

Carmel Lodge Remodel

CARMEL BY THE SEA,

CALIFORNIA

Carmel Lodge Remodel

SAN CARLOS STREET
& 6TH AVE
CARMEL, CA 93923

THE PAUL DAVIS PARTNERSHIP

ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP
286 Eldorado Street
Monterey, CA 93940
(831) 373-2784 FAX (831) 373-7459
EMAIL: info@pauldavispartnership.com

Drawn By: AP

Drawing Date: 1/06/2021

Project Number: 2012

Revisions:
03/19/21-PLANNING SUBMITTAL
03/26/21-PLANNING SUBMITTAL

COVER SHEET

Sheet Number:

A0.1

PROJECT DIRECTORY

PROJECT OWNER	MARK & SUSAN STILWELL PO BOX 951 CARMEL, CA 939213
PROJECT ARCHITECT	THE PAUL DAVIS PARTNERSHIP 286 ELDORADO STREET MONTEREY, CA. 93940 (831) 373-2784 PHONE (831) 373-7459 FAX paulw@pauldavispartnership.com CONTACT: PAUL W. DAVIS, A.I.A.
LANDSCAPE ARCHITECT	BFS 425 PACIFIC ST. SUITE 201 MONTEREY, CA 93940 (831) 466-9617 PHONE (831) 277-5662 CELL CONTACT: SIMON PHILLIPS
CIVIL ENGINEER:	L&S ENGINEERING AND SURVEYING 2460 GARDEN RD SUITE G MONTEREY, CA 93940 (831) 655-2723 PHONE (831) 655-3425 FAX ben@landsengineers.com CONTACT: BEN MURADYAN.
MECHANICAL ENGINEER/ T24	MONTEREY ENERGY GROUP 26465 Carmel Rancho Blvd., Suite 8 CARMEL, CA. 93923 (831) 372-8328 PHONE (831) 359-4173 FAX ryan@meq4.com
ELECTRICAL ENGINEER:	AURUM CONSULTING ENGINEERS 60 GARDEN CT. #210 MONTEREY, CA. 93940 ATTN: STEVE GATE

CODE REFERENCES

APPLICABLE CODES
2010 California Administrative Code (CAC), Part 1, Title 24, California Code of Regulations (CCR)
2010 California Building Code (CBC), Part 2, Title 24, CCR. Based on the 2018 International Building Code (IBC)
2019 California Electrical Code (CEC), Part 3, Title 24, CCR. Based on the 2017 National Code (NEC)
2019 California Mechanical Code (CMC), Part 4, Title 24, CCR. Based on the 2018 Uniform Mechanical Code (UMC)
2019 California Plumbing Code (CPC), Part 5, Title 24, CCR. Based on the 2018 Uniform Plumbing Code (UPC)
2019 California Energy Code (CEC), Part 6, Title 24, CCR
2019 California Fire Code (CFC), Part 9, Title 24, CCR. Based on 2018 International Fire Code (IFC)
2019 California Existing Building Code (CEBC), Part 10, Title 24, CCR. Based on 2018 International Existing Building Code
2019 California Green Building Standards Code (CALGreen), Part 11, Title 24, CCR.
2019 California Referenced Standards Code, Part 12, Title 24, CCR.
2010 ADA Standards for Accessible Design
Title 19 C.C.R., Public Safety, SFM Regulations
NFPA 13, Automatic Sprinkler System, 2016 edition
NFPA 71, Standards for the Installation Maintenance and Use of Central Station Protective Signaling Systems for Watchman Fire Alarm and Supervisory Service
NFPA 72, Natl Fire Alarm Code, (Ca Amended) 2016 Edition (See UL Standard 1971 for "Visual Devices")

SHOULD ANY CONDITION DEVELOP THAT IS NOT COVERED BY THE APPROVED PLANS AND SPECIFICATIONS SUCH THAT THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED PRIOR TO PROCEEDING WITH THE WORK

THE INTENT OF THE PLANS AND SPECIFICATIONS IS TO CONSTRUCT THIS WORK IN ACCORDANCE WITH THE CALIFORNIA BUILDING STANDARDS CODE, TITLES 19 AND 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITIONS DEVELOP NOT COVERED BY THE APPROVED PLANS AND SPECIFICATIONS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER BEFORE PROCEEDING WITH THE WORK.

GENERAL NOTES

PROJECT SUMMARY

LOCATION:	NORTHEAST CORNER 5TH AVE & SAN CARLOS ST CARMEL, CA 93923 BLOCK 50, LOTS 14-20 010-131-025-000 010-131-025-000
A.P.N.	
ZONING:	SC
LOT SIZE:	.759 Ac (33,073 SF)
PROJECT DESCRIPTION:	1. INTERIOR REMODEL OF 37 EXISTING GUEST ROOMS & LOBBY 2. RELOCATE 5 EXISTING GUESTROOMS TO NEW ADDITION TO BLDG B. 3. EXTERIOR IMPROVEMENTS INCLUDING ENERGY EFFICIENT WINDOWS AND DOORS, NEW BALCONIES, AND ENHANCED WALL TREATMENTS. 4. ADD MULTI-PURPOSE ROOM, COVERED PARKING, STORAGE SPACE. 5. ENCLOSED TRASH AREA. 6. SITE IMPROVEMENTS INCLUDING NEW COURTYARDS, TRELLIS, RECONFIGURE PARKING SPACES. LANDSCAPING AND ACCESSIBLE PATH OF TRAVEL
GUEST ROOMS:	EXISTING: 42 PROPOSED: 42
FLOOR AREA:	TOTAL: 19,293 EXISTING, 5,299 NEW, 24,592 TOTAL BLDG A: 15,093 EXISTING, 0 NEW, 15,093 TOTAL BLDG B: 4,452 EXISTING, 5,047 NEW, 9,499 TOTAL
SITE COVERAGE	12,605 SF (38%) EXISTING, 14,721 (45%) PROPOSED
FLOOR AREA RATIO	46% EXISTING; 69% PROPOSED; 135% ALLOWED
BUILDING HEIGHT:	27'-4" EXISTING ; NO CHANGE. NEW BUILDING 28'-1-1/2"
PARKING	34 EXISTING (INCLUDING 3 COMPACT & 2 ACCESSIBLE); 36 PROPOSED (INCLUDING 17 COMPACT & 3 ACCESSIBLE)

LOT COVERAGE		AREA	TOTAL
LOT SIZE		33,073 SF	
EXISTING Building	10,489 SF		
Hardscape - Impervious	19,716 SF		
Total Impervious		30,205 SF	91.3%
Hardscape - Pervious	0 SF	0 SF	
EXISTING LOT COVERAGE	30,205 SF		
PROPOSED Existing Building - To Remain	10,489 SF		
Building - Proposed	2,840 SF		
Total Building		13,329 SF	
Existing Hardscape - To Remain	7,064 SF		
Hardscape - Proposed Impervious	2,863 SF		
Total Impervious		9,927 SF	
Hardscape - Proposed Pervious	3,956 SF		
Total Pervious		3,956 SF	82.2%
PROPOSED LOT COVERAGE	27,212 SF		

SHEET INDEX

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1	SURVEY
ARCHITECTURAL	
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LANDSCAPE	
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L1.1	MATERIAL SAMPLES
L2.0	LIGHTING PLAN
L2.1	LIGHTING CUT SHEETS
L3.0	PLANTING PLAN
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BUILDING AREAS

	Floor	1	2	Total	New	Existing
Bldg A	Inn	4570	6830	11400		11400
	Restaurant	3441		3441		3441
	Trash Room	252		252		252
Bldg A Total		8263	6830	15093	0	15093
Bldg B	Inn	2226	2226	4452		4452
Addition	Meeting Room	1145		1145	1145	
	Covered Parking	971		971	971	
	Restroom	91		91	91	
	Inn		2840	2840	2840	
Bldg B Total		4433	5066	9499	5047	4452
Combined Bldgs						
	Inn	6796	11896	18692	2840	15852
	Meeting Room	1145		1145	1145	
	Restaurant	3441		3441		3441
	Restroom	91		91	91	
	Trash Room	252		252		252
	Covered Parking	971		971		971
Total		12696	11896	24592	5047	19545

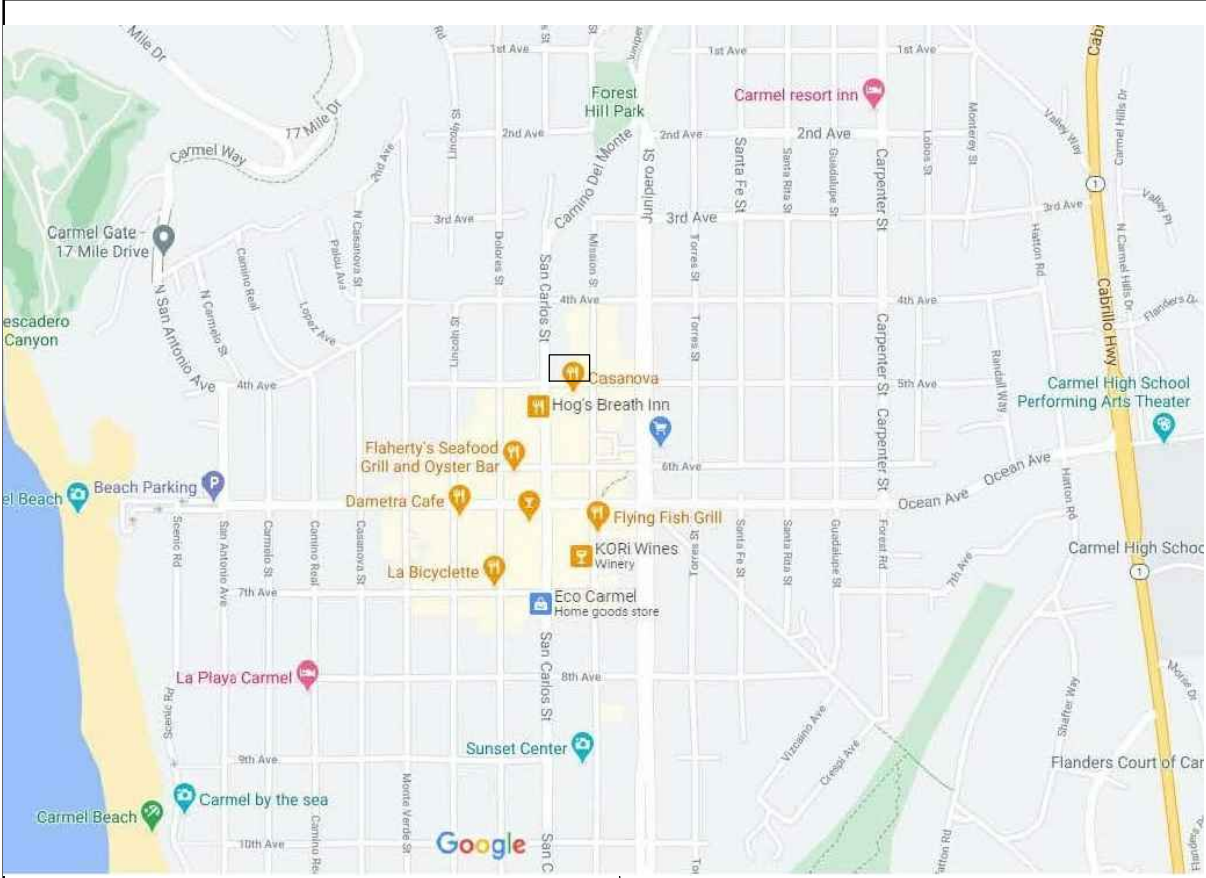
ABBREVIATIONS

A	AND	CTR	COUNTER	H.B	HOSE BIB	O	OVER	SHT	SHEET
L	ANGLE	CTSK	COUNTERSINK	HBD	HARDBOARD	OBS	OBSCURE	SHTG	SHEATHING
@	AT	CY	CUBIC YARD	H.C	HOLLOW CORE	O.C	ON CENTER	SM	SIMILAR
E	CENTERLINE			HDR	HEADER	O.D	OUTSIDE DIAMETER	S.O.H	SIMILAR OPPOSITE HAND
Ø	PLATE	DBL	DOUBLE	HOWD	HARDWOOD	O.F.C.I	OWNER FURNISH	S.S	STAINLESS STEEL
Ø	DIAMETER OR ROUND	DEPT	DEPARTMENT	HOWR	HARDWARE	OFF	CONTRACTOR INSTALL	S.M	SHEET METAL
⊥	PERPENDICULAR	DET	DETAIL	HORIZ	HORIZONTAL	O.H.M.S	OVAL HEAD MACHINE SCREW	S.M.S	SHEET METAL SCREW
//	PARALLEL	D.F.	DOUGLAS FIR	HGT	HEIGHT	O.H.W.S	OVAL HEAD WOOD SCREW	SD	SQUARE
#	POUND OR NUMBER	DIAG	DIAGONAL	HTG	HEATING	OPNG	OPENING	STL	STEEL
(E)	EXISTING	DIA	DIAMETER	H.W	HOT WATER	OPP	OPPOSITE	STD	STANDARD
		DMEN	DIMENSION	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	O.S.B	ORIENTED STRAND BOARD	STAG	STAGGERED
A.B	ANCHOR BOLT	DISP	DISPENSER			P.A.F	POWDER ACTUATED FASTENER	STOR	STORAGE
A.B.S	ACRYLONITRILE BUTADIENE STYRENE	DN	DOWN			PART. BD	PARTICLE BOARD	STOR	STRUCT
A.C	ASPHALTIC CONCRETE	DRWG	DRAWING	I.C.B.O.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS	P.G	PAINT GRADE	SUSP	SUSPENDED
A.C.T	ACOUSTICAL CEILING TILE	D.S	DOWNSPOUT			PERF	PERFORATED	SYM	SYMMETRICAL
A.C	AIR CONDITIONING	DWR	DRAWER	ID	INSIDE DIAMETER	PL.F	POUNDS PER LINEAL FOOT	SYS	SYSTEM
ACQUS	ACQUISICAL	E	EAST	NCL	INCLUDED, INCLUDING	PL.LAM	PLASTIC LAMINATE	T	TREAD (S)
ADJ	ADJUSTABLE, ADJACENT	EA	EACH	INT	INTERIOR	PLAS	PLASTER	T.B	TOWEL BAR
AGGR	AGGREGATE	ELEV	ELEVATION, ELEVATOR	INV	INVERT	PLY	PLYWOOD	T.C	TOP OF CURB
ALUM	ALUMINUM	EMER	EMERGENCY	JAN	JANITOR	PR	PAIR	TEMP	TEMPERED
ANOD	ANODIZED	ENCL	ENCLOSURE	J.H	JOIST HANGER	P.S.F	POUNDS PER SQUARE FOOT	T.E.N	TYPICAL EDGE NAILING
A.P.A	ASSOCIATION	EQUIP	EQUIPMENT	JT	JOINT	P.S.I	POUNDS PER SQUARE INCH	T & G	TONGUE AND GROOVE
APPROX	APPROXIMATE	EXIST	EXISTING	KIT	KITCHEN	P.T	PRESSURE TREATED	T.GR	TOP OF GRATE
ARCH	ARCHITECT (URAL)	EXH	EXHAUST			PART	PARTITION	THK	THICK (NESS)
		EXP	EXPOSED, EXPANSION			P.D	PAPER TOWEL DISPENSER	THRESH	THRESHOLD
BD	BOARD	EXT	EXTERIOR	L	LONG, LENGTH	P.V.C	POLYVINYL CHLORIDE	T.O	TOP OF
BIT	BITUMINOUS	F.A	FIRE ALARM	LAM	LAMINATE, LAMINATED			T.P	TOP OF PAVEMENT
BLDG	BUILDING	FAST	FASTEN, FASTENER	LAV	LAVATORY	R	RISER (S)	T.P.H	TOILET PAPER HOLDER
BLK	BLOCK	F.B	FLAT BAR	L.B	LAG BOLT	R.A	RETURN AIR	T	TOILET
BLKG	BLOCKING	F.D	FLOOR DRAIN	LOC	LOCATE, LOCATION	RAD	RADIUS	T.W	TOP OF WALL
B.M	BENCH MARK	F.O	FACE OF FINISH	LW	LIGHT WEIGHT	R.D	ROOF DRAIN	TYP	TYPICAL
BOT	BOTTOM	FDN	FOUNDATION			REG	REGISTER		
BRG	BEARING	F.E.C	FIRE EXTINGUISHER CABINET	MAS	MASONRY	REF	REFRIGERATOR	U.B.C	UNIFORM BUILDING CODE
BTWN	BETWEEN	FIBERGL	FIBERGLASS	MAT	MATERIAL (S)	REINP	REINFORCED, REINFORCING	U.L	UNDERWATERS LABORATORIES
B.W	BOTH WAYS	FIN	FINISH (ED)	MAX	MAXIMUM	RECD	REQUIRED	U.O.N	UNLESS OTHERWISE NOTED
		F.H.M.S	FLAT HEAD MACHINE SCREW	M.B	MACHINE BOLT	REQMT	REQUIREMENT	UR	URINAL
CAB	CABINET	F.W.H.S	FLAT HEAD WOOD SCREW	M.C	MEDICINE CABINET	RESIL	RESILIENT	U.B	VAPOR BARRIER
C.B	CATCH BASIN	FLSH	FLASHING	M.H	MAN HOLE	R.H.W.S	ROUND HEAD WOOD SCREW	VAR	VARIES
C.B.B	CLOSED CELL BACKER ROD	FLR	FLOOR (ING)	MECH	MECHANICAL	RM	ROOM	VERT	VERTICAL
CEM	CEMENT	FLUOR	FLOURESCENT	MEMB	MEMBRANE	R.O.W	RIGHT OF WAY	V.G	VERTICAL GRAIN
CER	CERAMIC	F.O	FACE OF	MEZZ	MEZZANINE	R.S	RESAWN	V.T	VINYL TILE
C.F	CUBIC FOOT	F.O.C	FACE OF CONCRETE	MFR	MANUFACTURE (ER)	RUB	RUBBER	W	WIDE, WIDTH
C.I	CAST IRON	F.O.F	FACE OF FINISH	MIR	MIRROR	RWD	REDWOOD	WI	WITH
CLG	CAULKING	F.O.M	FACE OF MASONRY	MISC	MISCELLANEOUS	R.W.L	RAIN WATER LEADER	W.C	WATER CLOSET
CLG	CEILING	F.P	FIRE PLATE	M.W	MALLEABLE IRON WASHER	S	SOUTH	WDW	WINDOW
CL	CLOSET	F.S	FACE OF STUDS	M.O	MASONRY OPENING	S.B	SOLID BLOCKING	W.H	WATER HEATER
CLR	CLEAR (ANCE)	FT	FOOT OR FEET	MTL	METAL	S.C	SOLID CORE	W.I.C	WOODWORK INSTITUTE OF CALIFORNIA
COL	COLUMN	FTG	FOOTING	MULL	MULLION	SCHED	SCHEDULE	W/O	WITHOUT
COMP	COMPOSITION	FURR	FURRED (ING)			S.D	SECTION	W.P	WATERPROOF
CONC	CONCRETE					SECT	SECTION	W.R	WATER RESISTANT
CONN	CONNECT (ION)					SERV	SERVICE	W.S	WOOD SCREW
CONSTR	CONSTRUCT (ION)					S.F	SQUARE FEET (FOOT)	WSC	WAINSCOT
CONT	CONTINUOUS					SH	SHELF, SHELIVING	WT	WEIGHT
CORR	CORRUGATED					SHWR	SHOWER	W.W.M	WELDED WIRE MESH
CSMT	CASEMENT								
CSWK	CASEWORK								
CT	CERAMIC TILE								

SYMBOLS

2	DETAIL KEY
A6	DETAIL NUMBER
	SHEET NUMBER
A	SECTION KEY
A7	SECTION NUMBER
	SHEET NUMBER
C	INTERIOR ELEVATION KEY
A8	ELEVATION NUMBER
	SHEET NUMBER
	ARROWS INDICATE ELEVATIONS SHOWN
OFFICE	ROOM NAME
B201	ROOM NUMBER
	WORK POINT, CONTROL POINT, OR DATUM POINT
	MATCHLINE
8	SHEET NOTE SYMBOL (SEE SHEET NOTES TABLE)
101C	DOOR NUMBER (SEE DOOR SCHEDULE)
D	WINDOW SYMBOL (SEE WINDOW SCHEDULE)
1	EQUIPMENT SYMBOL (SEE EQUIPMENT LIST)
A	SIGNAGE SYMBOL (SEE SIGN SCHEDULE)
2	REVISION

VICINITY MAP



CODE ANALYSIS

OCCUPANCY:	R1, B
TYPE OF CONSTRUCTION:	V-B
ALLOWABLE STORIES:	2
ALLOWABLE FLOOR AREA FACTOR:	R1: 7000, B: 9000

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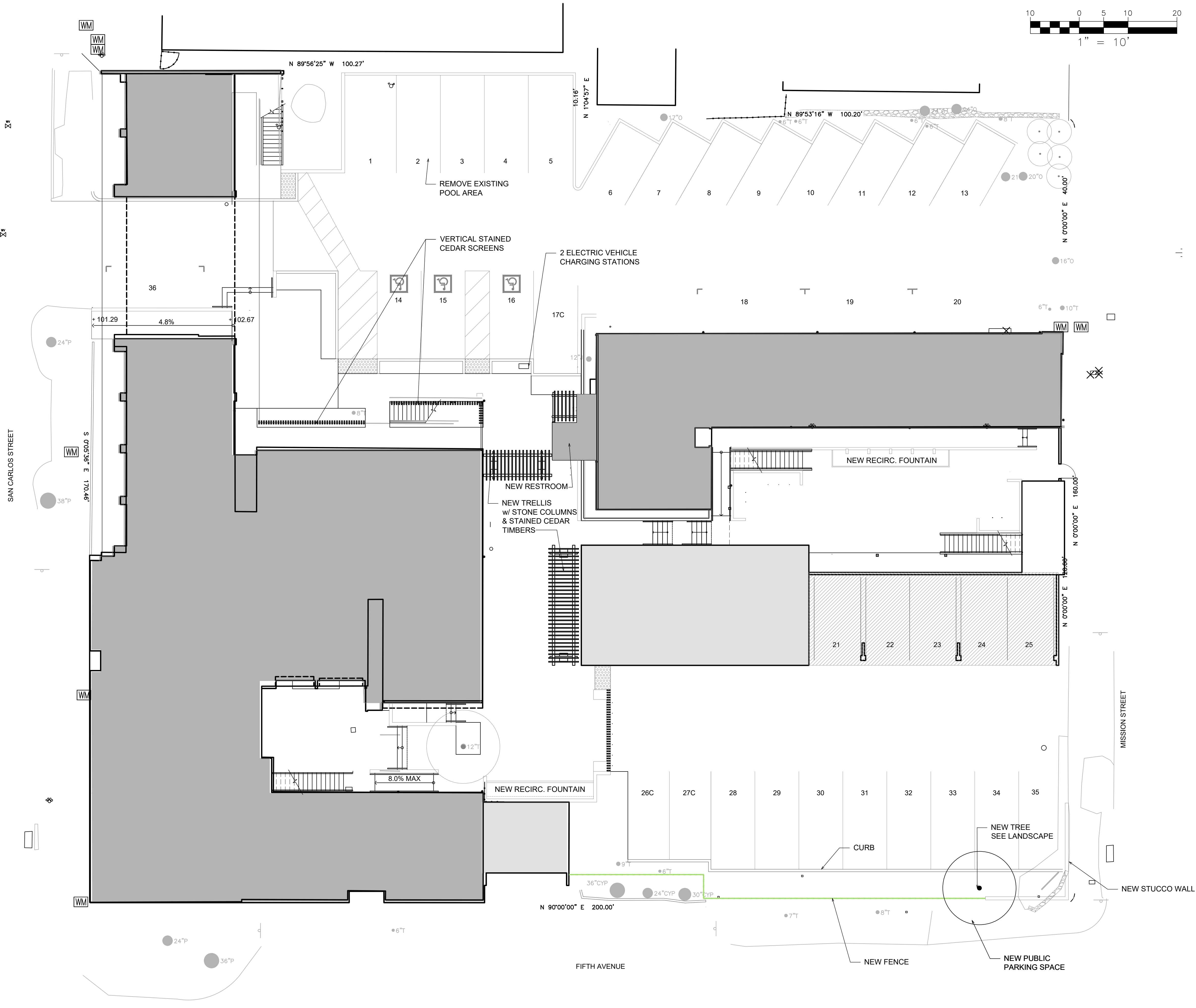
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Sheet Title:
SITE PLAN

Sheet Number:



SITE PLAN
SCALE= 1" = 10'-0"

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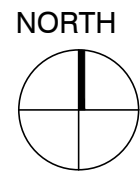
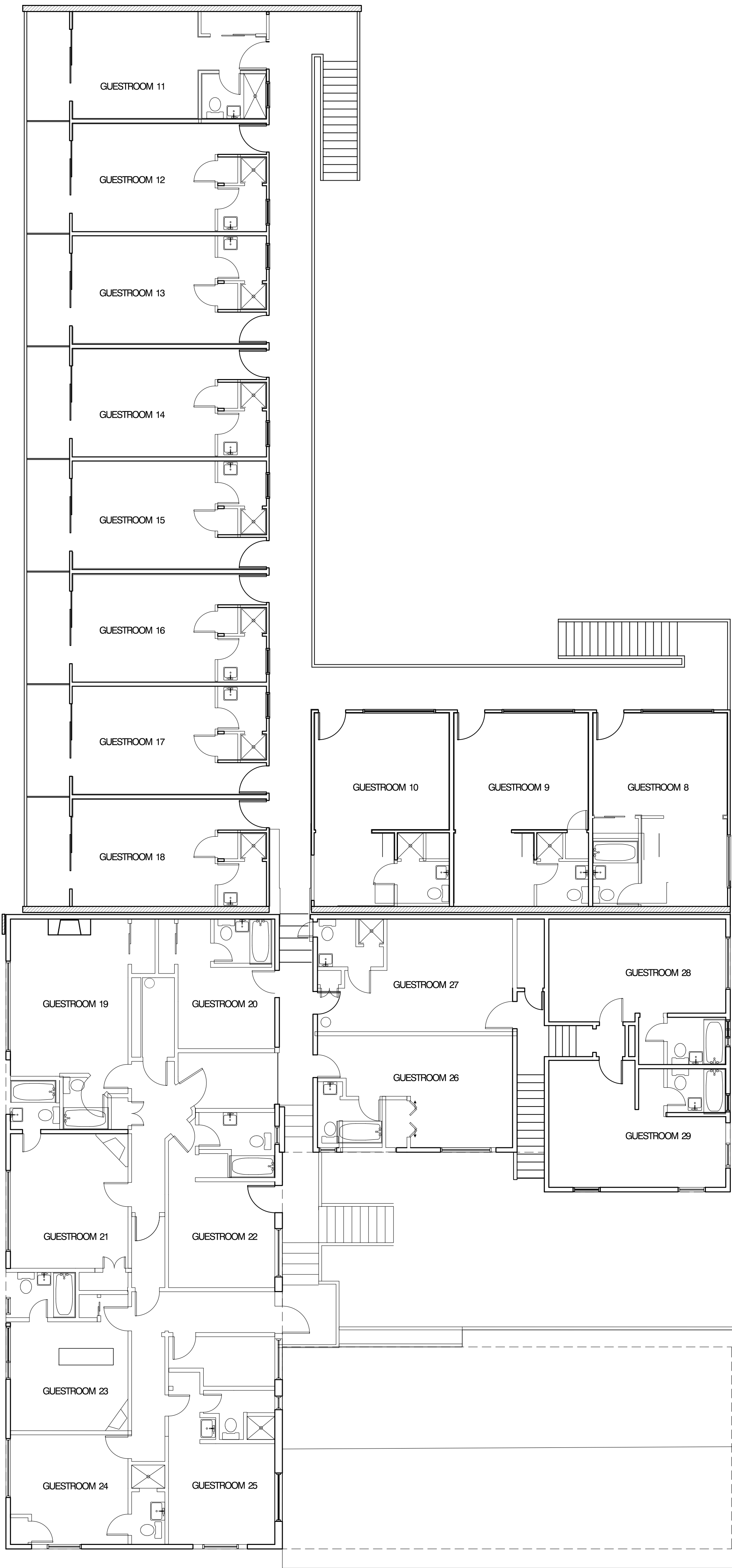
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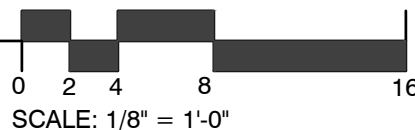
Sheet Title:
2ND FLOOR PLAN
BUILDING A

Sheet Number:



EXISTING BUILDING A - SECOND FLOOR

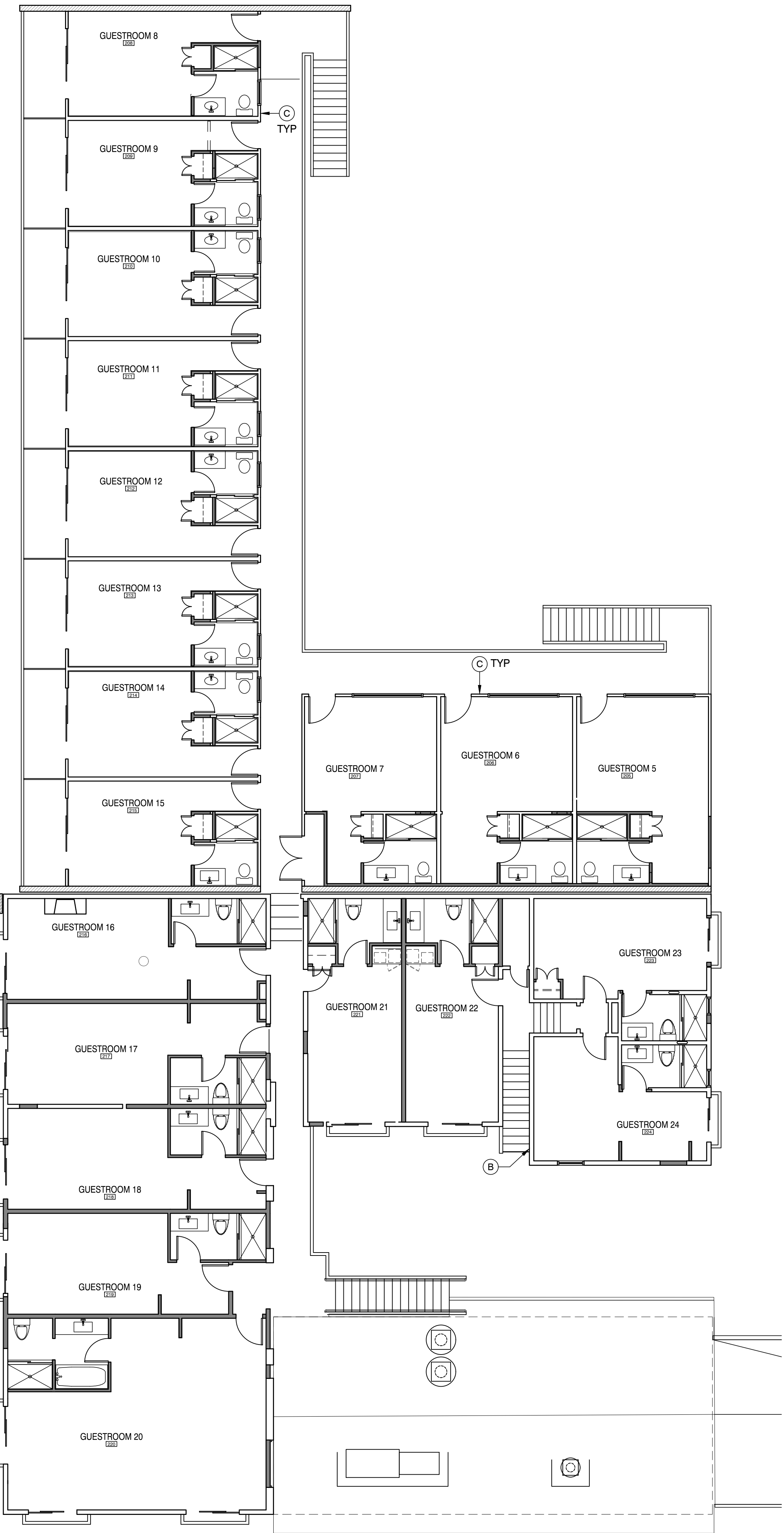
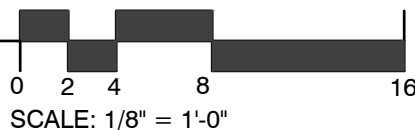
SCALE= 1/8" = 1'-0"



PROPOSED BUILDING A - SECOND FLOOR

SCALE= 1/8" = 1'-0"

EXISTING WALL
NEW WALL



SEE SHEET A2.1 FOR LIGHTING
FIXTURE CUTSHEETS

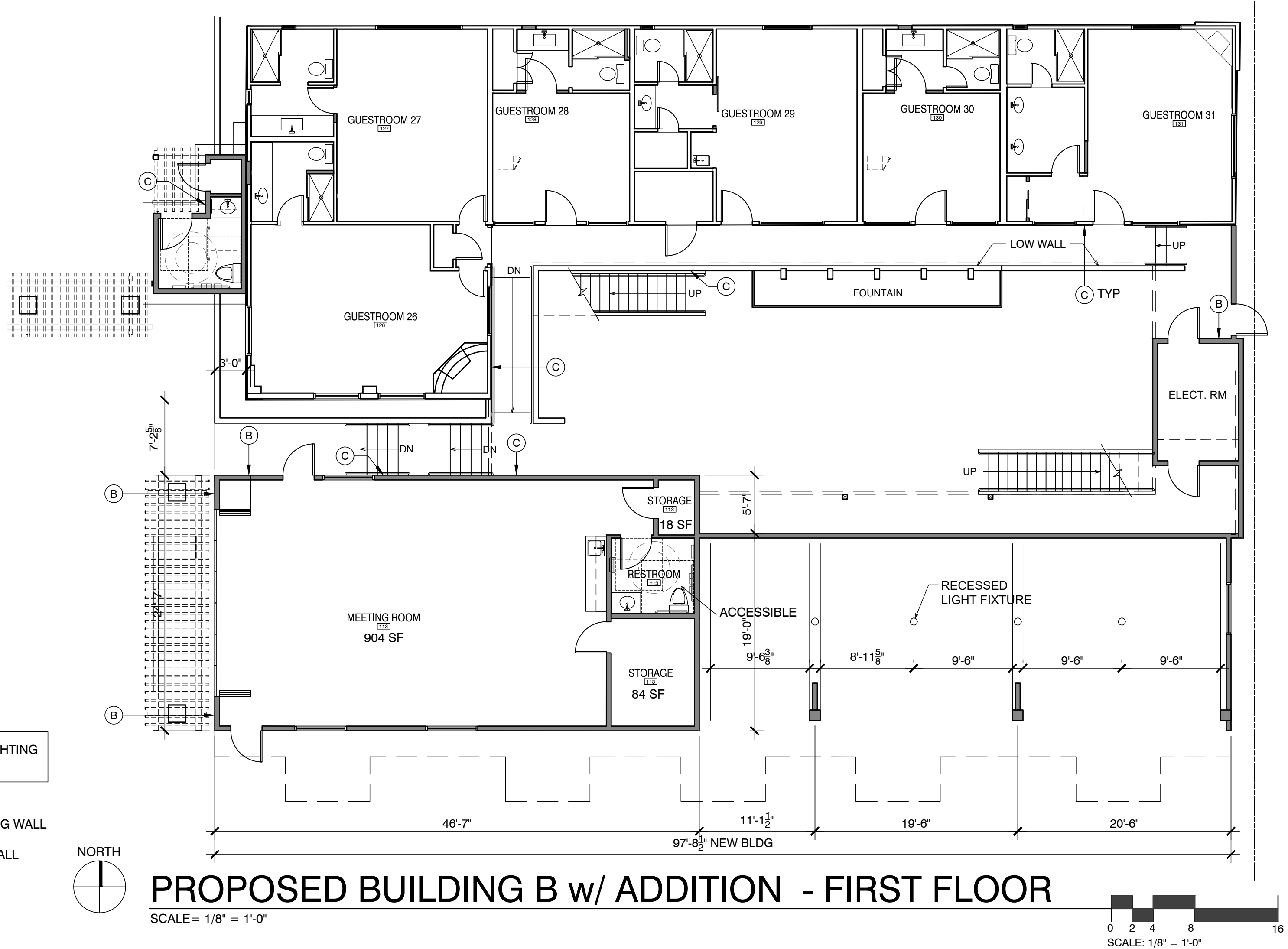
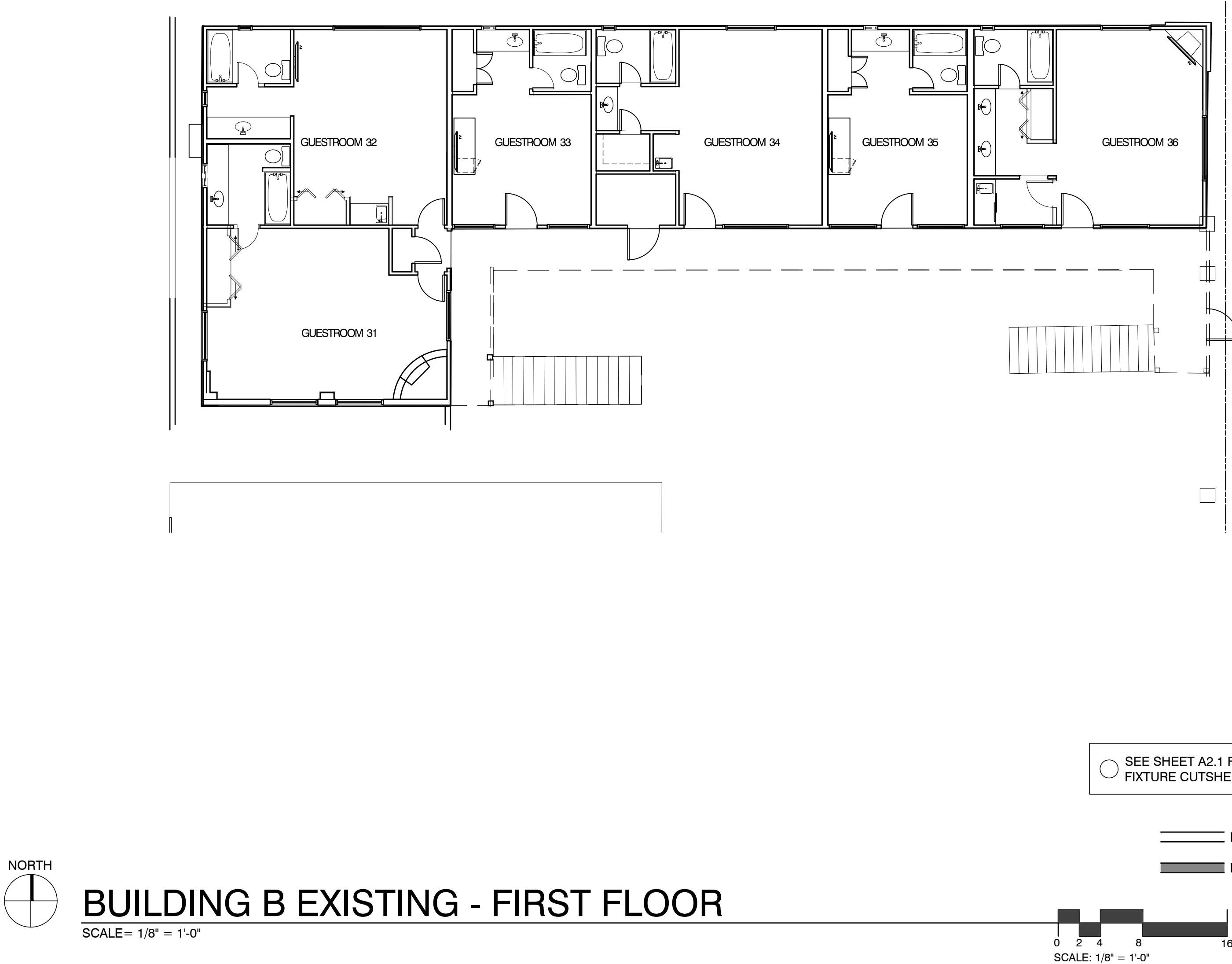
A2.2

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Sheet Title:
**FLOOR PLANS
BUILDING B
& ADDITION**

Sheet Number:

A2.3

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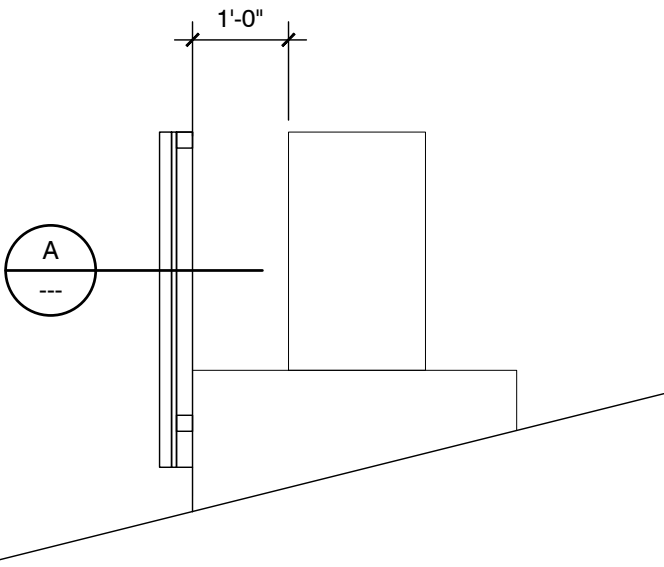
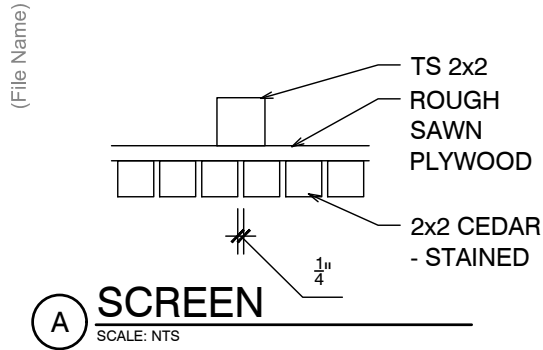
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ROOF PLAN

Sheet Number:

A2.4

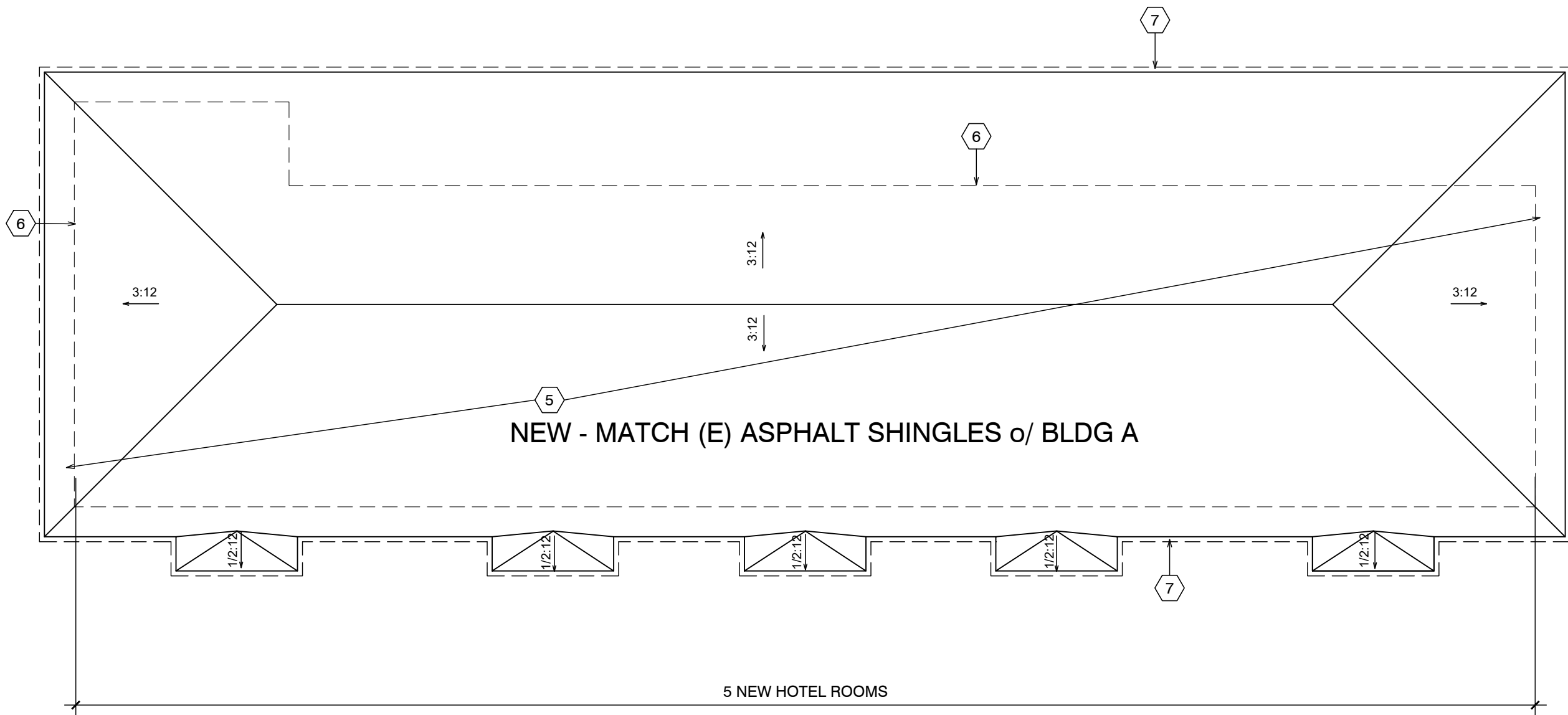
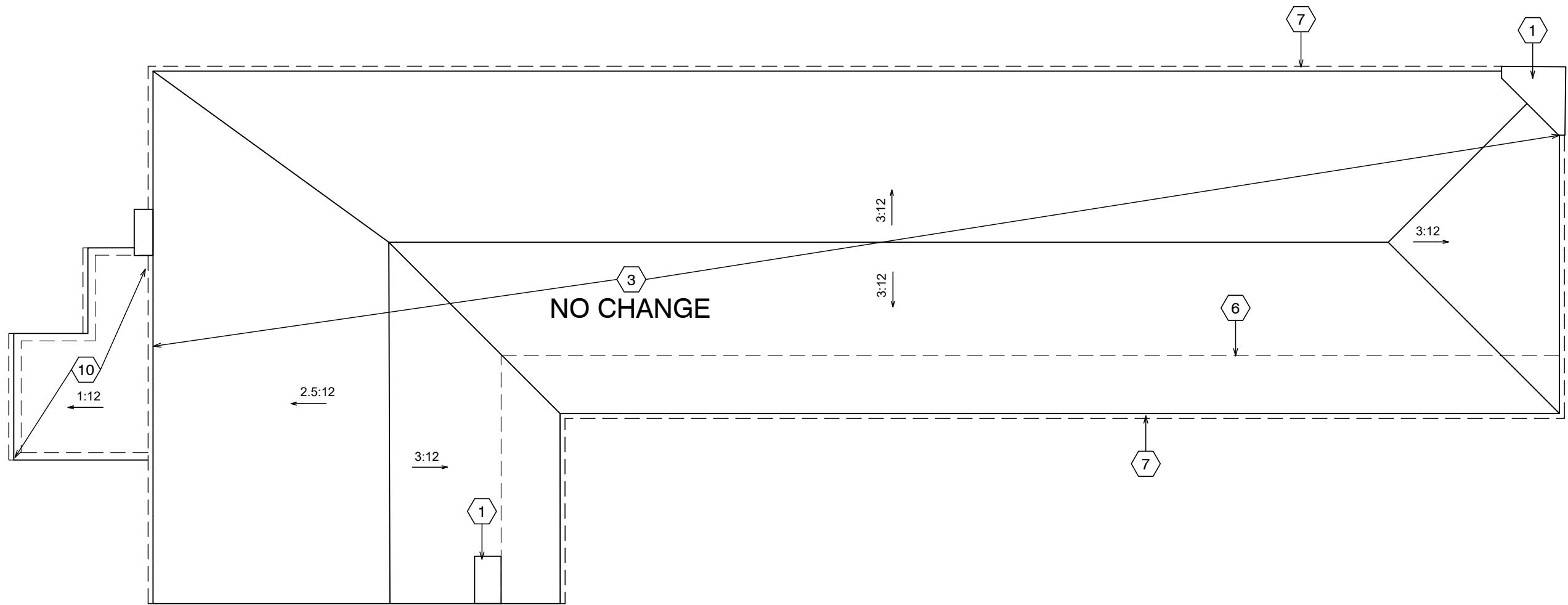
SHEET NOTES

- EXISTING CHIMNEY
- EXISTING FIRST FLOOR ROOF
- EXISTING SECOND FLOOR ROOF
- NEW ROOF OVER NEW ONE STORY TRASH ROOMS
- NEW ROOF OVER NEW TWO STORY BUILDING
- WALL BELOW
- GUTTER
- NEW MECHANICAL PLATFORM
- NEW HEAT PUMP- SEE MECHANICAL
- NEW ROOF OVER NEW TOILET



5 ROOF EQUIPMENT SCREEN

SCALE: 1/2" = 1'-0"

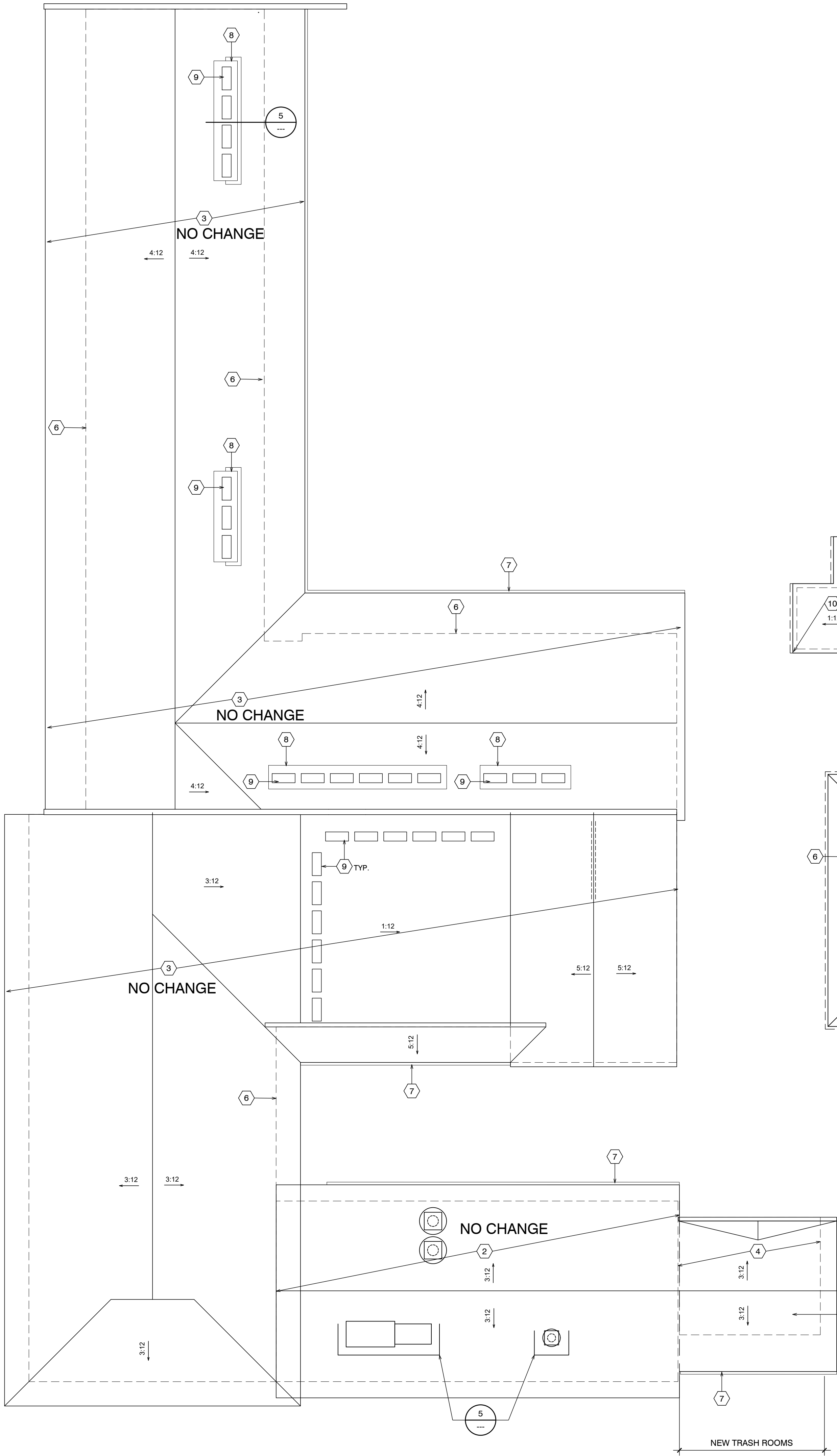
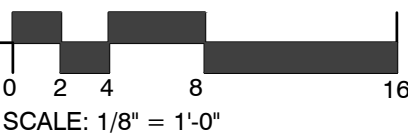


NEW - MATCH (E) ASPHALT
SHINGLES o/ BLDG A



ROOF PLAN

SCALE: 1/8" = 1'-0"

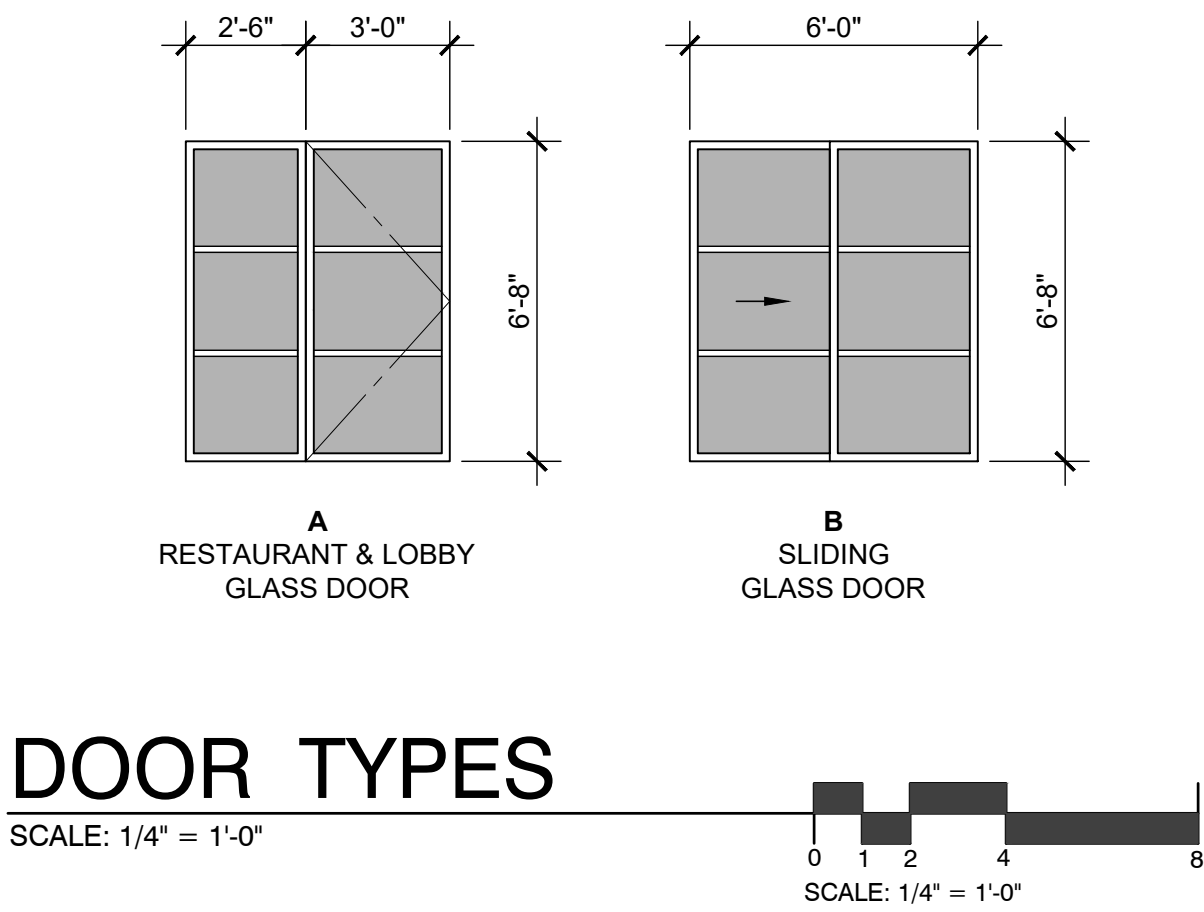


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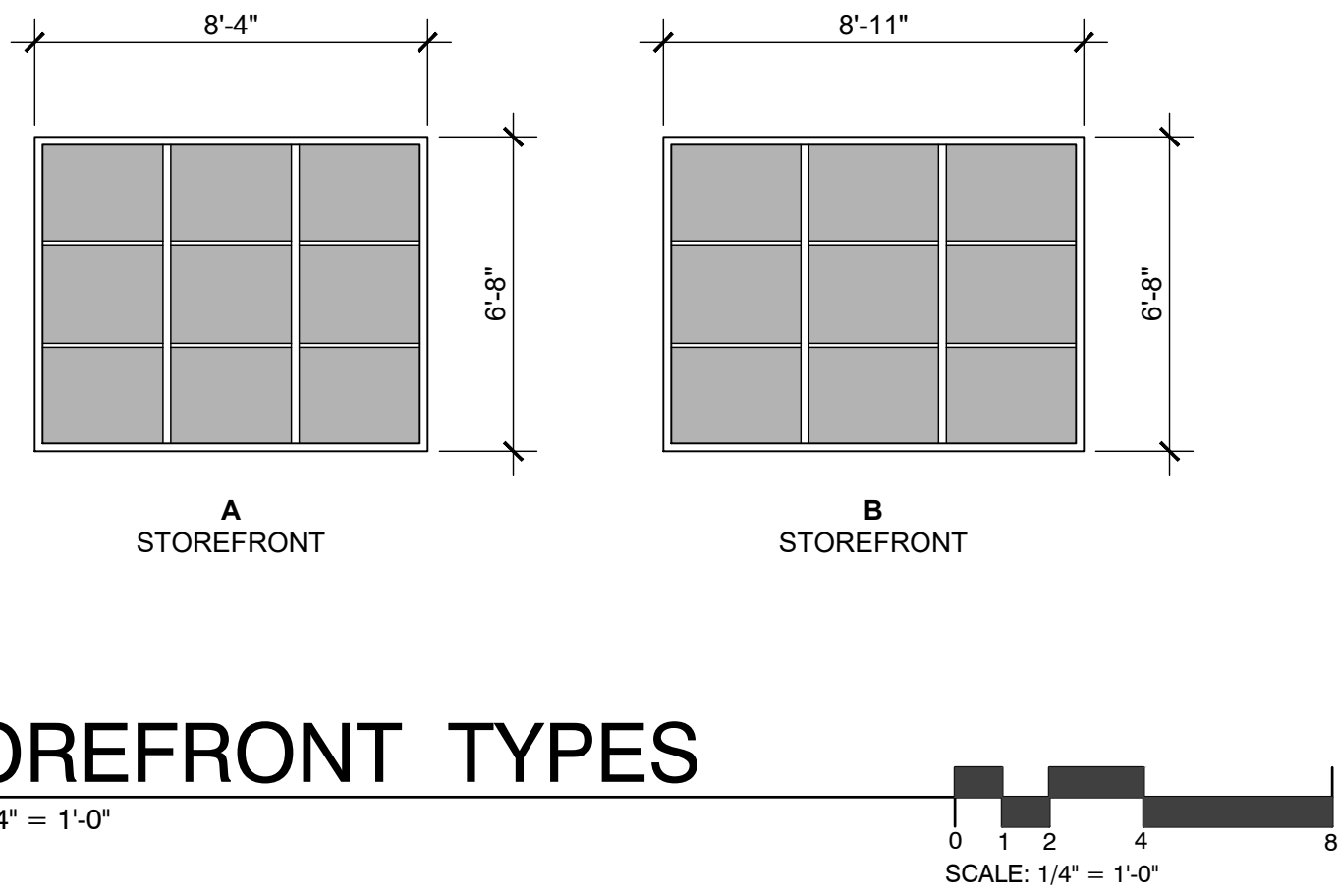
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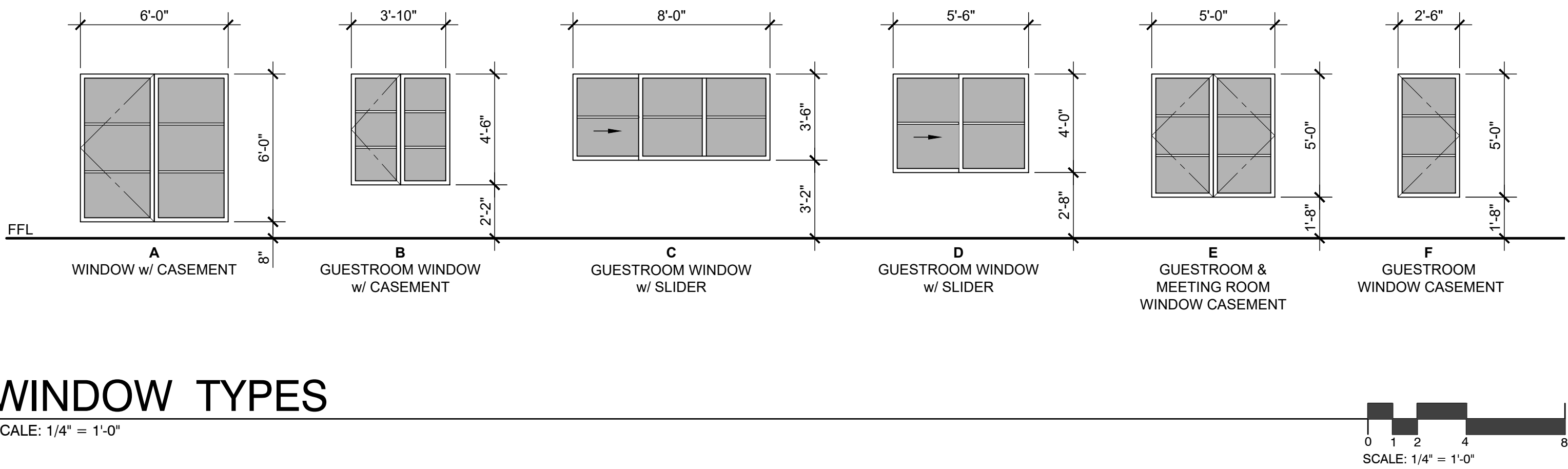
The Paul Davis Partnership, LLP
286 Eldorado Street
Monterey, CA 93940
(831) 373-2784 FAX (831) 373-7459
EMAIL: info@pauldavispartnership.com



WINDOW / DOOR IMAGE SAMPLE



WINDOW / DOOR IMAGE SAMPLE



WINDOW TYPES

SCALE: 1/4" = 1'-0"

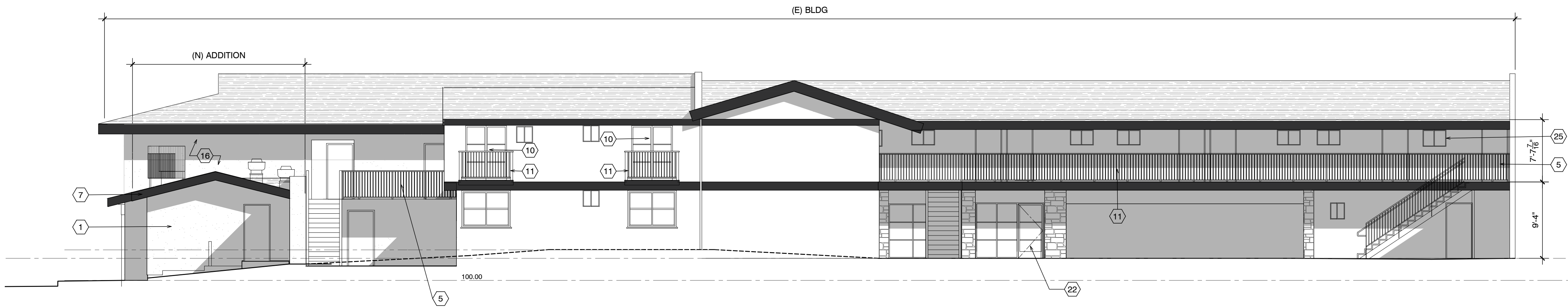
Drawn By: AP
Drawing Date: 1/06/2021
Project Number: 2012

Revisions:
03/19/21-PLANNING SUBMITTAL
03/26/21-PLANNING SUBMITTAL

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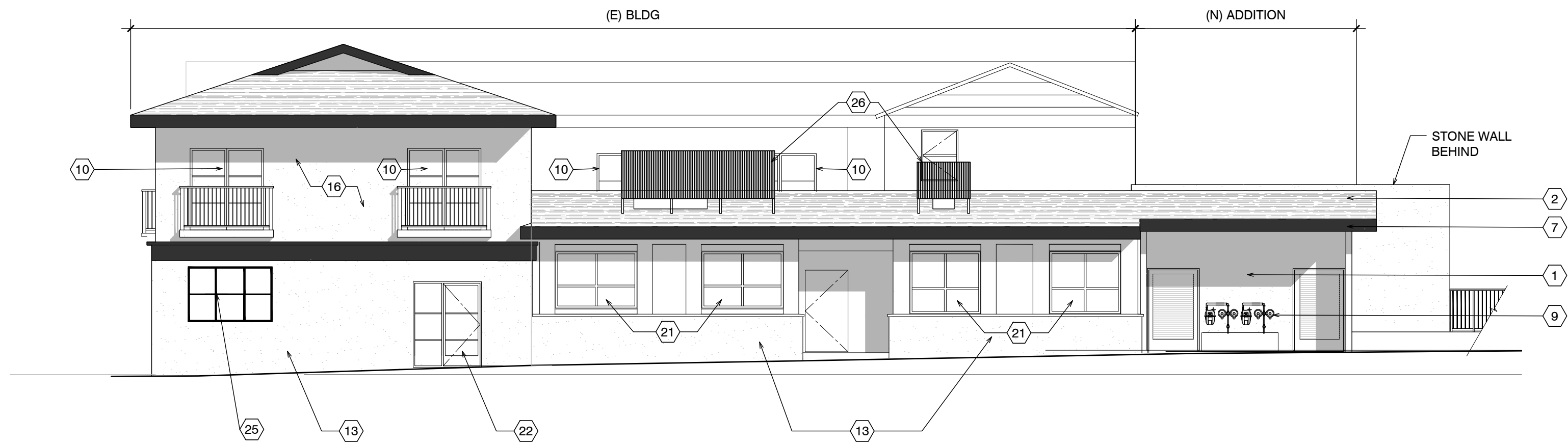
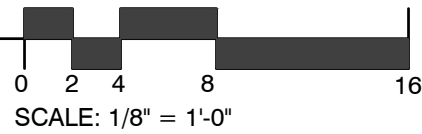
Sheet Title:
DOOR & WINDOW
TYPES

Sheet Number:



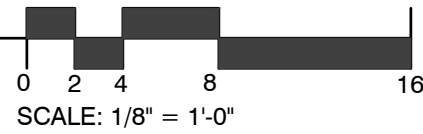
BUILDING A- EAST ELEVATION

SCALE= 1/8" = 1'-0"



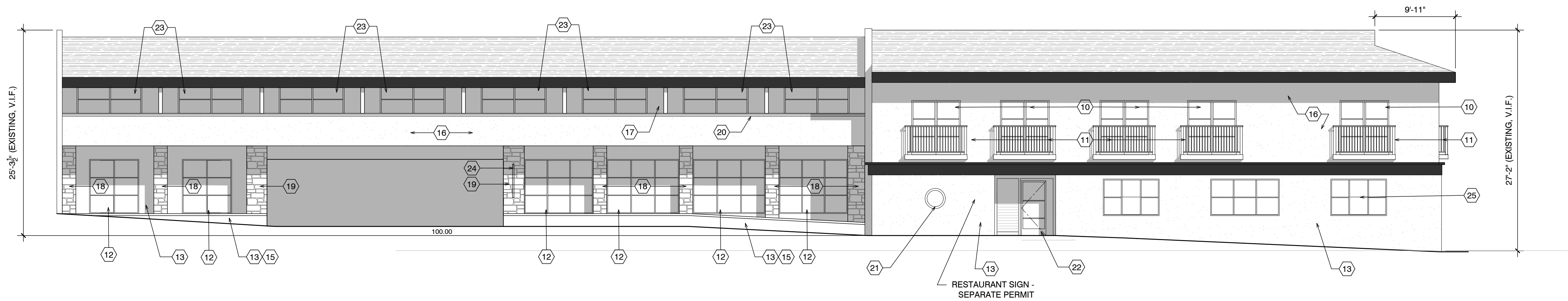
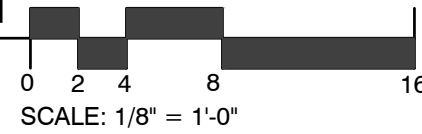
BUILDING A- 5TH AVE SOUTH ELEVATION

SCALE= 1/8" = 1'-0"



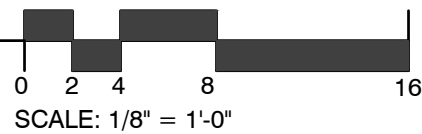
BUILDING A- NORTH ELEVATION

SCALE= 1/8" = 1'-0"



BUILDING A- SAN CARLOS STREET WEST ELEVATION

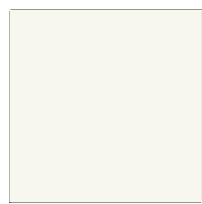
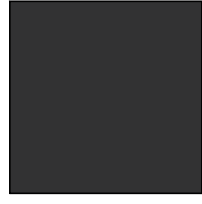
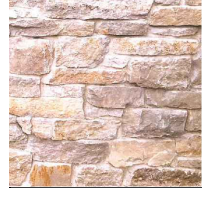
SCALE= 1/8" = 1'-0"



SHEET NOTES

1. EXTERIOR CEMENT PLASTER- SMOOTH FINISH
2. COMPOSITION SHINGLE ROOF (MATCH EXISTING)
3. NOT USED
4. WINDOW TO PARKING
5. GUARDRAIL
6. WOOD POST
7. WOOD FASCIA
8. METAL GATE TO COURTYARD
9. EXISTING GAS METERS
10. NEW SLIDING DOORS
11. NEW METAL BALCONY & RAILING (18"DP). PAINTED BLACK
12. NEW STOREFRONT WINDOWS
13. NEW PLASTER OVER EXISTING BRICK VENEER
14. REMOVE (E) WINDOW
15. NEW STONE CAP ON PLASTER WALL
16. NEW PLASTER OVER EXISTING WOOD SIDING
17. NEW WOOD SCREEN WALLS TO REPLACE EXISTING
18. NEW STONE CLAD COLUMN
19. NEW STONE TO REPLACE (E) BRICK VENEER
20. PAINT - BLACK, REPLACE IF NECESSARY
21. EXISTING KITCHEN WINDOWS - PAINT BLACK
22. NEW ACCESSIBLE ENTRY
23. REPLACE (E) SLIDING GLASS DOORS
24. EXISTING HOTEL SIGN
25. REPLACE (E) WINDOWS, TYP.
26. MECHANICAL SCREEN - SEE 5/A2.4

MATERIALS & COLORS

-  PAINT COLOR:
SIMPLY WHITE OC-117
BODY BUILDING
-  SMOOTH STUCCO
-  PAINT COLOR:
BLACK HC-190
BUILDING FASCIA, TRIM, METAL RAILING
-  STONE PATTERN & COLOR
-  TRELLIS AND WOOD SCREEN WALLS -
STAINED CEDAR

Carmel Lodge Remodel

SAN CARLOS STREET
& 6TH AVE
CARMEL, CA 93923

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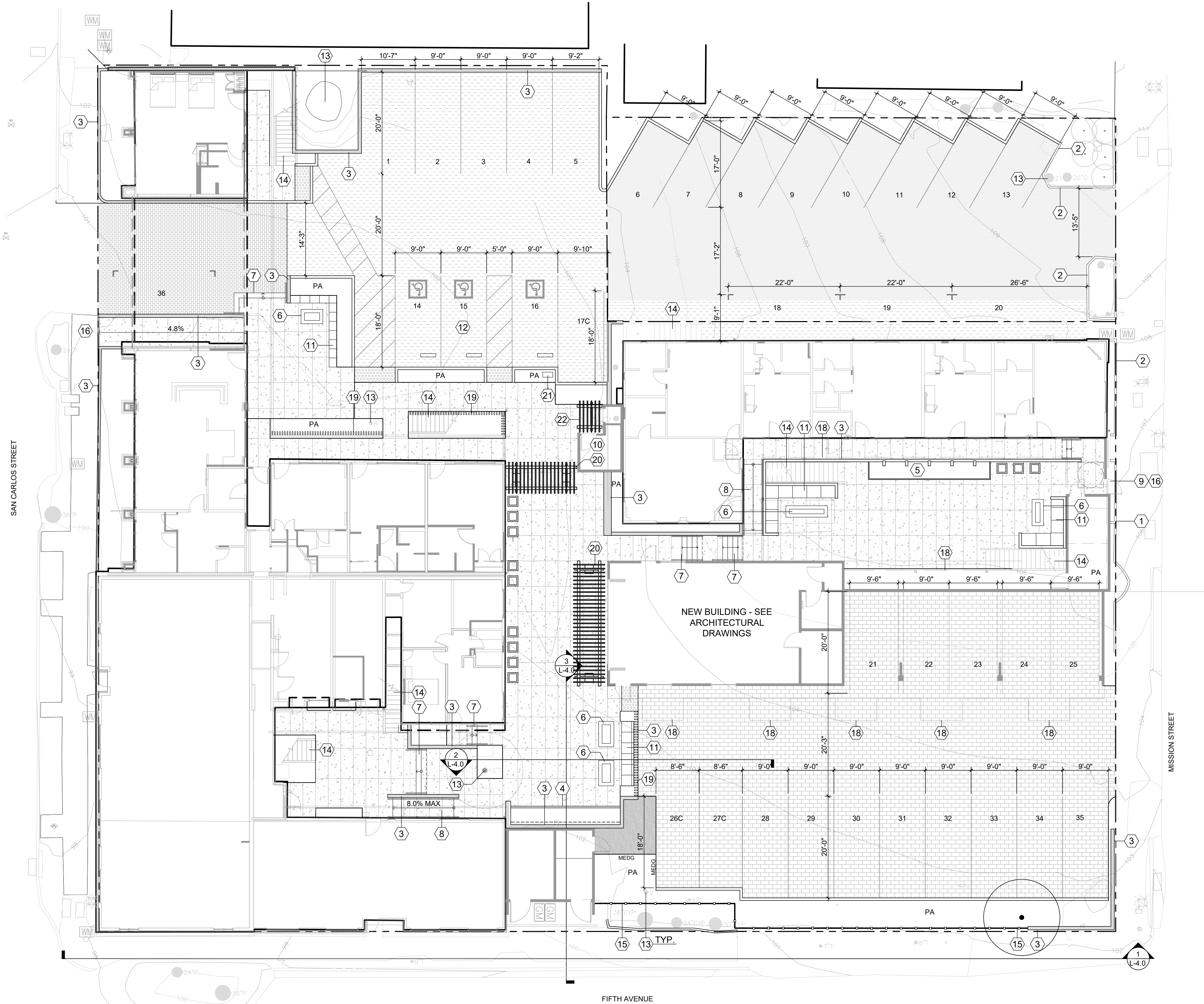
Revisions:
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Sheet Title:
**ELEVATIONS
BUILDING A**

Sheet Number:

M:\PRODUCTION\Projects\2020\009\CAD\20009_01 Construction.dwg 3/26/2021



LEGEND

- Property Line
- Concrete Paving with Integral Color, Sand Finish. See 4/L-1.1
- Asphalt Paving
- Seal Coat Existing Asphalt: Repair and patch as needed.
- Paver Type I: See 5/L-1.1
- Paver Type II: See 6/L-1.1
- Crushed Gravel: See 8/L-1.1
- Detectable Warning Surface
- Concrete Curb
- Wall with Stone Cap: See Note 3 Below
- PA Planting Area: See Planting Plan.

REFERENCE NOTES

- Existing Brick Curb to be Removed
- Existing Brick Curb to Remain: Paint curb to match building color
- Stucco Wall with Stone Cap
- Recirculating Water Feature 1: See 2/L-4.0
- Recirculating Water Feature 2: See 3/L-1.1
- Gas Firepit: See 1/L-1.1
- Steps: Concrete stairs with ornamental handrail on both sides.
- Ramp: With ornamental handrail on both sides.
- Metal Gate: See 2/L-1.1
- Restroom: See Architectural Drawings.
- Built-in Seat
- ADA Parking Space
- Existing Trees: Preserve and protect
- Stairs: See Architectural Drawings
- Grape Stake Fence: 48" high. See 9/L-1.1 and 1/L-4.0
- Accessible Access to Public Right-of-Way
- Intentionally Left Blank
- Balcony Above: See Architectural Drawings
- Slated Wood Screen: Stained Cedar, see 3/L-4.0
- New Trellis With Stone Columns & Stained Cedar Timbers
- Electric Vehicle Charging Station: For Spaces 16 & 17
- Trellis: See Architectural Drawings

Carmel Lodge Remodel

SAN CARLOS STREET
& 5TH AVE
CARMEL, CA 93923

BFS
LANDSCAPE
ARCHITECTS
425 PACIFIC STREET #201
MONTEREY, CALIFORNIA 93940
831.646.1383 • BFSLA.COM

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ARCHITECTS & PLANNERS

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**NOT FOR
CONSTRUCTION**

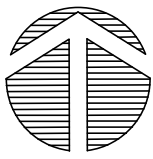
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Drawing Date: 03/24/2021
Project Number: 20.009

Revisions:
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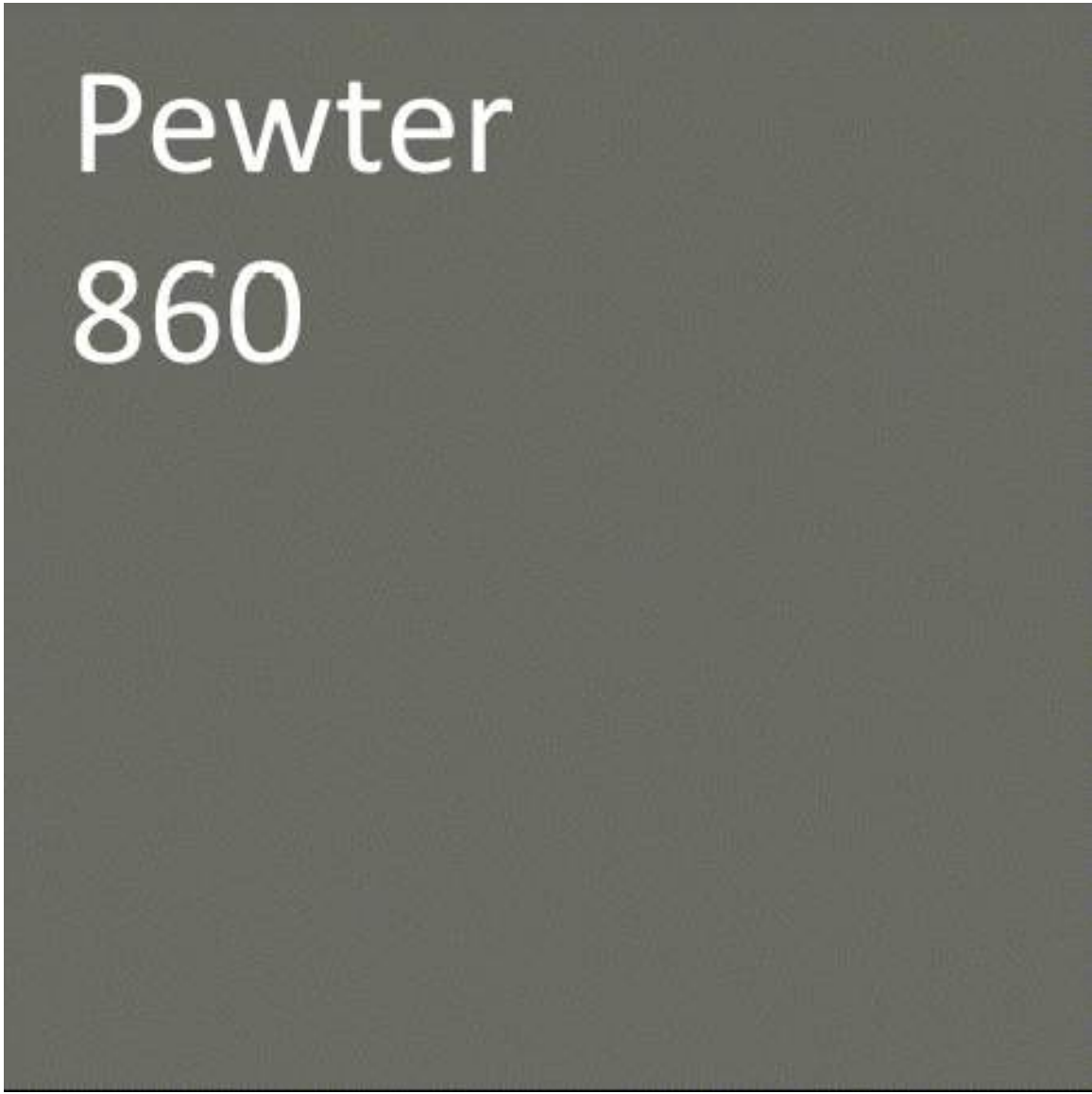
Sheet Title:
**CONSTRUCTION
PLAN**

Sheet Number:
L-1.0





1 FIREPIT
CUSTOM FIREPIT



4 CONCRETE PAVING WITH INTEGRAL COLOR
DAVIS COLORS - PEWTER 860



7 STONE VENEER
BUECHEL STONE - FOND-DU-LAC VENEER



2 METAL GATE



5 PAVER TYPE 1
CALSTONES - QUARRY STONE, 6 X 9 'CHARCOAL'



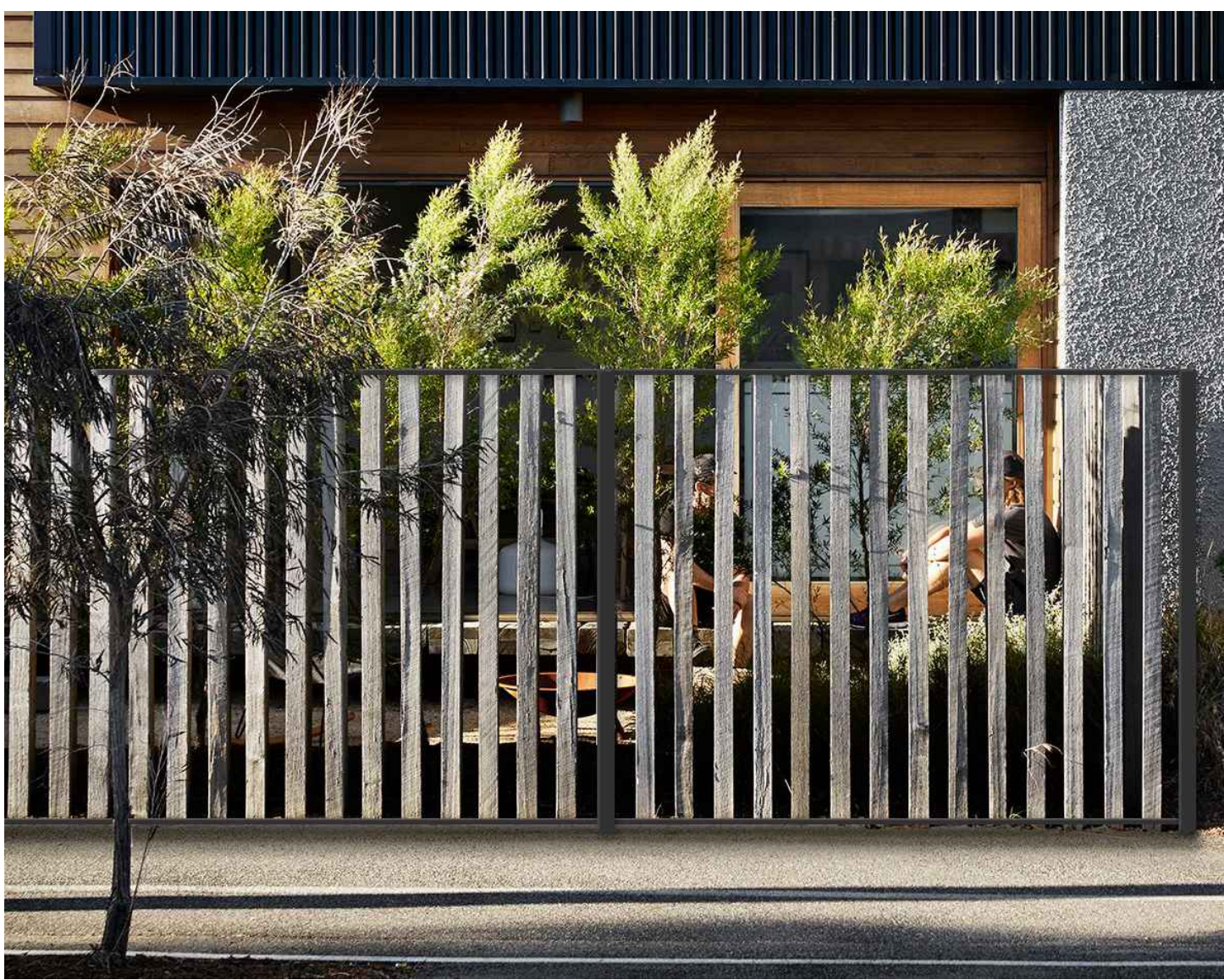
8 CRUSHED GRAVEL
GRANITEROCK - 3/8" SONOMA GOLD



3 RECIRCULATING WATER FEATURE 2



6 PAVER TYPE 2
CALSTONE - PERMEABLE QUARRY STONE 6 X 9 'CHARCOAL'



9 GRAPESTAKE FENCE

Carmel Lodge Remodel

SAN CARLOS STREET
& 5TH AVE
CARMEL, CA 93923

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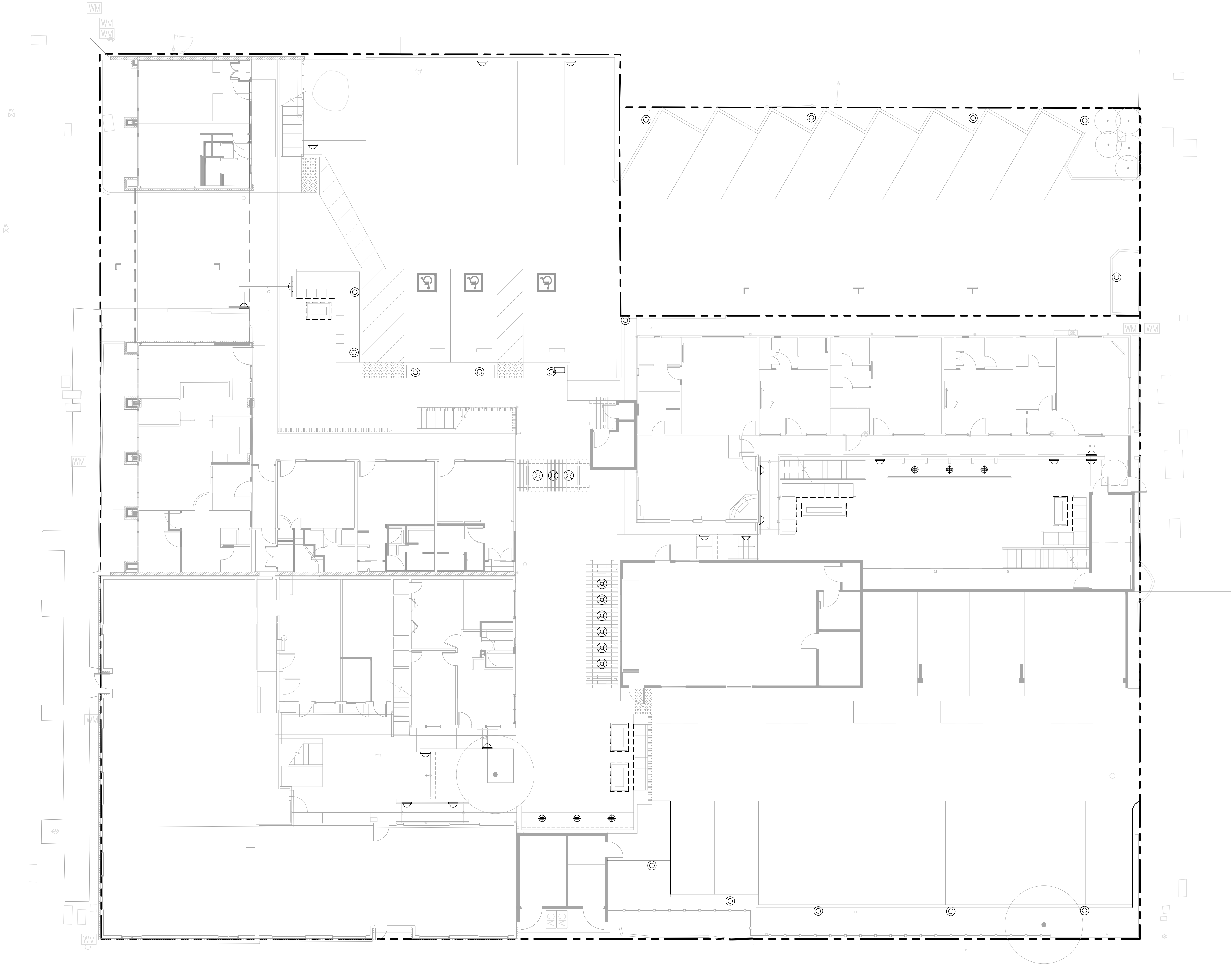
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Sheet Title:
**MATERIALS
SAMPLES**

Sheet Number:
L-1.1

M:\PRODUCTION\Projects\2020\20.009\CAD\20009_02 Lighting.dwg 3/25/2021



FIXTURE LEGEND	
TYPE	COMMENTS
 Path Light	Light intensity shall not exceed 8 candlefoot power as measured in a vertical or horizontal plane three feet above the ground or public walking surface. See Cut Sheet (1/L-2.1)
 Recessed Wall Light	Light intensity shall not exceed 8 candlefoot power as measured in a vertical or horizontal plane three feet above the ground or public walking surface. See Cut Sheet (2/L-2.1)
 Fountain Light	Light intensity shall not exceed 8 candlefoot power as measured in a vertical or horizontal plane three feet above the ground or public walking surface. See Cut Sheet (3/L-2.1)
 Strip Light	Light intensity shall not exceed 8 candlefoot power as measured in a vertical or horizontal plane three feet above the ground or public walking surface. See Cut Sheet (4/L-2.1)
 Down Light	Light intensity shall not exceed 8 candlefoot power as measured in a vertical or horizontal plane three feet above the ground or public walking surface. See Cut Sheet (5/L-2.1)

Carmel Lodge Remodel

SAN CARLOS STREET
& 5TH AVE
CARMEL, CA 93923



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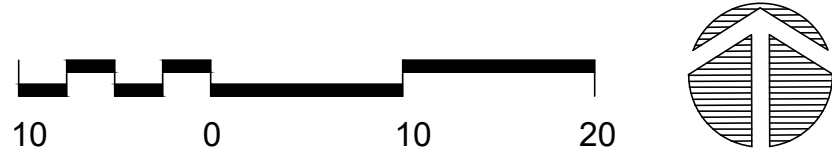
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Sheet Title:
LIGHTING PLAN

Sheet Number:
L-2.0



LED recessed wall luminaires - asymmetrical

Application
LED recessed wall luminaire with asymmetrical light distribution for the illumination of ground surfaces, building entrances, stairs and footpaths.

Materials
Luminaire housing constructed of die-cast aluminum marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy
Clear safety glass
Silicone applied robotically to casting, plasma treated for increased adhesion
High temperature silicone gasket
Mechanically captive stainless steel fasteners
Stainless steel screw clamps
Composite installation housing

NRTL listed to North American Standards, suitable for wet locations
Protection class IP65
Weight: 1.5 lbs

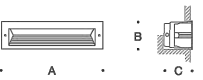
Electrical
Operating voltage 120-277VAC
Minimum start temperature -40°C
LED module wattage 4.1 W
System wattage 6.0 W
Controllability 0-10V dimmable
Color rendering index Ra> 80
Luminaire lumens 231 lumens (3000K)
LED service life (L70) 50,000 hours

LED color temperature
□ 4000K - Product number + **K4**
□ 5000K - Product number + **K5**
□ 3000K - Product number + **K3**
□ 2700K - Product number + **K27**
□ Amber - Product number + **AMB**

Wildlife friendly amber LED - Optional
Luminaire is optionally available with a narrow bandwidth, amber LED source (595-600nm) approved by the PWC. This light output is suggested for use within close proximity to sea turtle nesting and hatching habitats. Electrical and control information may vary from standard luminaire.
LED module wattage 3.6 W (Amber)
System wattage 4.6 W (Amber)
Luminaire lumens 56 lumens (Amber)

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.
Available colors □ Black (BLK) □ White (WHT) □ RAL:
□ Bronze (BRZ) □ Silver (SLV) □ CUS:



LED recessed wall luminaires - asymmetrical				
	LED	A	B	C
33063	4.1 W	6 5/8"	2 1/2"	5"

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 884-9533 info@bega-us.com
Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com
Updated: 09/22/19

1 Wall Light - Bega
4.1w 231 Lumens

ATLANTIS BOLLARD 120V
ATLANTIS SQUARE LARGE 120V BOLLARD
55602BZ
Hinkley's sleek, contemporary bollards are thoughtfully designed path lights that complement Hinkley's prestigious line of popular outdoor lanterns.

FINISH: Bronze
GLASS: Etched Lens
WIDTH: 3"
HEIGHT: 30"
DEPTH: 3"
LIGHT SOURCE: Integrated LED
WATTAGE: 8w LED *Included

HINKLEY
33000 Pin Oak Parkway
Avon Lake, OH 44012

PHONE: (440) 653-5500
Toll Free: 1 (800) 446-5539

hinkley.com

2 Path Light - Hinkley

8w 546 Lumens

BEGA

UNDERWATER LIGHTS
SL-33 SERIES

TYPE

SPECIFICATIONS

CONSTRUCTION: Cast brass body and cap; 316 Stainless Steel screws; Brass nickel-plated liquid tight straight bushing.
-A8 models feature cast brass aiming bracket with large black thumb screws
LENS: High impact clear tempered flat glass
LAMP SUPPLIED: 20w MR16 ULTRA FLU(B)AB, 10, 000 hours average rating (50w max)
LAMP OPTIONS: We recommend 50,000 hour ARROW 4w LED (L-ED) or 40,000 hour 5w (L-EDS) or 7w (L-ED7) ARROW Super Saver LED
SOCKET: High temperature ceramic GU5.3 bi-pin with 250°C silicone lead wires
WIRING: 15 feet 18/2 STOW cord (available up to 30 feet)
MOUNTING: Surface mount aiming bracket on -A8 models only
FINISH: Unfinished brass
Optional finishes: Black Acid Treatment (-BAT) & Brass Acid Rust (-BAR)

ORDERING INFORMATION

CATALOG NO.	DESCRIPTION	LAMP SUPPLIED	SHIP WEIGHT
SL-33-UL	Cast Brass Underwater Light	20w Ultra FLU(B)AB	3.0 lbs.
SL-33-AB-UL	Cast Brass Underwater Light, Aim Bracket	20w Ultra FLU(B)AB	5.0 lbs.
SL-33-AC-UL	Cast Brass Underwater Light, Angle Cap	20w Ultra FLU(B)AB	4.0 lbs.
SL-33-ABAC-UL	Cast Brass Underwater Light, Aim Bracket, Angle Cap	20w Ultra FLU(B)AB	5.0 lbs.

-SM Add to catalog number for side mount cord entry

SL-33 **SL-33-AC** **SL-33-AB** **SL-33-ABAC**

LIGHT DISTRIBUTIONS AND PHOTOMETRICS

FL-ULTRA-BAB **FL-LED-MR16-BAB** **FL-LED-MR16-ESX**

ACCESSORIES

Blue Tempered Glass Insert Lens
Green Tempered Glass Insert Lens
Red Tempered Glass Insert Lens
Amber Tempered Glass Insert Lens
White Flashed Opal Tempered Glass Top Lens
Brass Adjustable Aiming Bracket
Cast Brass Angle Collar

ADDITIONAL S/TOW CORD Sold in 5 foot lengths, not to exceed total of 50 feet.
Add total number of feet to catalog number.

SL-33 Cut Sheet 062717

UL 676 **IP68** **CE** **Intertek**

JOB INFORMATION

Type: _____ Date: _____
Job Name: _____
Cat. No.: _____
Spec. No.: _____
Lamp(s): _____
Contractor: _____
Notes: _____

FOCUS INDUSTRIES INC. www.focusindustries.com
23001 COMMERCIAL DRIVE sales@focusindustries.com
LAKE FOREST, CA 92633 (949) 835-3350 FAX (949) 835-3350

3 Fountain Light - Focus Industries
7w XXX Lumens

3924-WR
Standard Output

FC **95+ CRI** **0.1% THUMB** **2 YEAR WARRANTY** **R9 80+**

ZERO DIM™

90+ CRI
1.4W /ft.
≤ 116 Lm/ft.
RANGE BY CCT (X-Y)

MIN. Increment: 4 in.
MAX. Increment: 32 ft.

Class 2 Circuit Limitation=56"

	3924-22-WR	3924-24-WR	3924-26-WR	3924-27-WR	3924-30-WR	3924-35-WR	3924-40-WR
TOTAL LUMENS	80.84	100.17	93.77	99.38	107.50	111.24	118
INPUT POWER (W)	1.40	1.44	1.37	1.33	1.35	1.32	1.43
EFFICACY	57.71	70	69	75	80	84	82
COLOR RENDERING INDEX (CRI)	94	91	96	92	92	91	
R9	71.10	53.18	83.25	66.10	69.20	67.88	
INPUT VOLTAGE (VDC)	24	24	24	24	24	24	24
INPUT CURRENT (AMP)	0.06	0.06	0.06	0.06	0.06	0.05	0.06
CORRELATED COLOR TEMPERATURE	2150	2350	2550	2650	2950	3450	3950

UL **ULUS** **FC** **CE** **CE** **RoHS** **SAFETY**

Component of a complete system including: Aion LED A-Track Light Engine, Aion LED A-Track housing with diffuser lens, & Aion LED driver (power supply).
Driver not included. Approved drivers, controls, power supplies, cable, & other components only. Contact Aion LED for questions regarding compatibility.
Electronics installed. Strictly adhere to NEC & local building code. Limited 5-year warranty against manufacturing defects only; does not cover labor related by inadequate ventilation, field modifications, installation by unqualified personnel, unapproved voltage, drivers, cabling, other devices, nor following installation guidelines & product, general regulations. Installer assumes all liability with regard to property & safety. This product is UL listed. See separate "Non LED Warranty" form & additional instructional materials for more information. Authorized installers only. Systems tested prior to shipping.

AION LED™
AIONLED.COM | (415) 265-AION
MODIFIED June 12, 2017 © 2017 Aion LED. All Rights Reserved

4 Strip Light - Aion

1.4w 81 Lumens

IP67 WET RATED SURFACE | **WR TYPE**

WR Type
IP67 Wet Rated Flexible Linear



Custom Lengths
Preassembled up to ≤ 32 ft. (384 in)*
Regulated by class 2 circuit limitations
Refer to driver data sheet for max lengths

IP67
Wet Location

Made in the USA
Fabricated with high quality material

*Upto Class 2 Max

Includes
#WR-MK Mounting Clips & Screws

Compatible With
#WR-MT Mounting Tape (Indoor, Sealed Surfaces)
-Or-
Clear Silicone (Outdoor, Porous Surfaces)

Component of a complete system including: Aion LED A-Track Light Engine, Aion LED A-Track housing with diffuser lens, & Aion LED driver (power supply).
Driver not included. Approved drivers, controls, power supplies, cable, & other components only. Contact Aion LED for questions regarding compatibility.
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Aion LED. All Rights Reserved

90+ CRI White
Single Bin

FC **95+ CRI** **0.1% THUMB** **2 YEAR WARRANTY** **R9 80+**

ZERO DIM™

UL Class 2

IP67 Wet Location

Custom Cut to Fit,
Field Trimmable

50,000 Hour Minimum
Lifespan

Colors

R Red

A Amber

B Blue

G Green

Requires:
Aion LED Driver & Approved Controller
-Sold Separately, Not Included

UL **ULUS** **FC** **CE** **CE** **RoHS** **SAFETY**

Component of a complete system including: Aion LED A-Track Light Engine, Aion LED A-Track housing with diffuser lens, & Aion LED driver (power supply).
Driver not included. Approved drivers, controls, power supplies, cable, & other components only. Contact Aion LED for questions regarding compatibility.
Electronics installed. Strictly adhere to NEC & local building code. Limited 5-year warranty against manufacturing defects only; does not cover labor related by inadequate ventilation, field modifications, installation by unqualified personnel, unapproved voltage, drivers, cabling, other devices, nor following installation guidelines & product, general regulations. Installer assumes all liability with regard to property & safety. This product is UL listed. See separate "Non LED Warranty" form & additional instructional materials for more information. Authorized installers only. Systems tested prior to shipping.

Aion LED. All Rights Reserved

LED Down Lights

Perforated Sleeve

Copper Sleeve

VE DESIGNER PREMIUM

Hanging down light for overhead illumination in 1 or 3 LED. Available in aluminum construction.

Quick Facts

- Die-cast aluminum with optional copper sleeve
- Two-layer marine-grade anodization and powder coat finish
- Cree® integrated LEDs
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V

LANDSCAPE LIGHTING

VE Down Light SPECIFICATIONS

Output	1LED	3LED	ZDC
Total Lumens *1	90	209	130
Input Voltage	10 to 15V	10 to 15V	10 to 15V
Input Power (W)	2.0	4.2	6.0
VA	2.4	4.5	7.2
Efficacy (Lumens/Watt)	46	50	39
Color Rendering Index (CRI)	80+	80+	80+
Maximum Candela	152	414	198
Dimming	PWM, Phase**	PWM, Phase**	PWM, Phase**
RGBW Available	No	No	Yes
Luxor Compatibility			
Default	Zoning	Zoning	--
ZD Option	Zoning/Dimming	Zoning/Dimming	--
ZDC Option	--	--	Zoning/Dimming/Color
Minimum Rated Life (L90 B10)	55,000 Hrs	55,000 Hrs	55,000 Hrs

** For optimal performance, use a trailing-edge, phase-cut dimmer.
* Measured using the 3,900K CCT lens. Multipliers for other CCTs include 0.80 (2,700K), 0.65 (4,500K), and 0.65 (5,200K).

FX Luminaire
FX Luminaire is an industry-leading manufacturer of landscape and architectural lighting products with a focus on the advancement of LED technology and digital lighting control with zoning, dimming, and color adjustment capabilities. We offer a full spectrum of specification-driven lighting fixtures that can be utilized to create elegant, cutting-edge landscape lighting systems for commercial or residential applications. Our products are available exclusively via our extensive professional distributor network.

Lamp
Integrated module with Cree LEDs. Gold-plated connectors and conformal coated for maximum reliability and corrosion resistance. Proprietary on-board intelligent driver uses firmware-controlled temperature regulation, maximizing LED life. Field upgradeable and replaceable, the LEDs are rated to 50,000 hrs. Maximum drive current: 1 A.

Wiring
18 AWG (1 mm); SPT-1W; 220°F (105°C); 300V; 26 (8 m) length.

Power
Input 10-15 VAC/VDC, 50/60 Hz; transformer required (specify separately).

Housing
Die-cast A380 aluminum housing with capacity for 1LED, 3LED, or ZDC integrated LEDs.

Optics
Polycarbonate color temperature adjustment lenses included with fixture: 2,700K (preinstalled), 3,900K (no lens), 4,500K, and 5,200K. Interchangeable optics for 10°, 20°, 30°-32°, or 55-58° distributions ordered pre-assembled to fixture. Color temperature and beam angle lenses field serviceable. For additional color filters, spread lenses, hex baffles, etc., use MR-16 sized accessories (MR-16: 1.95" (50 mm) dia. x 1.1 mm thickness). Beam angle is calculated using LM-79 method for SSL luminaires.

Shroud
Die-cast A380 aluminum shroud with C10 copper cover option. Optional 10" (255 mm) perforated sleeve available.

Lens
Tempered glass lens with shock resistance and high tolerance for thermal expansion and stress. Lens is frosted.

Finish
Two-layer protection of sulfuric acid anodization and polyester TGIC powder coat, providing superior outdoor weathering in all conditions. Tested to ASTM standards.

Hardware
Includes stainless steel cable with cable lock. Tamper-resistant set screw included.

Ambient Operating Temperature
0°F to 140°F (-18°C to 60°C)

Weight
1.3 lbs. (0.6 kg)

Control
ZD or ZDC utilizes Luxor technology to zone light fixtures in up to 250 groups, dim each group in 1% increments between 0 and 100%, or change to one of 30,000 colors with RGBW LEDs. Select the ZD option for zoning/dimming or ZDC for zoning/dimming/color. Standard fixture is zoneable with Luxor.

Sustainability
Innovation meets conservation in the design and manufacturing of our products. Where we can, we use recycled materials while maintaining superior functionality. Our LED products provide high-quality light at optimal energy efficiency, lifespan, and durability.

Installation Requirements
Designed for installation in the downward direction only.

International Compliance
Compliant per IEC 60598-1 and IEC 60598-2-7 by selecting the "x" version.

Manufacturing
ISO 9001:2015 certified facility

Warranty
10-year limited warranty

Listings

Learn more. Visit fxl.com | 1-760.744.5240

5 Down Light - FX Luminaire

1w 90 Lumens

Carmel Lodge Remodel

SAN CARLOS STREET
& 5TH AVE
CARMEL, CA 93943

BFS LANDSCAPE ARCHITECTS
425 PACIFIC STREET #201
MONTEREY, CALIFORNIA 93940
831.646.1383 • BFSLA.COM

THE PAUL DAVIS PARTNERSHIP
ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP
286 Eldorado Street
Monterey, CA 93940
(831) 373-2784 FAX (831) 373-7459
EMAIL: info@pauldavispartnership.com

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Drawn By: **DZ/KB**
Drawing Date: **03/24/2021**
Project Number: **20.009**

Revisions:
03/19/21-PLANNING SUBMITTAL

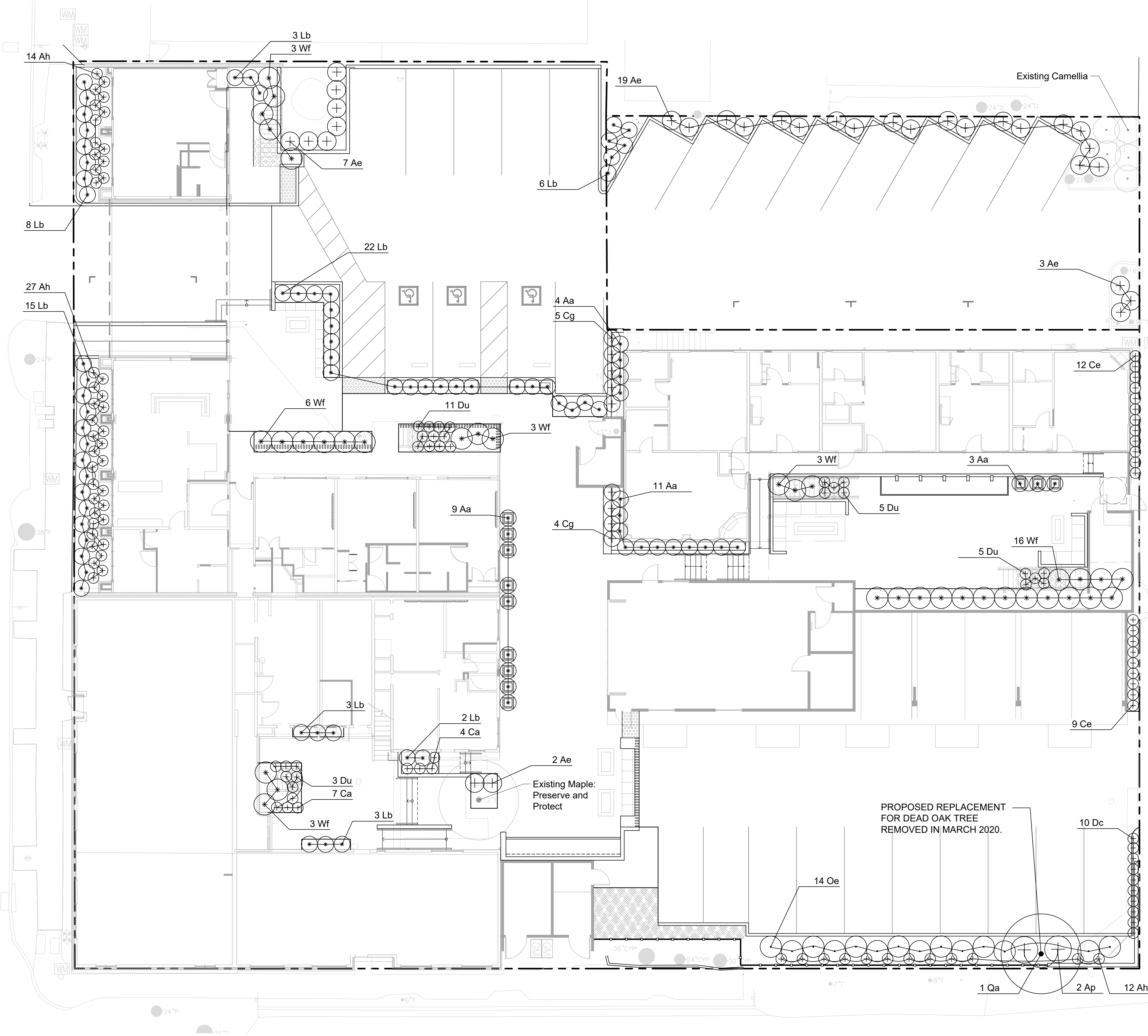
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LIGHTING CUT SHEETS

Sheet Number:

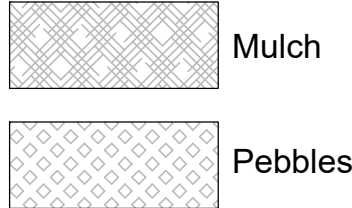
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PLANT LIST

*WUC	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CA NATIVE
TREES					
L	Qa	Quercus agrifolia	Coast Live Oak	24" Box	Yes
SHRUBS					
L	Aa	Agave attenuata 'Nova'	Nova Foxtail Agave	5 Gal.	
L	Ae	Arctostaphylos 'Emerald Carpet'	Carpet Manzanita	1 Gal.	Yes
L	Ap	Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita	1 Gal.	Yes
M	Ah	Anemone 'Honorine Jobert'	Honorine Jobert Windflower	1 Gal.	
L	Cg	Ceanothus griseus var. horizontalis 'Diamond Heights'	Diamond Heights Carmel Creeper	1 Gal.	Yes
L	Ca	Crassula arborescens	Silver Dollar Plant	1 Gal.	
L	Du	Dudleya caespitosa	Coast Dudleya	1 Gal.	Yes
L	Oe	Olea europaea 'Little Ollie'	Little Ollie Olive	15 Gal.	
M	Wf	Woodwardia fimbriata	Giant Chain Fern	5 Gal.	Yes
GRASSES					
L	Ce	Chondropetalum 'El Campo'	El Campo Small Cape Rush	1 Gal.	
M	Dc	Dianella 'Clarity Blue'	Clarity Blue Flax Lily	1 Gal.	
L	Lb	Lomandra longifolia 'Breeze'	Dwarf Mat Rush	5 Gal.	



* WATER USE CATEGORY (WUC) KEY

WUCOLS Region Applicable to this Project: REGION 1
H = High; M = Moderate; L = Low; VL = Very Low; NL = Species Not Listed
* from: Water Use Classification of Landscape Species,
A Guide to the Water Needs of Landscape Plants (WUCOLS)
Revised 2014, University of California Cooperative Extension, L.R. Costello, K.S. Jones

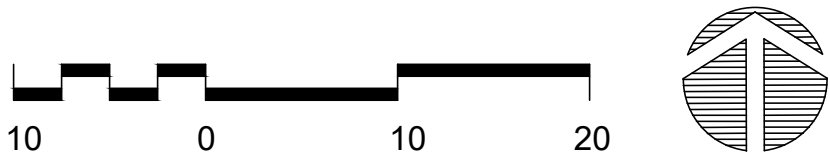
WATER EFFICIENT LANDSCAPE WORKSHEET

Project Name	Carmel Lodge	Status		Calc By	RR
Project Number	20.009	Date	March 24, 2021		

Reference Evapotranspiration (ETo)		33.00				
Hydrozone # /Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b s or d	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sq ft)	Estimated Total Water Use (ETWU) ^a
Regular Landscape Areas						
1 Redwood	0.4	d	0.81	0.49	181	89.38 1828.77
2 N Parking Lot	0.1	d	0.81	0.12	415	51.23 1048.26
3 Office	0.4	d	0.81	0.49	86	42.47 868.92
4 Stair 1	0.4	d	0.81	0.49	81	40.00 818.40
5 Between building	0.1	d	0.81	0.12	305	37.65 770.41
6 Courtyard	0.4	d	0.81	0.49	300	148.15 3031.11
7 Mission Street	0.4	d	0.81	0.49	100	49.38 1010.37
8 Lil Ollie	0.1	d	0.81	0.12	428	52.84 1081.10
9 Mulch	0	d	0.81	0.00	270	0.00 0.00
10 Restaurant M	0.4	d	0.81	0.49	66	32.59 666.84
11 Restaurant L	0.1	d	0.81	0.12	78	9.63 197.02
12 San Carlos St	0.4	d	0.81	0.49	403	199.01 4071.79
			Totals	(A)	2713 (B)	752.35 15392.99
Special Landscape Areas						
			1.00		0	0.00 0.00
			1.00		0	0.00 0.00
			Totals	(C)	0 (D)	0.00 0.00
					ETWU Total (Gallons)	15392.99
					Maximum Allowed Water Allowance (MAWA) ^a (Gallons)	24978.59
					ETWU (Acre Feet)	0.05
					MAWA (Acre Feet)	0.08

GENERAL NOTES

- All proposed and existing landscape to be irrigated with drip irrigation system. Irrigation will be controlled by an automated, weather connected controller. The irrigation system will include a flow sensor and master valve at the point of connection.
- All planting areas to be mulched - 3" minimum depth.



Carmel Lodge Remodel

SAN CARLOS STREET
& 5TH AVE
CARMEL, CA 93923



THE PAUL DAVIS PARTNERSHIP
ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP
286 Eldorado Street
Monterey, CA 93940
(831) 373-2784 FAX (831) 373-7459
EMAIL: info@pauldavispartnership.com

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Sheet Title:
PLANTING PLAN

Sheet Number:

L-3.0

TREES



Quercus agrifolia
Coast Live Oak

GRASSES



Chondropetalum 'El Campo'
El Campo Small Cape Rush



Dianella 'Clarity Blue'
Clarity Blue Flax Lily



Lomandra longifolia 'Breeze'
Dwarf Mat Rush

SHRUBS



Agave attenuata 'Nova'
Nova Agave



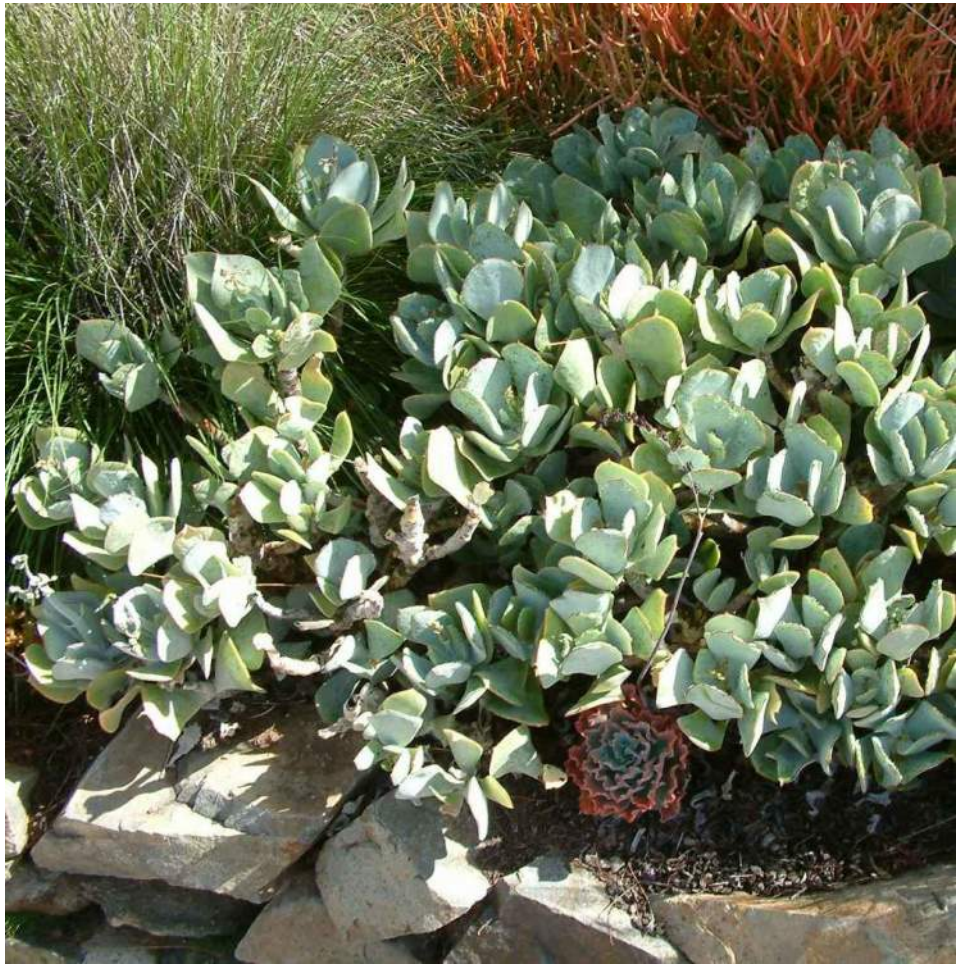
Arctostaphylos 'Emerald Carpet'
Carpet Manzanita



Anemone 'Honorine Jobert'
Honorine Jobert Windflower



Ceanothus griseus var.
horizontalis 'Diamond Heights'
Diamond Heights Carmel Creeper



Crassula arborescens
Silver Dollar Plant



Dudleya caespitosa
Coast Dudleya



Olea europaea 'Little Ollie'
Little Ollie Olive



Woodwardia fimbriata
Giant Chain Fern



Arctostaphylos 'Pacific Mist'
Pacific Mist Manzanita

Carmel Lodge
Remodel

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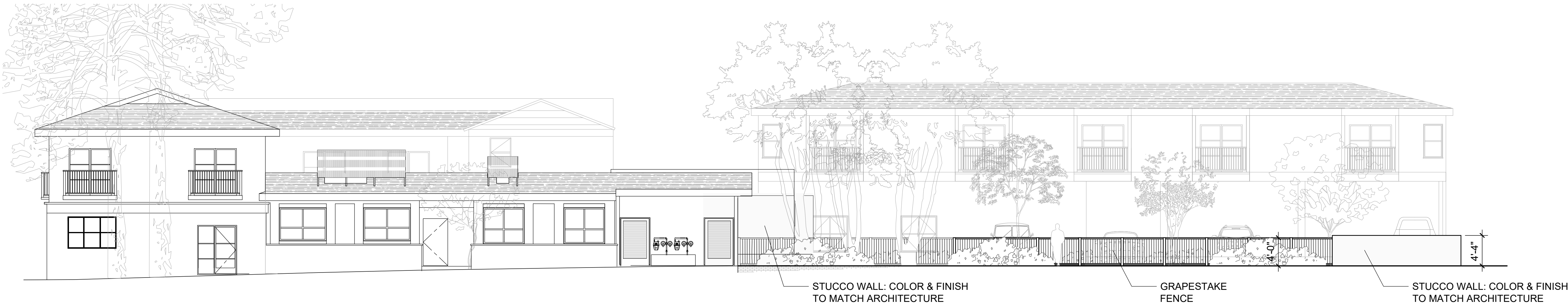
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Sheet Title:
PLANT IMAGES

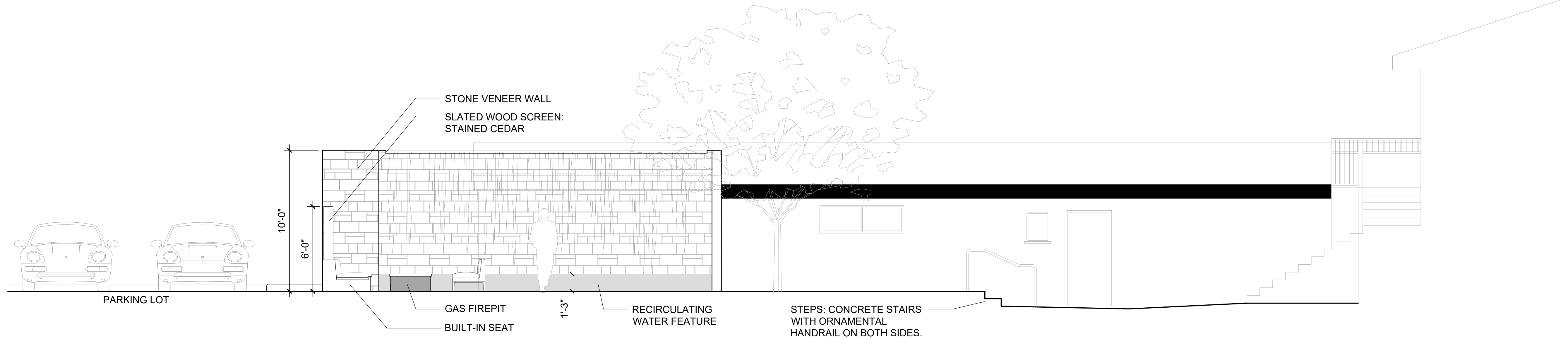
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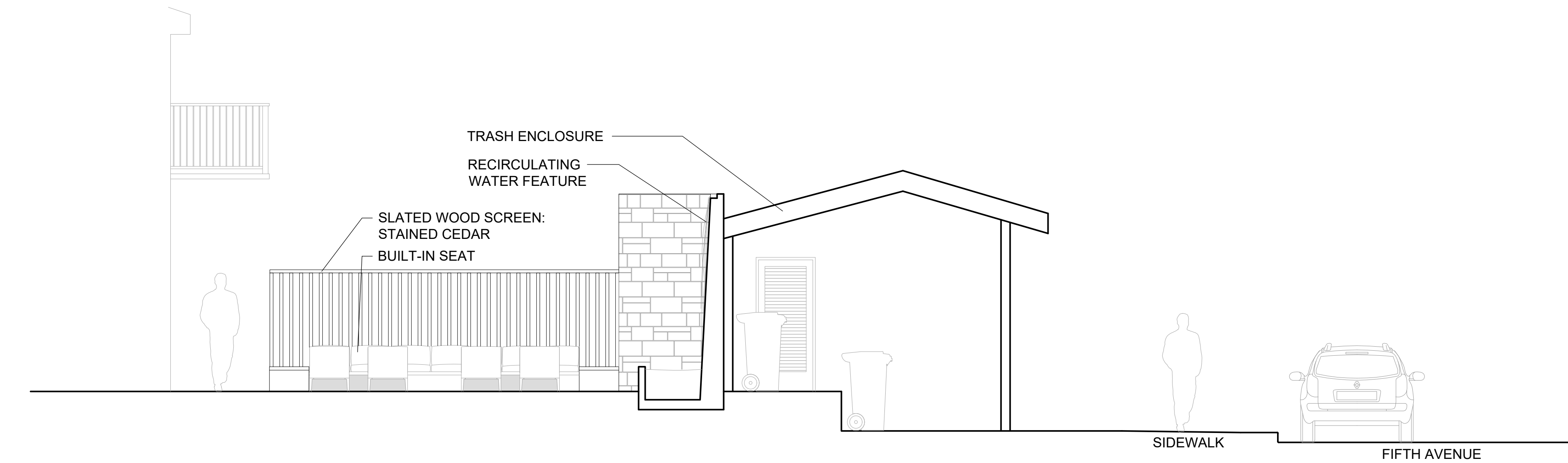
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1 Fifth Avenue Elevation
1" = 8'-0"



2 Recirculating Water Feature 1 - Elevation
1" = 4'-0"



3 Recirculating Water Feature 1 - Section
1" = 4'-0"

Carmel Lodge Remodel

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Sheet Title:

ELEVATIONS

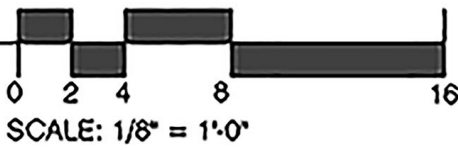
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CARMEL LODGE - MARCH 24, 2021
BUILDING A- SAN CARLOS STREET WEST ELEVATION

SCALE= 1/8" = 1'-0"



CARMEL LODGE - MARCH 24, 2021
BUILDING A- 5TH AVE (SOUTH) ELEVATION

SCALE= 1/8" = 1'-0"

