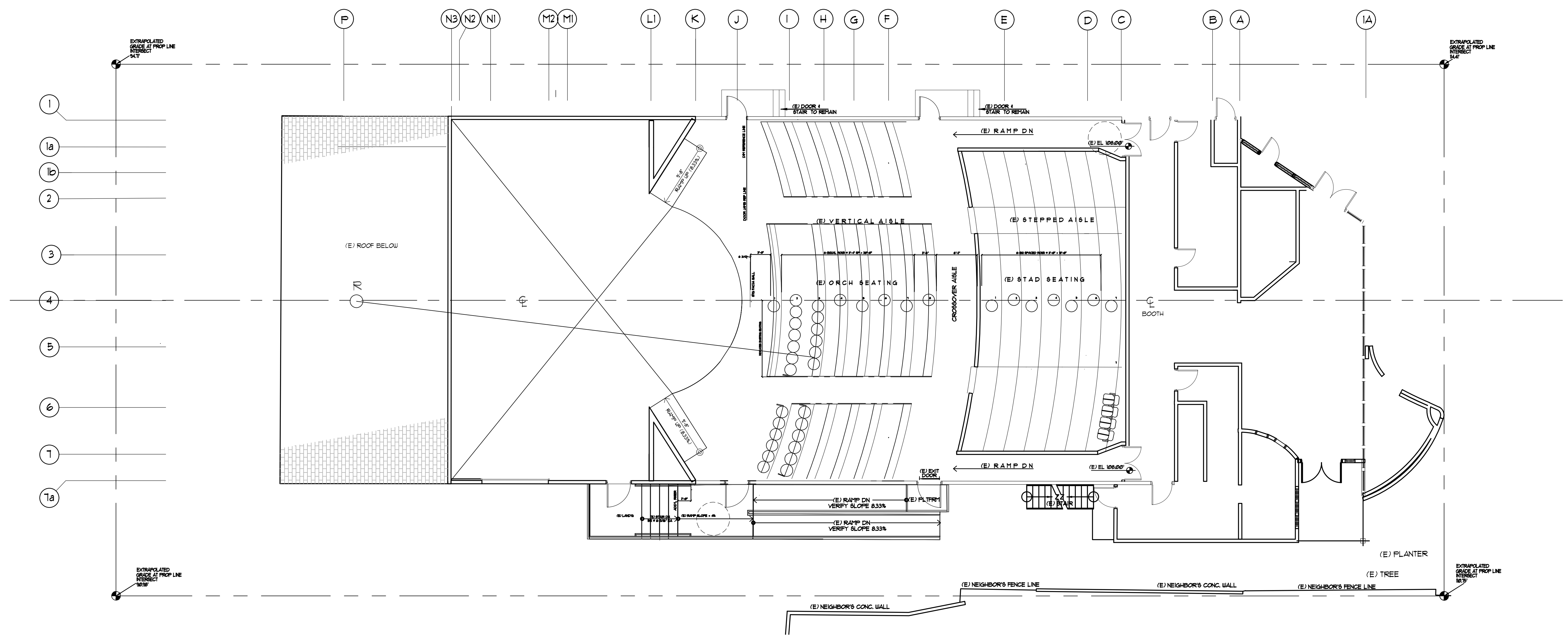
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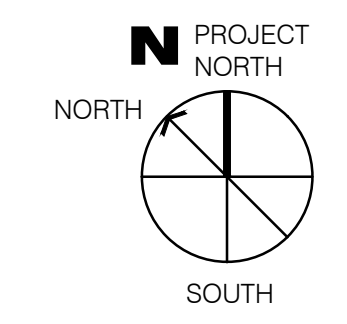
SHEET TITLE: RFM Co JOB #1-1809  
**EXISTING STADIUM SEATING PLAN**

ISSUE DATE:  
 SCALE: AS INDICATED  
 DRAWN: 2021 ADT DATE: 03-08-2020  
 SHEET NUMBER  
**R-103**



1 EXISTING STADIUM SEATING PLAN  
 SCALE: 1/8" = 1'-0"  
 0 4' 8' 16' 24' 40'  
 1/8" - GRAPHIC SCALE

CHECK DRAWING SIZE BEFORE USING NOMINAL SCALE. IF BORDER SIZE IS LESS THAN 23" H X 31 3/4" W, (OVERSIZE-D), NOMINAL SCALES DO NOT APPLY AND GRAPHIC SCALE



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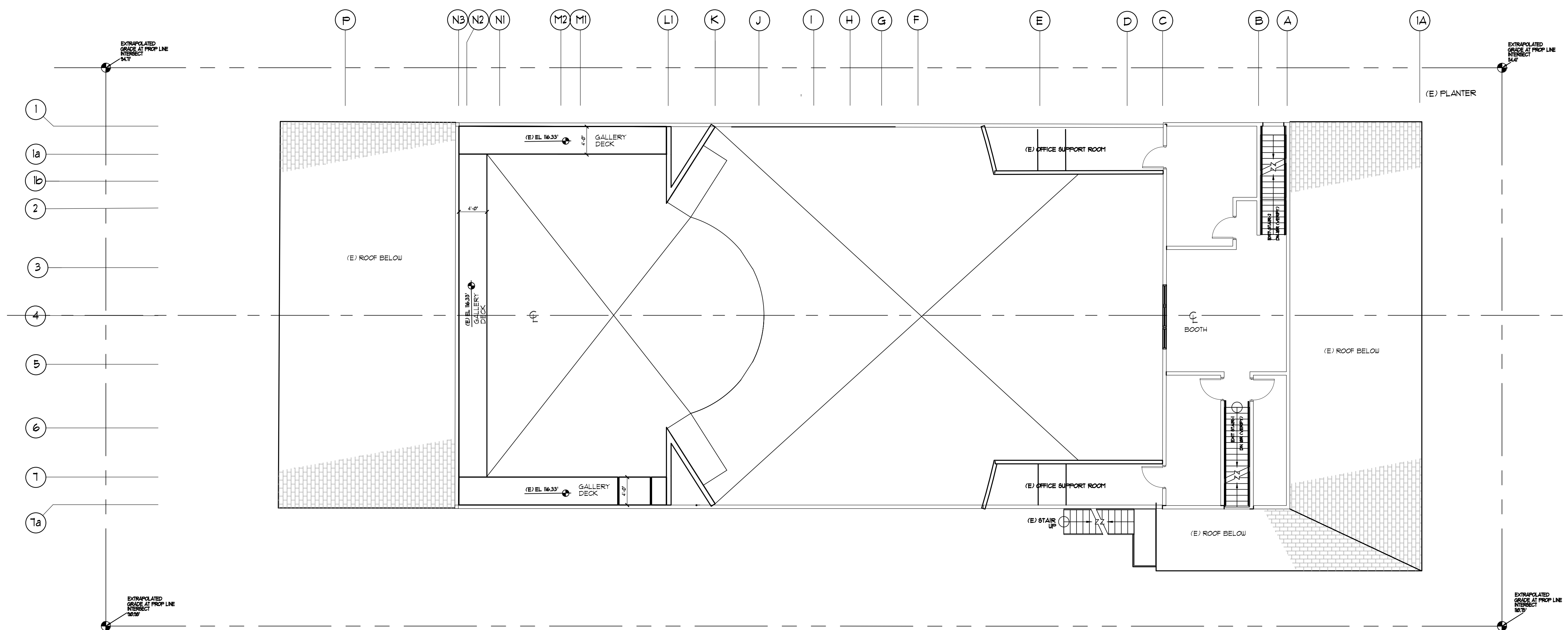
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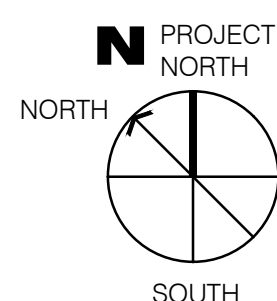
SHEET TITLE  
**EXISTING OFFICE MEZZANINE PLAN**

ISSUE DATE:  
 SCALE: AS INDICATED  
 DRAWN: 2001 ADT DATE: 03-08-2010  
 SHEET NUMBER  
**R-104**



1 EXISTING OFFICE MEZZANINE PLAN  
 SCALE: 1/8" = 1'-0"  
 0 4' 8' 16' 24' 40'  
 1/8" - GRAPHIC SCALE

CHECK DRAWING SIZE BEFORE USING NOMINAL SCALE. IF BORDER SIZE IS LESS THAN 23" H X 31 3/4" W, (OVERSIZE-D), NOMINAL SCALES DO NOT APPLY AND GRAPHIC SCALE



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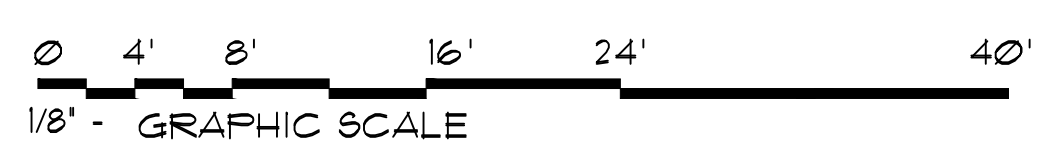
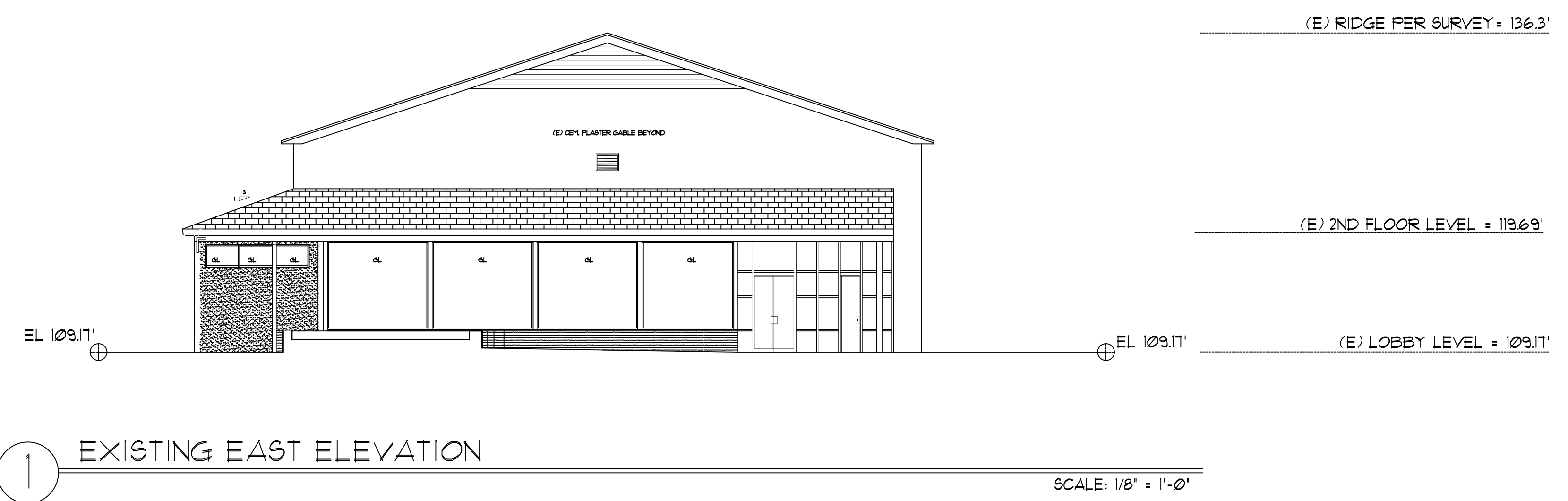
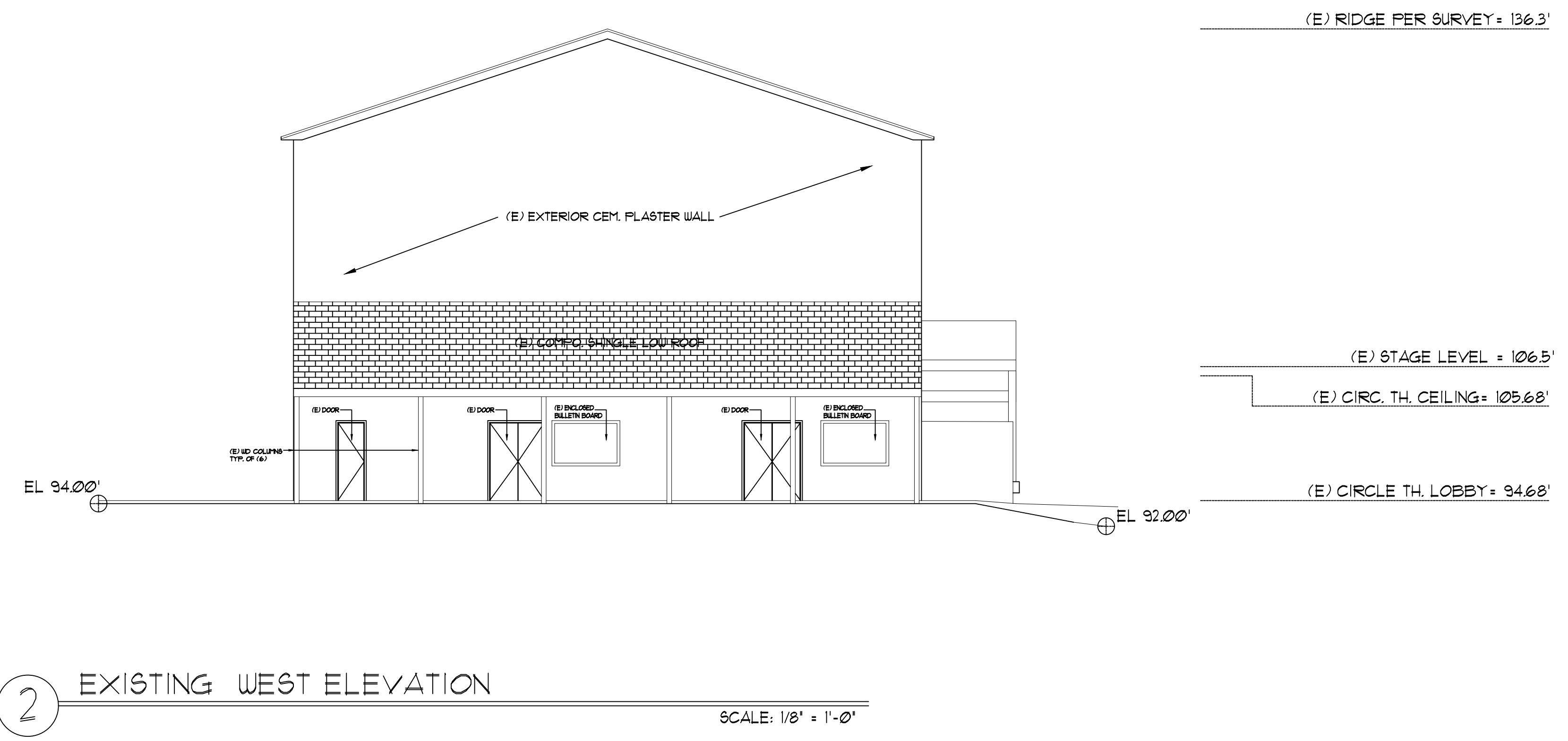
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SHEET TITLE  
**EXISTING EAST AND WEST ELEVATIONS**  
 RFM Co JOB #: 1809

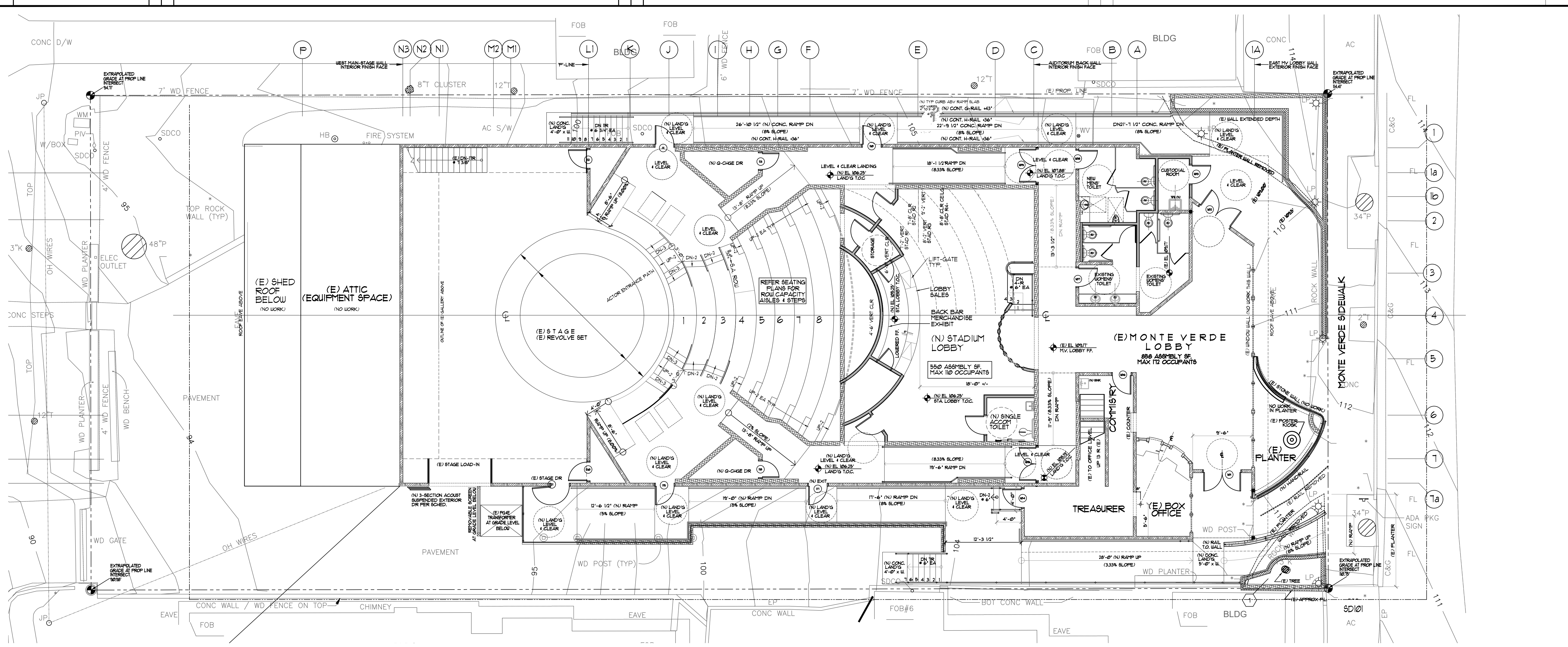
ISSUE DATE:  
 SCALE: AS INDICATED  
 DRAWN: 2021 ADT DATE: 03-08-2020  
 SHEET NUMBER  
**R-301**



CHECK DRAWING SIZE BEFORE USING NOMINAL SCALE. IF BORDER SIZE IS LESS THAN 23" H X 31 3/4" W, (OVERSIZE-D), NOMINAL SCALES DO NOT APPLY AND GRAPHIC SCALE

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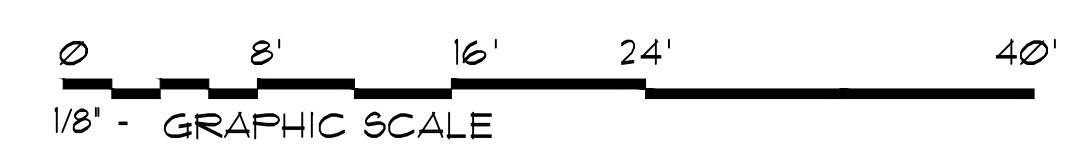
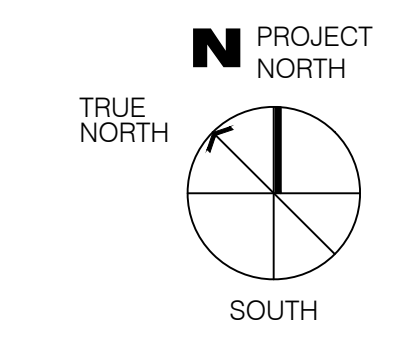


1 PHASE 2A SITE PLAN AND ACCESSIBLE PATH OF TRAVEL

SCALE: 1/8" = 1'-0"

**SHEET NOTES**

- 1 (E) SOUTHEAST PLANTER PARTIALLY REMOVED FOR ACCESSIBLE RAMP ALIGNMENT. 4 SLOPE
- 2 SOUTH EXIT ACCESSIBLE EXTERIOR PATH OF TRAVEL TO PUBLIC STREET
- 3 NORTH EXIT ACCESSIBLE EXTERIOR PATH OF TRAVEL TO PUBLIC STREET



**DRAWING LEGEND**

- EXISTING WD FRAME WALLS TO REMAIN
- NEW WD FRAME STUD WALLS
- NEW CMU BLOCK WALLS

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CHECK DRAWING SIZE BEFORE USING NOMINAL SCALE. IF BORDER SIZE IS LESS THAN 23" H X 31 3/4" W, (OVERSIZE-D), NOMINAL SCALES DO NOT APPLY AND GRAPHIC SCALE

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REV. NO.	DATE	DESCRIPTION

SHEET TITLE  
**PROJECT REFERENCE PLAN**

ISSUE DATE:  
 SCALE: AS INDICATED  
 DRAWN: DATE:  
 2021 ADT 03-28-2020  
 SHEET NUMBER  
**A-100**



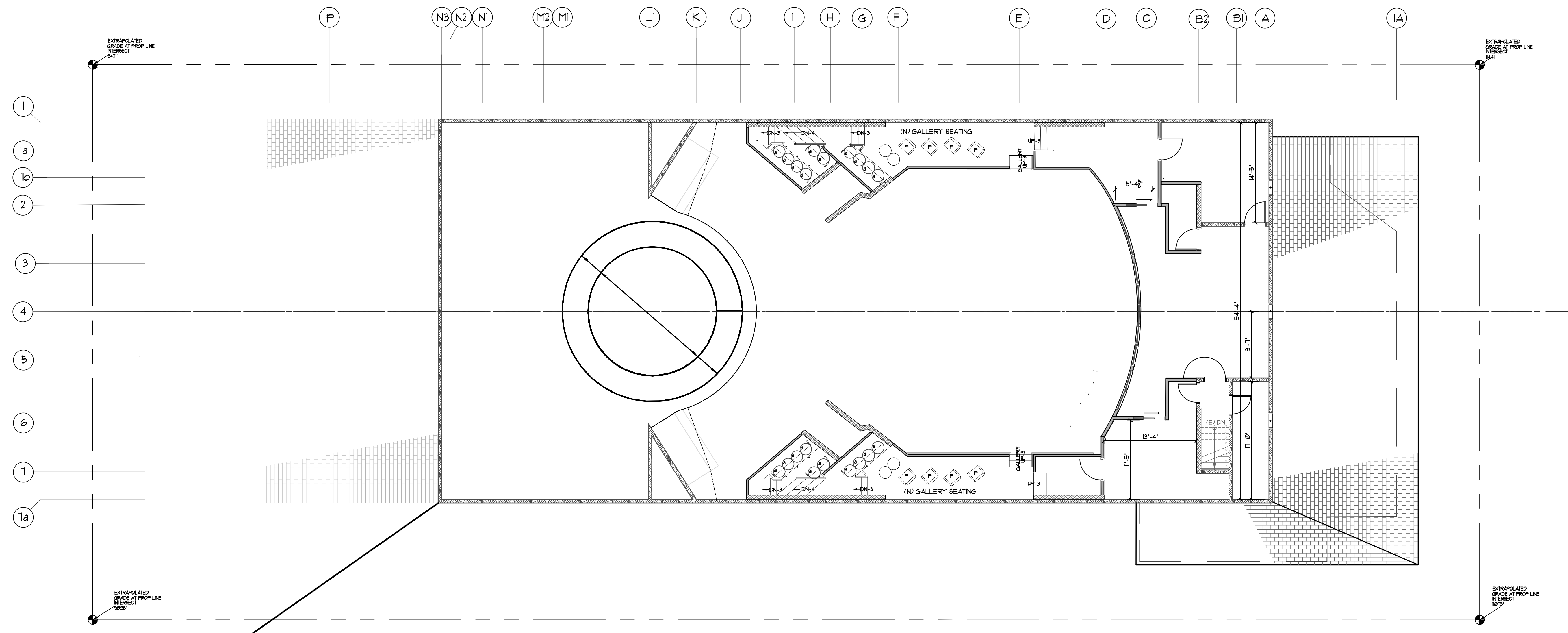
PROJECT:  
**GOLDEN BOUGH PLAYHOUSE**  
 for PACIFIC REPERTORY THEATRE  
 LOCATED BETWEEN 8TH & 9TH AVENUES  
 OFF MONTE VERDI AND CASANOVA  
 CARMEL, CALIFORNIA

**RFM**  
 ARCHITECTS  
 RF McCANN, FAIA  
 ARCHITECT  
 40 EAST MONTECITO AV  
 SIERRA MADRE, CA 91024  
 PH (626) 836-1060  
 ELECTRICAL ENGINEERING  
 DAVAR ELECTRIC  
 NELSON CHAN, PE  
 1444 W. GAYLORD STREET  
 LONG BEACH, CA 90813  
 (562) 432-3636  
 STRUCTURAL ENGINEERING  
 THE DESIGN COLLABORATIVE  
 Jaime Garza, SE  
 4022 Bernice Place  
 Los Angeles, CA 90031 US  
 (213) 663-2017

REV. NO.	DATE	DESCRIPTION

SHEET TITLE  
 REMCO JOB #11809  
**PH-2A GALLERY SEATING  
 FLOOR PLAN**

ISSUE DATE:  
 SCALE: AS INDICATED  
 DRAWN: DATE:  
 2021 ADT 03-08-2020  
 SHEET NUMBER  
**A-107**

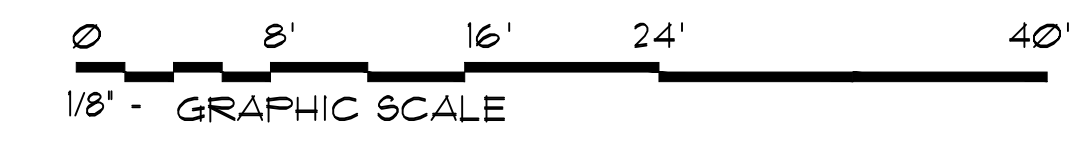
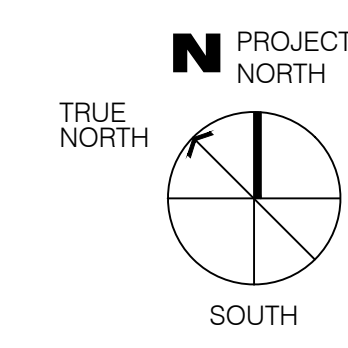


1 PHASE-2A GALLERY SEATING PLAN

SCALE: 1/8" = 1'-0"

**WALL LEGEND**

- EXISTING WD FRAME WALLS TO REMAIN
- NEW WD FRAME STUD WALLS
- NEW CMU WALL



CHECK DRAWING SIZE BEFORE USING NOMINAL SCALE. IF BORDER SIZE IS LESS THAN 23" H X 31 3/4" W, (OVERSIZE-D), NOMINAL SCALES DO NOT APPLY AND GRAPHIC SCALE

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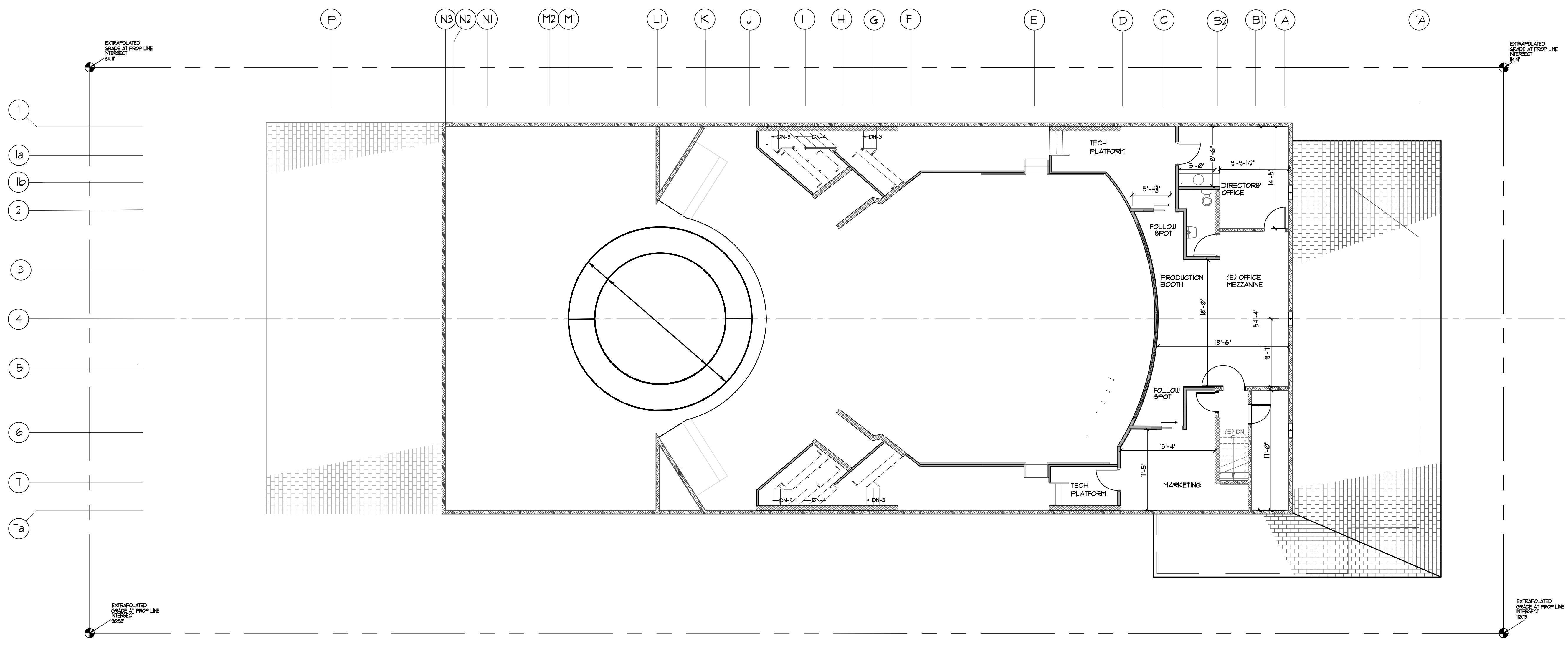
PROJECT:  
**GOLDEN BOUGH PLAYHOUSE**  
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**RFM**  
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 ARCHITECT  
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 THE DESIGN COLLABORATIVE  
 JAMIE GARZA, SE  
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 (213) 663-2017

REV. NO.	DATE	DESCRIPTION

SHEET TITLE  
 PH 2A MEZZANINE-OFFICE PLAN  
 RFMCo JOB # 1800

ISSUE DATE:  
 SCALE: AS INDICATED  
 DRAWN: DATE:  
 2007 ADT 09-08-2010  
 SHEET NUMBER  
**A-109**

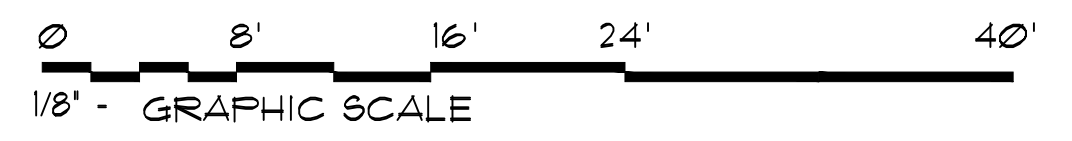
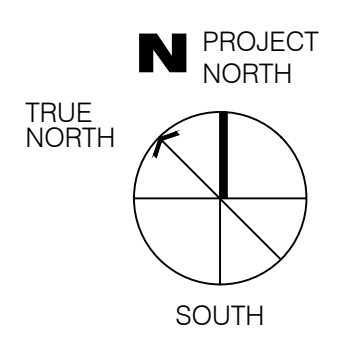


1 PHASE-2A MEZZANINE OFFICE LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"

**WALL LEGEND**

- EXISTING WD FRAME WALLS TO REMAIN
- NEW WD FRAME STUD WALLS
- NEW CMU WALL

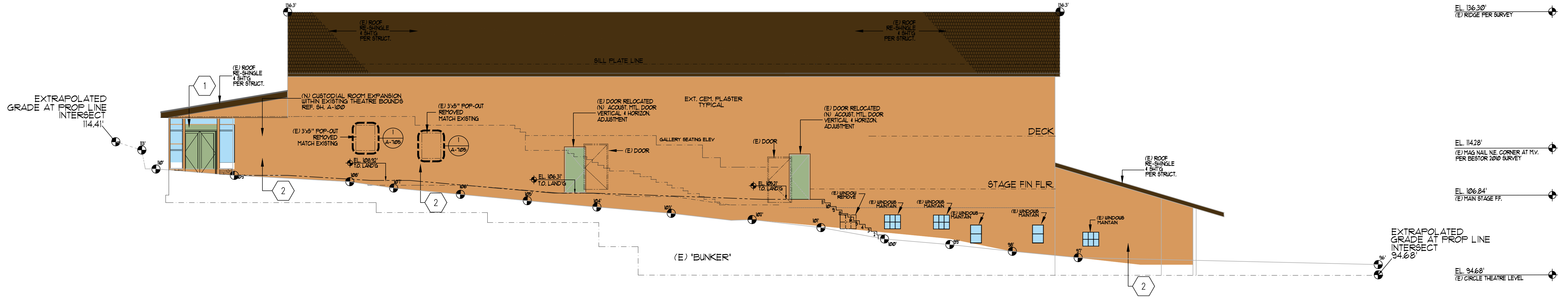


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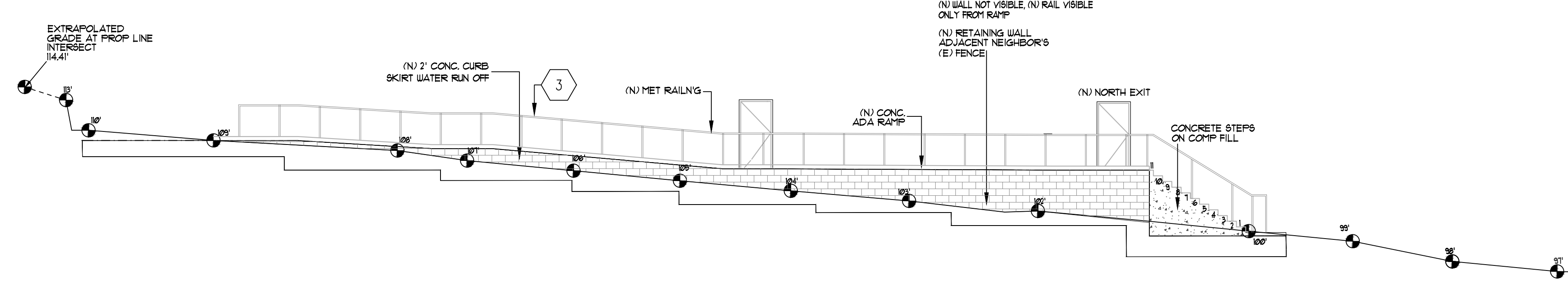
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PROJECT: **GOLDEN BOUGH PLAYHOUSE**  
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 (213) 663-2017






**2** EXISTING NORTH ELEVATION  
 SCALE: 1/8" = 1'-0"



**A** (N) NORTH CODE COMPLIANT EXT. EXIT PATH  
 SCALE: 1/8" = 1'-0"

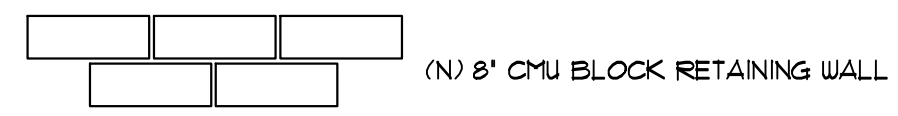
**GOLDEN BOUGH PLAYHOUSE - EXTERIOR COLOR PALETTE**

-  NEW CONCRETE BLOCK -  
ORCO : SAN JUAN - SLUMP
-  NEW DOOR DETAIL -  
BENJAMIN MOORE : LOUISBURG GREEN (HC-113)
-  EXISTING CEMENT PLASTER -  
SHERWIN WILLIAMS : BAKELITE GOLD (6368)

**SHEETS NOTES**

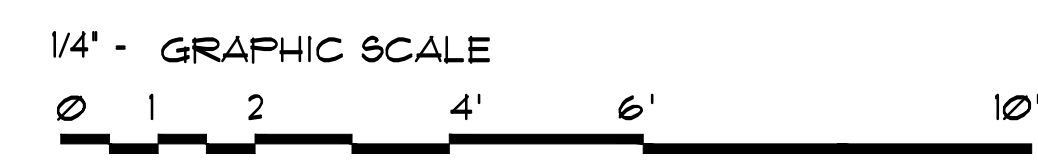
- 1 NEW DOOR DETAIL COLOR PER EXTERIOR COLOR PALETTE  
EM - LOUISBURG GREEN REF EXTERIOR COLOR PALETTE
- 2 EXISTING EXTERIOR GOLDEN BOUGH PLAYHOUSE COLOR  
SW - BAKELITE GOLD REF EXTERIOR COLOR PALETTE
- 3 NEW RAILING AND CONCRETE RAMP WITH CURB

**DRAWING LEGEND**



NOTE:  
 EXTERIOR DOOR & WINDOW INFORMATION  
 ADDRESSED IN STANDARD DESIGN SEQUENCE.  
 TYP. SLAB STYLE DOORS (REF. NOISE MITIGATION)  
 PROPOSED FOR RELIEVING EXITS.

NOTE:  
 ALL EXTERIOR WORK TO MATCH EXISTING  
 REF GOLDEN BOUGH PLAYHOUSE - EXTERIOR  
 COLOR PALETTE FOR EXISTING EXTERIOR FINISH



CHECK DRAWING SIZE BEFORE USING NOMINAL SCALE. IF  
 BORDER SIZE IS LESS THAN 23" H X 31 3/4" W, (OVERSIZE-D),  
 NOMINAL SCALES DO NOT APPLY AND GRAPHIC SCALE

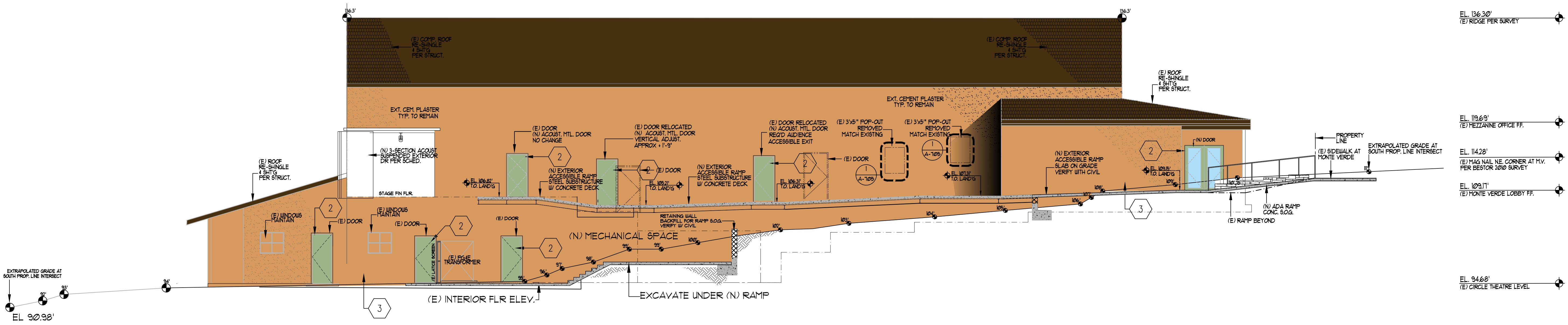
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REV. NO.	DATE	DESCRIPTION

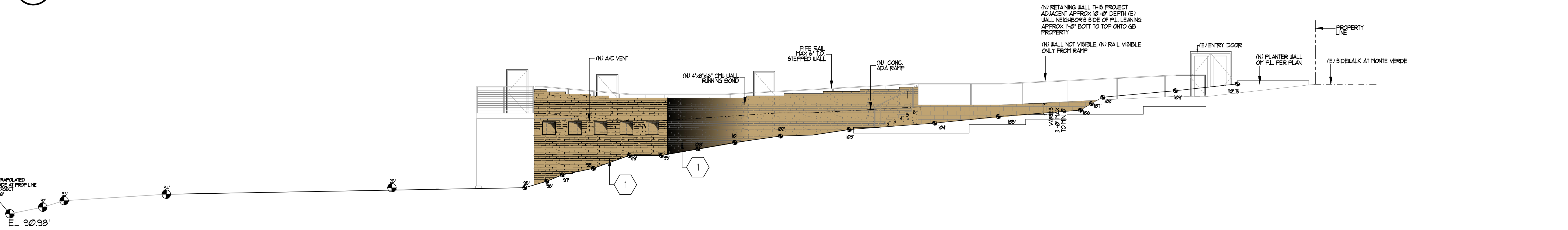
SHEET TITLE  
 PH-2A NORTH EXTERIOR  
 VIRTUAL COLOR SHEET  
 RFM Co JOB #: 1809

ISSUE DATE:  
 SCALE: AS INDICATED  
 DRAWN: DATE:  
 2021 ADT 09-08-2020  
 SHEET NUMBER  
 A-300a








**2 PHASE 2A SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**(N) SOUTH CODE COMPLIANT EXT. EXIT PATH**  
SCALE: 1/8" = 1'-0"

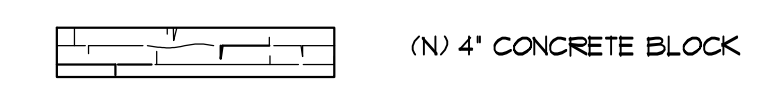
**GOLDEN BOUGH PLAYHOUSE - EXTERIOR COLOR PALETTE**

-  NEW CONCRETE BLOCK -  
ORCO : SAN JUAN - SLUMP
-  NEW DOOR DETAIL -  
BENJAMIN MOORE : LOUISBURG GREEN (HC-113)
-  EXISTING CEMENT PLASTER -  
SHERWIN WILLIAMS : BAKELITE GOLD (6368)

**SHEETS NOTES**

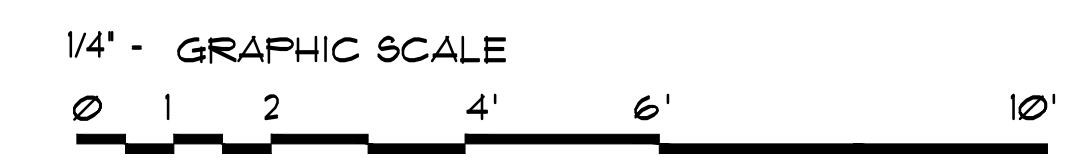
- 1 NEW 4" CMU BLOCK WALL  
ORCO - SAN JUAN SLUMP REF EXTERIOR COLOR PALETTE
- 2 NEW DOOR DETAIL COLOR PER EXTERIOR COLOR PALETTE  
BM - LOUISBURG GREEN REF EXTERIOR COLOR PALETTE
- 3 EXISTING EXTERIOR GOLDEN BOUGH PLAYHOUSE COLOR  
SW - BAKELITE GOLD REF EXTERIOR COLOR PALETTE

**DRAWING LEGEND**



NOTE:  
EXTERIOR DOOR & WINDOW INFORMATION  
ADDRESSED IN STANDARD DESIGN SEQUENCE.  
TYP. SLAB STYLE DOORS (REF. NOISE MITIGATION)  
PROPOSED FOR RELIEVING EXITS.

NOTE:  
ALL EXTERIOR WORK TO MATCH EXISTING  
REF GOLDEN BOUGH PLAYHOUSE - EXTERIOR  
COLOR PALETTE FOR EXISTING EXTERIOR FINISH



CHECK DRAWING SIZE BEFORE USING NOMINAL SCALE. IF  
BORDER SIZE IS LESS THAN 23" H X 31 3/4" W, (OVERSIZE-D),  
NOMINAL SCALES DO NOT APPLY AND GRAPHIC SCALE

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PROJECT: **GOLDEN BOUGH PLAYHOUSE**  
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LOCATED BETWEEN 8TH & 9TH AVENUES  
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CARMEL, CALIFORNIA

**RFM**  
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THE DESIGN COLLABORATIVE  
Jaime Garza, SE  
4022 Bernice Place  
Los Angeles, CA 90031 US  
(213) 663-2017

REV. NO.	DATE	DESCRIPTION

SHEET TITLE  
PH-2A SOUTH EXTERIOR  
VIRTUAL COLOR SHEET

RFM Co JOB #: 1809

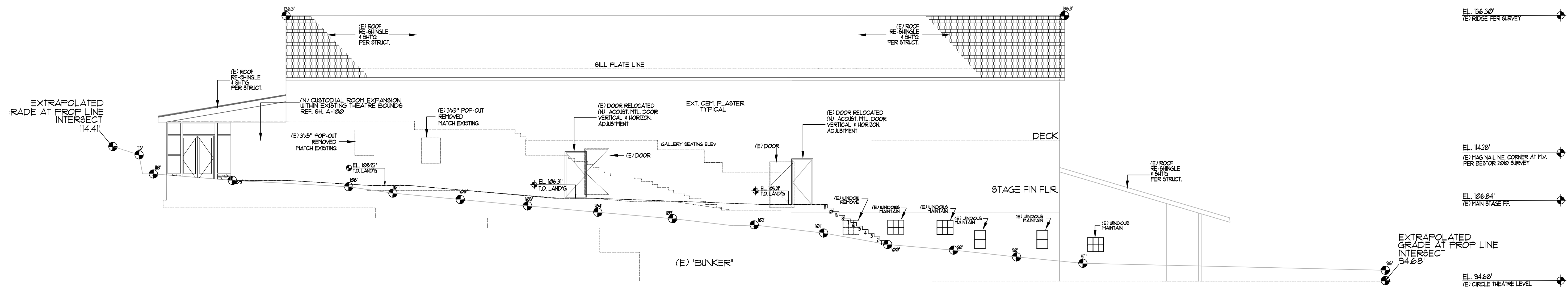
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SCALE: AS INDICATED	
DRAWN: 2021 ADT	DATE: 09-08-2020
SHEET NUMBER A-300b	



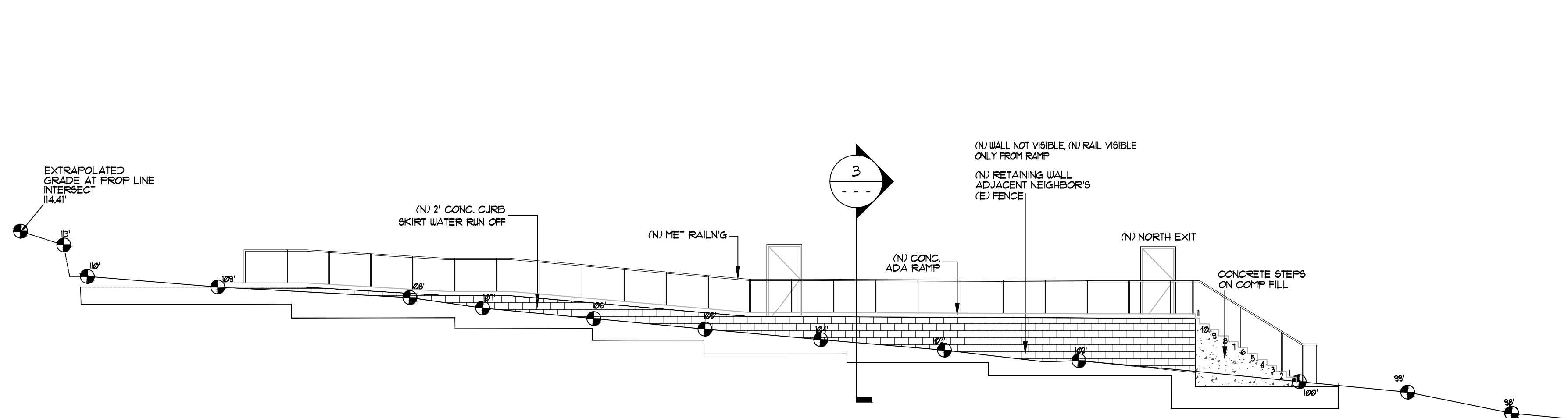


PROJECT: **GOLDEN BOUGH PLAYHOUSE**  
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 LOCATED BETWEEN 8TH & 9TH AVENUES  
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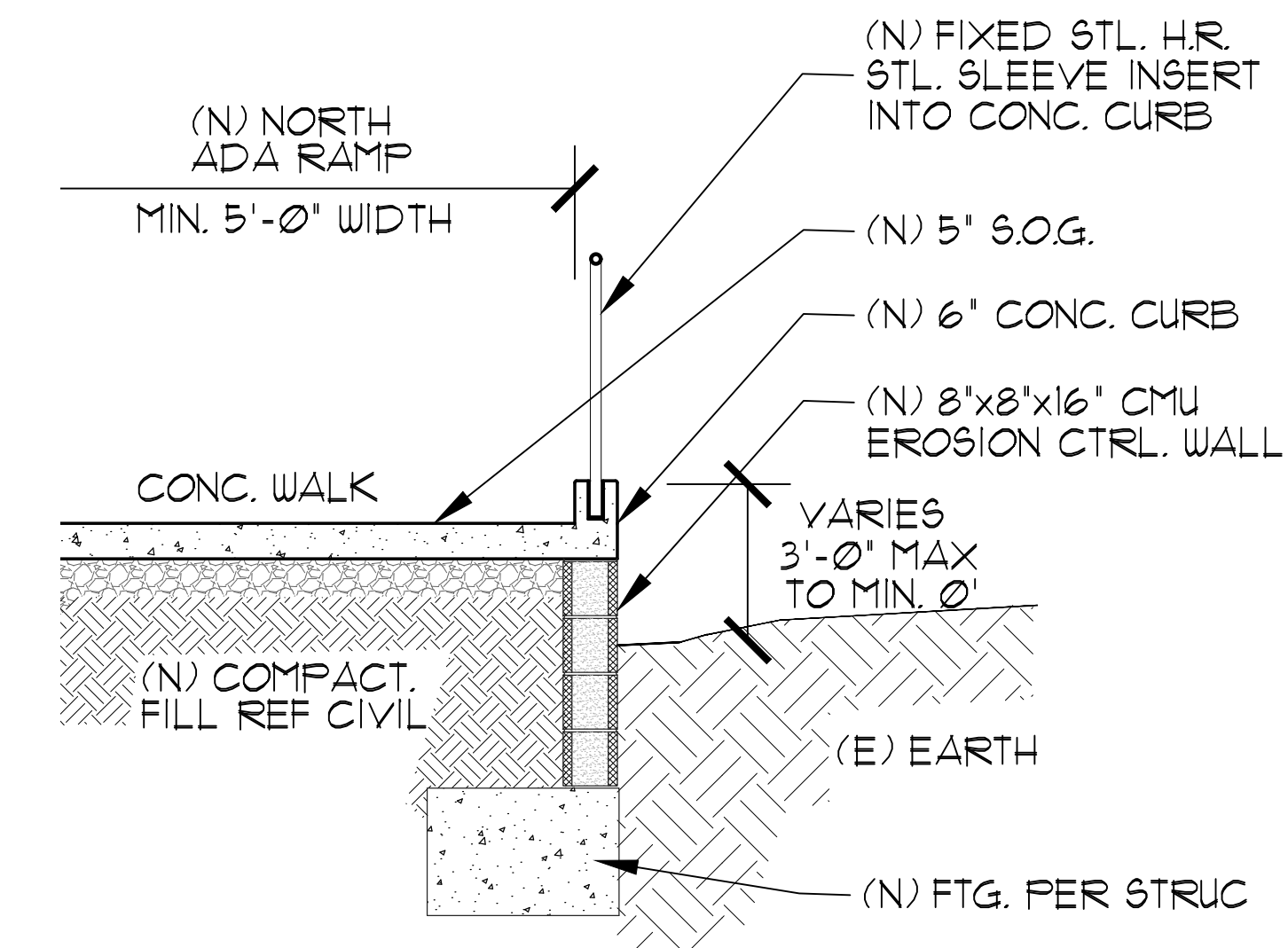
**RFM**  
 ARCHITECTS  
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 ARCHITECT  
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 SIERRA MADRE, CA 91104  
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 Los Angeles, CA 90031 US  
 (213) 663-2017



**2** (N) NORTH EXTERIOR ELEVATION-SECTION THRU RAMP - LOOKING SOUTH  
 SCALE: 1/8" = 1'-0"



**1** (N) NORTH EXTERIOR ACCESSIBLE RAMP - NO SHOW ELEVATION  
 SCALE: 1/8" = 1'-0"



**3** NORTH RAMP SECTION DETAIL  
 SCALE: 1/2" = 1'-0"

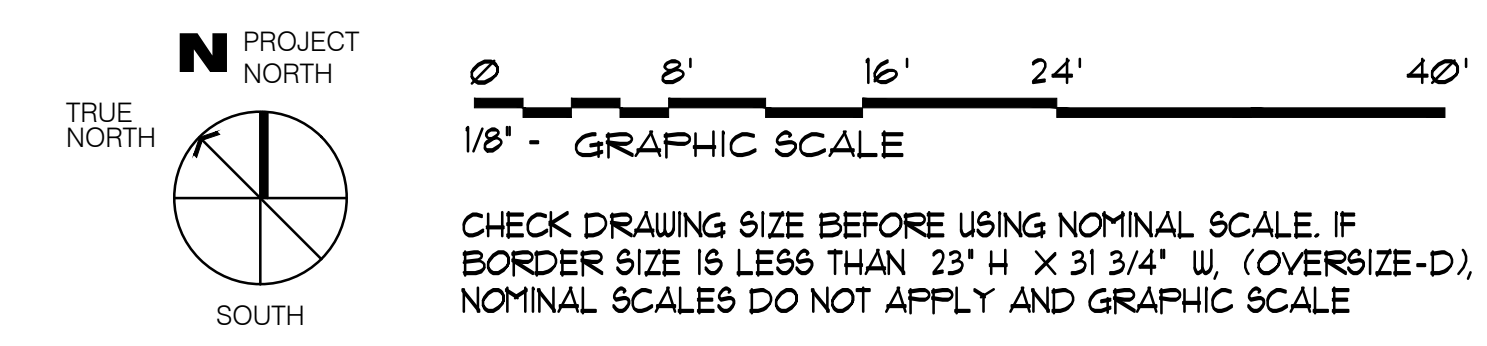
REV. NO.	DATE	DESCRIPTION

SHEET TITLE  
**EXT. ADAPTIVE NORTH RAMP  
 REFERENCE ELEVATION**

RFM Co JOB #: 1809

ISSUE DATE:  
 SCALE: AS INDICATED  
 DRAWN: DATE:  
 2021 ADT 09-28-2020  
 SHEET NUMBER  
**A-302**

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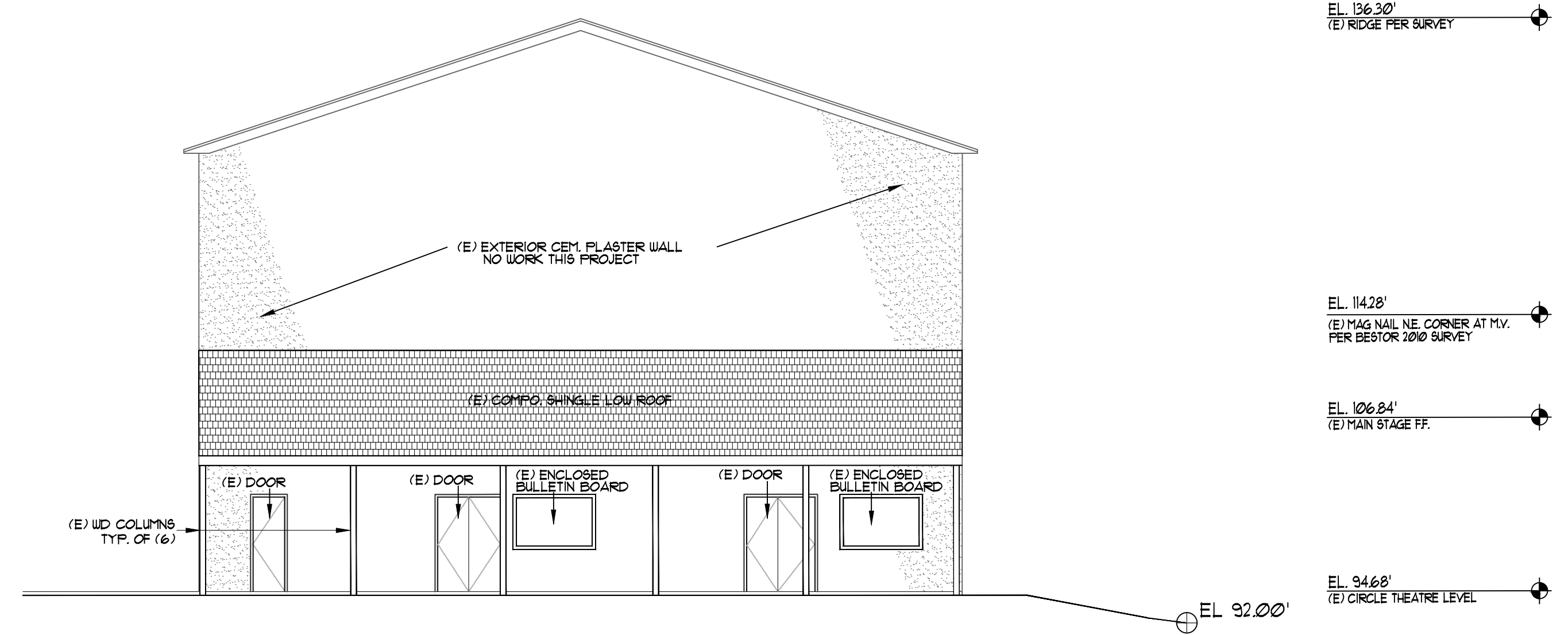
PROJECT: **GOLDEN BOUGH PLAYHOUSE**  
 for **PACIFIC REPERTORY THEATRE**  
 LOCATED BETWEEN 8TH & 9TH AVENUES  
 OFF MONTE VERDE AND CASANOVA  
 CARMEL, CALIFORNIA

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 ARCHITECTS  
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 Jaime Garza, SE  
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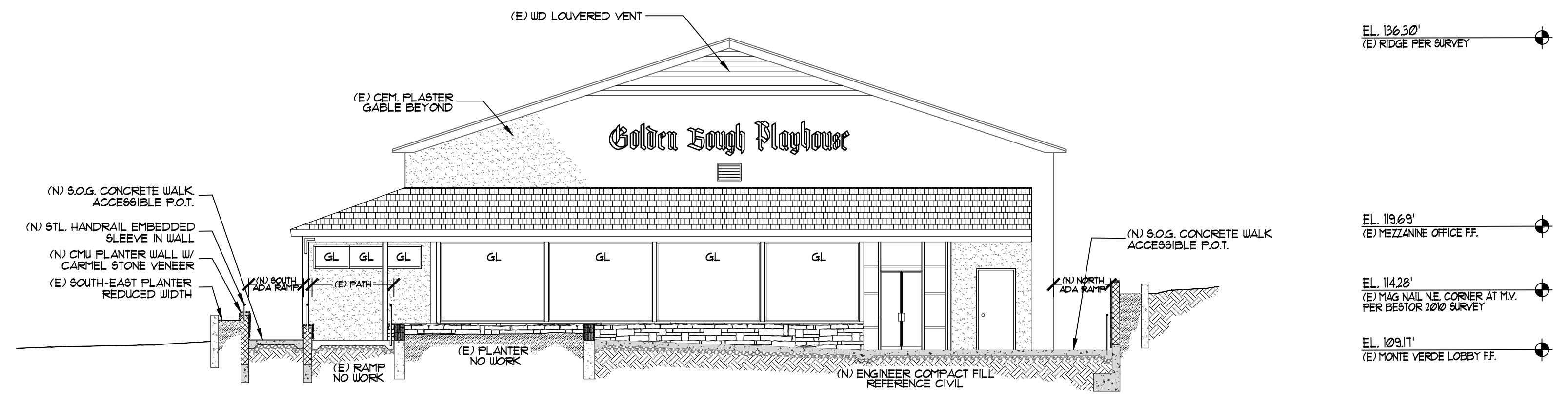
REV. NO.	DATE	DESCRIPTION

SHEET TITLE  
**EXT. ADAPTIVE EAST & WEST  
 REFERENCE ELEVATION**

ISSUE DATE:  
 SCALE: AS INDICATED  
 DRAWN: DATE:  
 2021 ADT 09-28-2020  
 SHEET NUMBER  
**A-303**



**2** EXISTING WEST ELEVATION - NO WORK THIS PROJECT  
 SCALE: 1/8" = 1'-0"



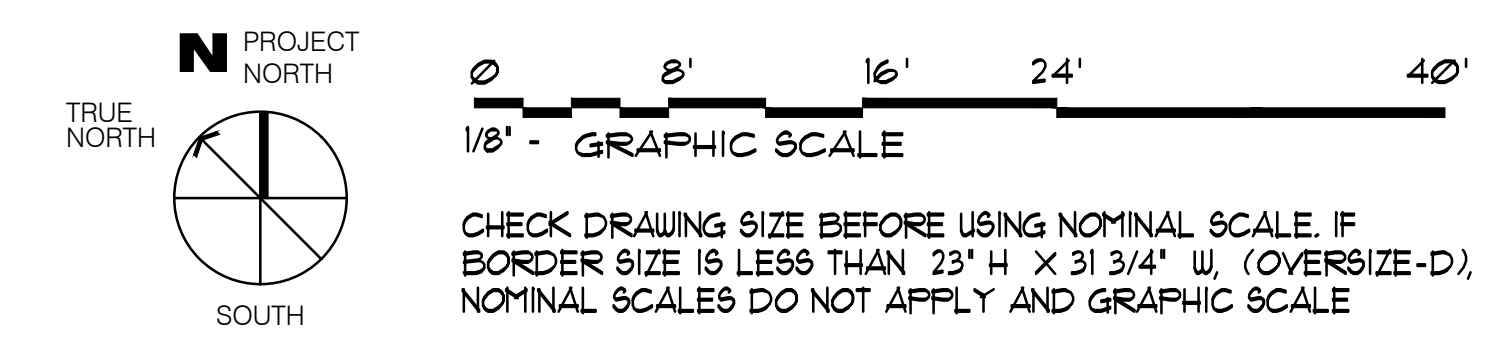
**1** EAST ELEVATION-SECTION THRU (E) RAMP  
 SCALE: 1/8" = 1'-0"

NOTE:  
 NO WORK ON GABLE OR LOBBY FRONT EXCEPT AS SHOWN, ADDITION OF REQUIRED EXIT RAMPS AT NORTH & SOUTH OF THEATRE

SHEET NOTES

- 1
- 2
- 3

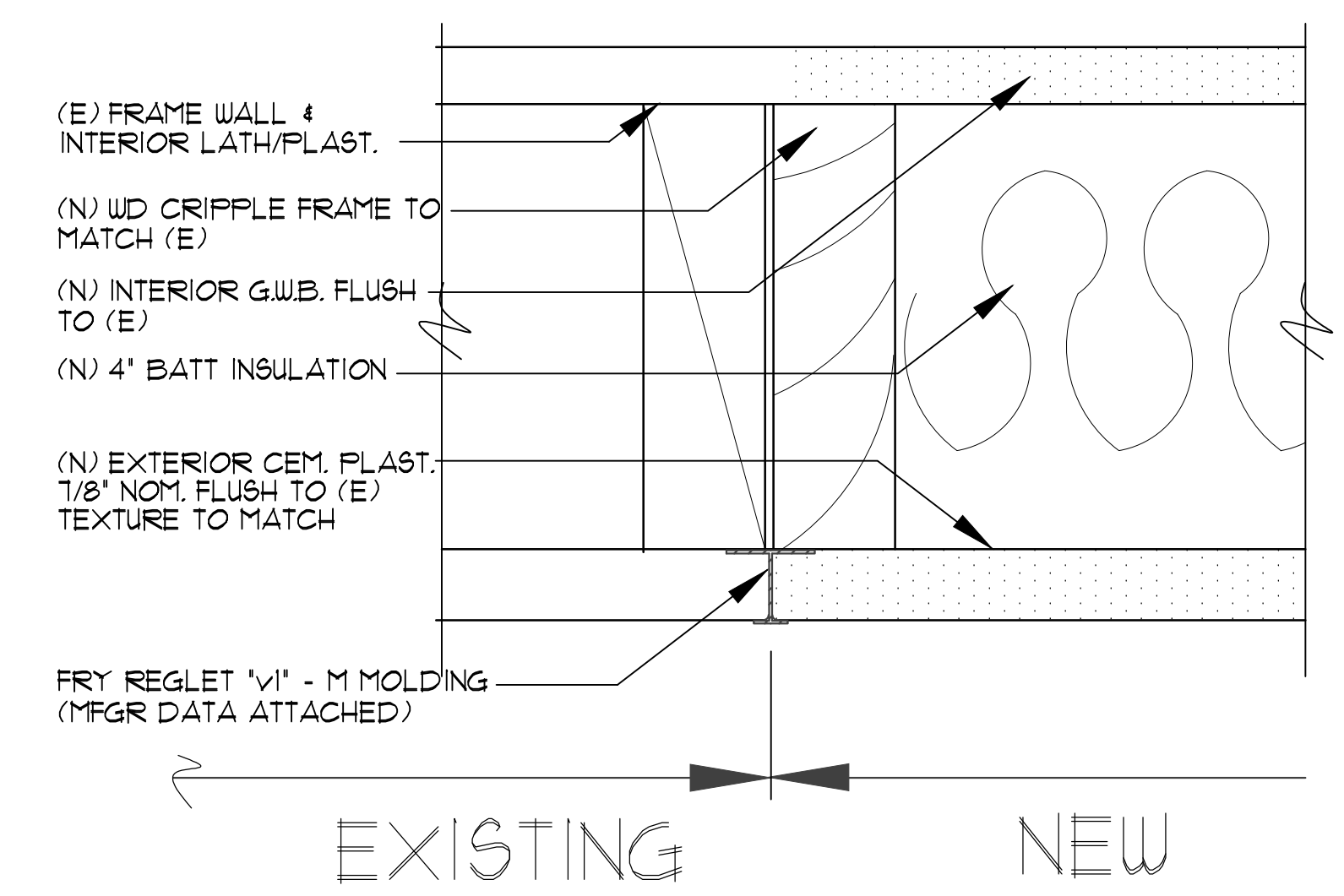
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PROJECT: **GOLDEN BOUGH PLAYHOUSE**  
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 Los Angeles, CA 90031 US  
 (213) 663-2017



1 EXTERIOR CEM PLASTER JOINT DETAIL  
 AT (E) WALL "POP-OUT" REPLACEMENT AREAS



CHECK DRAWING SIZE BEFORE USING NOMINAL SCALE. IF  
 BORDER SIZE IS LESS THAN 23" H X 31 3/4" W, (OVERSIZE-D),  
 NOMINAL SCALES DO NOT APPLY AND GRAPHIC SCALE

REV. NO.	DATE	DESCRIPTION

SHEET TITLE  
 RFM Co JOB # 1809  
**PARTITION FRAMING TYPES**

ISSUE DATE:  
 SCALE: AS INDICATED  
 DRAWN: DATE:  
 2021 ADT 09-08-2020  
 SHEET NUMBER  
 A-705











PROJECT NO.	RFM-1809
PROJ. NAME	Golden Bough Th. Interior Project

PAGE 1 of 2

**MEMORANDUM**

TO: Evan Kort  
 Cc: Stephen Mooror  
 FROM: Richard McCann  
 DATE: 07-10-20

Email: ekort@ci.carmel.ca.us  
 smatprt@aol.com

**SUBJECT: Golden Bough PH-2A Noise Mitigation Strategy**

**GENERAL BACKGROUND**

The following noise mitigation summary supports the permit application of Pacific Repertory Theatre for interior additions and alterations to the Golden Bough Playhouse Main-Stage Theatre.

Interior sound sources include acoustic and amplified performance and the sound of audience responses to performance. Absent measured sampling of performance and audience sound characteristics and loudness that might be expected in a typical theatrical season, control measures can only be based on comparable conditions of theatres that coexist with neighbors located within distances similar to the separation between the Golden Bough Project and its neighbors.

Neighborhood concerns expressed about Golden Bough sound have included audience reaction noise (applause) and specific instrumentation and styles of music involving rhythm, percussion, instrumental bass sound, and various amplified instruments including guitars and keyboards. In response, Pacific Repertory Theatre will undertake Interior Additions and Alterations that incorporate sound and noise control. Accordingly, measures regarded successful under comparable theatre operations and event programming will be considered, evaluated and chosen.

Accompanying recommendations are approximations of reduced sound levels between interior and exterior sides of the building envelope. Such reduction levels are expressed in decibels (measured amplitude of sound wave energy, where 0dB corresponds roughly to the threshold of hearing).

**SOUND MITIGATING ASSEMBLIES**

1. Addition of upper 8-feet height of Exterior Walls Enclosing Stage & Audience Areas:

Double frame wall with 1/2" physical separation, interior face applicable to the interior face of the upper 8-feet of wall measured from the existing top plate.

Theoretical Mitigation: Increase wall STC rating approximately from 35 (existing) to 56

Described Effect: Theoretical 4-5 dB sound level reduction in white noise spectrum measurement at 10-feet from exterior face of wall. 0 dB A spectrum sound level reduction for rhythm specific instrumental (drum/plectrum) sound and 5-8 dB theoretical reduction for harmonic instrumentation (guitar, keyboards, strings, winds, and reeds). Solo song



PROJECT NO.	RFM-1809
PROJ. NAME	Golden Bough Th. Interior Project

PAGE 2 of 2

**MEMORANDUM**

and instrumental performance are amplified performance with sound levels that vary by performance style

2. Addition of lower 1/3 roof rise insulation bats (600 sq ft each slope):

Proposed: 3 1/2" thick vinyl sheathed insulation bats between roof joists.

Theoretical Mitigation: Increase roof STC from mid-20's (existing) to upper 30's

Described Effect: Theoretical 2-3 dB sound level reduction measured 10-feet perpendicular above roof plane. 0 dB sound level reduction for rhythm specific instrumental (drum/plectrum) sound.

3. Addition of enclosures around flanking sound paths: roof-wall intersecting gaps, door-jamb-wall intersections, and wall penetrations for conduit, electrical boxes, panels and duct openings.

Theoretical Mitigation: Reduced air-borne transmission through existing openings

Described Effect: Undeterminable, however reduction of air-borne transmission is predictable due to the considerable numbers and locations of openings to be enclosed.

4. Addition of solid core metal acoustical-rated exterior doors in exterior walls.

Theoretical Mitigation: Increase door specific STC ratings from 0 (existing) to over 30

Described Effect: 2-3 dB white noise reduction measured 10-feet at each door

5. Future adaptations (proposed next phase of work to follow completion of the current project)

- a. Replacement of approximately 40% of existing interior wall plaster with double layers of 5/8" gypsum board for increased mass with benefit of construction based on rated acoustical standards,
- b. Addition of exit passage enclosures of north/south ramps with sound rated wall and roof construction,
- c. Addition of upper double wall and roof construction aligned north/south above exit passage enclosure referenced in item-b above,
- d. Addition of Circle Theatre Lobby Extension; with in combination with sound rated wall and roof construction.

1 PH-2A NOISE MITIGATION STRATEGY

NO SCALE

PROJECT: **GOLDEN BOUGH PLAYHOUSE**  
 for **PACIFIC REPERTORY THEATRE**  
 LOCATED BETWEEN 8TH & 9TH AVENUES  
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 CARMEL, CALIFORNIA



RF McCANN, FAIA  
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 THE DESIGN COLLABORATIVE  
 Jaime Garza, SE  
 4022 Bernice Place  
 Los Angeles, CA 90031 US  
 (213) 663-2017

REV. NO.	DATE	DESCRIPTION

SHEET TITLE  
 RFM JOB #1809  
**PH-2A NOISE MITIGATION:  
 ACOUSTICAL CONTROL**

ISSUE DATE:  
 SCALE: AS INDICATED  
 DRAWN: 2021 ADT DATE: 09-08-2020  
 SHEET NUMBER  
**AC-100**

THIS SHEET FOR REVIEW & DISCUSSION ONLY, NOT FOR CONSTRUCTION



OLDEN BOUGH THEATRE PH-2A INTERIOR PROJECT, Carmel-by-the-Sea, CA

SECTION - 02050a  
Revised 08-09-2020

ART 1 - GENERAL  
SELECTIVE DEMOLITION

01 CONTRACT REQUIREMENTS  
Conform to the specific requirements of these specifications. The Contractor shall observe general, supplemental and other conditions also bound with this specification.

02 DESCRIPTION  
A. Refer all specifics to Owner's demolition summary schedule and the demolition drawings. Include such additional demolition evidenced through examination of documents for construction of new additions and alterations as indicated on the drawings accompanying this specification.  
B. Alternate bid item related: Demolition scope relates to additive alternates described in Section-01030 of this specification. Prior to bidding demolition work of this contract, bidder shall understand all alternate bid items and related demolition to allow each bid item. Demolition work on behalf of alternates accepted by the Owner must be separately listed and will be considered as included within the total demolition bid price.  
C. Structural Demolition: Before removal of structural members, provide shoring as required to maintain stability and soundness of existing building structure and/or building components in part and in whole. Use Carborundum saws or approved means to carefully cut structural concrete and other structural material in which a part of existing is to remain. Remove concrete and debris and other structural demolition in small pieces.  
D. Remove all demolition debris from building and grounds daily as work proceeds. Allow no debris to accumulate. Remove debris at Contractor's expense.

E. Building and theatrical electrical and mechanical system equipment components including floor, wall and ceiling back-boxes, outlets, grills, thermostats and attached or suspended lighting fixtures are N.I.C. to the demolition portion of this contract.

03 EXISTING CONDITIONS

A. Drawings of existing conditions are provided on demolition plan sheets for Contractor's general reference. Contractor shall carefully examine site conditions and accept building on an "as-is" condition. Prior to starting demolition, Contractor shall make a complete inspection of conditions of existing site and building elements including visible defects close to, or adjoining spaces or items to be altered.  
B. Where shown on drawings or described in the Owner's demolition summary schedule, portions of required demolition work may be removed by others than the Demolition Contractor.  
C. Demolition plans do not refer to incidental "house-keeping". Contents, furnishings and equipment used by theatre owner/operators remain in areas of the Golden Bough Main Stage, Main Stage auditorium and lobby. This contractor shall provide labor and removal of such items only in areas specifically designated as part of the work of this contract. Examples of "house-keeping" contents include, though are not limited to, adhered and tacked-down carpeting on aisles leading of the Main Stage seating form and in passages leading from the lobby into Main Stage seating. Also included are doors and jambs serving auditorium side exits and main-vertical-aisle exits. Curtains, drapes and suspension devices found at any location of the Main-stage are to be referred to the project representative for evaluation prior to removal.

SELECTIVE DEMOLITION  
SECTION 02050a - 1

GOLDEN BOUGH THEATRE PH-2A INTERIOR PROJECT, Carmel-by-the-Sea, CA

SECTION - 02050a  
Revised 08-09-2020

1.04 ASBESTOS REMOVAL

A. There will be a separate asbestos and lead paint abatement specification, Pre-bid meeting to be held at the project site.  
B. At the Contractor's instigation, any materials in question of asbestos content shall be sampled by the Project Manager for testing to determine actual content and if asbestos is present, shall be dealt with as known asbestos substances.  
C. The Contractor shall contact the appropriate agencies and obtain the instruction and permits necessary for proper sage removal and disposal of the various asbestos content substances found. The Contractor, at their option, may have the work performed by people professionally trained in the field of asbestos removal.

1.05 SALVAGE TO CONTRACTOR

All existing items described on the plan for demolition or removal, shall be salvaged to the Owner (Pacific Repertory Theatre). Prior to bidding, verify items in question with Owner's Project Representative.

1.06 SALVAGE TO OWNER

No salvage to Contractor unless authorized by formal change order from the Owner (Pacific Repertory Theatre).

1.07 RELATED WORK

A. Cutting and patching procedures (Section 01120).  
B. Electrical and mechanical system equipment components including floor, wall and ceiling grills, thermostats and attached or suspended lighting fixtures are N.I.C. to this contract. Mechanical and electrical trade demolition documents are provided for trade removal under separate contract.  
C. Existing toilet room plumbing fixtures and fixture trim are N.I.C. to this contract. Plumbing and electrical trade demolition documents are provided for use of each respective trade under separate contract.

1.08 QUALITY ASSURANCE

A. Governing Regulations: Conform to codes and requirements of governing authority. Conduct operations in manner to ensure safety of persons in accordance with OSHA standards.  
B. Permits: Obtain and pay for all permits for demolition; protection of the public and property; transportation and disposal of debris; and severance of utility services.  
C. Historic theatre demolition differs in many ways from traditional building demolition. Contractor shall familiarize itself with terminology, space names, areas and materials existing in the Golden Bough.

SELECTIVE DEMOLITION  
SECTION 02050a - 2

GOLDEN BOUGH THEATRE PH-2A INTERIOR PROJECT, Carmel-by-the-Sea, CA

SECTION - 02050a  
Revised 08-09-2020

1.09 SUBMITTALS

A. Permits and notices authorizing demolition.  
B. Certificates of severance of utility services.  
C. Permit for transport and disposal of debris.  
D. Demolition Schedule

1. Submit a Demolition Schedule and Work Plan for proposed sequence of demolition and removal operations, noise mitigation, and protection of existing trees to the Project Manager, Owner, City Building Official for review prior to start of the work.  
2. Consider and coordinate Owner's on-site operations as part of all planning of on-site demolition.  
3. Consider and coordinate with work N.I.C. to demolition contract that involves shut-off, capping, and continuation of water, gas and electric utility services by contractors of other trades.  
4. Provide in diagrammatic form method and sequence for movement of demolished materials, for workflow and method of such movement on site and away from the site.  
5. Provide in drawing form a path to disposal location and exact location of disposal and truck standing area.

1.10 JOB CONDITIONS

A. Occupancy: Existing building will be partially occupied during demolition and construction.  
B. Conditions of Building  
1. Conditions existing at time of inspection for bidding purposes will be maintained by the Owner in so far as practicable. However, anomalies with this specification and drawings may occur as the result of Owner's use of the site, toxic materials or bio-hazard abatement, operations involving removal and salvage for future reuse.  
C. Obstructions, Interference  
1. Do not interfere with use of adjacent or neighboring buildings or work being performed in occupied areas of the Golden Bough site adjacent to the areas listed for demolition. Maintain free and safe passage to and from such continuing occupancy areas.  
2. Conduct demolition operations and removal of debris to ensure minimum interference with roads, streets, walks, and other adjacent occupied or used facilities.  
3. Do not close or obstruct streets, walks or exits from neighboring occupied or used facilities without permission from the Construction Manager, authorities having jurisdiction and the Owner.  
4. Provide alternate routes around closed or obstructed traffic ways as required by the Construction Manager and governing authority of the City.  
D. Protection

SELECTIVE DEMOLITION  
SECTION 02050a - 3

GOLDEN BOUGH THEATRE PH-2A INTERIOR PROJECT, Carmel-by-the-Sea, CA

SECTION - 02050a  
Revised 08-09-2020

1. Ensure safe passage of persons around areas of demolition. Conduct operations to prevent injury to adjacent neighboring buildings, structures, other facilities, and persons.  
2. Erect temporary covers or passageways as required by governing authority.  
3. Provide, erect and maintain barricades, lighting, and guardrails as required by governing authority to protect persons accessing occupied areas of Golden Bough facilities.  
4. On completion, remove temporary barriers and protective devices used during demolition other than shoring and bracing.

E. Environmental Controls

1. Burning of materials on site is not permitted.  
2. Use water sprinkling, temporary enclosures, and other suitable methods to limit dust and dirt rising and scattering in air to lowest practical level. Comply with governing regulations pertaining to environmental protection.  
3. Do not use water when it may create hazardous or objectionable conditions such as flooding, and pollution, or cause damage to portions of the structure to remain.  
4. Erect and maintain dustproof partitions as required to prevent spread of dust, fumes, and smoke into the atmosphere over the City of Carmel-by-the-Sea. Observe state and local AQMD standards and requirements.

F. Damage, Fire, Explosion

1. Prevent movement and settlement of structures as the result of any operations or removal required by the scope of this contract.  
2. Provide interior and exterior shoring, bracing, and other support to prevent movement, settlement or collapse of structure and adjacent construction to remain.  
3. Assume liability for such movement, settlement, damage, or injury.  
4. Cease operations and notify Architect, Structural Engineer and Construction Manager immediately if safety of structure appears to be endangered. Do not resume operations until safety is restored.  
5. Promptly repair damages caused to adjacent facilities by demolition operations at no cost to Owner, City of Carmel, or the Construction Manager.  
6. Maintain fire-watch at all times demolition operations are in progress.  
7. Assume liability for spontaneous combustion or fire resulting from demolition operations.  
G. Disposal, Storage and Sales: Disposal or sale of removed items on site is not permitted. Storage of debris is not permitted except for "set-aside" items required by this specification.

PART 2 - PRODUCTS

2.01 MATERIALS (Property of the Owner)

A. Items of equipment, furnishings, and building components to be salvaged or retained by the Owner are indicated on Drawings and on the Attached Schedule.  
B. Remove and preserve free of damage those items designated for reuse or re-installation to be removed by the Contractor but remain the property of the Owner, and store as instructed by the architect or Project Manager.

SELECTIVE DEMOLITION  
SECTION 02050a - 4

OLDEN BOUGH THEATRE PH-2A INTERIOR PROJECT, Carmel-by-the-Sea, CA

SECTION - 02050a  
Revised 08-09-2020

C. Remove and preserve free of damage those items designated "salvaged by the architect or Project Manager."  
D. Relics, antiques, and similar items of historical value, not marked or listed but discovered during the course of the work, are to remain the property of the Owner. Notify Architect and Project Manager only and exclusively, upon discovery of any such items. Immediately discontinue work in the area of find. Designate area of find as "off-limits" and close access to all individuals except architect, Owner, and Project Manager.

02 MATERIALS (Property of the Contractor)

A. Salvage indicated for removal and not otherwise listed or noted as "property of the Owner" in this Specification or on the Drawings becomes the property of the Contractor.  
B. Immediately remove salvage items and debris from the site as demolition occurs.  
C. Above notwithstanding, Owner reserves the Right of First Refusal on all items indicated for removal by the Contractor

ART 3 - EXECUTION

01 GENERAL

A. Submit proposed procedures and times schedule to the Architect and the Construction Manager for review prior to performing work.  
B. Proceed with demolition in a systematic manner in accordance with the Demolition Schedule to accommodate new work.  
C. Remove all items of equipment and construction not to remain as part of the finished project.  
D. Cut all openings in existing construction shown on the Drawings in accordance with the requirements with Drawings and these Specifications.  
E. Completely demolish portions of the building not to be reused or salvaged and remove from the site. Use such methods as required to complete the work within the limitations of governing regulations.  
F. Protect from damage those portions that are to remain. Saw cut concrete and masonry to provide neat lines where no work adjoins existing. Do not interfere with neighboring buildings or activities. Keep adjacent street areas, drives, walks and the like, open and in operation at all times.  
G. Locate demolition equipment throughout structure and remove materials so as to not impose excessive loads to supporting walls, floors, or framing.

02 UTILITIES AND SERVICES

A. In general, ensure demolition under this contract maintains existing utilities in service and allows Owner to continue occupancy services for power, water, drainage and telephone communication and protects against damage to such services during demolition operations.

03 PROCEDURE

SELECTIVE DEMOLITION  
SECTION 02050a - 5

GOLDEN BOUGH THEATRE PH-2A INTERIOR PROJECT, Carmel-by-the-Sea, CA

SECTION - 02050a  
Revised 08-09-2020

A. Carefully cut and remove portions of construction that are required to be removed in a manner not to disturb specific adjacent construction to remain.  
B. Demolish concrete and masonry in small sections.  
C. Remove structural framing members and lower to ground by hoists, derricks, or other suitable methods.

3.04 REMOVAL

A. Remove from site contaminated, vermin infested or dangerous materials and dispose of by safe means not to endanger health of workers and public.  
B. Remove demolished materials, tools, and equipment from site upon completion of work.

3.05 EXISTING LOAD CARRYING MEMBERS

Do not remove unless temporary shoring and supporting structure is properly in place, and has reached full strength.

3.06 ITEMIZED ROOF DEMOLITION (not applicable)

3.07 PRT STAGE PRODUCTION, AUDIENCE AREAS, & ADMINISTRATIVE AREAS

Pacific Repertory Theatre (PRT) Main-Stage, Auditorium, and Administrative areas are in full-time operation status at time of bidding. Areas will be filled with scenic and production items and equipment that may appear building related, but actually are portable and will be fully removed by Owner and will include:

- Theatre lighting and sound equipment mounted with "C" clamps regardless of location.
- Suspended items hung by cables or rope.
- Furnishings on stage (scenic effects), in the auditorium (theatre seating) and in (E) Main-Stage lobby & (N) Stadium Lobby (seating, tables, concession counters, and dispensing equipment.)
- Control equipment for lighting and sound.
- PRT stage platform - (E) stage floor is to be maintained and protected from damage.
- Circle Theatre and Circle Theatre Ancillary spaces, including "Bunker" are to be maintained and protected from damage.
- Golden Bough Main-Stage Theatre lobby, Lobby Restrooms, Auditorium Seating, Mezzanine Offices, Exterior Steps:
  - Lobby Restrooms  
Remove (E) all plumbing fixtures  
Remove (E) floor finish material  
Remove (E) all doors and jambs
  - Auditorium Seating  
Remove (E) seating  
Remove (E) floor finish material  
Remove (E) concrete at stadium stadium seating level (as indicated on demo plans)  
Remove (E) North & South gallery support walls (reference demo sequence)

SELECTIVE DEMOLITION  
SECTION 02050a - 6

GOLDEN BOUGH THEATRE PH-2A INTERIOR PROJECT, Carmel-by-the-Sea, CA

SECTION - 02050a  
Revised 08-09-2020

c. Mezzanine level  
Remove (E) North & South office support rooms  
Remove (E) all floor finish material  
Remove (E) all doors and jambs  
Remove (E) booth cross wall (as indicated on demo plans)  
d. Exterior Steps  
Remove (E) North & South exterior landing and steps  
Maintain (E) doors and jambs  
Maintain (E) planter at South-East corner on Monte Verde St. (partial demo, ref. seq.)

8. Main-Stage Lobby level spaces (commissary, box office, main lobby) is involved with equipment and minor space alteration. Demolition requires localized removal of floor and concrete slab, for purposes of structural retrofit for upgraded mezzanine level. Reference demolition sequence, as indicated on plans.

3.08 PROTECTIVE ENCLOSURES

A. Provide protective enclosures where building is opened to the exterior and to areas of wood frame construction.  
B. Materials and construction of protective enclosures shall be the option of the Contractor but must be acceptable to the Architect and Construction Manager and comply with governing jurisdiction safety codes and regulations.  
C. Enclosures to the exterior must be weather tight. Enclosures to the interior must be constructed to eliminate dirt and dust, from migrating within interior areas of the building.  
D. Dust proof Barriers

1. Construct dustproof barriers between occupied or finished areas and areas where work is in progress. Do not remove barriers until all work is complete within a specific area.  
2. Construct barriers of studs and plywood or drywall with joints sealed as tight as possible to keep out dust and obnoxious odors.  
3. Where access is required, provide weather-resistive or otherwise sealed removable doors.

E. Protective enclosures at floors an/or roof deck and other horizontal surfaces shall be constructed of load bearing wood framed construction.  
F. Where temporary protective enclosures exceed 100 sq. ft. in area, use UL fire retardant treated materials for framing and enclosure.

3.09 INSPECTIONS

After completion of "house-keeping" removals and before commencing structural demolition, notify Architect, Structural Engineer and Construction Manager for visual inspection of exposed components. Do not remove any supporting structure until conditions are exposed for Architect/Structural Engineer's observation and instruction.

SELECTIVE DEMOLITION  
SECTION 02050a - 7

GOLDEN BOUGH THEATRE PH-2A INTERIOR PROJECT, Carmel-by-the-Sea, CA

SECTION - 02050a  
Revised 08-09-2020

3.10 OBJECTIONABLE NOISE

Do not use air hammers or vibratory equipment in any manner as part of demolition work.

3.10 CLEAN-UP

A. Repair all areas of demolition performed in excess of that required, at no cost to the Owner.  
B. Clean adjacent areas and improvements, even when occupied by the Owner, to remove dust, dirt, and debris caused by demolition operations  
C. On Completion of demolition work leave the property and adjacent areas clean and satisfactory to Construction Manager and the Architect.

3.11 BRACING AND SHORING

The contractor shall be responsible to adequately brace and shore elements and/or excavations where, through demolition, their existing support is removed. California State Building Codes and City of Carmel-by-the-Sea Codes shall be strictly adhered to. Where the Contractor has any reason to doubt the safety of a particular situation, he shall seek the advice of the project Structural Engineer and Architect. Collapse or shifting of any part of the existing structure or adjacent structures, not intended to be demolished and resulting in the need for replacement, shall be at the expense of the Contractor or his insurer.

END OF SECTION

SELECTIVE DEMOLITION  
SECTION 02050a - 8

PROJECT: GOLDEN BOUGH PLAYHOUSE for PACIFIC REPERTORY THEATRE LOCATED BETWEEN 9TH & 9TH AVENUES OFF MONTE VERDE AND CASANOVA CARMEL, CALIFORNIA

RFM ARCHITECTS RF McCANN, FAIA ARCHITECT 40 EAST MONTECITO AV SIERRA MADRE, CA 91024 PH (626) 836-1080 ELECTRICAL ENGINEERING DANAR ELECTRIC NELSON CHAN, PE, 1444 W. GAYLORD STREET LONG BEACH, CA 90813 (562) 432-3636 STRUCTURAL ENGINEERING THE DESIGN COLLABORATIVE Jaime Garza, SE 4022 Bernice Place Los Angeles, CA 90031 US (213) 663-2017

REV. NO.	DATE	DESCRIPTION

SHEET TITLE RFM Co JOB # 1809 PH-2A DEMO SPECIFICATION

ISSUE DATE: SCALE: AS INDICATED DRAWN: 2021 ADT DATE: 03-08-2020 SHEET NUMBER D-100a

PH-2A: DEMOLITION SPECIFICATION

NO SCALE

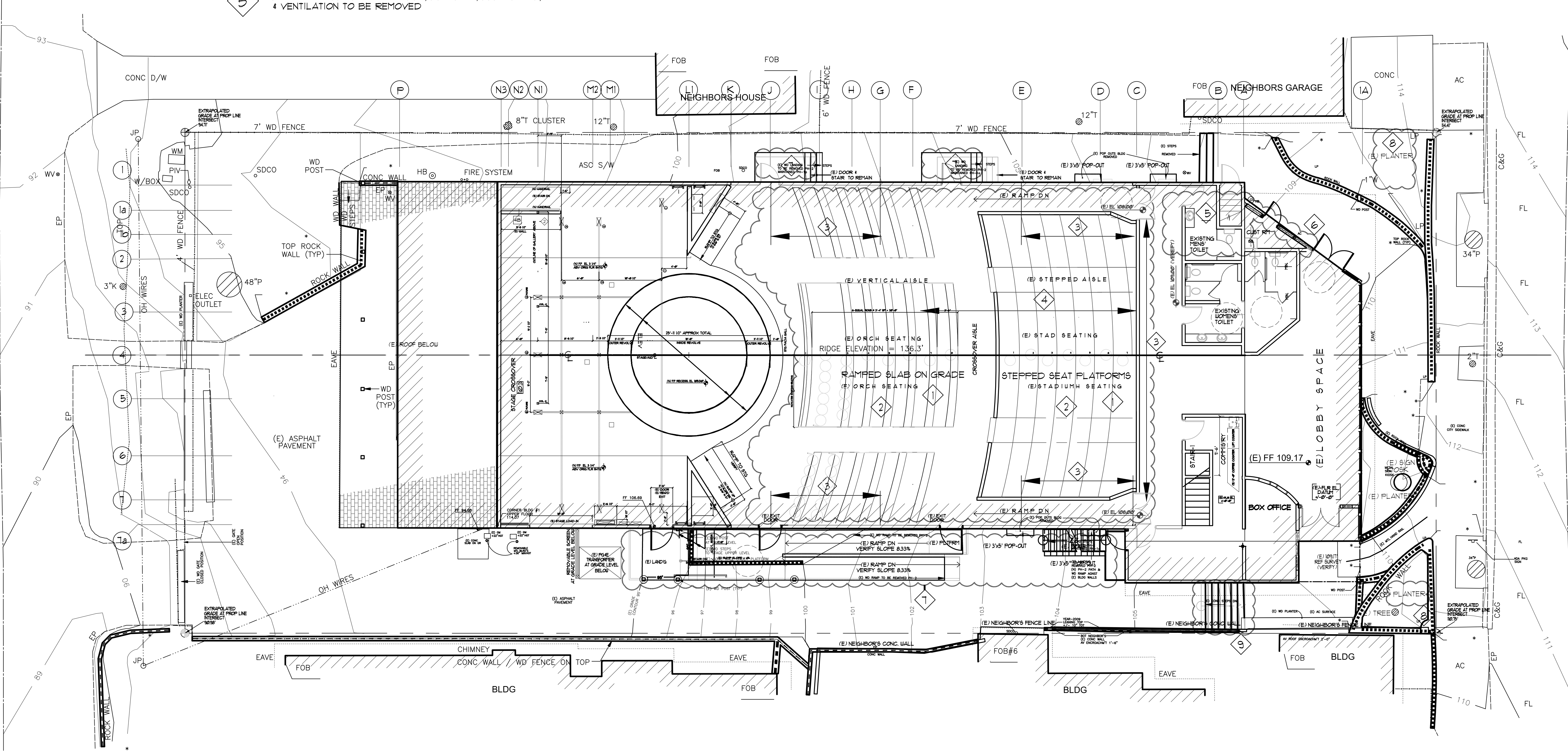
THIS SHEET FOR REVIEW & DISCUSSION ONLY, NOT FOR CONSTRUCTION



- 1 EXISTING FIXED THEATRE SEATING TO BE REMOVED
- 2 EXISTING CONCRETE RAMPED SLAB & STEPPED SEATING PLATFORMS TO BE REMOVED
- 3 EXISTING INTERIOR FACE OF EXISTING FRAME CONSTRUCTION TO BE REMOVED BETWEEN GRIDS
- 4 EXCAVATION TO APPROXIMATE DEPTH OF 5'-0" BELOW EXISTING UPPER ELEVATION OF RAMPED SLAB
- 5 EXISTING TOILET ROOM FIXTURES, PLUMBING, ELECTRICAL, & VENTILATION TO BE REMOVED

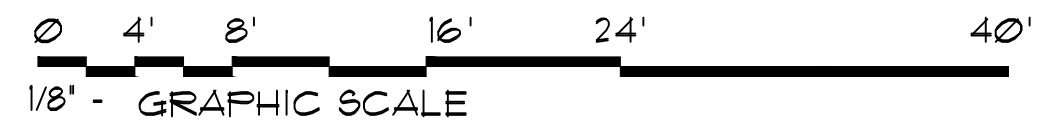
- 6 EXISTING WINDOWS FORMING CUSTODIAL ROOM TO BE REMOVED DOOR LOCATION TO REMAIN, DOOR & JAMB TO BE REPLACED
- 7 EXISTING WOOD STEPS & LANDING TO BE REMOVED
- 8 PARTIAL EXISTING PLANTER TO BE REMOVED
- 9 EXISTING STAIR TO BE RELOCATED, MAINTAINING PUBLIC ACCESS THROUGH GOLDEN BOUGH SITE, MONTE VERDE TO CASANOVA

INDICATES AREA OF REMOVAL AS NOTED

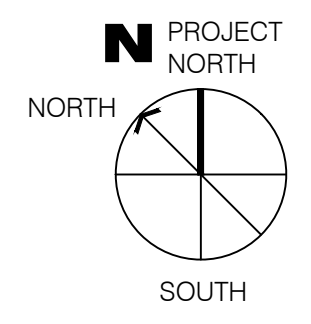


1 EXISTING MAIN STAGE & PLAN

SCALE: 1/8" = 1'-0"



CHECK DRAWING SIZE BEFORE USING NOMINAL SCALE. IF BORDER SIZE IS LESS THAN 23" H X 31 3/4" W, (OVERSIZE-D), NOMINAL SCALES DO NOT APPLY AND GRAPHIC SCALE



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PROJECT:  
**GOLDEN BOUGH PLAYHOUSE**  
 for **PACIFIC REPERTORY THEATRE**  
 LOCATED BETWEEN 8TH & 9TH AVENUES  
 OFF MONTE VERDE AND CASANOVA  
 CARMEL, CALIFORNIA

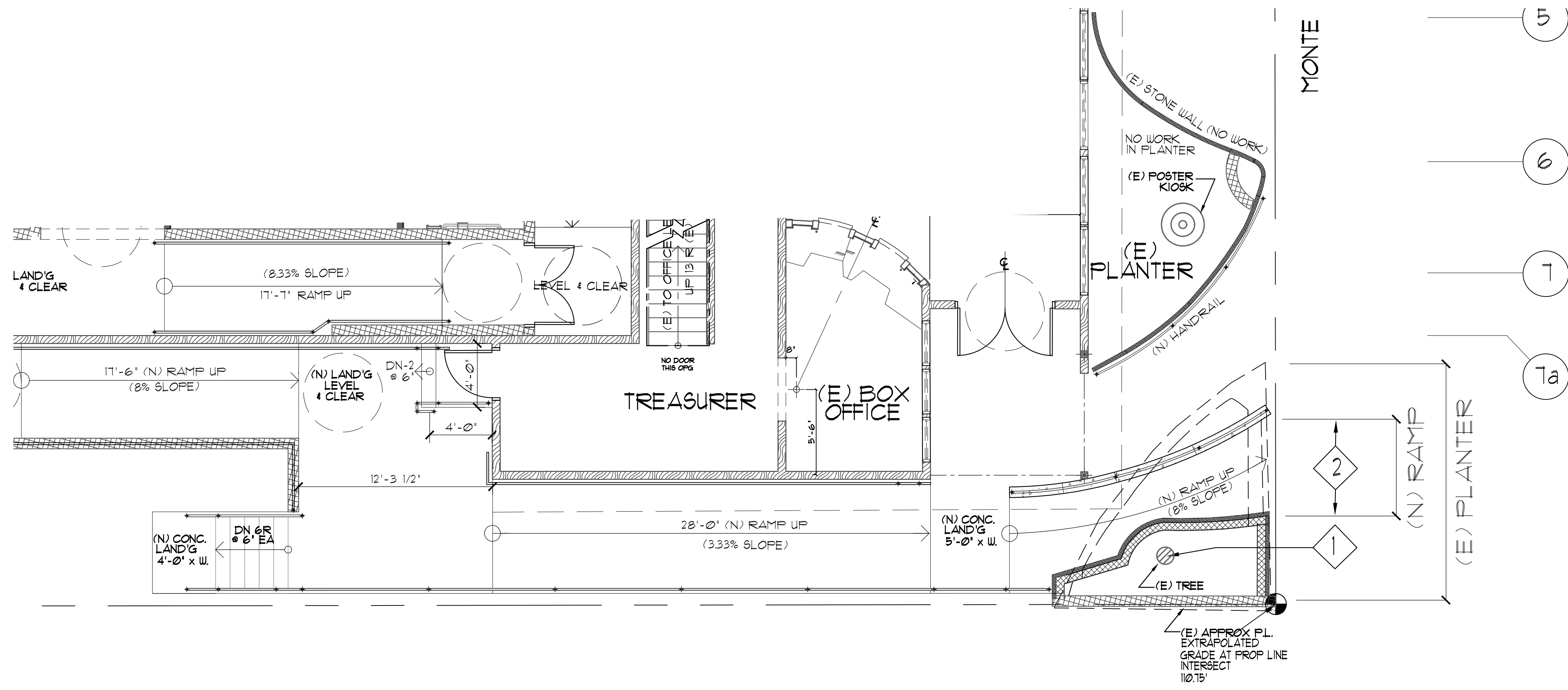
**RFM**  
 ARCHITECTS  
 RF McCANN, FAIA  
 ARCHITECT  
 40 EAST MONTECITO AV  
 SIERRA MADRE, CA 91024  
 PH (626) 836-1060  
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 DANAR ELECTRIC  
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 THE DESIGN COLLABORATIVE  
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 4022 Service Place  
 Los Angeles, CA 90031 US  
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REV. NO.	DATE	DESCRIPTION

SHEET TITLE  
**PROPOSED AREAS OF  
 INTERIOR & PARTIAL SITE  
 DEMOLITION**

ISSUE DATE:  
 SCALE: AS INDICATED  
 DRAWN: DATE:  
 2001 ADT 03-08-2020  
 SHEET NUMBER  
**D-101**



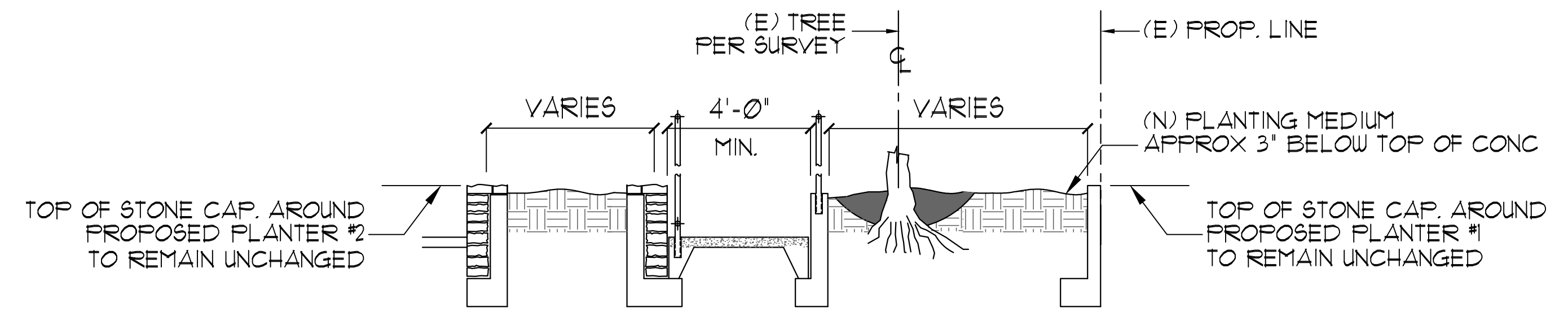
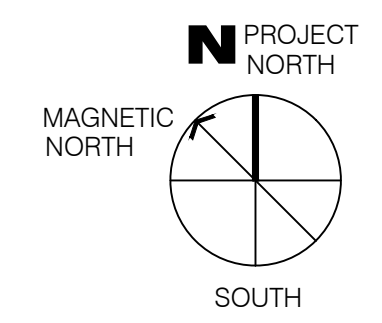


### KEY NOTES

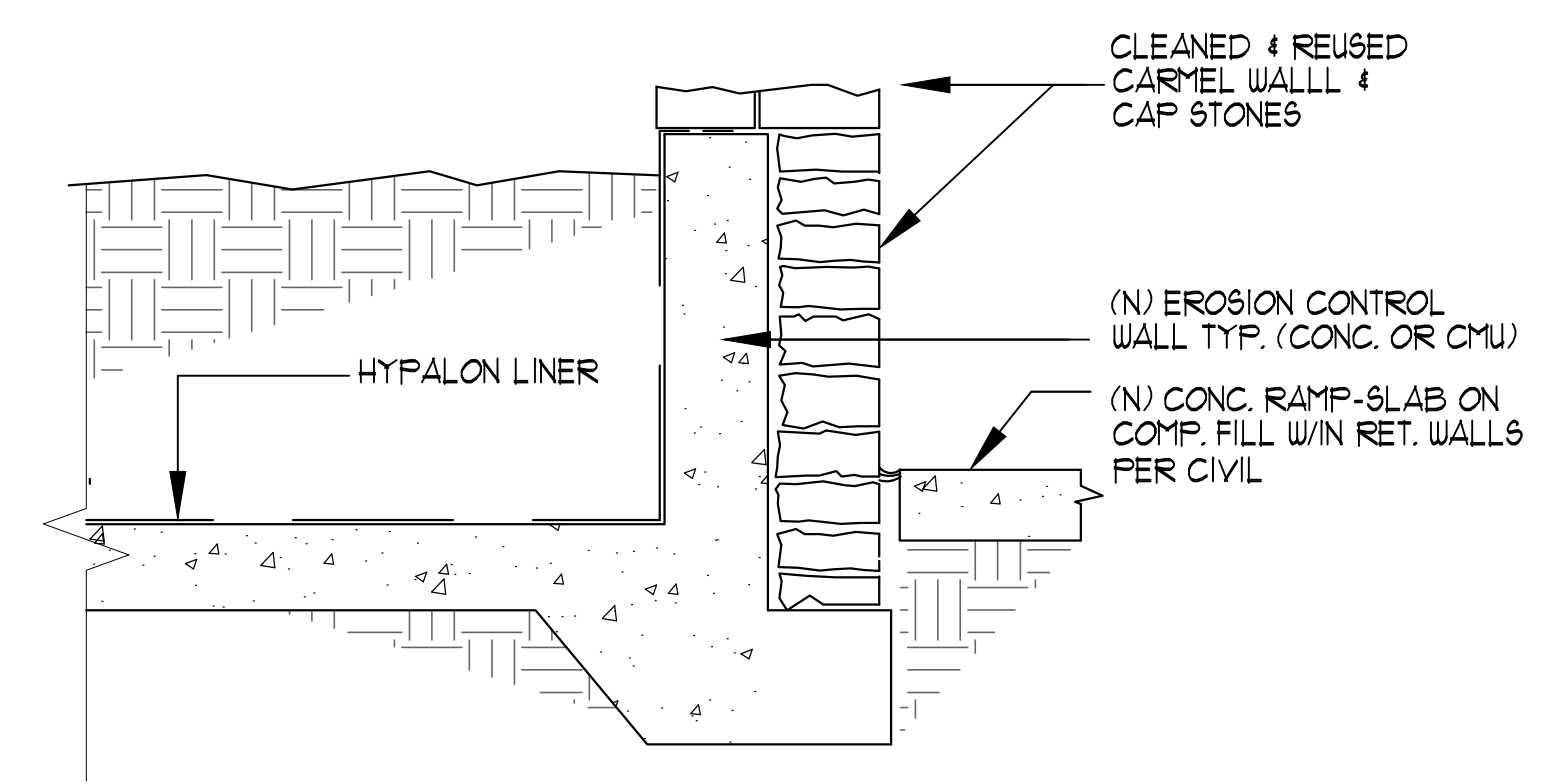
- 1 EXISTING TREE LOCATION (PER SURVEY WITH (N) RAMP APPROXIMATELY 12' BELOW (E) COVER GRADE OVER ROOT SYSTEM
- 2 INTERSECT OF EXISTING CONCRETE SIDEWALK WITH PROPOSED NEW RAMP REQUIRES REMOVAL OF APPROXIMATELY 6'-LINEAL FEET OF (E) PLANTER & CARMEL-STONE WALL
- 3
- 4

## PARTIAL SOUTH EAST SITE PLAN OF BUILDING, PLANTER, & RAMP

SCALE: 1/4" = 1'-0"



1a SOUTH EAST PLANTER SECTION - LOOKING EAST  
SCALE: 1/4" = 1'-0"



1b PLANTER SECTION DET  
SCALE: 1" = 1'-0"

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CHECK DRAWING SIZE BEFORE USING NOMINAL SCALE. IF BORDER SIZE IS LESS THAN 23" H X 31 3/4" W, (OVERSIZE-D), NOMINAL SCALES DO NOT APPLY AND GRAPHIC SCALE

PROJECT: **GOLDEN BOUGH PLAYHOUSE**  
for **PACIFIC REPERTORY THEATRE**  
LOCATED BETWEEN 8TH & 9TH AVENUES  
OFF MONTE VERDI AND CASANOVA  
CARMEL, CALIFORNIA

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(213) 663-2017

REV. NO.	DATE	DESCRIPTION

SHEET TITLE  
SITE: **SOUTHEAST RAMP TERMINATION & (E) PLANTER**

ISSUE DATE:  
SCALE: AS INDICATED  
DRAWN: 2001 ADT DATE: 09-08-2020  
SHEET NUMBER  
**SD-101**



PROJECT: **GOLDEN BOUGH PLAYHOUSE**  
 for **PACIFIC REPERTORY THEATRE**  
 LOCATED BETWEEN 8TH & 9TH AVENUES  
 OFF MONTE VERDI AND CASANOVA  
 CARMEL, CALIFORNIA

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REV. NO.	DATE	DESCRIPTION

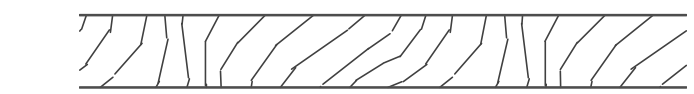

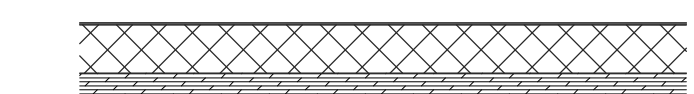

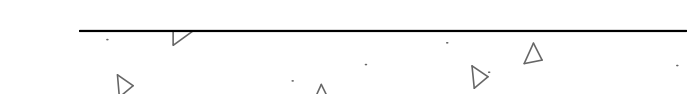
SHEET TITLE  
 RFMCO JOB # 1809  
 SITE:  
**NORTHEAST RAMP  
 TERMINATION & (E) PLANTER**

ISSUE DATE:  
 SCALE: AS INDICATED  
 DRAWN: DATE:  
 2021 ADT 09-08-2020  
 SHEET NUMBER  
**SD-102**

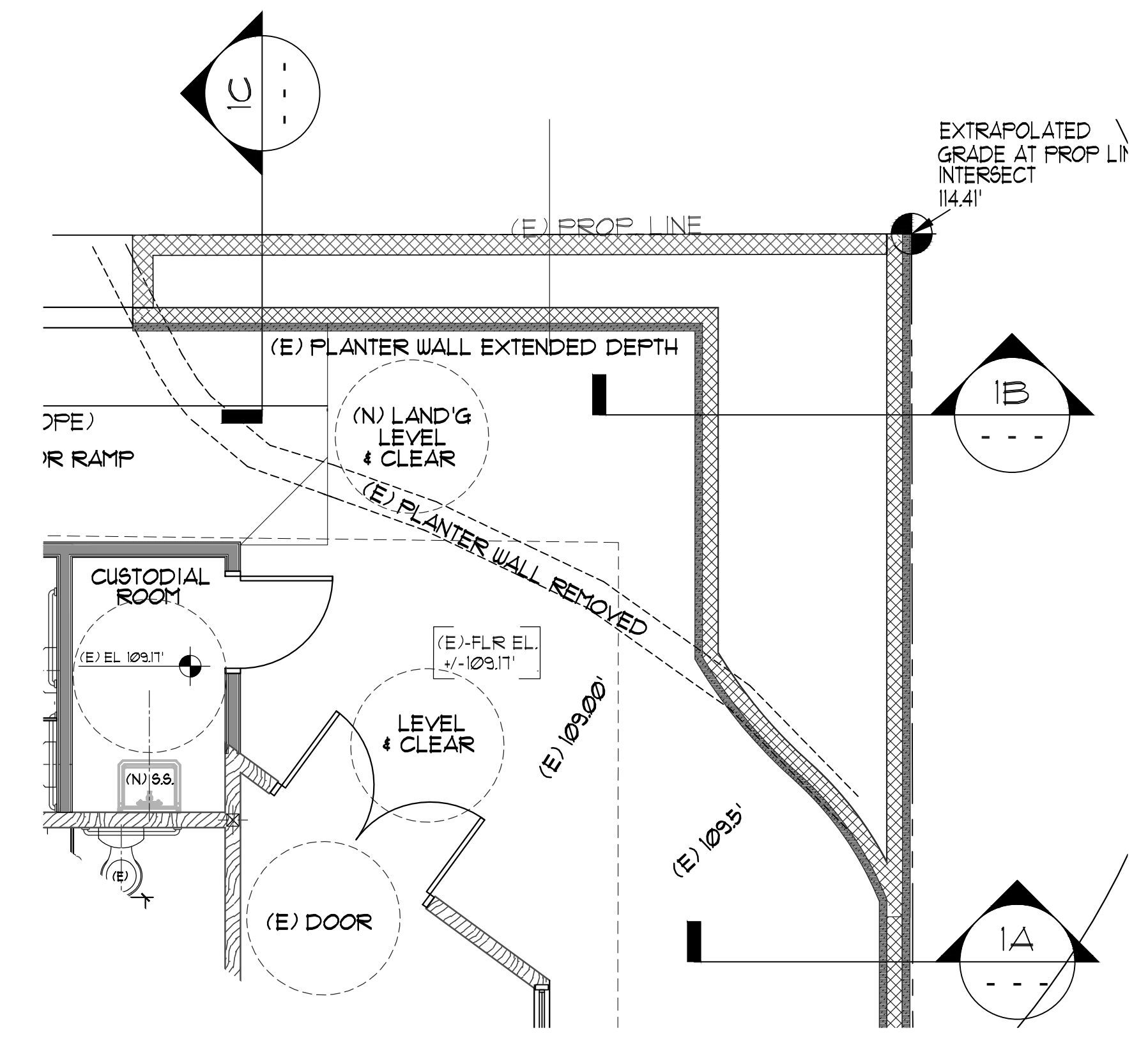
**KEY NOTES**

- 1
- 2
- 3
- 4

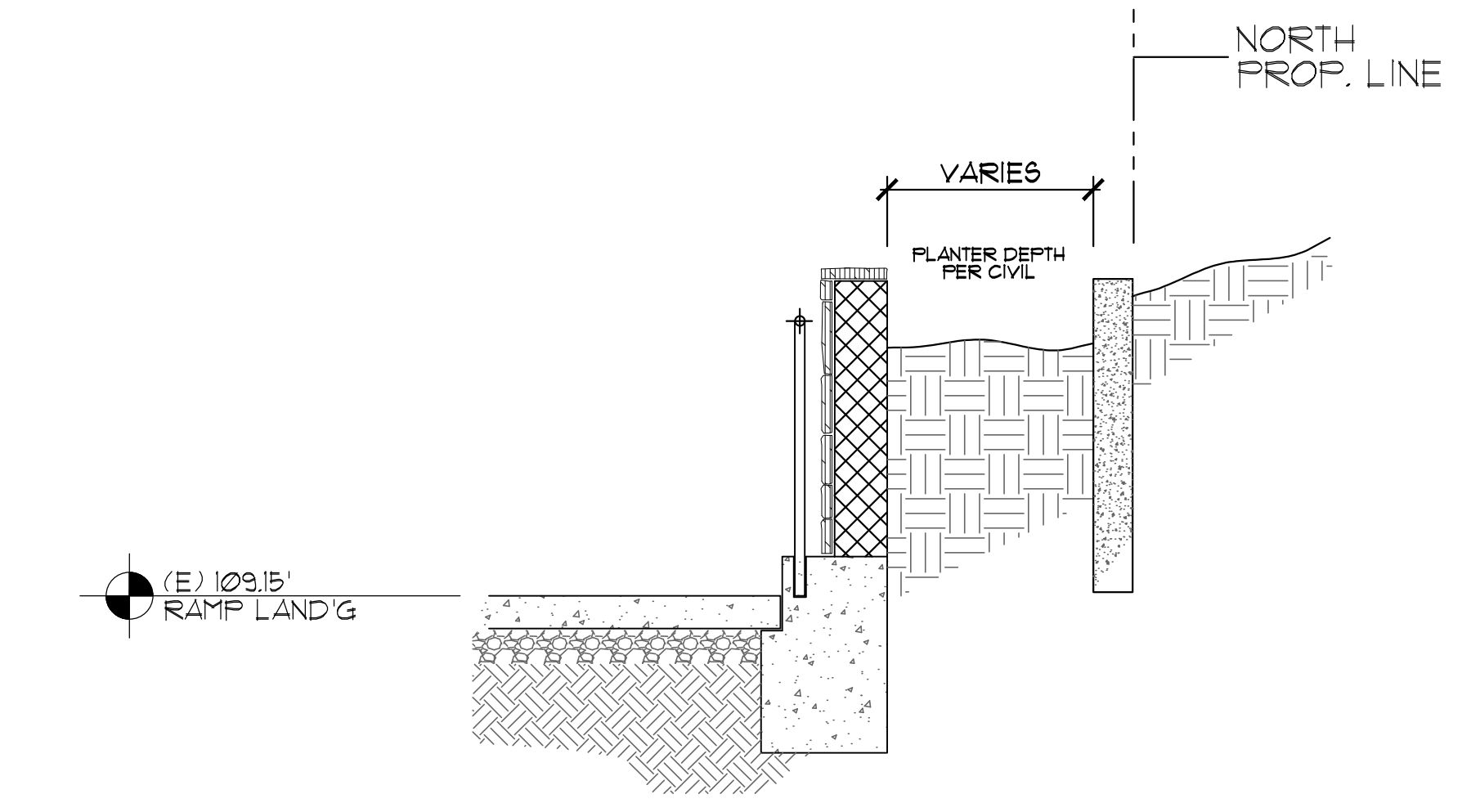
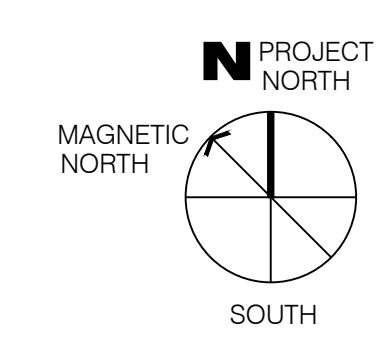
**SITE PLAN WALL LEGEND**

-  EXISTING FRAME WALL TO REMAIN
-  EXISTING CONC. WALL TO REMAIN
-  PLANTER WALL W/ CARMEL STONE
-  NEW CMU WALL PER STRUCTURAL
-  NEW TEXTURED CMU WALL

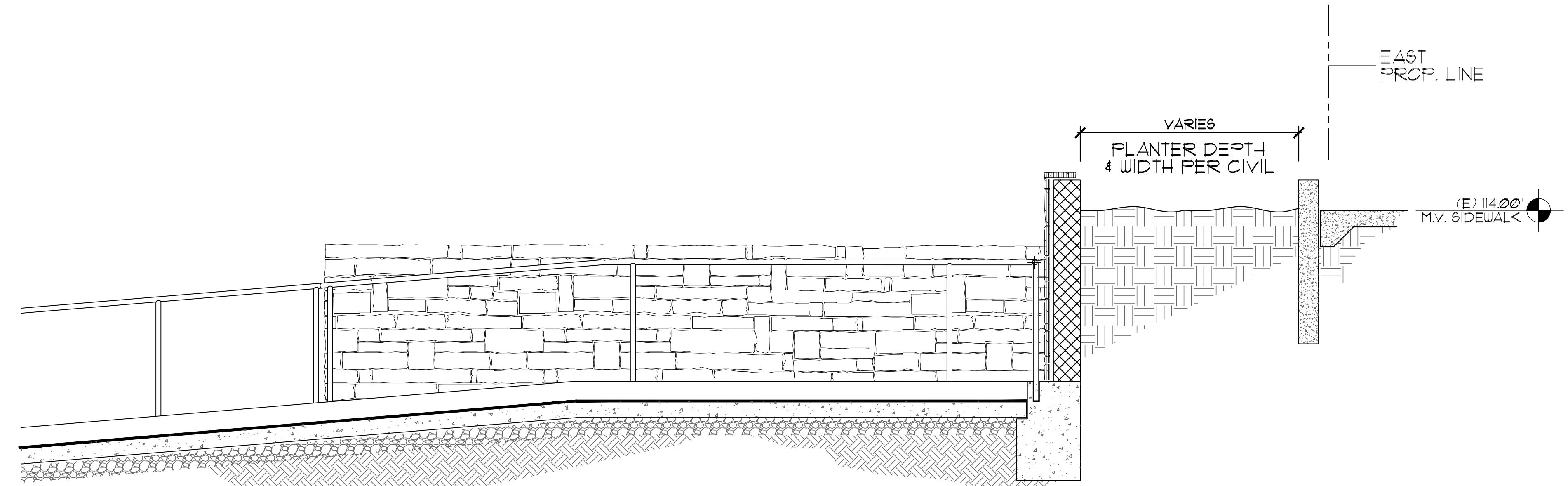
NOTE:  
 FOR ON-SITE CONTROL OF STORM WATER DRAINAGE  
 TO OFF-SITE (CASANOVA) REFER TO CIVIL DRAINAGE  
 PLAN & "LOW IMPACT DEVELOPMENT PLAN" FOR  
 SUBMISSION PER CAL. GREEN CODE



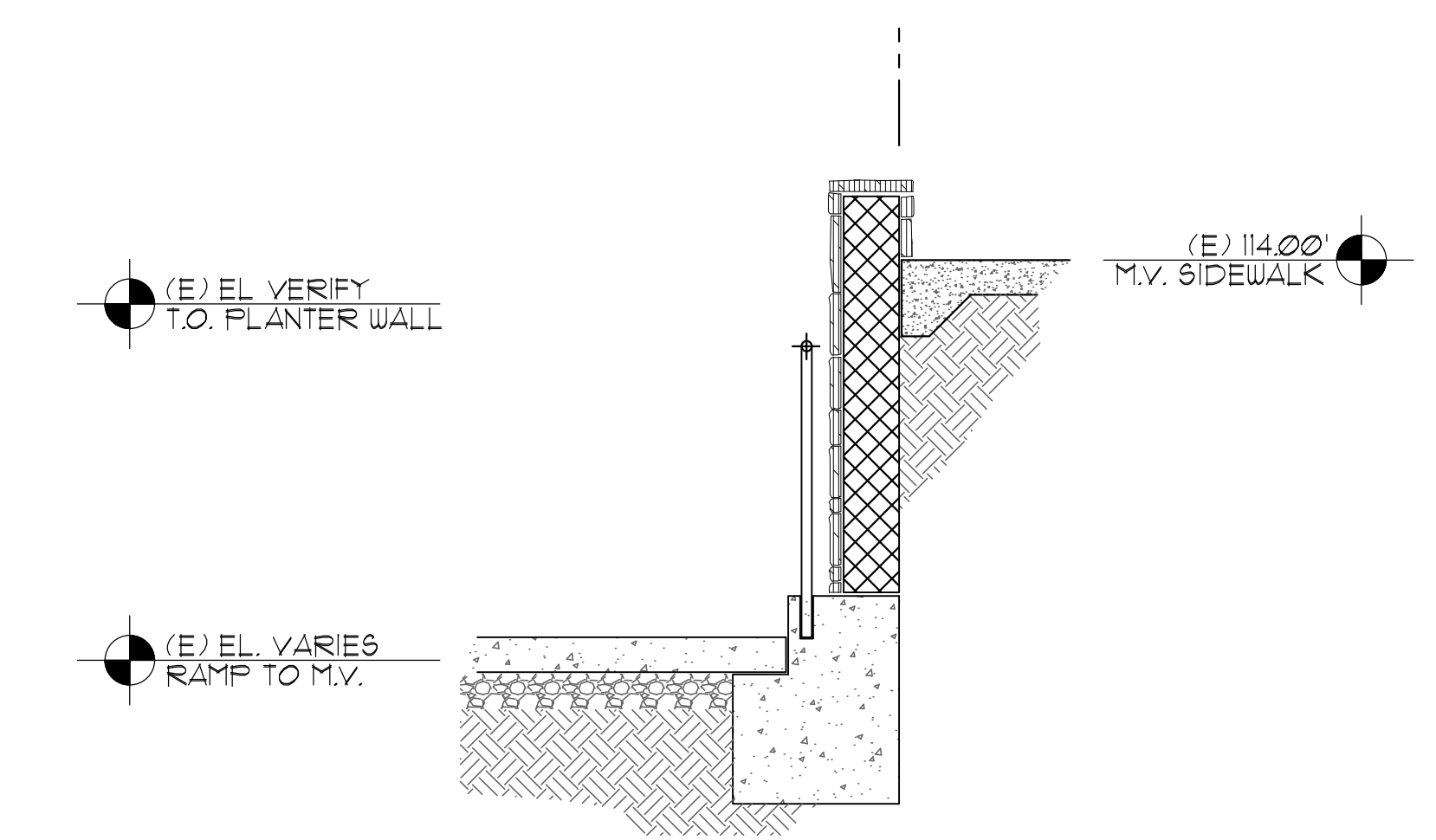
**1 PARTIAL NORTH EAST SITE PLAN OF BLDG., RAMP, & PLANTER**  
 SCALE: 1/4" = 1'-0"



**1C NORTH EAST PLANTER SECTION DET.**  
 SCALE: 1/2" = 1'-0"



**1B NORTH EAST PLANTER SECTION FACING NORTH**  
 SCALE: 1" = 1'-0"



**1A NORTH EAST PLANTER SECTION DET.**  
 SCALE: 1/2" = 1'-0"

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