

NUTE RESIDENCE DEMO & ADDITION

0 NW CARPENTER AT 4TH, CARMEL, CALIFORNIA
 APN: 010-023-008-000 [CARMEL-BY-THE-SEA]



HOURS OF CONSTRUCTION

THE OPERATION OF TOOLS AND EQUIPMENT USED IN CONSTRUCTION SHALL BE LIMITED TO THE HOURS AUTHORIZED BY LOCAL AUTHORITY. NO HEAVY EQUIPMENT RELATED CONSTRUCTION ACTIVITY IS ALLOWED ON SUNDAYS OR HOLIDAYS. IF THE CITY ADOPTS A NOISE ORDINANCE IN THE FUTURE, APPLICABLE PROVISIONS OF SAID ORDINANCE SHALL REPLACE THIS CONDITION.

DISCOVERY OF PREHISTORIC OR ARCHAEOLOGICAL RESOURCES :
 SHOULD CONCENTRATIONS OF ARCHAEOLOGICAL OR PALEONTOLOGICAL MATERIALS BE ENCOUNTERED DURING CONSTRUCTION OR GRADING OPERATIONS. ALL GROUND-DISTURBING WORK SHALL BE TEMPORARILY HALTED ON THE SITE AND THE COMMUNITY DEVELOPMENT DEPARTMENT CONTACTED. WORK NEAR THE ARCHAEOLOGICAL FINDS SHALL NOT BE RESUMED UNTIL A QUALIFIED ARCHAEOLOGIST HAS EVALUATED THE MATERIALS AND OFFERED RECOMMENDATIONS FOR FURTHER ACTION. PREHISTORIC MATERIALS THAT COULD BE ENCOUNTERED INCLUDE: OBSIDIAN OR CHERT FLAKES OR TOOLS, LOCALLY DARKENED MIDDEN, GROUND STONE ARTIFACTS, DEPOSITIONS OF SHELL, DIETARY BONE, AND HUMAN BURIALS. SHOULD HUMAN REMAINS BE UNCOVERED, STATE LAW REQUIRES EXCAVATION IS HALTED IN THE IMMEDIATE AREA AND THAT THE COUNTY CORONER BE CONTACTED IMMEDIATELY. SHOULD THE CORONER DETERMINE THAT THE REMAINS ARE LIKELY THOSE OF A NATIVE AMERICAN, THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION MUST BE CONTACTED WITHIN 24 HOURS OF IDENTIFICATION. THE HERITAGE COMMISSION CONSULTS WITH THE MOST LIKELY NATIVE AMERICAN DESCENDANTS TO DETERMINE THE APPROPRIATE TREATMENT OF THE REMAINS.

CONSTRUCTION PLAN SUMMARY

1. THE PROPOSED PROJECT IS A SFR REMODEL THAT IS TO BE COMPLETED IN A TIME FRAME OF ONE YEAR.
2. THE PROPOSED PROJECT WILL BE BUILT BY A LICENSED CONTRACTOR WITH AN AVERAGE OF FOUR WORKERS WORKING ON THE PROJECT PER WORKING DAY.
3. PARTIES RESPONSIBLE DURING CONSTRUCTION:
 - A. OWNER: TORRIE & MICKI NUTE
 - B. CONTRACTOR: LEWIS BUILDERS
4. ON AVERAGE, TWO TO THREE TRUCKS A DAY AT SITE AND ONE TRIP TO MONTEREY REGIONAL WASTE MANAGEMENT DISTRICT A WEEK.
5. HOURS OF OPERATIONS: M-F, 8AM - 5PM.
6. PROJECT SCHEDULING: START DECEMBER 2022 END NOVEMBER 2023.



CONTACT INFO

OWNER	APPLICANT / DESIGNER
TORRIE & MICKI NUTE 1352 BLACK HAWK DRIVE MORGAN HILL, CA 95037 (650) 270-0247	LEWIS BUILDERS 3706 The Barnyard G11 Carmel, CA (831) 250 7168
ENGINEER OF RECORD	ENERGY COMPLIANCE
FRANCISCO M. DUARTE CE-69094 FMD ENGINEERING, INC 32108 ALVARADO BLVD #340 UNION CITY, CA 94587 (510) 475-8290 fduarte@fmdengr.com	MONTEREY ENERGY GROUP 26465 CARMEL RANCHO BLVD #8 CARMEL, CA 93923 831.372.8328 cad@meg4.com

SITE DETAILS

LAND USE:	SINGLE FAMILY RESIDENTIAL
ZONING:	R-1
SITE AREA:	4,000 SF
YEAR BUILT:	1949
OCCUPANCY TYPE:	R-1
CONSTRUCTION TYPE:	V-B
SPRINKLED:	YES
LIVING AREA:	1,798 SF
• HOUSE:	1,598 SF
• GARAGE:	200 SF
JURISDICTION:	CARMEL-BY-THE-SEA
SOIL TYPE:	CARMEL ZONE "D"
WATER:	CALAM
SEWER:	SEWER
ELECTRICITY/GAS:	PG&E
HISTORIC BLDG:	NO
ARCHEOLOGY:	NO
FLOODPLAIN:	NO
WUI:	NO
EASEMENTS:	NO
VARIANCE:	NO

BUILDING CODES

ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE MOST CURRENT EDITION OF THE FOLLOWING:

- o CALIFORNIA BUILDING CODE 2022
- o CALIFORNIA RESIDENTIAL CODE 2022
- o CALIFORNIA MECHANICAL CODE 2022
- o CALIFORNIA PLUMBING CODE 2022
- o CALIFORNIA ELECTRICAL CODE 2022
- o CALIFORNIA FIRE CODE 2022
- o CALIFORNIA ENERGY CODE 2022
- o CALIFORNIA GREEN BUILDING STANDARDS CODE 2022
- o CARMEL-BY-THE-SEA MUNICIPAL CODES 2022
- o CARMEL-BY-THE-SEA RESIDENTIAL DESIGN GUIDELINES 2001

NOTES

PGE BURIAL WAIVED BY CITY FORESTER

DEFERRED SUBMITTAL

FIRE SUPPRESSION
 SPECIAL INSPECTIONS
 FAU MODEL, BTU, PIPE SIZE & LENGTHS

PROJECT DESCRIPTION

PLANNING
 516 SF ADDITION TO EAST SIDE OF RESIDENCE. 454 SF SECOND STORY ADDITION.
 REPLACE ALL WINDOWS & DOORS, UPDATE COLOR OF WINDOWS, DOORS, TRIM AND REMOVE BAY WINDOW ON SOUTH FACADE.
 ADD GABLE TRANSOM WINDOWS TO SOUTH FACADE ON FIRST AND SECOND FLOORS.
 UPDATE ASPHALT ROOF TO PRESIDENTIAL COMPOSITE SHINGLE IN DARK GRAY.
 DEMO BRICK CHIMNEY, REPLACE WITH DV GAS FIREPLACE & CHIMNEY W/ SCREENED DV CAP.
 REPLACE WOOD SIDING ON HOUSE AND GARAGE WITH COMPOSITE STRAIGHT EDGE HARDIE SHINGLE.
 UPDATE TO 3 BEDROOMS, 3 BATHROOMS.
 DEMO 84 SF SHED IN EAST YARD. DEMO 498 SF WEST WING OF RESIDENCE.
 REPLACE 13 LF 6" WOOD FENCE W/GATE IN NORTH YARD. NEW 12LF 6" SOLID WOOD FENCE W/ GATES WEST YARD.
 REPLACE 88 LF 4" WHITE PICKET FENCE IN WEST AND SOUTH YARDS WITH 4" TALL NATURAL GRAPESTAKE FENCE.
 2 NEW WEST FACING SKYLIGHTS TO BE LOW PROFILE AND ENERGY EFFICIENT WITH BLACKOUT BLIND.
 ADD BRICK FACING TO FOUNDATION. FRONT STEPS AND CHIMNEY TO MATCH. REORGANIZE AND REDUCE SITE COVERAGE FOR FULL COMPLIANCE.
 NEW LOW-WATER LANDSCAPING W/PARTIAL IRRIGATION USING CARMEL PREFERRED PLANT LIST
 INFILL WEST FOUNDATIONS WITH GRAVEL/SOIL MIX TO CREATE PATIO/YARD 8' BELOW HOUSE FFE.
 SITE DRAINAGE VIA SPLASH BLOCKS & DISPERSION PIT AS SHOWN IN CIVIL DRAINAGE PLAN
 UNHEATED MECHANICAL CLOSET UNDER STAIRS W/ ACCESS FROM NORTH YARD
 ALL NORTH FACING WINDOWS ARE OBSCURE/PRIVACY GLAZING
 REDUCE NORTH EAVES TO 6", ALL OTHER EAVES TO 16", 12" ON GARAGE
 RELOCATE GAS METER TO SOUTHEAST CORNER OF GARAGE
 RELOCATE ELECTRICAL METER TO NORTHWEST CORNER OF GARAGE

TREE REMOVAL
 NONE

BUILDING
 COMPLETE INTERIOR AND EXTERIOR REMODEL OF EXISTING RESIDENCE.
 10 SF INCREASE TO RESIDENCE FOOTPRINT.
 21 SF DECREASE TO GARAGE SF IN EXISTING FOOTPRINT VIA SPACE LESS THAN 5' HIGH (CONCRETE CURB)
 REPLACE ALL ELECTRICAL, PLUMBING, MECHANICAL.
 SPRINKLERS ARE REQUIRED.
 MOVE LAUNDRY INTO HOUSE.

SITE COVERAGE TABLE

CARPENTER COVERAGE & FOOTAGES	EXISTING	BFA LIMIT	IMPERM LIMIT	IMP+BONUS LIMIT
LOT SIZE	4,000	1,800	396	556
FLOOR AREA RATIO	EXISTING	DEMO	NEW / CONVERT	PROPOSED
(E) House	1,104	498	0	598
(N) 1st Floor New Slab on Grade	0	0	516	516
(N) House 2nd Floor	0	0	454	454
(E) Shed	84	84	0	0
(E) Garage	252	0	0	252
(E) Garage conversion to less than 5' interior height	0	0	-29	-29
TOTAL FLOOR AREA	1,440	582	941	1,799
Floor area ratio	36.0%			45.0%
IMPERMEABLE (NOT IN ROW)	EXISTING	DEMO	NEW	PROPOSED
(N) Covered Entry Porch	0	0	36	36
(N) Impermeable Brick Landings, Walkways & Steps	0	0	193	193
(N) Concrete Slab BBQ Pad	0	0	26	26
(E) Concrete Garage Apron	9	0	0	9
(N) Concrete Slab Gas Firepit Pad	0	0	12	12
Total Impermeable	9	0	267	276
Impermeable Coverage ratio	0.2%			6.9%

PERMITTING SUBMISSION LOG

06/08/22	PLANNING INTITAL SUBMIT	ER V1.0/PLN1.0
09/08/22	PLANNING INFORM RFI #1	ER V1.1/PLN2.0
10/28/22	PLANNING INFORM RFI #2	ER V1.2/PLN3.0
02/16/23	PLANNING CO#1/2ND SUBMIT	ER V2.0/PLN4.0
04/11/23	PLANNING INFORM RFI #3	ER V2.1/PLN5.0
05/02/23	PLANNING INFORM RFI #4	ER V2.2/PLN6.0
02/28/24	PLANNING 3RD SUBMIT	ER V3.1/PLN7.0
05/07/24	PLANNING CO#1/3RD SUBMIT	ER V3.3/PLN8.0

PAGE INDEX

A-0	COVER: PROJECT DATA
SURV	SITE SURVEY
T-1	TREE PROTECTION PLAN
A-1.1	SITE PLANS
A-1.2	PROPOSED SITE PLAN LARGE
A-2.1	DEMO FLOOR PLANS
A-2.2	EXISTING & PROPOSED FLOOR PLANS
A-3.1	STORY POLE SECTIONS
A-3.2	PROPOSED ELEVATIONS W/FFE STORY POLES
A-3.3	EXTERIOR ELEVATIONS: EAST (LEGAL FRONT)
A-3.4	EXTERIOR ELEVATIONS: SOUTH
A-3.5	EXTERIOR ELEVATIONS: WEST (REAR)
A-3.6	EXTERIOR ELEVATIONS: NORTH (NEIGHBOR)
A-3.7	STREETSCAPE ELEVATIONS
A-3.8	RENDERING FROM DRIVEWAY
A-3.9	RENDERINGS
A-3.10	RENDERINGS
A-4.1	ROOF PLANS LOWER FLOOR
A-4.2	ROOF PLAN UPPER FLOOR
A-5.1	DOOR SCHEDULE
A-5.2	WINDOW SCHEDULE
A-6.1	CONSTRUCTION DETAILS, MPWMD CREDITS
A-6.2	SPECIFICATIONS
F-1.1	FINISH MATERIALS & LIGHTING SHEET
V-1.1	VOLUMETRIC STUDY
A-N.1	2022 CAL GREEN NOTES
A-N.2	2022 CAL GREEN NOTES
A-N.3	CAL GREEN, BMP'S, MPWMD
A-N.4	GENERAL NOTES, FIRE DEPT NOTES
A-N.5	CODE NOTES, EROSION, WASTE NOTES

CHANGE ORDER LOG

REV #1 ER 05.07.24 V3.2 PLANNING 8.0
 PLANNING PLAN VERSIONS CHANGE ORDER #1 & INFORMAL RFI
 CHANGE OF EXTERIOR COLORS & MATERIALS, MOVE FIREPLACE & CHIMNEY EAST, PLAN DIMS, SECOND PROPOSED
 • REVISED SHEETS: ALL A-#s, EXCEPT CODE SHEETS
 • NEW SHEET: A-3.2

COVER: PROJECT DATA

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY
1	05.07.24 PLN CO #1/INF RFI #1	ER			ER

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LEWIS BUILDERS
 CA LICENSE #B-844741
 CARMEL CA 93923
 (831) 250 7168

DESIGN + BUILD

Map Legend:

Basis of Bearings: The bearing of North as shown on the Map of Carmel City (1-C&T-52) and as found monumented in Block 41 is taken as the basis of bearings for this survey.

Vertical Datum: Assumed.
Site Benchmark: Center of storm drain manhole lid (point # 7109) in 4th Avenue as shown hereon.

Contour Interval: Contours as shown hereon are interpolated using computer digital terrain modeling software and spot elevations. Ground may be more irregular than contours indicate.

Note: The abbreviation and symbol lists below are comprehensive and not all abbreviations or symbols will appear on the map.

- catch basin-drain
- control point
- electric meter or pull box
- fire hydrant
- gas meter or pull box
- gas valve
- guy anchor
- irrigation pull box
- irrigation control valve
- light standard
- manhole
- point on line
- sewer clean out
- sign(pole)
- storm drain manhole
- sewer manhole
- telephone manhole
- telephone pull box
- traffic signal box
- cable television pull box
- unmarked pull box
- utility pole
- water meter
- water valve
- well

Boundary Legend

- A.G.S. - above ground surface
- A.S.O. - as shown on
- AP - angle point
- BC - brass cap or begin curve
- BFP - backflow preventer
- B.G.S. - below ground surface
- BOC - back of curb
- COR - corner
- CP - control point
- CTL - CONTROL
- DOC - document
- ENG/ENGR - engineer
- FD/FND - found
- F.T.C. - from true corner
- I.P. - iron pipe
- L&T - lead & tag
- LS - land surveyor
- M-T - MAG NAIL & tag
- MAG - MAG NAIL
- MKD - marked
- MON - monument
- N.T. - nail & tag
- N.R.F. - no reference found
- N.S.F. - not searched for
- O.R. - Official Records, Monterey County
- O.U. - origin unknown
- POL - point on line
- RCE - registered civil engineer
- ROW - right of way
- S.F.N.F. - searched for, not found
- SPK - spike
- STA - station/control point
- TBM - temporary benchmark

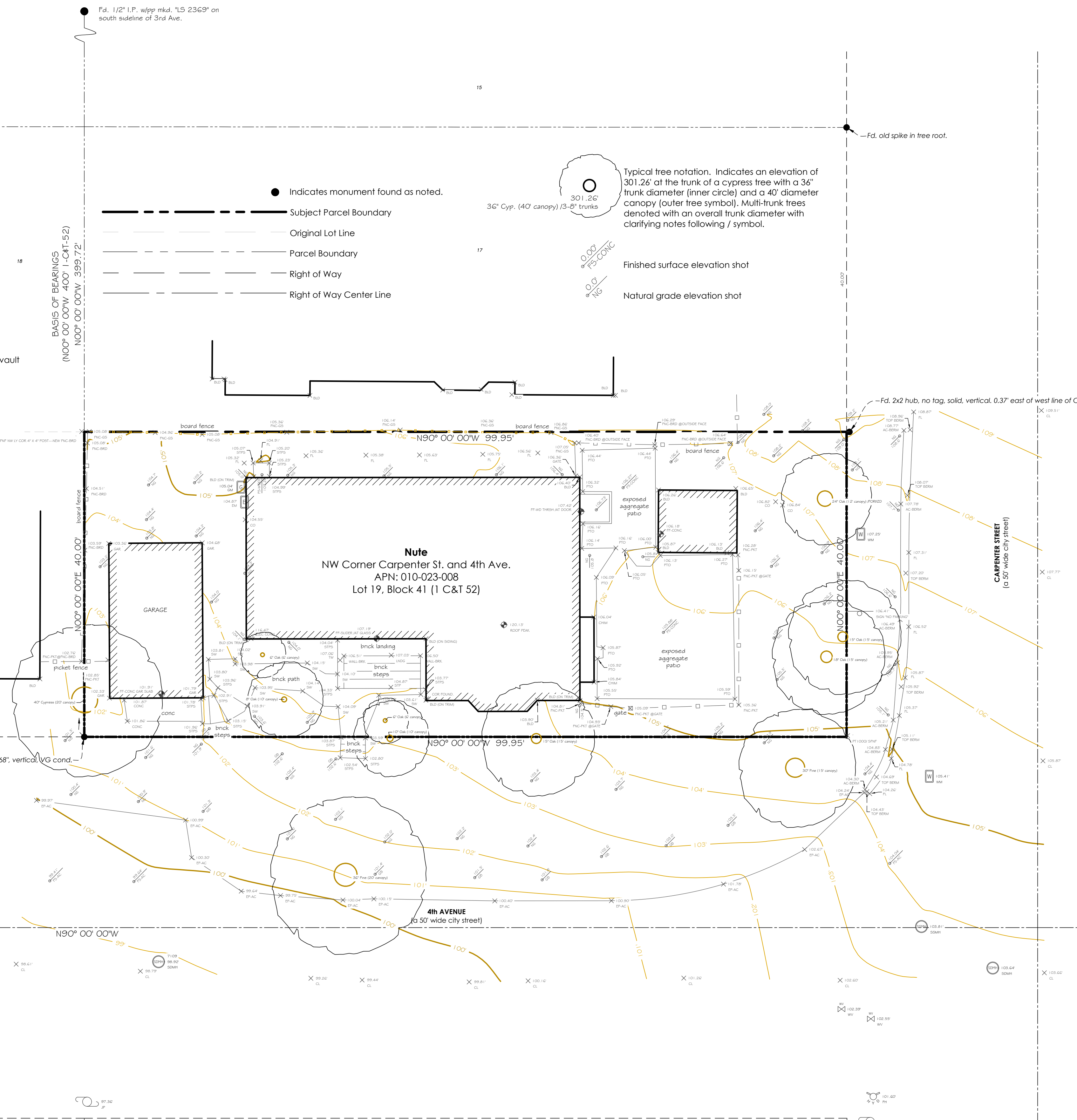
Topography Legend

- AC - asphalt concrete
- AD - area drain
- AL - area light
- BLD/BLDG - building
- BDR(S) - boulder(s)
- BOC - back of curb
- BRK - brick
- BTM/BOT - bottom
- BW - back of sidewalk
- CF - curb face
- CHIM - chimney
- CL - centerline
- CLM - column
- CONC - concrete
- D - dirt
- DG - decomposed granite
- DK - deck
- DW - driveway
- EA - exposed aggregate concrete
- ENCL - enclosure

- EP - edge of paving
- FF - finished floor
- FF-THRESH - finished floor threshold
- FH - fire hydrant
- FL - flow line
- FL-NG - flow line natural grade
- FNC - fence
- FNC-BRD - board fence
- FNC-BW - barbed wire fence
- FNC-CL - chain-link fence
- FNC-GS - grapestake fence
- FNC-HW - hogwire fence
- FNC-I - iron fence
- FNC-LAT - lattice fence
- FNC-PR - post & rail fence
- FNC-WD - wood fence
- FNC-WI - wrought iron fence
- FNC-WR - wire fence
- FOB - face of building
- FOW - face of wall
- FS - finished surface
- FTG - footing
- FW - front of sidewalk
- GAR - garage
- GB - grade break
- GUT - edge of gutter
- GUYA - guy anchor
- GUYP - guy pole
- GVL - gravel
- HC - handicap
- HGD - hedge
- HRAIL - hand rail
- INT - intersection
- LNDG - landing
- LIP - edge of conc gutter
- MB - mailbox
- MTL - metal
- NG - natural grade
- P - pool
- PLTR - planter
- PTO - patio
- PVR - paver
- RD - road
- RDG - ridge
- ROOF-P - roof peak
- ROOF-R - roof ridge
- STC - stucco
- STN - stone
- STP - step
- STRP - stripe
- SW - sidewalk
- SWL - swale
- TC - top of curb
- TOP - top of slope
- TOE - toe of slope
- TW/TOW - top of wall
- WALL-AB - Alien Block wall

Utility Legend

- CATV - cable tv
- COMM - communications
- CO or C/O - clean out
- DDCV - double detector check valve
- ELEC - electric meter
- EO - electric outlet
- GM - gas meter
- GV - gas valve
- HB - hose bib
- ICV - irrigation control valve
- IRR - irrigation
- JP - joint utility pole
- LT - light
- LT-STD - light standard/pole
- PB - utility pull box
- PB-? - unmarked pull box
- PF-PIN FLAG
- PF-B - blue pin flag
- PF-G - green pin flag
- PF-O - orange pin flag
- PF-P - pink pin flag
- PF-PL - purple pin flag
- PF-R - red pin flag
- PF-W - white pin flag
- PF-Y - yellow pin flag
- PM - paint mark
- PM-B - blue PM (water)
- PM-G - green PM (sewer)
- PM-O - orange PM (catv/comm)
- PM-P - pink PM (unknown facilities)
- PM-PL - purple PM (reclaimed water/irr)
- PM-R - red PM (elec)
- PM-W - white paint mark
- PM-Y - yellow PM (gas)
- PP - power pole
- PVR - paver
- PVR - sewer clean out
- SDMH - storm drain manhole
- SSMH - sanitary sewer manhole
- ST LT - street light
- STN - stone
- TELCO - telephone
- TG - top of drain grate
- UP - utility pole
- UTIL - utility
- VLT - vault



Surveyor's Notes:

This map portrays the site at the time of the survey and does not show soils or geologic information, underground conditions, easements, zoning setbacks, regulatory information or any other items not specifically identified by the party requesting the survey. There may be easements or other rights, recorded or unrecorded, affecting the subject property which are not shown hereon.

Visible evidence of underground utilities such as utility meters, manhole lids, clean outs, valve covers, pull boxes and similar features are shown hereon. Underground utility pipes, conduits, transmission lines sewer laterals, etc. were not located. Information regarding underground utility line locations should be obtained from the appropriate utility companies or public agencies.

Elevations are based on an assumed datum as noted. Ground may be more irregular than contours indicate.

Distances are expressed in feet and decimals thereof.

The cross symbol (x) marks the horizontal position of the spot elevation shown. Tree symbols indicating tree trunk and tree canopy are drawn to scale based on approximate trunk and canopy diameters.

Sufficient boundary ties were made to graphically show existing features however a complete boundary survey was not performed.



NW Corner Carpenter St. and 4th Ave., APN: 010-023-008
 Located in the City of Carmel-by-the-Sea, Monterey County, State of California

Prepared For: Torrie and Antonette Nute, Requested By: Lewis Builders

February 2022

Rasmussen Land Surveying, Inc.
 2150 Garden Road, Suite A-3, Monterey, California 93942
 P: 831.375.7240 F: 831.375.2545

RLS W.O. # 2022-006


TREE PROTECTION PLAN

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY
05.07.24	PLN CO #1/INF RFI #1	ER			ER

NOTE

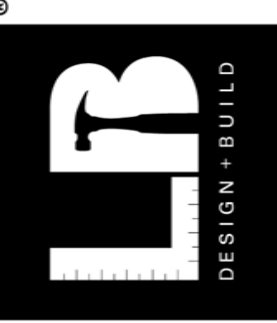
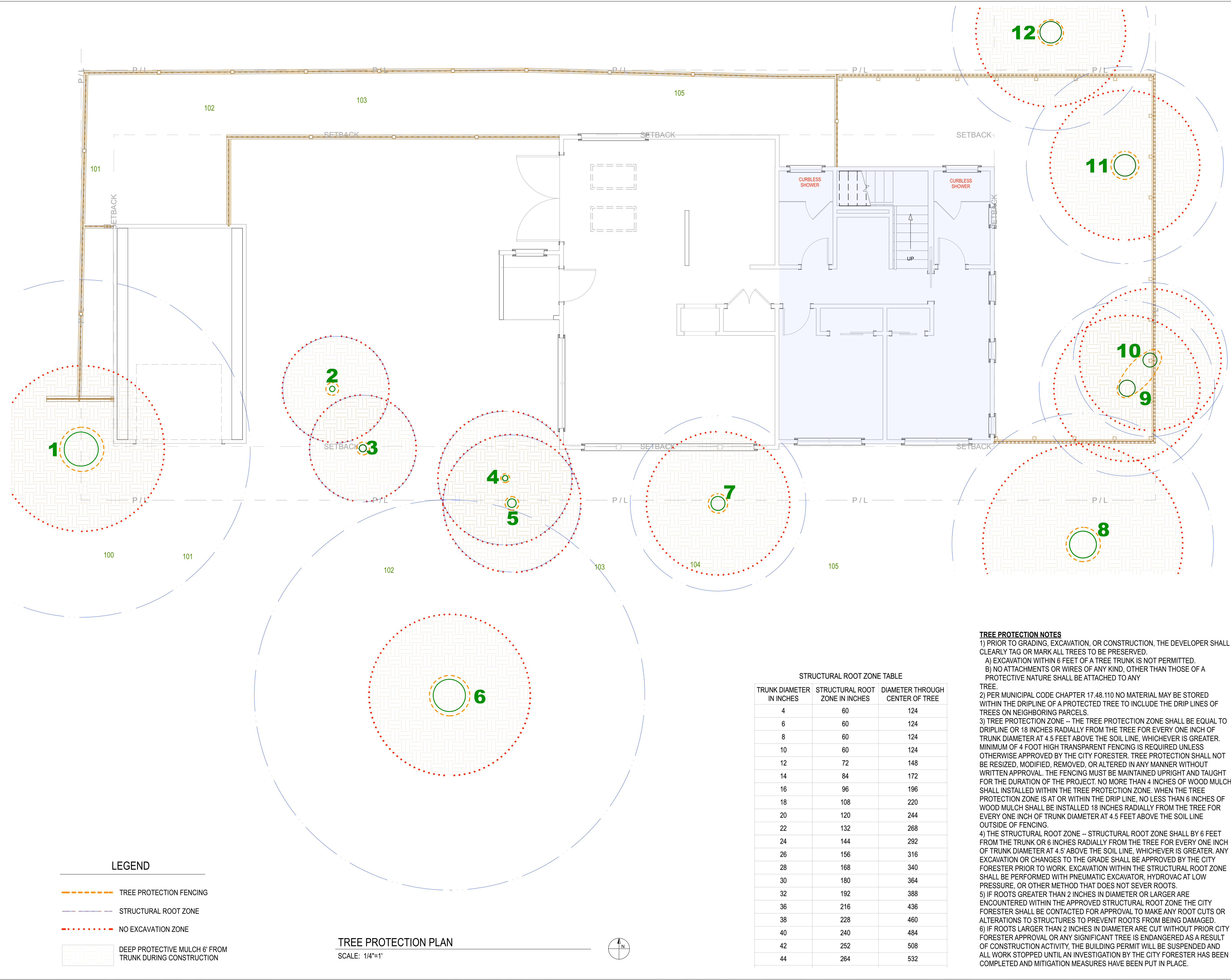
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LEWIS BUILDERS
 CA. LICENSE #B-844741
 CARMEL CA 93923
 (831) 250 7168

LEGEND

- TREE PROTECTION FENCING
- - - STRUCTURAL ROOT ZONE
- NO EXCAVATION ZONE
- [Hatched Box] DEEP PROTECTIVE MULCH 6' FROM TRUNK DURING CONSTRUCTION

TREE PROTECTION PLAN
 SCALE: 1/4"=1'

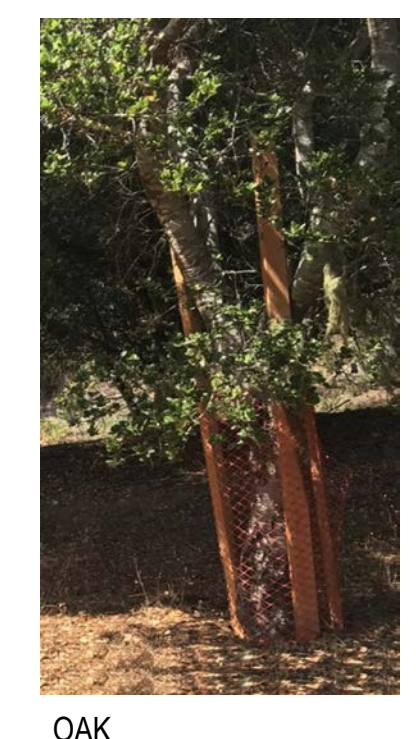


STRUCTURAL ROOT ZONE TABLE

TRUNK DIAMETER IN INCHES	STRUCTURAL ROOT ZONE IN INCHES	DIAMETER THROUGH CENTER OF TREE
4	60	124
6	60	124
8	60	124
10	60	124
12	72	148
14	84	172
16	96	196
18	108	220
20	120	244
22	132	268
24	144	292
26	156	316
28	168	340
30	180	364
32	192	388
36	216	436
38	228	460
40	240	484
42	252	508
44	264	532

TREE PROTECTION NOTES

- 1) PRIOR TO GRADING, EXCAVATION, OR CONSTRUCTION, THE DEVELOPER SHALL CLEARLY TAG OR MARK ALL TREES TO BE PRESERVED.
 - A) EXCAVATION WITHIN 6 FEET OF A TREE TRUNK IS NOT PERMITTED.
 - B) NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
- 2) PER MUNICIPAL CODE CHAPTER 17.48.110 NO MATERIAL MAY BE STORED WITHIN THE DRIPLINE OF A PROTECTED TREE TO INCLUDE THE DRIP LINES OF TREES ON NEIGHBORING PARCELS.
- 3) TREE PROTECTION ZONE -- THE TREE PROTECTION ZONE SHALL BE EQUAL TO DRIPLINE OR 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER. MINIMUM OF 4 FOOT HIGH TRANSPARENT FENCING IS REQUIRED UNLESS OTHERWISE APPROVED BY THE CITY FORESTER. TREE PROTECTION SHALL NOT BE RESIZED, MODIFIED, REMOVED, OR ALTERED IN ANY MANNER WITHOUT WRITTEN APPROVAL. THE FENCING MUST BE MAINTAINED UPRIGHT AND TAUGHT FOR THE DURATION OF THE PROJECT. NO MORE THAN 4 INCHES OF WOOD MULCH SHALL BE INSTALLED WITHIN THE TREE PROTECTION ZONE. WHEN THE TREE PROTECTION ZONE IS AT OR WITHIN THE DRIPLINE, NO LESS THAN 6 INCHES OF WOOD MULCH SHALL BE INSTALLED 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE OUTSIDE OF FENCING.
- 4) THE STRUCTURAL ROOT ZONE -- STRUCTURAL ROOT ZONE SHALL BE 6 FEET FROM THE TRUNK OR 6 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5' ABOVE THE SOIL LINE, WHICHEVER IS GREATER. ANY EXCAVATION OR CHANGES TO THE GRADE SHALL BE APPROVED BY THE CITY FORESTER PRIOR TO WORK. EXCAVATION WITHIN THE STRUCTURAL ROOT ZONE SHALL BE PERFORMED WITH PNEUMATIC EXCAVATOR, HYDROVAC AT LOW PRESSURE, OR OTHER METHOD THAT DOES NOT SEVER ROOTS.
- 5) IF ROOTS GREATER THAN 2 INCHES IN DIAMETER OR LARGER ARE ENCOUNTERED WITHIN THE APPROVED STRUCTURAL ROOT ZONE THE CITY FORESTER SHALL BE CONTACTED FOR APPROVAL TO MAKE ANY ROOT CUTS OR ALTERATIONS TO STRUCTURES TO PREVENT ROOTS FROM BEING DAMAGED.
- 6) IF ROOTS LARGER THAN 2 INCHES IN DIAMETER ARE CUT WITHOUT PRIOR CITY FORESTER APPROVAL OR ANY SIGNIFICANT TREE IS ENDANGERED AS A RESULT OF CONSTRUCTION ACTIVITY, THE BUILDING PERMIT WILL BE SUSPENDED AND ALL WORK STOPPED UNTIL AN INVESTIGATION BY THE CITY FORESTER HAS BEEN COMPLETED AND MITIGATION MEASURES HAVE BEEN PUT IN PLACE.




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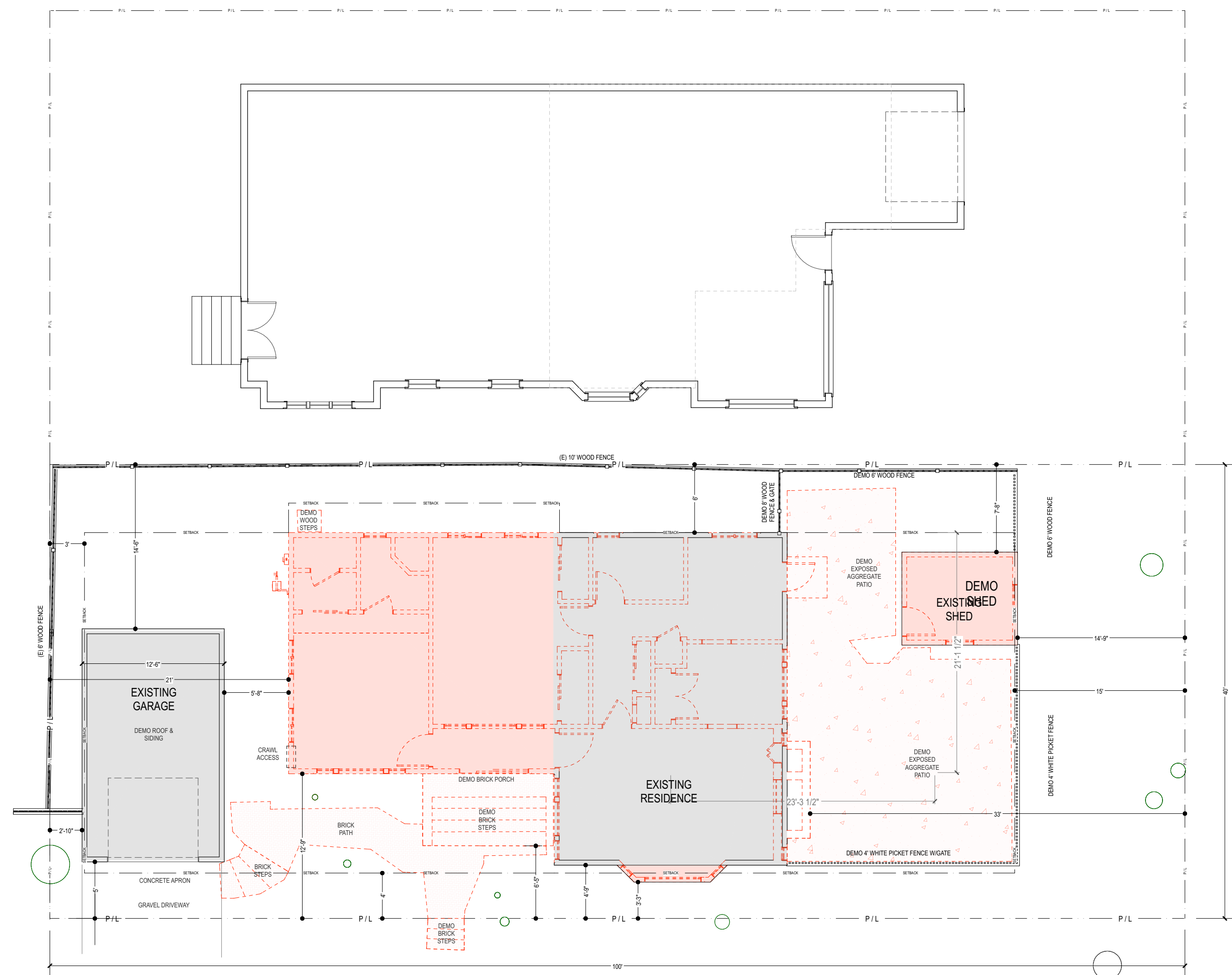
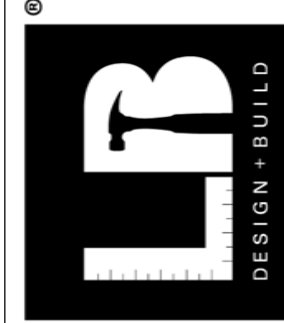
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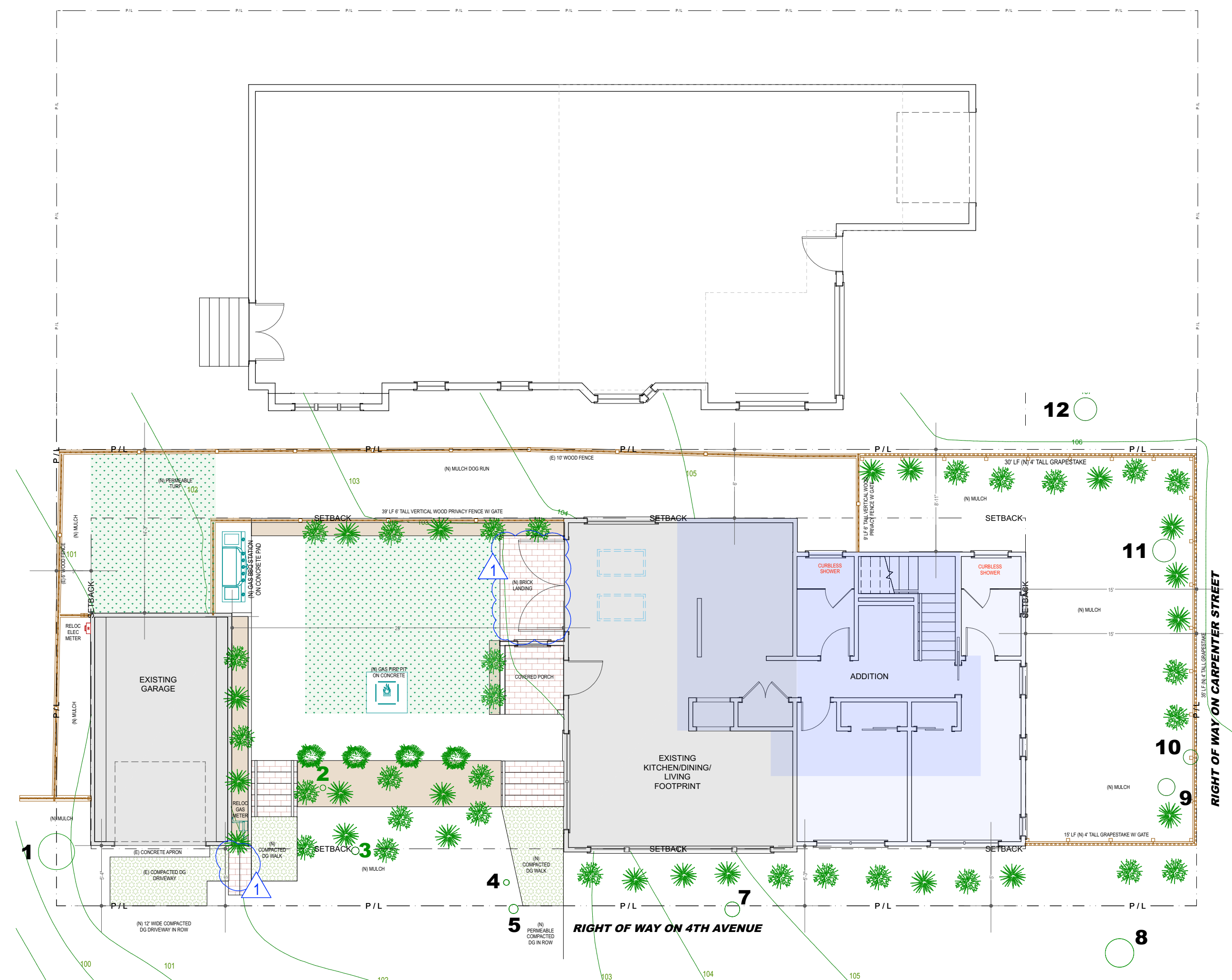
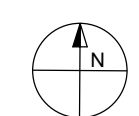


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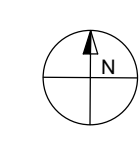
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EXISTING SITE PLAN
SCALE: 1/8"=1'



PROPOSED SITE PLAN
SCALE: 1/8"=1'



TOPOGRAPHY LINES ADDED MAY 2024

SEE SURVEY DATED FEBRUARY 2022 BY RASMUSSEN LAND SURVEYING INC FOR TREE LOCATION, UTILITY LOCATIONS, TOPOGRAPHY, DRAINAGE, HARDSCAPE, FENCING, AND RESIDENCE FLOOR ELEVATION.


LEGEND

- AREAS OF ADDITION (CONDITIONED SPACE)
- DEMO ITEMS

PROPOSED SITE PLAN LARGE

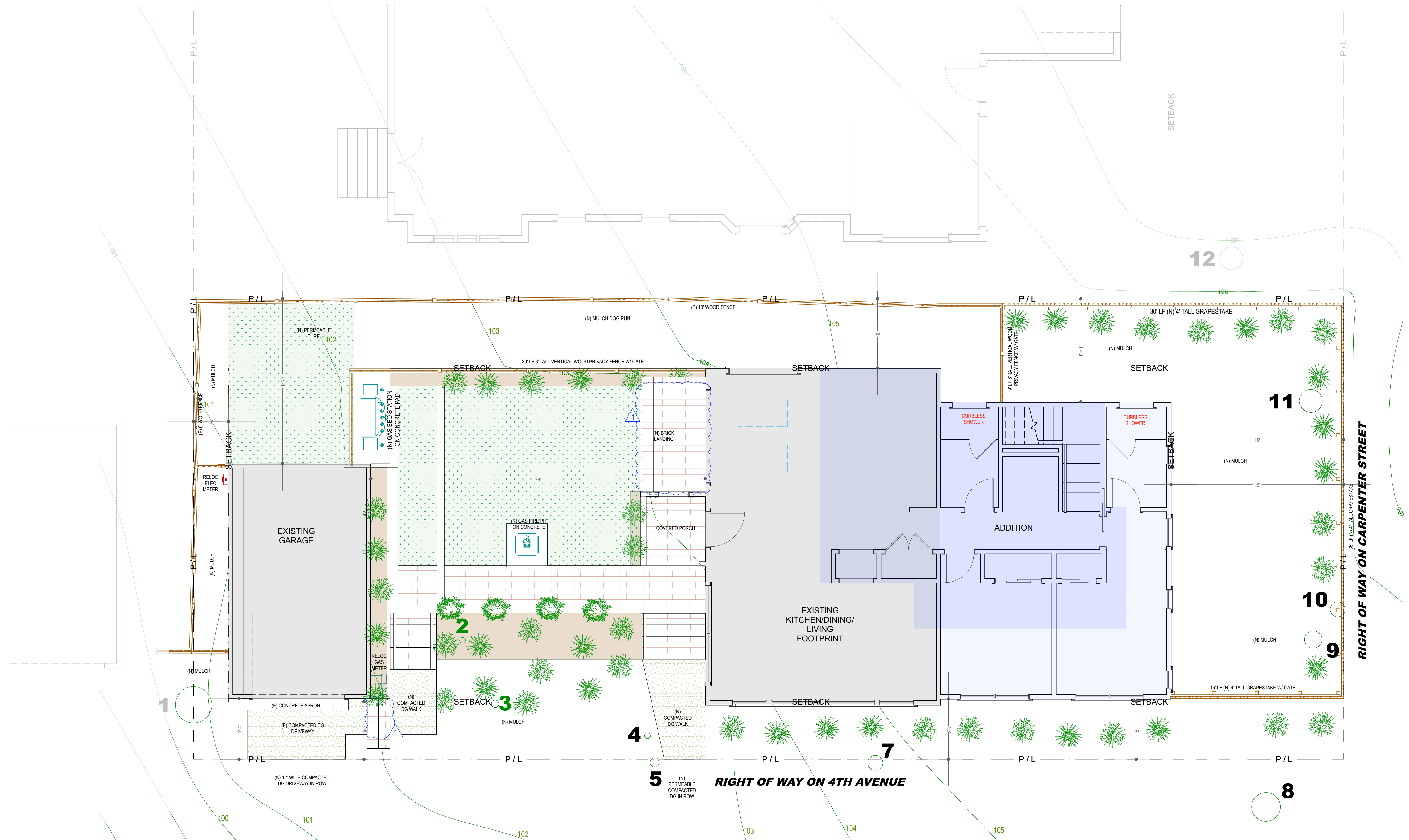
REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY
1	05.07.24 PLN CO #1/NF RFI #1	ER			ER
		ER			ER

NUTE
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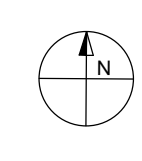
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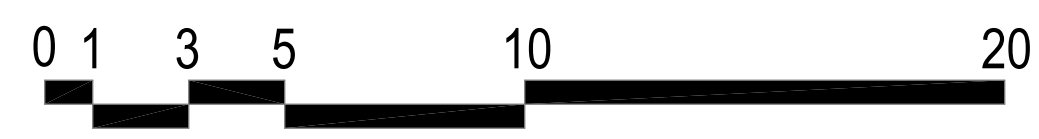
PROPOSED SITE PLAN
 SCALE: 1/4"=1'
 ALL HARDSCAPE COVERAGE CHANGED & LANDSCAPING ADDED 05.04.24



1 TOPOGRAPHY LINES ADDED MAY 2024

LEGEND
 AREAS OF ADDITION (CONDITIONED SPACE)

SEE SURVEY DATED FEBRUARY 2022 BY RASMUSSEN LAND SURVEYING INC FOR TREE LOCATION, UTILITY LOCATIONS, TOPOGRAPHY, DRAINAGE, HARDSCAPE, FENCING, AND RESIDENCE FLOOR ELEVATION.



DEMO FLOOR PLANS

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY
05.07.24	PLN CO #1/INF RFI #1	ER	ER		ER
		ER	ER		ER

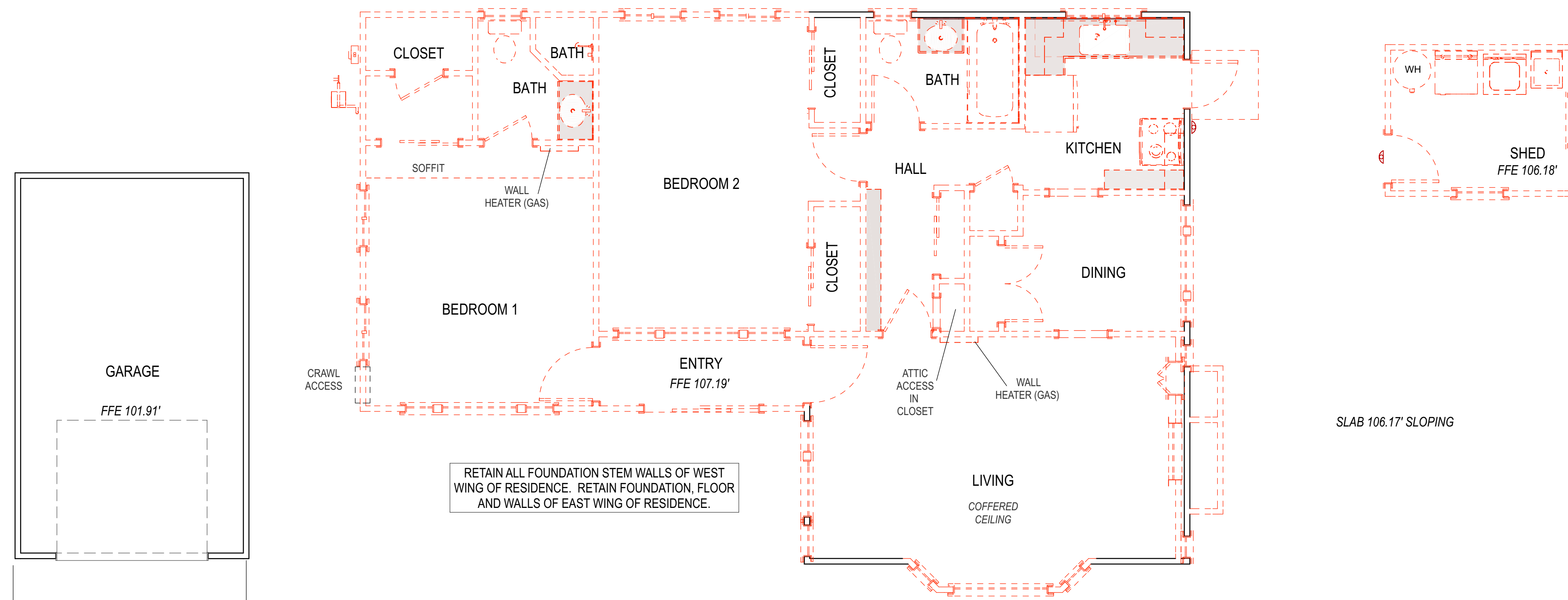
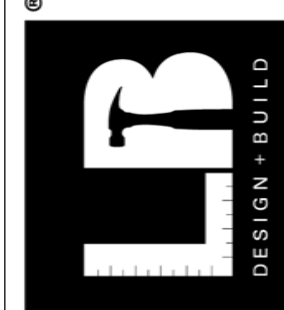
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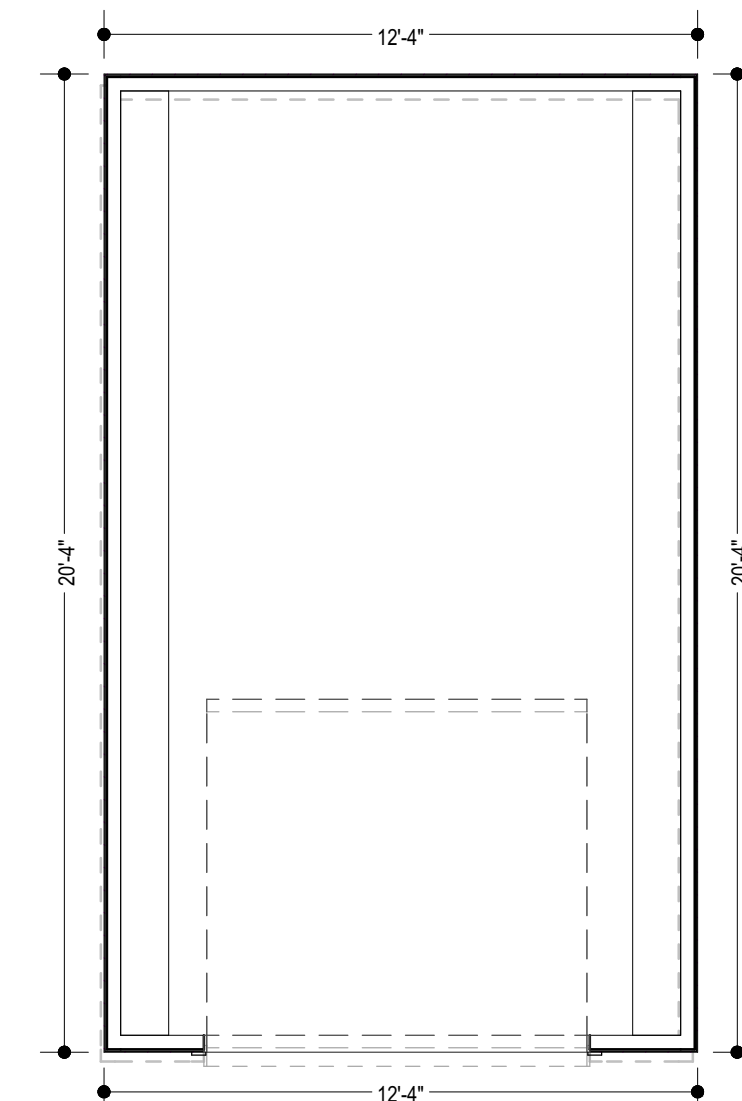
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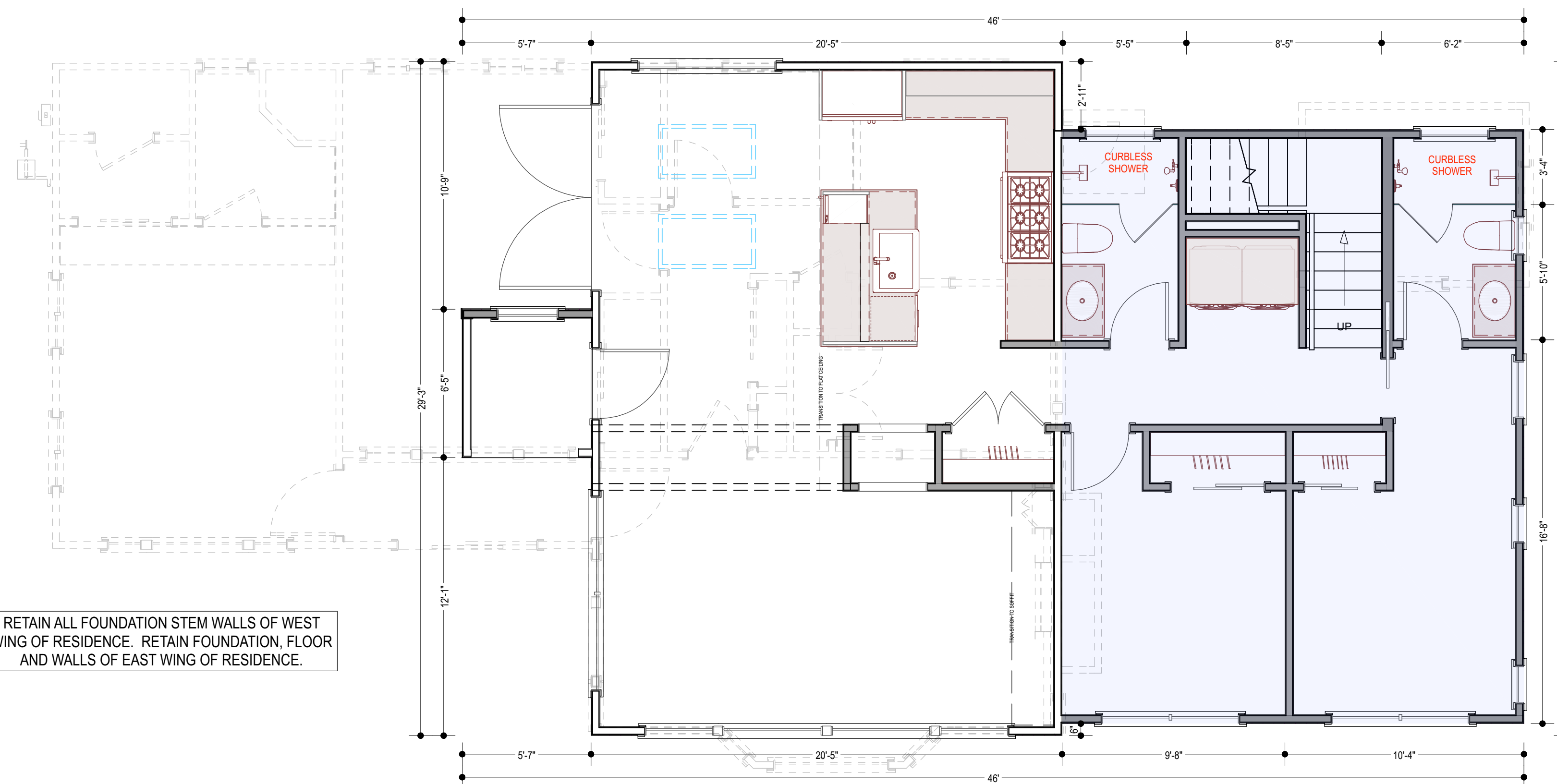
RETAIN ALL FOUNDATION STEM WALLS OF WEST WING OF RESIDENCE. RETAIN FOUNDATION, FLOOR AND WALLS OF EAST WING OF RESIDENCE.

ALL CEILINGS ARE FLAT @ 8', EXCEPT WHERE NOTED

- LEGEND
- EXISTING WALL TO REMAIN
 - NEW WALL
 - LINE OF CEILING TRANSITIONS/ EXPOSED BEAM
 - EXISTING WALL TO BE REMOVED
 - AREA OF ADDITION



RETAIN ALL FOUNDATION STEM WALLS OF WEST WING OF RESIDENCE. RETAIN FOUNDATION, FLOOR AND WALLS OF EAST WING OF RESIDENCE.

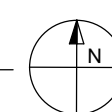


ALL CEILINGS ARE FLAT @ 8', EXCEPT WHERE NOTED



PROPOSED PLAN WITH DEMO UNDERLAY

SCALE: 1/4"=1'



FLOOR PLAN NOTES

- 1 ALL NEW STUDS PER STRUCTURAL PLANS UNO.
- 2 GLASS SHOWER WALL NOTES:
A) GLAZING IN ENCLOSURES FOR WALLS FACING BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS THAN 60 INCHES MEASURED VERTICALLY ABOVE AND STANDING OR WALKING SURFACE SHALL CONFORM TO CRC R308.3, R308.4.
B) UNLESS NOTED AS CURBLESS, SHOWERS SHALL BE PROVIDED WITH DAMS/ THRESHOLDS AT LEAST 2" AND NOT MORE THAN 9" ABOVE THE TOP OF THE DRAIN. DAMS/THRESHOLDS SHALL BE OF SUFFICIENT WIDTH TO ACCOMMODATE A MINIMUM 22" INCH DOOR. SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN A MINIMUM 22" UNOBSTRUCTED OPENING FOR EGRESS PER CPC 411.6.
C) ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE SHALL HAVE A MINIMUM FINISHED INTERIOR OF ONE THOUSAND TWENTY FOUR (1,024) SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A THIRTY (30) INCH CIRCLE PER CPC 411.7.
D) SHOWER FLOORS SHALL HAVE A MINIMUM 2% FLOOR PITCH TO FLOOR DRAIN.
E) BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN SIX FEET ABOVE THE FLOOR.

INTERIOR STAIRS AND GUARDRAILS

- STAIRS WITH 4 OR MORE RISERS SHOWING THE FOLLOWING MINIMUMS: [CRC R311.7.7]
A) GUARDS USED AS HANDRAIL SHALL BE BETWEEN 34 TO 38 INCHES IN HEIGHT AND HAVE INTERMEDIATE RAILINGS SPACED SO THAT A SPHERE 4.375 INCHES IN DIAMETER CANNOT PASS THROUGH. [CRC R311.7.7.1 & R312.2 EXCEPTION 2, R312.3 EXCEPTION 2]
B) THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM ELEMENT OF A GUARDRAIL AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH SIZE SUCH THAT A SPHERE 6 INCHES IN DIAMETER CANNOT PASS THROUGH. [CRC R312.3 EXCEPTION 1]
C) THE HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1 1/4 INCH NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION. [CRC R311.7.7.1]
- MINIMUM CODE REQUIREMENTS:
A) MAXIMUM 7.75-INCH RISE AND MINIMUM 10-INCH RUN. [CRC R311.7.4.1 & R311.7.4.2]
B) MINIMUM 6 FEET 8 INCH VERTICAL HEADROOM MEASURED AT STAIRWAY TREAD NOSINGS. [CRC R311.7.2]
C) MINIMUM 36 INCH CLEAR WIDTH. [CRC R311.7.4.1]
D) THERE SHALL BE A FLOOR OR A LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY OR STAIR RUN. [CRC R311.7.5]
E) AT LEAST ONE INTERMEDIATE LANDING SHALL BE PROVIDED FOR EACH 12 FEET OF VERTICAL STAIRWAY RISE MEASURED BETWEEN THE HORIZONTAL PLANES OF ADJACENT LANDINGS. [CRC R311.7.5 EXCEPTION]

UNDERSTAIR AREAS:

- A) HABITABLE AREAS BENEATH STAIRS TO HAVE 1/2" MINIMUM GWB, PER CRC R302.7
- B) AREAS CONTAINING APPLIANCES, AREA REQUIRES 5/8 TYPE 'X' 1 HR FIRE RATED GYPSUM

EXISTING & PROPOSED FLOOR PLANS

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY
1	05.07.24 PLN CO #1/INF RFI #1	ER			ER
		ER			ER
		ER			ER

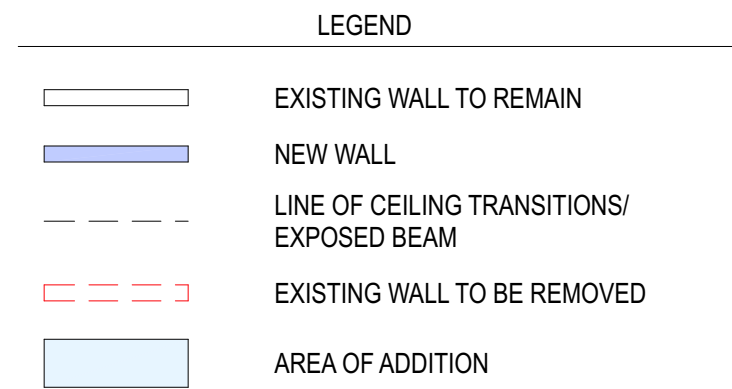
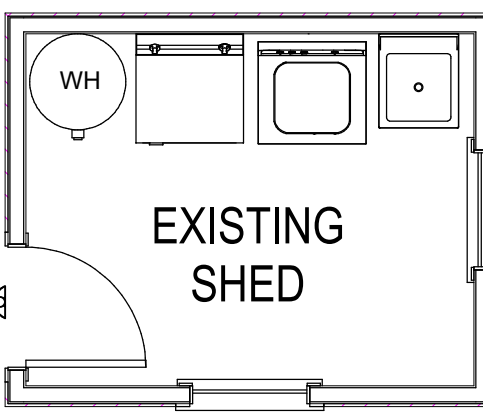
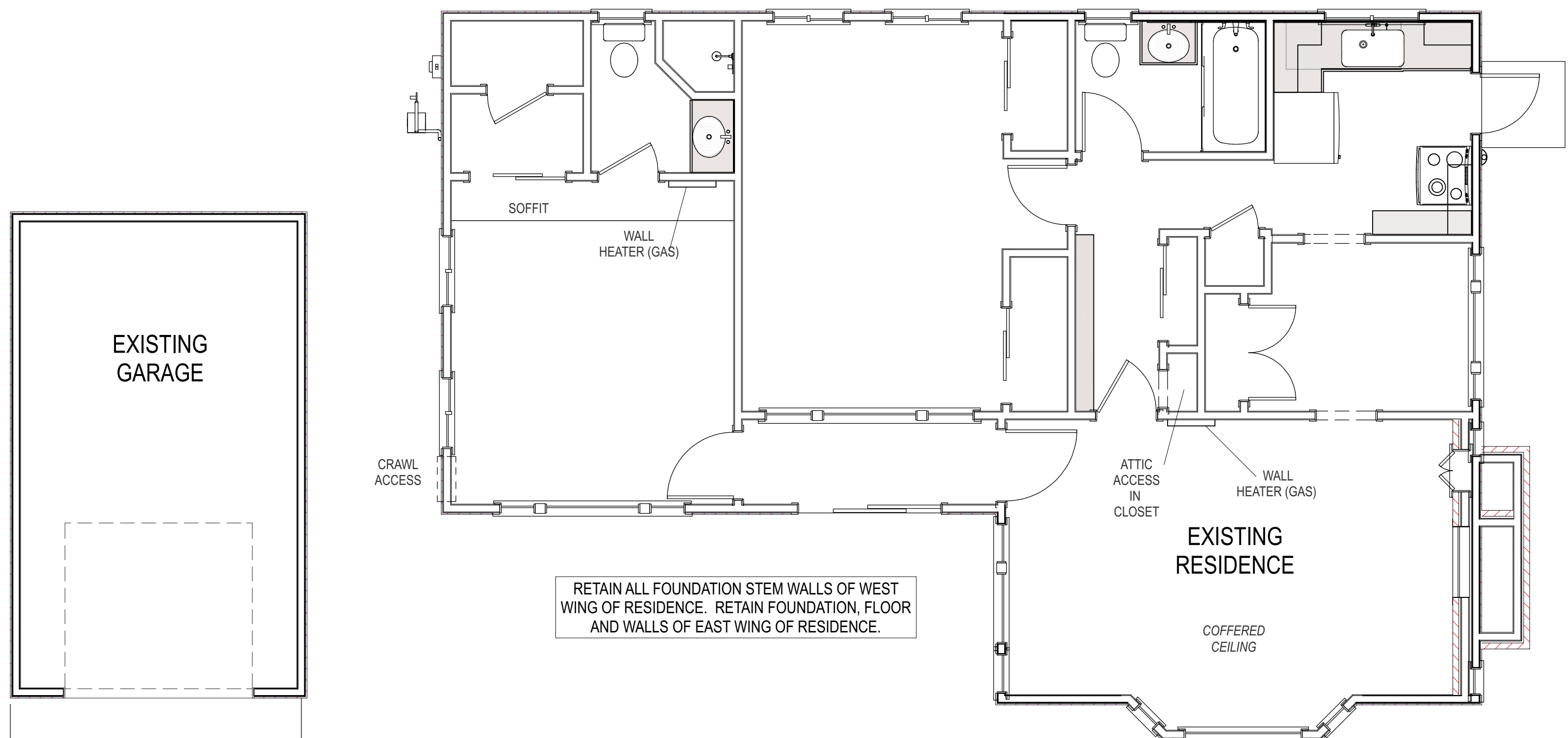
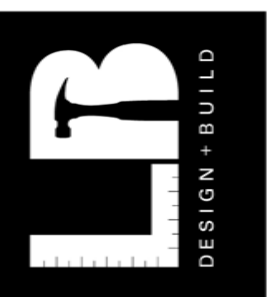
NOTE

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APN 010-023-008-000

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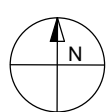
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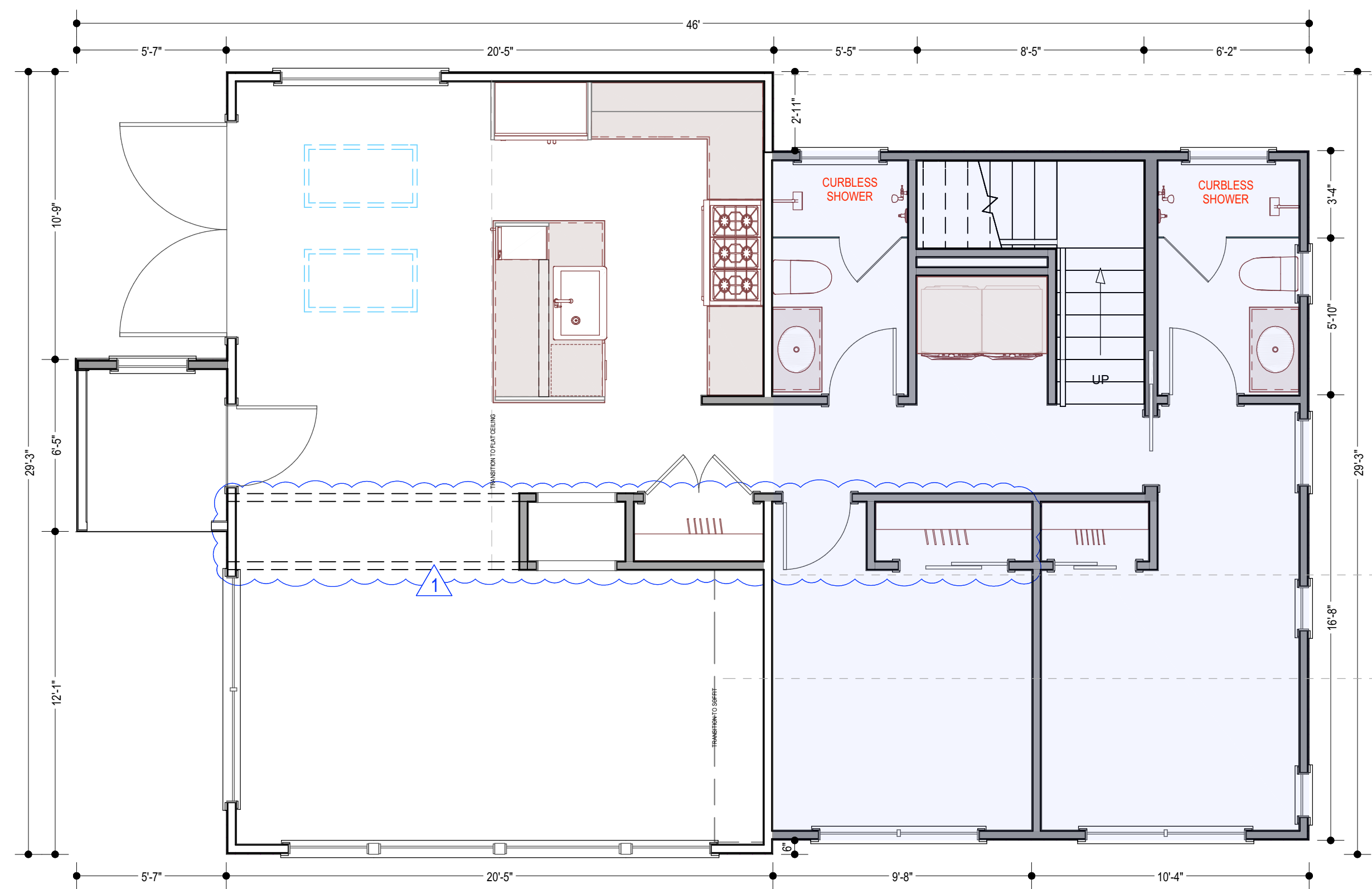
EXISTING FLOOR PLAN

SCALE: 1/4"=1'



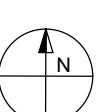
ALL CEILINGS ARE FLAT @ 8', EXCEPT WHERE NOTED

EXTERIOR DIMENSIONS ADDED MAY 2024

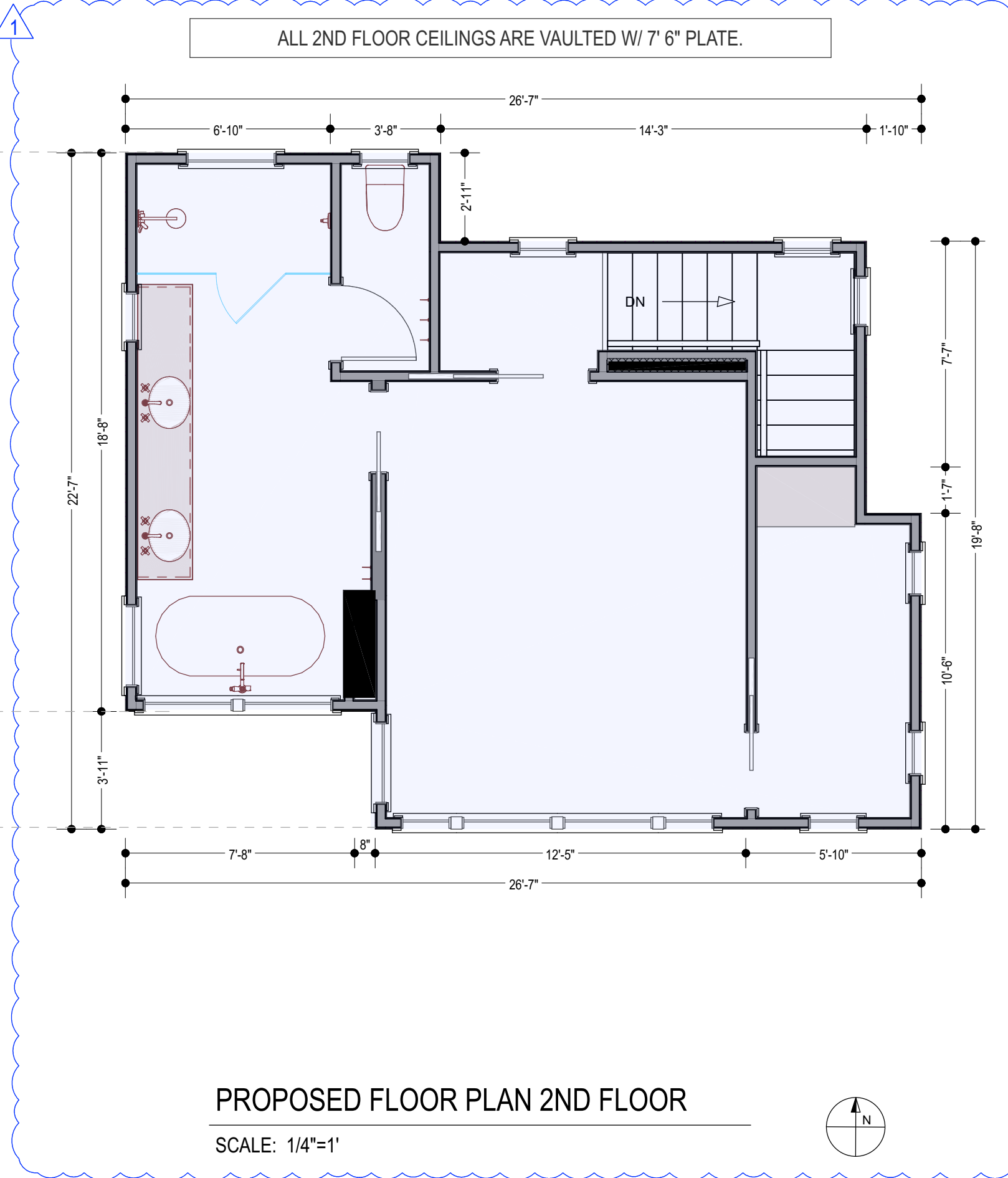


PROPOSED FLOOR PLAN 1ST FLOOR

SCALE: 1/4"=1'

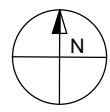


ALL CEILINGS ARE FLAT @ 8', EXCEPT WHERE NOTED ON REFLECTED CEILING PLAN SHEET 3.2

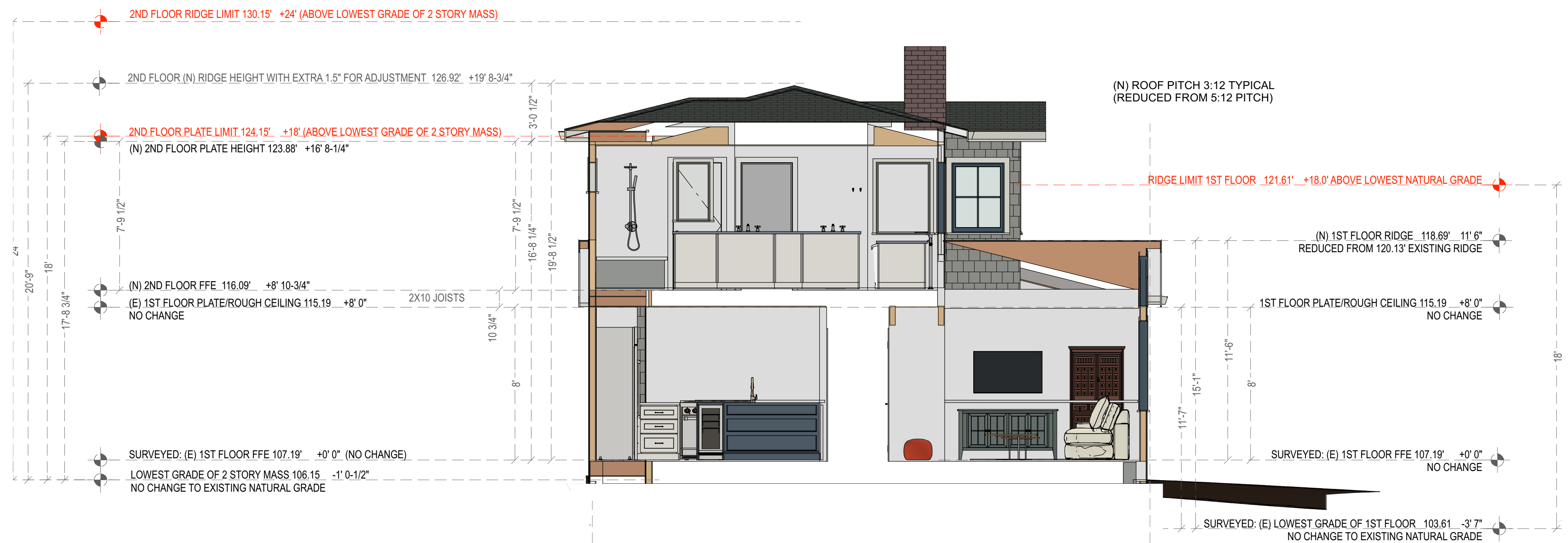


PROPOSED FLOOR PLAN 2ND FLOOR

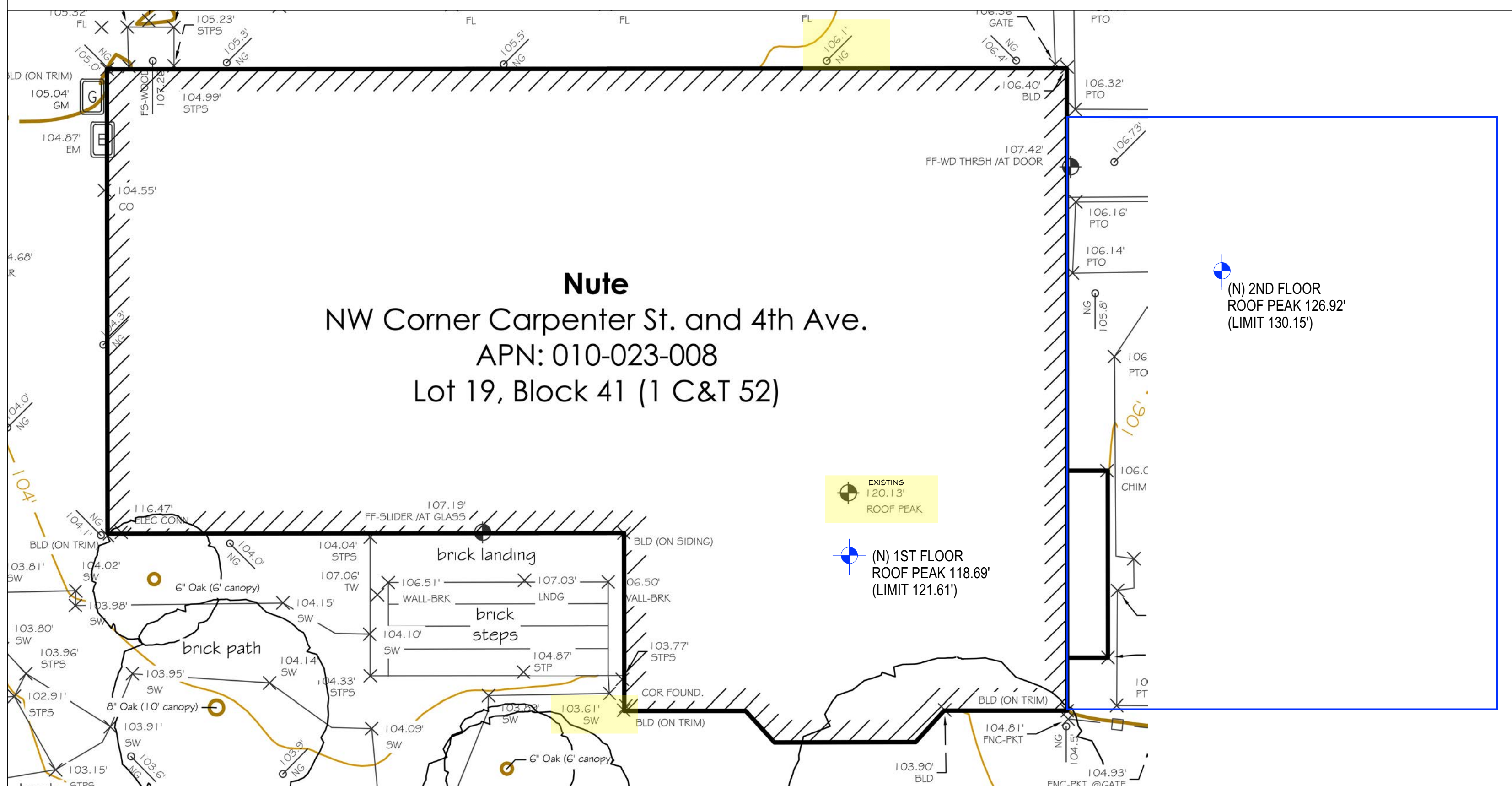
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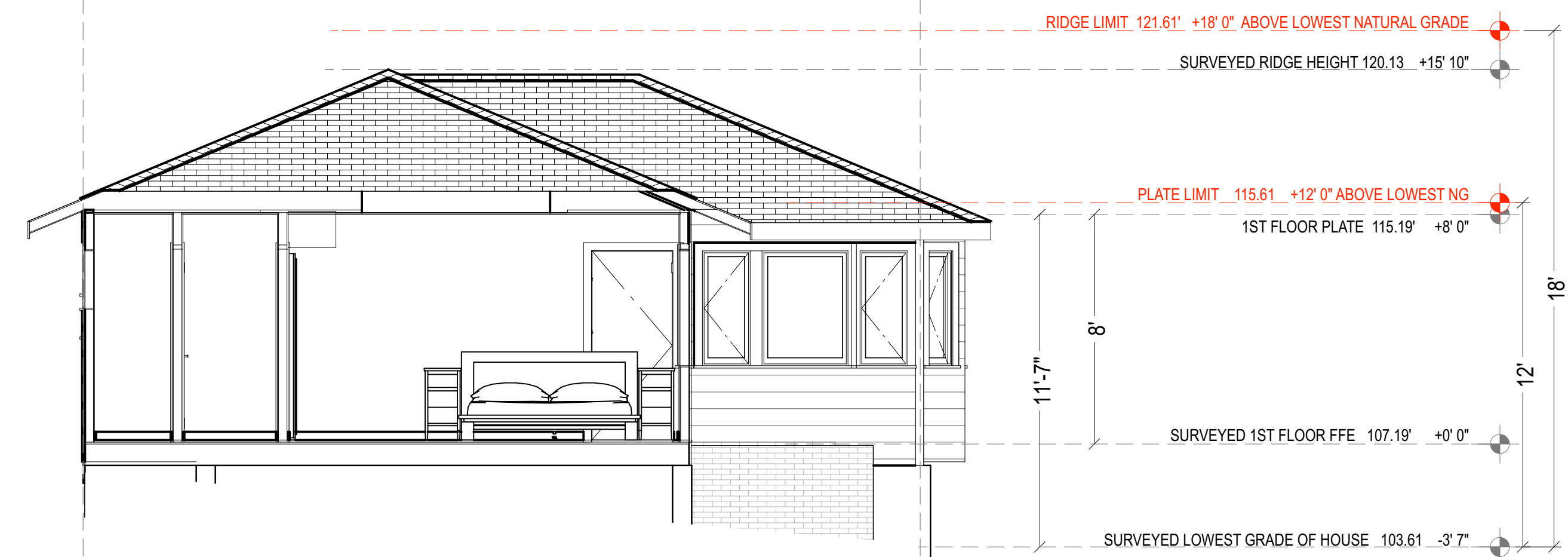
proposed	absolute elev	delta decimal feet	delta ft inch	
(E) 1ST FL lowest natural grade	103.61	-3.58	negative 3 feet 7 inch	surveyed
(E) 1ST FFE	107.19	0		surveyed
(E) 1ST plate	115.19	8.0		
1st Fl plate limit	115.61	8.42	12' above lowest natural grade	
(e) 1st fl ridge	120.13	12.94		surveyed
(N) 1ST fl ridge	118.69	11.5	11 feet 6 inch	lowered by 1.44' or 17.25"
1st Fl ridge limit	121.61	14.42	18' above lowest natural grade	
2ND FL LOWEST NATURAL GRADE	106.15	1.04	1 ft 0.5 inch	
(N) 2nd FL FFE (w/ 2x10 joists)	116.09	0.9	0.9' = 11" = 2x10 (9.25") + 3/4" subfloor + 1" tile max	
2nd fl PLATE	123.88	7.79	7 feet 9.5 inch = 7.79'	
2ND PLATE LIMIT	124.15	8.06	18' above 2 story mass lowest natural grade	18
(N) 2ND fl ridge	126.92			3.23
2ND RIDGE LIMIT	130.15	14.06	24' above 2 story mass lowest natural grade	24



PROPOSED



Nute
 NW Corner Carpenter St. and 4th Ave.
 APN: 010-023-008
 Lot 19, Block 41 (1 C&T 52)



EXISTING

STORY POLE SECTIONS

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY
05.07.24	PLN CO #1/INF RFI #1	ER			ER
		ER			ER
		ER			ER

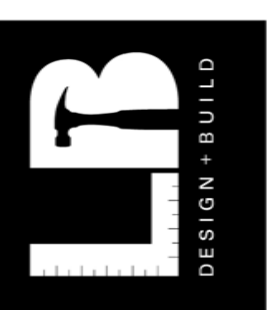
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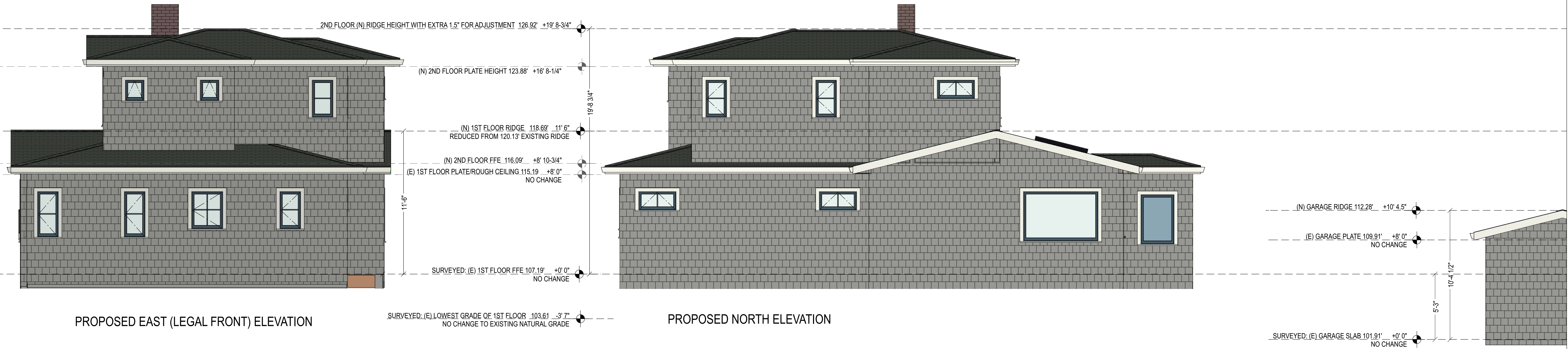
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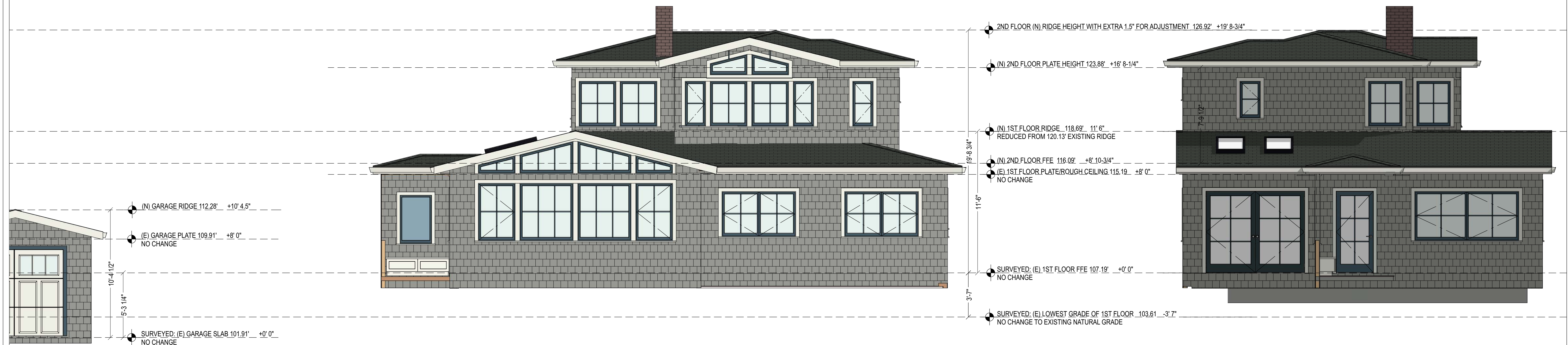




PROPOSED EAST (LEGAL FRONT) ELEVATION

PROPOSED NORTH ELEVATION

ALL ROOF PITCH REDUCED TO 3:12, TYPICAL



PROPOSED SOUTH ELEVATION

PROPOSED WEST ELEVATION

PROPOSED ELEVATIONS W/ FFE STORY POLES

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY
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		ER			ER
		ER			ER

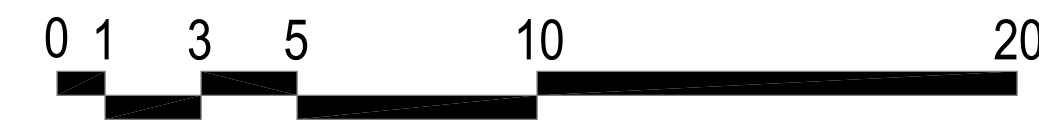
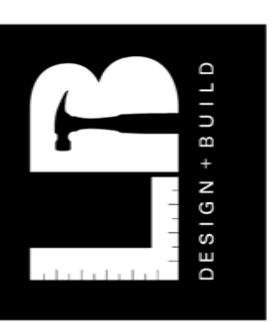
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VIEW OF EXISTING NORTH PROPERTY LINE, FENCE & SHADOWS

proposed	absolute elev	delta decimal feet	delta ft inch	
(E) 1ST FL lowest natural grade	103.61	-3.58	negative 3 feet 7 inch	surveyed
(E) 1ST FFE	107.19	0		surveyed
(E) 1ST plate	115.19	8.0		
1st Fl plate limit	115.61	8.42	12' above lowest natural grade	
(e) 1st fl ridge	120.13	12.94		surveyed
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2nd fl PLATE	123.88	7.79	7 feet 9.5 inch = 7.79'	
2ND PLATE LIMIT	124.15	8.06	18' above 2 story mass lowest natural grade	18
(N) 2ND fl ridge	126.92			3.23
2ND RIDGE LIMIT	130.15	14.06	24' above 2 story mass lowest natural grade	24



VIEW FROM PATIO SHOWING EAVE HEIGHT DIFFERENCE W/ NEIGHBOR



PROPOSED EAST (LEGAL FRONT) ELEVATION

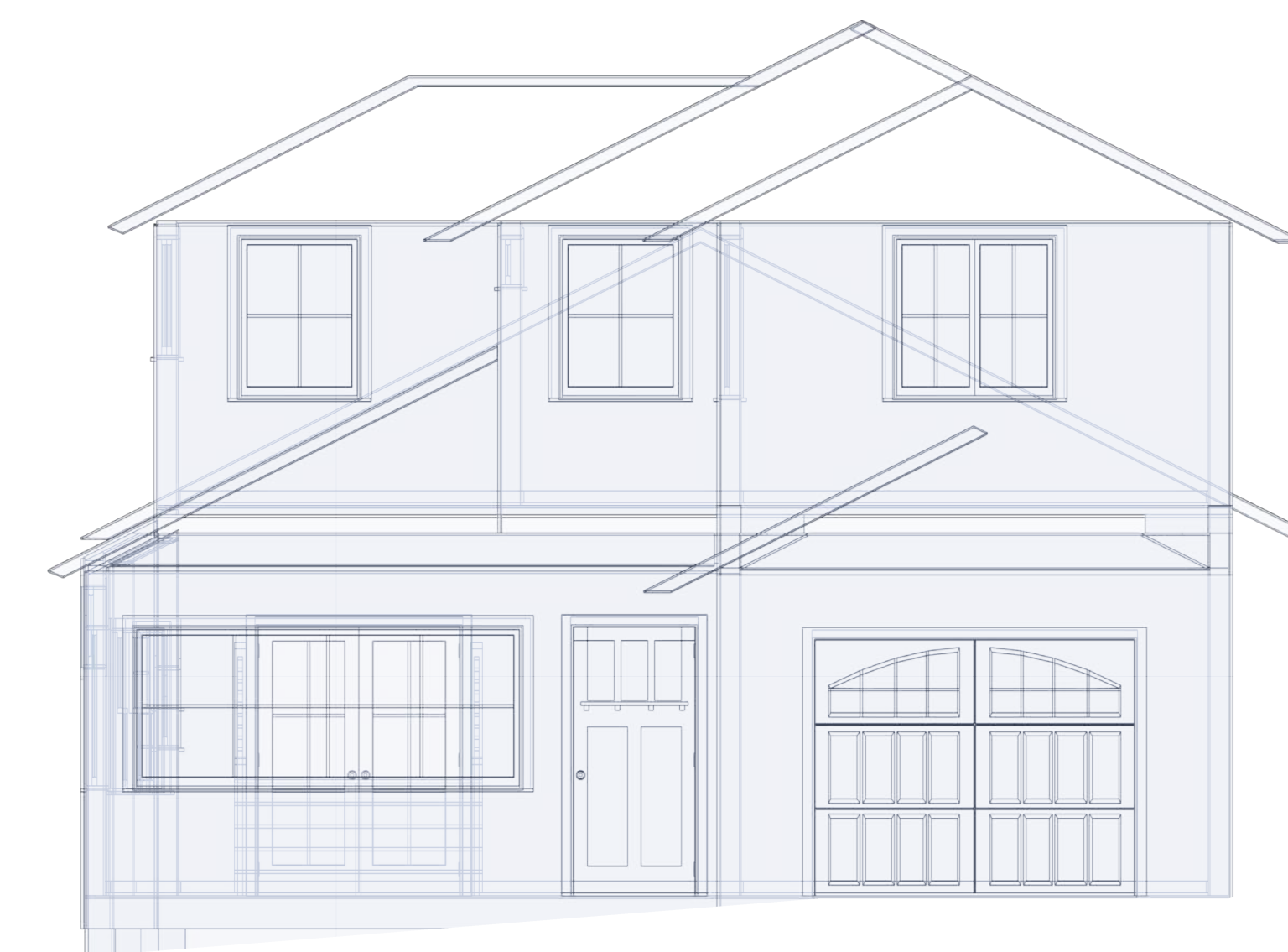
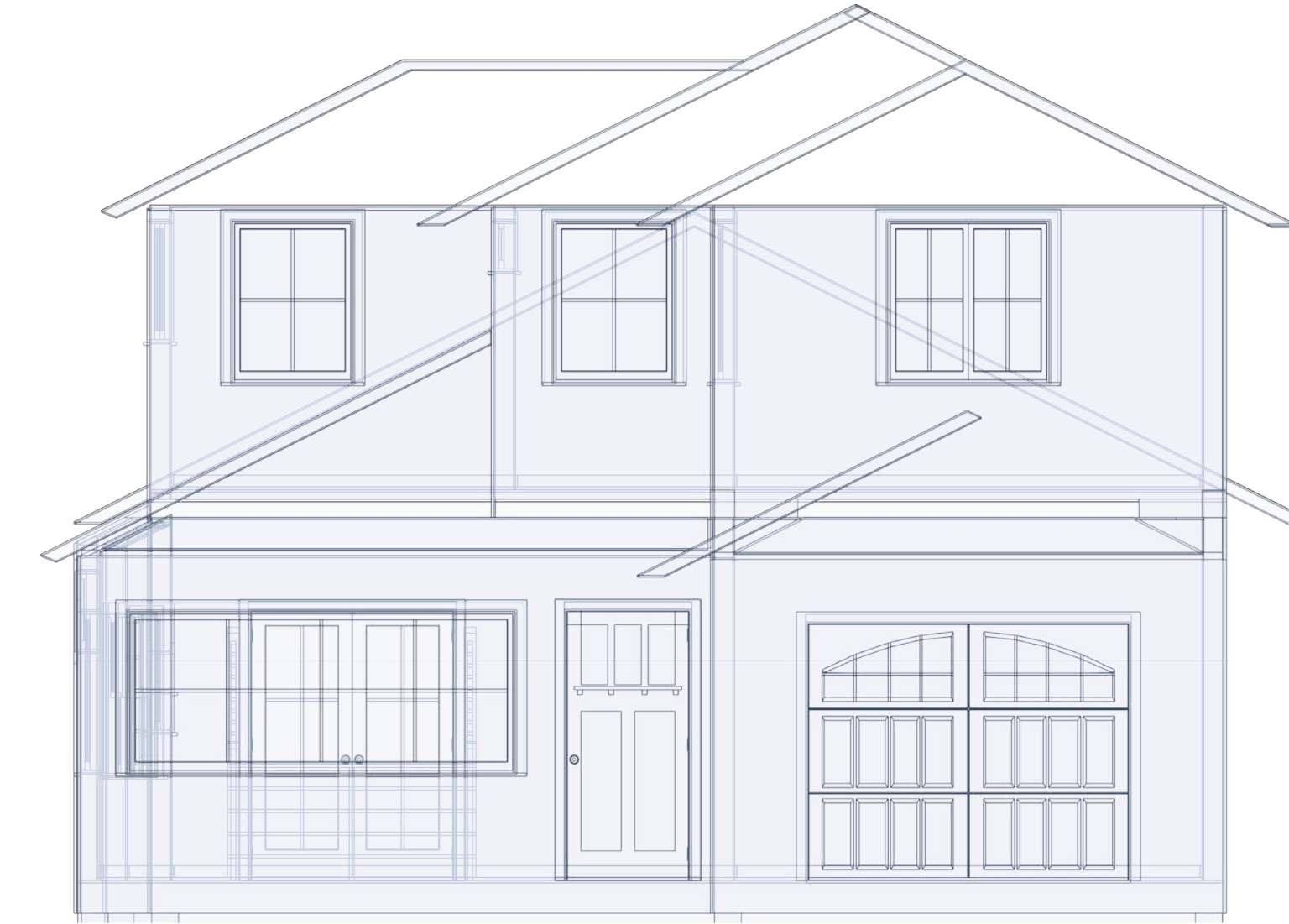
SCALE: 1/4"=1'

COLORS AND MATERIALS UPDATED ON PROPOSED ELEVATION
CHIMNEY MOVED



EXISTING EAST (LEGAL FRONT) ELEVATION

SCALE: 1/4"=1'



EXTERIOR ELEVATIONS: EAST (LEGAL FRONT)

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION
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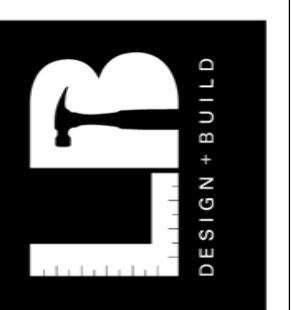
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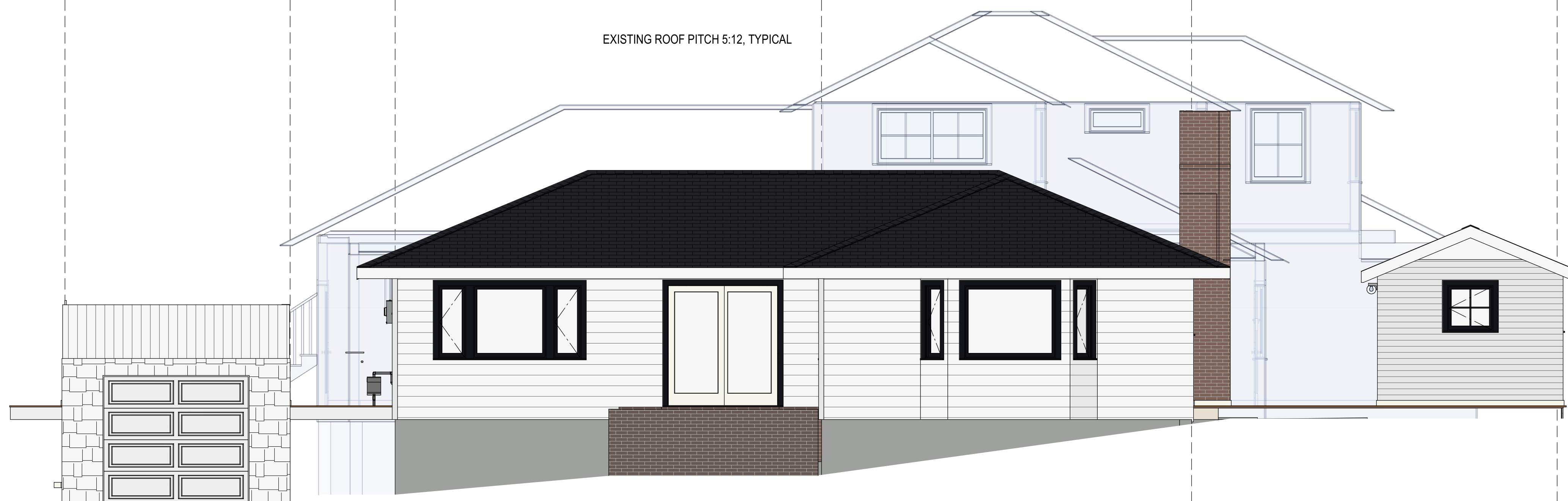


ALL ROOF PITCH REDUCED TO 3:12, TYPICAL

PROPOSED SOUTH (LEGAL SIDE) ELEVATION

SCALE: 1/4"=1'

COLORS AND MATERIALS UPDATED ON PROPOSED ELEVATION
CHIMNEY MOVED



EXISTING ROOF PITCH 5:12, TYPICAL

EXISTING SOUTH (LEGAL SIDE) ELEVATION

SCALE: 1/4"=1'



EXTERIOR ELEVATIONS: SOUTH

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY
1	05.07.24 PLN CO #1/INF RFI #1	ER			ER

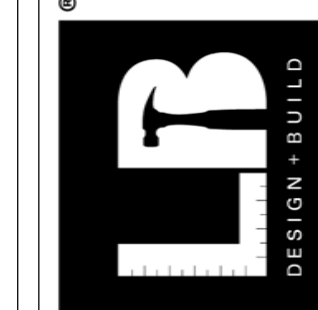
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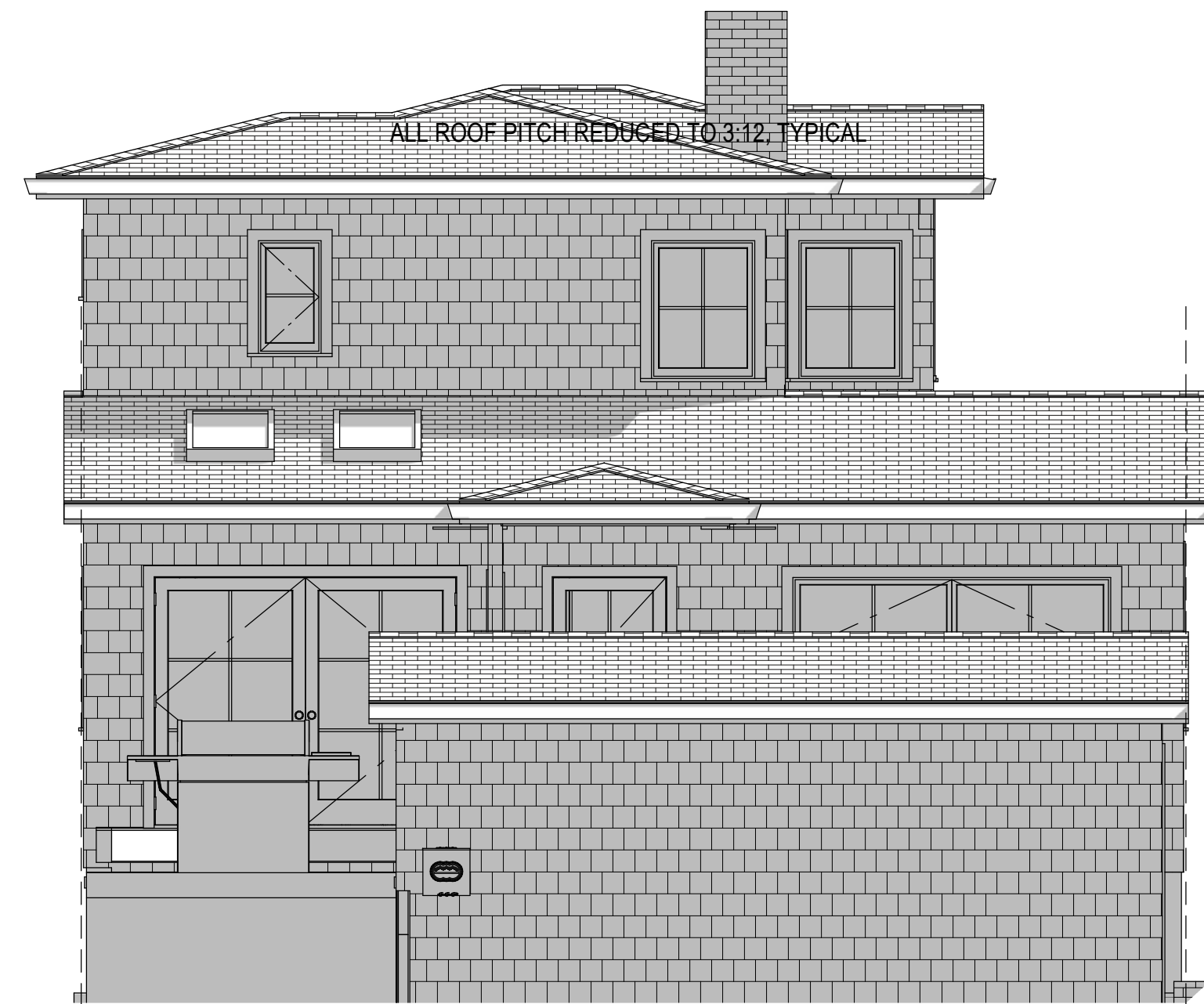
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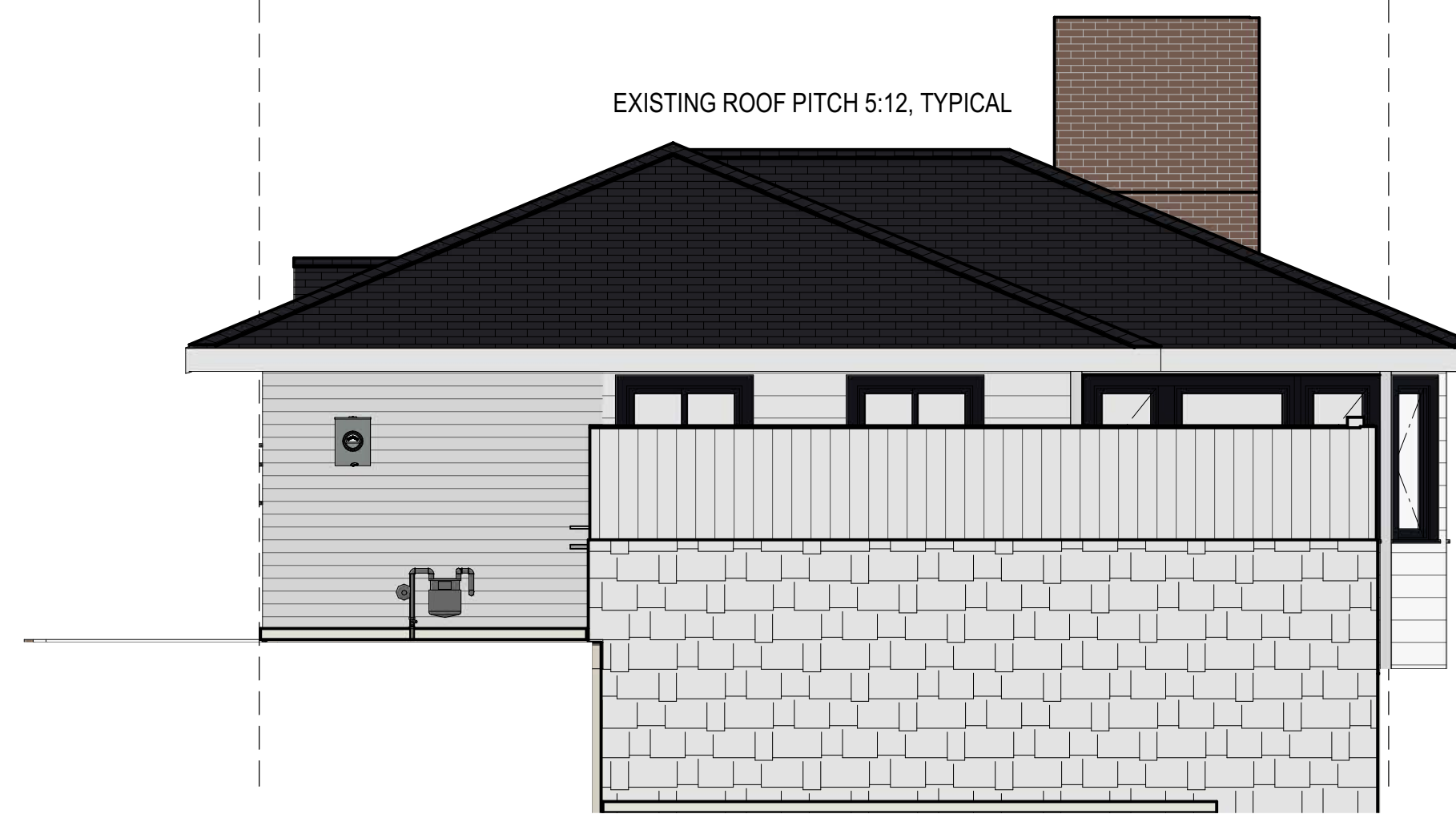




PROPOSED WEST (LEGAL REAR) ELEVATION

SCALE: 1/4"=1'

COLORS AND MATERIALS UPDATED ON PROPOSED ELEVATION
CHIMNEY MOVED



EXISTING WEST (LEGAL REAR) ELEVATION

SCALE: 1/4"=1'

proposed	absolute elev	delta decimal feet	delta ft inch	
(E) 1ST FL lowest natural grade	103.61	-3.58	negative 3 feet 7 inch	surveyed
(E) 1ST FFE	107.19	0		surveyed
(E) 1ST plate	115.19	8.0		
1st fl plate limit	115.61	8.42	12' above lowest natural grade	
(e) 1st fl ridge	120.13	12.94		surveyed
(N) 1ST fl ridge	118.69	11.5	11 feet 6 inch	lowered by 1.44' or 17.25"
1st fl ridge limit	121.61	14.42	18' above lowest natural grade	
2ND FL LOWEST NATURAL GRADE	106.15	1.04	1 ft 0.5 inch	
(N) 2nd fl FFE (w/ 2x10 joists)	116.09	0.9	0.9' = 11" = 2x10 (9.25") + 3/4" subfloor + 1" tile max	
2nd fl PLATE	123.88	7.79	7 feet 9.5 inch = 7.79'	
2ND PLATE LIMIT	124.15	8.06	18' above 2 story mass lowest natural grade	18
(N) 2ND fl ridge	126.92			3.23
2ND RIDGE LIMIT	130.15	14.06	24' above 2 story mass lowest natural grade	24



EXTERIOR ELEVATIONS: WEST (REAR)

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY
05.07.24	PLN CO #1/INF RFI #1	ER			ER
		ER			ER

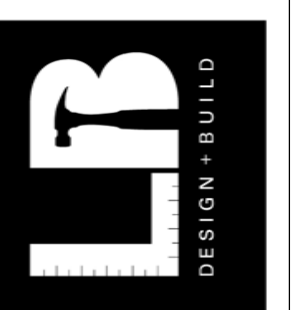
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proposed	absolute elev	delta decimal feet	delta ft inch	
(E) 1ST FL lowest natural grade	103.61	-3.58	negative 3 feet 7 inch	surveyed
(E) 1ST FFE	107.19	0		surveyed
(E) 1ST plate	115.19	8.0		
1st Fl plate limit	115.61	8.42	12' above lowest natural grade	
(e) 1st fl ridge	120.13	12.94		surveyed
(N) 1ST fl ridge	118.69	11.5	11 feet 6 inch	lowered by 1.44' or 17.25"
1st Fl ridge limit	121.61	14.42	18' above lowest natural grade	
2ND FL LOWEST NATURAL GRADE	106.15	1.04	1 ft 0.5 inch	
(N) 2nd FL FFE (w/ 2x10 joists)	116.09	0.9	0.9' = 11" = 2x10 (9.25") + 3/4" subfloor + 1" tile max	
2nd fl PLATE	123.88	7.79	7 feet 9.5 inch = 7.79'	
2ND PLATE LIMIT	124.15	8.06	18" above 2 story mass lowest natural grade	18
(N) 2ND fl ridge	126.92			3.23
2ND RIDGE LIMIT	130.15	14.06	24' above 2 story mass lowest natural grade	24

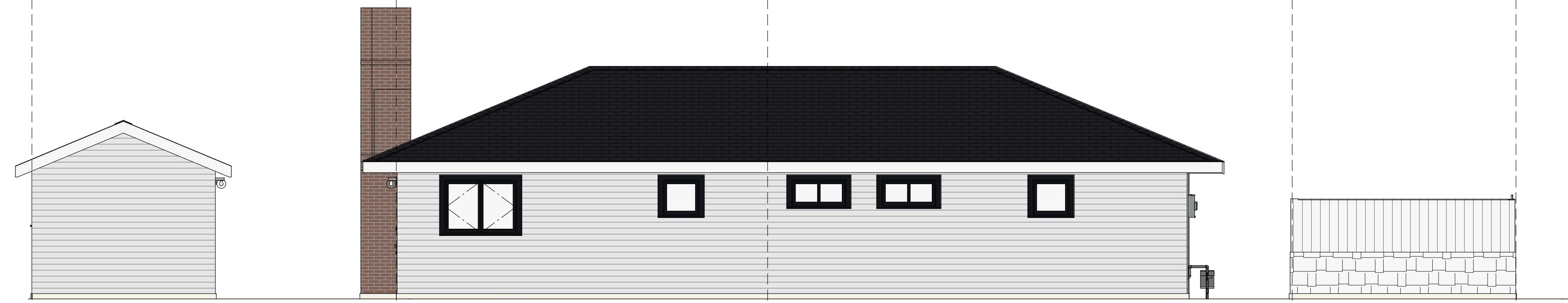


PROPOSED NORTH ELEVATION (NEIGHBOR)

SCALE: 1/4"=1'

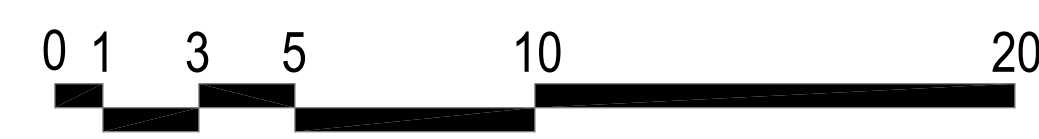
COLORS AND MATERIALS UPDATED ON PROPOSED ELEVATION
CHIMNEY MOVED

EXISTING ROOF PITCH 5:12, TYPICAL



EXISTING NORTH ELEVATION (NEIGHBOR)

SCALE: 1/4"=1'



EXTERIOR ELEVATIONS: NORTH (NEIGHBOR)

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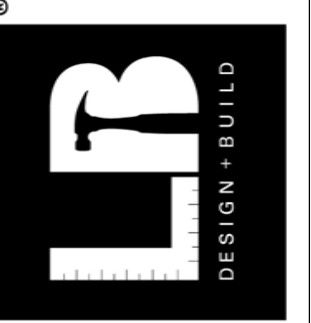
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EXISTING STREET PHOTOS FROM 4TH AVENUE



EXISTING STREET PHOTOS FROM CARPENTER STREET

STREETSCAPE ELEVATIONS

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY
	05.07.24 PLN CO #1/INF RFI #1	ER			ER
		ER			ER

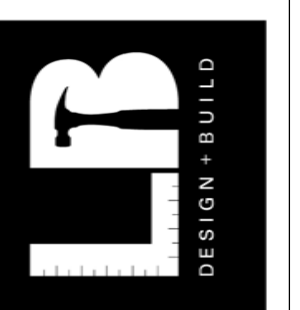
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A-3.8

VERSION: 3.5

DATE: 5/8/24

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RENDERING FROM DRIVEWAY

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1	05.07.24 PLN CO #1/INF RFI #1	ER			ER
		ER			ER

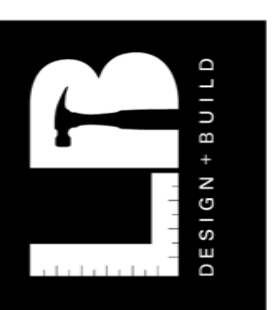
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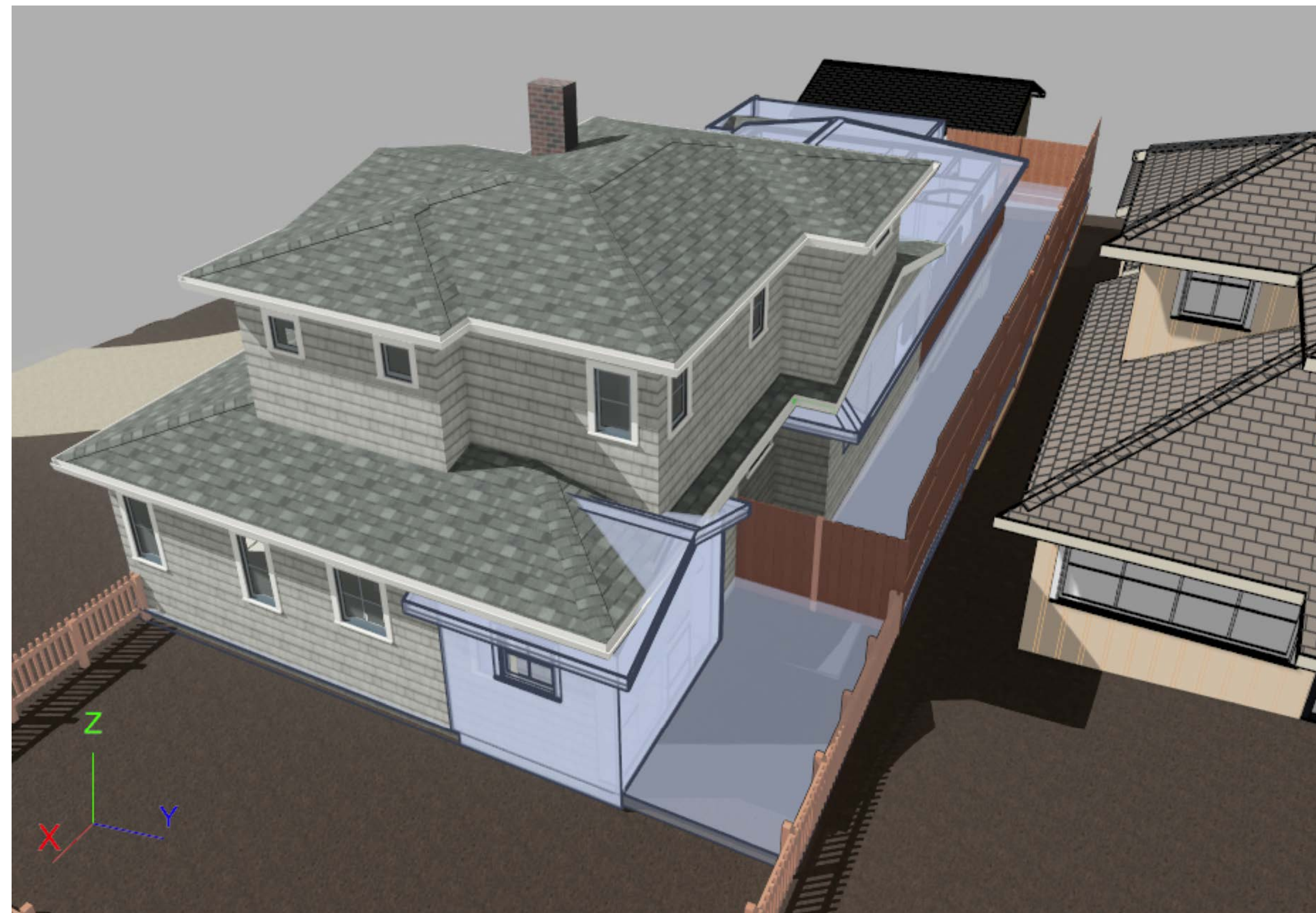
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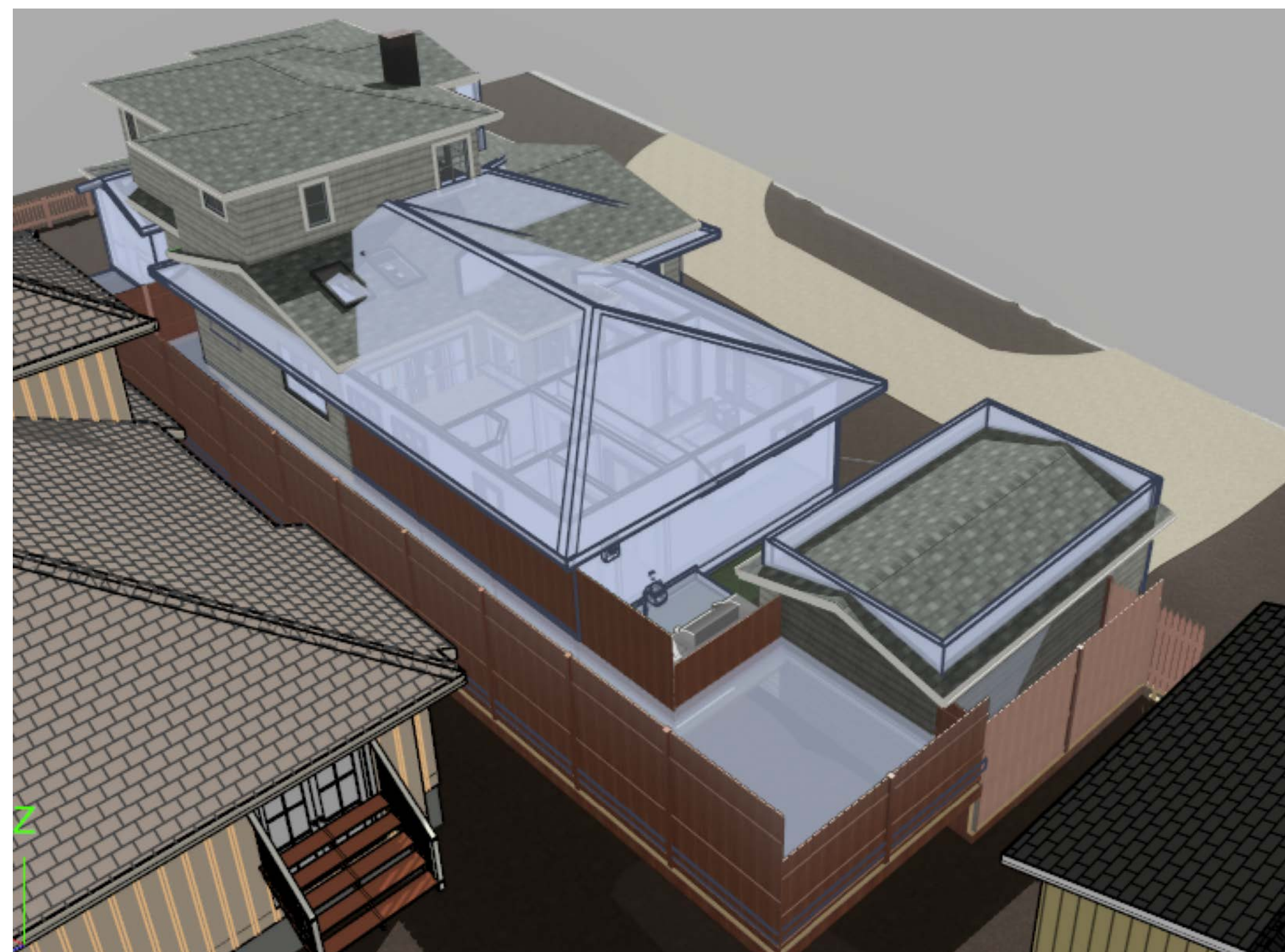
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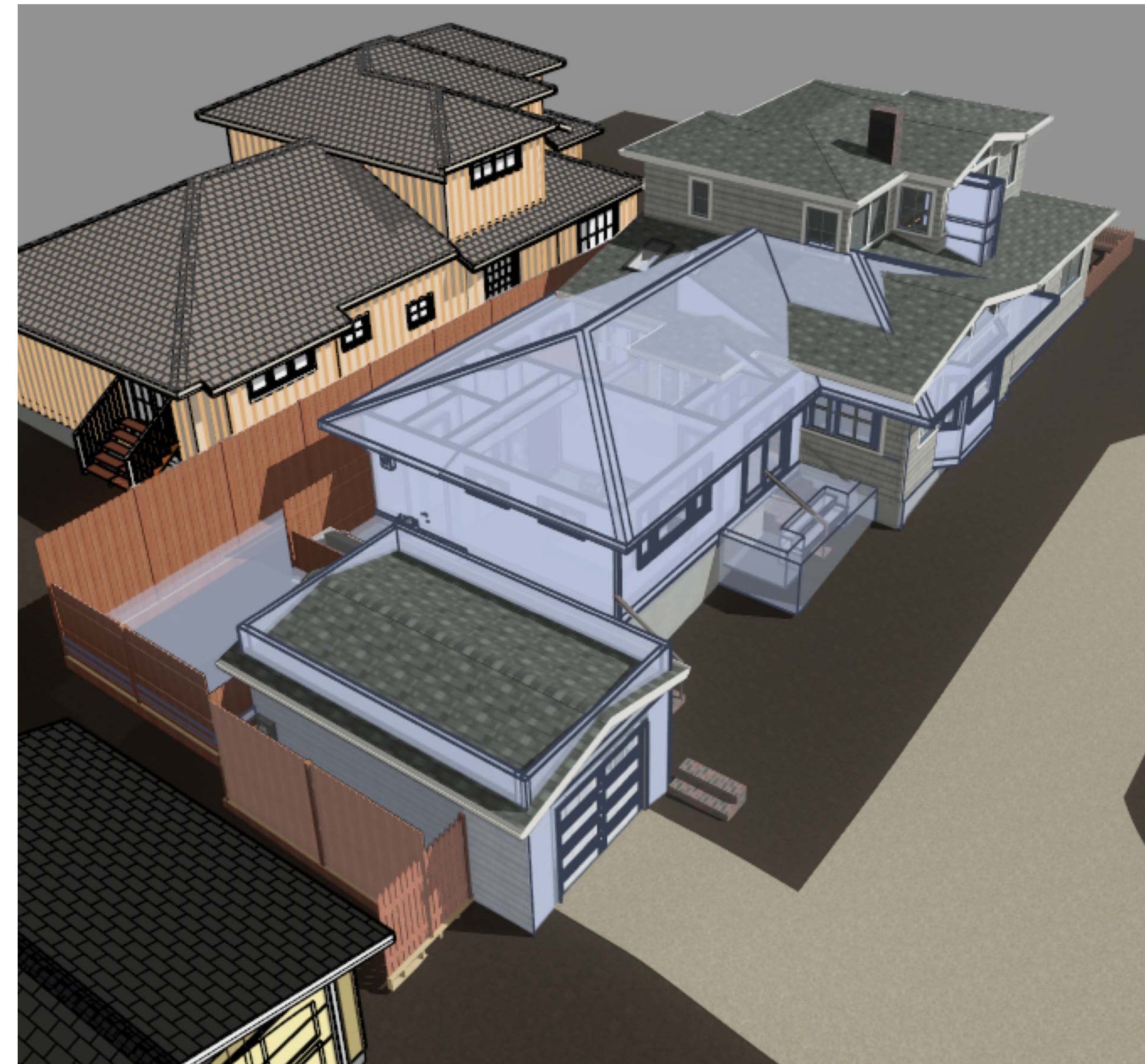
Renderings are for approximate visual representations only.



DRONE VIEW SHOWING NEIGHBOR & PROPOSED HOUSE W/ EXISTING HOUSE UNDERLAY FROM NORTHEAST LOOKING SOUTHWEST (NORTH NEIGHBOR ON RIGHT)



DRONE VIEW SHOWING NEIGHBORS & PROPOSED HOUSE W/ EXISTING HOUSE UNDERLAY FROM NORTHWEST LOOKING SOUTHEAST (NORTH NEIGHBOR ON LEFT)



DRONE VIEW SHOWING NEIGHBORS & PROPOSED HOUSE W/ EXISTING HOUSE UNDERLAY FROM WEST LOOKING EAST (NORTH NEIGHBOR SHOWN ON LEFT)

Renderings are for approximate visual representations only.

A-3.9

VERSION: 3.5

DATE: 5/8/24

PLANNING

RENDERINGS

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		ER			ER

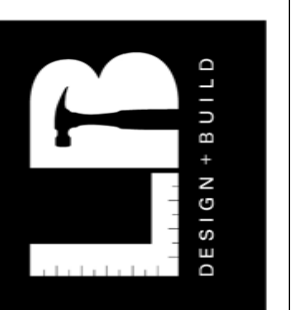
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STREET VIEW NORTHBOUND ON CARPENTER AT CORNER OF 4TH. NORTH NEIGHBOR IN BACKGROUND



STREET VIEW SHOWING SOUTH (4th STREET) FACADES & NORTH NEIGHBOR IN BACKGROUND



STREET VIEW SOUTHBOUND ON CARPENTER & NORTH NEIGHBOR IN FOREGROUND

RENDERINGS

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY
1	05.07.24 PLN CO #1/INF RFI #1	ER			ER
		ER			ER
		ER			ER

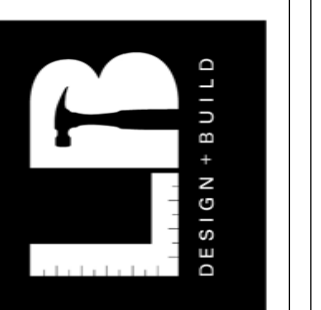
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ROOF PLANS LOWER FLOOR			
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05.07.24	PLN CO #1/INF RFI #1	ER	
		ER	
		ER	

NUTE

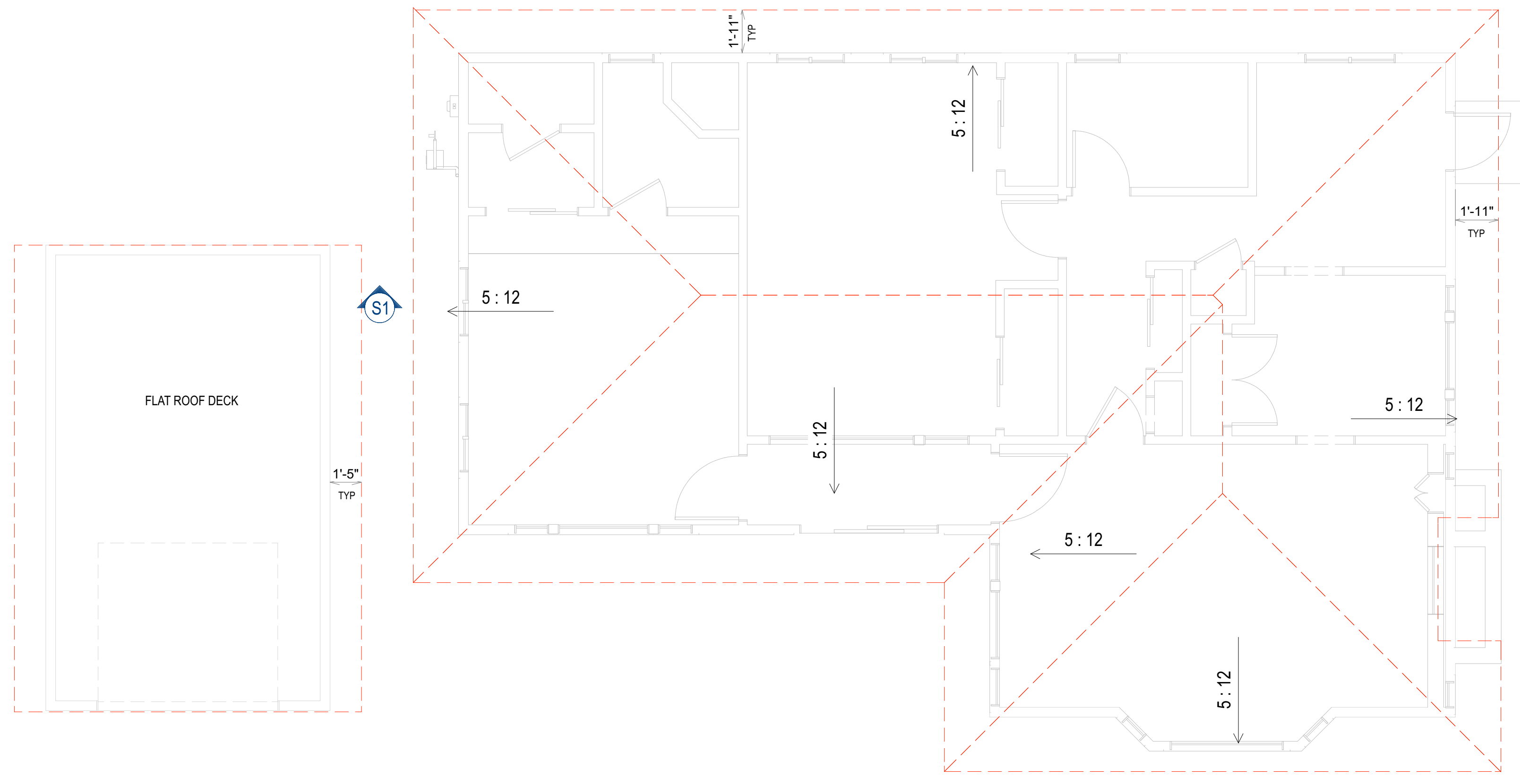
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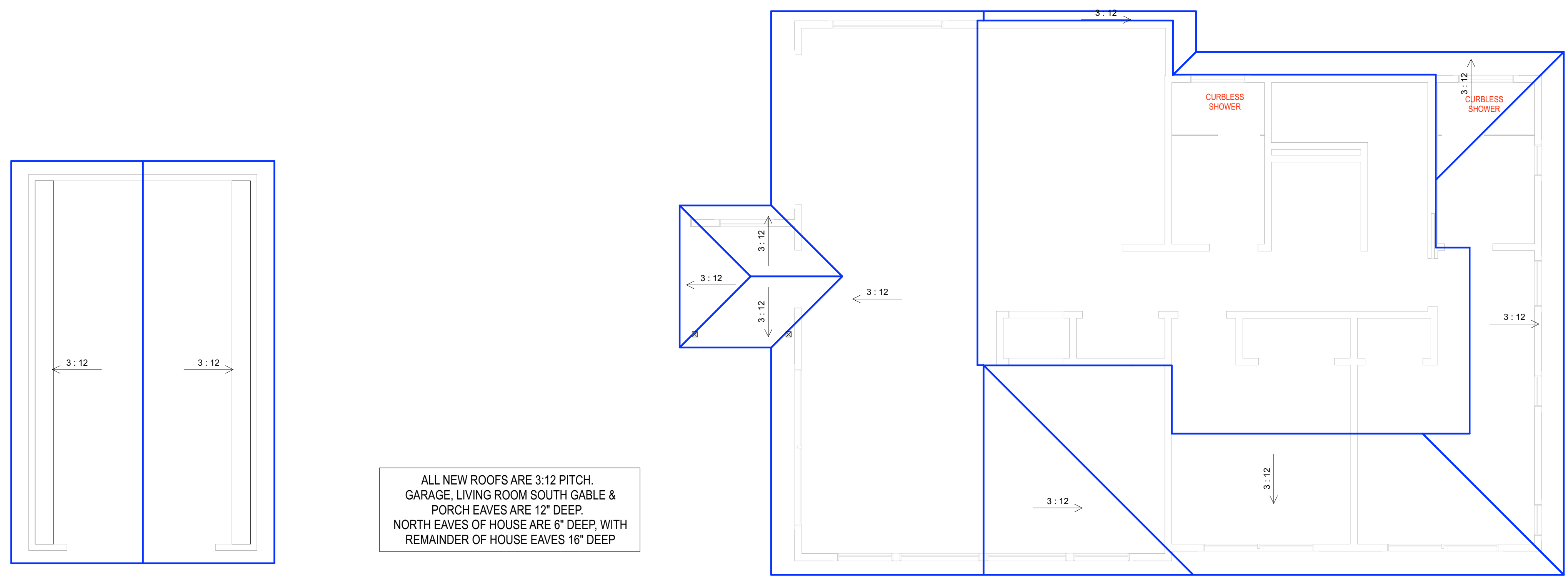
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EXISTING/DEMO ROOF PLAN
SCALE: 1/4"=1'

- DRAINAGE NOTES**
1. NEW ALUMINUM GUTTERS WHERE AS SHOWN ON DRAINAGE PLAN. MATCH FASCIA COLOR
 2. NEW ALUMINUM METAL DOWNSPOUTS WHERE SHOWN ON DRAINAGE PLAN. MATCH COLOR OF HOUSE
 3. ALL DOWNSPOUTS DRAIN TO SPLASH BLOCKS OR BURIED PERFORATED PIPE CONNECTED TO NEW INFILTRATION TRENCH. SIZE AND LOCATION OF INFILTRATION TRENCH TBD BY LANDSCAPE ARCHITECT OR CIVIL ENGINEER.

- LEGEND**
- - - DEMO ROOF
 - NEW ROOF
 - NEW SKYLIGHT



PROPOSED ROOF PLAN LOWER FLOORS
SCALE: 1/4"=1'

ALL NEW ROOFS ARE 3:12 PITCH.
GARAGE, LIVING ROOM SOUTH GABLE & PORCH EAVES ARE 12" DEEP.
NORTH EAVES OF HOUSE ARE 6" DEEP, WITH REMAINDER OF HOUSE EAVES 16" DEEP



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1	05.07.24 PLN CO #1/INF RFI #1	ER			ER
		ER			ER
		ER			ER

ROOF PLAN UPPER FLOOR

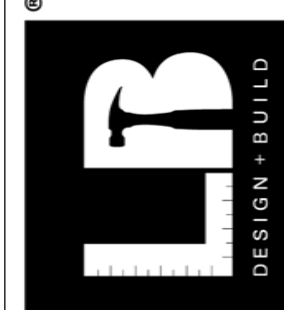
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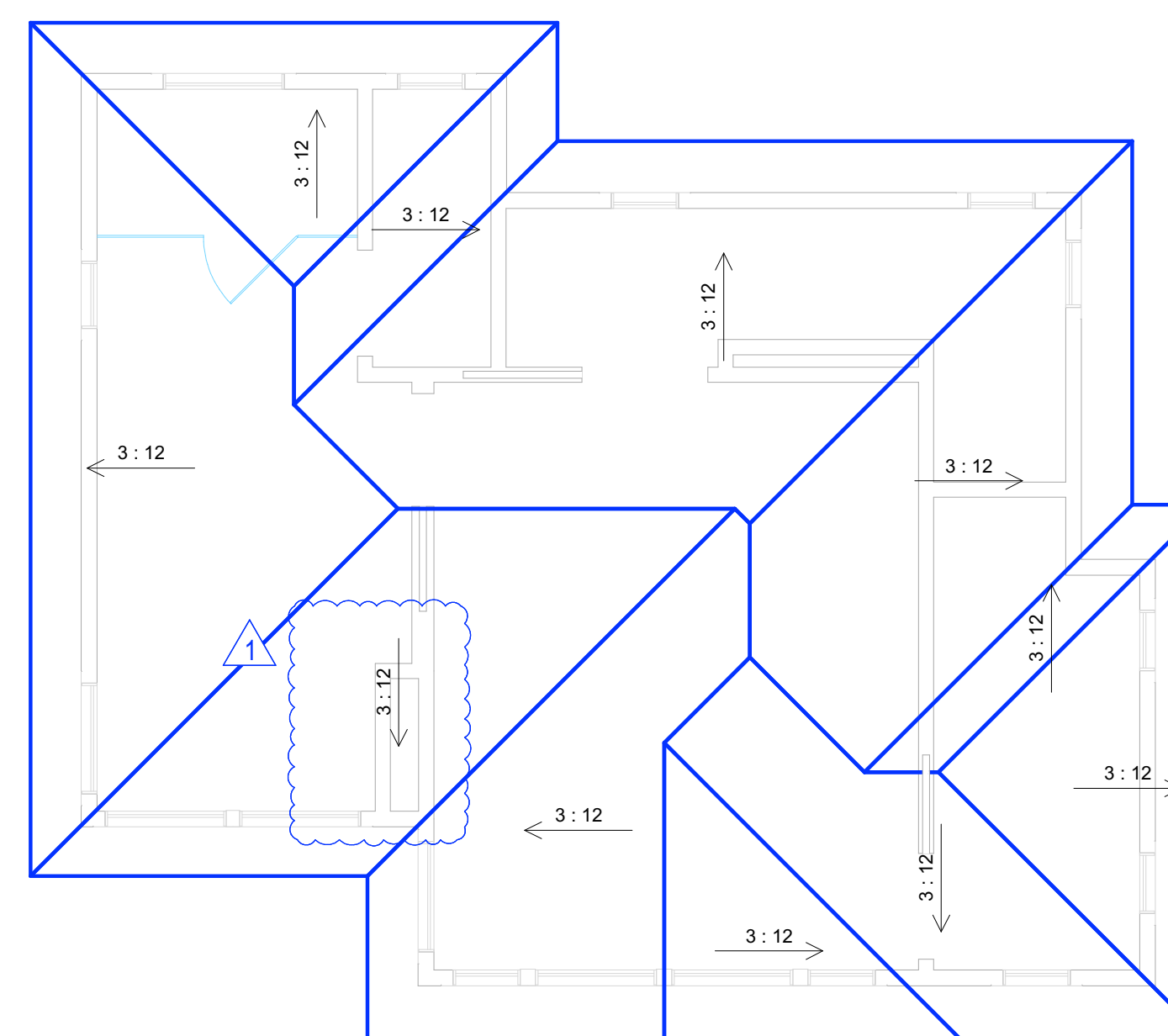
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- DRAINAGE NOTES**
1. NEW ALUMINUM GUTTERS WHERE AS SHOWN ON DRAINAGE PLAN. MATCH FASCIA COLOR
 2. NEW ALUMINUM METAL DOWNSPOUTS WHERE SHOWN ON DRAINAGE PLAN. MATCH COLOR OF HOUSE
 3. ALL DOWNSPOUTS DRAIN TO SPLASH BLOCKS OR BURIED PERFORATED PIPE CONNECTED TO NEW INFILTRATION TRENCH. SIZE AND LOCATION OF INFILTRATION TRENCH TBD BY LANDSCAPE ARCHITECT OR CIVIL ENGINEER.

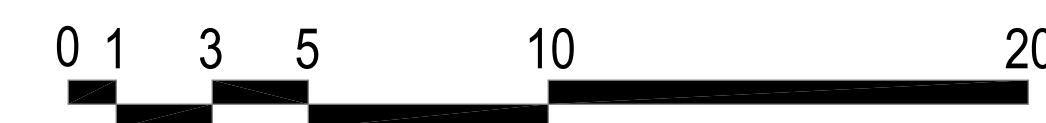
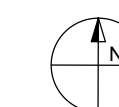
LEGEND

- DEMO ROOF
- NEW ROOF
- NEW SKYLIGHT



PROPOSED ROOF PLAN UPPER FLOOR

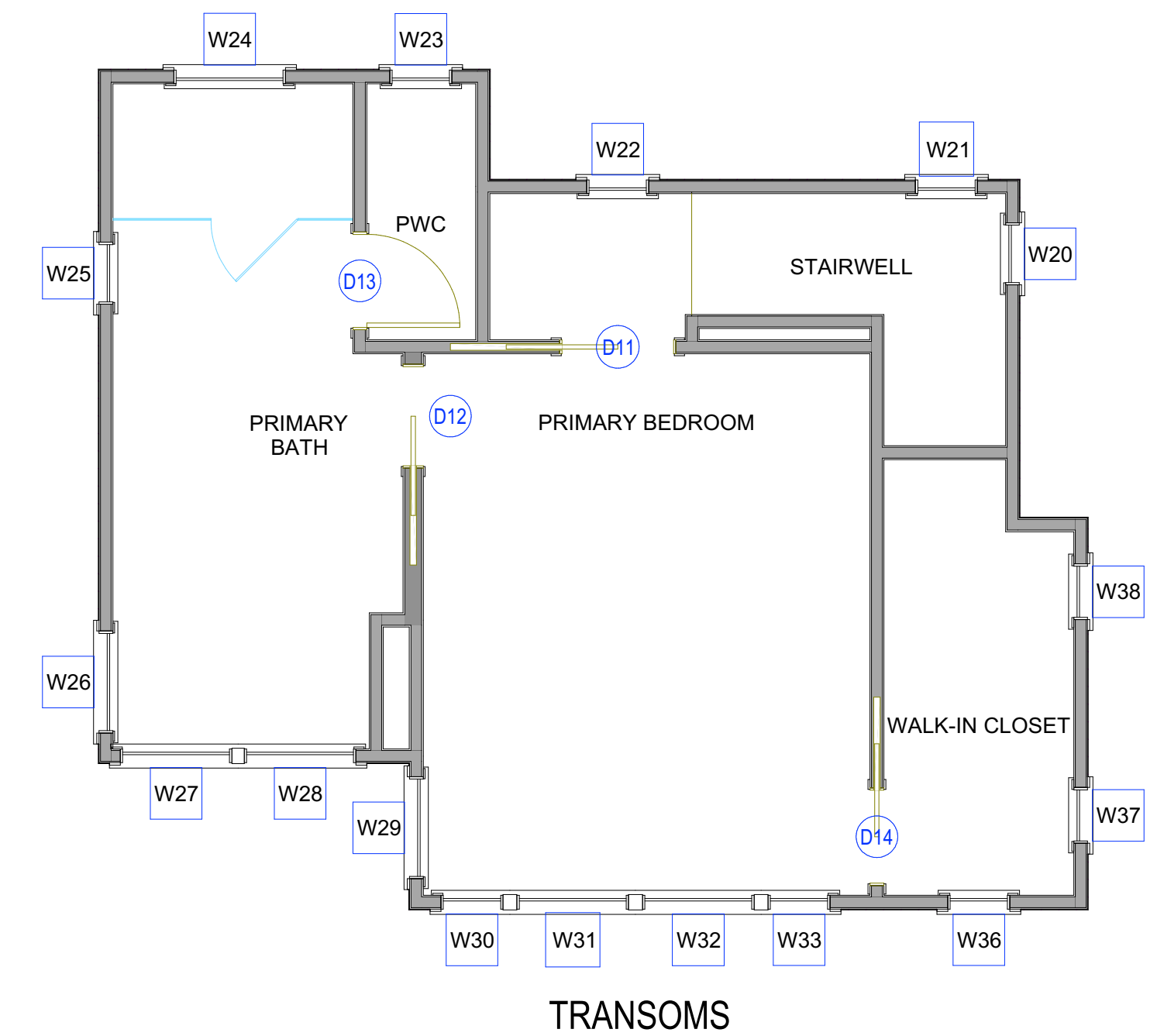
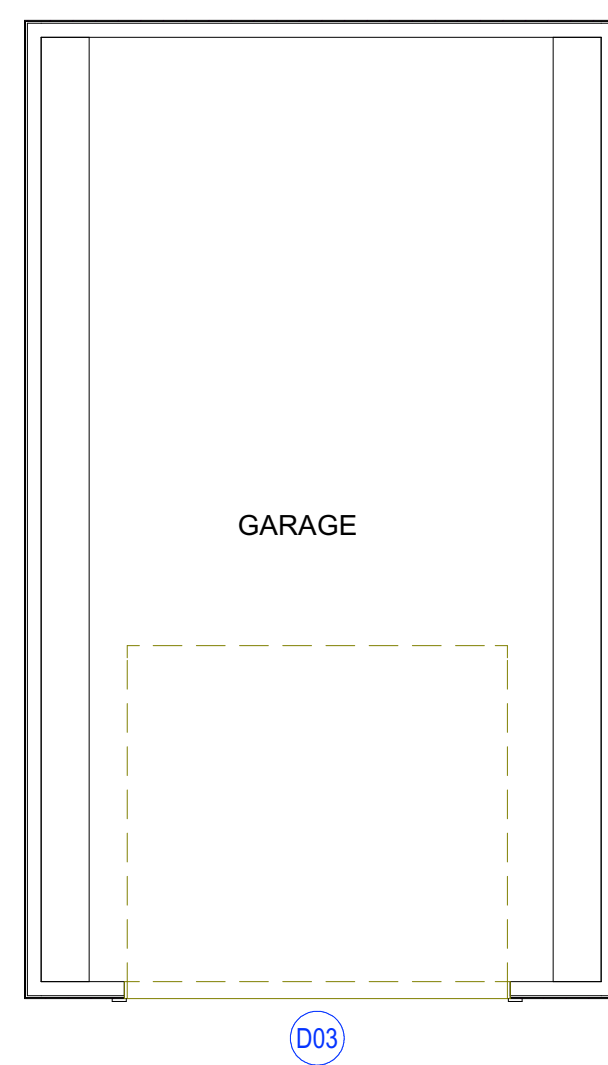
SCALE: 1/4"=1'



ALL NEW ROOFS ARE 3:12 PITCH.
GARAGE, LIVING ROOM SOUTH GABLE &
PORCH EAVES ARE 12" DEEP.
NORTH EAVES OF HOUSE ARE 6" DEEP, WITH
REMAINDER OF HOUSE EAVES 16" DEEP

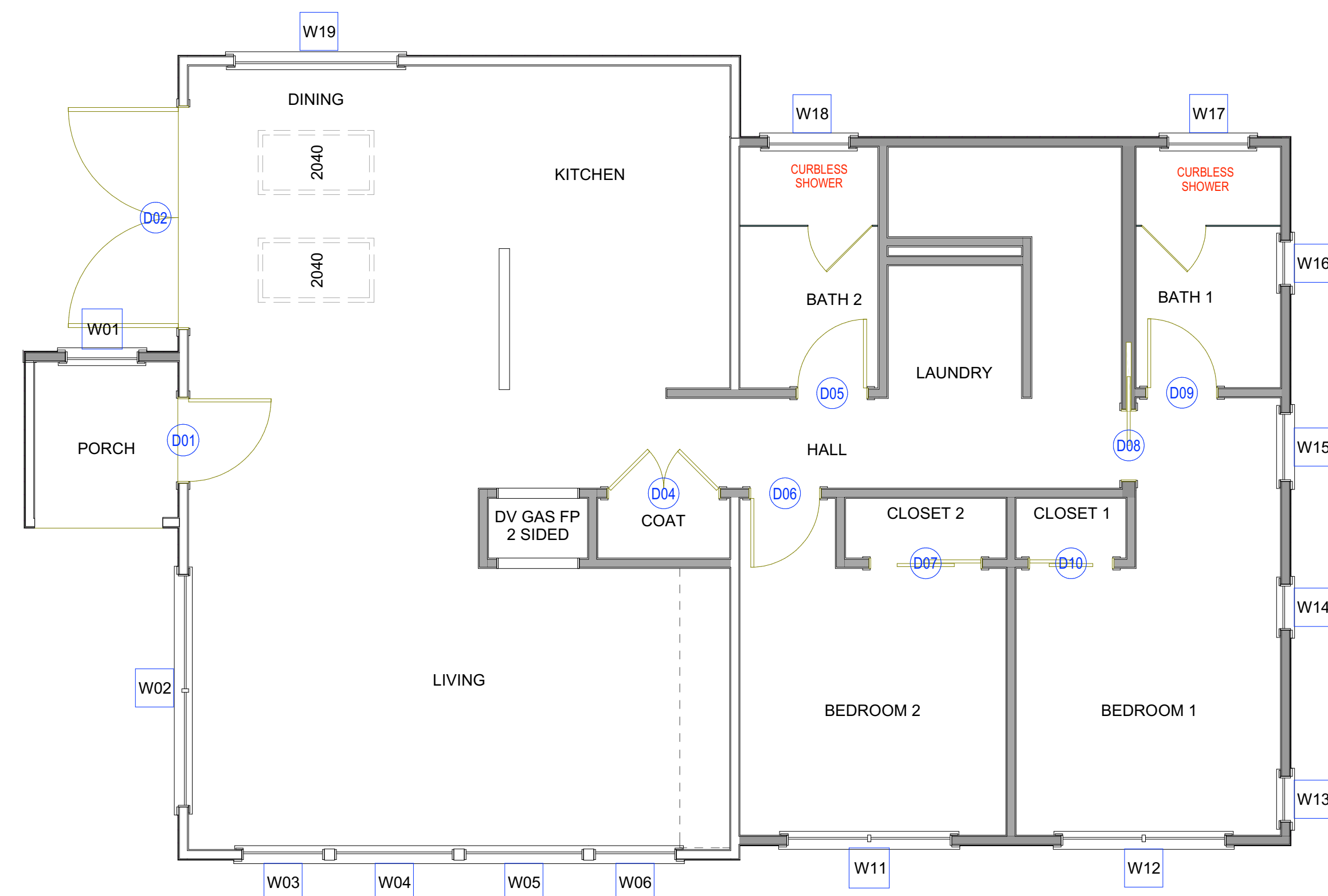
ALL WALLS 2X4 FRAMING UNLESS OTHERWISE NOTED
 EXTERIOR DOORS ARE SIERRA PACIFIC WOOD CLAD ALUMINUM SLATE BLUE 008, UNLESS OTHERWISE NOTED W/ TRUE DIVIDED LITES.
 INTERIOR DOORS ARE MFR TBD SOLID CORE WOOD UNLESS OTHERWISE NOTED
 DOOR DIMENSIONS ARE TRUE DOOR SIZE, NOT ROUGH OPENINGS
 DOOR DIMENSIONS ARE APPROXIMATE. SUPPLIER TO VERIFY ON SITE AFTER FRAMING.
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 FRAMING MUST USE THE FINAL, SIGNED DOOR ORDER. CONTACT LEWIS BUILDERS IF THE SIGNED DOOR ORDER HAS NOT BEEN PROVIDED.

DOOR SCHEDULE														
TAG	ROOM	QTY	SIZE	WIDTH	HEIGHT	2X6 WALL	JAMB SIZE	DESCRIPTION	TEMPERED	FIRE	SOLID CORE	COMMENTS	FLOOR	EXT ELEV
D01	DINING/PORCH	1	3068 L IN	36"	80"		3/4"x4 11/16"	HINGED-GLASS PANEL	YES				1	
D02	DINING	1	8068 L R EX	96"	80"		3/4"x4 7/16"	EXT. DOUBLE HINGED-GLASS PANEL	YES				1	
D03	GARAGE	1	71170	95"	84"		3/4"x4 3/16"	GARAGE-GARAGE DOOR CHD08				WHITE W/ SLATE BLUE TRIM	1	
D04	HALL/COAT	1	4068 L R IN	48"	80"		3/4"x4 1/2"	DOUBLE HINGED-SLAB					1	
D05	HALL/BATH 2	1	2688 R IN	30"	80"		3/4"x4 1/2"	HINGED-SLAB					1	
D06	HALL/BEDROOM 2	1	2688 R IN	30"	80"		3/4"x4 1/2"	HINGED-SLAB					1	
D07	CLOSET 2/BEDROOM 2	1	4068 R IN	48"	80"		3/4"x4 1/2"	SLIDER-GLASS SLAB					1	
D08	HALL/BEDROOM 1	1	2688 R	30"	80"		3/4"x6 1/2"	POCKET-SC01 MIRROR DOOR					1	
D09	BEDROOM 1/BATH 1	1	2688 L IN	30"	80"		3/4"x4 1/2"	HINGED-SLAB					1	
D10	CLOSET 1/BEDROOM 1	1	3068 L IN	36"	80"		3/4"x4 1/2"	SLIDER-GLASS SLAB					1	
D11	2ND FLOOR LANDING/PRIMARY BEDROOM	1	3068 L	36"	80"		3/4"x4 1/2"	POCKET-SC01 MIRROR DOOR					2	
D12	PRIMARY BATH/PRIMARY BEDROOM	1	2888 R	32"	80"		3/4"x6 1/2"	POCKET-SC01 MIRROR DOOR					2	
D13	PWC/PRIMARY BATH	1	2688 R IN	30"	80"		3/4"x4 1/2"	HINGED-SLAB					2	
D14	WALK-IN CLOSET/PRIMARY BEDROOM	1	2688 L	30"	80"		3/4"x4 1/2"	POCKET-SC01 MIRROR DOOR					2	



2ND FLOOR DOOR PLAN

SCALE: 1/4"=1'



TRANSOMS

1ST FLOOR DOOR PLAN

SCALE: 1/4"=1'

DOOR SCHEDULE

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY
1	05.07.24 PLN CO #1/INF RFI #1	ER			ER
		ER			ER
		ER			ER

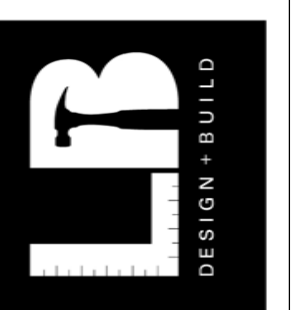
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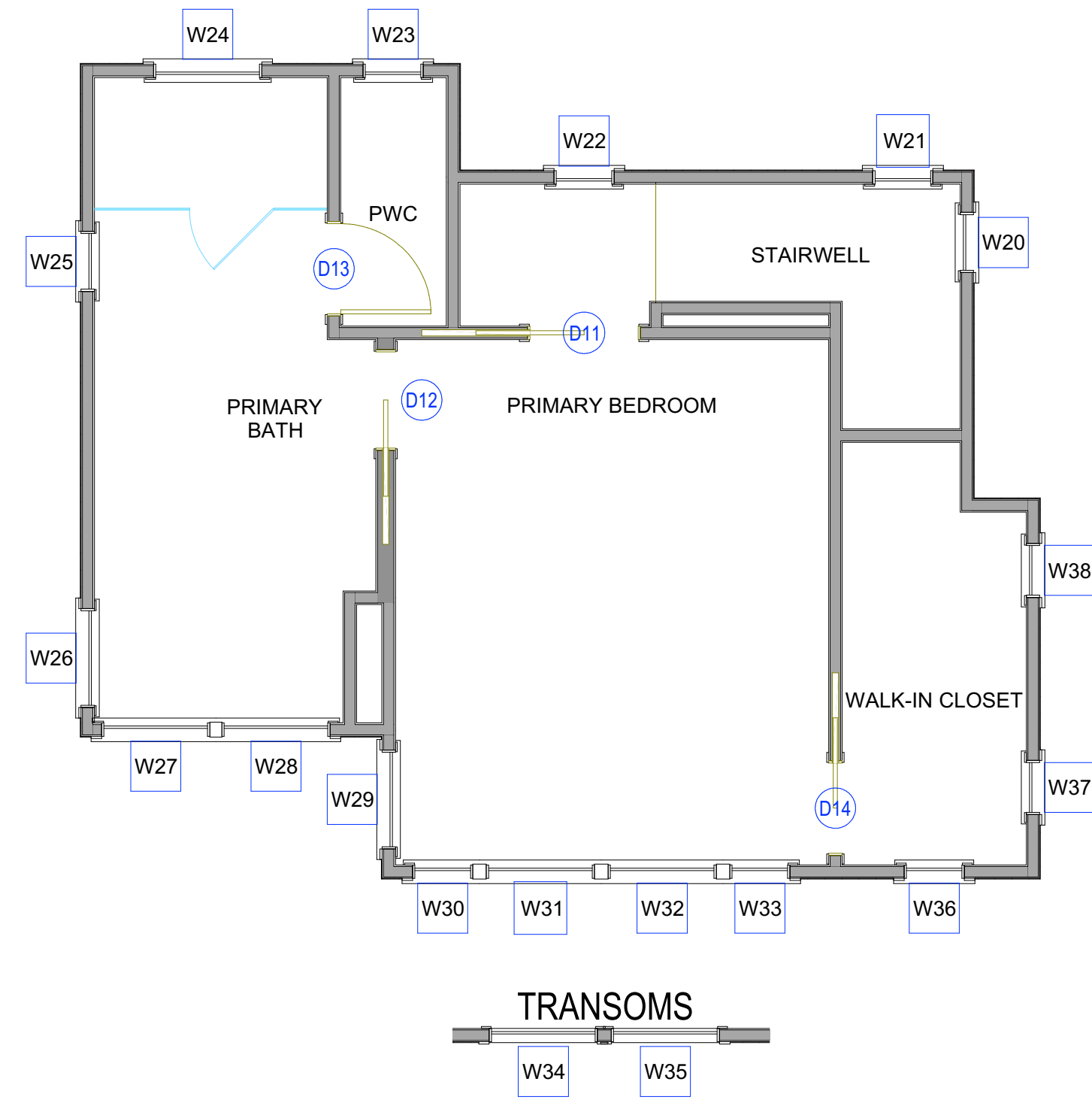
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ALL WALLS 2X4 FRAMING UNLESS OTHERWISE NOTED
 WINDOWS ARE SIERRA PACIFIC SLATE BLUE 008, UNLESS OTHERWISE NOTED, WITH TRUE DIVIDED LITES
 WINDOW DIMENSIONS ARE TRUE WINDOW SIZE, NOT ROUGH OPENINGS
 WINDOW DIMENSIONS ARE APPROXIMATE. SUPPLIER TO VERIFY ON SITE AFTER FRAMING
 DIMENSIONS SHOWN IN THIS SCHEDULE ARE FOR PERMITTING PURPOSES ONLY. SCHEDULE DIMENSIONS SHOULD NOT BE USED FOR FRAMING. FRAMING
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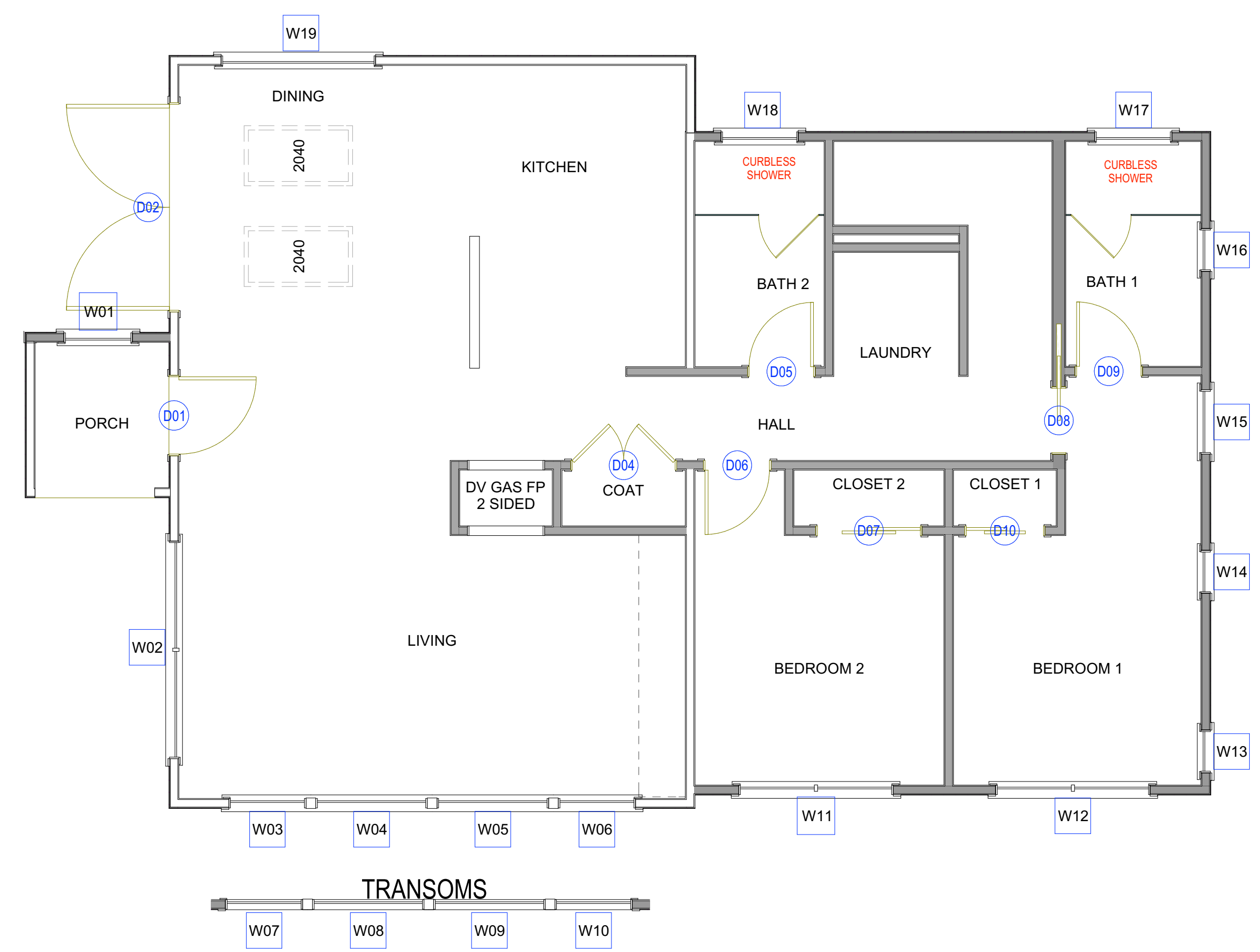
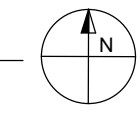


TAG	ROOM	QTY	SIZE	WIDTH	HEIGHT	2X6 WALL	DESCRIPTION	TEMPERED	EGRESS	COMMENTS	FLOOR	EXT ELEV
W01	PORCH	1	2840FX	32"	48"		FIXED GLASS	YES		CUSTOM STAINED GLASS	1	
W02	LIVING	1	8540DC	101 1/2"	48"		DOUBLE CASEMENT-LHL/RHR				1	
W03	LIVING	1	3048SC	36"	56"		SINGLE CASEMENT-HR				1	
W04	LIVING	1	4448FX	52"	56"		FIXED GLASS				1	
W05	LIVING	1	4448FX	52"	56"		FIXED GLASS				1	
W06	LIVING	1	3048SC	36"	56"		SINGLE CASEMENT-HL				1	
W07		1	3018FX	36"	17 1/2"		FIXED GLASS				2	
W08		1	4427FX	52"	31 3/8"		FIXED GLASS				2	
W09		1	4427FX	52"	31 3/8"		FIXED GLASS				2	
W10		1	3018FX	36"	17 1/2"		FIXED GLASS				2	
W11	BEDROOM 2	1	6038DC	72"	44"		DOUBLE CASEMENT-LHL/RHR		YES		1	
W12	BEDROOM 1	1	6038DC	72"	44"		DOUBLE CASEMENT-LHL/RHR		YES		1	
W13	BEDROOM 1/	1	1838SC	20"	44"		SINGLE CASEMENT-HL				1	
W14	BEDROOM 1/	1	1838SC	20"	44"		SINGLE CASEMENT-HL				1	
W15	BEDROOM 1/	1	2630SC	30"	36"		SINGLE CASEMENT-HL				1	
W16	BATH 1/	1	1830SC	20"	36"		SINGLE CASEMENT-HL				1	
W17	SHOWER 1/	1	3016AW	36"	18"		SINGLE AWNING	YES		OBSCURE GLASS	1	
W18	SHOWER 2/BONUS	1	3016AW	36"	18"		SINGLE AWNING	YES		OBSCURE GLASS	1	
W19	DINING/BONUS	1	6040FX	72"	48"		FIXED GLASS			OBSCURE OR STAINED GLASS	1	
W20	STAIRWELL	1	1830FX	20"	36"		FIXED GLASS	YES			2	
W21	STAIRWELL	1	1830SC	20"	36"		SINGLE CASEMENT-HL	YES			2	
W22	2ND FLOOR LANDING	1	1830SC	20"	36"		SINGLE CASEMENT-HL	YES			2	
W23	PWC	1	1830SC	20"	36"		SINGLE CASEMENT-HL	YES			2	
W24	PRIMARY SHOWER	1	3016AW	36"	18"		SINGLE AWNING	YES		PRIVACY GLASS	2	
W25	PRIMARY BATH	1	1830SC	20"	36"		SINGLE CASEMENT-HR				2	
W26	PRIMARY BATH	1	2938FX	32 15/16"	44"		FIXED GLASS				2	
W27	PRIMARY BATH	1	3038FX	36"	44"		FIXED GLASS				2	
W28	PRIMARY BATH	1	3038FX	36"	44"		FIXED GLASS				2	
W29	PRIMARY BEDROOM	1	2938FX	32 15/16"	44"		FIXED GLASS				2	
W30	PRIMARY BEDROOM	1	1838SC	20"	44"		SINGLE CASEMENT-HR				2	
W31	PRIMARY BEDROOM	1	3038FX	36"	44"		FIXED GLASS				2	
W32	PRIMARY BEDROOM	1	3038FX	36"	44"		FIXED GLASS				2	
W33	PRIMARY BEDROOM	1	1838SC	20"	44"		SINGLE CASEMENT-HL				2	
W34		1	3018FX	36"	20"		FIXED GLASS				3	
W35		1	3018FX	36"	20"		FIXED GLASS				3	
W36	WALK-IN CLOSET	1	1838SC	20"	44"		SINGLE CASEMENT-HR				2	
W37	WALK-IN CLOSET	1	1618AW	18"	20"		SINGLE AWNING	YES			2	
W38	WALK-IN CLOSET	1	1618AW	18"	20"		SINGLE AWNING	YES			2	



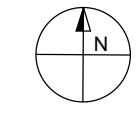
2ND FLOOR WINDOW PLAN

SCALE: 1/4"=1'



1ST FLOOR WINDOW PLAN

SCALE: 1/4"=1'



A-5.2

VERSION: 3.5
 DATE: 5/8/24
 PLANNING

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY
1	05.07.24 PLN CO #1/INF RFI #1	ER			ER

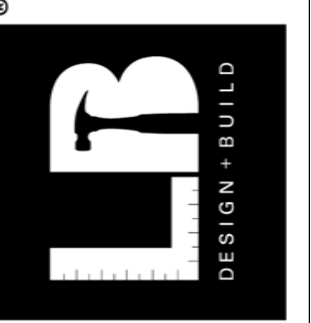
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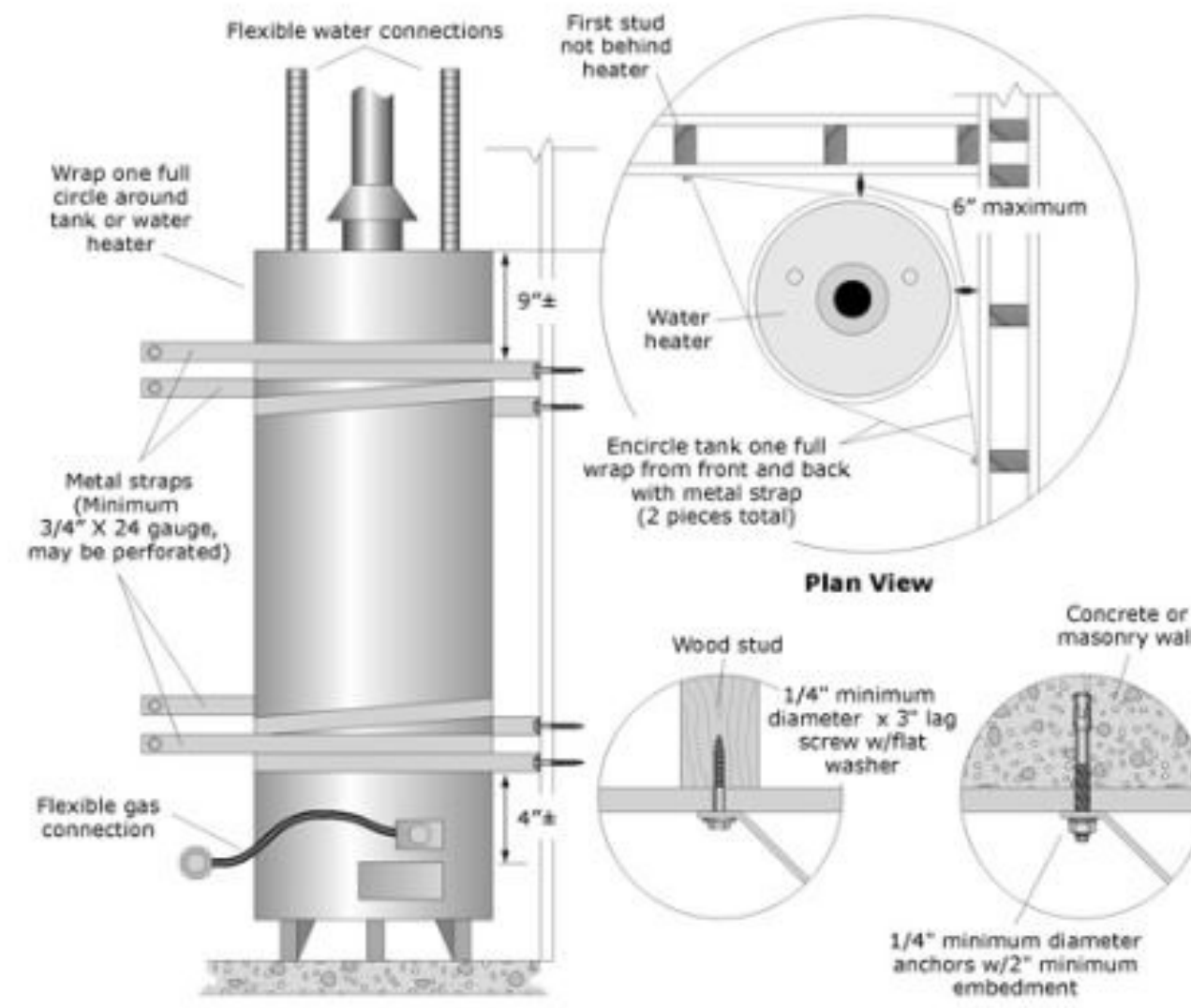
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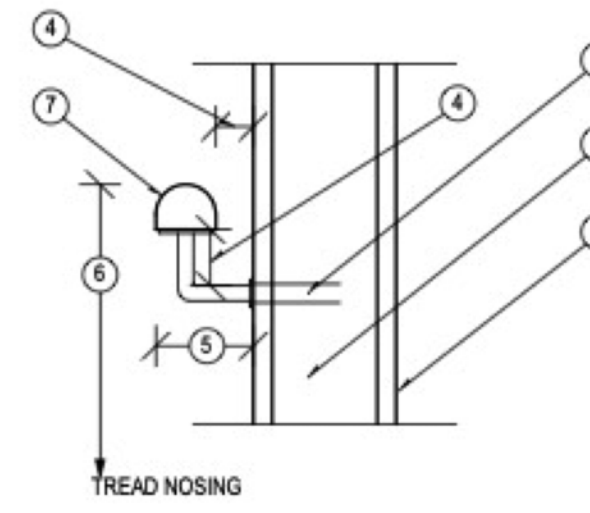
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WATER HEATER STRAPPING DETAILS



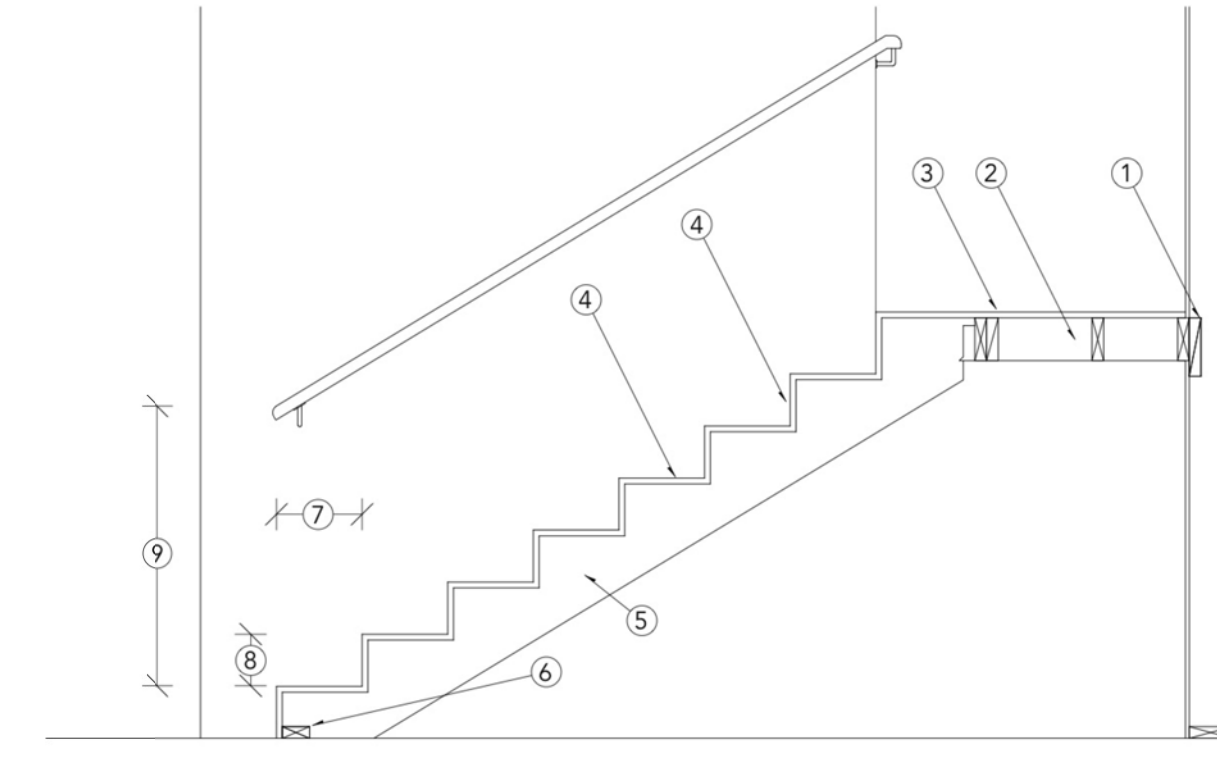
- 1) 1/2" GWB
- 2) 2X FRAMING, PER PLAN
- 3) 3/8" x 3" LAG SCREW @ 48" OC
- 4) 1-1/2" MINIMUM
- 5) 4-1/2" MINIMUM
- 6) 3/4" TO 38" TOP OF HANDRAIL TO TOP OF STAIR TREAD NOSING
- 7) CONTINUOUS HANDRAIL, FULL LENGTH OF STAIRS, NO LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTION, OR SHAPE MUST PROVIDE AN EQUIVALENT GRIPPING SURFACE. HANDRAIL SHALL BE RETURNED OR END AT A NEWEL POST OR SAFETY TERMINAL



**HANDRAIL DETAIL
"0"**

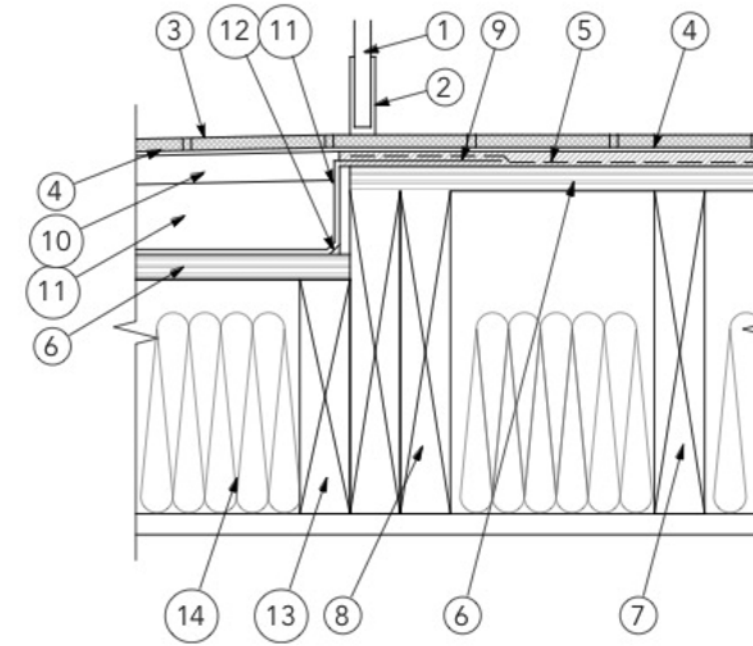
1. HANDRAIL SHALL BE NO LESS THAN 34" AND NO MORE THAN 38" ABOVE THE NOSING OF THE STAIR TREADS
2. HANDRAILS FOR STAIRWAY SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT FROM THE POINT DIRECTLY ABOVE THE TOP RISER TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT.
3. THE HANDGRIP OF THE HANDRAIL SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSION. HANDGRIP MUST BE OF GRASPABLE SHAPE.
4. HANDRAIL TO TERMINATE INTO POST AT EACH END OF THE FLIGHT OF STAIRS.
5. VERTICAL RAILINGS:
6. A 4-3/8" DIAMETER SPHERE CANNOT PASS THROUGH VERTICAL GUARD RAILS ON STAIRS
7. A 6" SPHERE CANNOT PASS BETWEEN STAIR TREAD AND LOWER GUARDRAIL ON STAIRS

- 1) 2X BLOCKING
- 2) 3/4" PLYWOOD O/ 2X JOISTS, PER PLANS
- 3) LANDING, MIN 36" DEEP
- 4) 3/4" PLYWOOD TREADS AND RISERS
- 5) (3) 2X12 DF STRINGERS SPACED EQUALLY
- 6) 2X NAILER
- 7) TREAD DEPTH: 10" MINIMUM DEPTH
- 8) RISER HEIGHT: 7-3/4" MAXIMUM HEIGHT
- 9) HEIGHT OF HANDRAIL 34" MIN TO 38" MAX ABOVE NOSING OF STAIR TREADS

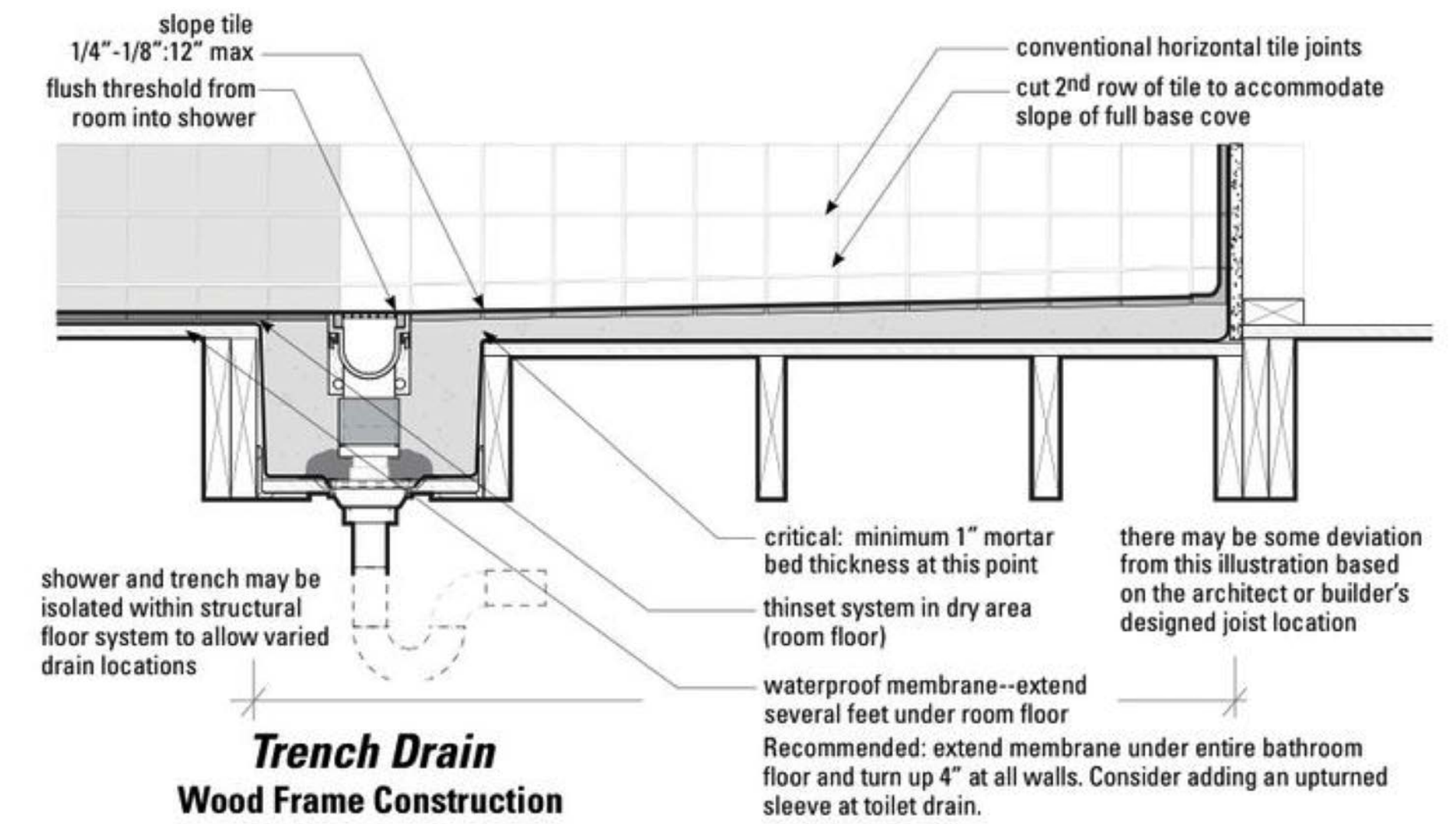


INTERIOR STAIR DETAIL

1. 1/2" SHOWER GLASS - OPTIONAL
2. SHOWER GLASS BRACKET - OPTIONAL, PER MANUFACTURER'S INSTRUCTIONS
3. THINSET FLOOR TILE
4. CEMENTIOUS TILE BACKER BOARD W/ CLEAVAGE MEMBRANE
5. WATERPROOF MEMBRANE
6. 3/4" T&G PLYWOOD
7. FLOOR JOIST
8. DOUBLE FLOOR JOIST @ SHOWER EDGE
9. WATERPROOF SHOWER MEMBRANE, LAP 5" OVER RECESS LIP
10. TILE SETTING BED
11. SLOPED SHOWER BED
12. SEALANT CANT
13. 2X FLOOR JOISTS CUT DOWN, ALIGN WITH BOTTOM OF (E) JOISTS
14. SUB-AREA BELOW FLOOR



CURBLESS SHOWER PAN DETAIL



**Trench Drain
Wood Frame Construction**

- shower and trench may be isolated within structural floor system to allow varied drain locations
- critical: minimum 1" mortar bed thickness at this point
- thinset system in dry area (room floor)
- waterproof membrane--extend several feet under room floor
- Recommended: extend membrane under entire bathroom floor and turn up 4" at all walls. Consider adding an upturned sleeve at toilet drain.
- there may be some deviation from this illustration based on the architect or builder's designed joist location

CONSTRUCTION DETAILS, MPWMD CREDITS		BY	DATE / DESCRIPTION
REV #	DATE / DESCRIPTION	REV #	DATE / DESCRIPTION
05.07.24	PLN CO #1/INF RFI #1	ER	ER
		ER	ER
		ER	ER

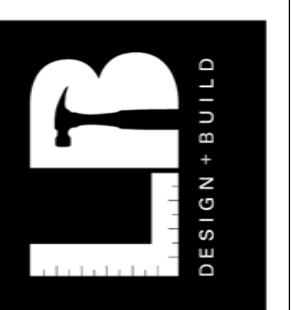
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SPECIFICATIONS

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NOTE

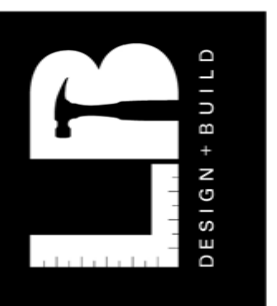
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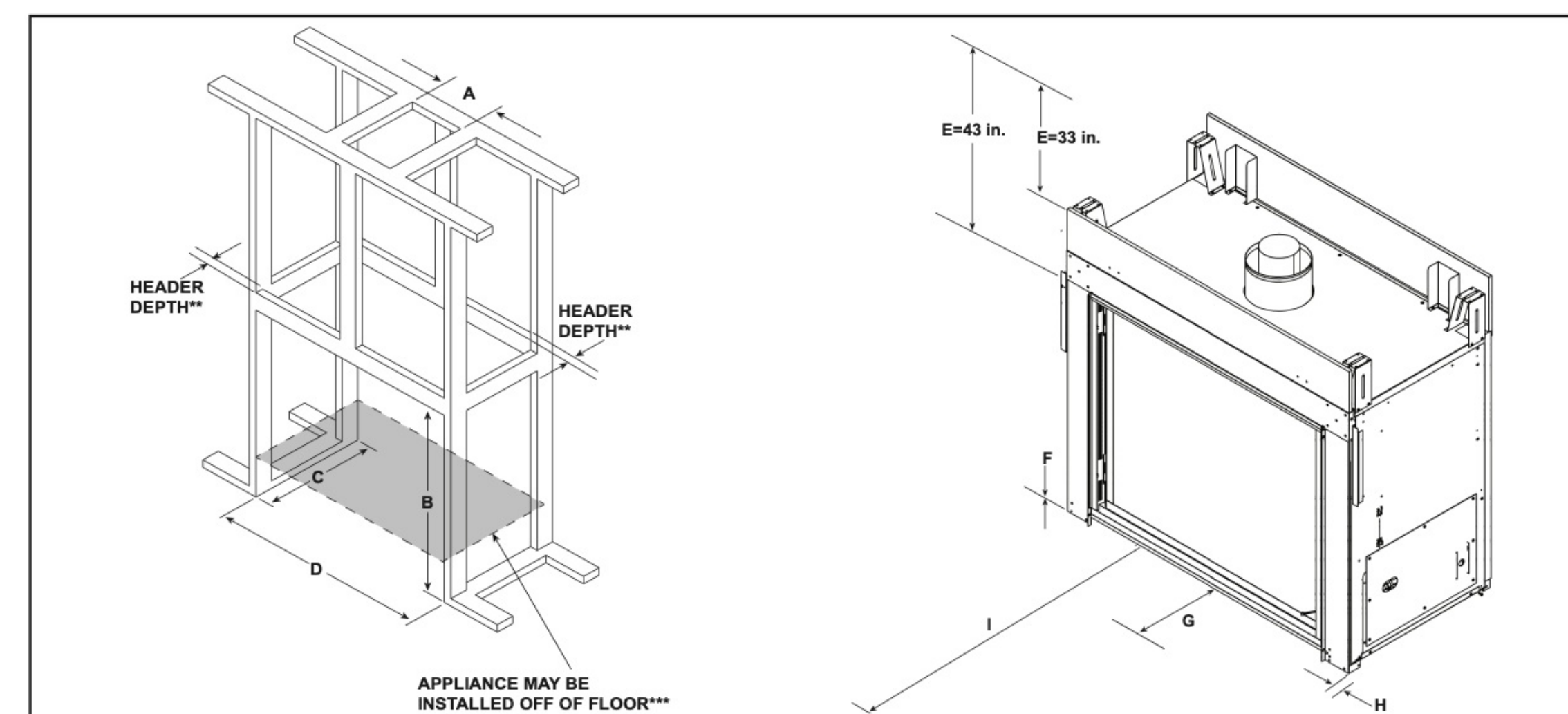
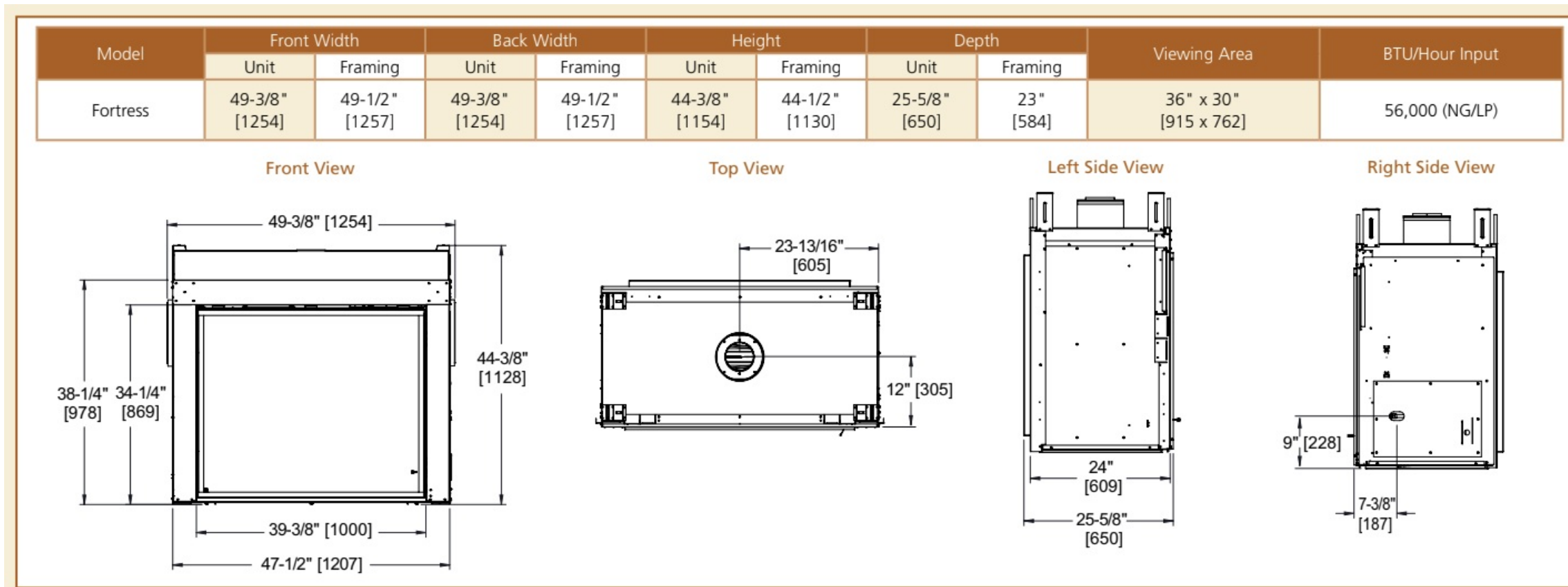
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OUTFRTG-36
Majestic 36" Fortress Traditional Indoor/
Outdoor See-Through Direct Vent Gas
Fireplace with IntelliFire Touch Ignition
System

Specifications

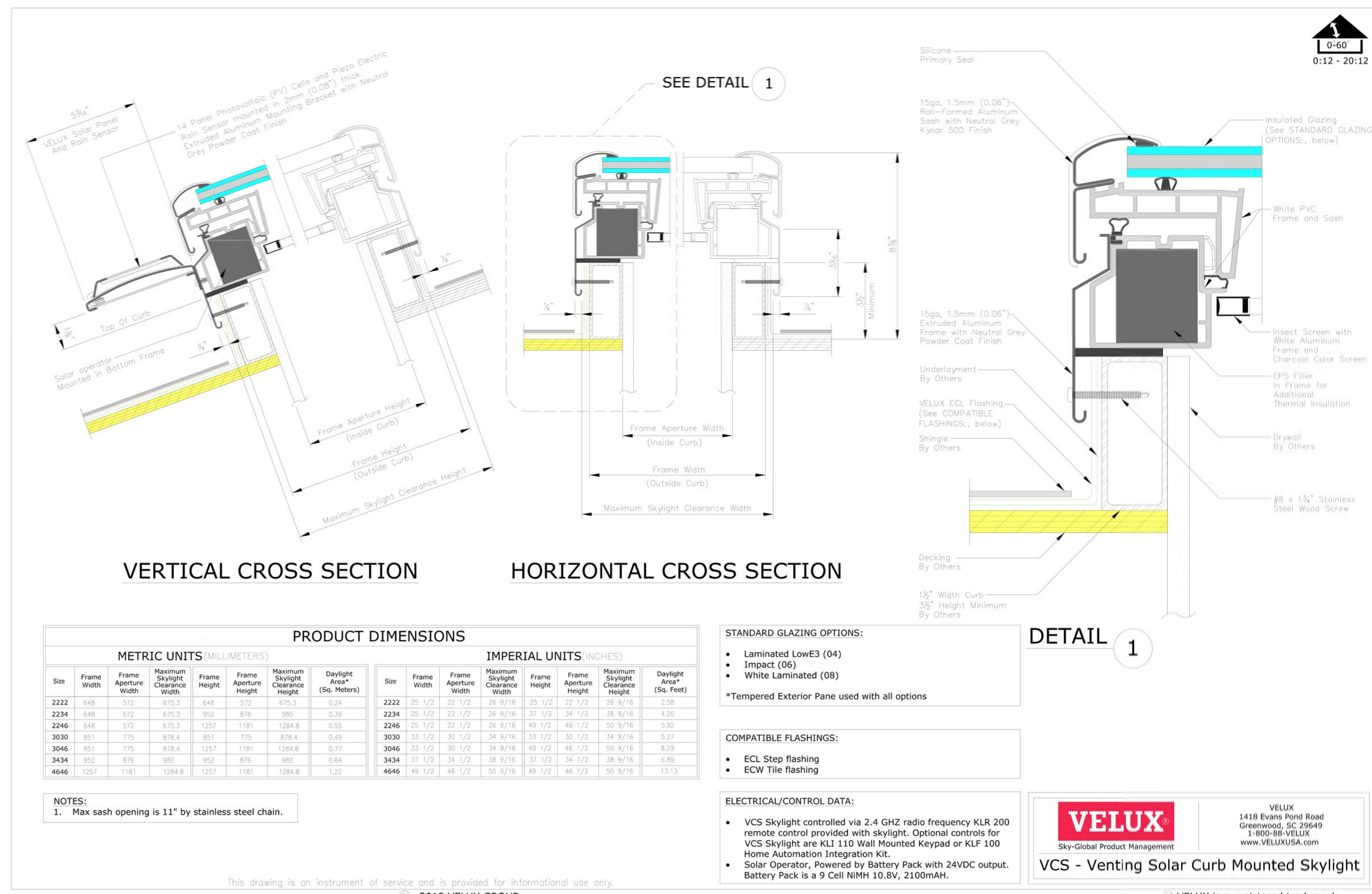
Appliance Width	49-3/8"
Appliance Height	44-3/8"
Appliance Depth ¹	25-5/8"
Appliance Rear Width	49-3/8"
Framing Width	49-1/2"
Framing Height	44-1/2"
Framing Depth	23"
Framing Front Width	49-1/2"
Framing Back Width	49-1/2"
BTU/hr Input	56,000 NG
Heating Capacity ²	2,200 sq ft
Viewing Area	36 x 30"



	MINIMUM FRAMING DIMENSIONS*									
	A	B**	C*	D	E	F**	G**	H	I	
Inches	10	44-1/2	23	49-1/2	37-3/4	33-1/2	0	See Note Below	1	48
Millimeters	254	1130	584	1257	959	851	0	See Note Below	25	1219

* Adjust framing dimensions for interior sheathing (such as sheetrock)
** Fireplace may need to be elevated from the floor affecting framing height B, depending on hearth construction. See Section 3.D for hearth and combustible floor requirements.

Figure 3.7 Clearances to Combustibles



METRIC UNITS (MILLIMETERS)							IMPERIAL UNITS (INCHES)						
Size	Frame Width	Frame Aperture Width	Maximum Skylight Clearance Width	Frame Height	Frame Aperture Height	Maximum Skylight Clearance Height	Size	Frame Width	Frame Aperture Width	Maximum Skylight Clearance Width	Frame Height	Frame Aperture Height	Maximum Skylight Clearance Height
2232	648	572	675.3	648	572	675.3	25.12	22 1/2	22 1/2	26 9/16	25 1/2	22 1/2	26 9/16
2234	648	572	675.3	692	676	692	22.34	25 1/2	22 1/2	26 9/16	27 1/2	24 1/2	26 9/16
2246	648	572	675.3	1257	1181	1284.8	0.55	22.46	25 1/2	22 1/2	26 9/16	49 1/2	46 1/2
3030	851	775	876.4	851	775	876.4	0.49	30.30	33 1/2	30 1/2	34 9/16	33 1/2	30 1/2
3046	851	775	876.4	1257	1181	1284.8	0.77	30.46	33 1/2	30 1/2	34 9/16	49 1/2	46 1/2
3434	952	876	980	952	876	980	0.64	34.34	37 1/2	34 1/2	38 9/16	37 1/2	34 1/2
4646	1257	1181	1284.8	1257	1181	1284.8	1.22	46.46	49 1/2	46 1/2	50 9/16	49 1/2	46 1/2

NOTES:
1. Max sash opening is 11" by stainless steel chain.

STANDARD GLAZING OPTIONS:

- Laminated LowE3 (04)
- Impact (06)
- White Laminated (08)

*Tempered Exterior Pane used with all options

COMPATIBLE FLASHINGS:

- ECL Step flashing
- ECW Tile flashing

ELECTRICAL/CONTROL DATA:

- VCS Skylight controlled via 2.4 GHz radio frequency KLR 200 remote control provided with skylight. Optional controls for VCS Skylight are KLI 110 Wall Mounted Keypad or KLF 100 Home Automation Integration Kit.
- Solar Operator, Powered by Battery Pack with 24VDC output. Battery Pack is a 9 Cell NiMH 1.0.6V, 2100mAh.

VELUX
Sky-Global Product Management



4' GRAPESTAKE FENCE
UNPAINTED
YARDS FACING CARPENTER AND 4TH



6' WOOD PRIVACY FENCE WITH GATE
STAINED VERTICAL WOOD SLAT
NORTH YARD ONLY, REPLACES EXISTING GATE

WAC LIGHTING

Sodor

Outdoor Wall Sconce 3000K

Model & Size	Color Temp & CRI	Finish	Watt	LED Lumens	Delivered Lumens	Title 24
WS-W15708 8"	3000K 90	Black Bronze	12W 9W	1000 750	314 315	Yes

Example: WS-W15708-BZ
For custom requests please contact customs@wacighting.com

DESCRIPTION

A Steam work inspired approach to a traditional lantern design. Sodor is constructed with a solid die-cast aluminum shade that provides fantastic glare cutoff and a weather resistant powder coated finish. The light engine is factory sealed for maximum protection against the harshest elements.

FEATURES

- Weather resistant powder coated finishes
- Light engine is factory sealed for maximum protection from the elements
- Heavy aluminum shade provides great glare cutoff
- Title 24 may not be available for all finishes, check for availability
- ACLED driverless technology
- 5 year warranty

SPECIFICATIONS

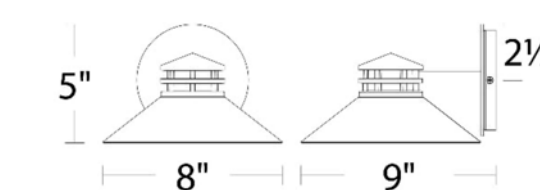
Color Temp:	3000K
Input:	120 VAC, 50/60Hz
CR:	90
Dimming:	ELV: 100-10%
Rated Life:	54000 Hours
Standards:	ETL, cETL, IP65, Title 24 JAB-2019 Compliant, Dark Sky Friendly, Wet Location Listed
Construction:	Aluminum hardware with glass diffuser



FINISHES:



LINE DRAWING:



Fixture Type: _____
Catalog Number: _____
Project: _____
Location: _____

EXTERIOR LED DOWNLIGHTS
WAC LIGHTING SODOR 3000K
BRONZE, 314 LUMENS DELIVERED
DARK SKY & TITLE 24

CARMEL-BY-THE-SEA EXTERIOR LIGHTING REQUIREMENTS

1. WALL-MOUNTED LIGHTING SHALL BE NO HIGHER THAN 10 FEET ABOVE THE GROUND AND SHALL NOT EXCEED 25 WATTS PER FIXTURE (APPROXIMATELY 375 LUMENS).
2. LANDSCAPE LIGHTING SHALL NOT EXCEED 18 INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS PER FIXTURE (APPROXIMATELY 225 LUMENS).
3. LANDSCAPE LIGHTS SHALL BE SPACED AT LEAST 10 FEET APART.
4. NO LIGHTING MAY BE USED TO ACCENT TREES, WALLS, FENCES, ETC.
5. NO LIGHTING IS PERMITTED UPON CITY PROPERTY OR DIRECTED TOWARDS CITY PROPERTY, INCLUDING THE RIGHT OF WAY.



WINDOWS
SIERRA PACIFIC WOOD CLAD ALUM
TRUE DIVIDED LITES
SLATE BLUE 008



EXTERIOR SWING DOORS
SIERRA PACIFIC WOOD CLAD ALUM
TRUE DIVIDED LITES
SLATE BLUE 008



SKYLIGHTS
VELUX FIXED CURB MOUNT
LOW PROFILE
NEUTRAL GRAY



FRONT DOOR
SIERRA PACIFIC
WOOD CLAD ALUM
TRUE DIVIDED LITES
SLATE BLUE 008



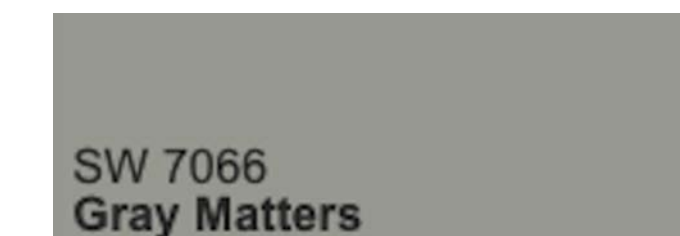
GARAGE DOOR
STEEL - SIMULATED WOOD GRAIN
TRUE DIVIDED LITES
PAINTED SHERWIN WILLIAMS WHITE SNOW SW9541



SHAKE SIDING
HARDISHINGLE COMPOSITE STRAIGHT EDGE SHINGLE
PAINTED MEDIUM GRAY SW7066



ROOFING MATERIAL
COMPOSITE CLASS-A SHAKE
CERTAINTED TS PRESIDENTIAL
COUNTRY GRAY



SW 7066
Gray Matters
EXTERIOR PAINT COLOR
SHERWIN WILLIAMS
GRAY MATTERS SW7066
SIDING



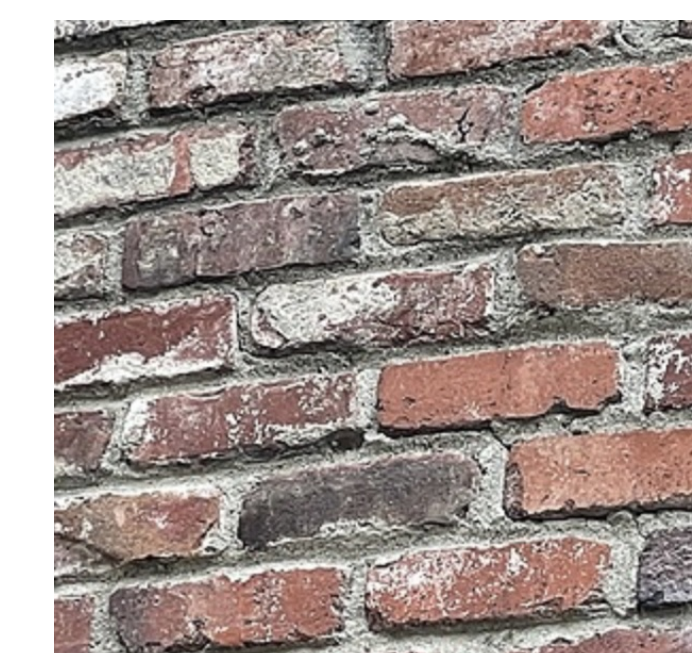
SW 9541
White Snow
EXTERIOR PAINT COLOR
SHERWIN WILLIAMS
WHITE SNOW
TRIM, FASCIA & GARAGE DOOR



SIERRA PACIFIC UNITS
WINDOWS & DOORS
SP SLATE BLUE 008



SW 7607
Santorini Blue
EXTERIOR PAINT COLOR
SHERWIN WILLIAMS
SANTORINI BLUE SW7607



EXTERIOR BRICK ACCENT
MATCH EXISTING
FOUNDATION, PORCH, CHIMNEY

F-1.1

VERSION: 3.5

DATE: 5/8/24

PLANNING

FINISH MATERIALS & LIGHTING SHEET

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY
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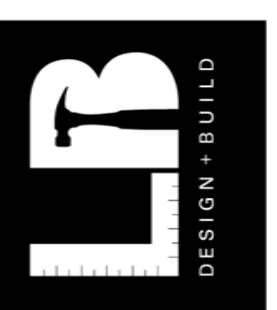
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Exterior Volume Handout



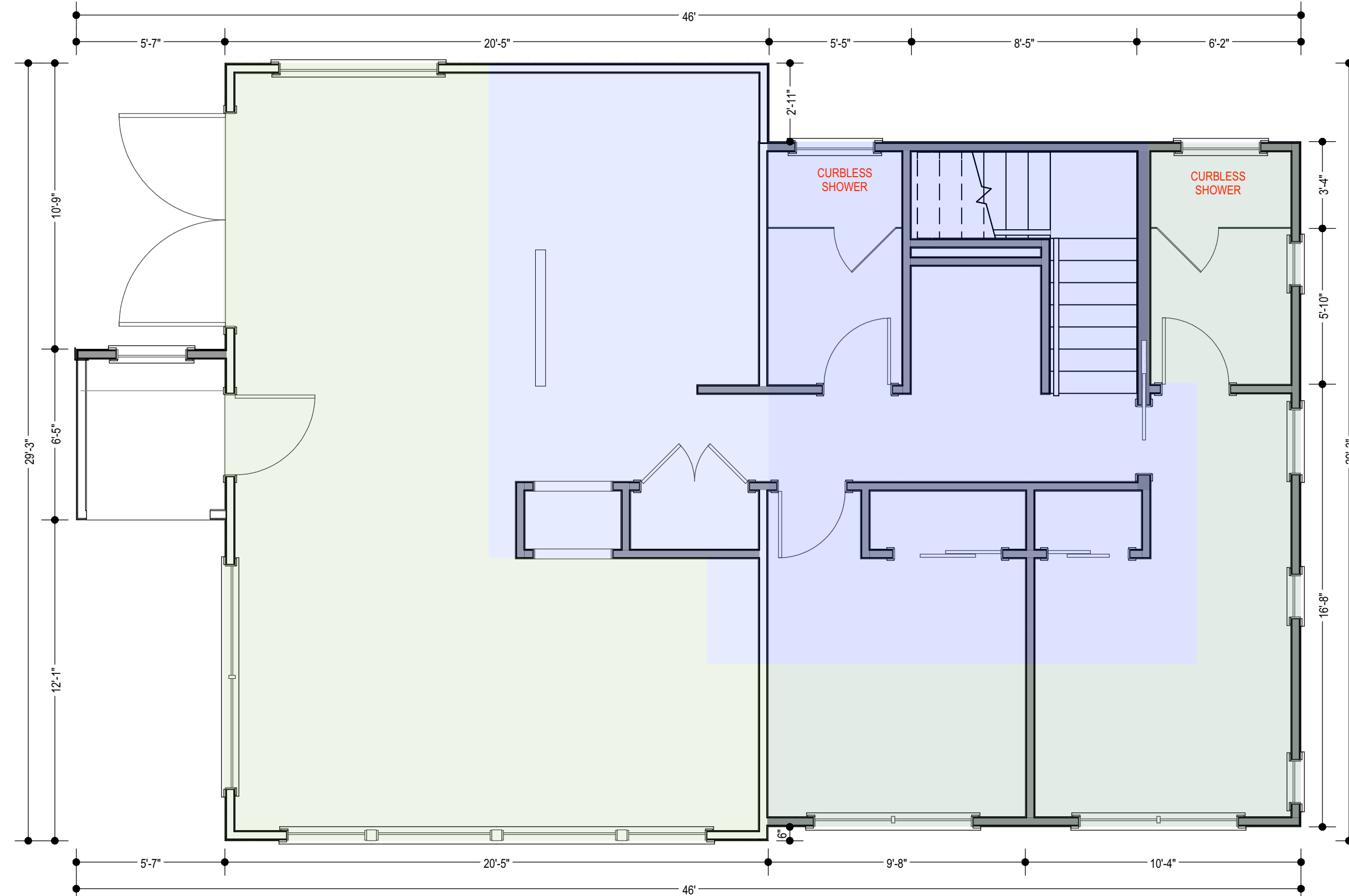
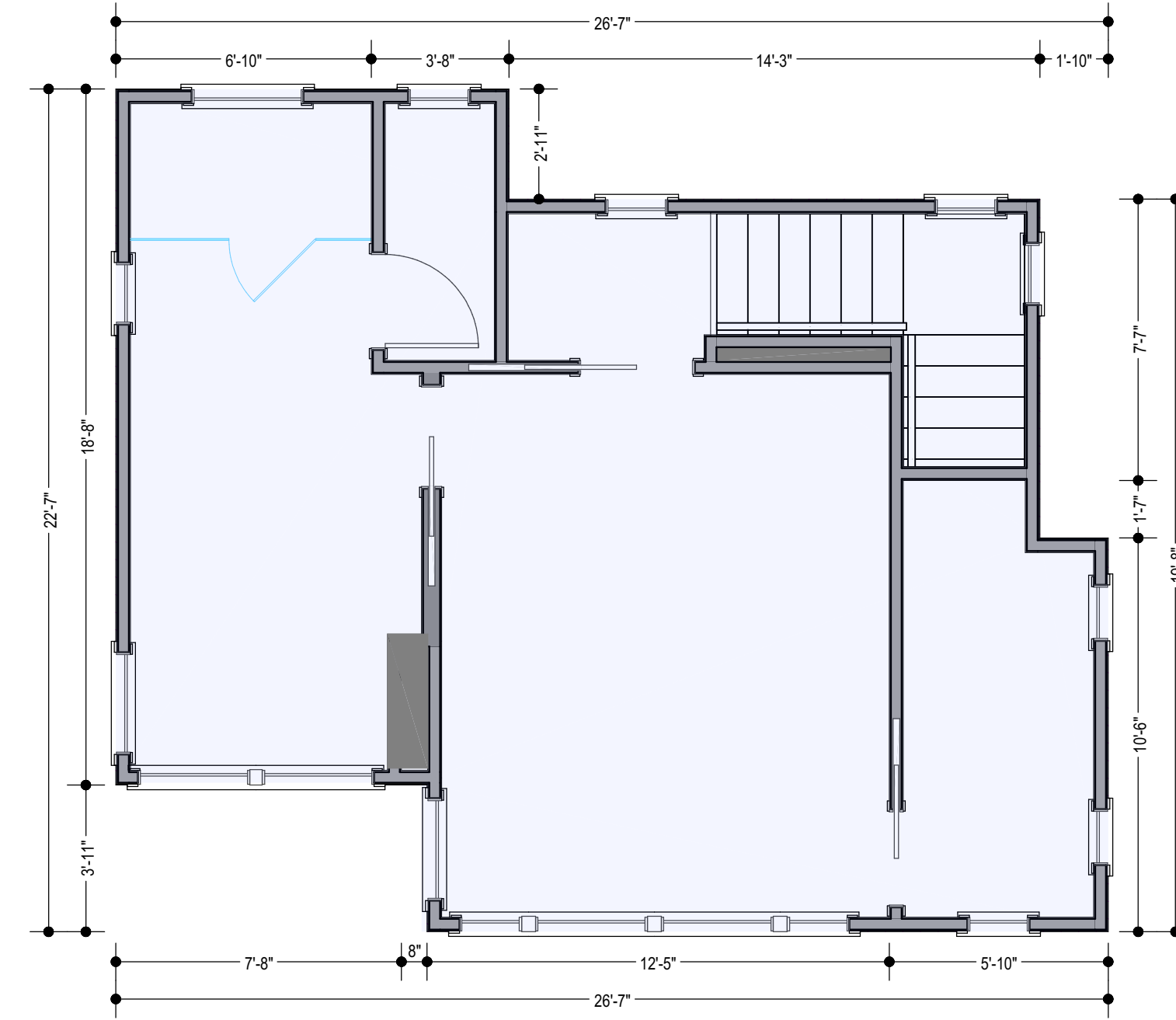
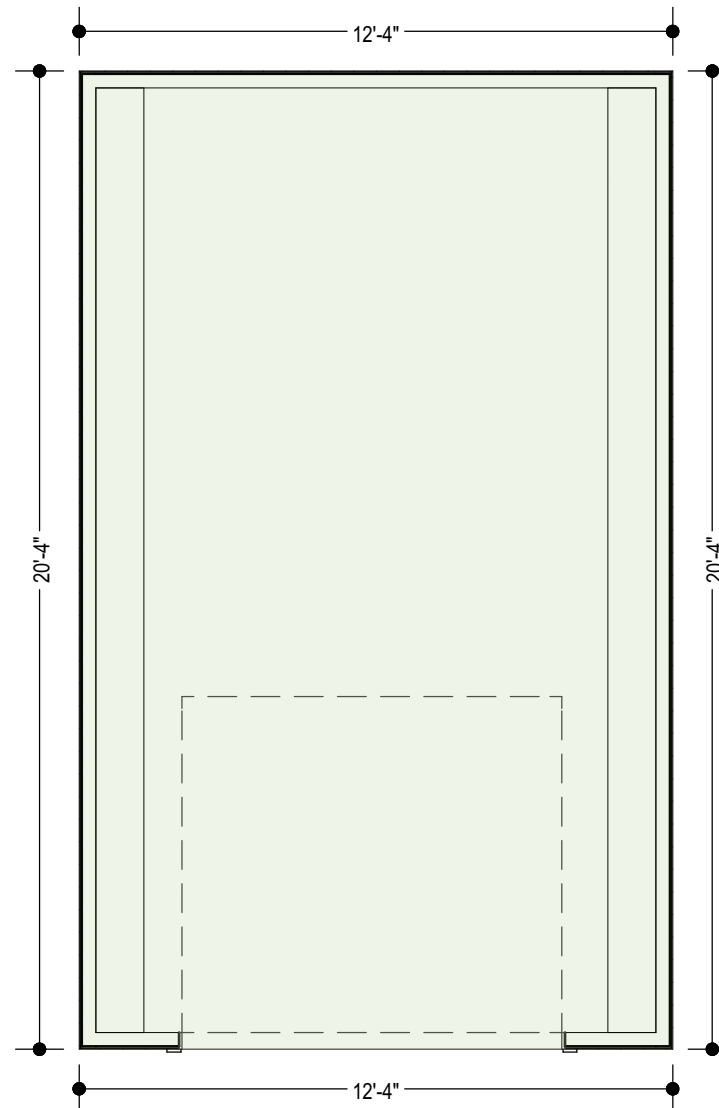
Allowed Volume Worksheet (Include with application materials)

Project Address: 0 NW 4TH & CARPENTER Site Area: 4,000

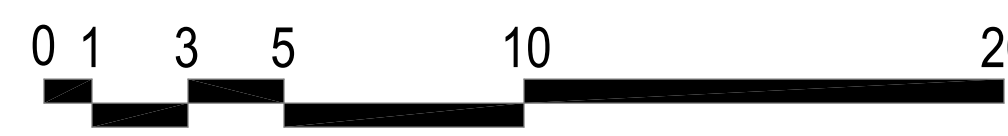
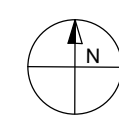
Property Owner Name(s): TORRIE & MICKI NUTE

- Total Base Floor Area Allowed (not including basement bonus): 1,800 sq. ft.
- Total Base Floor Area Proposed (not including basement bonus): 1,799,1376 sq. ft.

PROPOSED AREAS		ALLOWED VOLUMES				
calculations only include SF above natural grade						
a. One Story Floor Area (3:12 or greater):	948	sq. ft.	X(12)=	11376	cu. ft.	House, porch garage
b. One Story Floor Area (less than 3:12):	0	sq. ft.	X(11)=	0	cu. ft.	
c. Two Story Floor Area (3:12 or greater):	454	sq. ft.	X(11)=	4994	cu. ft.	House
d. Two Story Floor Area (less than 3:12):	0	sq. ft.	X(10)=	0	cu. ft.	
e. Unused floor area or basement floor area not including bonus:	1	sq. ft.	X(12)=	12	cu. ft.	
Total Allowed Volume			=	16382	cu. ft.	



VOLUMETRIC STUDY PLAN
SCALE: 1/4"=1'



DIMENSIONS ADDED
SECOND FLOOR ADDED
COLOR FILL ADDED

V-1.1

VERSION: 3.5

DATE: 5/8/24

PLANNING

VOLUMETRIC STUDY

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY
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