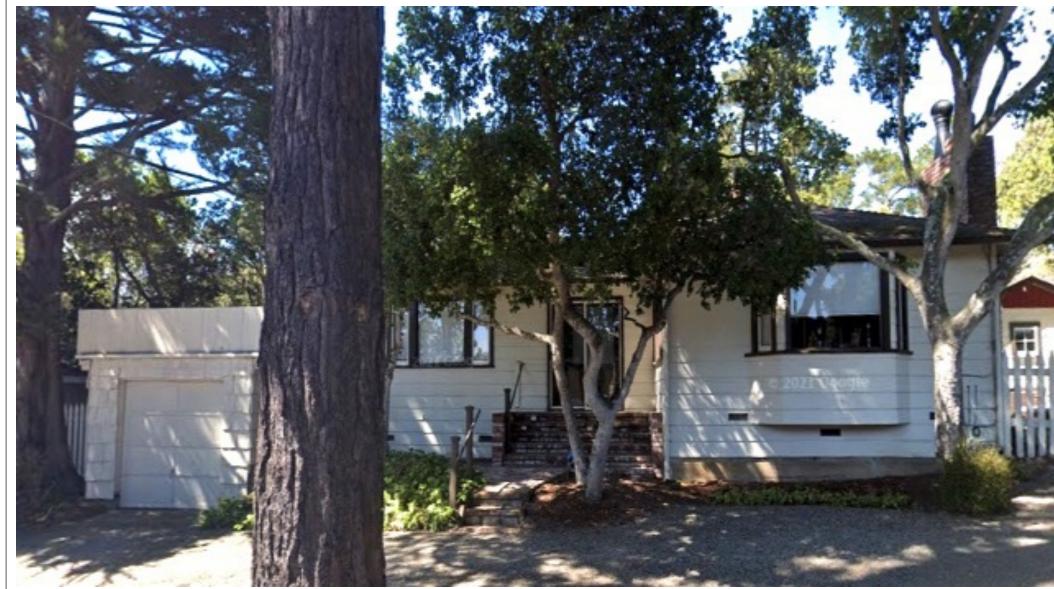
NUTE RESIDENCE DEMO & ADDITION

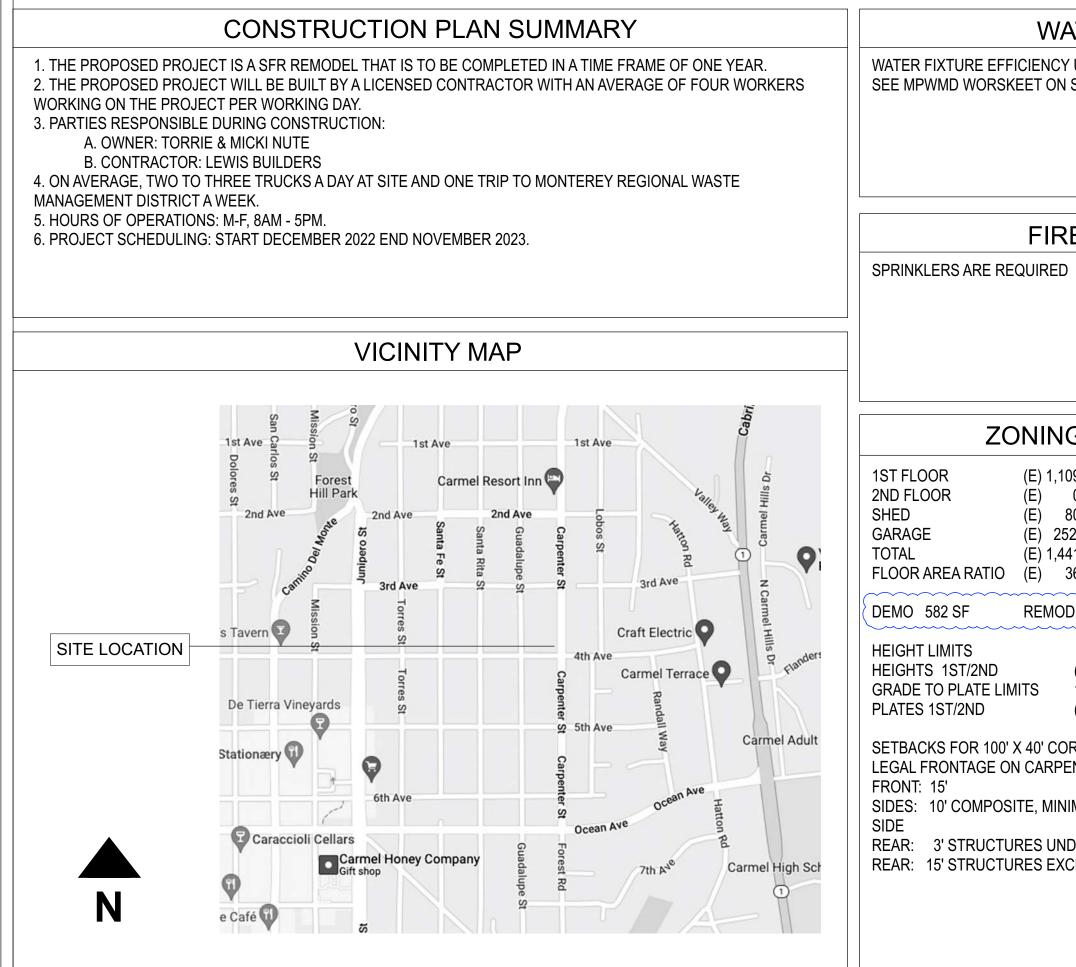


HOURS OF CONSTRUCTION

THE OPERATION OF TOOLS AND EQUIPMENT USED IN CONSTRUCTION SHALL BE LIMITED TO THE HOURS AUTHORIZED BY LOCAL AUTHORITY. NO HEAV IS ALLOWED ON SUNDAYS OR HOLIDAYS. IF THE CITY ADOPTS A NOISE ORDINANCE IN THE FUTURE, APPLICABLE PROVISIONS OF SAID ORDINANCE SH

DISCOVERY OF PREHISTORIC OR ARCHAEOLOGICAL RESOURCES

SHOULD CO CENTRATIONS OF ARCHAEOLOGICAL OR PALEONTOLOGICAL MATERIALS BE ENCOUNTERED DURING CONST TEMPORARIL SITE AND THE COMMUNITY DEVELOPMENT DEPARTMENT CONTACTED ARCHAEOL FLAKES (REQUIRES EXCAVATION IS HALTED IN THE IMMEDIATE AREA AND THAT THE COUNTY CORONER BE CONTACTED IMMEDIATELY. SHOULD THE CORONER I OF A NATIVE AMERICAN, THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION MUST BE CONTACTED WITHIN 24 HOURS OF IDENTIFICATION. THE MOST LIKELY NATIVE AMERICAN DESCENDANTS TO DETERMINE THE APPROPRIATE TREATMENT OF THE REMAINS.



0 NW CARPENTER AT 4TH, CARMEL, CALIFORNIA

APN: 010-023-0	08-000 [CARMEL-BY-THE-SEA]			B R B
Year Control Year Control <td>CONTACT INFO OWNER APPLICANT / DESIGNER TORRIE & MICKI NUTE 3706 The Barnyard G11 Carmel, CA (631) 230 7168 ENGINEER OF RECORD ENERGY COMPLIANCE FRANCISCO M. DUARTE CE-8094 FMD ENGINEERING, INC 32108 AUARADO BUVD #340 UNION CITY, CA 94587 (510) 475-8290 fduarte@imdengr.com MONTEREY ENERGY GROUP 28466 CARMEL RANCHO BLVD #8 CARMEL, CA 93923 831.372.8328 cad@imeg4.com LAND USE: SINGLE FAMILY RESIDENTIAL ZONING: R-1 SITE AREA: 400 SF YEAR BUILT: 949 90 CCUPANCY TYPE: VIEAR BUILT: 1598 SF • HOUSE: 1598 SF • HOUSE: UVING AREA: 1798 SF • HOUSE: 1598 SF • GARAGE: UVING AREA: 1798 SF • HOUSE: 1598 SF • GARAGE: UVING AREA: 1798 SF • HOUSE: NO UVING CITY GAS: PG& HISTORIC BLDG: NO MAREA: 1798 SF • HOUSE: 1598 SF • GARAGE: 200 SF JURISDICTION: UVING ALTORY NO NO WATER: CALM SEWER ELECTRICITYGAS: PG& HISTORIC BLDG: NO ACHEDLORGY: NO NO WATER: CALIFORMIA MECHANICAL CODE 2022</td> <td>PROJECT DESCRIPTION PLANNIG S16 SF ADDITION TO EAST SIDE OF RESIDENCE. 454 SF SECOND STORY ADDITION, REPLACE ALL WINDOWS & DOORS, UPDATE COLOR OF WINDOWS, DOORS, TRIM AND REMOVE BAY WINDOW TO NOUTH FACADE. ADD GARLE TRANSOM WINDOWS TO SOUTH FACADE ON FIRST AND SECOND FLOORS. UPDATE ASPHALT ROOF TO PRESIDENTIAL COMPOSITE SHINGLE IN DARK GRAY. DEMO BRICK CHIMNEY, REPLACE WITH DV GAS FIREPLACE & CHIMNEY W/ SCREENED DV CAP. UPDATE 10 3 BEDROOMS, 3 BATHROOMS. DEMO 84 SF SHED IN EAST YARD. DEMO 498 SF WEST WING OF RESIDENCE. REPLACE WOOD SIDING ON HOUSE AND GARAGE WITH COMPOSITE STRAIGHT DOG FANCUE SHINGLE. UPDATE 13 D SEDROOMS, 3 BATHROOMS. DEMO 84 SF SHED IN EAST YARD. DEMO 498 SF WEST WING OF RESIDENCE. REPLACE BL 54 " WITH PICKET FRACE IN WEST AND SOUTH YARD. NEW 12LF 6' SOLID WOOD FENCE W GATES WEST YARD. REPLACE BL 54 " WITH PICKET FRACE IN WEST AND SOUTH YARDS WITH 4' TALL NATURAL GRAPESTAKE FENCE: 2 NEW WEST FACING SKYLIGHTS TO BE LOW PROFILE AND ENERGY EFFICIENT WITH BLACKOUT BUND. ADD BRICK FACING TO FOUNDATION. FRONT STEPS AND CHIMNEY TO MATCH. REPCARIZE AND REDUCE SITE COVERAGE FOR FULL COMPLIANCE. NEW LOW-WATER LANDSCAPING WIPARTIAL IRRIGATION USING CARMEL PREFERED PLANT LIST INFILL WEST FOUNDATIONS WITH GRAVELISOIL MIX TO CREATE PATIOYARD 8'' BELOW HOUSE FFE SITE DRAINAGE VIA SPLASH BLOCKS & DISPERSION PIT AS SHOWN IN CIVIL DRAINAGE VIAN UNHEATED MECHANICAL CLOSET UNDER STAIRS W/ ACCESS FROM NORTH VARD ALL NORTH FACING AND EXTERIOR REMODEL OF EXISTING RESIDENCE. 10 SFI DRAINAGE VIA SPLASH BLOCKS & DISPERSION PIT AS SHOWN IN CIVIL DRAINAGE VIAN UNHEATED MECHANICAL CLOSET UNDER STAIRS W/ ACCESS FROM NORTH VARD ALL NORTH FACING AND EXTERIOR REMODEL OF EXISTING RESIDENCE. 10 SFI DRAINAGE VIA SPLASH BLOCKS & DISPERSION PIT AS SHOWN IN CIVIL DRAINAGE VIAN UNHEATED MECHANICAL LOSET UNDER STAIRS W/ ACCESS FROM NORTH VARD COMPLETE INTERIOR AND EXTERIOR REMODEL OF EXISTING RESIDENCE. 10 SFI MARS IN HERIOR AND EXTERIOR REMODEL OF EXISTING RESIDENCE. 10 SFINUERS ARE REDURED FOOTHER CONSENT OF AND SHOWN IN CIVIL SPR</td> <td>A-0 COVER: PROJECT DATA SURV SITE SURVEY T-1 TREE PROTECTION PLAN A-1 SITE PLANS A-2 PROPOSED SITE PLAN LARGE A-2.1 DEMO FLOOR PLANS A-2.2 EXISTING & PROPOSED FLOOR PLANS A-3.1 STORY POLE SECTIONS A-3.2 PROPOSED ELEVATIONS WEFTE STORY POLES A-3.3 STORY POLE SECTIONS A-4.4 EXTERIOR ELEVATIONS: WEST (REAR) A-3.5 EXTERIOR ELEVATIONS: NORTH (NEIGHBOR) A-3.6 EXTERIOR RELEVATIONS: NORTH (NEIGHBOR) A-3.7 STREETSCAPE ELEVATIONS: NORTH (NEIGHBOR) A-3.8 RENDERINGS A-3.1 RENDERINGS A-4.1 ROOF PLAN UPPER FLOOR A-5.1 DOOR SCHEDULE A-6.1 CONSTRUCTION DETAILS, MPWMD CREDITS A-6.2 ASOF PLAN UPPER FLOOR A-7.1 YOLUMETRIC STUDY A-8.2 ZO22 CAL GREEN NOTES A-8.2 ZO22 CAL GREEN NOTES A-8.2 CODE NOTES, EROSION, WASTE NOTES A-8.3 CAL GREEN, BMPS, MPWMD A-4.4 GENERAL MOTES, FIRE DEPT NOTE</td> <td>STAMP/SIGNATURE NUTE COVER: PROJECT DATA NUTE NUTE COVER: PROJECT DATA OS.07.24 PLN CO #1/INF RFI #1 ER DATE / DESCRIPTION ONW CARPENTER AT 4TH, CARMEL, CALIFORNIA APN 010-023-008-000 OS.07.24 PLN CO #1/INF RFI #1 ER</td>	CONTACT INFO OWNER APPLICANT / DESIGNER TORRIE & MICKI NUTE 3706 The Barnyard G11 Carmel, CA (631) 230 7168 ENGINEER OF RECORD ENERGY COMPLIANCE FRANCISCO M. DUARTE CE-8094 FMD ENGINEERING, INC 32108 AUARADO BUVD #340 UNION CITY, CA 94587 (510) 475-8290 fduarte@imdengr.com MONTEREY ENERGY GROUP 28466 CARMEL RANCHO BLVD #8 CARMEL, CA 93923 831.372.8328 cad@imeg4.com LAND USE: SINGLE FAMILY RESIDENTIAL ZONING: R-1 SITE AREA: 400 SF YEAR BUILT: 949 90 CCUPANCY TYPE: VIEAR BUILT: 1598 SF • HOUSE: 1598 SF • HOUSE: UVING AREA: 1798 SF • HOUSE: 1598 SF • GARAGE: UVING AREA: 1798 SF • HOUSE: 1598 SF • GARAGE: UVING AREA: 1798 SF • HOUSE: NO UVING CITY GAS: PG& HISTORIC BLDG: NO MAREA: 1798 SF • HOUSE: 1598 SF • GARAGE: 200 SF JURISDICTION: UVING ALTORY NO NO WATER: CALM SEWER ELECTRICITYGAS: PG& HISTORIC BLDG: NO ACHEDLORGY: NO NO WATER: CALIFORMIA MECHANICAL CODE 2022	PROJECT DESCRIPTION PLANNIG S16 SF ADDITION TO EAST SIDE OF RESIDENCE. 454 SF SECOND STORY ADDITION, REPLACE ALL WINDOWS & DOORS, UPDATE COLOR OF WINDOWS, DOORS, TRIM AND REMOVE BAY WINDOW TO NOUTH FACADE. ADD GARLE TRANSOM WINDOWS TO SOUTH FACADE ON FIRST AND SECOND FLOORS. UPDATE ASPHALT ROOF TO PRESIDENTIAL COMPOSITE SHINGLE IN DARK GRAY. DEMO BRICK CHIMNEY, REPLACE WITH DV GAS FIREPLACE & CHIMNEY W/ SCREENED DV CAP. UPDATE 10 3 BEDROOMS, 3 BATHROOMS. DEMO 84 SF SHED IN EAST YARD. DEMO 498 SF WEST WING OF RESIDENCE. REPLACE WOOD SIDING ON HOUSE AND GARAGE WITH COMPOSITE STRAIGHT DOG FANCUE SHINGLE. UPDATE 13 D SEDROOMS, 3 BATHROOMS. DEMO 84 SF SHED IN EAST YARD. DEMO 498 SF WEST WING OF RESIDENCE. REPLACE BL 54 " WITH PICKET FRACE IN WEST AND SOUTH YARD. NEW 12LF 6' SOLID WOOD FENCE W GATES WEST YARD. REPLACE BL 54 " WITH PICKET FRACE IN WEST AND SOUTH YARDS WITH 4' TALL NATURAL GRAPESTAKE FENCE: 2 NEW WEST FACING SKYLIGHTS TO BE LOW PROFILE AND ENERGY EFFICIENT WITH BLACKOUT BUND. ADD BRICK FACING TO FOUNDATION. FRONT STEPS AND CHIMNEY TO MATCH. REPCARIZE AND REDUCE SITE COVERAGE FOR FULL COMPLIANCE. NEW LOW-WATER LANDSCAPING WIPARTIAL IRRIGATION USING CARMEL PREFERED PLANT LIST INFILL WEST FOUNDATIONS WITH GRAVELISOIL MIX TO CREATE PATIOYARD 8'' BELOW HOUSE FFE SITE DRAINAGE VIA SPLASH BLOCKS & DISPERSION PIT AS SHOWN IN CIVIL DRAINAGE VIAN UNHEATED MECHANICAL CLOSET UNDER STAIRS W/ ACCESS FROM NORTH VARD ALL NORTH FACING AND EXTERIOR REMODEL OF EXISTING RESIDENCE. 10 SFI DRAINAGE VIA SPLASH BLOCKS & DISPERSION PIT AS SHOWN IN CIVIL DRAINAGE VIAN UNHEATED MECHANICAL CLOSET UNDER STAIRS W/ ACCESS FROM NORTH VARD ALL NORTH FACING AND EXTERIOR REMODEL OF EXISTING RESIDENCE. 10 SFI DRAINAGE VIA SPLASH BLOCKS & DISPERSION PIT AS SHOWN IN CIVIL DRAINAGE VIAN UNHEATED MECHANICAL LOSET UNDER STAIRS W/ ACCESS FROM NORTH VARD COMPLETE INTERIOR AND EXTERIOR REMODEL OF EXISTING RESIDENCE. 10 SFI MARS IN HERIOR AND EXTERIOR REMODEL OF EXISTING RESIDENCE. 10 SFINUERS ARE REDURED FOOTHER CONSENT OF AND SHOWN IN CIVIL SPR	A-0 COVER: PROJECT DATA SURV SITE SURVEY T-1 TREE PROTECTION PLAN A-1 SITE PLANS A-2 PROPOSED SITE PLAN LARGE A-2.1 DEMO FLOOR PLANS A-2.2 EXISTING & PROPOSED FLOOR PLANS A-3.1 STORY POLE SECTIONS A-3.2 PROPOSED ELEVATIONS WEFTE STORY POLES A-3.3 STORY POLE SECTIONS A-4.4 EXTERIOR ELEVATIONS: WEST (REAR) A-3.5 EXTERIOR ELEVATIONS: NORTH (NEIGHBOR) A-3.6 EXTERIOR RELEVATIONS: NORTH (NEIGHBOR) A-3.7 STREETSCAPE ELEVATIONS: NORTH (NEIGHBOR) A-3.8 RENDERINGS A-3.1 RENDERINGS A-4.1 ROOF PLAN UPPER FLOOR A-5.1 DOOR SCHEDULE A-6.1 CONSTRUCTION DETAILS, MPWMD CREDITS A-6.2 ASOF PLAN UPPER FLOOR A-7.1 YOLUMETRIC STUDY A-8.2 ZO22 CAL GREEN NOTES A-8.2 ZO22 CAL GREEN NOTES A-8.2 CODE NOTES, EROSION, WASTE NOTES A-8.3 CAL GREEN, BMPS, MPWMD A-4.4 GENERAL MOTES, FIRE DEPT NOTE	STAMP/SIGNATURE NUTE COVER: PROJECT DATA NUTE NUTE COVER: PROJECT DATA OS.07.24 PLN CO #1/INF RFI #1 ER DATE / DESCRIPTION ONW CARPENTER AT 4TH, CARMEL, CALIFORNIA APN 010-023-008-000 OS.07.24 PLN CO #1/INF RFI #1 ER
109 SF (P) 1,114 SF 0 SF (P) 454 SF 80 SF (P) 0 SF 52 SF (P) 223 SF 411 SF (P) 1,799 SF 36.0% (P) 45.0% DDEL 858 SF 1 1 </td <td>NOTES PGE BURIAL WAIVED BY CITY FORESTER DEFERRED SUBMITTAL FIRE SUPPRESSION SPECIAL INSPECTIONS FAU MODEL, BTU, PIPE SIZE & LENGTHS</td> <td>FLOOR AREA RATIO EXISTING DEMO NEW / CONVERT PROPOSED (E) House 1,104 498 0 558 (N) 1st Floor New Slab on Grade 0 0 454 454 (E) Sted 64 84 0 0 (E) Garage 252 0 0 252 (E) Garage conversion to less than 5' interior height 0 0 -29 -29 TOTAL FLOOR AREA 1,440 582 941 1,799 Floor area ratio 36.0% 45.0% 45.0% (M) Covered Entry Porch 0 0 36 36 (N) Covered Entry Porch 0 0 26 26 (E) Concrete Garage Apron 9 0 0 9 (N) Concrete Slab BAS Pad 0 0 26 26 (E) Concrete Garage Apron 9 0 267 276 (Doncrete Slab BAS Pibel Pad 0 0 267 276 Impermeable 29 0.23%</td> <td>PERMITTING SUBMISSION LOG 06/08/22 PLANNING INTITAL SUBMIT ER V1.0/ PLN1.0 09/08/22 PLANNING INFORM RFI #1 ER V1.1/ PLN2.0 10/28/22 PLANNING INFORM RFI #1 ER V1.2/ PLANNING INFORM RFI #2 ER V1.2/ PLANNING CO#1/2ND SUBMIT ER V2.0/PLN4.0 04/11/23 PLANNING INFORM RFI #4 ER V2.2/PLN5.0 05/02/23 PLANNING INFORM RFI #4 ER V2.2/PLN5.0 05/07/24 PLANNING CO#1/3RD SUBMIT ER V3.1/PLN7.0 05/07/24 PLANNING CO#1/3RD SUBMIT ER V3.3/PLN8.0</td> <td> BUILDERS CAL LOESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THESE AND ARE OB USED AND ARE OB USED AND ARE OF LECTULAL PROPERTY OF LEWIS BUILDERS AND ARE TO BE USED IN WHOLE OR IN PART FOR ANY ROPOSE WHATSOEVER WITHOUT THE WAY NOT PROPOSE WHATSOEVER WITHOUT THE WAY NOT PREVENSE ON ONDERTAKEN TO ENSURE TO ANY UNFORMER AND ART FOR ANY ONDER AND ART FOR ANY ON ANY UNFORMED AND ART FOR ANY ON ANY UNFORMED AND ART FOR ANY ON ANY ON ANY ON ANY ONDER AND ART FOR ANY ON ANY ANY ON ANY ON ANY ON ANY ANY ON ANY ANY ON ANY ANY ON ANY ANY ANY ANY ANY ANY ANY ANY ANY AN</td>	NOTES PGE BURIAL WAIVED BY CITY FORESTER DEFERRED SUBMITTAL FIRE SUPPRESSION SPECIAL INSPECTIONS FAU MODEL, BTU, PIPE SIZE & LENGTHS	FLOOR AREA RATIO EXISTING DEMO NEW / CONVERT PROPOSED (E) House 1,104 498 0 558 (N) 1st Floor New Slab on Grade 0 0 454 454 (E) Sted 64 84 0 0 (E) Garage 252 0 0 252 (E) Garage conversion to less than 5' interior height 0 0 -29 -29 TOTAL FLOOR AREA 1,440 582 941 1,799 Floor area ratio 36.0% 45.0% 45.0% (M) Covered Entry Porch 0 0 36 36 (N) Covered Entry Porch 0 0 26 26 (E) Concrete Garage Apron 9 0 0 9 (N) Concrete Slab BAS Pad 0 0 26 26 (E) Concrete Garage Apron 9 0 267 276 (Doncrete Slab BAS Pibel Pad 0 0 267 276 Impermeable 29 0.23%	PERMITTING SUBMISSION LOG 06/08/22 PLANNING INTITAL SUBMIT ER V1.0/ PLN1.0 09/08/22 PLANNING INFORM RFI #1 ER V1.1/ PLN2.0 10/28/22 PLANNING INFORM RFI #1 ER V1.2/ PLANNING INFORM RFI #2 ER V1.2/ PLANNING CO#1/2ND SUBMIT ER V2.0/PLN4.0 04/11/23 PLANNING INFORM RFI #4 ER V2.2/PLN5.0 05/02/23 PLANNING INFORM RFI #4 ER V2.2/PLN5.0 05/07/24 PLANNING CO#1/3RD SUBMIT ER V3.1/PLN7.0 05/07/24 PLANNING CO#1/3RD SUBMIT ER V3.3/PLN8.0	 BUILDERS CAL LOESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THESE AND ARE OB USED AND ARE OB USED AND ARE OF LECTULAL PROPERTY OF LEWIS BUILDERS AND ARE TO BE USED IN WHOLE OR IN PART FOR ANY ROPOSE WHATSOEVER WITHOUT THE WAY NOT PROPOSE WHATSOEVER WITHOUT THE WAY NOT PREVENSE ON ONDERTAKEN TO ENSURE TO ANY UNFORMER AND ART FOR ANY ONDER AND ART FOR ANY ON ANY UNFORMED AND ART FOR ANY ON ANY UNFORMED AND ART FOR ANY ON ANY ON ANY ON ANY ONDER AND ART FOR ANY ON ANY ANY ON ANY ON ANY ON ANY ANY ON ANY ANY ON ANY ANY ON ANY ANY ANY ANY ANY ANY ANY ANY ANY AN

A-0

PLANNING

3.5

5/8/24

VERSION:

DATE:

Map Legend:

-Fd. 2x2 w/tag mkd. "LS 2689"

Basis of Bearings: The bearing of North as shown on the Map of Carmel City (1-C&T-52) and as found monumented in Block 41 is taken as the basis of bearings for this survey.

Vertical Datum: Assumed. Site Benchmark: Center of storm drain manhole lid (point # 7109) in 4th Avenue as shown hereon.

Contour Interval: Contours as shown hereon are interpolated using computer digital terrain modeling software and spot elevations. Ground may be more irregular than contours indicate.

Note: The abbreviation and symbol lists below are comprehensive and not all abbreviations or symbols will appear on the map.

Boundary Legend	EP - edge of paving	WALL-CMU - concrete mo
A.G.S above ground surface	FF - finished floor	WALL-CRML - Carmel stor
A.S.O as shown on	FF-THRESH - finished floor threshold	WALL-DSTN - dry stack sto
AP - angle point	FH - fire hydrant	WALL-RR - rrtie wall WALL-STC - stucco wall
BC - brass cap or begin curve	FL - flow line	WALL-STC - STUCCO Wall WLK - sidewalk
BFP - backflow preventer	FL-NG - flow line natural grade	WLK - SIGEWOIK
B.G.S below ground surface BOC - back of curb	FNC - fence	Utility Legend
COR - corner	FNC-BRD - board fence FNC-BW - barbed wire fence	CATV - cable tv
CP - control point		COMM - communication
	FNC-CL - chain-link fence FNC-GS - grapestake fence	CO or C/O - clean out
DOC document	FNC-HW - hogwire fence	DDCV - double detector
ENG/ENGR - engineer	FNC-I - iron fence	ELEC - electric
FD/FND - found	FNC-LAT - lattice fence	EM - electric meter
F.I.C from true corner	FNC-PR - post & rail fence	EO - electric outlet
I.P iron pipe	FNC-WD - wood fence	GM - gas meter
L&T - lead & tag	FNC-WI - wrought iron fence	GV - gas valve
LS - land surveyor	FNC-WR - wire fence	HB - hose bib
M-T - MAG NAIL & tag	FOB - face of building	ICV - irrigation control val
MAG - MAG NAIL	FOW - face of wall	IRR - irrigation
MKD - marked	FS - finished surface	JP - joint utility pole
MON - monument	FTG - footing	LT - light
N-T - nail & tag	FW - front of sidewalk	LT-STD - light standard/po
N.R.F no reference found	GAR - garage	PB - utility pull box
N.S.F not searched for	GB - grade break	PB-? - unmarked pull box
O.R Official Records, Monterey	GUT - edge of gutter	PF-PIN FLAG
County	GUYA - guy anchor	PF-B - blue pin flag
O.U origin unknown	GUYP - guy pole	PF-G - green pin flag
POL - point on line	GVL - gravel	PF-O - orange pin flag
RCE - registered civil engineer	HC - handicap	PF-P - pink pin flag
ROW - right of way	HDG - hedge	PF-PL - purple pin flag
S.F.N.F searched for, not found	HRAIL - hand rail	PF-R - red pin flag
SPK - spike	INT - intersection	PF-W - white pin flag
STA - station(control point)	LNDG - landing	PF-Y - yellow pin flag
TBM - temporary benchmark	LIP - edge of conc gutter	PM - paint mark
Topography Logond	MB - mailbox	PM-B - blue PM (water)
Topography Legend AC - asphalt concrete	MTL - metal	PM-G - green PM (sewer) PM-O - orange PM (catv/
AD - area drain	NG - natural grade	PM-P - pink PM (unknown
AL - area light	P- pool PLTR - planter	PM-PL - purple PM (reclai
BLD/BLDG - building	PTO - patio	PM-R - red PM (elec)
BLDR(S) - boulder(s)	PVR - paver	PM-W - white paint mark
BOC - back of curb	RD - road	PM-Y - yellow PM (gas)
BRK - brick	RDG - ridge	PP - power pole
BTM/BOT - bottom	ROOF-P - roof peak	PVR - paver
BW - back of sidewalk	ROOF-R - roof ridge	SCO - sewer clean out
CF - curb face	STC - stucco	SDMH - storm drain manh
CHIM - chimney	STN - stone	SSMH - sanitary sewer ma
CL - centerline	STP - step	ST LT - street light
CLM - column	STRP - stripe	STN - stone
CONC - concrete	SW - sidewalk	TELCO - telephone
D - dirt	SWL - swale	TG - top of drain grate
DG - decomposed granite	TC - top of curb	UP - utility pole
DK - deck	TOP - top of slope	UTIL - utility
DW - driveway	TOE - toe of slope	VLT - vault
EA - exposed aggregate concrete	TW/TOW - top of wall	
ENCL - enclosure	WALL-AB - Allen Block wall	

🔟 🕕 🛛 catch basin-drain

▲ control point

electric meter or pull box

 $\int_{\mathcal{V}}$ fire hydrant

gas meter or pull box

gas valve

- guy anchor

irrigation pull box

ICV irrigation control valve

ight standard

MH manhole

point on line

sco sewer clean out

- sign(pole)

SDMH storm drain manhole

SSMH sewer manhole

TELCO telephone manhole

telephone pull box

traffic signal box

cable television pull box

unmarked pull box

Utility pole

water meter

water valve

Plotted On: 2/15/2022 7:54 PM File Name: G:\Shared drives\Civil 3D Projects 2C LB-NUTE.dwg

WELL well

 $|\times|$

-Fd. 3/4" I.P. w/pp mkd. "LS 4986", 0.3' BSG, vertical, VG cond.

Surveyor's Notes:

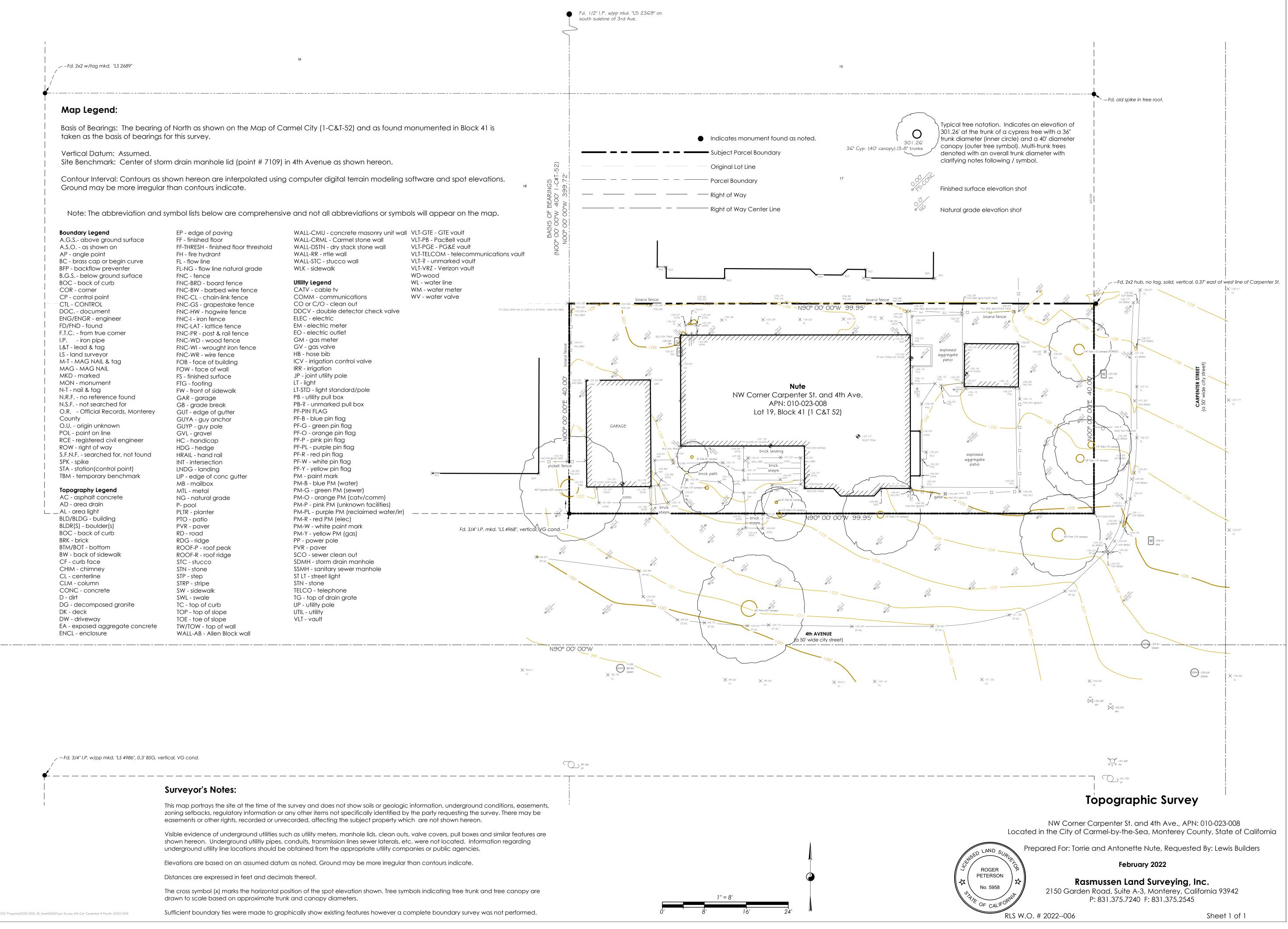
easements or other rights, recorded or unrecorded, affecting the subject property which are not shown hereon.

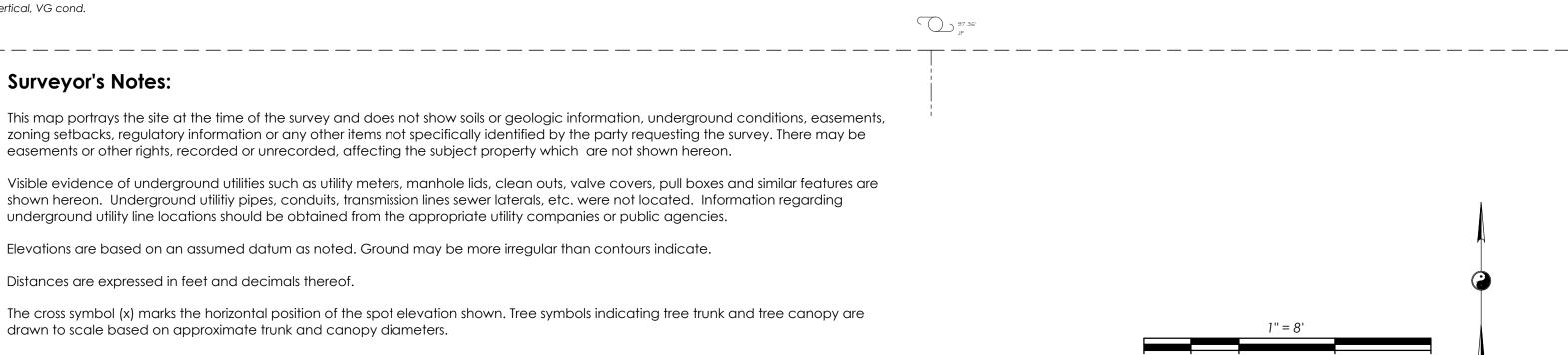
underground utility line locations should be obtained from the appropriate utility companies or public agencies.

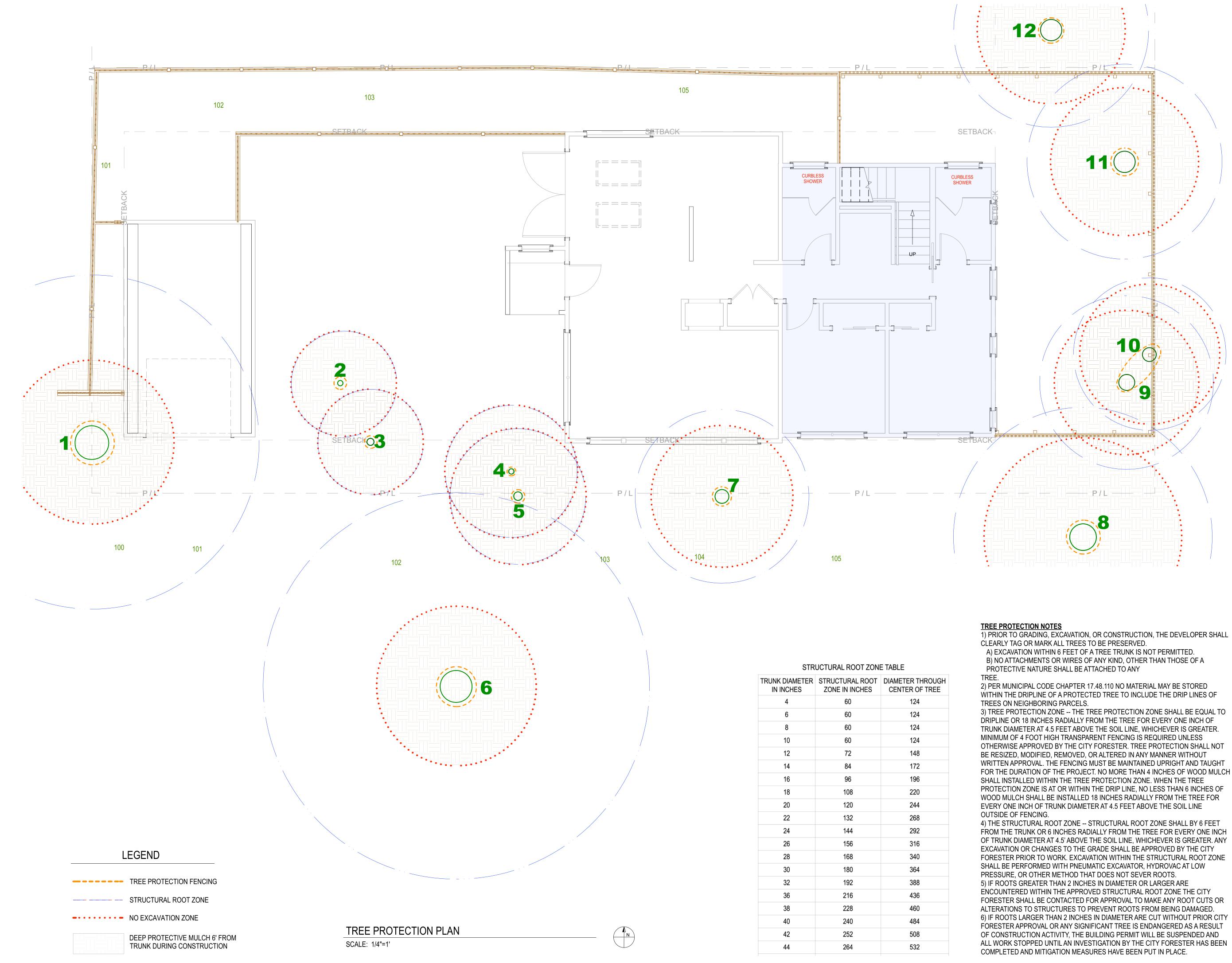
Distances are expressed in feet and decimals thereof.

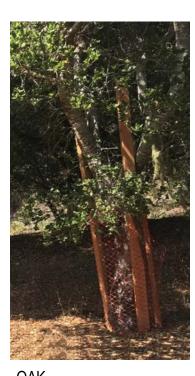
drawn to scale based on approximate trunk and canopy diameters.

Sufficient boundary ties were made to graphically show existing features however a complete boundary survey was not performed.







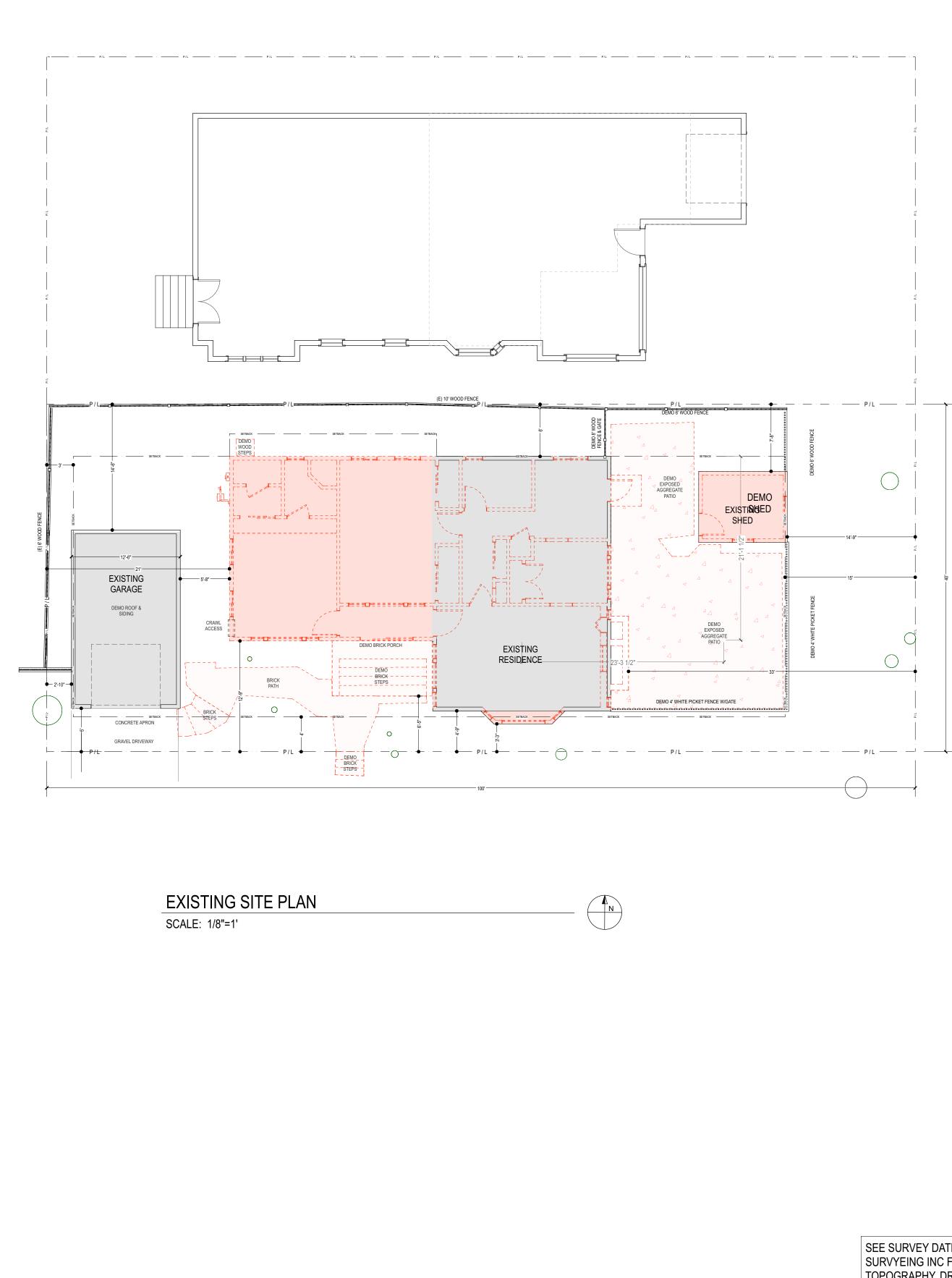






CONIFER

\neg \square					
		Т	_		
	VERS			3.5	
	DATE	PLA		6/8/24 G	•
		BY	ER	ER	
	IN PLAN	DATE / DESCRIPTION			
	PROTECTION	BY REV#	ER	ER	ER
	TREE P	DATE / DESCRIPTION	05.07.24 PLN CO #1/INF RFI #1		
		REV #	30		
		1			
				0 NW CARPENTER AT 4TH, CARMEL, CALIFORNIA	APN 010-023-008-000
	STAMP/SIGNATURE			- Andro)
	ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THESE PAGES ARE SOLELY THE INTELLECTUAL PROPERTY OF LEWIS BUILDERS AND ARE TO BE USED IN	CONNECTION WITH THIS PROJECT ONLY. THEY MAY NOT BE USED IN WHOLE OR IN PART FOR ANY PROPOSE WHATSOEVER WITHOUT THE WURTTERN CONSENT OF I FWIS BITTI DEPS ALT	ATTENT CONSIGN OF LAND BULLED AND ATTENT AND ATTENT AND ATTENT AND BEN UNDERTAKEN TO ENSUE THE ACURACY OF THESE PLANS. IF ANY ITHEORE ECENT CONDITIONS OD	RESPONDED TO A DATA DATA DATA DATA DATA DATA DAT	WRITING BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
	B I EWIS RIII DERS	CA. LICENSE #B-844741	CARMEL CA 93923	(831) 250 7168	
		-		DESIGN + BUILD	





N

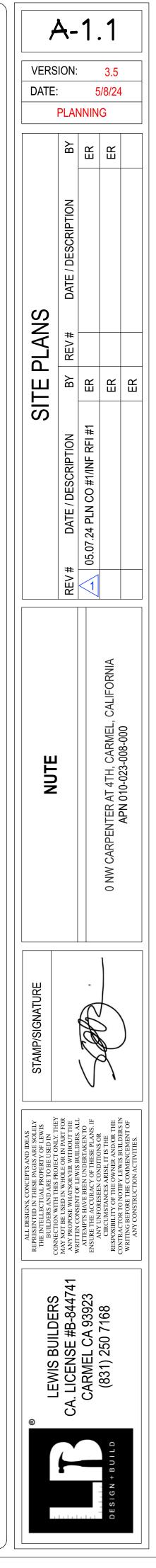
PROPOSED SITE PLAN SCALE: 1/8"=1' TOPOGRAPHY LINES ADDED MAY 2024

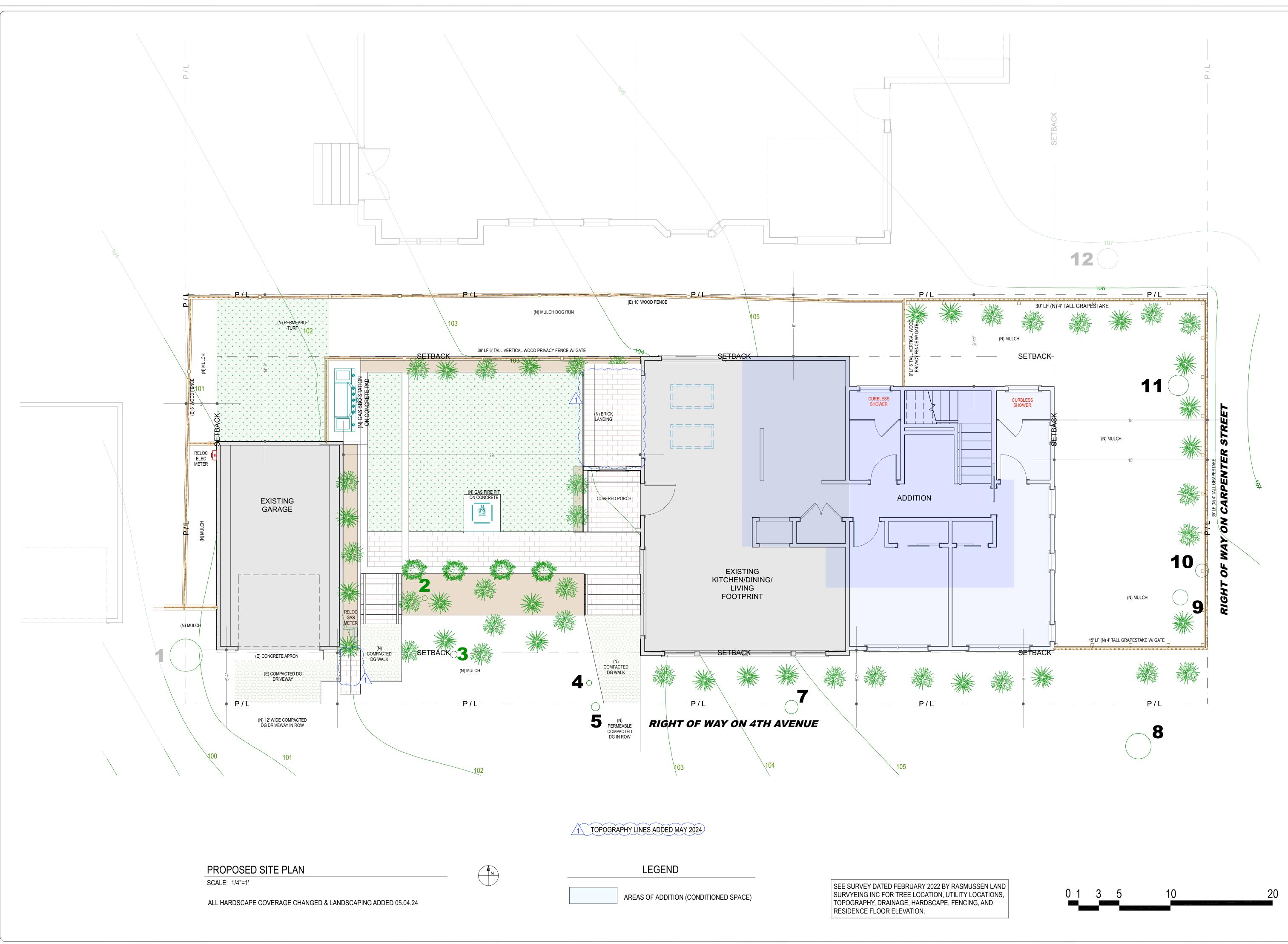
SEE SURVEY DATED FEBRUARY 2022 BY RASMUSSEN LAND SURVYEING INC FOR TREE LOCATION, UTILITY LOCATIONS, TOPOGRAPHY, DRAINAGE, HARDSCAPE, FENCING, AND RESIDENCE FLOOR ELEVATION.



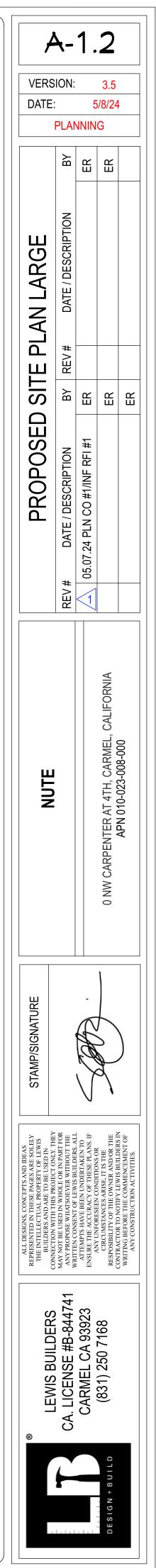
AREAS OF ADE

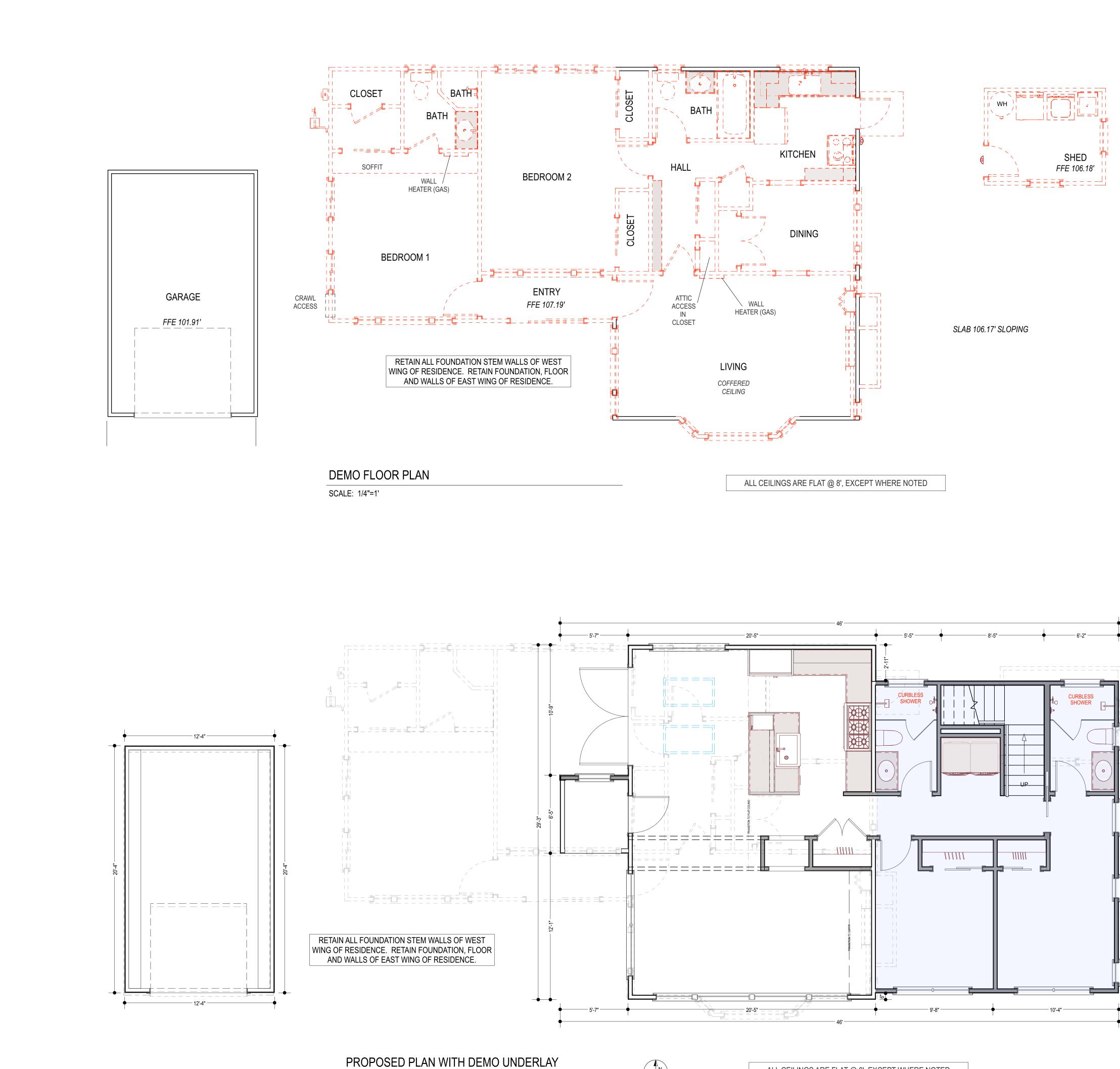
AREAS OF ADDITION (CONDITIONED SPACE) DEMO ITEMS



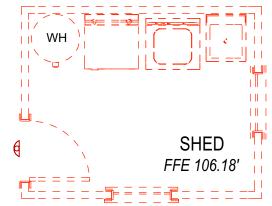




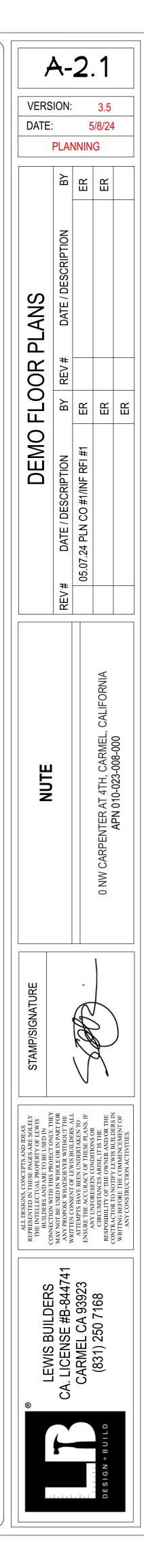




SCALE: 1/4"=1'



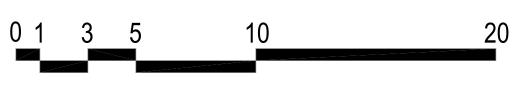
N



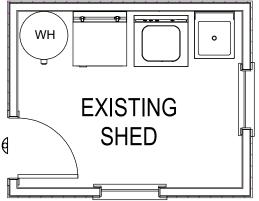
 	—	_
_	_	

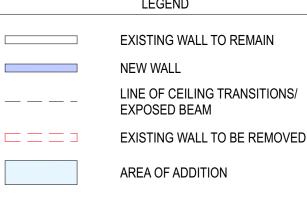
EXISTING WALL TO REMAIN NEW WALL LINE OF CEILING TRANSITIONS/ EXPOSED BEAM EXISTING WALL TO BE REMOVED AREA OF ADDITION

LEGEND









FLOOR PLAN NOTES

1 ALL NEW STUDS PER STRUCTURAL PLANS UNO.

2 GLASS SHOWER WALL NOTES: A) GLAZING IN ENCLOSURES FOR WALLS FACING BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS THAN 60 INCHES MEASURED VERTICALLY ABOVE AND STANDING OR WALKING SURFACE SHALL CONFORM TO CRC R308.3, R308.4.

B) UNLESS NOTED AS CURBLESS, SHOWERS SHALL BE PROVIDED WITH DAMS/ THRESHOLDS AT LEAST 2 " AND NOT MORE THAN 9 " ABOVE THE TOP OF THE DRAIN. DAMS/THRESHOLDS SHALL BE OF SUFFICIENT WIDTH TO ACCOMMODATE A MINIMUM 22 " INCH DOOR. SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN A MINIMUM 22 " UNOBSTRUCTED OPENING FOR EGRESS PER CPC 411.6.

C) ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE SHALL HAVE A MINIMUM FINISHED INTERIOR OF ONE THOUSAND TWENTY FOUR (1,024) SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A THIRTY (30) INCH CIRCLE PER CPC 411.7.

D) SHOWER FLOORS SHALL HAVE A MINIMUM 2% FLOOR PITCH TO FLOOR DRAIN. E) BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWER

HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN SIX FEET ABOVE THE FLOOR.

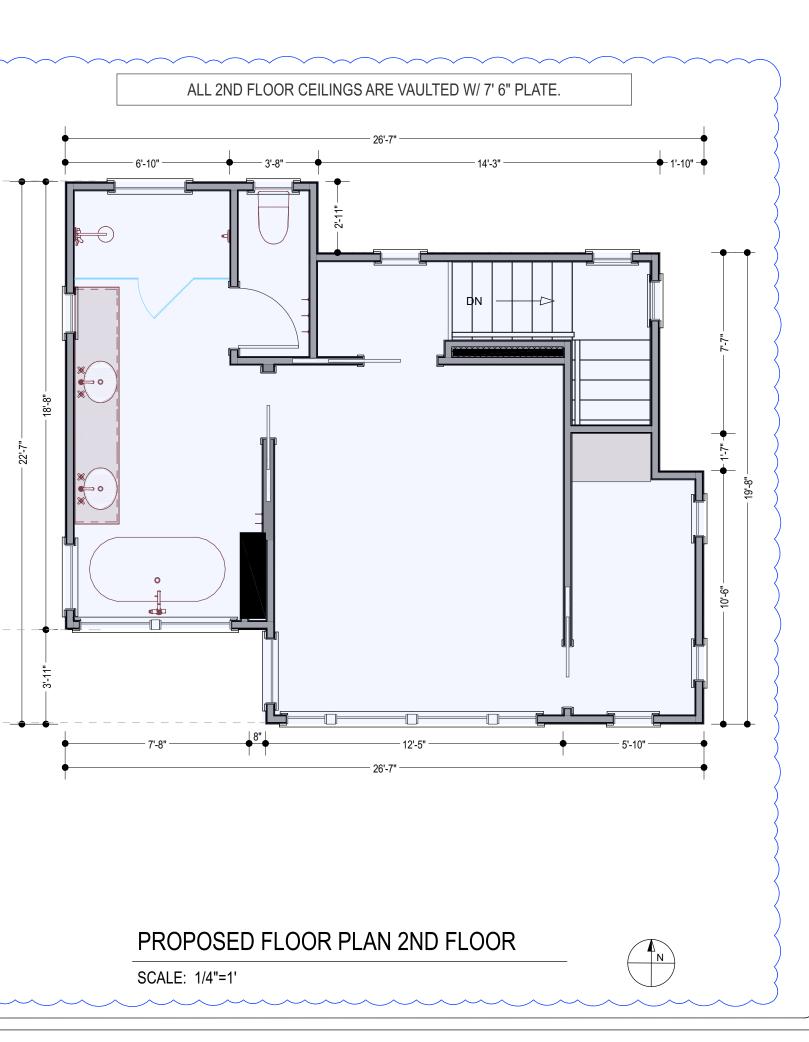
INTERIOR STAIRS AND GUARDRAILS

STAIRS WITH 4 OR MORE RISERS SHOWING THE FOLLOWING MINIMUMS: [CRC R311.7.7]

- A) GUARDS USED AS HANDRAIL SHALL BE BETWEEN 34 TO 38 INCHES IN HEIGHT AND HAVE INTERMEDIATE RAILINGS SPACED SO THAT A SPHERE 4.375 INCHES IN DIAMETER CANNOT PASS THROUGH. [CRC R311.7.7.1 & R312.2 EXCEPTION 2, R312.3 EXCEPTION 2]
- B) THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM ELEMENT OF A GUARDRAIL AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH SIZE SUCH THAT A SPHERE 6 INCHES IN DIAMETER CANNOT PASS THROUGH. [CRC R312.3 EXCEPTION 1]
- C) THE HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 11/4 INCH NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION. [CRC R311.7.7.1]

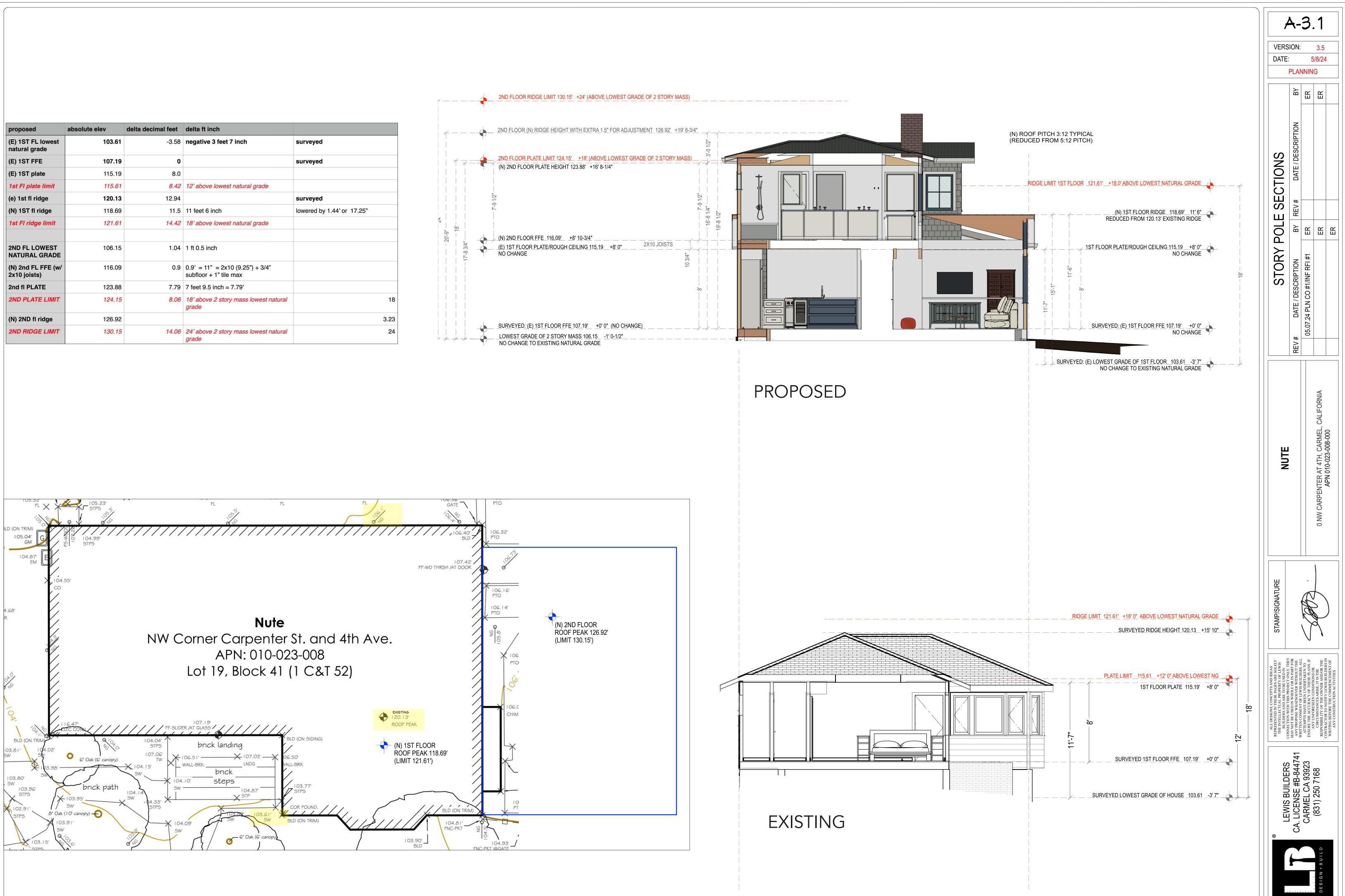
MINIMUM CODE REQUIREMENTS:

- A) MAXIMUM 7.75-INCH RISE AND MINIMUM 10-INCH RUN. [CRC R311.7.4.1 & R311.7.4.2]
- B) MINIMUM 6 FEET 8 INCH VERTICAL HEADROOM MEASURED AT STAIRWAY TREAD NOSINGS. [CRC R311.7.2]
- C) MINIMUM 36 INCH CLEAR WIDTH. [CRC R311.7.4.1]
- D) THERE SHALL BE A FLOOR OR A LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY OR STAIR RUN. [CRC R311.7.5]
- E) AT LEAST ONE INTERMEDIATE LANDING SHALL BE PROVIDED FOR EACH 12 FEET OF VERTICAL STAIRWAY RISE MEASURED BETWEEN THE HORIZONTAL PLANES OF ADJACENT LANDINGS. [CRC R311.7.5 EXCEPTION]
- UNDERSTAIR AREAS:
- A) HABITABLE AREAS BENEATH STAIRS TO HAVE 1/2" MINIMUM GWB, PER CRC R302.7
- B) AREAS CONTAINING APPLIANCES, AREA REQUIRES 5/8 TYPE 'X' I HR FIRE RATED GYPSUM





proposed	absolute elev	delta decimal feet	delta ft inch	
(E) 1ST FL lowest natural grade	103.61	-3.58	negative 3 feet 7 inch	surveyed
(E) 1ST FFE	107.19	0		surveyed
(E) 1ST plate	115.19	8.0		
1st Fl plate limit	115.61	8.42	12' above lowest natural grade	
(e) 1st fl ridge	120.13	12.94		surveyed
(N) 1ST fl ridge	118.69	11.5	11 feet 6 inch	lowered by 1.44' or 17.25"
1st Fl ridge limit	121.61	14.42	18' above lowest natural grade	
2ND FL LOWEST NATURAL GRADE	106.15	1.04	1 ft 0.5 inch	
(N) 2nd FL FFE (w/ 2x10 joists)	116.09	0.9	0.9' = 11" = 2x10 (9.25") + 3/4" subfloor + 1" tile max	
2nd fl PLATE	123.88	7.79	7 feet 9.5 inch = 7.79'	
2ND PLATE LIMIT	124.15	8.06	18' above 2 story mass lowest natural grade	18
(N) 2ND fl ridge	126.92			3.23
2ND RIDGE LIMIT	130.15	14.06	24' above 2 story mass lowest natural grade	24









VIEW OF EXISTING NORTH PROPERTY LINE, FENCE & SHADOWS

proposed	absolute elev	delta decimal feet	delta ft inch	
(E) 1ST FL lowest natural grade	103.61	-3.58	negative 3 feet 7 inch	surveyed
(E) 1ST FFE	107.19	0		surveyed
(E) 1ST plate	115.19	8.0		
1st Fl plate limit	115.61	8.42	12' above lowest natural grade	
(e) 1st fl ridge	120.13	12.94		surveyed
(N) 1ST fl ridge	118.69	11.5	11 feet 6 inch	lowered by 1.44' or 17.25"
1st Fl ridge limit	121.61	14.42	18' above lowest natural grade	
2ND FL LOWEST NATURAL GRADE	106.15	1.04	1 ft 0.5 inch	
(N) 2nd FL FFE (w/ 2x10 joists)	116.09	0.9	0.9' = 11'' = 2x10 (9.25'') + 3/4'' subfloor + 1" tile max	
2nd fl PLATE	123.88	7.79	7 feet 9.5 inch = 7.79'	
2ND PLATE LIMIT	124.15	8.06	18' above 2 story mass lowest natural grade	18
(N) 2ND fl ridge	126.92			3.23
2ND RIDGE LIMIT	130.15	14.06	24' above 2 story mass lowest natural grade	24



VIEW FROM PATIO SHOWING EAVE HEIGHT DIFFERENCE W/ NEIGHBOR



EXISTING EAST (LEGAL FRONT) ELEVATION

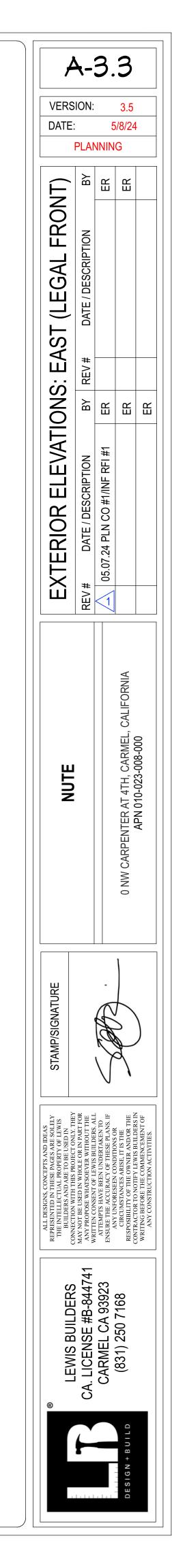
SCALE: 1/4"=1'

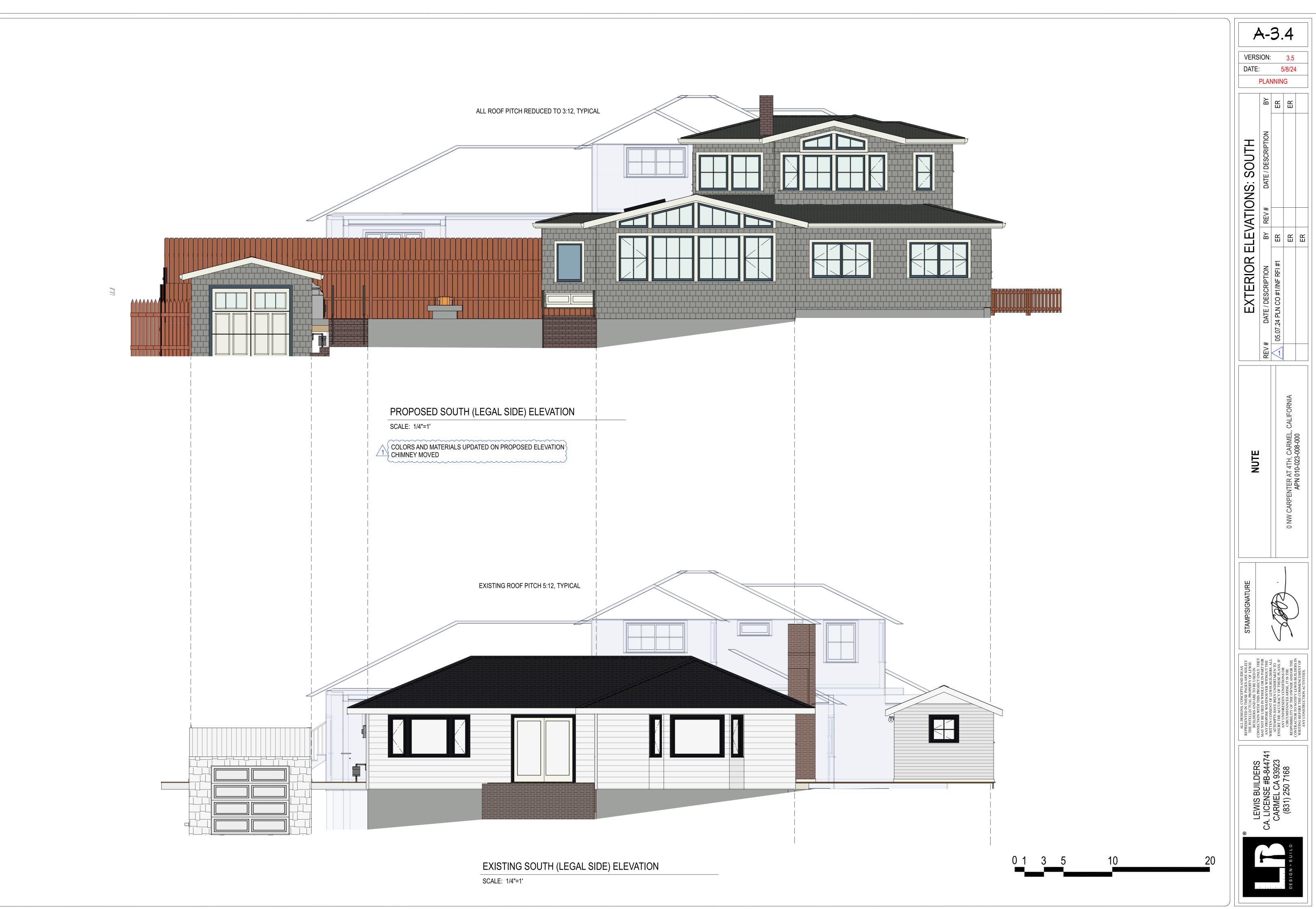
0 1 3 5





0 20







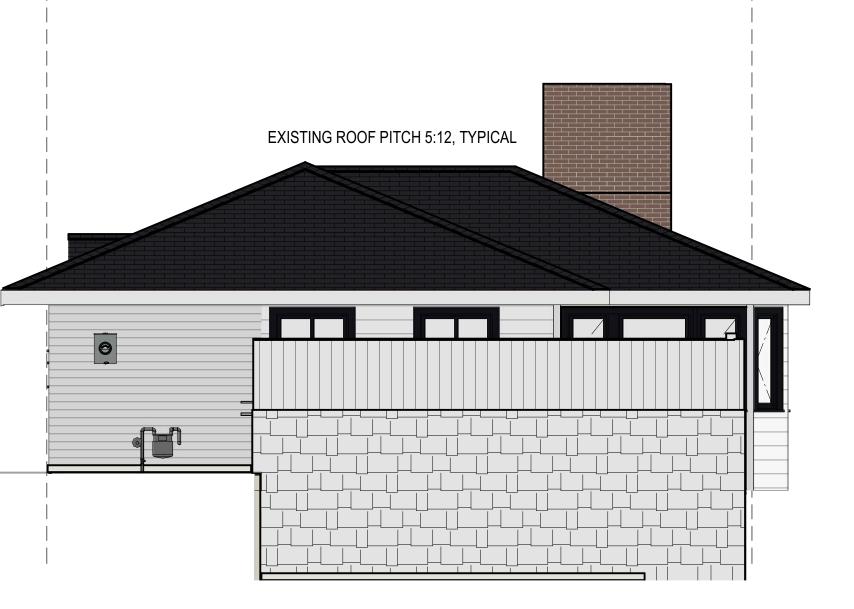
ALL ROOF PITCH REDUCED TO 3:12, TYPICAL	

proposed	absolute elev	delta decimal feet	delta ft inch	
(E) 1ST FL lowest natural grade	103.61	-3.58	negative 3 feet 7 inch	surveyed
(E) 1ST FFE	107.19	0		surveyed
(E) 1ST plate	115.19	8.0		
1st Fl plate limit	115.61	8.42	12' above lowest natural grade	
(e) 1st fl ridge	120.13	12.94		surveyed
(N) 1ST fl ridge	118.69	11.5	11 feet 6 inch	lowered by 1.44' or 17.25"
1st Fl ridge limit	121.61	14.42	18' above lowest natural grade	
2ND FL LOWEST NATURAL GRADE	106.15	1.04	1 ft 0.5 inch	
(N) 2nd FL FFE (w/ 2x10 joists)	116.09	0.9	0.9' = 11" = 2x10 (9.25") + 3/4" subfloor + 1" tile max	
2nd fl PLATE	123.88	7.79	7 feet 9.5 inch = 7.79'	
2ND PLATE LIMIT	124.15	8.06	18' above 2 story mass lowest natural grade	18
(N) 2ND fl ridge	126.92			3.23
2ND RIDGE LIMIT	130.15	14.06	24' above 2 story mass lowest natural grade	24

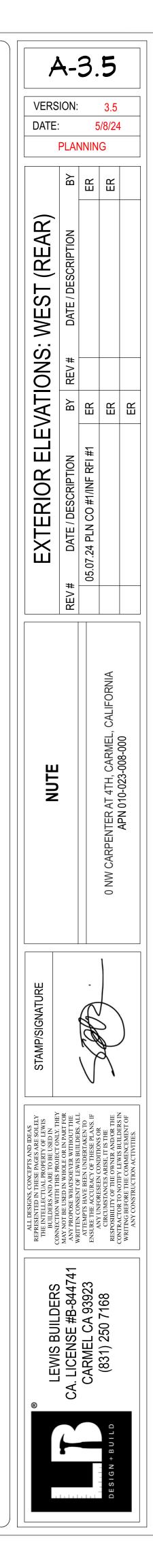
PROPOSED WEST (LEGAL REAR) ELEVATION

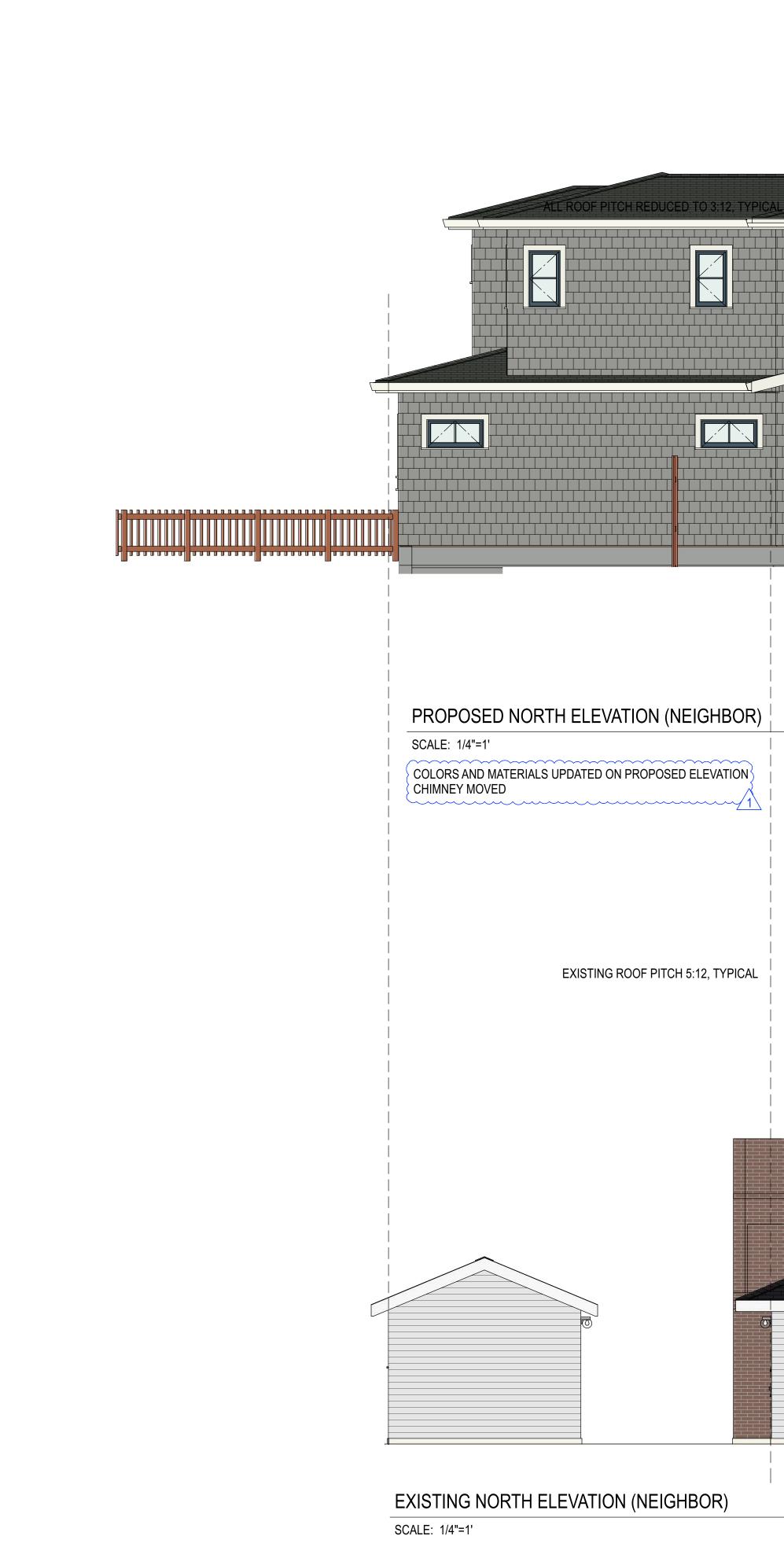
SCALE: 1/4"=1'

COLORS AND MATERIALS UPDATED ON PROPOSED ELEVATION

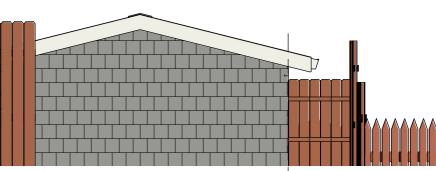


EXISTING WEST (LEGAL REAR) ELEVATION SCALE: 1/4"=1'

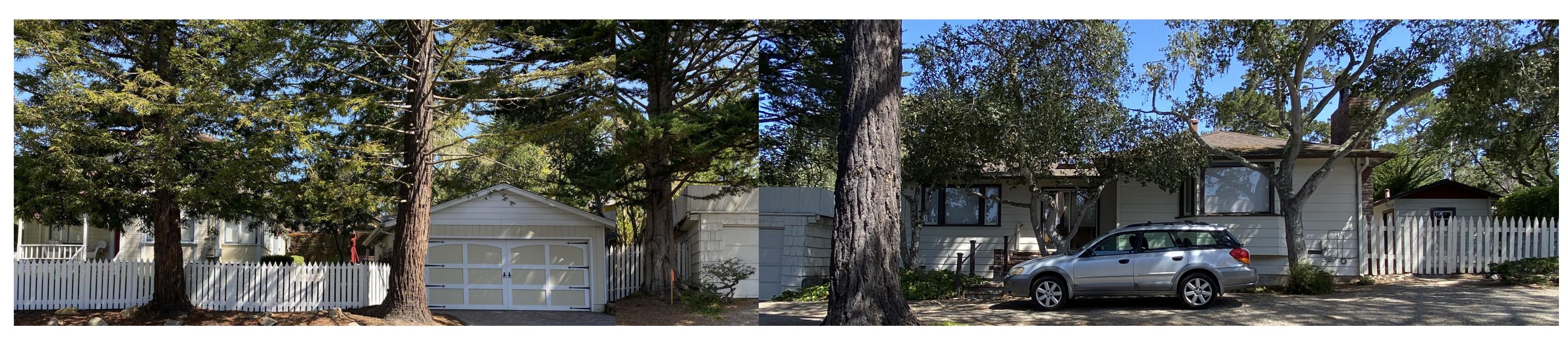




proposed absolute elev delta decimal feet delta fit inch delta decimal feet delta fit inch surveyeet (E) 1ST FL Lower [03:6] [-3:6] negative 3 feet 7 inch surveyeet (E) 1ST FFE [107:1] 0 surveyeet surveyeet (E) 1ST Fplate [115:1] 8.0 surveyeet surveyeet (E) 1ST Fplate [115:6] 8.42 [2 dove lowest natural grade surveyeet (E) 1ST Fplate [115:6] 8.42 [2 dove lowest natural grade surveyeet (E) 1ST Fridge limit [116:6] 8.42 [2 dove lowest natural grade surveyeet (E) 1ST Fridge limit [116:6] 116:1 116:1 1000000000000000000000000000000000000	ł
(E) 1ST FFE 107.19 0 surveyed (E) 1ST plate 115.19 8.0 1st Fl plate limit 115.61 8.42 12' above lowest natural grade surveyed (e) 1st fl ridge 118.69 11.5 11 ele inch lowered to (h) 1ST fl ridge 118.69 11.5 11 ele overst natural grade surveyed 1st Fl ridge limit 121.61 11.42 11 ele inch lowered to 1st Fl ridge limit 121.61 11.42 11 ele inch lowered to 1st Fl ridge limit 121.61 11.42 11 ele inch lowered to 2ND FL LOWEST 11 ele inch lowered to surveyed 2ND FL DOWEST 11 ele inch lowered to surveyed 2ND FL DOWEST 11 ele inch lowered to surveyed 2ND FL DOWEST 11 ele inch lowered to surveyed 2ND FL DOWEST 11 ele inch lowest natural grade surveyed 2ND RIDGE LIMIT 124.15 8.06 3' above lowest natural grade surveyed 2ND RIDGE LIMIT 130.15 14.08 <	1
(E) 1ST plate 115.9 8.0 Independent of the second of	1
1st Fl plate limit 115.61 8.42 12' above lowest natural grade surveyee (e) 1st fl ridge 120.13 12.94 occest natural grade surveyee (N) 1ST fl ridge 118.69 11.5 11 flet 6 inch lowered R 1st Fl ridge limit 121.61 14.42 18' above lowest natural grade lowered R 2ND FL LOWEST 106.15 1.04 1f 0.5 inch lowered R 2ND FL LOWEST 106.15 1.04 1f 0.5 inch lowered R 2ND FL LOWEST 106.15 1.04 1f 0.5 inch lowered R 2ND FL LOWEST 106.15 1.04 1f 0.5 inch lowered R 2ND FL LOWEST 106.15 1.04 1f 0.5 inch lowered R 2ND FL TE LIMIT 118.69 0.9' = 11" = 2x10 (9.25") + 3/4" lowered R lowered R 2ND FLATE LIMIT 124.15 8.66 18' above 2 story mass lowest natural grade lowered R 2ND RIDGE LIMIT 130.15 14.66 24' above 2 story mass lowest natural grade lowered R	
(N) 1ST fl ridge 118.69 11.5 11 fect 6 inch lowered B 1St Fl ridge limit 121.61 14.42 18' above lowest natural grade 1 2ND FL LOWEST 106.15 1.04 11 fo.5 inch 1 1 (N) 2nd FL FFE (w) 116.09 0.9' = 11" = 2x10 (9.25") + 3/4" 1	
1st Fl ridge limit 121.61 14.42 18 'above lowest natural grade 1 1 1 1.42 18 'above lowest natural grade 2ND FL LOWEST 106.15 1.04 11 0.5 inch 1 (N) 2nd FL FFE (w) 116.09 0.9 0.9' = 11" = 2x10 (9.25") + 3/4" 1 2ND FL LOWEST 116.09 0.9 0.9' = 11" = 2x10 (9.25") + 3/4" 1 2N1 fl PLATE 116.09 0.9 0.9' = 11" = 2x10 (9.25") + 3/4" 1 2ND FLATE LIMIT 122.15 8.06 18' above 2 story mass lowest natural grade 1 (N) 2ND fl ridge 126.92 1 1 1 1 1 (N) 2ND fl ridge 126.92 1 1 1 1 1 1	by 1.44' or 17.25"
No best of the second	
NATURAL GRADE NATURAL GRADE Image: mail of the second sec	
2x10 joists)subfloor + 1" tile max2nd fl PLATE123.887.797 feet 9.5 inch = 7.79'2ND PLATE LIMIT124.158.0618' above 2 story mass lowest natural grade1(N) 2ND fl ridge126.922ND RIDGE LIMIT130.1514.0624' above 2 story mass lowest natural grade	
2ND PLATE LIMIT124.158.0618' above 2 story mass lowest natural grade(N) 2ND fl ridge126.922ND RIDGE LIMIT130.1514.0624' above 2 story mass lowest natural grade	
Image: No state Image: State	
2ND RIDGE LIMIT 130.15 14.06 24' above 2 story mass lowest natural	18
	3.23
	24
0 1 3 5 10 20	



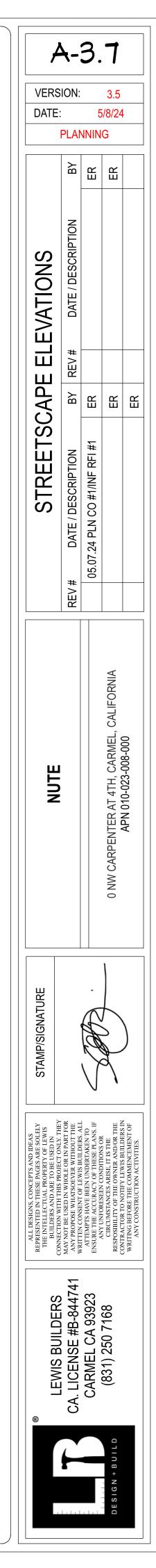
ļ	\ '	3.	6	
		<u> </u>		
VERS		5	3.5 5/8/24	
	PLAN			r
(HBOR)	ION BY	ER	ER	
ONS: NORTH (NEIGHBOR)	DATE / DESCRIPTION			
NS: N	Y REV#			
Ē	BΥ	ER	ER	Ë
EXTERIOR ELEVA	# DATE / DESCRIPTION	05.07.24 PLN CO #1/INF RFI #1		
	REV #			
NUTE			0 NW CARPENTER AT 4TH, CARMEL, CALIFORNIA	APN 010-023-008-000
STAMP/SIGNATURE)
ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THESE PAGES ARE SOLELY THE INTELLECTUAL PROPERTY OF LEWIS BUILDERS AND ARE TO BE USED IN CONNECTION WITH THIS PROLIECT ONLY THEY	MAY NOT BE USED IN WHOLE OR IN PART FOR ANY PROPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF LEWIS BUILD DERS ALL	ATTEMPTS HAVE BEEN UNDERTAKEN TO ENSURE THE ACCURACY OF THESE PLANS. IF ANY INFORESTERN CONDITIONS OR	CIRCUMSTANCES ARISE, IT IS THE RESPOSIBILITY OF THE OWNER AND/OR THE CONTRACTOR TO NOTIFY I EWIS BUILDED R	WRITING BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
B I FWIS BUILDERS	CA. LICENSE #B-844741	CARMEL CA 93923	لمه (831) 250 7168 لاله	
			DESIGN + BUILD	



EXISTING STREET PHOTOS FROM 4TH AVENUE

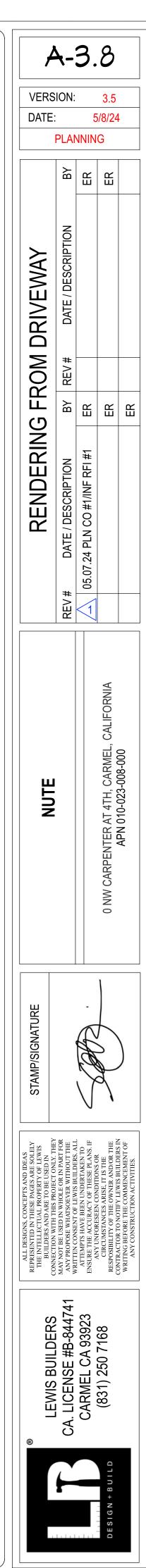


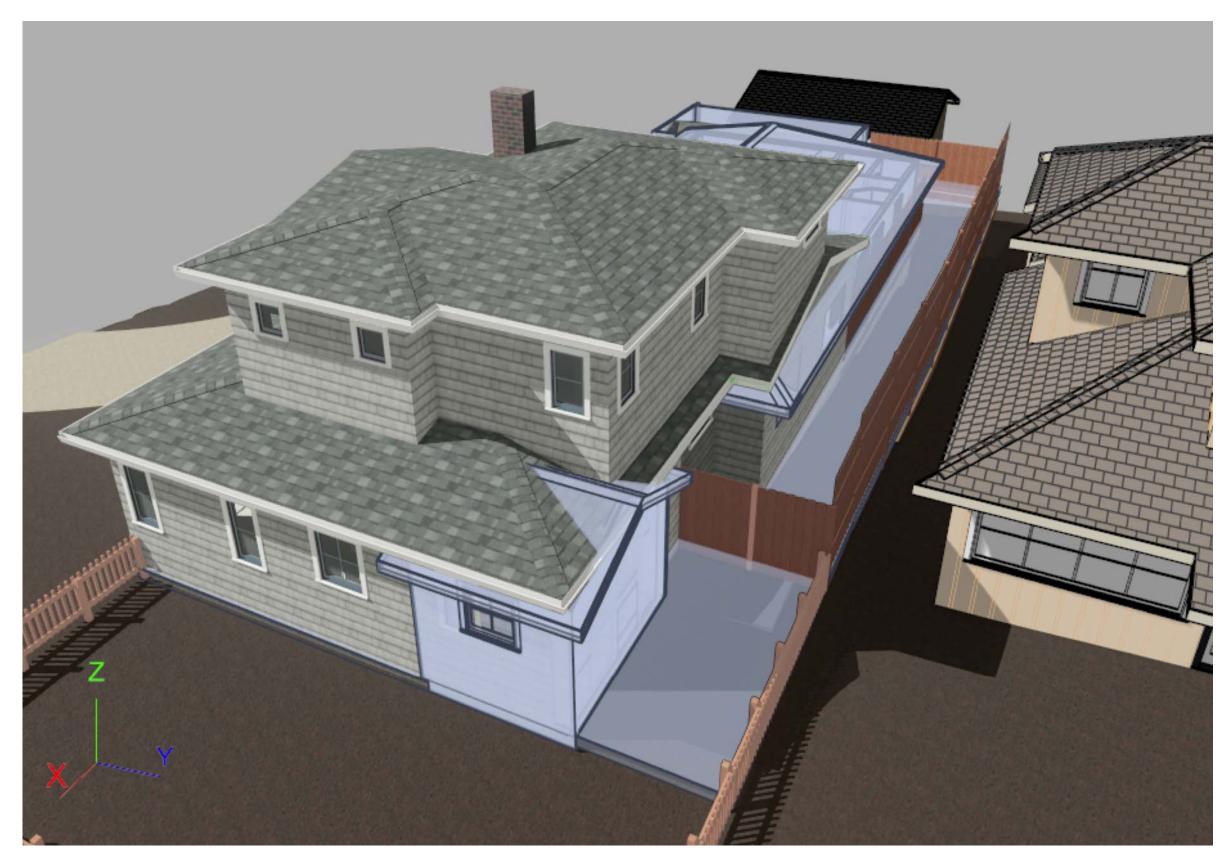
EXISTING STREET PHOTOS FROM CARPENTER STREET









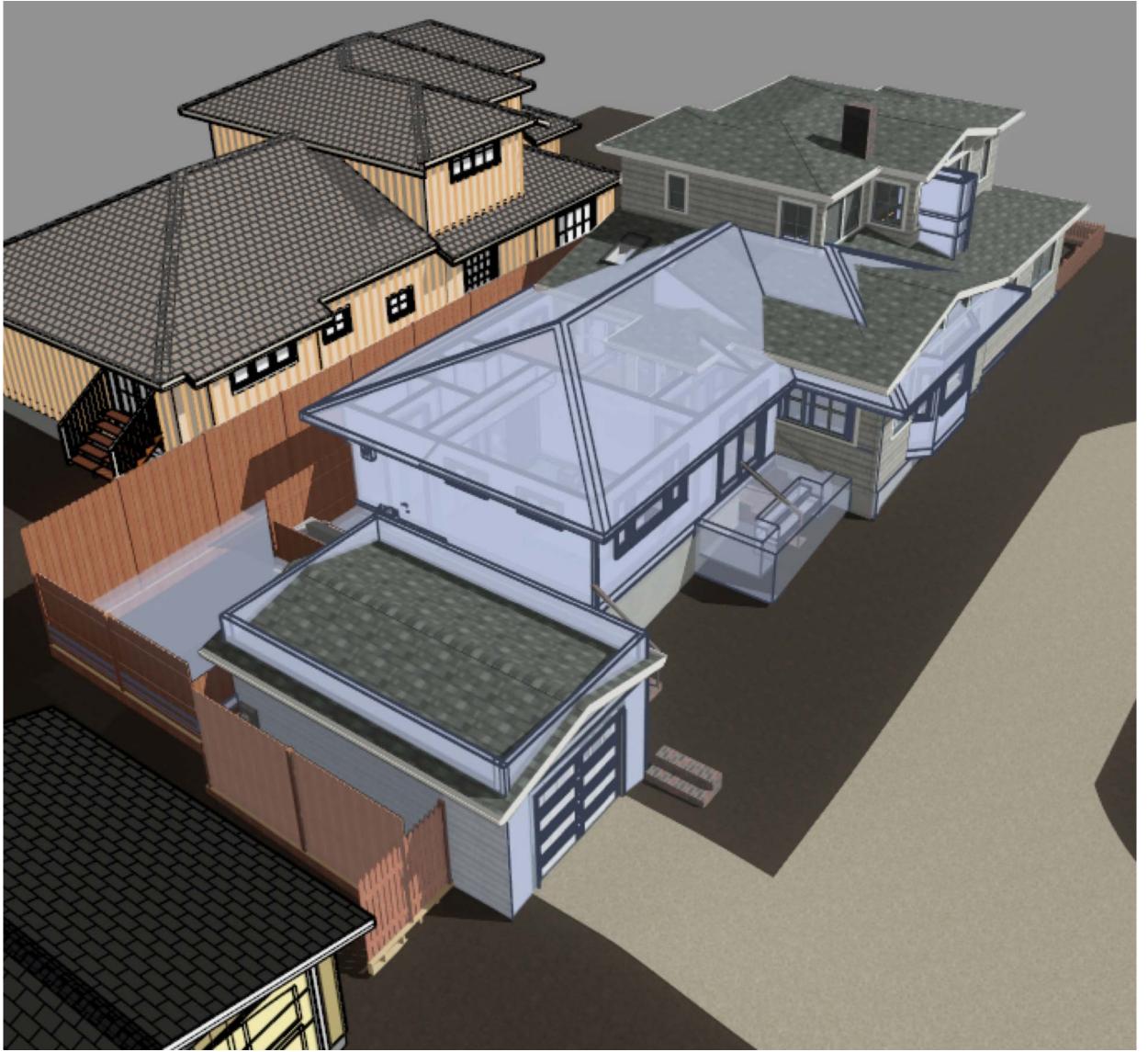


DRONE VIEW SHOWING NEIGHBOR & PROPOSED HOUSE W/ EXISTING HOUSE UNDERLAY FROM NORTHEAST LOOKING SOUTHWEST (NORTH NEIGHBOR ON RIGHT)



DRONE VIEW SHOWING NEIGHBORS & PROPOSED HOUSE W/ EXISTING HOUSE UNDERLAY FROM NORTHWEST LOOKING SOUTHEAST (NORTH NEIGHBOR ON LEFT)





DRONE VIEW SHOWING NEIGHBORS & PROPOSED HOUSE W/ EXISTING HOUSE UNDERLAY FROM WEST LOOKING EAST (NORTH NEIGHBOR SHOWN ON LEFT)

Renderings are for approximate visual representations only.

Å	\ -)	3.	9	
VERS			3.5	
DATE: 5/8/24 PLANNING				
	ВΥ	ER	ER	
S	DATE / DESCRIPTION			
DERINGS	REV #			
Z	ВΥ	ER	ER	ER
R	DATE / DESCRIPTION	05.07.24 PLN CO #1/INF RFI #1		
	REV #	05.		
NUTE			0 NW CARPENTER AT 4TH, CARMEL, CALIFORNIA	APN 010-023-008-000
STAMP/SIGNATURE)
ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THESE PAGES ARE SOLELY THE INTELLECTUAL PROPERTY OF LEWIS BUILDERS AND ARE TO BE USED IN CONNECTION WITH THIS PROJECT ONLY THEY	MAY NOT BE USED IN WHOLE OR IN PART FOR ANY PROPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF LEWIS BUILDERS ALL	ATTEMPTS HAVE BEEN UNDERTAKEN TO ATTEMPTS HAVE BEEN UNDERTAKEN TO ENSURE THE ACCURACY OF THESE PLANS. IF ANY INNEOPESEEN CONDITIONS OD	RESPOSIBILITY OF THE OWNER, IT IS THE RESPOSIBILITY OF THE OWNER AND/OR THE CONTRD ACTOR TO NOTTER I EMILE BITTI DEDEX IN	WRITING BEFORE THE COMMENCEMENT OF WRITING BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
BUILDERS	CA. LICENSE #B-844741	CARMEL CA 93923	1LD (831) 250 7168	
			DESIGN + BUILD	



STREET VIEW NORTHBOUND ON CARPENTER AT CORNER OF 4TH. NORTH NEIGHBOR IN BACKGROUND



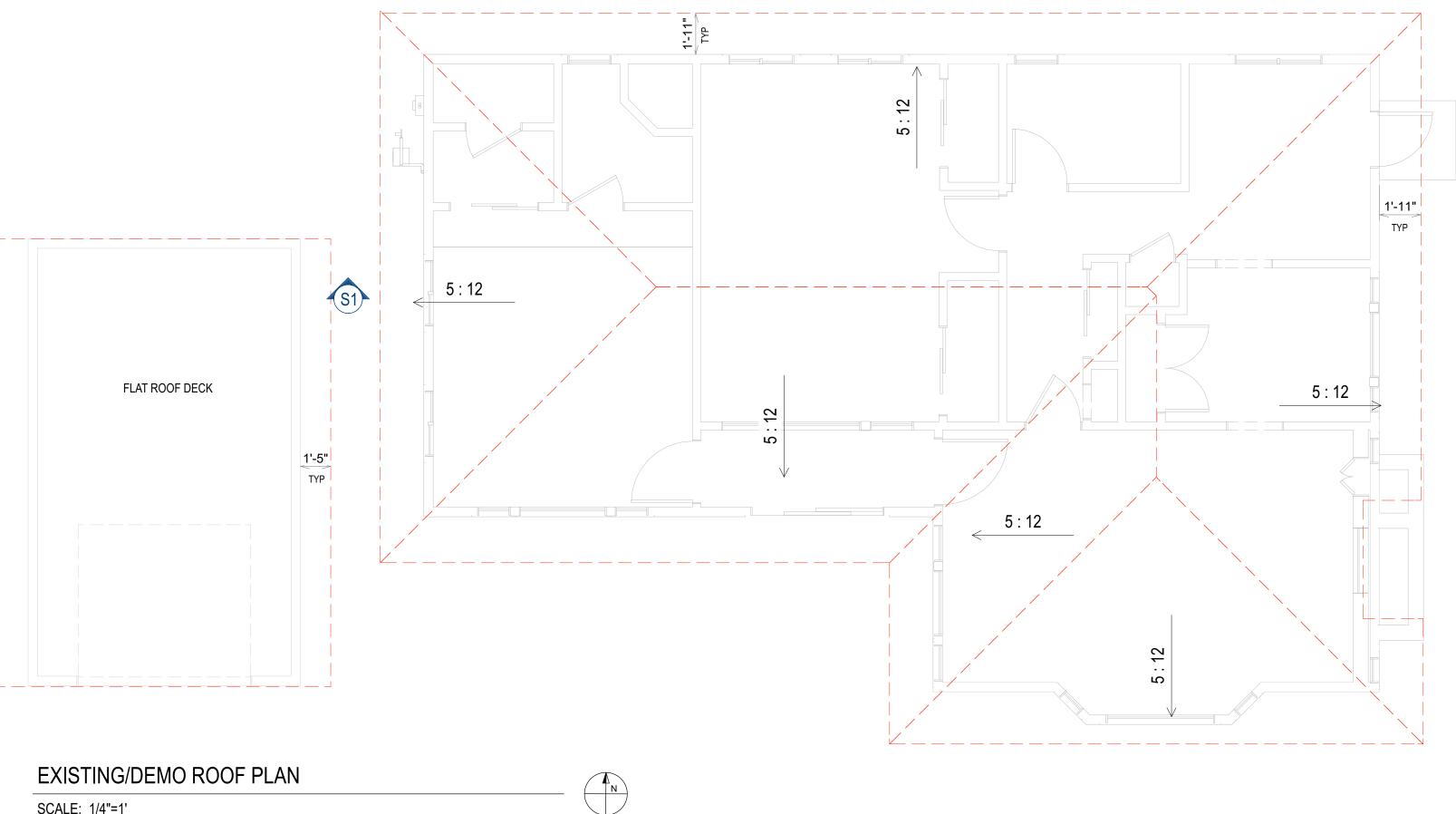
STREET VIEW SHOWING SOUTH (4th STREET) FACADES & NORTH NEIGHBOR IN BACKGROUND



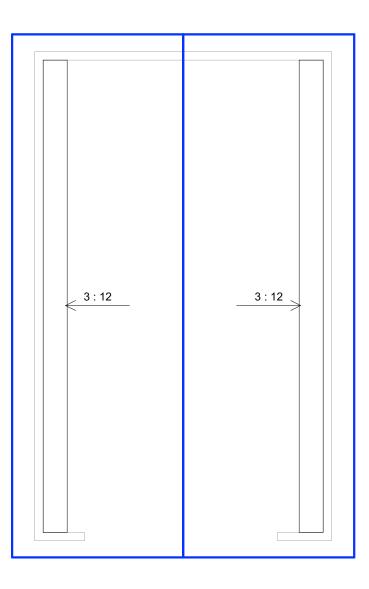
STREET VIEW SOUTHBOUND ON CARPENTER & NORTH NEIGHBOR IN FOREGROUND

Renderings are for approximate visual representations only.

A	-3	3.'	10)
VERS	ION:		3.5	
DATE:	PLAN	5 NNIN	6/8/24 G	
	BΥ	ER	ER	
S	DATE / DESCRIPTION			
ERINGS	REV #			
\cap	BY F	ER	ER	ER
RENI	REV # DATE / DESCRIPTION			
NUTE			0 NW CARPENTER AT 4TH, CARMEL, CALIFORNIA	APN 0.10-023-008-000
STAMP/SIGNATURE)
ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THESE PAGES ARE SOLELY THE INTELLECTUAL PROPERTY OF LEWIS BUILDERS AND ARE TO BE USED IN CONNECTION WITH THIS PROJECT ONLY. THEY	MAY NOT BE USED IN WHOLE OR IN PART FOR ANY PROPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF 1 FWIS RITI DERS AT 1	ATTEMPTS HAVE BEEN UNDERTAKEN TO ENSURE THE ACCURACY OF THESE PLANS. IF ANY INFORESEEN CONDITIONS OD	RESPOSIBILITY OF THE OWNER AND/OR THE CONTRACTOR TO NOTHY LEWIS RUIL DEPEND	WRITING BEFORE THE COMMENCEMENT OF WRITING BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
LEWIS BUILDERS	CA. LICENSE #B-844741	CARMEL CA 93923	(831) 250 7168	

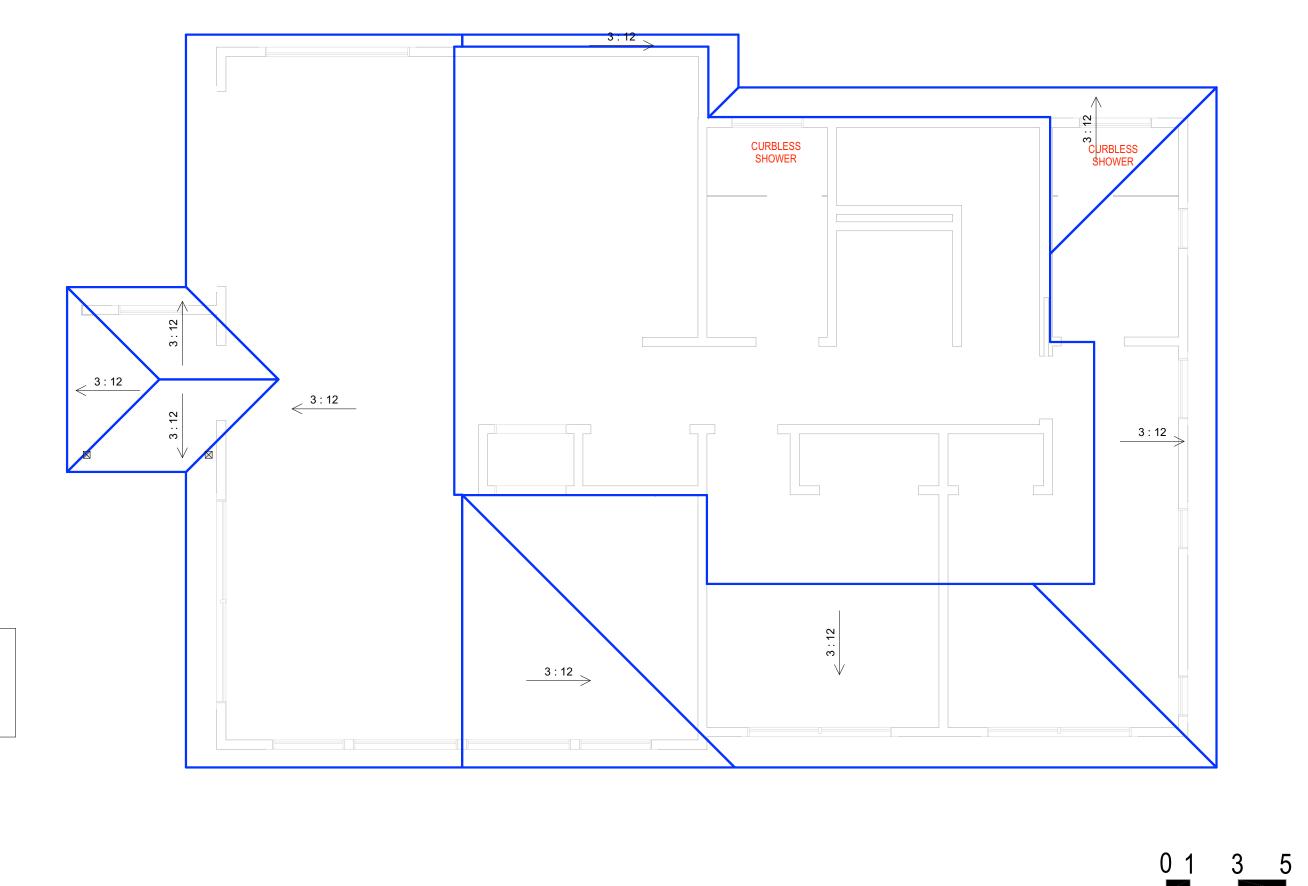


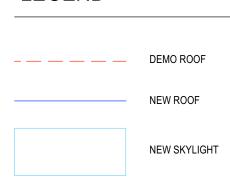
SCALE: 1/4"=1'

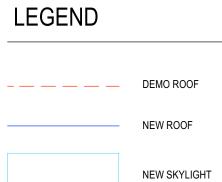


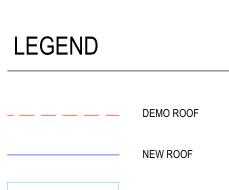
ALL NEW ROOFS ARE 3:12 PITCH. GARAGE, LIVING ROOM SOUTH GABLE & PORCH EAVES ARE 12" DEEP. NORTH EAVES OF HOUSE ARE 6" DEEP, WITH REMAINDER OF HOUSE EAVES 16" DEEP

PROPOSED ROOF PLAN LOWER FLOORS



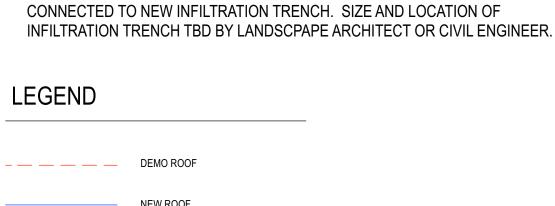






MATCH COLOR OF HOUSE

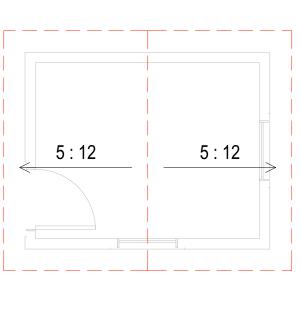
FASCIA COLOR



DRAINAGE NOTES 1. NEW ALUMINUM GUTTERS WHERE AS SHOWN ON DRAINAGE PLAN. MATCH

2. NEW ALUMINUM METAL DOWNSPOUTS WHERE SHOWN ON DRAINAGE PLAN.

3. ALL DOWNSPOUTS DRAIN TO SPLASH BLOCKS OR BURIED PERFORATED PIPE



 \langle

A-4.1

VERSION: 3.5

PLANNING

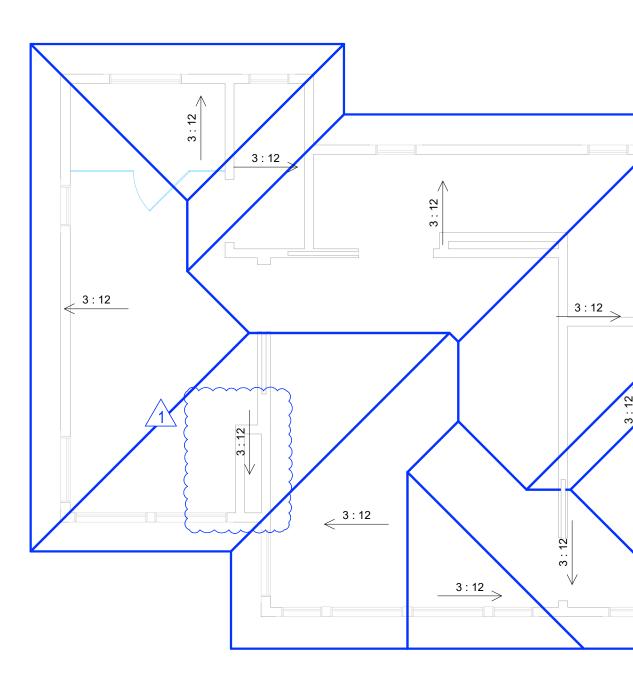
ER BY

5/8/24

DATE:

20

10



PROPOSED ROOF PLAN UPPER FLOOR

SCALE: 1/4"=1'

ALL NEW ROOFS ARE 3:12 PITCH. GARAGE, LIVING ROOM SOUTH GABLE & PORCH EAVES ARE 12" DEEP. NORTH EAVES OF HOUSE ARE 6" DEEP, WITH REMAINDER OF HOUSE EAVES 16" DEEP

		NEW SKYLIGHT		
3:12				
	013	5	10	20

LEGEND	
	DEMO ROOF
	NEW ROOF

LEGEND	
	DEM

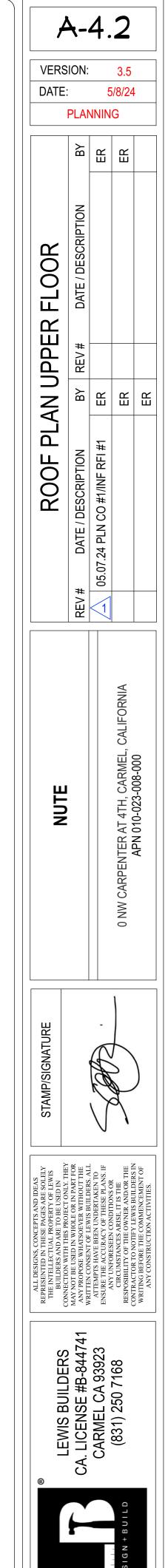
FASCIA COLOR

LEGEND	
·	DEMO ROOF
	NEW ROOF

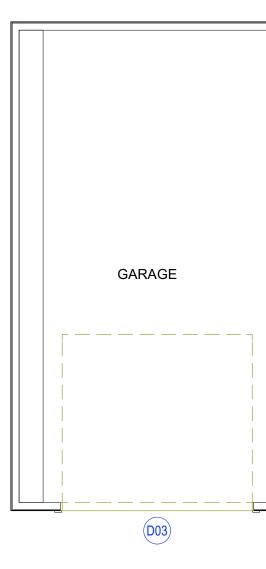
1	\sim	N	n

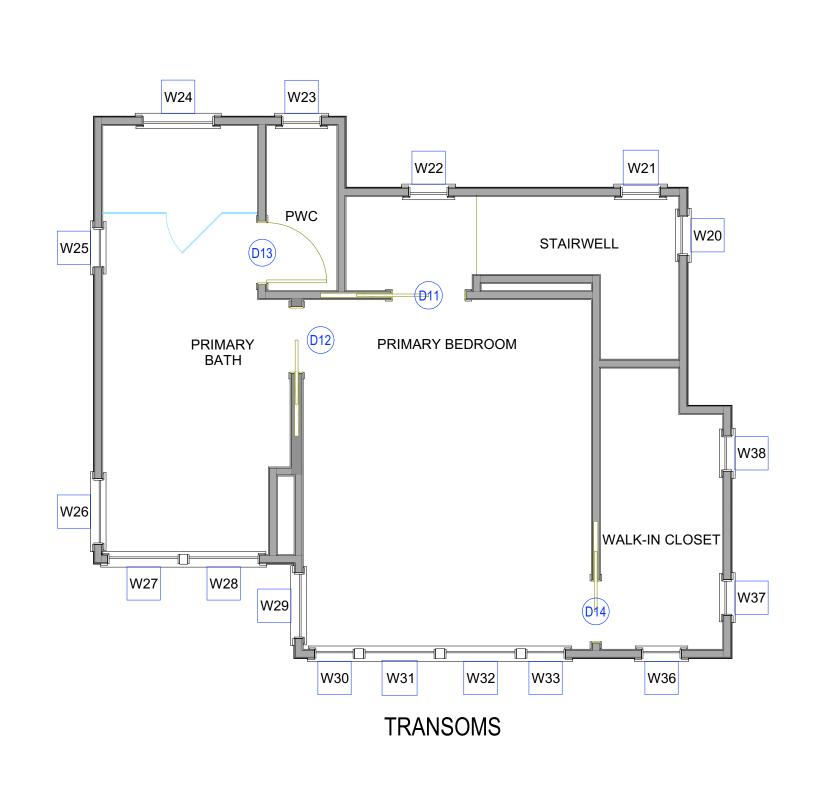
2. NEW ALUMINUM METAL DOWNSPOUTS WHERE SHOWN ON DRAINAGE PLAN.
MATCH COLOR OF HOUSE
3. ALL DOWNSPOUTS DRAIN TO SPLASH BLOCKS OR BURIED PERFORATED PIPE
CONNECTED TO NEW INFILTRATION TRENCH. SIZE AND LOCATION OF
INFILTRATION TRENCH TBD BY LANDSCPAPE ARCHITECT OR CIVIL ENGINEER.

DRAINAGE NOTES 1. NEW ALUMINUM GUTTERS WHERE AS SHOWN ON DRAINAGE PLAN. MATCH

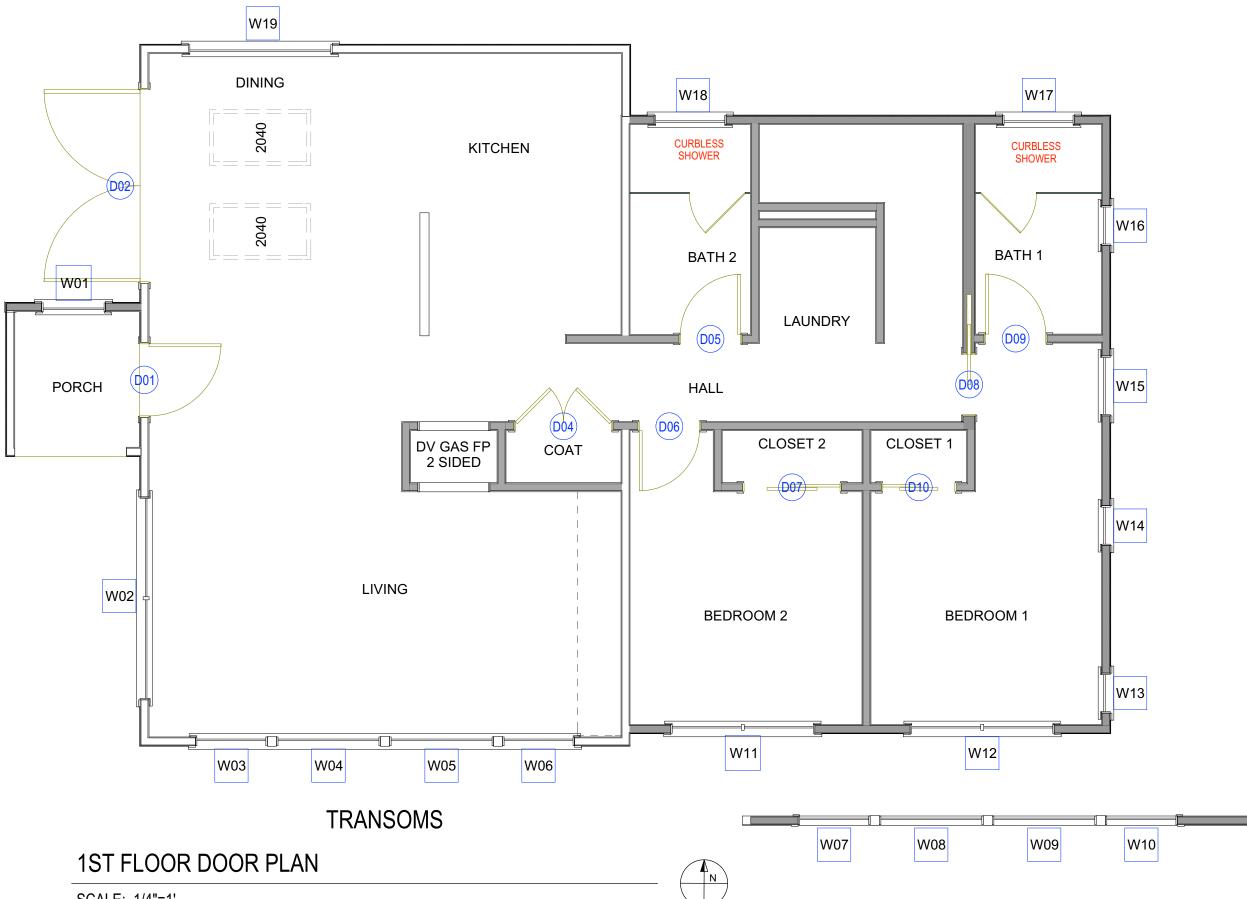


	ING MUST USE THE FINAL, SIGNED DOOR OR	<u></u>		<u> </u>	<u> </u>			DOOR SCHEDULE							
	ROOM DINING/PORCH		SIZE 3068 L IN	WIDTH 36"	HEIGHT 80"	2X6 WALL	JAMB SIZE 3/4"X4 11/16"	DESCRIPTION HINGED-GLASS PANEL	YES	FIRE	SOLID CORE		FLOOR 1		
D02	DINING	1	8068 L/R EX	96"	80"		3/4"X4 7/16"	EXT. DOUBLE HINGED-GLASS PANEL	YES				1		
D03	GARAGE	1	71170	95"	84"		3/4"X4 3/16"	GARAGE-GARAGE DOOR CHD08				WHITE W/ SLATE BLUE TRIM	1		
D04	HALL/COAT	1	4068 L/R IN	48"	80"		3/4"X4 1/2"	DOUBLE HINGED-SLAB					1		
D05	HALL/BATH 2	1	2668 R IN	30"	80"		3/4"X4 1/2"	HINGED-SLAB					1		
D06	HALL/BEDROOM 2	1	2668 R IN	30"	80"		3/4"X4 1/2"	HINGED-SLAB					1		
D07	CLOSET 2/BEDROOM 2	1	4068 R IN	48"	80"		3/4"X4 1/2"	SLIDER-GLASS SLAB					1	→	
D08	HALL/BEDROOM 1	1	2668 R	30"	80"		3/4"X6 1/2"	POCKET-SC01 MIRROR DOOR					1	_→	
D09	BEDROOM 1/BATH 1	1	2668 L IN	30"	80"		3/4"X4 1/2"	HINGED-SLAB					1		
D10	CLOSET 1/BEDROOM 1	1	3068 L IN	36"	80"		3/4"X4 1/2"	SLIDER-GLASS SLAB					1		
D11	2ND FLOOR LANDING/PRIMARY BEDROOM	1	3068 L	36"	80"		3/4"X4 1/2"	POCKET-SC01 MIRROR DOOR					2	Ę	
D12	PRIMARY BATH/PRIMARY BEDROOM	1	2868 R	32"	80"		3/4"X6 1/2"	POCKET-SC01 MIRROR DOOR					2	F	
D13	PWC/PRIMARY BATH	1	2668 R IN	30"	80"		3/4"X4 1/2"	HINGED-SLAB					2		



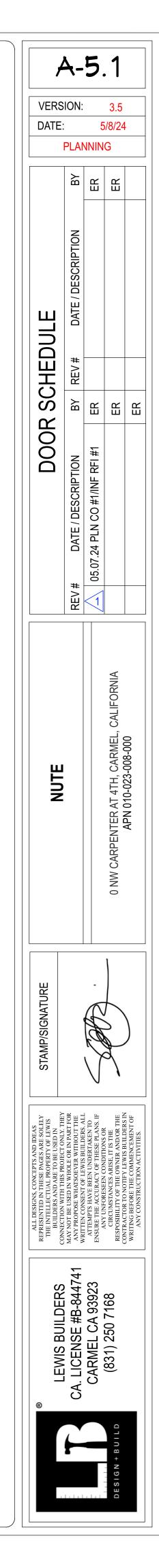


2ND FLOOR DOOR PWAN	W09	W10
SCALE: 1/4"=1'		

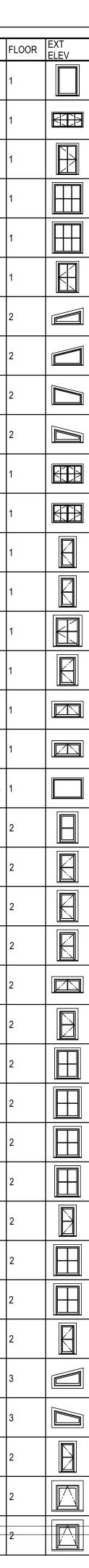


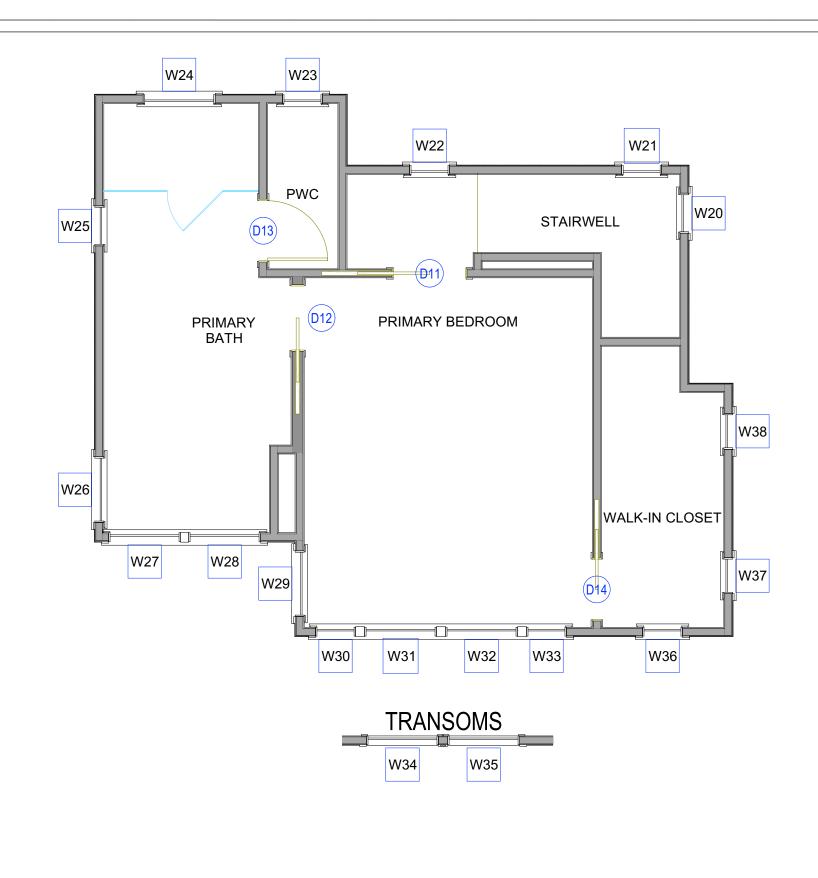
1ST FLOOR DOOR PLAN SCALE: 1/4"=1'



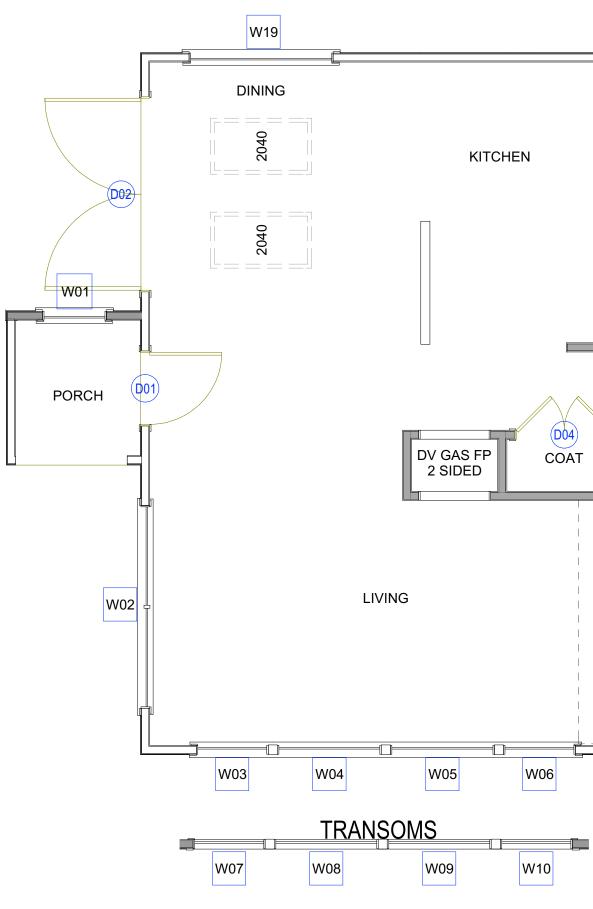


\sim	I USE THE FINAL, SIGNED WINDOW OF		SIZE			2X6	GNED WINDOW ORDER HAS NO			COMMENTS
	PORCH	1	2840FX	32"	48"	WALL	FIXED GLASS	YES		CUSTOM STAINED GLASS
N02	LIVING	1	8540DC	101 1/2"	48"		DOUBLE CASEMENT-LHL/RHR			
V03	LIVING	1	3048SC	36"	56"		SINGLE CASEMENT-HR			
V04	LIVING	1	4448FX	52"	56"		FIXED GLASS			
	LIVING	1	4448FX	52"	56"		FIXED GLASS			
	LIVING	1	3048SC	36"	56"		SINGLE CASEMENT-HL			
V07		1	3016FX	36"	17 1/2"		FIXED GLASS			
V08		1	4427FX	52"	31 3/8"		FIXED GLASS			
V09		1	4427FX	52"	31 3/8"		FIXED GLASS			
V10		1	3016FX	36"	17 1/2"		FIXED GLASS			
/11	BEDROOM 2	1	6038DC	72"	44"		DOUBLE CASEMENT-LHL/RHR		YES	
/12	BEDROOM 1	1	6038DC	72"	44"		DOUBLE CASEMENT-LHL/RHR		YES	
/13	BEDROOM 1/	1	1838SC	20"	44"		SINGLE CASEMENT-HL			
/14	BEDROOM 1/	1	1838SC	20"	44"		SINGLE CASEMENT-HL			
/15	BEDROOM 1/	1	2630SC	30"	36"		SINGLE CASEMENT-HL			
V16	BATH 1/	1	1830SC	20"	36"		SINGLE CASEMENT-HL			
V17	SHOWER 1/	1	3016AW	36"	18"		SINGLE AWNING	YES		OBSCURE GLASS
/18	SHOWER 2/BONUS	1	3016AW	36"	18"		SINGLE AWNING	YES		OBSCURE GLASS
V19	DINING/BONUS	1	6040FX	72"	48"		FIXED GLASS			OBSCURE OR STAINED GLAS
V20	STAIRWELL	1	1830FX	20"	36"		FIXED GLASS	YES		
V21	STAIRWELL	1	1830SC	20"	36"		SINGLE CASEMENT-HL	YES		
V22	2ND FLOOR LANDING	1	1830SC	20"	36"		SINGLE CASEMENT-HL	YES		
V23	PWC	1	1830SC	20"	36"		SINGLE CASEMENT-HL	YES		
W24	PRIMARY SHOWER	1	3016AW	36"	18"		SINGLE AWNING	YES		PRIVACY GLASS
V25	PRIMARY BATH	1	1830SC	20"	36"		SINGLE CASEMENT-HR			
V26	PRIMARY BATH	1	2938FX	32 15/16"	44"		FIXED GLASS			
V27	PRIMARY BATH	1	3038FX	36"	44"		FIXED GLASS			
V28	PRIMARY BATH	1	3038FX	36"	44"		FIXED GLASS			
V29	PRIMARY BEDROOM	1	2938FX	32 15/16"	44"		FIXED GLASS			
V30	PRIMARY BEDROOM	1	1838SC	20"	44"		SINGLE CASEMENT-HR			
V31	PRIMARY BEDROOM	1	3038FX	36"	44"		FIXED GLASS			
N32	PRIMARY BEDROOM	1	3038FX	36"	44"		FIXED GLASS			
V33	PRIMARY BEDROOM	1	1838SC	20"	44"		SINGLE CASEMENT-HL			
N34		1	3018FX	36"	20"		FIXED GLASS			
N35		1	3018FX	36"	20"		FIXED GLASS			
N36	WALK-IN CLOSET	1	1838SC	20"	44"		SINGLE CASEMENT-HR			
N37	WALK-IN CLOSET	1	1618AW	18"	20"		SINGLE AWNING	YES		
 N38	WALK-IN CLOSET	1	1618AW	18"	20"		SINGLE AWNING	YES		





2ND FLOOR WINDOW PLAN SCALE: 1/4"=1'



1ST FLOOR WINDOW PLAN SCALE: 1/4"=1'

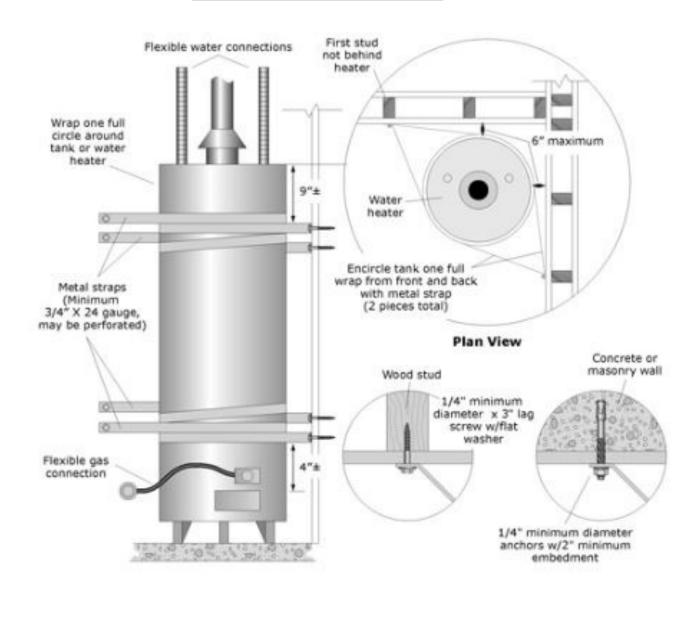
W18 W17 CURBLESS SHOWER CURBLESS SHOWER W16 BATH 1 BATH 2 LAUNDRY (D05) HALL W15 (D06) CLOSET 1 CLOSET 2 a **D07** W14 BEDROOM 2 BEDROOM 1 W13 W12 W11

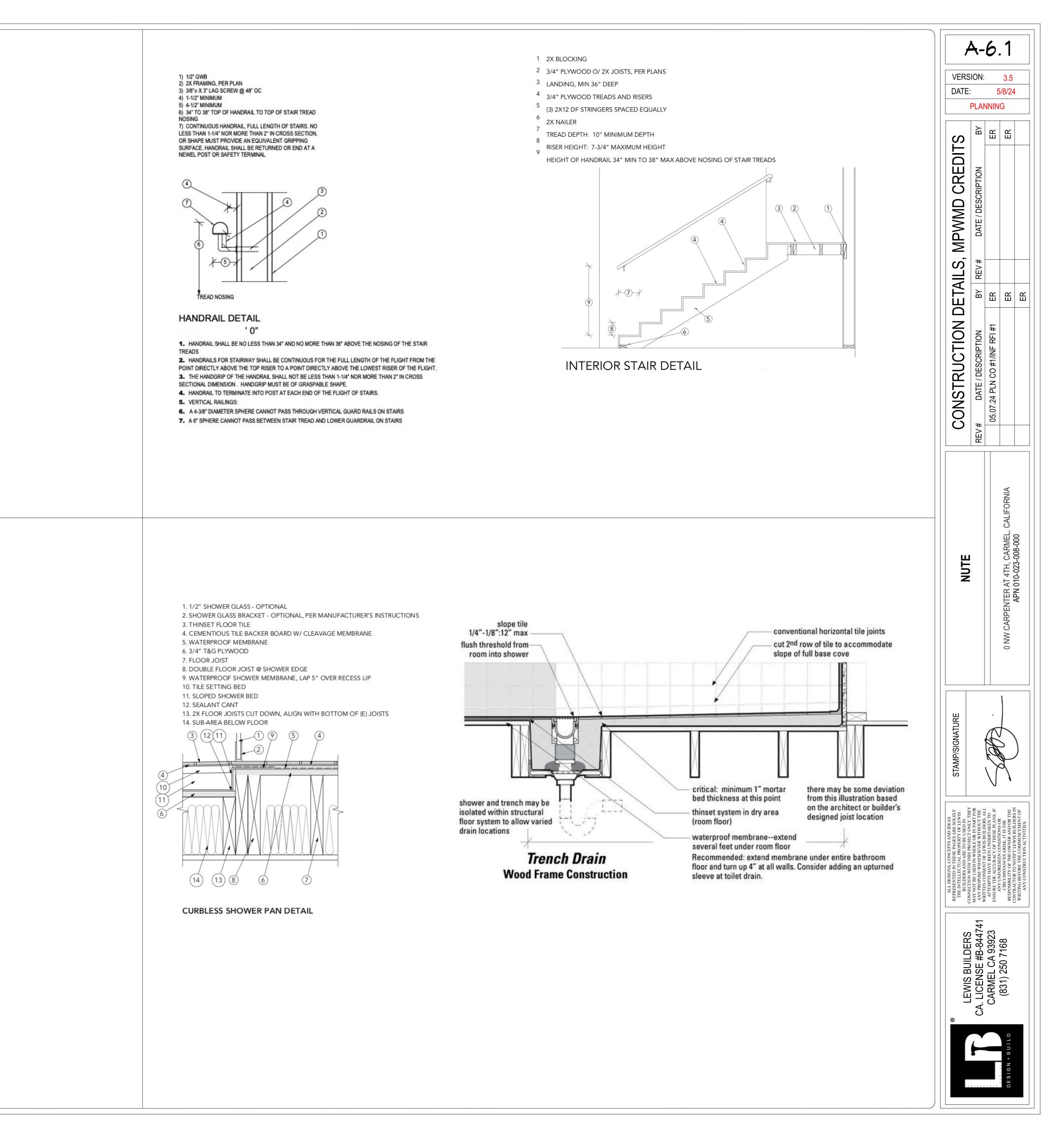
N

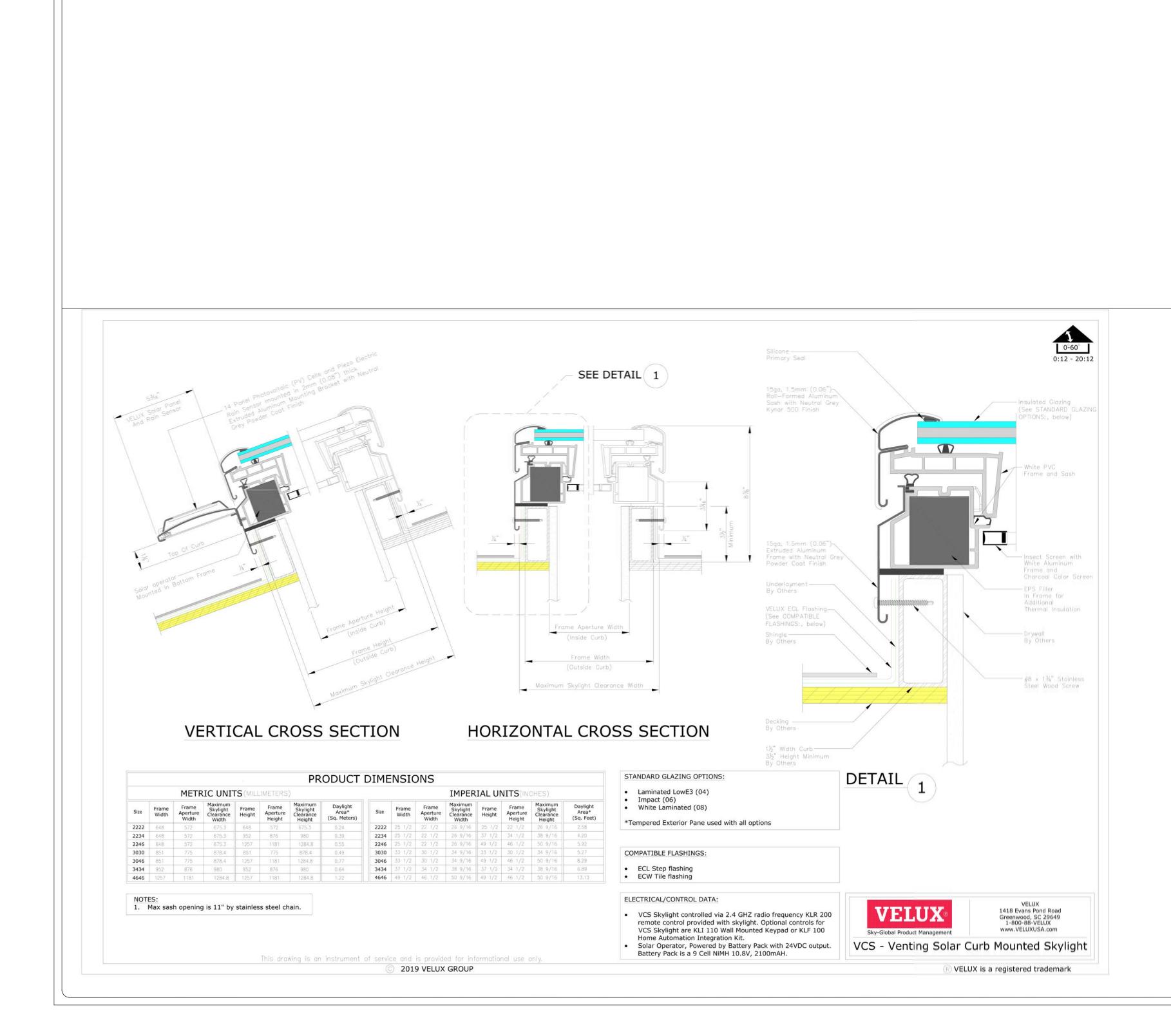
A-5.2 VERSION: 3.5 DATE: 5/8/24 PLANNING ER BY Ш DATE / WINDOW SCHEDULE ER ER BY Ħ RFI /INF
 REV #
 DATE / DESCR

 05.07.24 PLN CO #1/II
 CAL ER AT 4TH, CARMEL, N 010-023-008-000 NUTE ENTE AP CAF MN 0 ₩\$ THEY FOR THE . ALL TO VS. IF CONN MAY ANY WRIT AT ENSU

WATER HEATER STRAPPING DETAILS



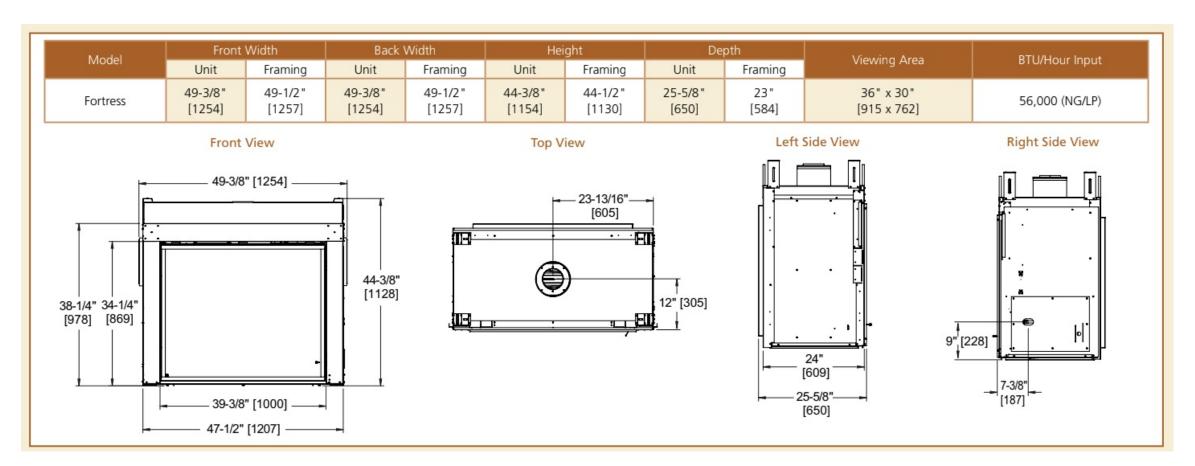


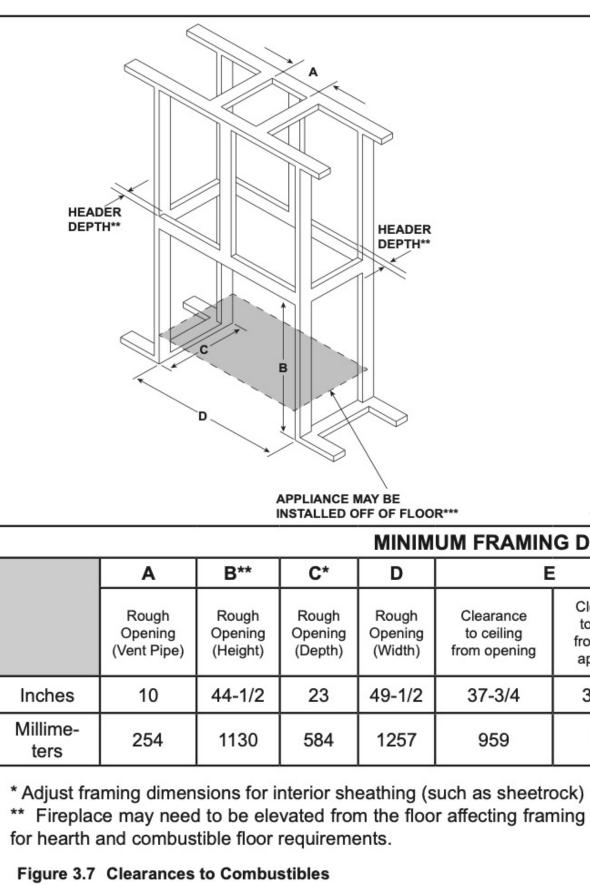


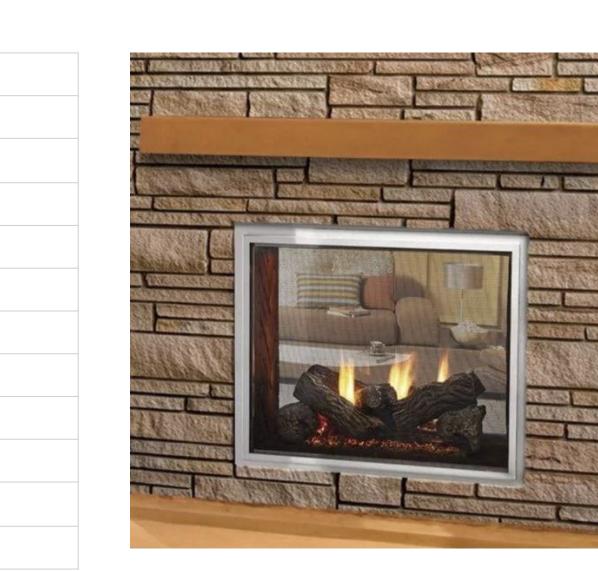
ODFORIG-36 Majestic 36" Fortress Traditional Indoor/ Outdoor See-Through Direct Vent Gas Fireplace with IntelliFire Touch Ignition System

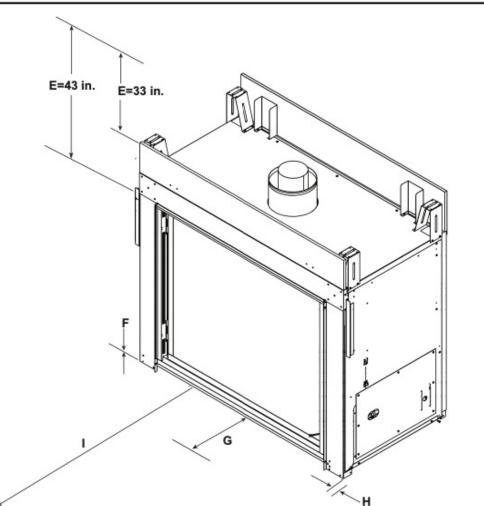
Specifications

Appliance Width	49-3/8"
Appliance Height	44-3/8"
Appliance Depth ¹	25-5/8"
Appliance Rear Width	49-3/8"
Framing Width	49-1/2"
Framing Height	44-1/2"
Framing Depth	23"
Framing Front Width	49-1/2"
Framing Back Width	49-1/2"
BTU/hr Input	56,000 NG
Heating Capacity ²	2,200 sq ft
Viewing Area	36 x 30"









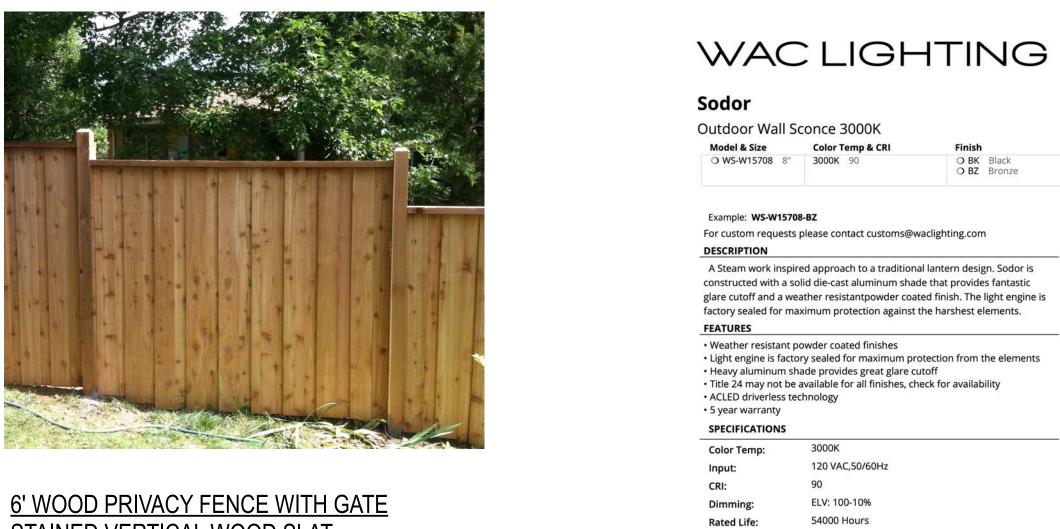
M	UM FRAMIN	G DIMENSI	ONS*					
	E		F**	G**	н	I		
500	Clearance to ceiling from opening Clearance to ceiling from top of appliance		Combustible Floor	Combustible Flooring	Sides of Appliance	Front or Rear of Appli- ance		
	37-3/4	33-1/2	0	See Note Below	1	48		
	959	851	0	See Note Below	25	1219		

** Fireplace may need to be elevated from the floor affecting framing height B, depending on hearth construction. See Section 3.D

Å	\ -,	6.	2	
VERS DATE		5	3.5 /8/24	Ļ
	PLAN	ININ	G	
	BΥ	ER	ER	
SNC	DATE / DESCRIPTION			
CIFICATIONS	BY REV#	ER	ER	ER
SPE(REV # DATE / DESCRIPTION	05.07.24 PLN CO #1/INF RFI #1		
NUTE			0 NW CARPENTER AT 4TH, CARMEL, CALIFORNIA	APN 010-023-008-000
STAMP/SIGNATURE)
ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THESE PAGES ARE SOLELY THE INTELLECTUAL PROPERTY OF LEWIS BUILDERS AND ARE TO BE USED IN	CONVECTION WITH THIS FRODE LI ONLY, LIEFT MAY NOT BE USED IN WHOLE OR IN PART FOR ANY PROPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF LEWIS RUILIDERS ALL	ATTEMPTS HAVE BEEN UNDERTAKEN TO ANDERTE THE ACCURACY OF THESE PLANS. IF ANV TINFORESEEN CONDITIONS OR	CIRCUMSTANCES AUSE, IT IS THE RESPOSIBILITY OF THE OWNER AND/OR THE CONTROL TO NOTTED I DWIG PITT DEPEND	WRITING BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
	CA. LICENSE #B-844741	CARMEL CA 93923	(831) 250 7168	
			DESIGN + BUILD	



<u>4' GRAPESTAKE FENCE</u> UNPAINTED YARDS FACING CARPENTER AND 4TH



STAINED VERTICAL WOOD SLAT NORTH YARD ONLY, REPLACES EXISTING GATE



<u>WINDOWS</u> SIERRA PACIFIC WOOD CLAD ALUM TRUE DIVIDED LITES SLATE BLUE 008

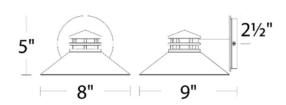


EXTERIOR SWING DOORS SIERRA PACIFIC WOOD CLAD ALUM TRUE DIVIDED LITES SLATE BLUE 008



<u>SKYLIGHTS</u> VELUX FIXED CURB MOUNT LOW PROFILE

Color Temp & CRI Watt LED Lumens O BK Black O BZ Bronze O WS-W15708 8" 3000K 90 12W 9W 1000 750 Example: WS-W15708-BZ For custom requests please contact customs@waclighting.com DESCRIPTION A Steam work inspired approach to a traditional lantern design. Sodor is constructed with a solid die-cast aluminum shade that provides fantastic glare cutoff and a weather resistantpowder coated finish. The light engine is factory sealed for maximum protection against the harshest elements. Weather resistant powder coated finishes • Light engine is factory sealed for maximum protection from the elements Heavy aluminum shade provides great glare cutoff • Title 24 may not be available for all finishes, check for availability ACLED driverless technology 5 year warranty SPECIFICATIONS Color Temp: 3000K 120 VAC,50/60Hz 90 ELV: 100-10% FINISHES: 54000 Hours Rated Life: ETL, cETL, IP65, Title 24 JA8-2019 Compliant, Dark Sky Standards: Friendly Wet Location Listed Bronze Black Aluminum hardware with glass diffuser LINE DRAWING: Construction



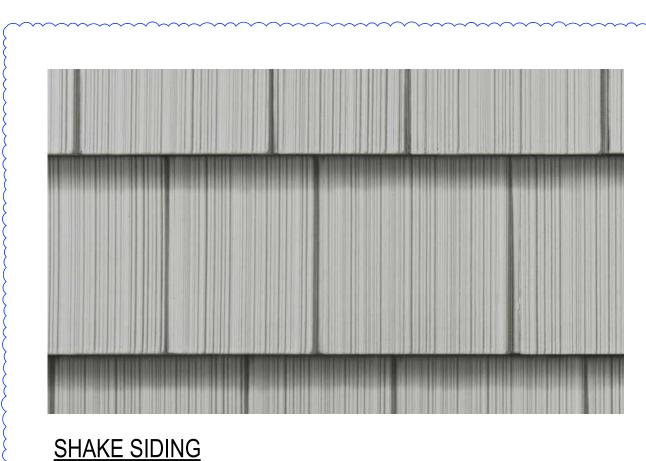
Fixture Type:

Project:

Location:

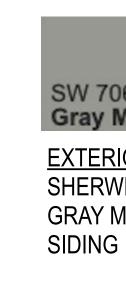
Catalog Number:

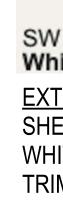
CARMEL-BY-THE-SEA EXTERIOR LIGHTING REQUIREMENTS



HARDISHINGLE COMPOSITE STRAIGHT EDGE SHINGLE









PAINTED MEDIUM GRAY SW7066





GARAGE DOOR STEEL - SIMULATED WOOD GRAIN TRUE DIVIDED LITES PAINTED SHERWIN WILLIAMS WHITE SNOW SW9541 EXTERIOR LED DOWNLIGHTS WAC LIGHTING SODOR 3000K BRONZE, 314 LUMENS DELIVERED DARK SKY & TITLE 24

1. WALL-MOUNTED LIGHTING SHALL BE NO HIGHER THAN 10 FEET ABOVE THE GROUND AND SHALL NOT EXCEED 25 WATTS PER FIXTURE (APPROXIMATELY 375 LUMENS).

2. LANDSCAPE LIGHTING SHALL NOT EXCEED 18 INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS PER FIXTURE (APPROXIMATELY 225 LUMENS). 3. LANDSCAPE LIGHTS SHALL BE SPACED AT LEAST 10 FEET APART. 4. NO LIGHTING MAY BE USED TO ACCENT TREES, WALLS, FENCES, ETC. 5. NO LIGHTING IS PERMITTED UPON CITY PROPERTY OR DIRECTED TOWARDS CITY PROPERTY, INCLUDING THE RIGHT OF WAY.

ROOFING MATERIAL COMPOSITE CLASS-A SHAKE CERTAINTEED TS PRESIDENTIAL COUNTRY GRAY

SW 7066 Gray Matters

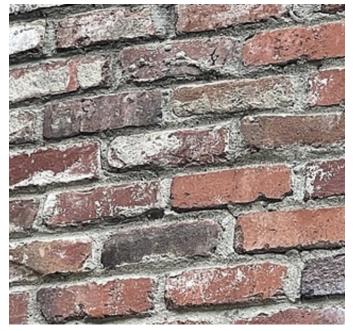
EXTERIOR PAINT COLOR SHERWIN WILLIAMS **GRAY MATTERS SW7066**

SW 9541 White Snow EXTERIOR PAINT COLOR SHERWIN WILLIAMS WHITE SNOW TRIM, FASCIA & GARAGE DOOR Slate Blue 008

SIERRA PACIFIC UNITS WINDOWS & DOORS SP SLATE BLUE 008

SW 7607 Santorini Blue

EXTERIOR PAINT COLOR SHERWIN WILLIAMS SANTORINI BLUE SW7607



EXTERIOR BRICK ACCENT MATCH EXISTING FOUNDATION, PORCH, CHIMNEY

	F		1.	1	
	TE:	ion: Plai		3.5 5/8/24 G	•
		BΥ	ER	ER	
		DATE / DESCRIPTION			
	ב צ ר	/ REV#			
		BΥ	ER	ER	ER
		# DATE / DESCRIPTION	05.07.24 PLN CO #1/INF RFI #1		
		REV #			
	NUTE			0 NW CARPENTER AT 4TH, CARMEL, CALIFORNIA	APN 010-023-008-000
STAMP/SIGNATURE				- Co do)
ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THESE PAGES ARE SOLIELY THEN THESE PAGES AND FOULERY	CONNECTION WITH THIS PROJECT ONLY, THEY	MAY NOT BE USED IN WHOLE OR IN PART FOR ANY PROPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF I EWIS BIIIL DERS AIL	ATTEMPTS HAVE BEEN UNDERTAKEN TO ENSURE THE ACCURACY OF THESE PLANS. IF ANV THEORESEEN CONDITIONS OR	RESPOSIBILITY OF THE OWNER AND/OR THE CONTR ACTOR TO NOTHER LEWIS BUILT DEP SIN	WRITING BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
۵	LEWIS BUILDERS	CA. LICENSE #B-844741	CARMEL CA 93923	(831) 250 7168 (831) 250 V168	
				DESIGN + BUILD	

Exterior Volume Handout

Allowed Volume Worksheet (include with application materials)

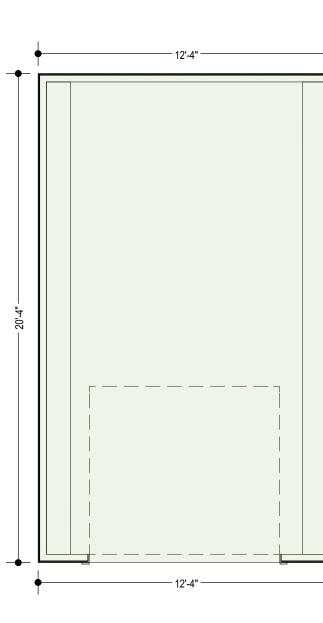
Project Address: 0 NW 4TH & CARPENTER

Property Owner Name(s): TORRIE & MICKI NUTE

1. Total Base Floor Area Allowed (not including basement bonus): <u>1,800</u>sq. ft.

2. Total Base Floor Area Proposed (not including basement bonus): <u>1.79911376</u> sq. ft.

<u>PROPOSED AREAS</u> calculations only include SF ab		grade		ALLOWED VOL	UMES	
a. One Story Floor Area (3:12 or greater):	948	sq. ft.	X(12)=	11376	cu. ft.	House, porch garage
b. One Story Floor Area (less than 3:12):	0	sq. ft.	X(11)=	0	cu. ft.	
c. Two Story Floor Area (3:12 or greater):	454	sq. ft.	X(11)=	4994	cu. ft.	House
d. Two Story Floor Area (less than 3:12):	0	sq. ft.	X(10)=	0	cu. ft.	
e. Unused floor area or basement floor area not including bonus:	1	sq. ft.	X(12)=	12	cu. ft.	
Total Allowed Volume			=	16382	cu. ft.	

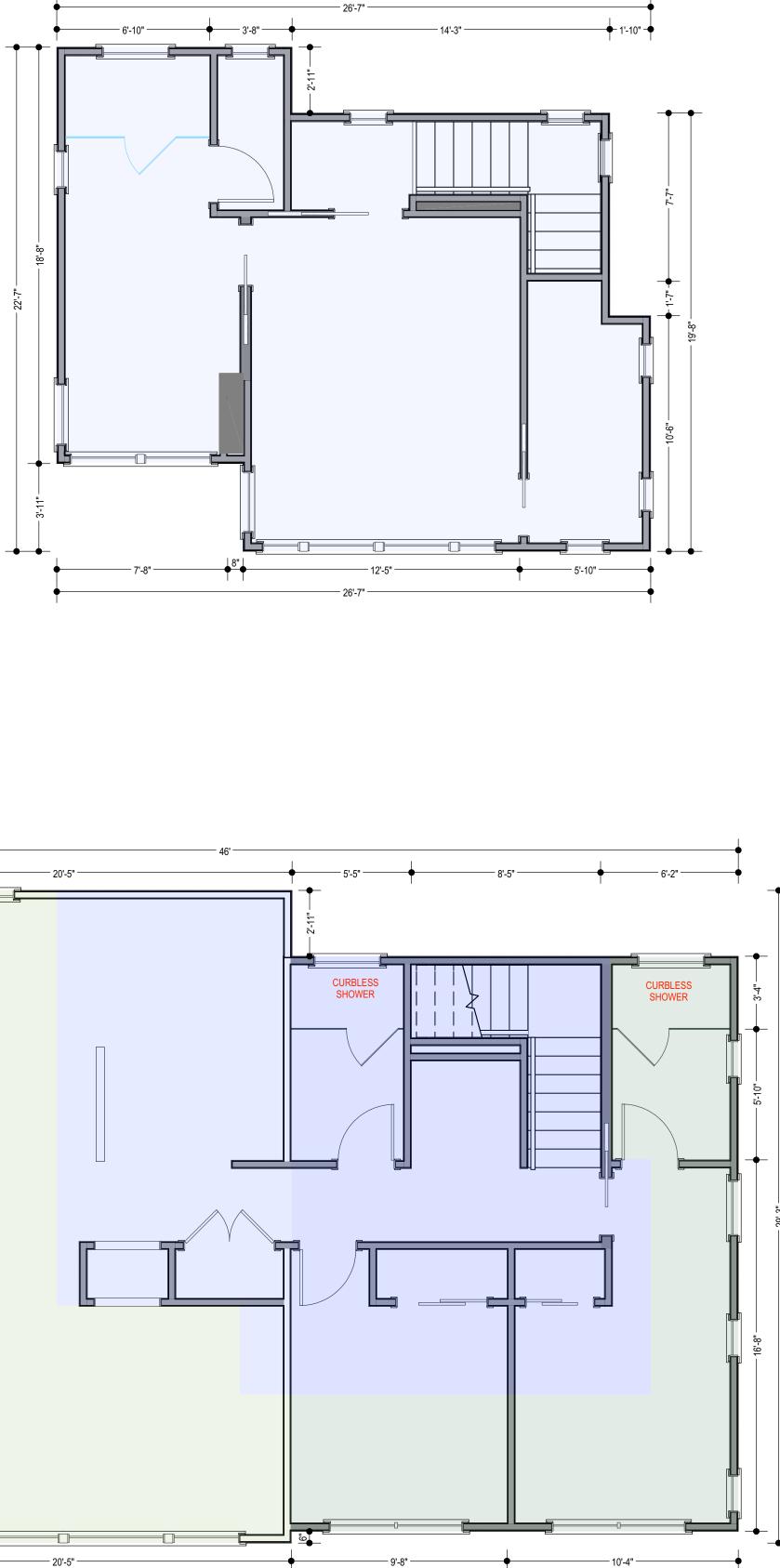


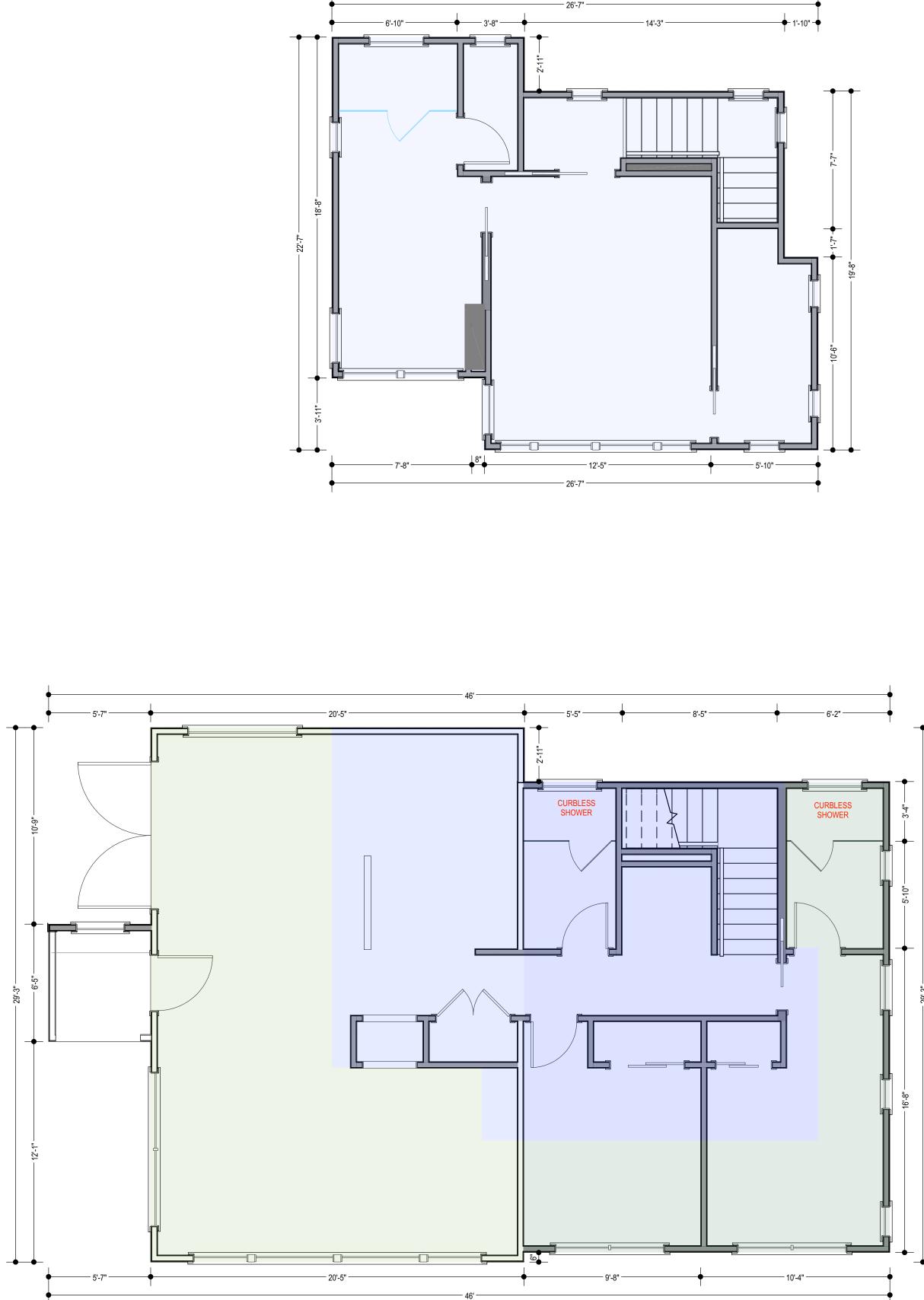
VOLUMETRIC STUDY PLAN SCALE: 1/4"=1'



N

Site Area:^{4,000}





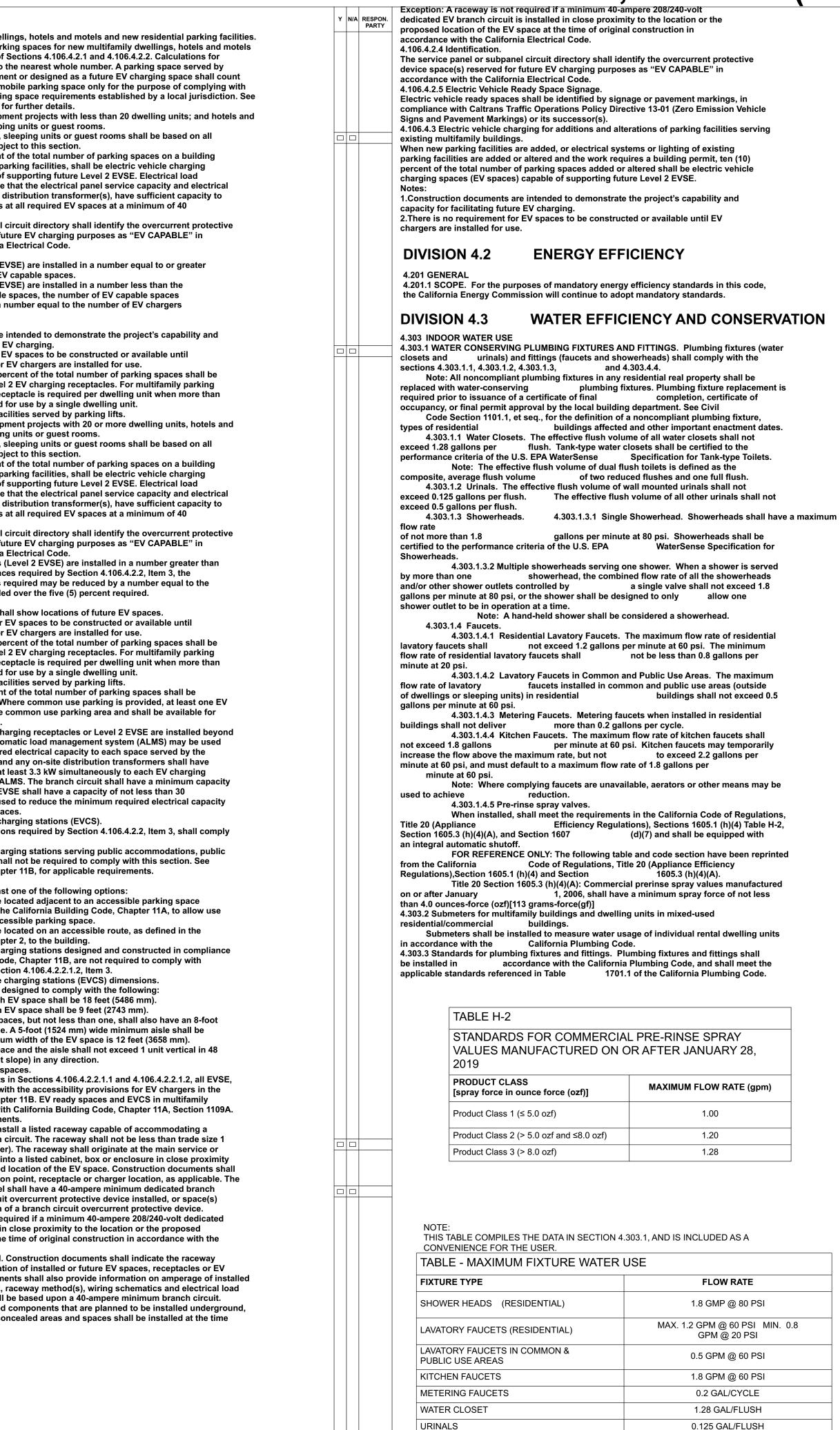
20 0135 10

DIMENSIONS ADDED SECOND FLOOR ADDED COLOR FILL ADDED mm

	/-	1.	1		
VERS DATE	:	5 NNIN	3.5 5/8/24 G	•	
	BΥ	ER	ER		
TUDY	DATE / DESCRIPTION				
RIC STUI	REV #				
JMETRI	ВҮ	ER	ER	ER	
VOLUN	DATE / DESCRIPTION	05.07.24 PLN CO #1/INF RFI #1			
	REV #				
NUTE		0 NW CARPENTER AT 4TH, CARMEL, CALIFORNIA	APN 010-023-008-000		
STAMP/SIGNATURE			h and)	
ALL DESIGNS, CONCEPTS AND IDEAS REPRESENTED IN THESE PAGES ARE SOLELY THE INTELLECTUAL PROPERTY OF LEWIS BUILDERS AND ARE TO BE USED IN CONNECTION WITH THIS PROJECT ONLY THEY	MAY NOT BE USED IN WHOLE OR IN PART FOR ANY PROPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF I FWISE RIII DRPS A11	ATTEMPTS HAVE BEEN UNDERTAKEN TO ENSURE THE ACCURACY OF THESE PLANS. IF ANY INFORESEEN CONTITIONS OF	CIRCUMSTANCES ARISE, IT IS THE RESPOSIBILITY OF THE OWNER AND/OR THE CONTR A CTORD TO NOTTER V EWISE BILL DADA	WRITING BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.	
	CA. LICENSE #B-844741	CARMEL CA 93923	UILD (831) 250 7168		
			DESIGN + BUILD		

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

PARTY	CHAPTER 3	Y N/A RESPON PARTY	
	GREEN BUILDING SECTION 301 GENERAL		4.106.4.2 New multifamily When parking is provided
	301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary		shall meet the requiremen spaces shall be rounded u
	green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unloss adopted by a site county or site and county as specified in Section		electric vehicle supply equations at least one standard a
	required unless adopted by a city, county, or city and county as specified in Section 101.7. 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter		any applicable minimum p Vehicle Code Section 2251
	4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume,		4.106.4.2.1Multifamily dev motels with less than 20 s
	or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.		The number of dwelling un buildings on a project site
	The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities		1.EV Capable. Ten (10) per site, provided for all types
	serving existing multifamily buildings. See Section 4.106.4.3 for application. Note: Repairs including, but not limited to, resurfacing, restriping and repairing or		spaces (EV spaces) capab calculations shall demons
	maintaining existing lighting fixtures are not considered alterations for the purpose of this section.		system, including any on- simultaneously charge all
	Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing		amperes. The service panel or subp
	fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of		device space(s) reserved accordance with the Calife
	occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture,		Exceptions: 1.When EV chargers (Leve than the required number
	types of residential buildings affected and other important enactment dates. 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The		2.When EV chargers (Leve required number of EV ca
	provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be		required may be reduced installed.
	designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise		Notes: a.Construction documents
	and high-rise buildings, no banner will be used. SECTION 302 MIXED OCCUPANCY BUILDINGS		capacity for facilitating fur b.There is no requirement
	302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures		receptacles for EV chargin 2.EV Ready. Twenty-five (2
	applicable to each specific occupancy. Exceptions:		equipped with low power facilities, no more than on
	1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable.		one parking space is prov Exception: Areas of parki
	2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed		4.106.4.2.2 Multifamily dev motels with 20 or more slo
	occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable.		The number of dwelling u buildings on a project site
			 1.EV Capable. Ten (10) per site, provided for all types
	DIVISION 4.1 PLANNING AND DESIGN		spaces (EV spaces) capab calculations shall demons
	ABBREVIATION DEFINITIONS: HCD Department of Housing and Community Development		system, including any on- simultaneously charge all
	BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety		amperes. The service panel or subp device space(s) reserved
	OSHPD Office of Statewide Health Planning and Development LR Low Rise		device space(s) reserved accordance with the Calif Exception: When EV char
	HR High Rise AA Additions and Alterations		five (5) percent of parking number of EV capable spa
			number of EV capable spa number of EV chargers in Notes:
	RESIDENTIAL MANDATORY MEASURES		a. Construction documen b. There is no requiremer
			receptacles for EV chargin 2.EV Ready. Twenty-five (2
	SECTION 4.102 DEFINITIONS		equipped with low power facilities, no more than or
	4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel,		one parking space is prov Exception: Areas of parking
	FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.		3.EV Chargers. Five (5) pe equipped with Level 2 EV
	WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes		charger shall be located in use by all residents or gu
	and placed on a downflow slope. Wattles are also used for perimeter and inlet controls. 4.106 SITE DEVELOPMENT		When low power Level 2 E the minimum required, an
	4.100 SITE DEVELOPMENT 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects		to reduce the maximum re ALMS. The electrical system cufficient connectivity deliver
	on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.		sufficient capacity to deliver station (EVCS) served by of 40 amperes, and install
	4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of		amperes. ALMS shall not to the required EV capable
-	development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during		4.106.4.2.2.1 Electric vehicle charging
	construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.		with Section 4.106.4.2.2.1. Exception: Electric vehicle
	1. Retention basins of sufficient size shall be utilized to retain storm water on the site.		housing, motels and hote California Building Code,
	2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use		4.106.4.2.2.1.1 Location. EVCS shall comply with a
	of a barrier system, wattle or other method approved by the enforcing agency.		1.The charging space sha meeting the requirements
	3. Compliance with a lawfully enacted storm water management ordinance. Note: Refer to the State Water Resources Control Board for projects which disturb	1 1 1	of the EV charger from the 2.The charging space sha
	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.		Exception: Electric vehicle
	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website:		Exception: Electric vehicl with the California Buildir Section 4.106.4.2.2.1.1 and
<u> </u>	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.		Exception: Electric vehicl with the California Buildir Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric vel The charging spaces shall
	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or		Exception: Electric vehicl with the California Buildin Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric vel The charging spaces shal 1. The minimum length of 2. The minimum width of
<u> </u>	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited		Exception: Electric vehicl with the California Buildir Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric vel The charging spaces shal 1. The minimum length of 2. The minimum width of 3. One in every 25 chargir (2438 mm) wide minimum
<u> </u>	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens		Exception: Electric vehicl with the California Buildir Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric vel The charging spaces shal 1. The minimum length of 2. The minimum width of 3. One in every 25 chargin (2438 mm) wide minimum permitted provided the m a.Surface slope for this E
<u> </u>	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge.		Exception: Electric vehicl with the California Buildir Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric vel The charging spaces shal 1. The minimum length of 2. The minimum width of 3. One in every 25 chargir (2438 mm) wide minimum permitted provided the m a.Surface slope for this E units horizontal (2.083 pe 4.106.4.2.2.1.3 Accessible
	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply		Exception: Electric vehicl with the California Buildir Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric vel The charging spaces shal 1. The minimum length of 2. The minimum width of 3. One in every 25 chargir (2438 mm) wide minimum permitted provided the m a.Surface slope for this E units horizontal (2.083 pe 4.106.4.2.2.1.3 Accessible In addition to the requirer when installed, shall com
	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in		Exception: Electric vehicl with the California Buildir Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric vel The charging spaces shal 1. The minimum length of 2. The minimum width of 3. One in every 25 chargir (2438 mm) wide minimum permitted provided the m a.Surface slope for this E units horizontal (2.083 pe 4.106.4.2.2.1.3 Accessible In addition to the requirer when installed, shall com California Building Code, developments shall comp
	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions:		Exception: Electric vehicl with the California Buildir Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric vel The charging spaces shal 1. The minimum length of 2. The minimum width of 3. One in every 25 chargir (2438 mm) wide minimum permitted provided the m a.Surface slope for this E units horizontal (2.083 pe 4.106.4.2.2.1.3 Accessible In addition to the requirer when installed, shall com California Building Code, developments shall comp 4.106.4.2.3 EV space requirer
	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions: 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based		Exception: Electric vehicl with the California Buildin Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric vel The charging spaces shal 1. The minimum length of 2. The minimum width of 3. One in every 25 chargin (2438 mm) wide minimum permitted provided the minimum a.Surface slope for this E ^T units horizontal (2.083 per 4.106.4.2.2.1.3 Accessible In addition to the requirent when installed, shall comp California Building Code, developments shall comp 4.106.4.2.3 EV space requirent 208/240-volt dedicated brac (nominal 1-inch inside dia
	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions: 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility is		Exception: Electric vehicl with the California Buildin Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric vel The charging spaces shal 1. The minimum length of 2. The minimum width of 3. One in every 25 chargin (2438 mm) wide minimum permitted provided the minimum permitted provided the minimum a.Surface slope for this EV units horizontal (2.083 per 4.106.4.2.2.1.3 Accessible In addition to the requirent when installed, shall comp California Building Code, developments shall comp 4.106.4.2.3 EV space require 208/240-volt dedicated bras (nominal 1-inch inside dia subpanel and shall termin to the location or the prop- identify the raceway termin
	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions: 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power. 1.2 Where there is evidence suitable to the local enforcing agency		Exception: Electric vehicl with the California Buildin Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric vel The charging spaces shal 1. The minimum length of 2. The minimum width of 3. One in every 25 chargin (2438 mm) wide minimum permitted provided the minimum permitted provided the minimum a.Surface slope for this EV units horizontal (2.083 per 4.106.4.2.2.1.3 Accessible In addition to the requirent when installed, shall comp California Building Code, developments shall comp 4.106.4.2.3 EV space require 208/240-volt dedicated bras (nominal 1-inch inside dia subpanel and shall termin to the location or the prop identify the raceway termis service panel and/ or subp
	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions: 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power. 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4,		Exception: Electric vehicle with the California Buildin Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric vel The charging spaces shal 1. The minimum length of 2. The minimum width of of 3. One in every 25 chargin (2438 mm) wide minimum permitted provided the mi a.Surface slope for this EV units horizontal (2.083 per 4.106.4.2.2.1.3 Accessible In addition to the requirent when installed, shall comp 4.106.4.2.3 EV space require 208/240-volt dedicated bra (nominal 1-inch inside dia subpanel and shall termin to the location or the prop identify the raceway termi service panel and/ or sub- circuit, including branch of reserved to permit installa Exception: A raceway is m
	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions: 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power. 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units		Exception: Electric vehicl with the California Buildin Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric vel The charging spaces shal 1. The minimum length of 2. The minimum width of a 3. One in every 25 chargin (2438 mm) wide minimum permitted provided the mi a.Surface slope for this E ^T units horizontal (2.083 per 4.106.4.2.2.1.3 Accessible In addition to the requirent when installed, shall com California Building Code, developments shall comp 4.106.4.2.3 EV space require 208/240-volt dedicated bra (nominal 1-inch inside dia subpanel and shall termin to the location or the prop identify the raceway termin service panel and/ or sub- circuit, including branch of reserved to permit installa Exception: A raceway is mi EV branch circuit is instal- location of the EV space,
	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water flows to keep water form entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions: 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional (ATOE) we one- and two-family dwellings and townhouses with attached private		Exception: Electric vehicle with the California Buildin Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric vel The charging spaces shal 1. The minimum length of 2. The minimum width of 3. One in every 25 chargir (2438 mm) wide minimum permitted provided the min a.Surface slope for this EV units horizontal (2.083 per 4.106.4.2.2.1.3 Accessible In addition to the requirent when installed, shall comp 4.106.4.2.3 EV space requirent when installed, shall comp 4.106.4.2.3 EV space requirent (nominal 1-inch inside dia subpanel and shall termint to the location or the propri identify the raceway termint service panel and/ or subp circuit, including branch of reserved to permit installa Exception: A raceway is m EV branch circuit is install location of the EV space, California Electrical Code 2.Multiple EV spaces requirent
	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions: 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities. 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-voit branch circuit. The raceway shall not be less than trade size 1		Exception: Electric vehicle with the California Buildin Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric vel The charging spaces shal 1. The minimum length of 2. The minimum width of 3. One in every 25 chargir (2438 mm) wide minimum permitted provided the min a.Surface slope for this EV units horizontal (2.083 per 4.106.4.2.2.1.3 Accessible In addition to the requirent when installed, shall comp 4.106.4.2.3 EV space requirent when installed, shall comp 4.106.4.2.3 EV space requirent 208/240-volt dedicated bras (nominal 1-inch inside dia subpanel and shall termint to the location or the propridentify the raceway termint service panel and/ or subp circuit, including branch of reserved to permit installa Exception: A raceway is m EV branch circuit is install location of the EV space, California Electrical Code 2.Multiple EV spaces requirent termination point and the chargers. Construction do
	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path. 4.106.4.1 exception: Additions and alterations not altering the drainage path. 4.106.4.1 exception: Addition a diterations not altering the drainage path. 4.106.4.1 exception: Addition and alterations not altering the drainage path. 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions: 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power. 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities. 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed caceway to accommodate a d		Exception: Electric vehicle with the California Buildin Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric veh The charging spaces shal 1. The minimum length of 2. The minimum width of a 3. One in every 25 chargin (2438 mm) wide minimum permitted provided the mi a.Surface slope for this EV units horizontal (2.083 per 4.106.4.2.2.1.3 Accessible In addition to the requiren when installed, shall comp 4.106.4.2.3 EV space require 208/240-volt dedicated bra (nominal 1-inch inside dia subpanel and shall termin to the location or the prop identify the raceway termi service panel and/ or subp circuit, including branch or reserved to permit installa Exception: A raceway is n EV branch circuit is instal location of the EV space, a California Electrical Code 2.Multiple EV spaces requi termination point and the chargers. Construction do or future receptacles or E calculations. Plan design
	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions: 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power. 1. Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities. 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-voit branch circuit. The raceway shall not be less than trade size 1 (mominal -inch inside diameter		Exception: Electric vehicle with the California Buildin Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric veh The charging spaces shal 1. The minimum length of 2. The minimum width of a 3. One in every 25 chargin (2438 mm) wide minimum permitted provided the mi a.Surface slope for this EV units horizontal (2.083 per 4.106.4.2.2.1.3 Accessible In addition to the requiren when installed, shall comp 4.106.4.2.3 EV space require 208/240-volt dedicated bra (nominal 1-inch inside dia subpanel and shall termin to the location or the prop identify the raceway termi service panel and/ or subp circuit, including branch of reserved to permit installa Exception: A raceway is n EV branch circuit is instal location of the EV space, a California Electrical Code 2.Multiple EV spaces requi termination point and the chargers. Construction do or future receptacles or E calculations. Plan design Required raceways and re enclosed, inaccessible or
	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions: 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction or stor of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional contained a dedicated 208/240-voit branch circuit. The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed,		Exception: Electric vehicle with the California Buildin Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric veh The charging spaces shal 1. The minimum length of 2. The minimum width of e 3. One in every 25 chargin (2438 mm) wide minimum permitted provided the mi a.Surface slope for this EV units horizontal (2.083 per 4.106.4.2.2.1.3 Accessible In addition to the requiren when installed, shall comp California Building Code, developments shall comp 4.106.4.2.3 EV space require 208/240-volt dedicated bra (nominal 1-inch inside dia subpanel and shall termin to the location or the prop identify the raceway termi service panel and/ or subp circuit, including branch of reserved to permit installa Exception: A raceway is n EV branch circuit is instal location of the EV space, a California Electrical Code. 2.Multiple EV spaces requi termination point and the chargers. Construction do or future receptacles or EV calculations. Plan design Required raceways and ref
	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water form entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions: 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1. Where there is evolence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4.1 may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities. 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to acc		Exception: Electric vehicle with the California Buildin Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric veh The charging spaces shal 1. The minimum length of 2. The minimum width of e 3. One in every 25 chargin (2438 mm) wide minimum permitted provided the mi a.Surface slope for this EV units horizontal (2.083 per 4.106.4.2.2.1.3 Accessible In addition to the requiren when installed, shall comp California Building Code, developments shall comp 4.106.4.2.3 EV space require 208/240-volt dedicated bra (nominal 1-inch inside dia subpanel and shall termin to the location or the prop identify the raceway termi service panel and/ or subp circuit, including branch of reserved to permit installa Exception: A raceway is n EV branch circuit is instal location of the EV space, a California Electrical Code. 2.Multiple EV spaces requi termination point and the chargers. Construction do or future receptacles or EV calculations. Plan design Required raceways and re enclosed, inaccessible or
	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water form entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions: 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is ovidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional cost and circuit. The raceway shall originate at the main service or subpanel and shall terminate into a listed cablent, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-amprer 208/240-volt minimum dedicated branch circuit and		California Building Code, Exception: Electric vehicle with the California Buildin Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric veh The charging spaces shal 1. The minimum length of 2. The minimum width of e 3. One in every 25 chargin (2438 mm) wide minimum permitted provided the mi a.Surface slope for this EV units horizontal (2.083 per 4.106.4.2.2.1.3 Accessible In addition to the requirent when installed, shall comp 4.106.4.2.3 EV space require 208/240-volt dedicated bra (nominal 1-inch inside dia subpanel and shall termin to the location or the prop identify the raceway termi service panel and/ or subp circuit, including branch of reserved to permit installa Exception: A raceway is n EV branch circuit is instal location of the EV space, a California Electrical Code. 2.Multiple EV spaces requi termination point and the chargers. Construction do or future receptacles or EV calculations. Plan design Required raceways and re enclosed, inaccessible or of original construction.
	one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water form entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions: 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is ovidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional cost and circuit. The raceway shall originate at the main service or subpanel and shall terminate into a listed cablent, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-amprer 208/240-volt minimum dedicated branch circuit and		Exception: Electric vehicle with the California Buildin Section 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 Electric veh The charging spaces shal 1. The minimum length of 2. The minimum width of e 3. One in every 25 chargin (2438 mm) wide minimum permitted provided the mi a.Surface slope for this EV units horizontal (2.083 per 4.106.4.2.2.1.3 Accessible In addition to the requiren when installed, shall comp California Building Code, developments shall comp 4.106.4.2.3 EV space require 208/240-volt dedicated bra (nominal 1-inch inside dia subpanel and shall termin to the location or the prop identify the raceway termi service panel and/ or subp circuit, including branch of reserved to permit installa Exception: A raceway is n EV branch circuit is instal location of the EV space, a California Electrical Code. 2.Multiple EV spaces requi termination point and the chargers. Construction do or future receptacles or EV calculations. Plan design Required raceways and re enclosed, inaccessible or



n	Jar	ry 2023)		RSION	••• 	• •	
	A RESPON. PARTY	y y	DAT			3.5 5/8/24	
]	4.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments		PLA	NNIN	G	
		shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.		B	ER	ER	
		NOTES: 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/		NC			
		DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY		/ DESCRIPTION			
[]	4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected		DATE / DI			
		against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency. 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING	N NOTF	DA			
		4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. Exceptions: 1. Excavated soil and land-clearing debris.	RFFN	Y REV#			
		 Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul 	CAIG			ER	ER
		boundaries of the diversion facility. 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during	60		INF RFI #1		
		construction for examination by the enforcing agency. 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.	20	E / DESCI	PLN CO #1/IN		
		 Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream). Identify diversion facilities where the construction and demolition waste 		DATE	54		
		material collected will be taken. 4. Identify construction methods employed to reduce the amount of construction and demolition waste generated. 5. Specify that the amount of construction and demolition waste materials		# >	05.07.		
		diverted shall be calculated by weight or volume, but not by both. 4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation		REV			
		that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1. Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management					
_	 	company. 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in				ORNIA	
		landfills, which do not exceed 3.4 Ibs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a				CALIFORNIA	
		total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in				ARMEL, (8-000
[2	Section 4.408.1 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4 Notes:				Γ 4TH, C/	10-023-00
		1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance				NTER A	APN 0
		with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle). 4.410 BUILDING MAINTENANCE AND OPERATION				NW CARPENTER AT 4TH, CARMEL,	
[]	4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:				N 0	
		 Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure. Operation and maintenance instructions for the following: Equipment and appliances, including water-saving devices and 					
		systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment. b. Roof and yard drainage, including gutters and downspouts.					
		 c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems. e. Water reuse systems. 3. Information from local utility, water and waste recovery providers on 	NATUR		A	K	`
		 methods to further reduce resource consumption, including recycle programs and locations. 4. Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative 	STAMP/SIGNATURE		10)
		humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape and irrigation design and	ST		\bigvee	1	
		controllers which conserve water. 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation. 8. Information on required routine maintenance measures, including, but not	S VIS	THEY FFOR THE	. ALL TO NS. IF	THE	T OF
		 limited to, caulking, painting, grading around the building, etc. 9. Information about state solar energy and incentive programs available. 10. A copy of all special inspections verifications required by the enforcing agency or this code. 	IS AND IDEA GES ARE SO ERTY OF LEV	DIECT ONLY. DIECT ONLY. E OR IN PAR ER WITHOUT	IS BUILDERS NDERTAKEN THESE PLAI	SE, IT IS THE NER AND/OR	EWIS BUILDE IMENCEMEN ACTIVITIES.
[11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures. 12. Information and/or drawings identifying the location of grab bar reinforcements. 	GNS, CONCEP D IN THESE PA ECTUAL PROF	WITH THIS PROJUCT STATUTION OF THIS PROJUCT STATUTION OF THIS PROJUCT STATUTION OF THE STATUTION OF T	VEENT OF LEW HAVE BEEN UI ACCURACY OF	STANCES ARI TY OF THE OW	ORE THE CONNETRUCTION
		4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper,	ALL DESI REPRESENTE THE INTELL	CONNECTION MAY NOT BE U ANY PROPOS	WRITTEN CON ATTEMPTS ENSURE THE	CIRCUM CIRCUM RESPOSIBILIT	CUNTKAULUK WRITING BEH ANY CO
		corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seg. are note required to		741	1		
		Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of DIVISION 4.5 ENVIRONMENTAL QUALITY		0ERS 8-8447	A 93923	168	
		SECTION 4.501 GENERAL 4.501.1 Scope		ВU SE	L CA	250 7	
		The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. SECTION 4.502 DEFINITIONS		LEWIS	CARMEL C	(831)	
		5.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E)	e	CA			
		not considered base building elements. COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not		7		BUILD	
		include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.				SIGN + E	
		DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.				DE	
			1	_			

A-N 1

N/A RESPON PARTY		
	MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum by adding a compound to the "Base Reactive Organic (compound added, expressed to hundredths of a gram)	Gas (ROG) Mixture" per weight of
	Note: MIR values for individual compounds and hydrod Title 17, Sections 94700 and 94701.	carbon solvents are specified in CCR,
	MOISTURE CONTENT. The weight of the water in wood weight of the oven-dry wood. PRODUCT-WEIGHTED MIR (PWMIR). The sum of all we	
	product subject to this article. The PWMIR is the total p hundredths of a gram of ozone formed per gram of pro	product reactivity expressed to
	packaging). Note: PWMIR is calculated according to equations four	
	(a). REACTIVE ORGANIC COMPOUND (ROC). Any compou to contribute to ozone formation in the troposphere.	nd that has the potential, once emitted,
	VOC. A volatile organic compound (VOC) broadly defin on carbon chains or rings with vapor pressures greater	
	room temperature. These compounds typically contain nitrogen and other elements. See CCR Title 17, Section	
	 4.503 FIREPLACES 4.503.1 GENERAL. Any installed gas fireplace shall be type. Any installed woodstove or pellet stove shall com 	
	Performance Standards (NSPS) emission limits as application limits as application limits and the service of the	licable, and shall have a permanent limits. Woodstoves, pellet stoves
	and fireplaces shall also comply with applicable local of 4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTIO	
	CONSTRUCTION. At the time of rough installation	
	and other related air distribution component plastic, sheet metal or other methods acceptable to the	
	 amount of water, dust or debris which may enter the sy 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Fin section. 	
	4.504.2.1 Adhesives, Sealants and Caulks. Adhe project shall meet the requirements of the following	sives, sealant and caulks used on the standards unless more stringent
	local or regional air pollution or air quality man 1. Adhesives, adhesive bonding primers,	agement district rules apply: adhesive primers, sealants, sealant
	primers and caulks shall comply control or air quality management district rules where SCAQMD Rule 1168 VOC limits, as shown in Table 4.50	with local or regional air pollution applicable or 4 1 or 4 504 2 as applicable
	Such products also shall comply with the Ru certain toxic compounds (
	chloride, perchloroethylene and aerosol products, as specified in Subsection 2 below.	tricloroethylene), except for
	2. Aerosol adhesives, and smaller unit siz caulking compounds (in units of produ weigh more than 1 pound and do not consist of more	zes of adhesives, and sealant or uct, less packaging, which do not than 16 fluid
	ounces) shall comply with statewide VOC standards an prohibitions on use of certain toxic cor	nd other requirements, including mpounds, of California Code
	of Regulations, Title 17, comme 4.504.2.2 Paints and Coatings. Architectural pair	ncing with section 94507. nts and coatings shall comply with
	VOC limits in Table 1 of the ARB Architectural S shown in Table 4.504.3, unless more stringent local lim for coatings that do not meet the definitions for the spe	
	in Table 4.504.3 shall be determined by classifying the	
		rd, Suggested Control Measure, and
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p	VOC limit in Table 4.504.3 Table and coatings shall meet the
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 9 jurisdiction of the Bay Area Air Quality Managem	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone) of California Code of 94520; and in areas under the ment District additionally comply with
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 9 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of California Code of 94520; and in areas under the nent District additionally comply with ion 8, Rule 49. with this section shall be provided
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain to depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 9 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Docu limited to, the following: 1. Manufacturer's product specification.	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone) of California Code of 94520; and in areas under the nent District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain the depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 5 jurisdiction of the Bay Area Air Quality Management the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doce limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product com-	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of California Code of 94520; and in areas under the nent District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain the depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 5 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doce limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product compliance TABLE 4.504.1 - ADHESIVE VO	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of California Code of 94520; and in areas under the nent District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not ntainers.
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain the depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 5 jurisdiction of the Bay Area Air Quality Management the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doce limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product com-	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of California Code of 94520; and in areas under the nent District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not ntainers.
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain the depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 9 jurisdiction of the Bay Area Air Quality Management the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doct limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product compounds ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of California Code of 94520; and in areas under the nent District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not ntainers. OC LIMIT1,2 in Grams per Liter) 50
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain the depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 9 jurisdiction of the Bay Area Air Quality Management the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doct limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product compounds TABLE 4.504.1 - ADHESIVE VO (Less Water and Less Exempt Compounds ARCHITECTURAL APPLICATIONS	VOC limit in Table 4.504.3 points and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of California Code of 94520; and in areas under the nent District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not ntainers.
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain the depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 5 jurisdiction of the Bay Area Air Quality Management the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doct limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product compounds ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of of California Code of 94520; and in areas under the ment District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not ntainers. OC LIMIT1,2 in Grams per Liter) 50 50
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain in depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 9 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doct limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product com TABLE 4.504.1 - ADHESIVE VO (Less Water and Less Exempt Compounds ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES RUBBER FLOOR ADHESIVES	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of 94520; and in areas under the ment District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not Intainers. OC LIMIT1,2 in Grams per Liter) 50 150 60
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain to depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 9 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doct limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product con TABLE 4.504.1 - ADHESIVE VO (Less Water and Less Exempt Compounds ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES WOOD FLOORING ADHESIVES	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of California Code of 94520; and in areas under the pent District additionally comply with ion ion 8, Rule 49. with this section shall be provided umentation may include, but is not ntainers. OC LIMIT1,2 in Grams per Liter) 50 150 100
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain in depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 9 jurisdiction of the Bay Area Air Quality Management the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doct limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product compounds ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of 94520; and in areas under the ment District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not Intainers. OC LIMIT1,2 in Grams per Liter) 100 60 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain to depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 9 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doct limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product con TABLE 4.504.1 - ADHESIVE VO (Less Water and Less Exempt Compounds ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES CERAMIC TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES DRYWALL & PANEL ADHESIVES	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of 94520; and in areas under the ment District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not Intainers. OC LIMIT1,2 in Grams per Liter) VOC LIMIT 50 150 60 50
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain indepleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 9 jurisdiction of the Bay Area Air Quality Management the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doct limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product compliance at the request of the enforcing agency. Doct limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product compounds ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES VCT & ASPHALT TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of 94520; and in areas under the nent District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not ntainers. OC LIMIT1,2 in Grams per Liter) 0 100 60 50 100 60 50
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 3 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doct limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product cor TABLE 4.504.1 - ADHESIVE VO (Less Water and Less Exempt Compounds ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES CERAMIC TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone toxic compounds and ozone of California Code of 94520; and in areas under the ment District additionally comply with ion ent District additionally comply with ion 8, Rule 49. with this section shall be provided unentation may include, but is not ntainers. OC LIMIT1,2 in Grams per Liter) VOC LIMIT 50 50 60 50
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain in depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 9 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doct limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product con TABLE 4.504.1 - ADHESIVE VO (Less Water and Less Exempt Compounds ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES RUBBER FLOOR ADHESIVES RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES CERAMIC TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of California Code of 94520; and in areas under the ment District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not Intainers. OC LIMIT1,2 in Grams per Liter) VOC LIMIT 50 100 60 50 100 60 50 100 60 50 100 60 50 100 60 50 70
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain in depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 9 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doct limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product con TABLE 4.504.1 - ADHESIVE VO (Less Water and Less Exempt Compounds ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES VCT & ASPHALT TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of California Code of 94520; and in areas under the ment District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not with this section shall be provided umentation may include, but is not ntainers. OC LIMIT1,2 in Grams per Liter) in Grams per Liter) 50 50 50 60 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 50 70 100
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Sectio requirements, including prohibitions on use of certain 1 depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 9 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doct limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product con TABLE 4.504.1 - ADHESIVE VO (Less Water and Less Exempt Compounds ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES VCT & ASPHALT TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of California Code of 94520; and in areas under the ment District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not Intainers. OC LIMIT1,2 in Grams per Liter) VOC LIMIT 50 100 60 50 100 60 50 100 60 50 100 60 50 100 60 50 70
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Sectio requirements, including prohibitions on use of certain i depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 9 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doct limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product cor TABLE 4.504.1 - ADHESIVE VO (Less Water and Less Exempt Compounds ARCHITECTURAL APPLICATIONS NDOOR CARPET ADHESIVES OUTDOOR CARPET ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES SUBFLOOR ADHESIVES VCT & ASPHALT TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES DRYWALL & PANEL ADHESIVES DRYWALL & PANEL ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of California Code of 94520; and in areas under the nent District additionally comply with ion and the section shall be provided umentation may include, but is not Intainers. OC LIMIT1,2 an Grams per Liter) VOC LIMIT 50 50 100 60 50
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain in depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 9 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doct limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product com- limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product com- depleting substances, and Less Exempt Compounds ARCHITECTURAL APPLICATIONS NDOOR CARPET ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES OUTDOOR CARPET ADHESIVES VOOD FLOORING ADHESIVES SUBFLOOR ADHESIVES SUBFLOOR ADHESIVES VCT & ASPHALT TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES DRYWALL & PANEL ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of California Code of 94520; and in areas under the nent District additionally comply with ion antisers. with this section shall be provided umentation may include, but is not ntainers. VOC LIMIT in Grams per Liter) VOC LIMIT 50 50 100 60 50 50 50 50 50 50 60 50 50 50
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 9 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doct limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product con TABLE 4.504.1 - ADHESIVE VO (Less Water and Less Exempt Compounds ARCHITECTURAL APPLICATIONS NDOOR CARPET ADHESIVES OUTDOOR CARPET ADHESIVES OUTDOOR CARPET ADHESIVES RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES CERAMIC TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SUNGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING ABS WELDING	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone (b) of California Code of 94520; and in areas under the nent District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not ntainers. OC LIMIT1,2 in Grams per Liter) VOC LIMIT 50 50 50 60 100 60 50
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 3 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doct limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product con TABLE 4.504.1 - ADHESIVE VO (Less Water and Less Exempt Compounds ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES CERAMIC TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES STRUCTURAL GLAZING ADHESIVES S	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of California Code of 94520; and in areas under the ment District additionally comply with ion ent District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not ntainers. VCC LIMIT1,2 in Grams per Liter) VOC LIMIT 50 50 60 50 490
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain ti- depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 9 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doct limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product cord TABLE 4.504.1 - ADHESIVE VO (Less Water and Less Exempt Compounds ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES CERAMIC TILE ADHESIVES CERAMIC TILE ADHESIVES COVE BASE ADHESIVES COVE BASE ADHESIVES COVE BASE ADHESIVES COVE BASE ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING ABS WELDING PLASTIC CEMENT WELDING ADHESIVE PRIMER FOR PLASTIC	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of California Code of 94520; and in areas under the nent District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not ntainers. C LIMIT1,2 in Grams per Liter) VOC LIMIT 50 100 60 50 100 60 50 100 60 50 50 50 100 60 510 490 325
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain in depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 3 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doci limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product cor TABLE 4.504.1 - ADHESIVE VO (Less Water and Less Exempt Compounds ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES WOOD FLOORING ADHESIVES SUBFLOOR ADHESIVES CERAMIC TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES COVE BASE ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING ABS WELDING ABS WELDING ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of California Code of 94520; and in areas under the nent District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not ntainers. C LIMIT1,2 in Grams per Liter) VOC LIMIT 50 100 60 50 100 60 50 100 60 50 50 50 100 60 510 490 325
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain 1 depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 3 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doci limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product con TABLE 4.504.1 - ADHESIVE VO (Less Water and Less Exempt Compounds ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES VCT & ASPHALT TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING ABS WELDING PLASTIC CEMENT WELDING ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE STRUCTURAL SPECIFIC APPLICATIONS PVC WELDING ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE STRUCTURAL SPECIFIC APPLICATIONS	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of California Code of 94520; and in areas under the ment District additionally comply with io 8, Rule 49. with this section shall be provided umentation may include, but is not Intrainers. VCC LIMIT1,2 sin Grams per Liter) VOC LIMIT 50 100 60 50 100 60 50 100 60 50 100 60 510
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 3 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doci limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product con TABLE 4.504.1 - ADHESIVE VO (Less Water and Less Exempt Compounds ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES VCT & ASPHALT TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES DRYWALL & PANEL ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING ABS WELDING PLASTIC CEMENT WELDING ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE	VOC limit inTable 4.504.3paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of California Code of 94520; and in areas under the hent District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is notntainers.VC LIMIT1,2in Grams per Liter)VOC LIMIT50506050506050
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain 1 depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 3 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification of compliance at the request of the enforcing agency. Doci limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product compounds ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES CERAMIC TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES COVE BASE ADHESIVES COVE BASE ADHESIVES COVE BASE ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING ABS WELDING PLASTIC CEMENT WELDING ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE SUBSTRATE SPECIFIC APPLICATIONS METAL TO METAL	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94552(a)(2) and other toxic compounds and ozone (9520) and in areas under the meet District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not ntainers. VOC LIMIT 1,2 in Grams per Liter) VOC LIMIT 50 50 60 50
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain 1 depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 5 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doci limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product con TABLE 4.504.1 - ADHESIVE VO (Less Water and Less Exempt Compounds ARCHITECTURAL APPLICATIONS NDOOR CARPET ADHESIVES CARPET PAD ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES SUBFLOOR ADHESIVES SUBFLOOR ADHESIVES VCT & ASPHALT TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING CPVC WELDING ABS WELDING PLASTIC CEMENT WELDING ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE SUBSTRATE SPECIFIC APPLICATIONS METAL TO METAL PLASTIC FOAMS POROUS MATERIAL (EXCEPT WOOD) WOOD	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone (94520); and in areas under the nent District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not ntainers. VCC LIMIT1,2 in Grams per Liter) VOC LIMIT 50 50 65 50 65 50 80 250 VE 140 250
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain 1 depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 5 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doct limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product con TABLE 4.504.1 - ADHESIVE VO (Less Water and Less Exempt Compounds ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES SUBFLOOR ADHESIVES SUBFLOOR ADHESIVES VCT & ASPHALT TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING ABS WELDING PLASTIC CEMENT WELDING ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE SUBSTRATE SPECIFIC APPLICATIONS POROUS MATERIAL (EXCEPT WOOD)	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone (9620); and in areas under the nent District additionally comply with ion 8, Rule 49. with this section shall be provided umentation may include, but is not ntainers. CLIMIT1,2 in Grams per Liter) VOC LIMIT 50 50 65 50 <
	shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol p Product-weighted MIR Limits for ROC in Section requirements, including prohibitions on use of certain 1 depleting substances, in Sections 94522(e)(1) and (f)(1) Regulations, Title 17, commencing with Section 5 jurisdiction of the Bay Area Air Quality Managem the percent VOC by weight of product limits of Regulat 4.504.2.4 Verification. Verification of compliance at the request of the enforcing agency. Doci limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product con TABLE 4.504.1 - ADHESIVE VO (Less Water and Less Exempt Compounds ARCHITECTURAL APPLICATIONS NDOOR CARPET ADHESIVES CARPET PAD ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES SUBFLOOR ADHESIVES SUBFLOOR ADHESIVES VCT & ASPHALT TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS PVC WELDING CPVC WELDING CPVC WELDING ABS WELDING PLASTIC CEMENT WELDING ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE SPECIAL PURPOSE CONTACT ADHESIVE SUBSTRATE SPECIFIC APPLICATIONS METAL TO METAL PLASTIC FOAMS POROUS MATERIAL (EXCEPT WOOD) WOOD	VOC limit in Table 4.504.3 paints and coatings shall meet the on 94522(a)(2) and other toxic compounds and ozone of California Code of 94520; and in areas under the ment District additionally comply with ion with this section shall be provided umentation may include, but is not ntainers. C LIMIT1,2 in Grams per Liter) VOC LIMIT 50<

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y N/A RESPON. PARTY

GRAMS OF VO EXEMPT COMF COATING CATE FLAT COATING NON-FLAT COA NONFLAT-HIGH SPECIALTY CO. ALUMINUM RO BASEMENT SP BITUMINOUS R BITUMINOUS R BOND BREAKE CONCRETE CL CONCRETE/MA DRIVEWAY SEA DRY FOG COAT FAUX FINISHIN FIRE RESISTIV FLOOR COATIN FORM-RELEASE **GRAPHIC ARTS** HIGH TEMPERAT INDUSTRIAL MA LOW SOLIDS CO MAGNESITE CEN MASTIC TEXTUR METALLIC PIGM MULTICOLOR C PRETREATMEN PRIMERS, SEAL REACTIVE PENE RECYCLED COA ROOF COATING RUST PREVENT SHELLACS CLEAR OPAQUE SPECIALTY PRI UNDERCOATER STAINS STONE CONSOL SWIMMING POC TRAFFIC MARKI TUB & TILE REFI WATERPROOFI WOOD COATING WOOD PRESER ZINC-RICH PRIM 1. GRAMS OF & EXEMPT COM 2. THE SPECIF LIMITS ARE LIS 3. VALUES IN TH SPECIFIED BY ARCHITECTUR 1, 2008. MORE I RESOURCES BOARD.

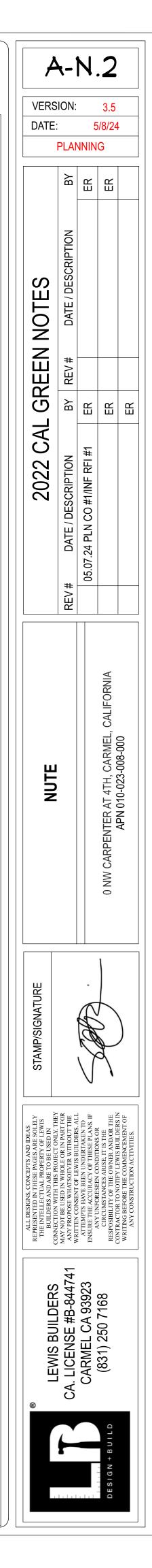
TABLE 4.504.2 - SEALANT VOC LI	MIT
(Less Water and Less Exempt Compounds in G	irams per Liter)
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

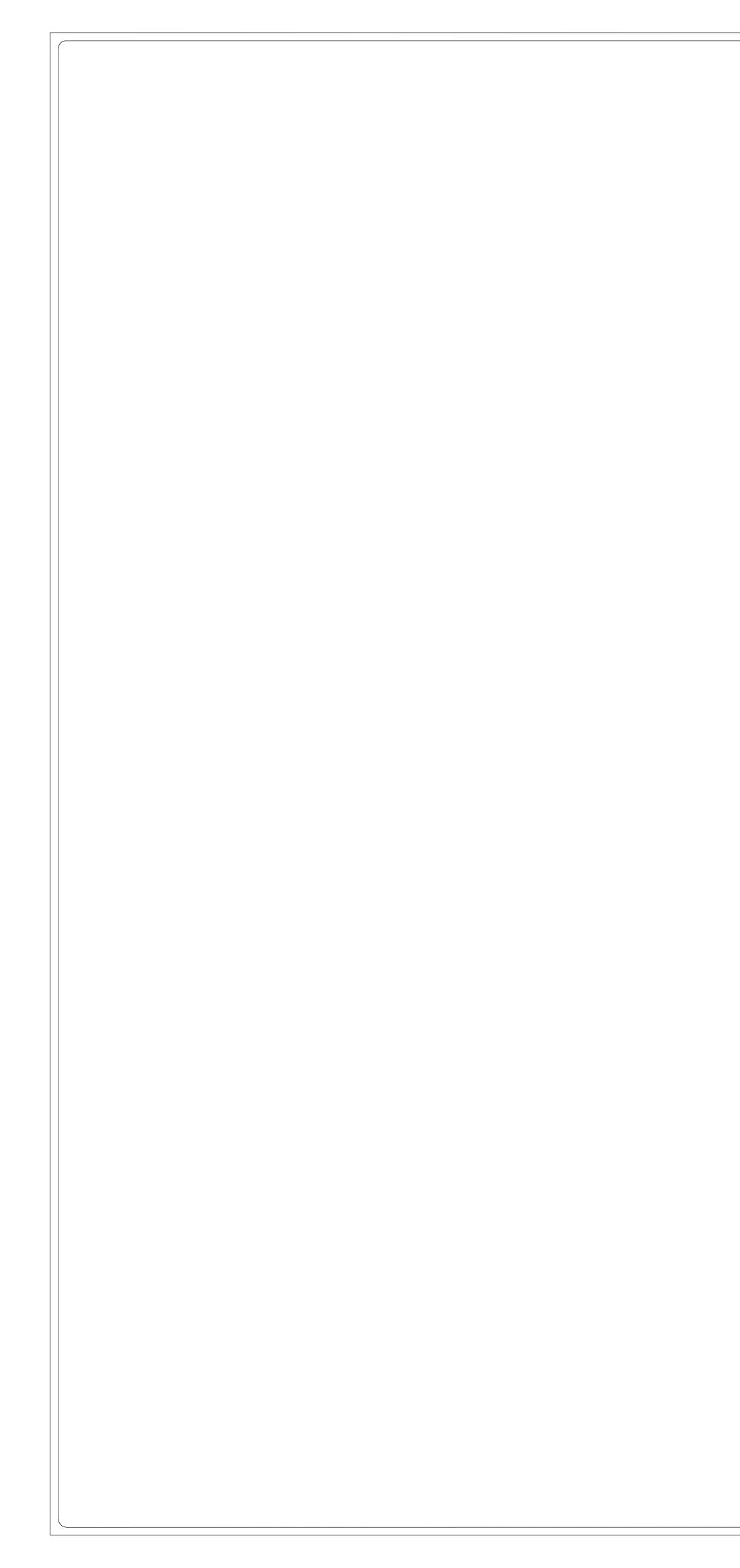
TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS2.3

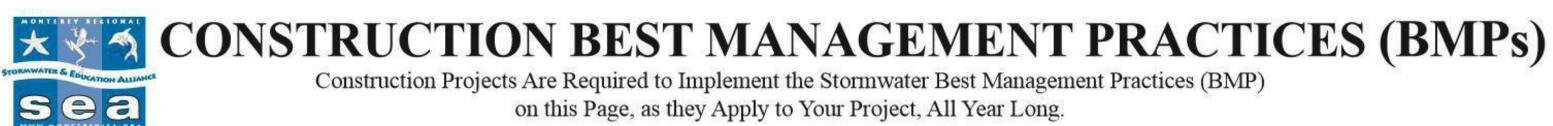
POUNDS EGORY	VOC LIMIT
S	50
ATINGS	100
I GLOSS COATINGS	150
ATINGS	
OF COATINGS	400
ECIALTY COATINGS	400
OOF COATINGS	50
OOF PRIMERS	350
RS	350
RING COMPOUNDS	350
SONRY SEALERS	100
LERS	50
INGS	150
G COATINGS	350
E COATINGS	350
IGS	100
E COMPOUNDS	250
COATINGS (SIGN PAINTS)	500
TURE COATINGS	420
	250
OATINGS1	120
	450
RE COATINGS	100
IENTED COATINGS	500
OATINGS	250
T WASH PRIMERS	
	420
ERS, & UNDERCOATERS	100
ETRATING SEALERS	350
ATINGS	250
S	50
ATIVE COATINGS	250
	700
	730
MERS, SEALERS &	550
MERS, SEALERS & RS	100
	250
LIDANTS	450
DL COATINGS	340
ING COATINGS	100
INISH COATINGS	420
NG MEMBRANES	250
GS	275
VATIVES	350
/ERS	340
OC PER LITER OF COATING, I	NCLUDING WATER
IED LIMITS REMAIN IN EFFECT TED IN SUBSEQUENT COLUMI	NS IN THE TABLE.
HIS TABLE ARE DERIVED FRO THE CALIFORNIA AIR RESOUR AL COATINGS SUGGESTED CO INFORMATION IS AVAILABLE F OARD.	CES BOARD, ONTROL MEASURE, FEB.

N/A	RESPON. PARTY			
		TABLE 4.504.5 - FORMALDEHYDE	_	
		MAXIMUM FORMALDEHYDE EMISSIONS IN PA		
		PRODUCT HARDWOOD PLYWOOD VENEER CORE	0.05	
		HARDWOOD PLYWOOD COMPOSITE CORE	0.05	
		PARTICLE BOARD	0.09	
			0.11	
		THIN MEDIUM DENSITY FIBERBOARD2 1. VALUES IN THIS TABLE ARE DERIVED FRO	M THOSE	
		SPECIFIED BY THE CALIF. AIR RESOURCES B TOXICS CONTROL MEASURE FOR COMPOSIT	E WOOD AS	
		TESTED IN ACCORDANCE WITH ASTM E 1333 ADDITIONAL INFORMATION, SEE CALIF. CODE	OF	
		REGULATIONS, TITLE 17, SECTIONS 93120 TH 93120.12.		
		2. THIN MEDIUM DENSITY FIBERBOARD HAS THICKNESS OF 5/16" (8 MM).	AMAXIMUM	
		DIVISION 4.5 ENVIRONMENTAL		
		(continued)		
		4.504.3 CARPET SYSTEMS. All carpet installed in the building in		
		requirements of the California Department of Public Health, "Sta Testing and Evaluation of Volatile Organic Chemical Emissions f	rom Indoor Sources Using	
		Environmental Chambers," Version 1.2, January 2017 (Emission California Specification 01350) See California Department of Public Health's website for certification	-	
		labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/		
		4.504.3.1 Carpet cushion. All carpet cushion installe meet the requirements of the California Department of Public I	d in the building interior shall	
		•	al Emissions from Indoor	on
		testing method for California Specification 01350) See California Department of Public Health's website for o		
		testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHL		
		4.504.3.2 Carpet adhesive. All carpet adhesive shall meet 4.504.1.		
		4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient floor of floor area receiving resilient flooring shall meet the requirement		
		Department of Public Health, "Standard Method for the Testing a Organic Chemical Emissions from Indoor Sources Using Enviro	nmental Chambers," Version	
		1.2, January 2017 (Emission testing method for California Specie See California Department of Public Health's website for certification		
		labs. hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ		
		4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, pa density fiberboard composite wood products used on the	interior or exterior of the	
		Toxics Control Measure for Composite Wood (17 CCR 93120 et s	as specified in ARB's Air eq.), by or before the	
		dates specified in those sections, as shown in Table 4.504.5 4.504.5.1 Documentation. Verification of compliance with provided as requested by the enforcing agency. D	this section shall be ocumentation shall include at	
		least one of the following: 1. Product certifications and specifications.	ocumentation shall include at	
		 Chain of custody certifications. Product labeled and invoiced as meeting the Co 	mposite Wood Products	
		regulation (see CCR, Title 17, Section 9 4. Exterior grade products marked as meeting the	93120, et seq.).	
			Australian AS/NZS 2269, 0121, CSA 0151, CSA	
		0153 and CSA 0325 standards. 5. Other methods acceptable to the enforcing ager		
		4.505 INTERIOR MOISTURE CONTROL		
		4.505.1 General. Buildings shall meet or exceed the provisions of Standards Code.	of the California Building	
		4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundation vapor retarder by California Building Code, Chapter 19, or concrete statements of the statement of		
		required to have a vapor retarder by the California Residential C comply with this section.	-	
		4.505.2.1 Capillary break. A capillary break shall be instal least one of the following:	·	
			n direct contact with	
		concrete and a concrete mix design, which will address bleeding used. For additional information, see American Concrete	g, shrinkage, and curlin	ng, shall be
		Institute, ACI 302.2R-06. 2. Other equivalent methods approved by the enfo 3. A slab design specified by a licensed design pro		
		4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Buildi of water damage shall not be installed. Wall and floor framing sh	ng materials with visible signs	
		the framing members exceed 19 percent moisture content. Mois verified in compliance with the following:		
		1. Moisture content shall be determined with either a pro	be-type or contact-type ethods may be approved	
		by the enforcing agency and shall satisfy requirements 101.8 of this code.	found in Section	
		2. Moisture readings shall be taken at a point 2 feet (610 mm) from the grade stamped end of each piece verified.		
			rmed on wall and floor cing agency provided at	
		the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moistur		
		or allowed to dry prior to enclosure in wall or floor cavities. Wet products shall follow the manufacturers' drying recommendatio 4.506 INDOOR AIR QUALITY AND EXHAUST		
		4.506.1 Bathroom exhaust fans. Each bathroom shall be mecha comply with the following:	nically ventilated and shall	
		1. Fans shall be ENERGY STAR compliant and be ducted building.	to terminate outside the	
		2. Unless functioning as a component of a whole house must be controlled by a humidity control.	ventilation system, fans	
		a. Humidity controls shall be capable of adjustmer humidity range less than or equal to 50% to a	t between a relative a maximum of 80%. A	
		humidity control may utilize manual or automatic means of b. A humidity control may be a separate componer	adjustment. It to the exhaust fan and	
		is not required to be integral (i.e., built-in) Notes: 1. For the purposes of this section, a		ins a
		bathtub, shower or tub/shower com 2. Lighting integral to bathroom exhaust fans shal		
		Energy Code. 4.507 ENVIRONMENTAL COMFORT		
		4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. He systems shall be sized, designed and have their equipment sele		
		methods: 1. The heat loss and heat gain is established according t 2011 (Regidential		
		- 2011 (Residential Load Calculation), ASHRAE h equivalent design software or methods.		
		2. Duct systems are sized according to ANSI/ACCA 1 Ma Duct Systems), ASHRAE handbooks or other software or methods		
		software or methods. 3. Select heating and cooling equipment according to AN 2014 (Residential Equipment Selection), or othe		
		software or methods. Exception: Use of alternate design temperatures necess		
		functions are acceptable.	,	

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS 702 QUALIFICATIONS
702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally
or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained
and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not
limited to the following: 1. State certified apprenticeship programs.
 Public utility training programs. Training programs sponsored by trade, labor or statewide energy consulting or
verification organizations. 4. Programs sponsored by manufacturing organizations.
5. Other programs acceptable to the enforcing agency. 702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency,
the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:
 Certification by a national or regional green building program or standard publisher. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy
auditors. 3. Successful completion of a third party apprentice training program in the appropriate trade.
4. Other programs acceptable to the enforcing agency. Notes:
1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with
this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate Energy (UEDC)
Energy Rating System (HERS). [BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.
 Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
703 VERIFICATIONS 703.1 DOCUMENTATION. Documentation used to show compliance with this code
shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing
agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be
specified in the appropriate section or identified applicable checklist.









& WASTE MANAGEMENT

Non-Hazardous Materials □ Berm and cover stockpiles of □ Cover waste disposal sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days. □ Use (but don't overuse) reclaimed water for dust

control. Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours. Arrange for appropriate disposal of all hazardous wastes.

- Waste Management containers securely with tarps at the end of every work day and during wet weather. Check waste disposal
- containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site
- Clean or replace portable toilets, and inspect them frequently for leaks and spills. Dispose of all wastes and
- debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- **Construction Entrances and** Perimeter Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to
- sufficiently control erosion and sediment discharges from site and tracking off site. Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never
- hose down streets to clean up tracking.



EQUIPMENT MANAGEMENT & SPILL CONTROL

- Maintenance and Parking Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance. repair jobs, and vehicle and equipment washing off site. □ If refueling or vehicle
- maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface
- waters Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.



Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods
- and/or rags). Sweep up spilled dry materials immediately. Do not try to
- bury them. Clean up spills on dirt areas by digging up and properly
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24

EARTHWORK & CONTAMINATED SOILS

- Erosion Control Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- Protect storm drain inlets, (absorbent materials, cat litter, courses with appropriate BMPs, such as gravel bags,
- fiber rolls, berms, etc. wash them away with water, or Prevent sediment from
- disposing of contaminated soil. fences, or sediment basins.
 - where it will not collect into the street. Transfer excavated materials to dump trucks on the site, not in
 - the street. Contaminated Soils □ If any of the following
 - conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - · Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks Abandoned wells
 - · Buried barrels, debris, or trash

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

hours).

	MPV	VN	1D W	ΆΤ	EF
Table No. 1 Existing Prope	rty Fixtur	e Co	unt		
(All fixtures before	•				
Type of Fixture	Fixture		Value		Co
Washbasin	2	x	1.0	=	2
Two Washbasins in the Master Bathroom*		x	1.0	=	
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	1	x	1.8	=	1
Toilet, High Efficiency (HET)	1	- x	1.3	=	1
Toilet, Ultra High Efficiency (UHET)		- x	0.8	=	
Urinal, Pint (0.125 gallon maximum)		x	0.1	=	
Urinal, Zero Water Consumption		- x	0.0	=	
Masterbath (one per Dwelling): Tub & Shower Stall*		- x	3.0	=	
Large Bathtub (may have Showerhead above)		- x	3.0	=	
Standard Bathtub or Shower Stall (one head)	2	- x	2.0	=	4
Shower, each additional (heads, body spray, etc)		x	2.0	=	
Shower system, Rain Bar/ Custom Shower (specs)		x	2.0	=	
Kitchen Sink (with optional Dishwasher)	1	x	2.0	=	2
Kitchen Sink with High Efficiency Dishwasher		x	1.5	=	
Dishwasher, each additional (with optional sink)		x	2.0	=	
Dishwasher, High Efficiency (with opt. sink)		x	1.5	=	
Laundry Sink/Utility Sink (one per Site)	1	x	2.0	=	2
Clothes Washer	1	x	2.0	=	2
Clothes Washer, (HEW) 5.0 water factor or less		x	1.0	=	
Bidet		x	2.0	=	
Bar Sink		x	1.0	=	
Entertainment Sink		x	1.0	=	
Vegetable Sink		x	1.0	=	
Swimming Pool (each 100 sq-ft of pool surface)		x	1.0	=	
OtherInstant Hot Water		x	-0.5	=	
Other		x		=	
Other		- x			
Other		 x			

A-N.3

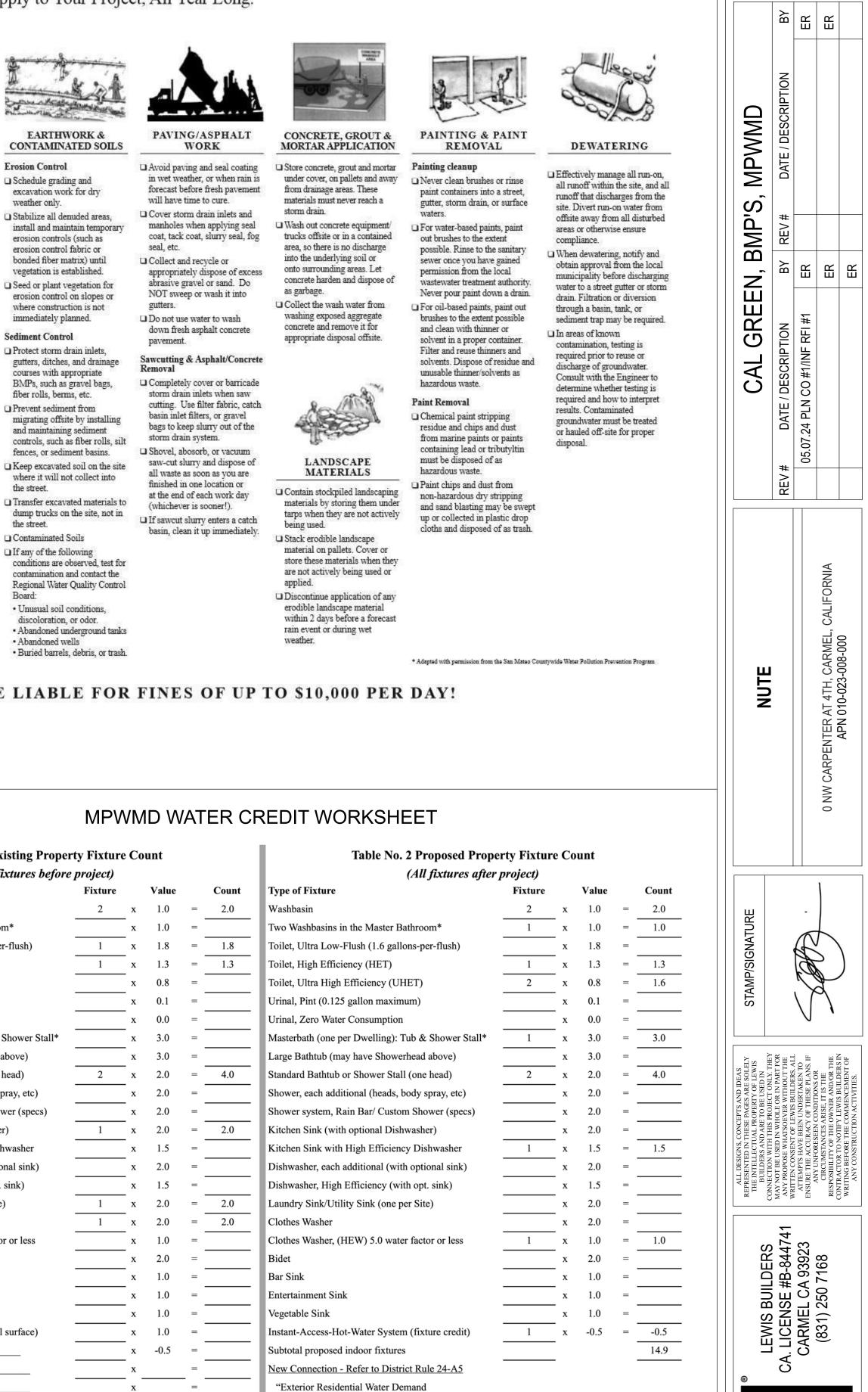
PLANNING

3.5

5/8/24

VERSION:

DATE:



e Master Bathroom Credit. (Tub

TOTAL

= 15.1

Swimming Pool (each 100 sq-ft of pool surface)

Calculations"

x 1.0 =

= 14.9

FIRE DEPARTMENT NOTES

PL03.1 DRIVEWAYS. (FIRE 007). DRIVEWAY IDENTIFIED IN THIS SECTION IS DEFINED AS A VEHICLE ACCESS THAT SERVES UP TO TWO (2) PARCELS WITH NO MORE THAN TWO (2) RESIDENTIAL UNITS AND ANY NUMBER ON NON-COMMERCIAL OR INDUSTRIAL BUILDINGS ON EACH PARCEL. DRIVEWAYS SHALL NOT BE LESS THAN TWELVE (12) FEET WIDE TRAFFIC LANE AND MINIMUM FOURTEEN (14) FEET WIDE UNOBSTRUCTED CLEARANCE, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN FIFTEEN (15) FEET. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED FIFTEEN PERCENT (15%) WITH A MAXIMUM SIDE SLOPE OF FIVE PERCENT (5%). WHERE DRIVEWAY GRADES ARE EIGHT PERCENT (8%) OR LESS, AN ALL-WEATHER SURFACE SUCH AS AN AGGREGATE BASE SHALL MEET MINIMUM FIRE REQUIREMENTS. OTHER TYPES OF MATERIAL FOR DRIVEWAYS MAY BE REQUIRED BY MONTEREY COUNTY CODE. WHERE THE GRADE EXCEEDS EIGHT PERCENT (8%), A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 FEET OF ASPHALTIC CONCRETE ON 0.34 FEET OF AGGREGATE BASE SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS FORTY THOUSAND (40,000) POUNDS, AND BE ACCESSIBLE BY CONVENTIONAL-DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS NINETY (90) DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE TWENTY-FIVE (25) FEET. FOR DRIVEWAYS WITH TURNS GREATER THAN NINETY (90) DEGREES, THE MINIMUM HORIZONTAL INSIDE RADIUS CURVATURE SHALL BE TWENTY-EIGHT (28) FEET. FOR ALL DRIVEWAY TURNS, AN ADDITIONAL SURFACE OF FOUR (4) FEET SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING ONE HUNDRED FIFTY (150) FEET IN LENGTH, BUT LESS THAN EIGHT HUNDRED (800) FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS EIGHT HUNDRED (800) FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN FOUR HUNDRED (400)-FOOT INTERVALS. TURNOUTS SHALL BE A MINIMUM OF TWELVE (12) FEET WIDE AND THIRTY (30) FEET LONG WITH A MINIMUM OF TWENTY (25) FOOT TAPER AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF ONE HUNDRED FIFTY (150) FEET OF SURFACE LENGTH AND SHALL BE THIRTY (30) FEET LONG WITH A MINIMUM TWENTY-FIVE (25) FOOT TAPER AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF ONE HUNDRED FIFTY (150) FEET OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN FIFTY (50) FEET OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE FORTY (40) FEET FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD/T IS USED, THE TOP OF THE "T" SHALL BE A MINIMUM OF SIXTY (60) FEET IN LENGTH.

P103.2 GATES. (FIRE 008). ALL GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST THIRTY (30) FEET FROM THE ROADWAY AND SHALL OPEN TO ALLOW A VEHICLE TO STOP WITHOUT OBSTRUCTING TRAFFIC ON THE ROAD. GATE ENTRANCES SHALL BE AT LEAST TWO (2) FEET WIDER THAN THE WIDTH OF THE TRAFFIC LANE BUT IN NO CASE BE LESS THAN FOURTEEN (14) FEET WIDE UNOBSTRUCTED AND UNOBSTRUCTED VERTICAL CLEARANCE OF FIFTEEN (15) FEET. WHERE A ONE-WAY ROAD WITH A SINGLE TRAFFIC LANE PROVIDES ACCESS TO A GATED ENTRANCE, A FORTY (40) FOOT TURNING RADIUS SHALL BE USED. WHERE GATES ARE TO BE LOCKED, THE INSTALLATION OF A KEY BOX OR OTHER ACCEPTABLE MEANS FOR IMMEDIATE ACCESS BY EMERGENCY EQUIPMENT MAY BE REQUIRED.

P103.3 BRIDGES. (FIRE 009). ALL NEW AND RECONSTRUCTED BRIDGES SHALL BE AT LEAST THE WIDTH OF THE ROADBED AND BERMS, BUT IN NO CASE LESS THAN TWELVE (12) FEET WIDE. BRIDGE WIDTH ON ALL ROADS EXCEEDING TERTIARY STANDARDS SHALL NOT BE LESS THAN THE WIDTH OF THE TWO LANES WITH BERMS. ALL BRIDGES SHALL BE DESIGNED FOR HS15-44 LOADING AND HAVE GUARDRAILS. APPROPRIATE SIGNAGE, INCLUDING BUT NOT LIMITED TO, WEIGHT RATINGS OR VERTICAL CLEARANCE LIMITATIONS, AND ONE-WAY ROAD OR SINGLE-LANE ROAD CONDITIONS, SHALL BE PROVIDED AT BOTH ENTRANCES TO ANY BRIDGE. ONE-LANE BRIDGES MAY BE PERMITTED IF THERE IS UNOBSTRUCTED VISIBILITY ACROSS THE ENTIRE BRIDGE, AND TURNOUTS ARE PROVIDED AT BOTH BRIDGE ENDS. THE FIRE AUTHORITY MAY IMPOSE MORE STRINGENT REQUIREMENTS FOR BRIDGES.

P104.2 ADDRESSES FOR BUILDINGS. (FIRE 011). ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH JURISDICTIONAL REQUIREMENTS. EACH OCCUPANCY, INCLUDING DETACHED ACCESSORY DWELLING UNITS (ADU), EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF FOUR-INCH (4") HEIGHT, 1/2- INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE REFLECTIVE AND MADE OF A NONCOMBUSTIBLE MATERIAL. ADDRESS SIGNS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE AND VISIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.

P109.1 STANDARD DEFENSIBLE SPACE REQUIREMENTS. (FIRE O19). REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF ONE HUNDRED (1 00) FEET OR TO THE PROPERTY LINE FROM STRUCTURES, WHICHEVER IS CLOSER, VEGETATION SHALL BE NO TALLER THAN FOUR INCHES (4") HIGH, LIMB TREES SIX FEET UP FROM GROUND. REMOVE LIMBS WITHIN TEN (10) FEET OF CHIMNEYS. ADDITIONAL OR ALTERNATE FIRE PROTECTION APPROVED BY THE FIRE CODE OFFICIAL MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY THE FIRE CODE OFFICIAL AND OTHER JURISDICTIONAL AUTHORITIES.

P110.1 RESIDENTIAL FIRE SPRINKLER SYSTEMS (STANDARD), (FIRE 021), THE BUILDING(S) AND ATTACHED STRUCTURE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR AND COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION.

PLL0.4 RESIDENTIAL FIRE ALARM SYSTEMS. (FIRE 024). THE RESIDENCE SHALL BE FULLY PROTECTED WITH AN APPROVED HOUSEHOLD FIRE WARNING SYSTEM AS DEFINED BY NEPA 72, PLANS AND SPECIFICATIONS FOR THE HOUSEHOLD FIRE WARNING SYSTEM SHALL BE SUBMITTED BY A CALIFORNIA LICENSED C-10 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. HOUSEHOLD FIRE WARNING SYSTEMS INSTALLED IN LIEU OF SINGLE-STATION SMOKE ALARMS REQUIRED BY THE CALIFORNIA RESIDENTIAL CODE SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA RESIDENTIAL CODE.

Q103.2 VERY HIGH HAZARD SEVERITY ZONE. (FIRE 027). ROOFING REQUIREMENTS FOR EXISTING BUILDINGS WITHIN A VERY HIGH HAZARD SEVERITY ZONE WHEN FIFTY PERCENT (50%) OR MORE OF THE ROOF AREA IS REROOFED WITHIN A ONE-YEAR PERIOD AFTER THE ISSUANCE OF A BUILDING PERMIT SHALL BE A MINIMUM CLASS "A" ROOF ASSEMBLY AS DEFINED BY THE INTERNATIONAL BUILDING CODE. WHERE THERE IS NO PERMIT ISSUED, THIS SECTION IS APPLICABLE TO SUCH BUILDINGS CONSTRUCTED AFTER THE EFFECTIVE DATE OF THIS CODE AND TO BUILDINGS WHERE FIFTY PERCENT (50%) OR MORE OF THE ROOF AREA IS REROOFED WITHIN A ONE-YEAR PERIOD AFTER COMMENCING CONSTRUCTION.

GENERAL ARCHITECTURAL NOTES

GENERAL NOTES:

- WORK.
- 2 WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED.
- 3 ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.
- 5 PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

- INCLUDED IN LIVING AREA.
- 3 ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR.
- CALIFORNIA GREEN BUILDING NOTES:
- FORTH IN TABLE 4.504.1, TABLE 4.504.2 AND TABLE 4.504.3.
- REQUEST.
- COMPOUNDS.

CONCRETE NOTES:

- LATEST EDITION OF EITHER THE A.C.I., C.R.C., OR C.B.C.
- 3 ALL CEMENT SHALL BE PORTLAND TYPE I OR TYPE II OF A.S.T.M. (C-150)

- 7 ALL CONSTRUCTION JOINT LOCATIONS SHALL BE APPROVED BY THE ENGINEER.
- DIRECTION U.N.O.
- OF THE ENGINEER BEFORE PLACING OF CONCRETE
- BEFORE CONCRETE IS PLACED.

- THAN 2500 P.S.I
- CONTACT THE ENGINEER BEFORE CONTINUING THIS WORK.

STRUCTURAL HARDWARE:

- CONTACT THE ENGINEER BEFORE CONTINUING THIS WORK.

CARPENTRY

PROJECT, AND IS ICBO APPROVED.

1 THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING

4 WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

1 HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. 2 SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT

4 ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

1 SEPERATE AND RECYCLE ATLEAST 65% OF ALL CONSTRUCTION WASTE.

2 ADHESIVES, SEALANTS, CAULKS, PAINTS, STAINS AND OTHER COATINGS SHALL COMPLY WITH VOC LIMITS SET 3 CANTRACTOR SHALL PROVIDE BUILDING DEPARTMENT WITH MANUFACTURERS PRODUCT SPECIFICATIONS UPON

4 AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC

1 ALL CONCRETE AND REINFORCEMENT SHALL CONFORM TO THE MORE STRINGENT REQUIREMENTS OF THE

2 ALL CONCRETE SHALL ATTAIN A MINIMUM STRENGTH OF 2500 P.S.I. IN 28 DAYS U.N.O. DESIGN MIXTURE SHALL BE 5-1/2 SACK CEMENT PER CUBIC YARD CONCRETE. COARSE AGGREGATE SHALL BE 3/4" U.N.O. THE USE OF A DESIGN PUMP MIXTURE MAY BE SUBSTITUTED IF THE CEMENT RATIO IS INCREASED TO 6 SACKS U.N.O.

4 THERE SHALL BE NO ADMIXTURES USED UNLESS SPECIFIED OR APPROVED BY THE ENGINEER.

5 ALL CONCRETE SHALL BE VIBRATED AND PLACED IN ACCORDANCE WITH A.S.T.M. (C-143) U.N.O.

6 ALL CONCRETE SHALL BE CURED BY KEEPING THE EXPOSED SURFACES CONTINUOUSLY MOIST FOR A 7 DAY PERIOD AND BY USING AN APPROVED CURING COMPOUND AFTER 7 DAY WET CURE.

8 SLABS SHALL NOT EXCEED 20' IN ANY DIRECTION WITHOUT A CONTROL JOINT PERPENDICULAR TO THAT

9 THE ENGINEER SHALL BE NOTIFIED PROMPTLY OF: CONCRETE WHICH SHOWS HONEYCOMBING, SPALLING, CRACKING, OR OTHER SIGNS OF INADEQUATE STRENGTH; LACK, MISPLACEMENT, OR UNDER SIZING OF ANCHOR HARDWARE. ANY UNCERTAINTY ABOUT HARDWARE OR REINFORCEMENT SHALL BE BROUGHT TO THE ATTENTION

10 THE BUILDING INSPECTOR AND, WHEN SPECIFIED, ENGINEER SHALL INSPECT REINFORCEMENT AND HARDWARE

11 ALL FALSEWORK AND FORMING DESIGN AND CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR. FALSEWORK MUST STAY IN PLACE UNTIL CONCRETE REACHES A STRENGTH OF 2000 P.S.I. 12 CONCRETE CYLINDER SAMPLES SHOULD BE TAKEN THROUGHOUT EACH STAGE OF THE FOUNDATION PLACEMENT AND TESTED FOR COMPRESSIVE STRENGTH WHERE MINIMUM REQUIRED STRENGTH IS GREATER

13 ALL CONCEALED BOLTS AND/OR NUTS SHALL BE RE-TIGHTENED PRIOR TO APPLYING COVERINGS 14 HARDWARE SIZE, EMBEDMENT, FASTENERS, AND MEMBERS RECEIVING FASTENERS SHALL MEET THE MOST STRINGENT SPECIFICATION OF THE STANDARD OR SPECIFIC DETAIL. WHERE INTERSECTIONS OF HARDWARE ASSEMBLIES APPEAR TO CONFLICT WITH THE REQUIREMENTS OF ANY INDIVIDUAL STRUCTURAL DETAIL OR INTERFERE WITH STRUCTURAL CONTINUITY, OR UNCERTAINTIES ABOUT INSTALLATION OF THE HARDWARE EXIST.

15 ALL MANUFACTURED METAL CONNECTORS INDICATED IN DRAWINGS ARE "SIMPSON STRONG TIE" UNLESS OTHERWISE SHOWN. SUBSTITUTIONS MAY BE MADE WITH HARDWARE I.C.C RATED TO PERFORM EQUAL OR BETTER THAN THE SPECIFIC SIMPSON HARDWARE CONTRACTOR SHALL TAKE RISK FOR THE SUITABILITY OF ANY SUBSTITUTION HARDWARE NOT SPECIFICALLY AUTHORIZED BY ENGINEER

1 ALL CONCEALED BOLTS AND/OR NUTS SHALL BE RE-TIGHTENED PRIOR TO APPLYING COVERINGS. 2 HARDWARE SIZE, EMBEDMENT, FASTENERS, AND MEMBERS RECEIVING FASTENERS SHALL MEET THE MOST STRINGENT SPECIFICATION OF THE STANDARD OR SPECIFIC DETAIL. WHERE INTERSECTIONS OF HARDWARE ASSEMBLIES APPEAR TO CONFLICT WITH THE REQUIREMENTS OF ANY INDIVIDUAL STRUCTURAL DETAIL OR INTERFERE WITH STRUCTURAL CONTINUITY. OR UNCERTAINTIES ABOUT INSTALLATION OF THE HARDWARE EXIST.

3 ALL MANUFACTURED METAL CONNECTORS INDICATED IN DRAWINGS ARE "SIMPSON STRONG TIE" UNLESS OTHERWISE SHOWN. SUBSTITUTIONS MAY BE MADE WITH HARDWARE I.C.C RATED TO PERFORM EQUAL OR BETTER THAN THE SPECIFIC SIMPSON HARDWARE CONTRACTOR SHALL TAKE RISK FOR THE SUITABILITY OF ANY SUBSTITUTION HARDWARE NOT SPECIFICALLY AUTHORIZED BY ENGINEER.

1 SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION. LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR ICF SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL CONFORM TO CBC 2304.10.1.

2 PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER. 3 GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AITC 117. EACH MEMBER SHALL BEAR AN AITC OR APA-EWS IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD. GLULAM HANGERS NOT SHOWN SHALL BE SIMPSON EG. BEAMS SHALL BE VISUALLY GRADED WESTERN SPECIES INDUSTRIAL GRADE, AND OF THE STRENGTH INDICATED BELOW:

4 PREMANUFACTURED WOOD JOISTS: PREMANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. MANUFACTURED BY THE TRUS JOIST COMPANY, OR AN ENGINEER APPROVED EQUAL. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. JOISTS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE JOIST MANUFACTURER may VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF JOISTS IN WRITING TO THE ARCHITECT/ ENGINEER. PREMANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE

SECTION R311 MEANS OF EGRESS

R311.1 MEANS OF EGRESS DWELLINGS SHALL BE PROVIDED WITH A MEANS OF EGRESS IN ACCORDANCE WITH THIS SECTION. THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. THE REQUIRED EGRESS DOOR SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

R311.2 EGRESS DOOR NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES (813 MM) WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD). THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES (1981 MM) IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

R311.3 FLOORS AND LANDINGS AT EXTERIOR DOORS THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. LANDINGS SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT) EXCEPTION: EXTERIOR BALCONIES LESS THAN 60 SQUARE FEET (5.6 M2) AND ONLY ACCESSED FROM A DOOR ARE PERMITTED TO HAVE A LANDING THAT IS LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL R311.3.1 FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 11/2 INCHES (38 MM) LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL BE NOT MORE THAN 73/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. WHERE EXTERIOR LANDINGS OR FLOORS SERVING THE REQUIRED EGRESS DOOR ARE NOT AT GRADE, THEY SHALL BE PROVIDED WITH ACCESS TO GRADE BY MEANS OF A RAMP IN ACCORDANCE WITH SECTION R311.8 OR A STAIRWAY IN ACCORDANCE WITH SECTION R311.7.

R311.3.2 FLOOR ELEVATIONS AT OTHER EXTERIOR DOORS DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 73/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD. EXCEPTION: A TOP LANDING IS NOT REQUIRED WHERE A STAIRWAY OF NOT MORE THAN TWO RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THAT THE DOOR DOES NOT SWING OVER THE STAIRWAY.

R311.3.3 STORM AND SCREEN DOORS STORM AND SCREEN DOORS SHALL BE PERMITTED TO SWING OVER EXTERIOR STAIRS AND LANDINGS.

R311.4 VERTICAL EGRESS EGRESS FROM HABITABLE LEVELS INCLUDING HABITABLE ATTICS AND BASEMENTS THAT ARE NOT PROVIDED WITH AN EGRESS DOOR IN ACCORDANCE WITH SECTION R311.2 SHALL BE BY ONE OR MORE RAMPS IN ACCORDANCE WITH SECTION R311.8 OR ONE OR MORE STAIRWAYS IN ACCORDANCE WITH SECTION R311.7 OR BOTH. FOR HABITABLE LEVELS OR BASEMENTS LOCATED MORE THAN ONE STORY ABOVE OR MORE THAN ONE STORY BELOW AN EGRESS DOOR, THE MAXIMUM TRAVEL DISTANCE FROM ANY OCCUPIED POINT TO A STAIRWAY OR RAMP THAT PROVIDES EGRESS FROM SUCH HABITABLE LEVEL OR BASEMENT. SHALL NOT EXCEED 50 FEET (15 240 MM).

R311.5 LANDING, DECK, BALCONY AND STAIR CONSTRUCTION AND ATTACHMENT EXTERIOR LANDINGS, DECKS, BALCONIES, STAIRS AND SIMILAR FACILITIES SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES OR SHALL BE DESIGNED TO BE SELF-SUPPORTING. ATTACHMENT SHALL NOT BE ACCOMPLISHED BY USE OF TOENAILS OR NAILS SUBJECT TO WITHDRAWAL.

R311.6 HALLWAYS THE WIDTH OF A HALLWAY SHALL BE NOT LESS THAN 3 FEET (914 MM).

R311.7 STAIRWAYS R311.7.1 WIDTH STAIRWAYS SHALL BE NOT LESS THAN 36 INCHES (914 MM) IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL BE NOT LESS THAN 311/2 INCHES (787 MM) WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES (698 MM) WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES. EXCEPTION: THE WIDTH OF SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.7.10.1.

R311.7.2 HEADROOM THE HEADROOM IN STAIRWAYS SHALL BE NOT LESS THAN 6 FEET 8 INCHES (2032 MM) MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY. EXCEPTIONS:

1 WHERE THE NOSINGS OF TREADS AT THE SIDE OF A FLIGHT EXTEND UNDER THE EDGE OF A FLOOR OPENING THROUGH WHICH THE STAIR PASSES, THE FLOOR OPENING SHALL NOT PROJECT HORIZONTALLY INTO THE REQUIRED HEADROOM MORE THAN 43/4 INCHES (121 MM).

2 THE HEADROOM FOR SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.7.10.1. R311.7.3 VERTICAL RISE A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 151 INCHES (3835 MM) BETWEEN FLOOR LEVELS OR LANDINGS.

R311.7.4 WALKLINE THE WALKLINE ACROSS WINDER TREADS AND LANDINGS SHALL BE CONCENTRIC TO THE TURN AND PARALLEL TO THE DIRECTION OF TRAVEL ENTERING AND EXITING THE TURN. THE WALKLINE SHALL BE LOCATED 12 INCHES (305 MM) FROM THE INSIDE OF THE TURN. THE 12-INCH (305 MM) DIMENSION SHALL BE MEASURED FROM THE WIDEST POINT OF THE CLEAR STAIR WIDTH AT THE WALKING SURFACE. WHERE WINDERS ARE ADJACENT WITHIN A FLIGHT, THE POINT OF THE WIDEST CLEAR STAIR WIDTH OF THE

ADJACENT WINDERS SHALL BE USED. R311.7.5 STAIR TREADS AND RISERS STAIR TREADS AND RISERS SHALL MEET THE REQUIREMENTS OF THIS SECTION. FOR THE PURPOSES OF THIS SECTION, DIMENSIONS AND DIMENSIONED SURFACES SHALL BE EXCLUSIVE

OF CARPETS, RUGS OR RUNNERS. R311.7.5.1 RISERS THE RISER HEIGHT SHALL BE NOT MORE THAN 73/4 INCHES (196 MM). THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM). RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE NOSING OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES (0.51 RAD) FROM THE VERTICAL. AT OPEN RISERS, OPENINGS LOCATED MORE THAN 30 INCHES (762 MM), AS MEASURED VERTICALLY, TO THE FLOOR OR GRADE BELOW SHALL NOT PERMIT THE PASSAGE OF A 4-INCH-DIAMETER (102 MM) SPHERE. EXCEPTIONS:

1 THE OPENING BETWEEN ADJACENT TREADS IS NOT LIMITED ON SPIRAL STAIRWAYS.

2 THE RISER HEIGHT OF SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.7.10.1. R311.7.5.2 TREADS THE TREAD DEPTH SHALL BE NOT LESS THAN 10 INCHES (254 MM). THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM).

R311.7.5.2.1 WINDER TREADS WINDER TREADS SHALL HAVE A TREAD DEPTH OF NOT LESS THAN 10 INCHES (254 MM) MEASURED BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AT THE INTERSECTIONS WITH THE WALKLINE. WINDER TREADS SHALL HAVE A TREAD DEPTH OF NOT LESS THAN 6 INCHES (152 MM) AT ANY POINT WITHIN THE CLEAR WIDTH OF THE STAIR. WITHIN ANY FLIGHT OF STAIRS, THE LARGEST WINDER TREAD DEPTH AT THE WALKLINE SHALL NOT EXCEED THE SMALLEST WINDER TREAD BY MORE THAN 3/8 INCH (9.5 MM). CONSISTENTLY SHAPED WINDERS AT THE WALKLINE SHALL BE ALLOWED WITHIN THE SAME FLIGHT OF STAIRS AS RECTANGULAR TREADS AND SHALL NOT BE REQUIRED TO BE WITHIN 3/8 INCH (9.5 MM) OF THE RECTANGULAR TREAD DEPTH. EXCEPTION: THE TREAD DEPTH AT SPIRAL STAIRWAYS SHALL BE IN

ACCORDANCE WITH SECTION R311.7.10.1. R311.7.5.3 NOSINGS NOSINGS AT TREADS, LANDINGS AND FLOORS OF STAIRWAYS SHALL HAVE A RADIUS OF CURVATURE AT THE NOSING NOT GREATER THAN 9/16 INCH (14 MM) OR A BEVEL NOT GREATER THAN 1/2 INCH (12.7 MM). A NOSING PROJECTION NOT LESS THAN 3/4 INCH (19 MM) AND NOT MORE THAN 11/4 INCHES (32 MM) SHALL BE PROVIDED ON STAIRWAYS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE

SMALLEST NOSING PROJECTION BY MORE THAN 3/8 INCH (9.5 MM) WITHIN A STAIRWAY. EXCEPTION: A NOSING PROJECTION IS NOT REQUIRED WHERE THE TREAD DEPTH IS NOT LESS THAN 11 INCHES (279 MM). R311.7.5.4 EXTERIOR PLASTIC COMPOSITE STAIR TREADS PLASTIC COMPOSITE EXTERIOR STAIR TREADS SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION AND SECTION R507.2.2.

R311.7.6 LANDINGS FOR STAIRWAYS THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN THE WIDTH OF THE FLIGHT SERVED. FOR LANDINGS OF SHAPES OTHER THAN SQUARE OR RECTANGULAR, THE DEPTH AT THE WALK LINE AND THE TOTAL AREA SHALL BE NOT LESS THAN THAT OF A QUARTER CIRCLE WITH A RADIUS EQUAL TO THE REQUIRED LANDING WIDTH. WHERE THE STAIRWAY HAS A STRAIGHT RUN, THE DEPTH IN THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN 36 INCHES (914 MM). EXCEPTION: A FLOOR OR LANDING IS NOT REQUIRED AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, INCLUDING STAIRS IN AN ENCLOSED GARAGE, PROVIDED THAT A DOOR DOES NOT SWING OVER THE STAIRS. R311.7.7 STAIRWAY WALKING SURFACE THE WALKING SURFACE OF TREADS AND LANDINGS OF STAIRWAYS SHALL BE SLOPED NOT STEEPER THAN ONE UNIT VERTICAL IN 48 INCHES HORIZONTAL (2-PERCENT SLOPE).

R311.7.8 HANDRAILS HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF

EACH FLIGHT OF STAIRS WITH FOUR OR MORE RISERS. R311.7.8.1 HEIGHT HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES (864 MM) AND NOT

MORE THAN 38 INCHES (965 MM). EXCEPTIONS: 1 THE USE OF A VOLUTE, TURNOUT OR STARTING EASING SHALL BE ALLOWED OVER THE LOWEST TREAD.

2 WHERE HANDRAIL FITTINGS OR BENDINGS ARE USED TO PROVIDE CONTINUOUS TRANSITION BETWEEN FLIGHTS, TRANSITIONS AT WINDER TREADS, THE TRANSITION FROM HANDRAIL TO GUARD, OR USED AT THE START OF A FLIGHT, THE HANDRAIL HEIGHT AT THE FITTINGS OR BENDINGS SHALL BE PERMITTED TO EXCEED 38 INCHES (965 MM).

R311.7.8.2 HANDRAIL PROJECTION HANDRAILS SHALL NOT PROJECT MORE THAN 41/2 INCHES (114 MM) ON EITHER SIDE OF THE STAIRWAY. EXCEPTION: WHERE NOSINGS OF LANDINGS, FLOORS OR PASSING FLIGHTS PROJECT INTO THE STAIRWAY REDUCING THE CLEARANCE AT PASSING HANDRAILS, HANDRAILS SHALL PROJECT NOT MORE THAN 61/2 INCHES (165 MM) INTO THE STAIRWAY, PROVIDED THAT THE STAIR WIDTH AND HANDRAIL CLEARANCE ARE NOT	
REDUCED TO LESS THAN THAT REQUIRED.	
R311.7.8.3 HANDRAIL CLEARANCE HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 11/2 INCHES (38 MM) BETWEEN THE WALL AND THE HANDRAILS.	
R311.7.8.4 CONTINUITY HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF	
THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.	
EXCEPTIONS: 1 HANDRAIL CONTINUITY SHALL BE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT A TURN IN A FLIGHT WITH WINDERS, AT A LANDING, OR OVER THE LOWEST TREAD.	
2 A VOLUTE, TURNOUT OR STARTING EASING SHALL BE ALLOWED TO TERMINATE OVER THE LOWEST TREAD. R311.7.8.5 GRIP SIZE REQUIRED HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT	
GRASPABILITY.	
1 TYPE I. HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF NOT LESS THAN 11/4 INCHES (32 MM) AND NOT GREATER THAN 2 INCHES (51 MM). IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL	
HAVE A PERIMETER OF NOT LESS THAN 4 INCHES (102 MM) AND NOT GREATER THAN 61/4 INCHES (160 MM) AND A CROSS SECTION OF NOT MORE THAN 21/4 INCHES (57 MM). EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01 INCH (0.25 MM).	
2 TYPE II. HANDRAILS WITH A PERIMETER GREATER THAN 61/4 INCHES (160 MM) SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN 3/4 INCH (19 MM)	

THE PROFILE. THE FINGER RECESS SHALL BEGIN MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND HAVE A DEPTH OF NOT LESS THAN 5/16 INCH (8 MM) WITHIN 7/8 INCH (22 MM) BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR NOT LESS THAN 3/8 INCH (10 MM) TO A LEVEL THAT IS NOT LESS THAN 13/4 INCHES (45 MM) BELOW THE TALLEST PORTION OF THE PROFILE. THE WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE NOT LESS THAN 11/4 INCHES (32 MM) AND NOT MORE THAN 23/4 INCHES (70 MM). EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01 INCH (0.25 MM).

R312.1.3 OPENING LIMITATIONS REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4 INCHES (102 MM) IN DIAMETER. SECTION R310 EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. EXCEPTIONS: 1 STORM SHELTERS AND BASEMENTS USED ONLY TO HOUSE MECHANICAL EQUIPMENT NOT EXCEEDING A TOTAL

2 WHERE THE DWELLING OR TOWNHOUSE IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION P2904. SLEEPING ROOMS IN BASEMENTS SHALL NOT BE REQUIRED TO HAVE EMERGENCY ESCAPE AND RESCUE OPENINGS PROVIDED THAT THE BASEMENT HAS ONE OF THE

1 2.1. ONE MEANS OF EGRESS COMPLYING WITH SECTION R311 AND ONE EMERGENCY ESCAPE AND RESCUE

2 2.2. TWO MEANS OF EGRESS COMPLYING WITH SECTION R311

R310.1.1 OPERATIONAL CONSTRAINTS AND OPENING CONTROL DEVICES EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE MAINTAINED FREE OF ANY OBSTRUCTIONS OTHER THAN THOSE ALLOWED BY THIS SECTION AND SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS. TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING SHALL COMPLY WITH ASTM F2090.

R310.2 EMERGENCY ESCAPE AND RESCUE OPENINGS EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE MINIMUM DIMENSIONS AS SPECIFIED IN THIS SECTION.

R310.2.1 MINIMUM OPENING AREA EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET (0.530 M2). THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OF THE OPENING SHALL BE NOT LESS THAN 24 INCHES (610 MM) AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES (508 MM). EXCEPTION: GRADE FLOOR OPENINGS OR BELOW-GRADE OPENINGS SHALL HAVE A NET CLEAR OPENING AREA OF NOT LESS THAN 5 SQUARE FEET (0.465 M2). R310.2.2 WINDOW SILL HEIGHT WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR; WHERE THE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2.3.

FLOOR AREA OF 200 SQUARE FEET (18.58 M2). FOLLOWING: OPENING.

A-N.4 VERSION: 3.5 DATE: 5/8/24 PLANNING ER B ဟ Ш Ο ┣ D ш \square Ш R LL S ш Ο Ζ Ω Ш 8 ш C N 14 A ΥZ HEY FOR ALL S. IF NL ESE F L PR(ARE' HIIS I V WH TSOI OF L BEE RAC RAC CA 9(50 71(ы с S

EXTERIOR LIGHTING NOTES

• WALL-MOUNTED LIGHTING SHALL BE NO HIGHER THAN 10 FEET ABOVE THE GROUND AND SHALL NOT EXCEED 25 WATTS PER FIXTURE (APPROXIMATELY 375 LUMENS)

• LANDSCAPE LIGHTING SHALL NOT EXCEED 18 INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS PER FIXTURE (APPROXIMATELY 225 LUMENS). LANDSCAPE LIGHTS SHALL BE SPACED AT LEAST 10 FEET APART. NO LIGHTING MAY BE USED TO ACCENT TREES, WALLS, FENCES. ETC.

• NO LIGHTING IS PERMITTED UPON CITY PROPERTY OR DIRECTED TOWARDS CITY PROPERTY, INCLUDING THE RIGHT OF WAY. LIGHTING DESIGN GUIDELINES THE USE OF EXTERIOR LIGHTS IS A SPECIAL AREA OF CONCERN THROUGHOUT THE COMMUNITY. A KEY FEATURE OF THE "FOREST" CONCEPT IS TO MINIMIZE THE AMOUNT OF OUTDOOR LIGHTING, SUCH THAT THE NIGHTTIME SKY MAY BE GLIMPSED THROUGH THE TREES. HISTORICALLY, PUBLIC STREET LIGHTING WAS AVOIDED ON RESIDENTIAL STREETS. WITHIN AN INDIVIDUAL PROPERTY, SITE LIGHTING TYPICALLY WAS LIMITED TO A LIGHT AT A BUILDING ENTRANCE AND PERHAPS AT A YARD GATE OR OVER A GARAGE DOOR. OCCASIONALLY, A PATIO WAS LIT AS WELL, BUT THIS WOULD BE LIMITED TO A SMALL, SHIELDED LAMP. THE RESIDENTIAL DESIGN GUIDELINES ENCOURAGE THE PRESERVATION OF LOW NIGHTTIME LIGHTING THROUGHOUT RESIDENTIAL NEIGHBORHOODS. THE FOLLOWING GUIDELINES APPLY:

• USE LIGHTS ONLY WHERE NEEDED FOR SAFETY AND AT OUTDOOR ACTIVITY AREAS. APPROPRIATE LOCATIONS MAY INCLUDE BUILDING ENTRIES, GATES, TERRACES, WALKWAYS AND PATIOS. LIGHTS SHOULD NOT BE USED TO ACCENT BUILDINGS OR VEGETATION. • USE LOW LUMEN OUTPUT BULBS. FLOODLIGHTS AND SPOTLIGHTS ARE INAPPROPRIATE. POINT LIGHTS DOWNWARD TO REDUCE GLARE AND AVOID "NIGHT POLLUTION"

· LOCATE AND SHIELD FIXTURES TO AVOID GLARE AND EXCESS LIGHTING AS SEEN FROM NEIGHBORING PROPERTIES AND FROM THE STREET.

EV CHARGER NOTES

1. INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED208/240 VOLT BRANCH CIRCUIT FOR FUTURE ELECTRIC VEHICLE CHARGING [2016 C.G.C, Section 4.106.4.1]

ELECTRICAL CODE & DATA NOTES

ALL WORK SHALL CONFORM TO THE 2022 CALIFORNIA ELECTRIC CODE

HOMEOWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ALL 125-VOLT. SINGLE-PHASE, 15 AND 20 AMP RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, OUTSIDE, CRAWL SPACES, BASEMENTS, KITCHENS, SINKS, BOATHOUSE, BATHTUB, AND LAUNDRY AREAS SHAKK HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION IN ACCORDANCE WITH CEC 210.8.

ALL NEW OR RECONFIGURED 120-VOLT, SINGLE-PHASE, 15 AND 20 AMP BRANCH CIRCUITS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS IN ACCORDANCE WITH CEC 210.12. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS

TO HOUSE POWER AND INTERCONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.

ELECTRICAL RECEPTACLE OUTLETS AT COUNTERTOPS 44" MIN. FROM FINISHED FLOOR. CBC 11B-308.2.2. ELECTRICAL RECEPTACLE OUTLETS TO BE 44" MAX. AND 15" MIN. ABOVE FINISHED FLOOR. CBC 11B-308.2.1.

PROVIDE CONCRETE-ENCASED ELECTRODE PER CEC 250.50, 250.52 (A)

KITCHEN AND DINING MUST HAVE A MINIMUM OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS. KITCHEN COUNTER OUTLETS MUST BE INSTALLED IN EVERY COUNTER SPACE 12" OR WIDER, NOT GREATER THAN 4'-0" ON CENTER AND WITHIN 24" OF THE END OF ANY COUNTER SPACE. CEC 210.52, 210.11(C)(1).

AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND OR PENINSULAR COUNTERTOP SPACE WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12" OR GREATER PER CEC 210. KITCHEN RECEPTACLE OUTLETS SERVING COUNTERTOPS, INCLUDING ISLAND AND PENINSULA COUNTERTOPS, SHALL HAVE GFCI AND

AFCI PROTECTION BATHROOM RECEPTACLE OUTLETS TO BE SUPPLIED BY A DEDICATED 20 AMP BRANCH CIRCUIT. PROVIDE MINIMUM ONE 20-AMP CIRCUIT FOR BATHROOM OUTLETS, WITH NO OTHER OUTLETS ON CIRCUIT. (WHERE A 20-AMP CIRCUIT SUPPLIES A SINGLE BATHROOM, OTHER OUTLETS, LIGHTING WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED BY THIS CIRCUIT). CEC 210.11(C)(3) AND EX. 210.23(A)(2)

BATHROOM EXHAUST FAN VENTED TO THE EXTERIOR FOR EACH BATHROOM CONTAINING A BATHTUB, SHOWER, OR COMBINATION FOR PURPOSE OF HUMIDITY CONTROL WITH A MINIMUM OF 50 CFM. IF BATH FAN INCLUDES A LIGHT. THEY MUST BE SWITCHED SEPARATELY. BATH FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL. CRC 303.3.1, CBC 1203.4.2.1, CMC 4.02.5 FOR SINGLE-FAMILY RESIDENCES, ALL LIGHTING ATTACHED TO THE RESIDENCE OR TO OTHER BUILDINGS ON THE SAME LOT MUST BE

HIGH EFFICIENCY, OR CONTROLLED BY A MOTION SENSOR AND EITHER A PHOTOCELL OR AN ASTRONOMICAL TIME CLOCK THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING SYSTEM OFF DURING DAYLIGHT HOURS OR BY ENERGY MANAGEMENT CONTROL SYSTEM PER CA ENERGY COMMISSION

RECESSED CAN LIGHTS NEED TO BE 1-HR RATED UNITS. IC RATED FOR DIRECT CONTACT TO INSULATION AND BE AIR TIGHT TO PRECLUDE INFILTRATION FROM ATTIC TO CONDITIONED SPACE. AT LEAST ONE LUMINAIRE IN ALL BATHROOMS, GARAGES, UTILITY AND LAUNDRY ROOMS SHALL BE CONTROLLED BY AN OCCUPANCY

SENSOR PERMANENTLY INSTALLED LUMINARIES IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS SHALL BE HIGH EFFICIENCY

LUMINARIES, AT LEAST ONE LUMINAIRE IN THESE ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR CERTIFIED TO COMPLY WITH CEC119(D) RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF AND SHALL BE LISTED

WEATHER RESISTANT TYPE. ELECTRICAL PANEL BOARDS INSTALLED OUTDOORS NEED TO BE WEATHERPROOF AND LISTED FOR DAMP/WET LOCATIONS. CEC 408.37, 312.2(A)

DWELLING RECEPTACLES ON 120 VOLT 15 AND 20 AMP CIRUITS SHALL BE TAMPER RESISTANT PER CEC 406.12 BRANCH CIRCUITS FOR LIGHTING AND APPLIANCES, INCLUDING MOTOR OPERATED APPLIANCES, SHALL BE PROVIDED TO SUPPLY THE LOADS CALCULATED IN ACCORDANCE WITH CEC 210.10, CEC 210.11. IN ADDITION TO THE NUMBER OF BRANCH CIRCUITS REQUIRED BY OTHER PARTS OF THIS SECTION, 2 OR MORE 20-AMPERE SMALL-APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS REQUIRED BY 210.52(B), CEC 210.11(1)

SEPARATE BRANCH CIRCUIT FOR DISHWASHER SHALL BE GFCI PROTECTED. RESIDENTIAL OUTDOOR LIGHTING PERMANENTLY MOUNTED TO THE DWELLING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND CONTROLLED BY A PHOTOCELL AND MOTION SENSOR OR BY PHOTO-CONTROL AND AUTOMATIC TIME SWITCH CONTROL OR BY ASTRONOMICAL TIME CLOCK CONTROL THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS OR BY ENERGY MANAGEMENT CONTROL SYSTEM.

4.506.1BATHROOM EXHAUST FANS NOTES:

A. FOR THE PURPOSES OF THIS SECTION, A BATHROOM IS A ROOM WHICH CONTAINS A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION B. LIGHTING INTEGRAL TO BATHROOM EXHAUST FANS SHALL COMPLY WITH THE CALIFORNIA ENERGY CODE.

- EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:
- 1.FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING. 2.UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY
- CONTROL • A.HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF ≤ 50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. • B.A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E., BUILT-

2022 LIGHT EFFICIENCY STANDARDS

- NOTES: 1 CALIFORNIA ENERGY EFFICIENCY STANDARDS 150.0(K) ALL LIGHTING FIXTURES SHALL BE CONTROLLED BY EITHER A DIMMER SWITCH OR BY A VACANCY SENSOR SWITCH THAT REQUIRES A MANUAL ON ACTIVATION (DOES NOT AUTOMATICALLY TURN ON) AND AUTOMATICALLY TURNS OFF WITHIN 30 MINUTES AFTER THE ROOM IS VACATED.
- 2 ALL LIGHT FIXTURES SHALL CONTAIN BULBS THAT ARE LABELED AS JA8-2016 (JA8-2016-E FOR SEALED LENS OR RECESSED FIXTURE). SCREW BASE BULBS ARE PERMITTED, EXCEPT IN RECESSED LIGHTING FIXTURES.
- 3 RECESSED LIGHTING SHALL BE LISTED AS IC (ZERO CLEARANCE TO INSULATION) AND AT (AIR TIGHT), BE SEALED/ CAULKED BETWEEN THE FIXTURE HOUSING AND CEILING, SHALL NOT CONTAIN A SCREW BASE SOCKET, AND CONTAIN BULBS MARKED WITH JA8-2016-E EFFICIENCY LABEL. CA ENERGY CODE 150.0(K)1C

EXTERIOR STAIR, RAILING AND GUARD NOTES

REQUIRED GUARDRAIL LOCATIONS: GUARDRAILS ARE REQUIRED ALONG WALKING SURFACES, (INCLUDING STAIRS, RAMPS, DECKS, AND LANDINGS) IF THE WALKING SURFACE IS HIGHER THAN 30 INCHES FROM THE GROUND MEASURED ANYWHERE WITHIN THE 3 FEET SURROUNDING THE OUTSIDE OF THE WAKING SURFACE.

REQUIRED GUARDRAIL HEIGHTS AND OPENINGS: THE RAILING MUST BE AT LEAST 42 INCHES TALL AND NO OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER ARE ALLOWED.

REQUIRED GUARDRAIL HEIGHTS AND OPENINGS FOR STAIRS: THE RAILING MUST BE AT LEAST 34 INCHES TALL. IF THE TOP OF THE RAILING IS ALSO BEING USED AS THE HAND RAIL, THE MAXIMUM HEIGHT IS 38 INCHES (AS MEASURED FROM THE NOSE OF THE STAIR). NO OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4 3/8 INCHES IN DIAMETER ARE ALLOWED EXCEPT FOR THE TRIANGULAR OPENINGS AT THE SIDE OF THE STAIR FORMED BY THE RISER, TREAD, AND BOTTOM RAIL. IN THIS LOCATION, THE PASSAGE OF A 6 INCH SPHERE IS NOT ALLOWED.

REQUIRED HANDRAIL REQUIREMENTS: HANDRAILS ARE REQUIRED ON AT LEAST ONE SIDE OF STAIRS WITH 4 OR MORE RISERS AND MUST BE ABLE TO WITHSTAND AT LEAST 200 POUNDS. THE HEIGHT OF THE HANDRAIL MUST AT LEAST 34 INCHES BUT CANNOT BE MORE THAN 38 INCHES ABOVE NOSING OF THE STAIR. THE HANDGRIP PORTION OF HANDRAIL MUST BE AT LEAST 1 1/4 INCHES BUT NOT MORE THAN 2 INCHES IN CIRCULAR CROSS SECTION AND MUST BE INSTALLED AT LEAST 1 1/2 INCHES FROM THE WALL OR OTHER SURFACE. THE HANDRAIL MUST END AT A POST, SAFETY TERMINAL, OR BY TURNING IT BACK TO THE WALL.

STAIR AND RISER REQUIREMENTS: STAIRWAYS NEED TO BE AT LEAST 36 INCHES WIDE. EACH TREAD MUST BE AT LEAST 10 INCHES IN DEPTH AND THE RISER HEIGHT CANNOT BE TALLER THAN 7 ¼ INCHES TALL. A NOSING IS REQUIRED ON TREADS LESS THAN 11 INCHES. ANY NOSING MUST BE AT LEAST 3/4 INCHES OR A MAXIMUM OF 1 ½ INCHES. THE DIFFERENCE FROM THE DEEPEST TO THE NARROWEST TREAD, FROM THE TALLEST TO THE SHORTEST RISER, OR FROM THE SMALLEST TO LARGEST NOSING PROJECTION IN A RUN OF STAIRS CANNOT BE MORE THAT 3/8 OF AN INCH. STAIRWAYS OF A HEIGHT OF MORE THAN 30 INCHES CANNOT HAVE OPEN RISERS THAT WOULD ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. THESE ARE THE GENERAL CODE REQUIREMENTS OF RESIDENTIAL STAIRS, RAILINGS, AND GUARDS BASED ON THE 2016 CA BUI

PLUMBING CODE NOTES

- SEE SHEET A-N.2 FOR MAXIMUM FIXTURE FLOW RATES WATER HEATER TEMPERATURE/PRESSURE RELIEF VALVE WITH DRAIN TO EXTERIOR OF BUILDING. PROVIDE APPROVED SEISMIC STRAPPING, CPC 504.4, 504.6, 608.5. NO LESS THEN 18" ABOVE THE FLOOR UNLESS LISTED OTHERWISE. CPC 507.13. PROVIDE COMBUSTION AIR TO ALL GAS FIRED APPLIANCES. THE LISTING. CMC 904.2
- TIE PLUMBING VENTS TOGETHER WHERE PERMISSIBLE TO LIMIT ROOF PENETRATIONS. ADD RECIRCULATION LINE TO ALL HOT WATER FIXTURES. PER CPC ALL HOT WATER LINES TO BE INSULATED. MIXED WATER TO SHOWERS, TUB-SHOWER COMBINATION SHALL BE LIMITED TO 120 DEGREES FARENHEIGHT, PROVIDE WATER TEMPERING VALVE CONFORMING TO ASSE 1016 FOR SHOWERS, TUB-SHOWER COMBINATION. PROVIDE CONDENSATE DRAIN TO WATER HEATER AND AIR EXCHANGE SYSTEM. WRAP ALL PIPE AND CONDUIT THROUGH CONCRETE WITH INSULATION TAPE. INCHES CENTER TO CENTER, CPC 402.5
- PROTECTION. CPC 408.3.
- VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY. SHALL HAVE A DISCHARGE CAPACITY OF NOT LESS THAN 20 GPM (1.26 L/S).
- INCHES (50 MM) IN DIAMETER.
- LESS THAN 3 INCHES (80 MM) IN DIAMETER.

MECHANICAL CODE NOTES

USE. [OSHPD 1, 2 & 4]

- SURFACES. (CMC 504.3)
- SHALL BE PERMITTED TO BE OF APPROVED SCHEDULE 40 PVC PROVIDED: SURFACE. PVC PIPE JOINTS SHALL BE SOLVENT CEMENTED TO PROVIDE AN AIR AND GREASE TIGHT DUCT.
- [NFPA 54:12.9.2] (CMC 802.8.1.)
- 802.10.1.2):
- UNCONDITIONED AREAS SHALL BE ONE OF THE FOLLOWING: TYPE B OR TYPE L VENT MATERIAL GALVANIZED SHEET STEEL NOT LESS THAN 0.018 OF AN INCH (0.457 MM) THICK.
- STAINLESS STEEL SHEET NOT LESS THAN 0.012 OF AN INCH (0.305 MM) THICK. 802.10.1.2(1)(B), SECTION 802.10.1.2(1)(C), OR SECTION 802.10.1.2(1)(D) ABOVE.
- A LISTED VENT CONNECTOR. VENT CONNECTORS SHALL NOT BE COVERED WITH INSULATION.
- INSTRUCTIONS, INFPA 54:12,11,2,31 EACH BATHROOM SHALL HAVE AN EXHAUST FAN THAT COMPLIES WITH CGBS 4.506 AS FOLLOWS: HAVE A MINIMUM VENTILATION RATE OF 50 CFM *BE ENERGY STAR COMPLIANT BE SWITCHED SEPARATELY FROM THE LIGHTING
- EXCESS OF TWO. CMC 504.4.2.1

FOUNDATION VENTILATION NOTES

R408.2 OPENINGS FOR UNDER-FLOOR VENTILATION VENTILATION OPENINGS THROUGH FOUNDATION OR EXTERIOR WALLS SURROUNDING THE UNDER-FLOOR SPACE SHALL BE PROVIDED IN ACCORDANCE WITH THIS SECTION. THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN 1 SQUARE FOOT (0.0929 M2) FOR EACH 150 SQUARE FEET (14 M2) OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE SHALL NOT EXCEED 1/4 INCH (6.4 MM), AND OPERATIONAL LOUVERS ARE PERMITTED: * PERFORATED SHEET METAL PLATES NOT LESS THAN 0.070 INCH (1.8 MM) THICK. * EXPANDED SHEET METAL PLATES NOT LESS THAN 0.047 INCH (1.2 MM) THICK. * CAST-IRON GRILL OR GRATING.

* EXTRUDED LOAD-BEARING BRICK VENTS. * HARDWARE CLOTH OF 0.035 INCH (0.89 MM) WIRE OR HEAVIER. * CORROSION-RESISTANT WIRE MESH, WITH THE LEAST DIMENSION BEING 1/8 INCH (3.2 MM) THICK. EXCEPTIONS:

THE TOTAL AREA OF VENTILATION OPENINGS SHALL BE PERMITTED TO BE REDUCED TO 1/1,500 OF THE UNDER-FLOOR AREA WHERE THE GROUND SURFACE IS COVERED WITH AN APPROVED CLASS I VAPOR RETARDER MATERIAL. WHERE THE GROUND SURFACE IS COVERED WITH AN APPROVED CLASS 1 VAPOR RETARDER MATERIAL, VENTILATION OPENINGS ARE NOT REQUIRED TO BE WITHIN 3 FEET (915 MM) OF EACH EXTERNAL CORNER OF THE UNDER-FLOOR SPACE PROVIDED THAT THE OPENINGS ARE PLACED TO PROVIDE CROSS VENTILATION OF THE SPACE.

SKYLIGHT NOTES

SKYLIGHTS SHALL BE FLAT (NOT DOMED GLASS) SKYLIGHTS SHALL BE CURBED INSTALLATION THE FLASHING SHALL MATCH THE ROOF COLOR SKYLIGHT SHALL HAVE NON-REFLECTIVE GLASS

GAS UTILIZATION EQUIPMENT IN GARAGES SHALL BE INSTALLED SO THAT ALL BURNERS AND BURNER IGNITION DEVICES ARE LOCATED

APPROVED NON-REMOVABLE BACKFLOW PREVENTION DEVICES SHALL BE PROVIDED ON ALL HOSE BIBS. CPC 602.3.

LISTED HEAT PRODUCTION EQUIPMENT SHALL MAINTAIN THE REQUIRED CLEARANCES TO COMBUSTIBLE CONSTRUCTION SPECIFIED IN

FIXTURES SHALL BE SET LEVEL AND IN PROPER ALIGNMENT WITH REFERENCE TO ADJACENT WALLS. NO WATER CLOSET OR BIDET SHALL BE SET CLOSER THAN 15 INCHES FROM ITS CENTER TO A SIDE WALL OR OBSTRUCTION NOR CLOSER THAN 30 INCHES CENTER TO CENTER TO A SIMILAR FIXTURE. THE CLEAR SPACE IN FRONT OF A WATER CLOSET, LAVATORY, OR BIDET SHALL BE NOT LESS THAN 24 INCHES. NO URINAL SHALL BE SET CLOSER THAN 12 INCHES FROM ITS CENTER TO A SIDE WALL OR PARTITION NOR CLOSER THAN 24

SHOWER AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE AND THERMOSTATIC TYPES THAT PROVIDE SCALD AND THERMAL SHOCK

CONTROL VALVES AND SHOWER HEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS, ARRANGED SO THAT THE SHOWER HEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE

A SEWAGE EJECTOR OR SEWAGE PUMP RECEIVING THE DISCHARGE OF WATER CLOSETS OR URINALS:

IN SINGLE DWELLING UNITS, THE EJECTOR OR PUMP SHALL BE CAPABLE OF PASSING A 11/2 INCH (38 MM) DIAMETER SOLID BALL, AND THE DISCHARGE PIPING OF EACH EJECTOR OR PUMP SHALL HAVE A BACKWATER VALVE AND GATE VALVE, AND BE NOT LESS THAN 2

IN OTHER THAN SINGLE-DWELLING UNITS. THE EJECTOR OR PUMP SHALL BE CAPABLE OF PASSING A 2 INCH (50 MM) DIAMETER SOLID BALL, AND THE DISCHARGE PIPING OF EACH EJECTOR OR PUMP SHALL HAVE A BACKWATER VALVE AND GATE VALVE, AND BE NOT

BACKDRAFT PROTECTION EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND SHALL BE EQUIPPED WITH BACKDRAFT DAMPERS OR WITH MOTORIZED DAMPERS THAT AUTOMATICALLY SHUT WHERE THE SYSTEMS OR SPACES SERVED ARE NOT IN

EXCEPTION: BACKDRAFT DAMPERS ARE NOT REQUIRED WHEN THE EXHAUST FAN MUST OPERATE CONTINUOUSLY. (CMC 504.1.1) DOMESTIC RANGE DUCTS USED FOR DOMESTIC KITCHEN RANGE VENTILATION SHALL BE OF METAL AND SHALL HAVE SMOOTH INTERIOR

EXCEPTION: DUCTS FOR DOMESTIC KITCHEN DOWNDRAFT GRILL-RANGE VENTILATION INSTALLED UNDER A CONCRETE SLAB FLOOR THE UNDER-FLOOR TRENCH IN WHICH THE DUCT IS INSTALLED SHALL BE COMPLETELY BACKFILLED WITH SAND OR GRAVEL.

NOT MORE THAN 1 INCH OF 6 INCH DIAMETER PVC COUPLING SHALL BE PERMITTED TO PROTRUDE ABOVE THE CONCRETE FLOOR

THE DUCT SHALL TERMINATE ABOVE GRADE OUTSIDE THE BUILDING AND SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER. MECHANICAL DRAFT VENTING SYSTEM A MECHANICAL DRAFT VENTING SYSTEM OF OTHER THAN DIRECT-VENT TYPE SHALL TERMINATE NOT LESS THAN 4 FEET BELOW, 4 FEET HORIZONTALLY FROM, OR 1 FOOT ABOVE A DOOR, OPERABLE WINDOW, OR GRAVITY AIR INLET INTO A BUILDING. THE BOTTOM OF THE VENT TERMINAL SHALL BE LOCATED NOT LESS THAN 12 INCHES ABOVE FINISHED GROUND LEVEL.

RESIDENTIAL TYPE APPLIANCES VENT CONNECTORS FOR RESIDENTIAL-TYPE APPLIANCES SHALL COMPLY WITH THE FOLLOWING (CMC VENT CONNECTORS FOR LISTED APPLIANCES HAVING DRAFT HOODS, APPLIANCES HAVING DRAFT HOODS AND EQUIPPED WITH LISTED CONVERSION BURNERS, AND CATEGORY I APPLIANCES THAT ARE NOT INSTALLED IN ATTICS, CRAWL SPACES, OR OTHER

ALUMINUM (1100 OR 3003 ALLOY OR EQUIVALENT) SHEET NOT LESS THAN 0.027 OF AN INCH (0.686 MM) THICK.

SMOOTH INTERIOR WALL METAL PIPE HAVING RESISTANCE TO HEAT AND CORROSION EQUAL TO OR EXCEEDING THAT OF SECTION

EXCEPTION: LISTED INSULATED VENT CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION

BE CONTROLLED BY A HUMIDISTAT CAPABLE OF ADJUSTMENT BTWN A RELATIVE HUMIDITY OF 50% TO 80%.

DRYER MUST BE EQUIPPED WITH A BACKDRAFT DAMPER WITH NO SCREEN. THE DUCT IS LIMITED TO 14 FEET IN LENGTH WITH TWO 90 DEGREE ELBOWS FROM THE CLOTHES DRYER TO THE POINT OF TERMINATION. REDUCE THIS LENGTH BY 2 FEET FOR EVERY ELBOW IN

ALL ENVIRONMENTAL AIR DUCTS SHALL TERMINATE A MINIMUM OF 3 FEET FROM A PROPERTY LINE. ANY OPENINGS INTO THE BUILDING (I.E., DRYERS, BATH AND UTILITY FANS, ETC.), 10 FEET FROM A FORCED AIR INLET, AND MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS, OR ATTIC VENTS. ENVIRONMENTAL EXHAUST DUCTS SHALL NOT DISCHARGE ONTO A PUBLIC WAY. CMC 502.2.1.

WITHIN 3 FEET (915 MM) OF EACH EXTERNAL CORNER OF THE UNDER-FLOOR SPACE. VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH WITH ANY OF THE FOLLOWING MATERIALS PROVIDED THAT THE LEAST DIMENSION OF THE COVERING

VENTILATION REQUIREMENTS

VENTILATION RATE SHALL BE PER ASHRAE 62.2 A MECHANICAL EXHAUST SYSTEM, SUPPLY SYSTEM, OR COMBINATION THEREOF, SHALL BE INSTALLED TO OPERATE FOR EACH DWELLING UNIT TO PROVIDE CONTINUOUS DWELLING-UNIT VENTILATION WITH OUTDOOR AIR AT A RATE NOT LESS THAN SPECIFIED BELOW:

(0.03)(FLOOR AREA) + 7.5(NUMBER OF BEDROOMS +1) = TOTAL REQUIRED VENTILATION RATE, CFM

LOCAL MECHANICAL EXHAUST SYSTEM SHALL BE INSTALLED IN EACH KITCHEN AND BATHROOM. NONENCLOSED KITCHENS SHALL BE PROVIDED WITH A DEMAND-CONTROLLED MECHANICAL EXHAUST SYSTEM. ALL OTHER KITCHEN AND BATHROOMS SHALL BE EITHER A DEMAND-CONTROLLED MECHANICAL EXHAUST SYSTEM OR A CONTINUOUS MECHANICAL EXHAUST SYSTEMS MEETING ASHRAE 62.2 REQUIREMENTS.

DEMAND-CONTROLLED MECHANICAL EXHAUST SYSTEMS SHALL BE DESIGNED TO BE OPERATED AS NEEDED AND SHALL HAVE EITHER A READILY ACCESSIBLE OCCUPANT-CONTROLLED ON-OFF CONTROL OR AN AUTOMATIC CONTROL THAT DOES NOT IMPEDE OCCUPANT ON CONTROL.

CONTINUOUS MECHANICAL EXHAUST SYSTEM SHALL BE INSTALLED TO OPERATE CONTINUOUSLY. THE SYSTEM MAY BE PART OF A BALANCED MECHANICAL VENTILATION SYSTEM PER ASHRAE GUIDELINE 24, CHAPTER 10. CONTINUOUS MECHANICAL EXHAUST SYSTEMS SHALL HAVE A READILY ACCESSIBLE MANUAL ON-OFF CONTROL BE DESIGNED TO OPERATE DURING ALL OCCUPIABLE HOURS. KITCHENS WITH A VENTED RANGE HOOD SHALL HAVE 100 CFM WITH 5 ACH AND A SOUND RATING OF 3 SONES OR LESS. EACH BATHROOM SHALL HAVE AN EXHAUST FAN THAT COMPLIES WITH CGBS 4.506 AS FOLLOWS

HAVE A MINIMUM VENTILATION RATE OF 50 CFM *BE ENERGY STAR COMPLIANT BE CONTROLLED BY A HUMIDISTAT CAPABLE OF ADJUSTMENT BTWN A RELATIVE HUMIDITY OF 50% TO 80%.

BE SWITCHED SEPARATELY FROM THE LIGHTING BATHROOMS WITH A DEMAND-CONTROLLED LOCAL VENTILATION EXHAUST SHALL HAVE 50 CFM AND HAVE A SOUND RATING OF 3 SONES OR LESS. BAHTROOMS WITH A CONTINUOUS LOCAL VENTILATION EXHAUST SHALL HAVE 20 CFM AND HAVE A SOUND RATING OF 1 SONE OR LESS.

BATH EXHAUST FAN MUST BE 1 HR FIRE RATED WITH A FIRE DAMPER. PROVIDE OCCUPANCY / HUMIDITY SENSOR FOR BATHROOM EXHAUST FAN.

INFORMATION ON THE VENTILATION DESIGN AND/OR VENTILATION SYSTEM INSTALLED, INSTRUCTIONS ON THEIR PROPER OPERATION TO MEET THE REQUIREMENTS OF THIS STANDARD, AND INSTRUCTIONS DETAILING ANY REQUIRED MAINTENANCE SHALL BE PROVIDED TO THE OWNER AND THE OCCUPANT OF THE DWELLING UNIT.

CONTROLS SHALL BE LABELED AS TO THEIR FUNCTION

CLOTHES DRYERS SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS COMBUSTION AND SOLID-FUEL BURNING APPLIANCES MUST BE PROVIDED WITH ADEQUATE COMBUSTION AND VENTILATION AIR AND INSTALLED IN ACCORDANCE WITH MANUFACTURER INSTALLATION INSTRUCTIONS, NFPA 31, NFPA 54/ANSI Z223.1, NFPA 211. OR OTHER EQUIVALENT CODE ACCEPTABLE TO THE BUILDING OFFICIAL

EROSION CONTROL STANDARD NOTES

INCLUDE EROSION AND SEDIMENT CONTROL NOTES ON ALL PLANS. ADDITIONAL NOTES ARE REQUIRED TO DIRECT CONTRACTORS AND CROW ON SITE SPECIFIC CONDITIONS.

- 1. THIS PLAN MAY NOT COVER ALL THE SITUATIONS OR PHASES THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS IN GENERAL. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING SEDIMENT STORM RUNOFF FROM LEAVING THE SITE. SEDIMENT ROLLS AND SILT FENCES SHALL BE USED BY THE CONTRACTOR ON AN AS NEEDED BASIS TO INHIBIT SILT FROM LEAVING THE SITE AND ENTERING THE STORM DRAIN SYSTEM. TEMPORARY EROSION CONTROL DEVICES SHOWN ON GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES.
- 2. EROSION CONTROL FACILITIES SHALL BE MAINTAINED DAILY. THESE FACILITIES SHALL CONTROL AND CONTAIN EROSION CAUSED SILT DEPOSITS AND PROVIDE FOR THE SAFE DISCHARGE OF SILT FREE STORM WATER INTO EXISTING AND PROPOSED STORM DRAIN FACILITIES. DESIGN OF THESE FACILITIES MUST BE APPROVED AND UPDATED EACH YEAR BY THE ENGINEER (OCTOBER 15 THROUGH APRII 150
- 3. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES & IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES. CITATIONS, AND /OR A PROJECT STOP ORDER.
- 4. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADESN RUNOFF TO ANY STORM DRAIN SYSTEM. 5. IF EXISTING DRIVEWAY IS REMOVED DURING CONSTRUCTION, THE CONTRACTOR SHALL LACE DRAIN ROCK AS A GRAVEL ROADWAY (8"
- MINIMUM THICKNESS FOR THE FULL WIDTH AND LENGTH OF THE SITE EGRES AREA AS DEFINED IN THESE PLANS) AT ENTRANCE TO THE SITE. CONSTRUCTION EGRESS SHALL BE EQUIPPED WITH A TRUCK WASHING STATION. ALL TRUCKS SHALL WASH TIRES AND UNDERSIDE OF VEHICLES AS APPROPRIATE WHEN LEAVING THE SITE. ANY MUD THAT IS TRACKED ON TO PUBLIC STREETS SHALL BE REMOVED THE SAME DAY AS REQUIRED BY THE CITY ENGINEER.
- 6. DURING THE RAINY SEASON, ALL PAVED AREAS ARE TO BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS THE SITE IS TO BE MAINTAINED SO AS TO MINIMIZE SEDIMENT RUNOFF TO ANY STORM DRAIN SYSTEM. 7. DURING PERIODS WHEN STORMS ARE FORECAST:
- A. EXCAVATED SOILS SHOULD NOT BE PLACED IN STREETS OR ON PAVED AREAS.
- B. ANY EXCAVATED SOILS SHOULD BE REMOVED FROM THE SITE BY THE END OF THE DAY.

C. WHERE STOCKPILING IS NECESSARY, USE A TARPAULIN OR SURROUND THE STOCKPILED MATERIAL WITH FIBER ROLLS, GRAVEL SEDIMENT BARRIER, SILT FENCE, OR OTHER RUNOFF CONTROLS. D. USE INLET CONTROLS AS NEEDED (E.G. BLOCK & GRAVEL SEDIMENT BARRIER) FOR STORM DRAIN ADJACENT TO THE PROJECT SITE OR STOCKPILED SOIL.

8. THOROUGHLY SWEEP ALL PAVED AREA EXPOSED TO SOIL EXCAVATION AND PLACEMENT.

9. STAND-BY CREWS SHALL BE ALERTED BY THE PERMIT APPLICANT OR CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORMS. 10. AFTER OCTOBER 15TH THROUGH APRIL 15TH, ALL EROSION CONTROL MEASURES WILL BE INSPECTED DAILY AND AFTER EACH STORM. BREACHES IN DIKES AND TEMPORARY SWALES WILL BE REPAIRED AT THE CLOSE OF EACH DAY AND WHEVER RAIL IS FORECAST. 11. AS PART OF THE EROSION CONTROL MEASURES, UNER GROUDN STORM DRAIN FACILITIES SHALL BE INSTALLED COMPLETE AS SHOWN ON THE IMPROVEMENT PLANS 12. BORROW AREAS ADN TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE

SATISFACTION OF THE CITY ENGINEER. 13. SANDBAGS SHALL BE STOCKPILED ON SITE AND PLACED AT INTERVALS SHSOWN ON EROSION CONTROL PLANS WHEN THE RAIN

FORECAST IS 40% OR GREATER. OR WHEN DIRECTED BY THE INSPECTOR. 14. SANDBAGS REFERRED TO IN THE PRECEDING ITEMS MUST BE FULL. APPROVED SANDBAG GILL MATERIALS ARE SAND, DECOMPOSED GRANITE AND.OR GRAVEL, OR OTHER MATERIALS APPROVED BY THE INSPECTOR. 15. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING SAFETY OF VEHICLES OPERATING IN ROADWAY ADJACENT TO EROSION

CONTROL FACILITIES. 16. AFTER RAINSTORMS CONTRACTOR SHALL CHECK FOR AND REMOVE SEDIMENT TRAPPED BY SAND BAGS AT STAGING AREA. REPLACE SAND BAGS IF DETERIORATION IS EVIDENT.

17. DUST CONTROL SHOULD BE PRACTICED ON ALL CONSTRUCTION SITES WITH EXPOSED SOILS AS NEEDED. IT IS IMPORTANT IN WINDY OR WIND-PRONE AREAS. DUST CONTROL IS CONSIDERED A TEMPORARY MEASURE AND AS AN INTERMEDIATE TREATMENT BETWEN SITE DISTURBANCE AND CONSTRUCTION, PAVING, OR REVEGETATION.

EROSION CONTROL NOTES

1 INSTALL SILT FENCE PRIOR TO ANY EXCAVATION OR CONSTRUCTION.

2 MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS. 3 ALL EXPOSED SOIL SHALL BE MULCHED WITH STRAW OR WOOD CHIPS TO MINIMIZE SOIL EROSION. NO SOIL SHALL BE LEFT IN AN

- EXPOSED CONDITION. 4 IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF THIS MATERIAL ON SITE FOR QUICK APPLICATION.
- 5 DISPERSION TRENCHES SHALL OVERFLOW ONTO NATIVE UNDISTURBED GROUND. NO SITE DISTURBANCE BELOW TRENCHES.

SITE CONTROL DURING CONSTRUCTION

THE APPLICANT AND/OR PROPERTY OWNER SHALL ADHERE TO THE FOLLOWING DUST CONTROL MEASURES:

- 1 WATER ALL ACTIVE CONSTRUCTION ARES TWICE PER DAY AND USE EROSION CONTROL MEASURES TO PREVENT WATER RUNOFF CONTAINING SILT AND DEBRIS FROM ENTERING THE STORM DRAIN SYSTEM. 2 COVER TRUCKS HAULING SOIL, SAND AND OTHER LOOSE MATERIAL.
- 3 PAVE, WATER OR APPLY NON-TOXIC SOIL STABILIZERS ON UNPAVED ACCESS ROADS AND PARKING AREAS.
- 4 SWEEP PAVED ACCESS ROADS AND PARKING AREAS DAILY.
- 5 SWEEP STREETS DAILY IF VISIBLE MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.

SITE DRAINAGE REQUIREMENTS

- 1. DRAINAGE FROM DOWNSPOUTS AND PAVED AREAS IS DIRECTED TO LANDSCAPED AREAS, OR COLLECTED IN FRENCH DRAINS OR SUBGRADE PERFORATED PIPE COLLECTORS, AND CONVEYED TO INFILTRATION BEST MANAGEMENT PRACTICES (BMP) SUCH AS RAIN GARDENS OR INFILTRATION TRENCHES.
- 2. THE LANDSCAPED AREA USED FOR INFILTRATION IS AT LEAST 50% OF THE SIZE OF THE CONTRIBUTING IMPERVIOUS SURFACE 3 20190930 SOG 17-07 PRIVATE STORMWATER DRAINAGE SYSTEM. 3. RUNOFF IS DIRECTED AWAY FROM BUILDING FOUNDATIONS.
- 4. RUNOFF IS DISPERSED THROUGHOUT THE SITE, OR DIRECTED TO TWO OR MORE INFILTRATION BMP'S.
- 5. WHEN NOT DISPERSED THROUGHOUT THE SITE, SWALES, DRY CREEKS OR PIPING SYSTEMS WITH A MINIMUM PIPE DIAMETER OF 3" SHALL BE USED TO CONVEY RUNOFF TO AN APPROVED INFILTRATION BMP. 6. RAIN GARDENS ARE DESIGNED IN ACCORDANCE WITH THE BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION (BASMAA)
- PUBLICATION RAIN GARDENS, STORMWATER CONTROL FOR SMALL PROJECTS. 7. INFILTRATION TRENCHES MUST HAVE A SEDIMENT CAPTURE FACILITY (SEDIMENT TRAP, VEGETATED SWALE) AHEAD OF THE TRENCH.
- 8. INFILTRATION TRENCHES SHALL BE A MINIMUM OF 24 INCHES WIDE, 4' LONG AND 3 TO 5 FEET DEEP AND SHALL BE DESIGNED IN ACCORDANCE WITH ATTACHMENT 2, TYPICAL INFILTRATION TRENCH DESIGN. 9. TRENCH AGGREGATE SHALL HAVE A MINIMUM VOID VOLUME OF 30%.
- 10. THE LONGITUDINAL SLOPE OF THE TRENCH SHALL NOT EXCEED 3%.
- 11. DRAINAGE AND INFILTRATION FEATURES SHALL BE LOCATED AT LEAST 6 FEET AWAY FROM NEIGHBORING PROPERTIES AND THE TOP OF STEEP SLOPES; AND 3 FEET AWAY FROM ANY PUBLIC STREET RIGHT-OF-WAY. 12. OVERFLOW MUST BE DIRECTED AWAY FROM NEIGHBORING PROPERTIES. OVERFLOW TO THE STREET REQUIRES AN ENCROACHMENT PERMIT APPROVED BY THE PUBLIC WORKS DIRECTOR.
- 13. PROTECT ALL TREES AND SHRUBS DURING CONSTRUCTION. 14. ALL SITE AND ROOF RUNOFF SHALL BE DIRECTED ONTO PRIVATE PROPERTY OF ITS ORIGIN AND FILTERED THROUGH SEEPAGE PITS, FRENCH DRAINS, AND/OR LEACH FIELDS WHERE POSSIBLE AND MAY NOT CROSS LOT LINES TO ADJOINING PROPERTIES. ANY RUNOFF WATERS FROM THE SITE THAT MAY BE DIRECTED ONTO THE PUBLIC RIGHT-OF-WAY OR CITY STORM DRAIN SYSTEM MUST BE DONE WITH PRIOR APPROVAL OF THE BUILDING OFFICIAL AND/OR PUBLIC WORKS SUPERINTENDENT. (CMC 15.18.010)

CONSTRUCTION MANAGEMENT PLAN PROJECT SCHEDULE START OCTOBER 2024 AND END OCTOBER 2025. MONDAY THROUGH SATURDAY. 7AM TO 5PM EMPLOYEES 4 CREW MEMBERS WILL BE ON SITE FULL TIME AND 1 PROJECT MANAGER WILL BE ON SITE 50%. ADDITIONAL 5 CREW SUBS INTERMITENTLY PARKING PARKING ON SITE WILL BE DONE WHENEVER POSSIBLE. PUBLIC PARKING ALONG EGAN AND MONARCH STREETS WILL BE USED WHEN NECESSARY DURING TRUCK DELIVERIES AND DEMO PHASE (3 WEEKS), OBEYING ALL PARKING LAWS TRUCK STAGING AREA 1200 SF OF ON-SITE DUMPSTER STAGING, TRUCK STAGING AND INTERMITTENT PARKING SPACE IS AVAILABLE DURING ALL THE CONSTRUCTION PHASE MATERIAL STAGING 250 SF OF STAGING AREA WILL BE AVAILABLE INSIDE THE GARAGE MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH AS THEY ARE USED PROMPTLY AND STORAGE IS MINIMIZED TRUCK TRIPS 5 TRUCK LOADS TOTAL LEAVING THE JOBSITE DURING DEMOLITION (3 WEEKS) 3 TRUCK LOADS OF MATERIAL DELIVERED DURING CONSTRUCTION 8 TRIPS TOTAL HAUL ROUTE HAUL TRUCK WILL BACK UP IN THE TRUCK STAGING AREA. LEAVE THE SITE BY TURNING LEFT ON 4TH AVENUE TURN LEFT ONTO CARPENTER USE LEFT 2 LANES TO TURN LEFT ON CA-1 N TAKE EXIT 412 FOR DEL MONTE BLVD TURN RIGHT ONTO DEL MONTE BLVD TURN LEFT ON CHARLES BENSON ROAD ARRIVE MONTEREY REGIONAL WASTE MANAGEMENT DISTRICT (MARINA LANDFILL)

oe State Marina State Bea Fort Ord Day Camp Cycling Area & Black Horse 0 📾 17 mir Pacific Grove COUNTRY CLUB WEST Monterey Raceway Laguna Seca Del Monte 26 min Forest PEBBLE BEACH De Tierra BARONET ESTATES Carpenter Street & 4th Avenue The Episcopal Church of the Good Shepherd ica-Museum

A-N.5 VERSION: 3.5 DATE: 5/8/24 PLANNING 函 て て 11 Ο Ζ Ш S M Ζ $\overline{\mathbf{O}}$ S Ο Ω ш S ш Ο Ш \square \square ()NUT 14 A ΥZ