



RAINEY RESIDENCE

DESIGNER:  
JOBE CORRAL ARCHITECTS  
ADA CORRAL, AIA  
505 W. 38TH STREET, STE B  
AUSTIN, TX 78705  
512-499-1591

STRUCTURAL ENGINEER:  
STRANDBERG ENGINEERING  
DAVID STRANDBERG  
1511 15TH STREET  
SAN FRANCISCO, CA 94103  
415-778-8726/101

CONTRACTOR:  
STOCKER & ALLAIRE  
DAVE ALLAIRE  
21 MANVILLE COURT  
MONTEREY, CA 93940  
831-375-1890

LIGHTING DESIGNER:  
STUDIO LUMINA  
CHRISTINE BROWN  
9411 CHAPEL DOWN STREET  
AUSTIN, TX 78729  
512-362-1656

CIVIL ENGINEER:  
BENJAMINI, INC  
AVI BENJAMINI  
720 YORK ST #114  
SAN FRANCISCO, CA 94110  
415-550-2600

ENERGY CONSULTANT:  
MONTEREY ENERGY GROUP, INC.  
ABE STALLCUP  
2646 CARMEL RANCHO BLVD. ST #8  
CARMEL, CA 93928  
831-372-8328

- NOTES:
- ELEVATION 100'-0" = 138'-10" ABV SEA LEVEL
  - FOR CBC DESIGN CRITERIA, INCLUDING FLOOR AND ROOF DESIGN LOADS, SEE S1.0
  - CORRAL SPACE IS REQUIRED TO BE LESS THAN 5' IN HEIGHT AND PERMANENTLY FRAMED TO SUCH HEIGHT LIMITATIONS; REF SHEET A2.13

LEGEND:

ISSUE:	DATE:	DESCRIPTION:
06.29.2021	PERMIT SET	
08.18.2021	REVISION 1: PERMIT COMMENTS	
09.16.2021	REVISION 2: PERMIT COMMENTS	
09.24.2021	REVISION 3: PERMIT COMMENTS	
07.19.2022	REVISION 4: PERMIT COMMENTS	

PROJECT:  
**RAINEY RESIDENCE**  
LINCOLN S SW OF 10TH  
CARMEL-BY-THE-SEA, CA 93923

PROJECT NUMBER:  
**1914**

07.19.2022

ALL DRAWINGS AND WRITTEN MATERIAL APPROVING THESE CONSTRUCTION DETAILS AND NOT BE DUPLICATED, REPRODUCED, COPIED, OR OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

TITLE PAGE & GENERAL NOTES

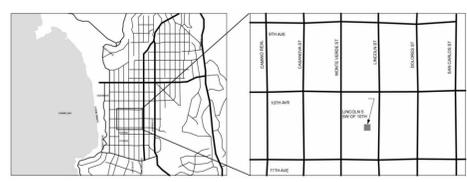
A0.00

DRAWING INDEX

- NEW
- NO CHANGE
- REVISED
- DELETED

SHEET #	TITLE	PERMIT SET 06.29.2021	REVISION 1: PERMIT COMMENTS 08.18.2021	REVISION 2: PERMIT COMMENTS 09.16.2021	REVISION 3: PERMIT COMMENTS 09.24.2021	REVISION 4: PERMIT COMMENTS 07.19.2022
<b>ARCHITECTURAL</b>						
A0.00	TITLE PAGE & GENERAL NOTES	●	●	○	○	○
A0.01	DESIGN STUDY CONDITIONS OF APPROVAL	●	○	○	○	○
A1.00	SITE PLAN	●	●	○	○	○
D1.00	SITE DEMOLITION PLAN	●	○	○	○	○
A2.10	FLOOR PLAN - MAIN LEVEL	●	○	○	○	○
A2.11	FLOOR PLAN - LOWER LEVEL	●	○	○	○	○
A2.12	ROOF PLAN	●	○	○	○	○
A2.13	AREA CALCULATIONS	●	○	○	○	○
A3.00	EXTERIOR ELEVATIONS	●	○	○	○	○
A3.01	EXTERIOR ELEVATIONS	●	○	○	○	○
A3.10	BUILDING SECTIONS	●	○	○	○	○
A4.00	WALL SECTIONS	●	○	○	○	○
A4.01	WALL SECTIONS	●	○	○	○	○
A6.00	WINDOW SCHEDULE	●	○	○	○	○
A6.01	WINDOW SCHEDULE	●	○	○	○	○
A6.02	DOOR SCHEDULE	●	○	○	○	○
A7.00	EXTERIOR DETAILS	●	○	○	○	○
A7.20	ARCHITECTURAL EXTERIOR LIGHTING PLAN	●	○	○	○	○
<b>LANDSCAPE</b>						
L1.0	TREE PROTECTION PLAN	●	○	○	○	○
L2.0	LANDSCAPE MATERIALS	●	○	○	○	○
L3.0	SITE PLAN	●	○	○	○	○
L4.0	PLANTING PLAN	●	○	○	○	○
L4.1	PLANT LIST + NOTES	●	○	○	○	○
L5.0	IRRIGATION PLAN	●	○	○	○	○
L5.1	IRRIGATION NOTES + LEGEND	●	○	○	○	○
L6.0	LANDSCAPE LIGHTING PLAN	●	○	○	○	○
L7.0	CONSTRUCTION DETAILS	●	○	○	○	○
L7.1	CONSTRUCTION DETAILS	●	○	○	○	○
L7.2	CONSTRUCTION DETAILS	●	○	○	○	○
<b>CIVIL ENGINEER</b>						
C0.1	PROJECT INFORMATION & NOTES	●	○	○	○	○
C1.0	GRADING & DRAINAGE PLAN	●	○	○	○	○
C1.1	LOWER LEVEL DRAINAGE PLAN	●	○	○	○	○
C2.0	SECTIONS & DETAILS	●	○	○	○	○
C3.0	EROSION & SEDIMENT CONTROL	●	○	○	○	○
C3.1	EROSION & SEDIMENT CONTROL	●	○	○	○	○
<b>STRUCTURAL</b>						
S1.0	GENERAL NOTES	●	○	○	○	○
S1.1	TYPICAL DETAILS I	●	○	○	○	○
S1.2	TYPICAL DETAILS II	●	○	○	○	○
S1.3	TYPICAL DETAILS III	●	○	○	○	○
S1.4	TYPICAL DETAILS IV	●	○	○	○	○
S1.5	TYPICAL DETAILS V	●	○	○	○	○
S1.6	TYPICAL DETAILS VI	●	○	○	○	○
S2.0	PLANS	●	○	○	○	○
S2.1	PLANS	●	○	○	○	○
S2.2	PLANS	●	○	○	○	○
S2.3	SITE PLAN	●	○	○	○	○
S3.0	DETAILS	●	○	○	○	○
S3.1	DETAILS	●	○	○	○	○
S3.3	DETAILS	●	○	○	○	○
S4.0	DETAILS	●	○	○	○	○
S5.0	DETAILS	●	○	○	○	○
S5.1	DETAILS	●	○	○	○	○
S5.2	DETAILS	●	○	○	○	○
<b>PLUMBING</b>						
P0.1	LEGENDS, SCHEDULES, NOTES, & DETAILS	●	○	○	○	○
P2.1	LOWER FLOOR WASTE & VENT PLAN	●	○	○	○	○
P2.2	UPPER FLOOR WASTE & VENT PLAN	●	○	○	○	○
P2.3	LOWER FLOOR DOMESTIC WATER & GAS PLAN	●	○	○	○	○
P2.4	UPPER FLOOR DOMESTIC WATER & GAS PLAN	●	○	○	○	○
<b>MECHANICAL</b>						
M0.1	NOTES	●	○	○	○	○
M0.2	NOTES	●	○	○	○	○
M0.3	ENERGY COMPLIANCE	●	○	○	○	○
M0.4	ENERGY COMPLIANCE	●	○	○	○	○
M0.5	ENERGY COMPLIANCE	●	○	○	○	○
M0.6	2019 LOW RISE RESIDENTIAL MANDATORY MEASURES	●	○	○	○	○
M0.7	2019 LOW RISE RESIDENTIAL MANDATORY MEASURES	●	○	○	○	○
M2.1	LOWER LEVEL RADIANT HEATING PANEL LAYOUT	●	○	○	○	○
M2.2	MAIN LEVEL RADIANT HEATING PANEL LAYOUT	●	○	○	○	○
M2.3	MAIN LEVEL RADIANT HEATING TUBING LAYOUT	●	○	○	○	○
M2.4	LOWER LEVEL VENTILATION PLAN	●	○	○	○	○
M2.5	MAIN LEVEL VENTILATION PLAN	●	○	○	○	○
M6.1	PIPING SCHEMATICS	●	○	○	○	○
M6.2	NOTES & TYP WIRING EXAMPLES FOR ZONE CONTROLLER	●	○	○	○	○
M6.3	DETAILS	●	○	○	○	○
M6.4	ECO-WARM INSTALLATION DETAILS	●	○	○	○	○
<b>PHOTOVOLTAICS</b>						
PV-1	SITE PLAN	●	○	○	○	○
PV-2	ELECTRICAL & PLACARD	●	○	○	○	○
PV-3	DATA SHEET	●	○	○	○	○
PV-4	DATA SHEET	●	○	○	○	○

LOCATION MAP



SYMBOL LEGEND

REFERENCE SYMBOLS	STRUCTURAL	ELECTRICAL SYMBOLS	MATERIAL LEGEND
A	STRUCTURAL GRID LINE	○	EARTH/FILL
B	SECTION MARKER	○	GRAVEL
1	WALL SECTION MARKER	○	GROUT/SAND
A1.00	EXTERIOR ELEVATION	○	CONCRETE
A5.00	INTERIOR ELEVATION	○	STEEL
A7.00	DETAIL REFERENCE	○	CMU
X'X'	ELEVATION MARKER	○	STONE
100.1	DOOR NUMBER	○	FINISH WOOD
100.A	WINDOW NUMBER	○	PLYWOOD
ROOM	ROOM NAME ROOM NUMBER ROOM AREA	○	RIGID INSULATION
100 0 SF		○	BATT INSULATION
REVISION		○	
X'X'	DIMENSION	○	
X'X'	DIMENSION TO CENTERLINE OR GRIDLINE	○	
A0.00	SHEET NUMBER	○	
⊕	NORTH ARROW	○	
⊕	CENTERLINE	○	

PROJECT INFORMATION

OWNER:	RAINEY, JOHN D. AND KELLY M.
ADDRESS:	LINCOLN S SW OF 10TH CARMEL-BY-THE-SEA, CA 93923
ZONING:	R-1
LEGAL DESCRIPTION:	APN 010-182-004-000
USE:	SINGLE FAMILY RESIDENTIAL
DESCRIPTION:	NEW TWO STORY RESIDENCE
CONSTRUCTION TYPE:	TYP V. WOOD FRAME, POURED IN PLACE CONCRETE WALLS AND BASEMENT
SINGLE FAMILY DWELLING AREA:	2,593 SF
GARAGE AREA:	274 SF
TOTAL BUILDING AREA:	2,867 SF
SPRINKLER SYSTEM:	AUTOMATIC RESIDENTIAL SPRINKLER SYSTEM TO BE INSTALLED
CBC OCCUPANCY TYPE:	R
TREE REMOVAL:	NO TREES TO BE REMOVED
EXISTING BUILDING AREA:	7,000 SF
NEW BUILDING AREA:	7,000 SF
EXISTING BUILDING COVERAGE:	1,752 SF
NEW BUILDING COVERAGE:	1,999 SF
EXISTING IMPERVIOUS COVERAGE:	963 SF
NEW IMPERVIOUS COVERAGE:	297 SF
EXISTING BUILDING HEIGHT:	14'-1"
NEW BUILDING HEIGHT:	17'-11 3/4"
MAX HEIGHT ALLOWABLE:	16'-0"
FRONT YARD SETBACK:	15'
REAR YARD SETBACK:	15'
SIDE YARD SETBACK:	3'

07.19.2022 CHANGES TO PREVIOUSLY PERMITTED DESIGN

CHANGE	SHEETS ADJUSTED
1. REDESIGN OF MASTER BATH DORMER IN WEST ELEVATION	A2.10, A2.12, A3.00
2. RESIZING OF KITCHEN WINDOW 102 B	A2.10, A3.01, A6.00
3. ADJUSTMENTS TO WINDOW AND DOOR SIZING AND OPERATION TO CONFORM TO MANUFACTURERS REQUIREMENTS	A6.00, A6.01
4. ARCHITECTURAL AND STRUCTURAL ADJUSTMENTS TO SITE TERRACING LAYOUT	A1.00, A3.00, S2.3, S3.3
5. ADDITION OF OUTDOOR SPA TO PROJECT AND RELATED STRUCTURAL ADJUSTMENTS	A1.00, S2.3, S3.3
6. ADJUSTMENT TO FRONT DOOR AND SIDELITE LAYOUT	A2.10, A3.01, A6.02
7. MOVED WINDOW 108 B	A2.10, A3.00, A3.01
8. ADDED WINDOW 105 B	A2.10, A3.01
9. ADDED WINDOW 103 B	A2.10, A3.10
10. RESIZING WDW 101 A	A2.10, A3.00

GENERAL NOTES

- ALL WORK TO CONFORM TO THE REQUIREMENTS OF THE APPLICABLE BUILDING CODES.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- STRUCTURAL, MECHANICAL AND/OR ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL, AND ELECTRICAL WORK. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS THAT WOULD CAUSE AN AWKWARD INSTALLATION, IT SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO THE INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER OR ARCHITECT.
- STRUCTURAL DRAWINGS GOVERN SIZES, SPACING AND CONNECTIONS OF ALL STRUCTURAL MATERIALS AND MEMBERS. IN CASE OF DISCREPANCIES, CONSULT WITH THE ARCHITECT BEFORE COMMENCEMENT OF WORK.
- FINAL LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PANEL BOARDS, METERS, FIXTURES, FLUES, VENTS, ETC., SHALL BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS SHOWN ON FLOOR PLANS ARE TO FACE OF STUD WALL UNLESS OTHERWISE NOTED OR INDICATED.
- EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE BY THE CONTRACTOR WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF AS TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL, AT SUCH TIME, ASCERTAIN AND CHECK LOCATION OF EXISTING STRUCTURES OR EQUIPMENT WHICH MAY AFFECT HIS WORK. NO ALLOWANCE SHALL BE SUBSEQUENTLY BE MADE IN HIS BEHALF FOR ANY EXPENSE TO WHICH HE MAY BE PUT INTO DUE TO FAILURE OR NEGLECT ON HIS PART TO MAKE SUCH AN EXAMINATION. ANY CONFLICTS OR OMISSIONS, ETC., SHOULD BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED DUE TO VARIATION BETWEEN ACTUAL MEASUREMENT AND DIMENSIONS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR IS CAUTIONED THAT HIS WORK INCLUDES ALTERATION TO EXISTING FACILITIES. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE SCOPE OF WORK, BUT WHICH IS NOT SPECIFICALLY INCLUDED ON THE PLANS, SHALL BE PERFORMED BY HIM AND INCLUDED ON HIS WORK AT NO ADDITIONAL COST TO THE OWNER.
- ITEMS OF WORK INDICATED ON THE DRAWINGS AS N.I.C. (NOT IN CONTRACT) SHALL BE PERFORMED, FURNISHED, OR LED UNDER SEPARATE CONTRACT BY THE OWNER. THE CONTRACTOR SHALL COORDINATE HIS WORK ACCORDINGLY AS REQUIRED FOR A SMOOTH WORK SCHEDULE.
- IT SHALL BE CONSTRUED THAT EACH SUBCONTRACT IS AN INTEGRAL PART OF THE GENERAL CONTRACT AND THE CONTRACTOR SHALL PROVIDE AND MAINTAIN IN FULL OPERATION AT ALL TIMES DURING THE PERFORMANCE OF THE CONTRACT A SUFFICIENT CREW OF LABORERS, MECHANICS AND FOREMAN TO PROSECUTE THE WORK WITH DISPATCH.
- THE CONTRACTOR SHALL ARRANGE FOR THE PREMISES TO BE MAINTAINED IN AN ORDERLY MANNER THROUGHOUT THE COURSE OF THE JOB. HE SHALL MAINTAIN CLEANLINESS THROUGHOUT AND CONTROL ANY DUST CAUSED BY THE WORK, AS WELL AS, PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC DURING THE PERIOD OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF THE INSTALLATION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED OR DISPOSED OF AS PER OWNER INSTRUCTIONS.
- PROVIDE ALL INSURANCE PRIOR TO COMMENCEMENT OF ANY WORK, AS REQUIRED BY OWNER AND ALL INSURANCE TO CLEARLY AND COMPLETELY INDEMNIFY THE ARCHITECTS AND THE OWNERS FROM ALL CLAIMS WHICH ARISE FROM THE PERFORMANCE OF ALL WORK RELATED TO THIS CONTRACT.

DEFERRED SUBMITTAL

FIRE SPRINKLER SYSTEM PLANS, SPECIFICATIONS & CALCULATIONS

PROJECT TEAM

DESIGNER: JOBE CORRAL ARCHITECTS ADA CORRAL, AIA 505 W. 38TH STREET, STE B AUSTIN, TX 78705 512-499-1591	LANDSCAPE ARCHITECT: JML JESSICA M. NEAFSEY 2345 7TH AVE CARMEL, CA 93923 734-904-9152	STRUCTURAL ENGINEER: STRANDBERG ENGINEERING DAVID STRANDBERG 1511 15TH STREET SAN FRANCISCO, CA 94103 415-778-8726/101	CIVIL ENGINEER: BENJAMINI, INC AVI BENJAMINI 720 YORK ST #114 SAN FRANCISCO, CA 94110 415-550-2600
CONTRACTOR: STOCKER & ALLAIRE DAVE ALLAIRE 21 MANVILLE COURT MONTEREY, CA 93940 831-375-1890	LIGHTING DESIGNER: STUDIO LUMINA CHRISTINE BROWN 9411 CHAPEL DOWN STREET AUSTIN, TX 78729 512-362-1656	ENERGY CONSULTANT: MONTEREY ENERGY GROUP, INC. ABE STALLCUP 2646 CARMEL RANCHO BLVD. ST #8 CARMEL, CA 93928 831-372-8328	

CODE CITATIONS

PREPARED IN ACCORDANCE WITH  
CARMEL MUNICIPAL CODE 2019  
TITLE 24 CALIFORNIA CODE OF REGULATIONS 2019:  
CA BUILDING CODE  
CA RESIDENTIAL CODE  
CA FIRE CODE  
CA MECHANICAL CODE  
CA PLUMBING CODE  
CA GREEN BUILDING STANDARDS CODE "CAL GREEN"  
CA ENERGY EFFICIENCY CODE  
CA ELECTRICAL CODE



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NOTES:

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 LINCOLN S SW OF 10TH  
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*Jobe Corral*  
 PROJECT NUMBER:  
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NORTH: SCALE:

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	<b>Authorization.</b> This approval of Design Study (DS 20-205), Lot Merger (LM 20-290) and associated Coastal Development Permit authorizes the demolition of an existing 1,752 square foot one-story single-family residence with detached garage and construction of a new 2,868 square foot two-story single-family residence with a basement located and attached garage as depicted in the plans prepared by Jobe Corral Architects as presented to the Planning Commission on May 12, 2021, unless modified by the conditions of approval contained herein. ✓
2.	<b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission. ✓
3.	<b>Permit Validity.</b> This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction. ✓
4.	<b>Landscape Plan.</b> All new landscaping shall be shown on a landscape plan and shall be included in the construction plans submitted to the Building Division. ✓  The landscape plan shall be reviewed and approved by the Monterey Peninsula Water Management District, City Forester and Planning Division prior to the issuance of a building permit.  The landscape plan shall include both on-site landscaping and any landscaping proposed in the public right-of-way. The landscape plan shall comply with the landscaping standards contained in the Zoning Code, including the following requirements:  1) All new landscaping shall be 75% drought-tolerant; 2) Landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) The project shall meet the City's recommended tree density standards, unless otherwise approved by the City. The landscape plan shall show where new trees will be planted when required by the Forest and Beach Commission or the Planning Commission. ✓
5.	<b>Tree Removal.</b> Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester. ✓
6.	<b>Significant Trees.</b> All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit. ✓
7.	<b>Water Use.</b> Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission. ✓
8.	<b>Modifications.</b> The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes. If the applicant substantively changes the project beyond general conformance with the approved plans prior to obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change, or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection. ✓  <u>The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed</u>

	<u>change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.</u>	
9.	<b>Setback and Height Certifications.</b> A State licensed surveyor shall survey and certify the following in writing: ✓ <ul style="list-style-type: none"> <li>The footing locations for conformance with the approved plans prior to footing/foundation inspection;</li> <li>The roof height for conformance with the approved plans prior to roof sheathing inspection.</li> </ul> Written certifications prepared, sealed and signed by the surveyor shall be provided to the building inspector at the time of the specified inspections.	✓
10.	<b>Service Laterals.</b> All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergirding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergirding will damage or destroy significant trees(s) (CMC 15.36.020). ✓	✓
11.	<b>Exterior Lighting.</b> Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application. ✓	✓
12.	<b>Indemnification.</b> The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto. ✓	✓
13.	<b>Driveway.</b> The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. The driveway material and asphalt connection shall be clearly identified on the construction drawings submitted with the building permit application. If a driveway is proposed to be sand set a dimensioned construction detail showing the base material shall be included in the construction drawings. ✓	✓
14.	<b>Volume Study.</b> This project is subject to a volume study. ✓	✓
15.	<b>Hazardous Materials Waste Survey.</b> A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit. ✓	✓
16.	<b>Cultural Resources.</b> All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98. ✓	✓
17.	<b>Truck Haul Route.</b> Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures. ✓	✓
18.	<b>USA North 811.</b> Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information) ✓	✓
19.	<b>Conditions of Approval.</b> All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division. ✓	✓
<b>ENVIRONMENTAL COMPLIANCE CONDITIONS</b>		
20.	<b>Drainage Plan.</b> Provide a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused into one corner of the property, infiltration features must be sized appropriately and must be located at least 6 feet from neighboring properties. The drainage plan shall ✓	✓

	include information on drainage from new impervious areas and semi-pervious areas.	
21.	<b>BMP Tracking Form.</b> A completed BMP Tracking form will need to be submitted with the Building Permit Application. ✓	✓
22.	<b>Semi-Permeable Surfaces.</b> Provide cross-section details for semi-permeable surfaces. ✓	✓
23.	<b>Erosion and Sediment Control Plan.</b> Provide an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access with Building Permit application. ✓	✓
<b>SPECIAL CONDITIONS</b>		
24.	<b>Limb Removal.</b> The applicant shall submit a tree removal permit (for limb removal/pruning) for any limbs over 4" in diameter required to be cut or removed prior to being scheduled for final details review. Any limbs proposed to be removed shall be clearly identified as described in the City's Story Pole Policy. ✓	✓
25.	<b>Tree Marking.</b> Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. ✓	✓
26.	<b>Excavation.</b> Excavation within 6 feet of a tree trunk is not permitted. ✓	✓
27.	<b>Attachments.</b> No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree. ✓	✓
28.	<b>Material Storage.</b> Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels. ✓	✓
29.	<b>Tree Protection Zone.</b> The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the dripline, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing. ✓	✓
30.	<b>Structural Root Zone.</b> Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots. ✓	✓
31.	<b>Tree Roots (a).</b> If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. ✓	✓
32.	<b>Tree Roots (b).</b> If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place. ✓	✓
33.	<b>Driveway Gate.</b> The driveway gate be removed from the scope of work. ✓	✓
34.	<b>Lot Merger.</b> Prior to the issuance of a Building Permit, a determination of merger shall be recorded with the Monterey County Recorder ✓	✓
35.	<b>Right-of-Way Encroachments.</b> All unpermitted encroachments shall be removed from the right-of-way prior to final inspection. ✓	✓

DESIGN STUDY  
 CONDITIONS OF  
 APPROVAL

A0.01



RAINEY RESIDENCE

DESIGNER:  
JOBE CORRAL ARCHITECTS  
ADA CORRAL, AIA  
505 W. 38TH STREET, STE B  
AUSTIN, TX 78705  
512.499.1591

STRUCTURAL ENGINEER:  
STRANDBERG ENGINEERING  
DAVID STRANDBERG  
1511 15TH STREET  
SAN FRANCISCO, CA 94103  
415.778.8726/101

CONTRACTOR:  
STOCKER & ALLAIRE  
DAVE ALLAIRE  
21 MANDEVILLE COURT  
MONTEREY, CA 93940  
831.375.1890

LIGHTING DESIGNER:  
STUDIO LUMINA  
CHRISTINE BROWN  
9411 CHARLIE DOWN STREET  
AUSTIN, TX 78729  
512.362.1656

CIVIL ENGINEER:  
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AVI BENJAMINI  
720 YORK ST #114  
SAN FRANCISCO, CA 94110  
415.550.2600

ENERGY CONSULTANT:  
MONTEREY ENERGY GROUP, INC.  
ABE STALLCUP  
29465 CARMEL RANCHO BLVD, ST #8  
CARMEL, CA 93928  
831.372.8528

NOTES:

1. ARCHITECT IS AWARE OF NEIGHBOR'S SEWER LINE UNDER THIS AREA AND HAS SECURED A LETTER OF CONSENT FROM NEIGHBORS ALLOWING FOR THE SPECIFIC DEMOLITION AND RELATED REGRADING WORK TO BE DONE ON THEIR PROPERTY. REFER TO LETTER INCLUDED WITH DRAWING SET SUBMISSION.

LEGEND:

ISSUE	PERMIT SET
06.29.2021	PERMIT SET
08.18.2021	REVISION 1: PERMIT COMMENTS
09.16.2021	REVISION 2: PERMIT COMMENTS

PROJECT:  
**RAINEY RESIDENCE**  
LINCOLN S SW OF 10TH  
CARMEL-BY-THE-SEA, CA 93923

*Jobe Corral*

PROJECT NUMBER:  
**1914**

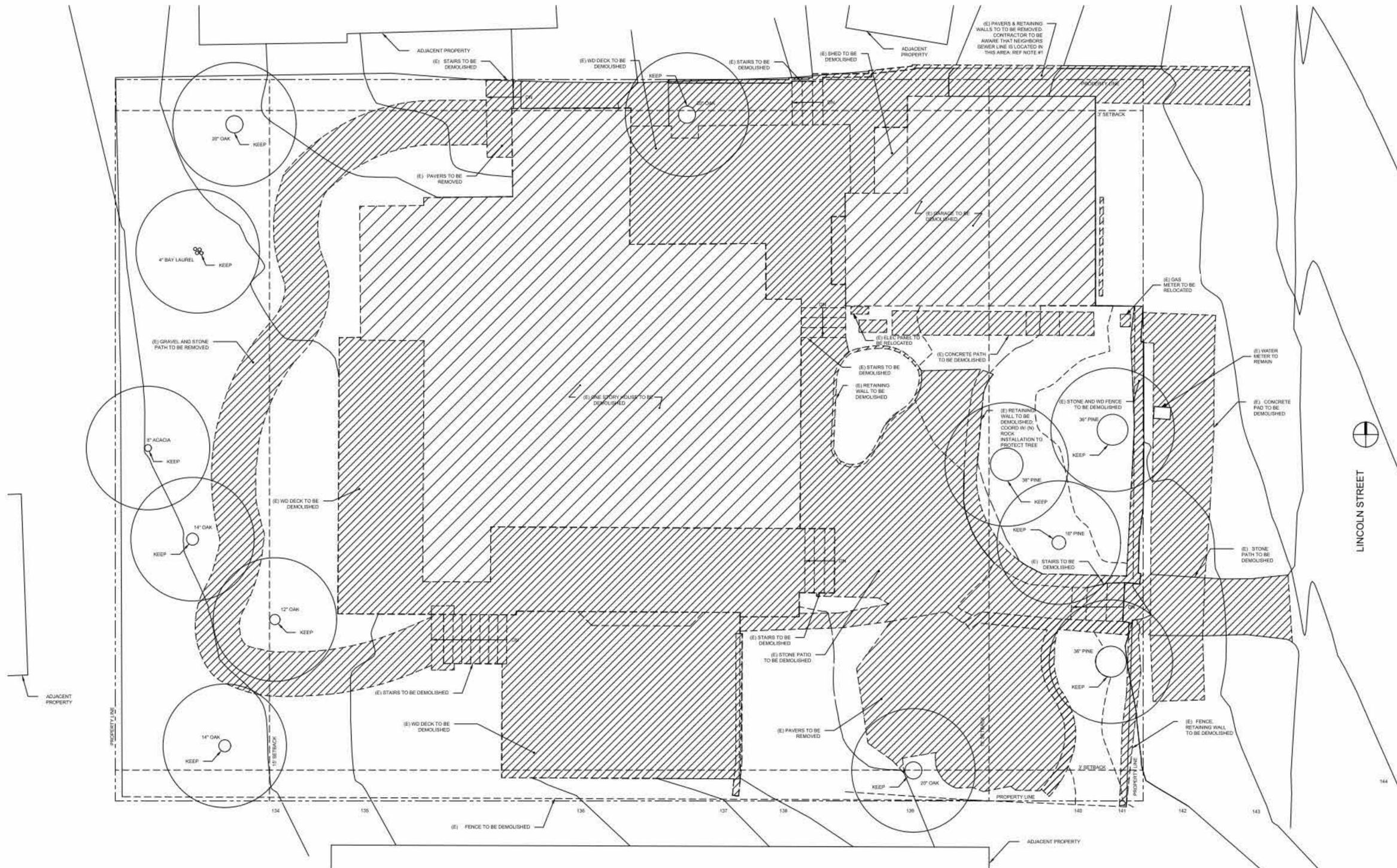
07/19/2022  
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NORTH: SCALE:  
**3/16" = 1'-0"**

**SITE DEMOLITION PLAN**

**D1.00**

PERMIT CITY ON AREAS OUTSIDE OF PROPERTY LINE: When engineering work that crosses the property boundaries of your lot you will need additional notification to perform that work. If the work is in the public right of way, you will be required to apply for an urban or temporary encroachment permit as part of the notification process. The work that crosses into a neighboring property, you must submit a letter that is signed by the neighboring property owner that explicitly states the work they are authorizing you to perform on their property. We will not be able to approve any work that is proposed to cross property boundaries without the information I would strongly recommend you include it with your original permit submission. **PLEASE HAVE CONTRACTOR RELOCATE / WAITING TO HEAR BACK**



1 SITE DEMOLITION PLAN  
3/16"=1'-0"



RAINEY RESIDENCE

DESIGNER:  
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ADA CORRAL, AIA  
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512.499.1591

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DAVID STRANDBERG  
1511 15TH STREET  
SAN FRANCISCO, CA 94103  
415.778.8726x101

CONTRACTOR:  
STOCKER & ALLAIRE  
DAVE ALLAIRE  
21 MANDEVILLE COURT  
MONTEREY, CA 93940  
831.375.1890

LIGHTING DESIGNER:  
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CHRISTINE BROWN  
9411 CHARLE DOWN STREET  
AUSTIN, TX 78729  
512.382.1656

CIVIL ENGINEER:  
BENJAMINI, INC  
AVI BENJAMINI  
720 YORK ST #114  
SAN FRANCISCO, CA 94110  
415.550.2500

ENERGY CONSULTANT:  
MONTEREY ENERGY GROUP, INC.  
ABE STALLCUP  
2646 CARMEL RANCHO BLVD. ST 8  
CARMEL, CA 93928  
831.372.8328

- NOTES:
- ELEVATION 100'-0" = CONTOUR 138'-10"
  - LOT AREA = 70'x100'+7000 SF
  - APN 010-162-004-000
  - SEE C1.00 FOR EXISTING INFORMATION
  - ALL TREES TO REMAIN
  - REFER TO L1 DALS.D FOR ADDITIONAL INFORMATION ON LANDSCAPE MATERIALS, HEIGHTS, TREE PROTECTION PLAN AND LAYOUTS
  - REFER TO C1.0 FOR SITE GRADING INFORMATION

LEGEND:

ISSUE	DATE	DESCRIPTION
06.29.2021	PERMIT SET	
08.18.2021	REVISION 1: PERMIT COMMENTS	
07.19.2022	REVISION 4: PERMIT COMMENTS	

PROJECT:  
**RAINEY RESIDENCE**  
LINCOLN 5 SW OF 10TH  
CARMEL-BY-THE-SEA, CA 93923

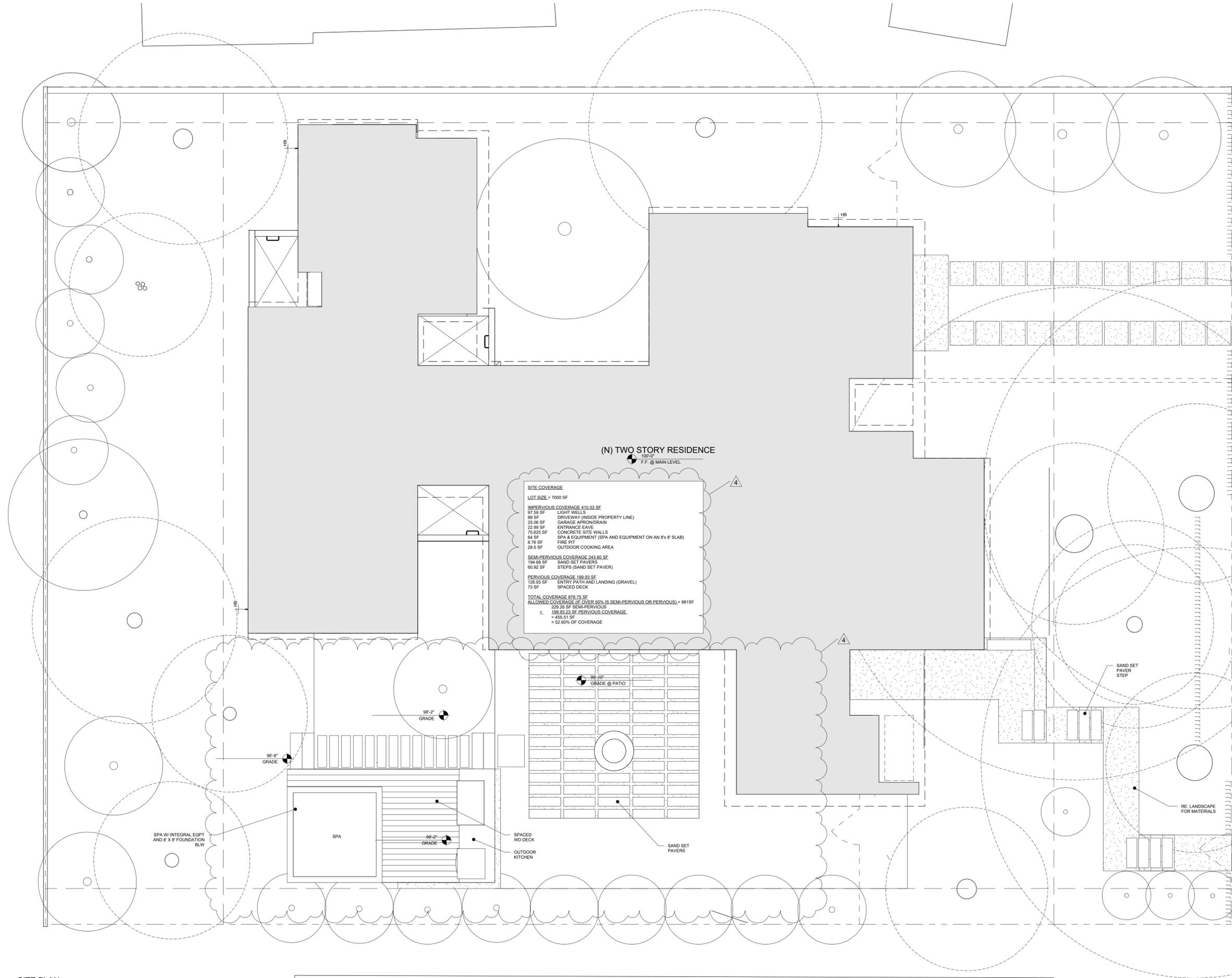
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**1914**

07.11.2022  
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NORTH: SCALE: As indicated

SITE PLAN

A1.00





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415.778.8726x101

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DAVE ALLAIRE  
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MONTEREY ENERGY GROUP, INC.  
ABE STALLCUP  
2646 CARMEL RANCHO BLVD. #7  
CARMEL, CA 93928  
831.372.8328

- NOTES:**
- ELEVATION 100'-0" ± 138'-10" ABV SEA LEVEL
  - ALL DIMS TO GRIDLINE OR FACE OF STUD U.O.N.
  - ALL EXTERIOR WALLS TO BE 2X6 FRAMING, U.O.N. RE: STRUC
  - ALL INTERIOR WALLS TO BE 2X4 FRAMING, U.O.N. RE: STRUC
  - DIVISION BETWEEN BASEMENT AND LOWER LEVEL BASED ON FINISH FLOOR LEVEL AND EXISTING GRADE (MOST RESTRICTIVE) DIRECTLY ABOVE. PER CITY CODE 17.70.20 DEFINITION OF BASEMENT. RE: NOTES FOR ADDL INFO AND BASEMENT DEFINITION

**LEGEND:**

ISSUE	PERMIT SET
06.29.2021	PERMIT SET
08.18.2021	REVISION 1: PERMIT COMMENTS
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07.19.2022	REVISION 4: PERMIT COMMENTS

PROJECT:  
**RAINEY RESIDENCE**  
LINCOLN S SW OF 10TH  
CARMEL-BY-THE-SEA, CA 93923

*Jobe Corral*

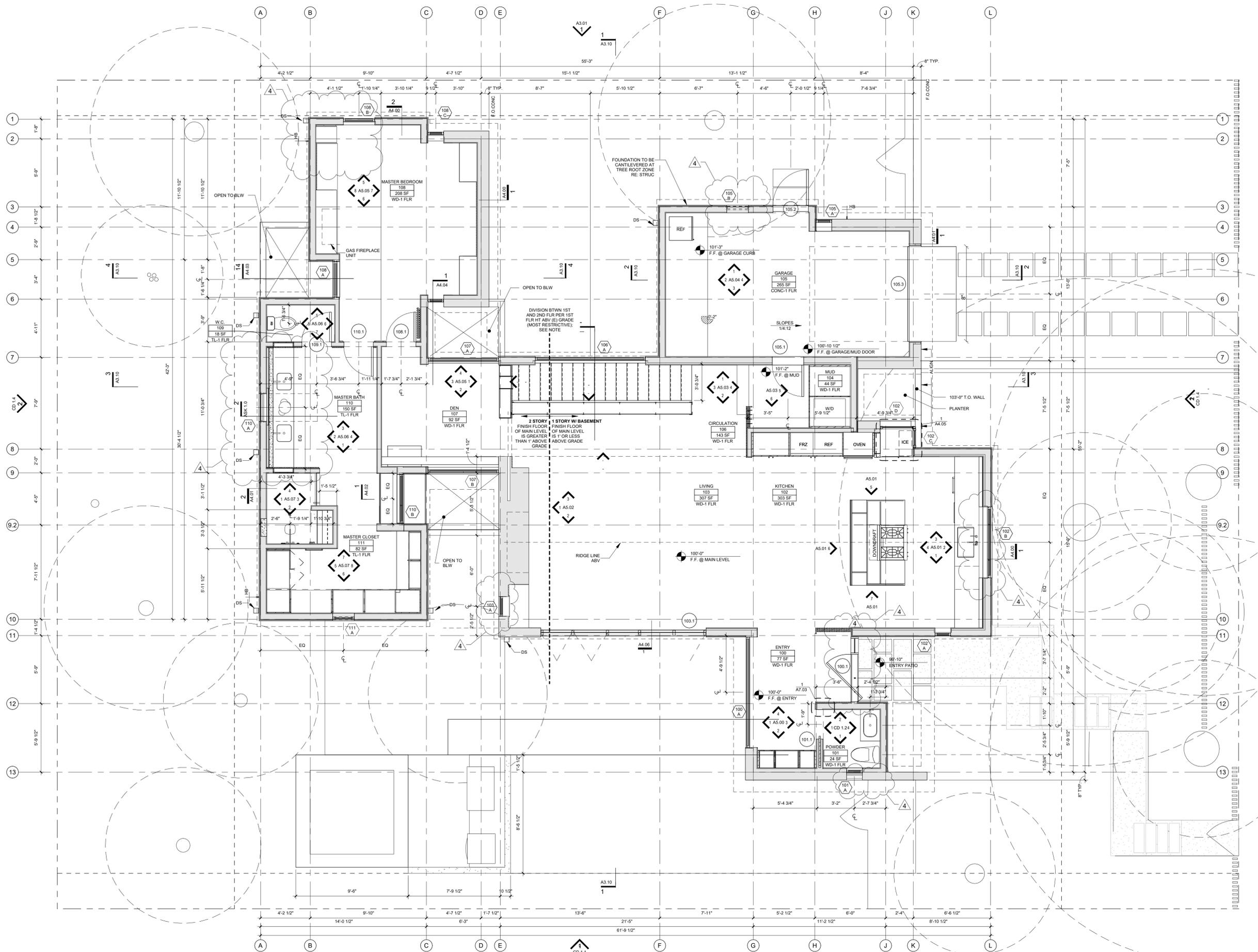
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NORTH: SCALE: 1/4" = 1'-0"

**FLOOR PLAN - MAIN LEVEL**

**A2.10**



**1 FLOOR PLAN - MAIN LEVEL**  
1/4" = 1'-0"



**RAINEY RESIDENCE**

DESIGNER:  
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ADA CORRAL, AIA  
505 W. 38TH STREET, STE B  
AUSTIN, TX 78705  
512.499.1591

STRUCTURAL ENGINEER:  
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DAVID STRANDBERG  
1511 15TH STREET  
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415.778.8726/101

CONTRACTOR:  
STOCKER & ALLAIRE  
DAVE ALLAIRE  
21 MANDEVILLE COURT  
MONTEREY, CA 93940  
831.375.1890

LIGHTING DESIGNER:  
STUDIO LUMINA  
CHRISTINE BROWN  
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512.362.1656

CIVIL ENGINEER:  
BENJAMINI, INC  
AVI BENJAMINI  
720 YORK ST #114  
SAN FRANCISCO, CA 94110  
415.550.2600

ENERGY CONSULTANT:  
MONTEREY ENERGY GROUP, INC.  
ABE STALLCUP  
25465 CARMEL RANCHO BLVD, ST #8  
CARMEL, CA 93928  
831.372.8328

- NOTES:
- ELEVATION 100'-0" = 138'-10" ABV SEA LEVEL
  - ALL DIMS TO GRIDLINE OR FACE OF STUD U.O.N.
  - ALL EXTERIOR WALLS TO BE 2X6 FRAMING, U.O.N. RE: STRUC
  - ALL INTERIOR WALLS TO BE 2X4 FRAMING, U.O.N. RE: STRUC
  - DIVISION BETWEEN BASEMENT AND LOWER LEVEL BASED ON FINISH FLOOR LEVEL AND EXISTING GRADE (MOST RESTRICTIVE) DIRECTLY ABOVE. PER CITY CODE 17.70 DEFINITION OF BASEMENT. RE: NOTES FOR ADDL INFO AND BASEMENT DEFINITION

LEGEND:

ISSUE	PERMIT SET
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08.18.2021	REVISION 1: PERMIT COMMENTS
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PROJECT:  
**RAINEY RESIDENCE**  
LINCOLN S SW OF 10TH  
CARMEL-BY-THE-SEA, CA 93923

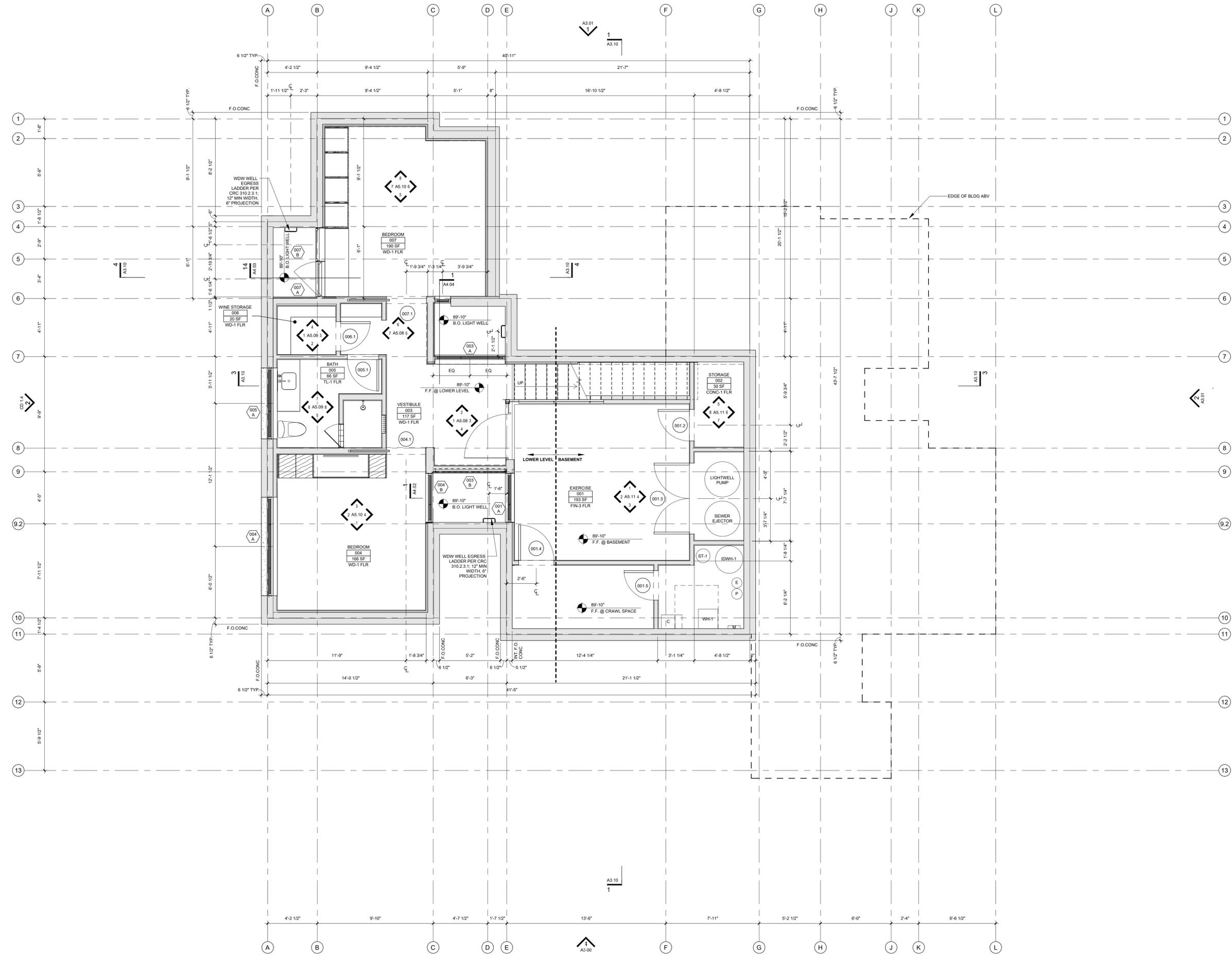
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NORTH: SCALE: 1/4" = 1'-0"

**FLOOR PLAN - LOWER LEVEL**

**A2.11**



**1 FLOOR PLAN - LOWER LEVEL**  
1/4" = 1'-0"



**RAINEY RESIDENCE**

DESIGNER:  
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DAVID STRANDBERG  
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415.778.8726/101

CONTRACTOR:  
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DAVE ALLAIRE  
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831.375.1890

LIGHTING DESIGNER:  
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512.362.1656

CIVIL ENGINEER:  
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AVI BENJAMINI  
720 YORK ST #114  
SAN FRANCISCO, CA 94110  
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ENERGY CONSULTANT:  
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ABE STALLCUP  
2646 CARMEL RANCHO BLVD, ST #8  
CARMEL, CA 93928  
831.372.8328

NOTES:

LEGEND:

ISSUE	PERMIT SET
06.29.2021	PERMIT SET
08.18.2021	REVISION 1: PERMIT COMMENTS
09.16.2021	REVISION 2: PERMIT COMMENTS
07.19.2022	REVISION 4: PERMIT COMMENTS

PROJECT:  
**RAINEY RESIDENCE**  
LINCOLN S SW OF 10TH  
CARMEL-BY-THE-SEA, CA 93923

*Jobe Corral*

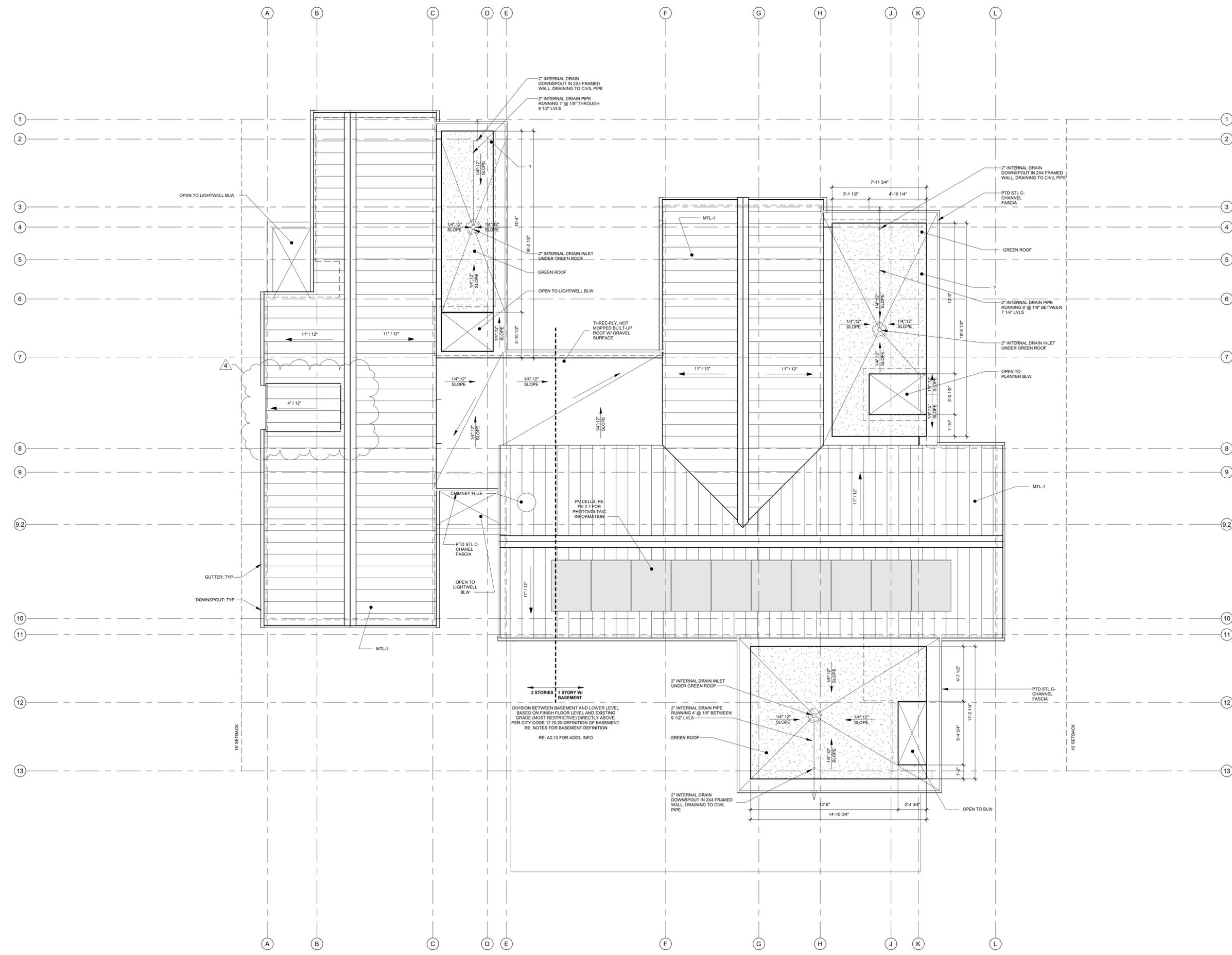
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NORTH: SCALE: 1/4" = 1'-0"

**ROOF PLAN**

**A2.12**





RAINEY RESIDENCE

DESIGNER:  
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ADA CORRAL, AIA  
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512.499.1591

STRUCTURAL ENGINEER:  
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DAVID STRANDBERG  
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415.778.8726x101

CONTRACTOR:  
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DAVE ALLAIRE  
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831.375.1890

LIGHTING DESIGNER:  
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SAN FRANCISCO, CA 94110  
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26465 CARMEL RANCHO BLVD, ST #8  
CARMEL, CA 93928  
831.372.8328

NOTES:

LEGEND:

ISSUE	PERMIT SET
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08.18.2021	REVISION 1: PERMIT COMMENTS
09.16.2021	REVISION 2: PERMIT COMMENTS

PROJECT:  
**RAINEY RESIDENCE**  
LINCOLN S SW OF 10TH  
CARMEL-BY-THE-SEA, CA 93923

PROJECT NUMBER:  
**1914**

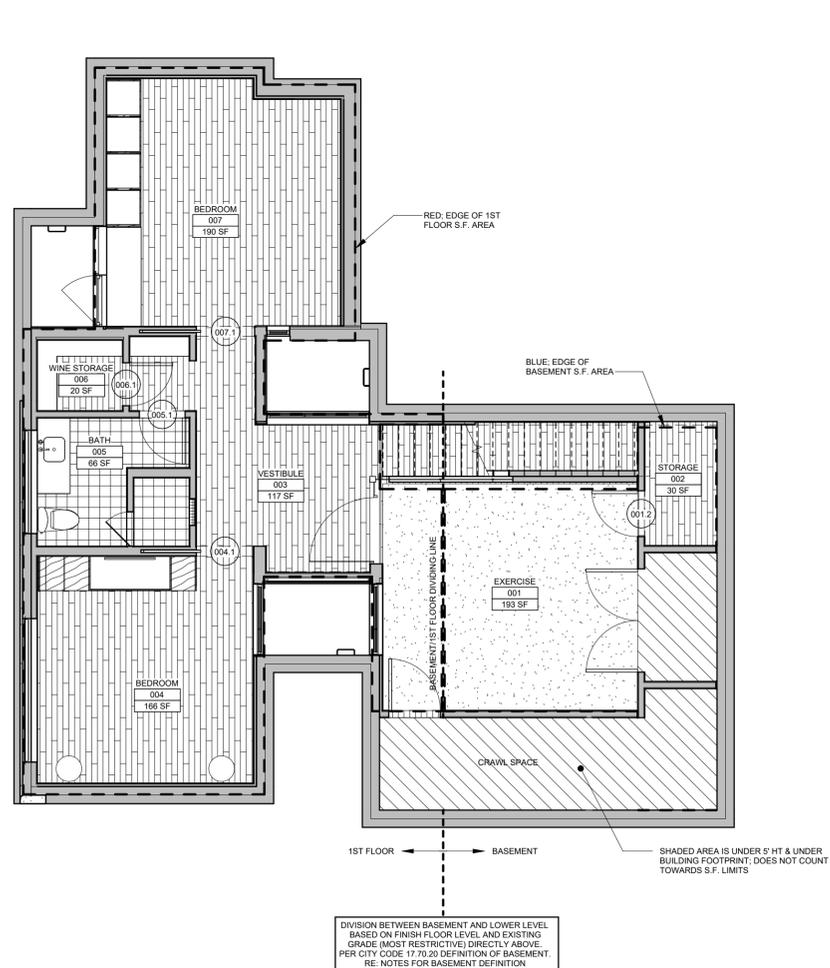
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NORTH:  SCALE: 3/16" = 1'-0"

**AREA CALCULATIONS**

**A2.13**

AREA CALCULATIONS			
BASE FLOOR AREA ALLOWED: 2730 SF			
MAIN LEVEL	1963 SF	2693 SF FLOOR AREA ABOVE GROUND (44 SF OF BASE NOT USED)	2867 SF TOTAL FLOOR AREA
LOWER LEVEL (EXCL. BASEMENT)	730 SF		
BASE FLOOR AREA USED IN BASEMENT	37 SF	174 SF BASEMENT AREA	
BONUS BASEMENT FLOOR AREA (UP TO REMAINING BASE X 2)	37 SF		
EXEMPT BASEMENT BONUS AREA	100 SF		



2 AREA DIAGRAM LOWER LEVEL  
3/16" = 1'-0"



1 AREA DIAGRAM MAIN LEVEL  
3/16" = 1'-0"





**RAINEY RESIDENCE**

DESIGNER:  
JOB CORRAL ARCHITECTS  
ADA CORRAL, AIA  
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AUSTIN, TX 78705  
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STRUCTURAL ENGINEER:  
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CONTRACTOR:  
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AUSTIN, TX 78729  
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CIVIL ENGINEER:  
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720 YORK ST #114  
SAN FRANCISCO, CA 94110  
415.550.2500

ENERGY CONSULTANT:  
MONTEREY ENERGY GROUP, INC.  
ABE STALLCUP  
2646 CARMEL RANCHO BLVD. ST 8  
CARMEL, CA 93928  
831.372.8328

- NOTES:
1. PLATE HEIGHTS SHOWN ARE MEASURED FROM MOST RESTRICTIVE CONDITION OF EITHER EXISTING OR FINISHED GRADE
  2. (N) AND (E) CONTOURS CALCULATED AT FARTHEST PROTRUDING WALL OF HOUSE. RIDGE HEIGHTS CALCULATED AT LOCATION OF RIDGE.

LEGEND:

ISSUE	PERMIT SET
06.29.2021	PERMIT SET
08.18.2021	REVISION 1: PERMIT COMMENTS
07.19.2022	REVISION 4: PERMIT COMMENTS

PROJECT:  
**RAINEY RESIDENCE**  
LINCOLN 5 SW OF 10TH  
CARMEL-BY-THE-SEA, CA 93923

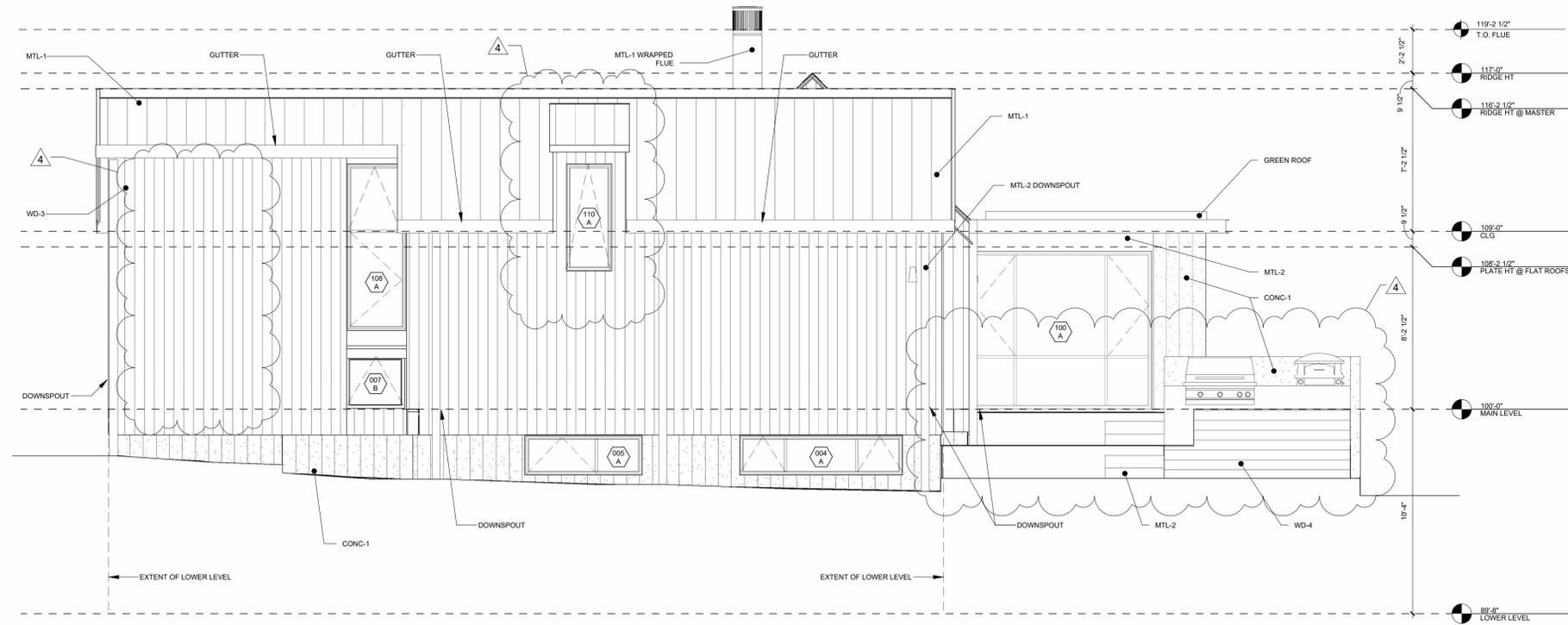
PROJECT NUMBER:  
**1914**

07.11.2022  
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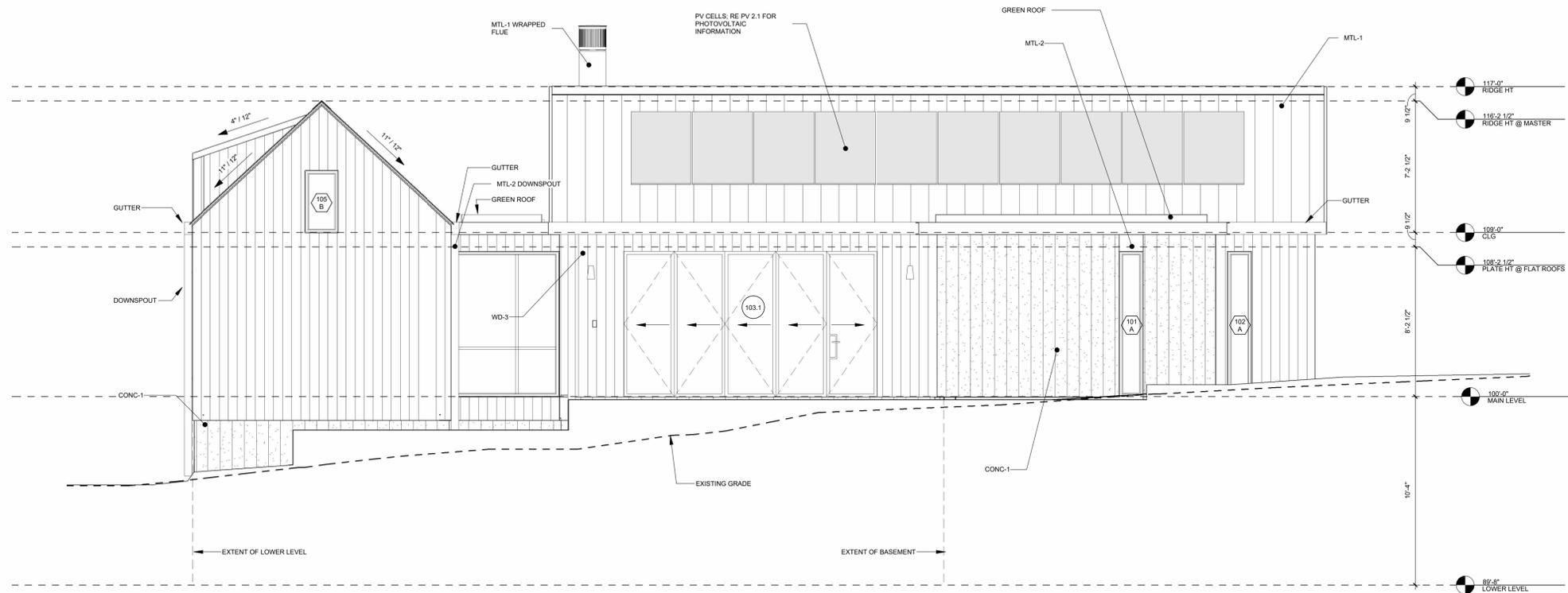
NORTH:  
SCALE:  
**1/4" = 1'-0"**

**EXTERIOR ELEVATIONS**

**A3.00**



**2 WEST ELEVATION**  
1/4" = 1'-0"



**1 SOUTH ELEVATION**  
1/4" = 1'-0"



**RAINEY RESIDENCE**

DESIGNER:  
JOBE CORRAL ARCHITECTS  
ADA CORRAL, AIA  
505 W. 38TH STREET, STE B  
AUSTIN, TX 78705  
512.499.1591

STRUCTURAL ENGINEER:  
STRANDBERG ENGINEERING  
DAVID STRANDBERG  
1511 15TH STREET  
SAN FRANCISCO, CA 94103  
415.778.8726x101

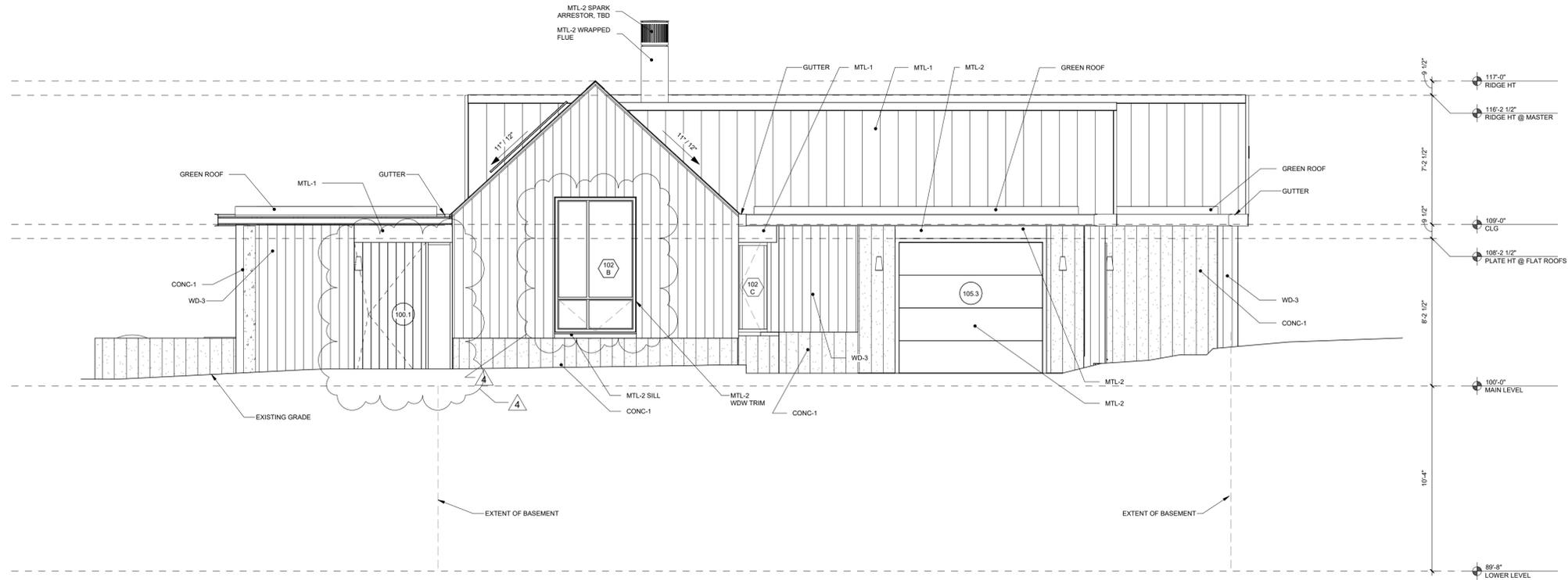
CONTRACTOR:  
STOCKER & ALLAIRE  
DAVE ALLAIRE  
21 MANDEVILLE COURT  
MONTEREY, CA 93940  
831.375.1890

LIGHTING DESIGNER:  
STUDIO LUMINA  
CHRISTINE BROWN  
9411 CHARLIE DOWN STREET  
AUSTIN, TX 78729  
512.362.1656

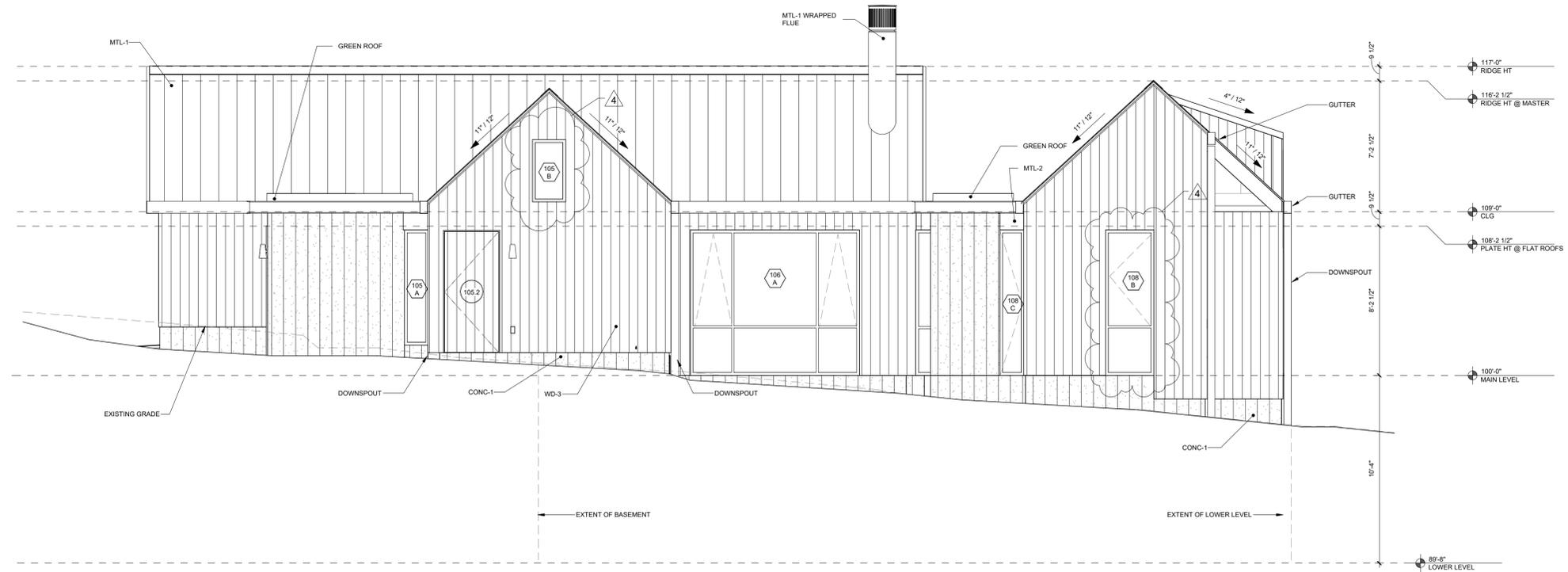
CIVIL ENGINEER:  
BENJAMINI, INC  
AVI BENJAMINI  
720 YORK ST #114  
SAN FRANCISCO, CA 94110  
415.550.2600

ENERGY CONSULTANT:  
MONTEREY ENERGY GROUP, INC.  
ABE STALLCUP  
26465 CARMEL RANCHO BLVD, ST #8  
CARMEL, CA 93928  
831.372.8328

NOTES:  
1. PLATE HEIGHTS SHOWN ARE MEASURED FROM MOST RESTRICTIVE CONDITION OF EITHER EXISTING OR FINISHED GRADE.  
2. (N) AND (E) CONTOURS CALCULATED AT FARTHEST PROTRUDING WALL OF HOUSE. RIDGE HEIGHTS CALCULATED AT LOCATION OF RIDGE.



**2 EAST ELEVATION**  
1/4" = 1'-0"



**1 NORTH ELEVATION**  
1/4" = 1'-0"

LEGEND:

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PROJECT:  
**RAINEY RESIDENCE**  
LINCOLN S SW OF 10TH  
CARMEL-BY-THE-SEA, CA 93923

**FOR REVIEW ONLY**  
*Not for regulatory approval, permit or construction.*  
PROJECT NUMBER:  
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NORTH: SCALE:  
**1/4" = 1'-0"**

**EXTERIOR ELEVATIONS**

**A3.01**



**RAINEY RESIDENCE**

DESIGNER:  
JOBE CORRAL ARCHITECTS  
ADA CORRAL, AIA  
505 W. 38TH STREET, STE B  
AUSTIN, TX 78705  
512.499.1591

STRUCTURAL ENGINEER:  
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DAVID STRANDBERG  
1511 15TH STREET  
SAN FRANCISCO, CA 94103  
415.778.8726/101

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831.372.8528

NOTES:

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PROJECT:  
**RAINEY RESIDENCE**  
LINCOLN S SW OF 10TH  
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*Jobe Corral*

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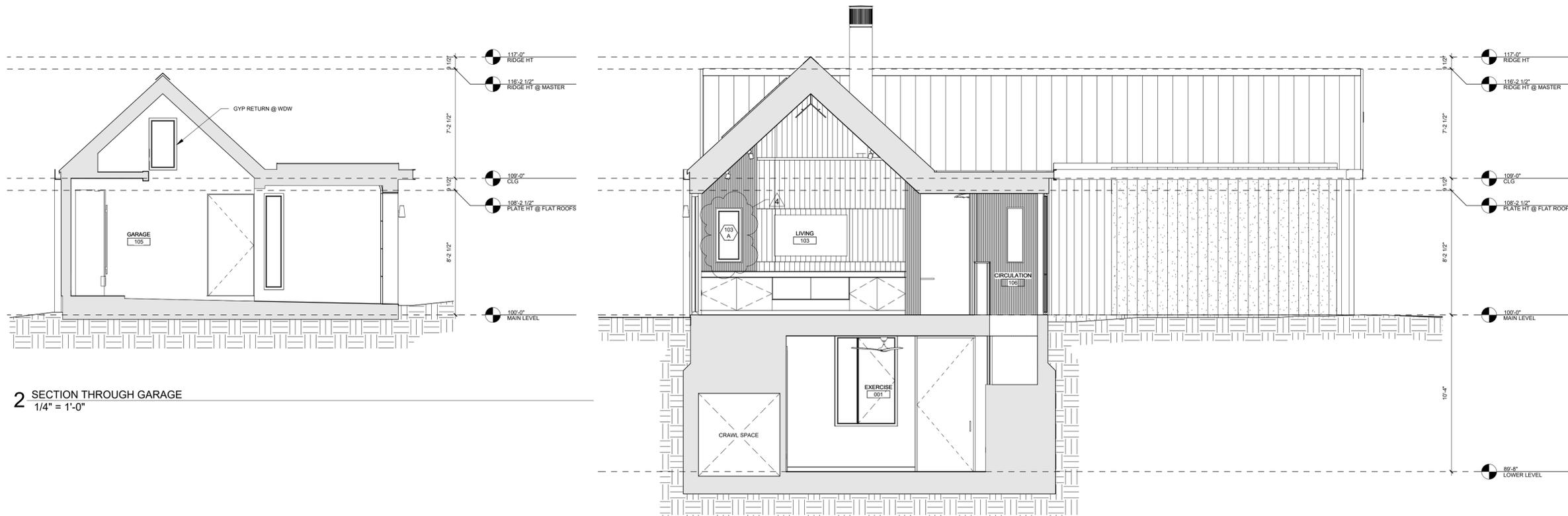
**BUILDING SECTIONS**

**A3.10**



**4 SECTION THROUGH MASTER**  
1/4" = 1'-0"

**3 SECTION THROUGH CIRCULATION**  
1/4" = 1'-0"



**2 SECTION THROUGH GARAGE**  
1/4" = 1'-0"

**1 SECTION THROUGH LIVING/CIRCULATION**  
1/4" = 1'-0"



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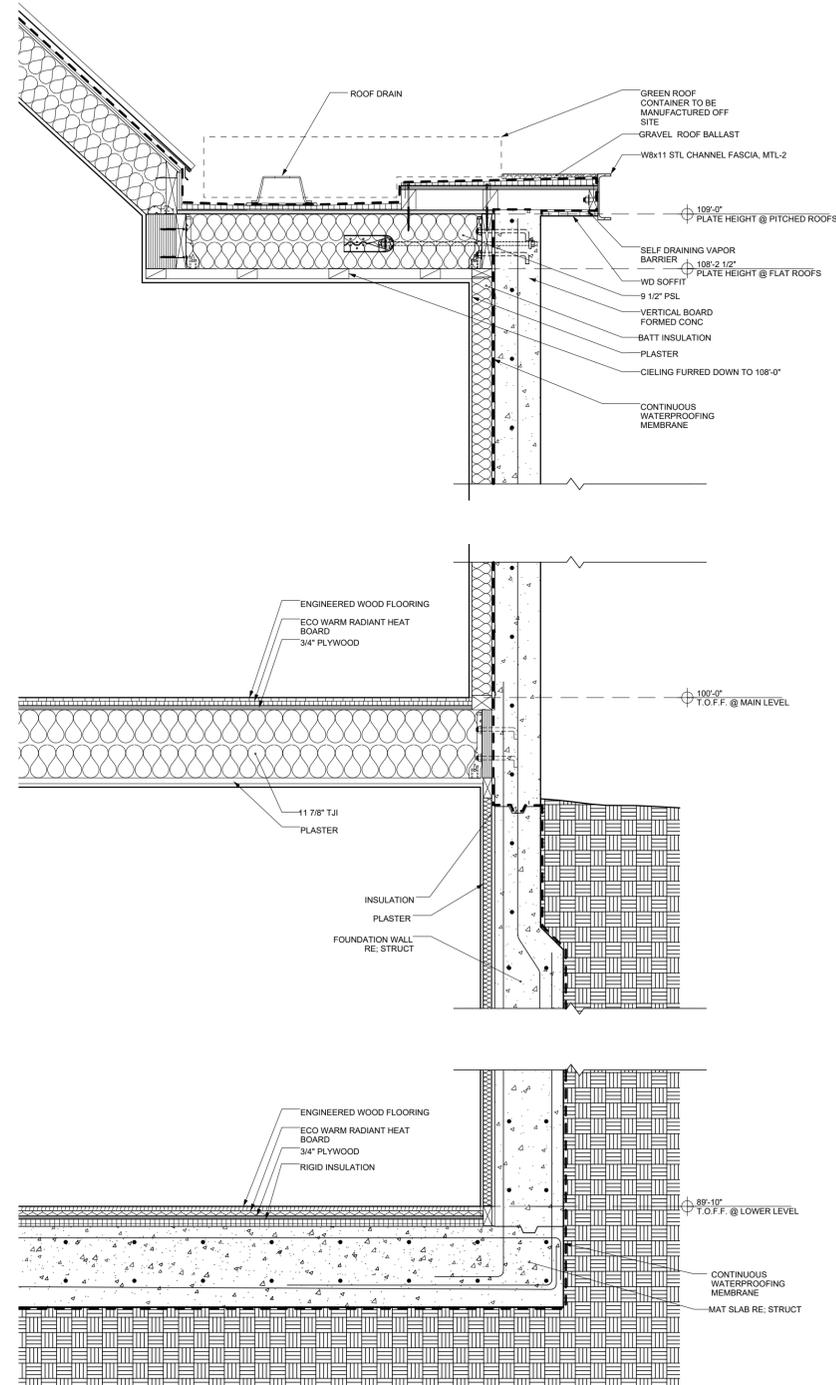
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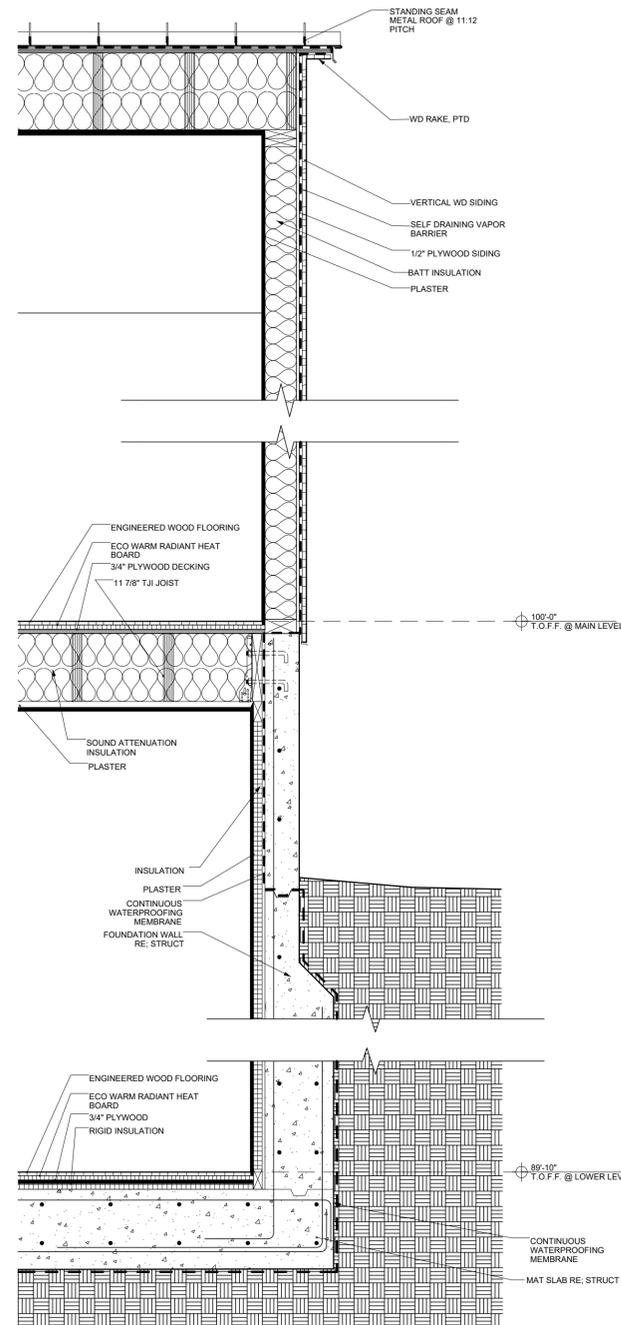
NORTH: SCALE: **3/4" = 1'-0"**

**WALL SECTIONS**

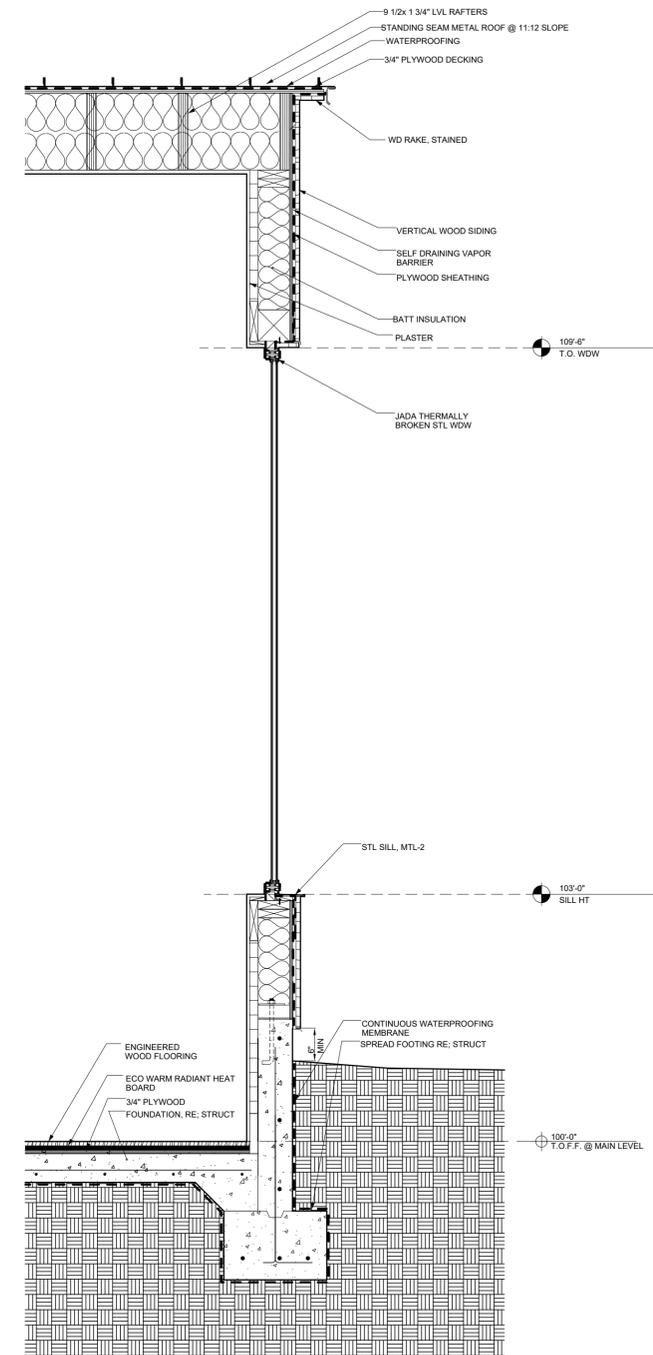
**A4.00**



**3 WALL SECTION**  
3/4" = 1'-0"



**2 WALL SECTION**  
3/4" = 1'-0"



**1 WALL SECTION**  
3/4" = 1'-0"



**RAINEY RESIDENCE**

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415.778.8726x101

CONTRACTOR:  
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DAVE ALLAIRE  
21 MANDEVILLE COURT  
MONTEREY, CA 93940  
831.375.1890

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CARMEL, CA 93928  
831.372.8328

NOTES:

LEGEND:

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PROJECT:  
**RAINEY RESIDENCE**  
LINCOLN S SW OF 10TH  
CARMEL-BY-THE-SEA, CA 93923

*Jobe Corral*

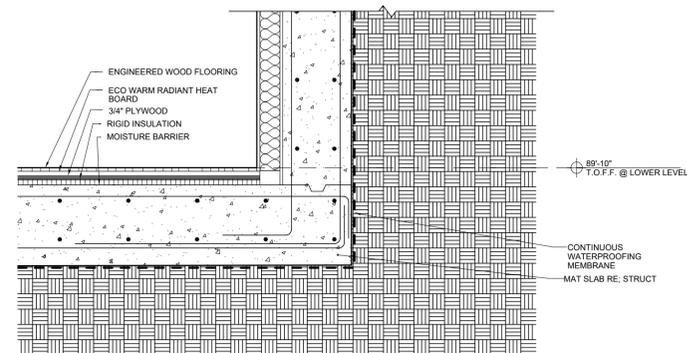
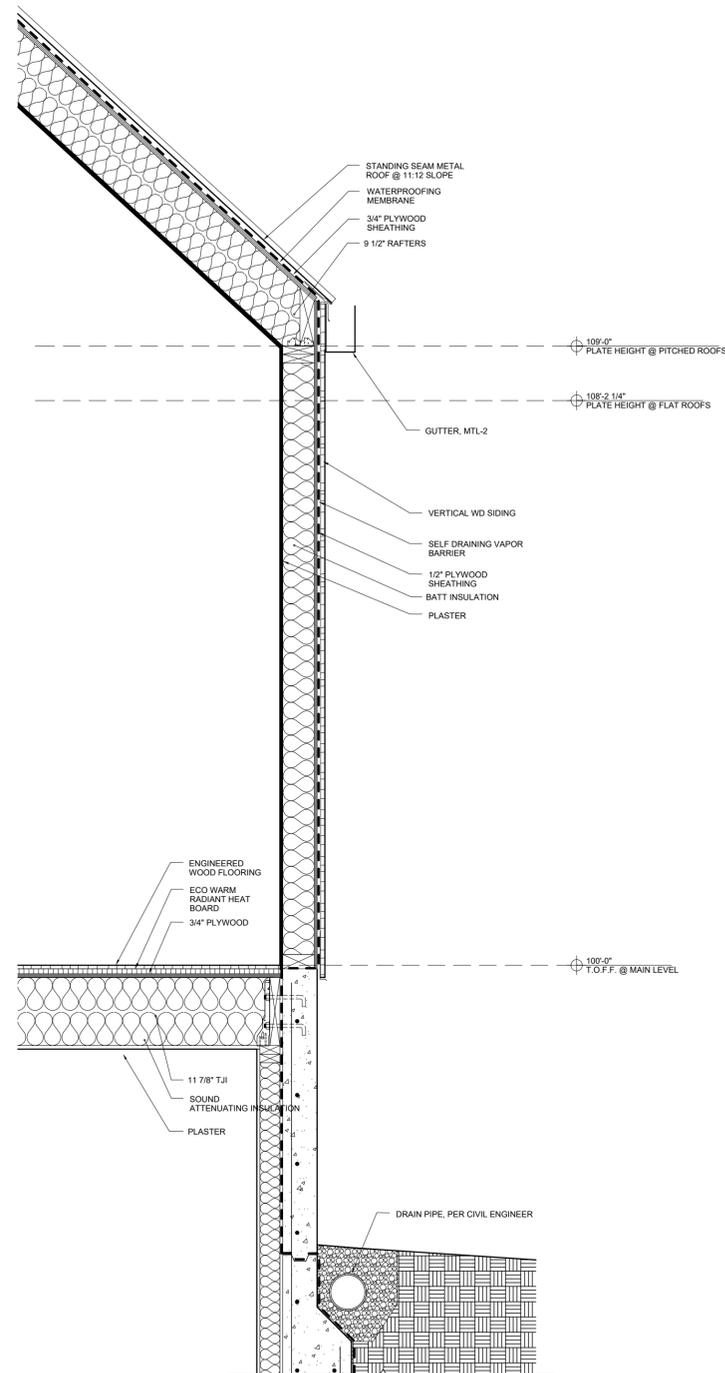
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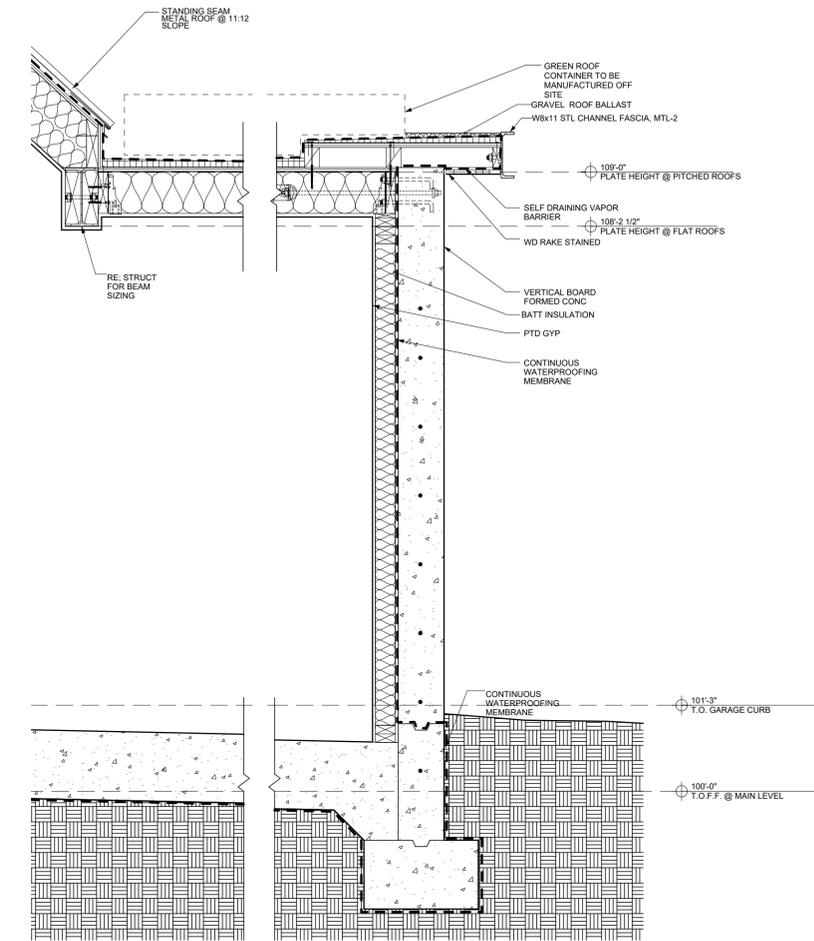
NORTH: SCALE:  
**3/4" = 1'-0"**

**WALL SECTIONS**

**A4.01**



**2 WALL SECTION**  
3/4" = 1'-0"



**1 WALL SECTION**  
3/4" = 1'-0"



**RAINEY RESIDENCE**

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CARMEL, CA 93928  
831.372.8528

- NOTES:
1. ALL WINDOW ELEVATIONS ARE EXTERIOR FACE OF WINDOW
  2. ALL CASEMENT AND AWNING ARE OUTSTANDING U.O.N.

LEGEND:  
\* TEMPERED

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06.29.2021	REVISION 1: PERMIT COMMENTS
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PROJECT:  
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LINCOLN S SW OF 10TH  
CARMEL-BY-THE-SEA, CA 93923

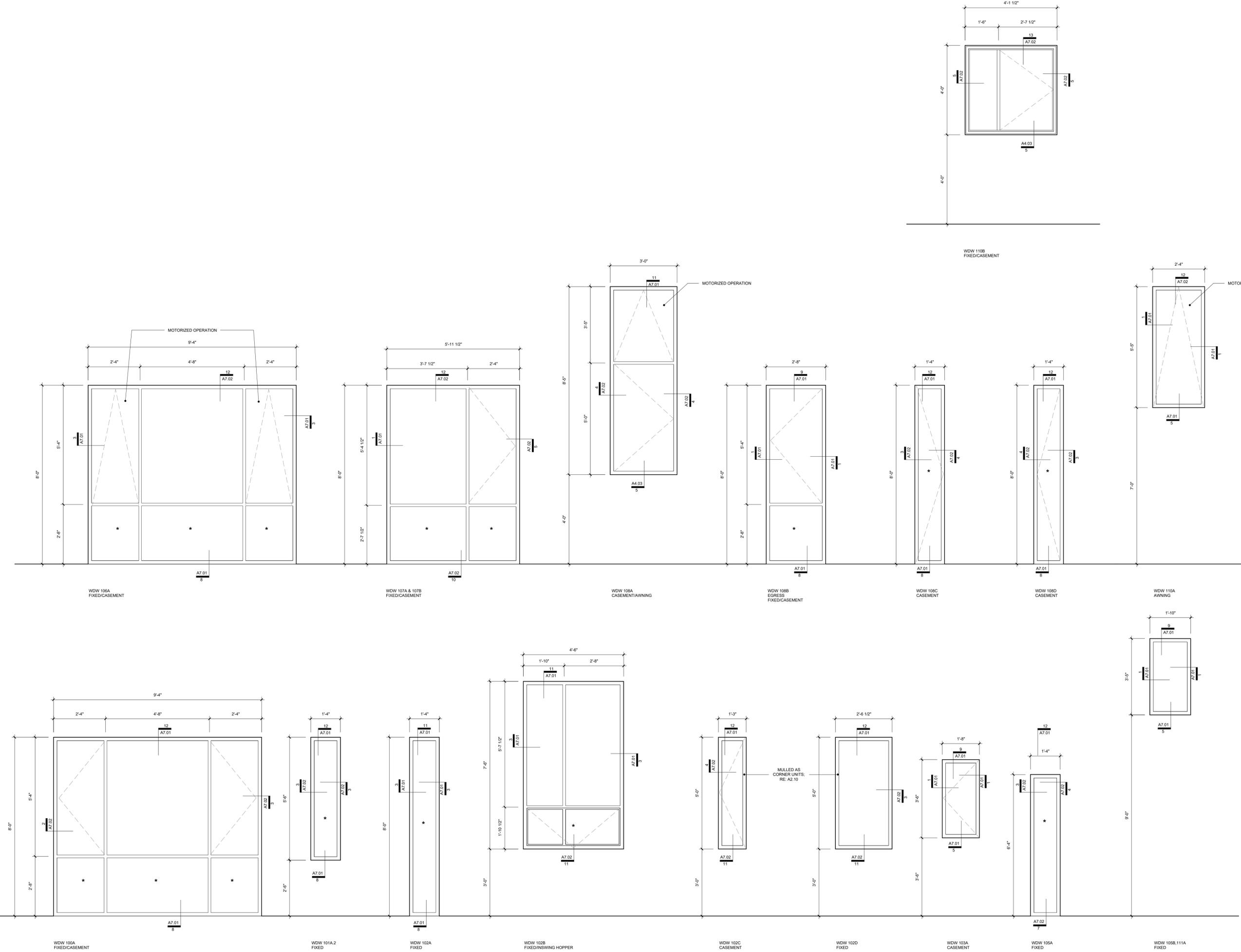
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NORTH: SCALE:  
As indicated

**WINDOW SCHEDULE**

**A6.00**





**RAINEY RESIDENCE**

DESIGNER:  
JOBE CORRAL ARCHITECTS  
ADA CORRAL, AIA  
505 W. 38TH STREET, STE B  
AUSTIN, TX 78705  
512.499.1591

STRUCTURAL ENGINEER:  
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CARMEL, CA 93928  
831.372.8328

NOTES:

LEGEND:

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PROJECT:  
**RAINEY RESIDENCE**  
LINCOLN S SW OF 10TH  
CARMEL-BY-THE-SEA, CA 93923

*Jobe Corral*

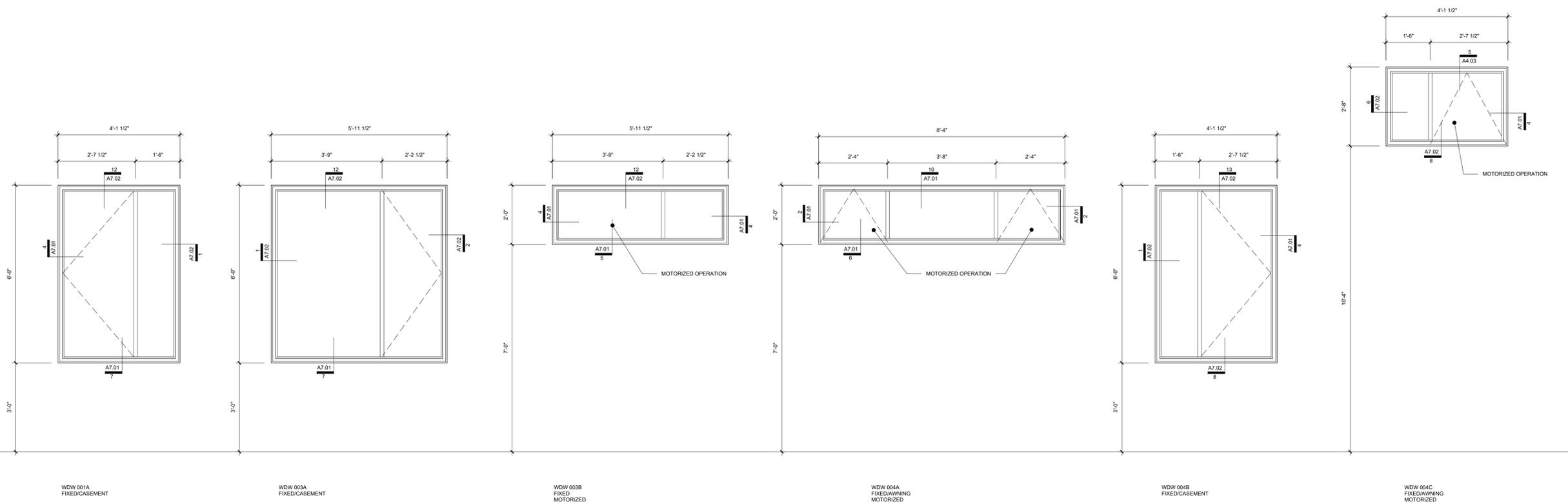
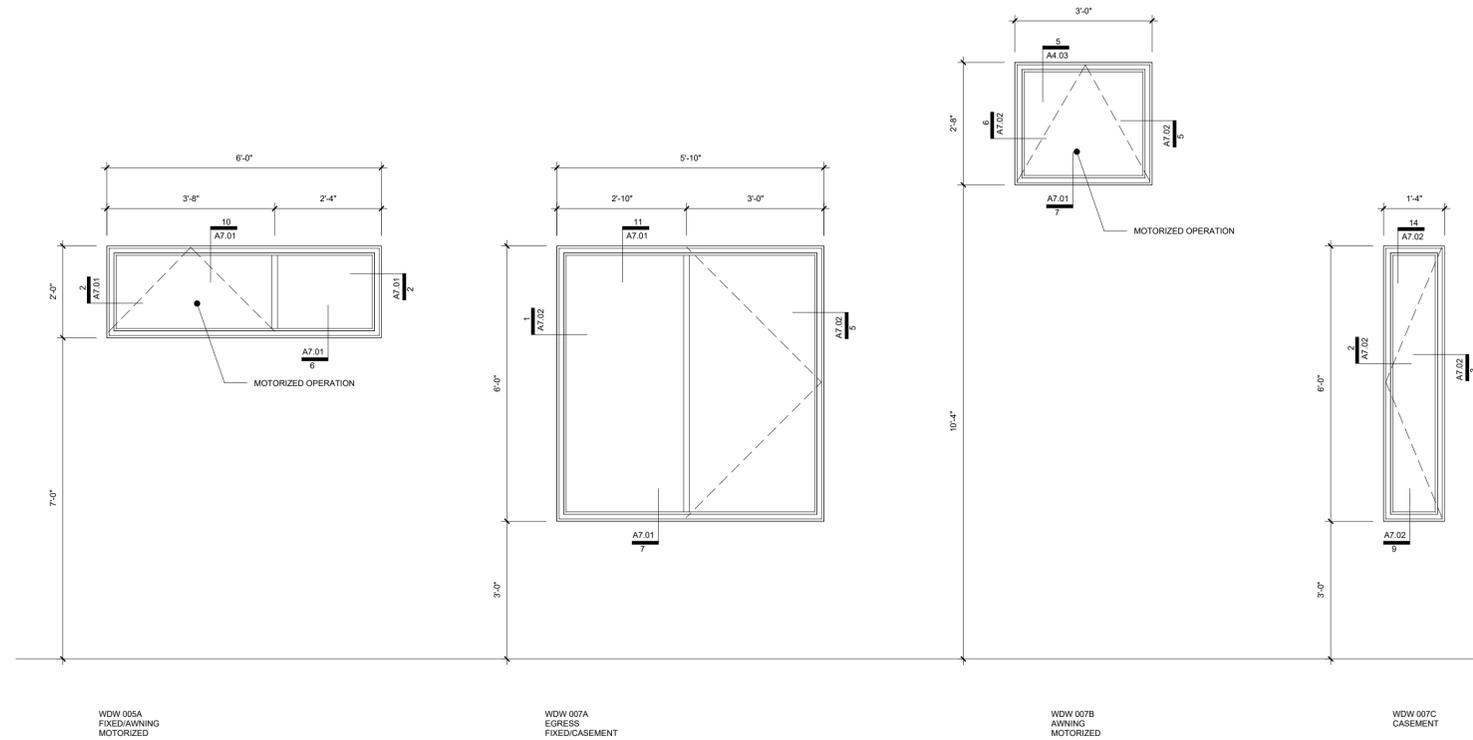
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WITHOUT THE WRITTEN CONSENT OF THE  
ARCHITECT.

NORTH: SCALE:  
**1/2" = 1'-0"**

**WINDOW SCHEDULE**

**A6.01**





RAINEY RESIDENCE

DESIGNER:  
JOBE CORRAL ARCHITECTS  
ADA CORRAL, AIA  
505 W. 38TH STREET, STE B  
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LINCOLN S SW OF 10TH  
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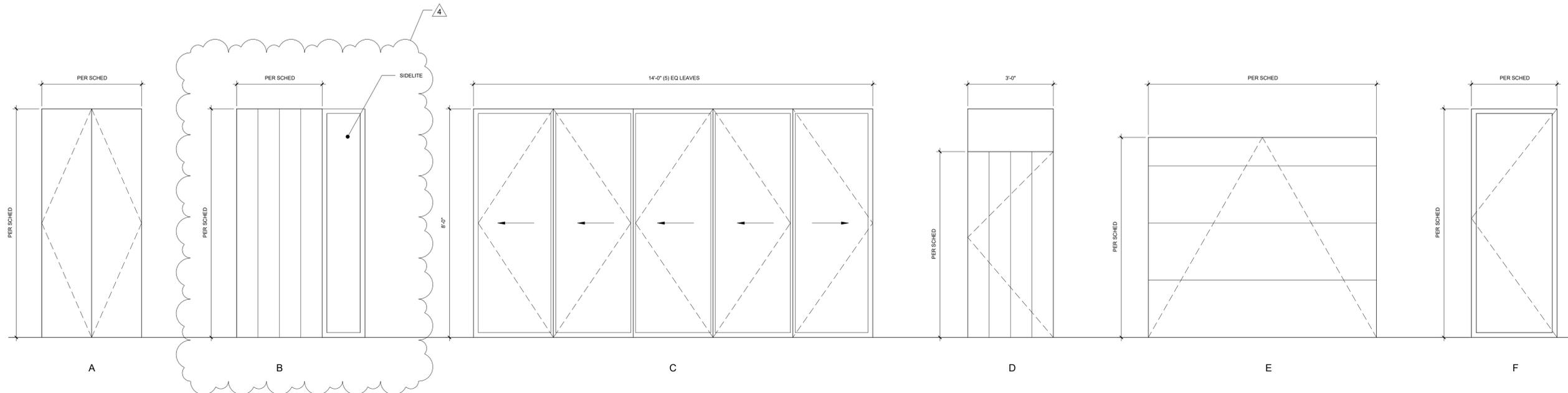
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NORTH: SCALE: 1/2" = 1'-0"

DOOR SCHEDULE

A6.02

DOOR SCHEDULE												
NUMBER	TYPE	NUMBER OF PANELS	WIDTH	HEIGHT	INTERIOR	EXTERIOR	OPERATION	DOOR MATERIAL	U-FACTOR	FIRE RATING	HARDWARE TYPE	NOTES
LOWER LEVEL												
001.1	F	1	3'-8 3/4"	8'-9 7/8"			SWING	STL/GLASS				
001.2	A	1	2'-8"	8'-0"	•		SWING	PTD WD	-			
001.3	A	2	6'-0"	8'-0"	•		SWING	PTD WD				
001.4	A	1	3'-0"	8'-0"	•		SWING	PTD WD				
001.5	A	1	2'-6"	8'-0"	•		SWING	PTD WD				
004.1	A	1	3'-3 3/4"	9'-0"	•		POCKET	WD-2	-			
005.1	A	1	2'-8"	7'-0"	•		SWING	PTD WD	-			
006.1	A	1	2'-6"	7'-0"	•		SWING	PTD WD	-			
007.1	A	1	3'-4 3/4"	9'-0"	•		POCKET	PTD WD/GLASS	-			GLASS TYPE GL TO MATCH STAIR GLASS
MAIN LEVEL												
100.1	B	1	4'-0"	8'-0"		•	PIVOT	PTD WD/GLASS				
101.1	A	1	2'-6"	8'-0"	•		POCKET	PTD WD				
103.1	C	5	14'-0"	7'-7"		•	BIFOLD	STL/GLASS				
105.1	A	1	2'-8"	6'-8"	•		SWING	PTD WD	-			SELF CLOSING AND SELF LATCHING
105.2	D	1	3'-0"	6'-8"		•	SWING	WD-3	-			
105.3	E	1	8'-0"	7'-3 1/2"		•	OVERHEAD	PTD STL	-			
107.1	A	1	7'-9"	8'-0"	•		POCKET	SASH	-			DOOR TO BE SKINNED IN LIGHT GAUGE STEEL FINISH T.B.D.
108.1	A	1	2'-6"	8'-0"	•		SWING	WD-2	-			
109.1	A	1	2'-6"	8'-0"	•		SWING	WD-2	-			
110.1	A	1	2'-6"	8'-0"	•		SWING	WD-2	-			







**RAINEY RESIDENCE**

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831.372.8528

NOTES:

LEGEND:

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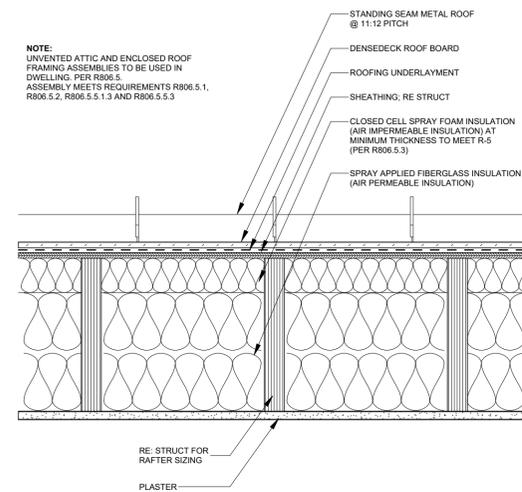
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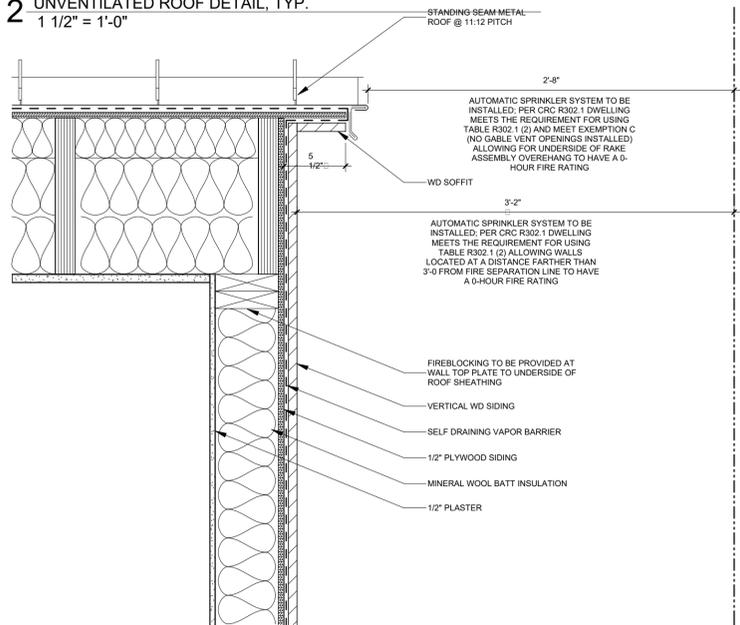
NORTH: SCALE:  
**1 1/2" = 1'-0"**

**EXTERIOR DETAILS**

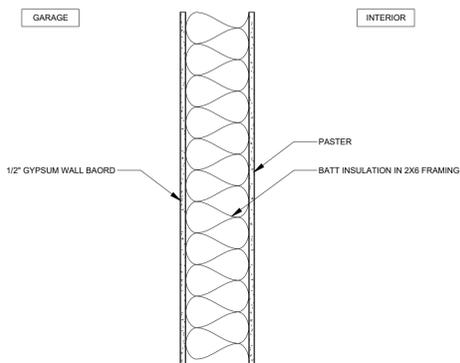
**A7.00**



**2 UNVENTILATED ROOF DETAIL, TYP.**  
1 1/2" = 1'-0"



**1 RAKE DETAIL @ MASTER BEDROOM 108**  
1 1/2" = 1'-0"



**3 GARAGE/INTERIOR WALL SECTION**  
1 1/2" = 1'-0"

NOTE:  
UNVENTED ATTIC AND ENCLOSED ROOF FRAMING ASSEMBLIES TO BE USED IN DWELLING PER R806.5. ASSEMBLY MEETS REQUIREMENTS R806.5.1, R806.5.2, R806.5.5.1.3 AND R806.5.5.3

AUTOMATIC SPRINKLER SYSTEM TO BE INSTALLED PER CRC R302.1 DWELLING MEETS THE REQUIREMENT FOR USING TABLE R302.1 (2) AND MEET EXEMPTION C (NO GABLE VENT OPENINGS INSTALLED) ALLOWING FOR UNDERSIDE OF RAKE ASSEMBLY OVERHANGING TO HAVE A 0-HOUR FIRE RATING

AUTOMATIC SPRINKLER SYSTEM TO BE INSTALLED PER CRC R302.1 DWELLING MEETS THE REQUIREMENT FOR USING TABLE R302.1 (2) ALLOWING WALLS LOCATED AT A DISTANCE FARTHER THAN 3'-0" FROM FIRE SEPARATION LINE TO HAVE A 0-HOUR FIRE RATING

FIREBLOCKING TO BE PROVIDED AT WALL TOP PLATE TO UNDERSIDE OF ROOF SHEATHING  
VERTICAL WD SIDING  
SELF DRAINING VAPOR BARRIER  
1/2" PLYWOOD SIDING  
MINERAL WOOL BATT INSULATION  
1/2" PLASTER



**RAINEY RESIDENCE**

**DESIGNER:**  
 JOBE CORRAL ARCHITECTS  
 ADA CORRAL, AIA  
 505 W. 38TH STREET, STE B  
 AUSTIN, TX 78705  
 512.496.1591

**STRUCTURAL ENGINEER:**  
 STRANDBERG ENGINEERING  
 DAVID STRANDBERG  
 1511 15TH STREET  
 SAN FRANCISCO, CA 94103  
 415.778.8726/101

**CONTRACTOR:**  
 STUDIO LUMINA  
 DAVE ALLAIRE  
 21 MANDEVILLE COURT  
 MONTEREY, CA 93940  
 831.375.1890

**LIGHTING DESIGNER:**  
 STUDIO LUMINA  
 CHRISTINE BROWN  
 9411 CHAPEL DOWN STREET  
 AUSTIN, TX 78729  
 512.382.1656

**CIVIL ENGINEER:**  
 BENJAMINI, INC  
 AVI BENJAMINI  
 720 YORK ST #114  
 SAN FRANCISCO, CA 94110  
 415.550.2600

**ENERGY CONSULTANT:**  
 MONTEREY ENERGY GROUP, INC.  
 ABE STALLCUP  
 25465 CARMEL RANCHO BLVD. ST #8  
 CARMEL, CA 93929  
 831.372.8328

NOTES:

LEGEND:

ISSUE:	PERMIT SET
06.28.2021	REVISION 1: PERMIT COMMENTS
08.18.2021	REVISION 2: PERMIT COMMENTS
09.16.2021	REVISION 3: PERMIT COMMENTS

**PROJECT:**  
 RAINNEY RESIDENCE  
 LINCOLN S SW OF 10TH  
 CARMEL-BY-THE-SEA, CA 93923

**PROJECT NUMBER:**  
 1914

07.19.2022  
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**NORTH:** **SCALE:** 1/4" = 1'-0"

**ARCHITECTURAL EXTERIOR LIGHTING PLAN**

**A7.20**

**LED wall luminaire - directed light**

**Application:**  
 As an individual luminaire with low mounting heights, it can be used for making danger areas or fire exits for illuminating corridors and passageways. With high mounting heights it can be used as a wall luminaire next to doors or for lighting small wall areas.

**Materials:**  
 Luminaire housing constructed of die-cast magna grade, copper free (60.3% copper content) A3003 aluminum alloy.  
 Lens: safety glass.  
 High temperature silicone gasket.  
 Mechanically captive stainless steel fasteners.  
**NRTL** listed to North American Standards, suitable for wet locations.  
 Protection class: IP66.  
 Weight: 1.1 lbs.

**Electrical:**  
 Operating voltage: 120-277VAC  
 Minimum start temperature: -30°C  
 LED module wattage: 3.0W  
 System wattage: 3.5W  
 Controllability: 0-100% dimmable  
 Color rendering index: Ra > 90  
 Luminaire lifetime: 25k hours (3000h)  
 Lifetime at Ta = 15°C: >500,000 h (L70)  
 Lifetime at Ta = 40°C: 250,000 h (L70)

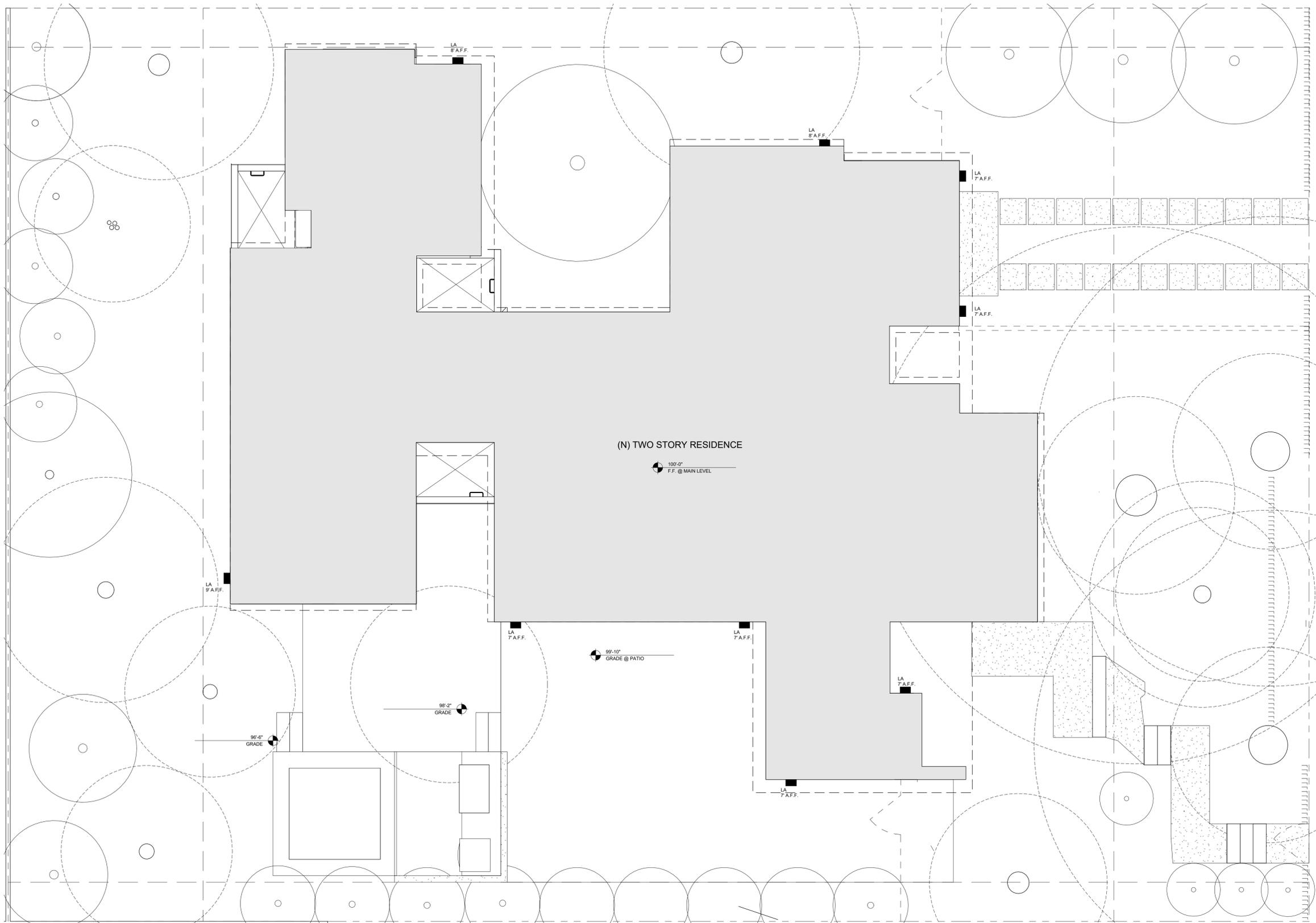
**LED color temperature:**  
 4000K - Product number - K4  
 3500K - Product number - K25  
 3000K - Product number - K3 (EXPRESS)  
 2700K - Product number - K27

**Finish:**  
 All BEGA standard finishes are matte, textured polyester powder coat with maximum 0.1 mil thickness.  
 Available colors: Black (BLK) White (WHT)RAL: Bronze (BRZ) Silver (SLV) CUS:

**LED wall luminaire - directed light**

33514 1000 0.07m 270 170 210 195mm

BEGA 1000 BEGA Wieg, Carpinteria, CA 90013 805.681.0033 info@bega-us.com  
 Due to the dynamic nature of lighting products and the associated technology, luminaire colors may be subject to change at the discretion of BEGA North America. For the most current technical data please visit: [www.bega-us.com](http://www.bega-us.com)  
 © copyright BEGA 2018



**1 ARCHITECTURAL EXTERIOR LIGHTING PLAN**  
 1/4" = 1'-0"



**RAINEY RESIDENCE**

DESIGNER:  
JOSE CORRAL ARCHITECTS  
ADA CORRAL, AIA  
505 W. 38TH STREET, STE B  
AUSTIN, TX 78705  
512.499.1591

STRUCTURAL ENGINEER:  
STRANDBERG ENGINEERING  
DAVID STRANDBERG  
1511 15TH STREET  
SAN FRANCISCO, CA 94103  
415.778.8726x101

CONTRACTOR:  
STOCKER & ALLAIRE  
DAVE ALLAIRE  
21 MANDEVILLE COURT  
MONTEREY, CA 93940  
831.375.1890

LIGHTING DESIGNER:  
STUDIO LUMINA  
CHRISTINE BROWN  
9411 CHARLIE DOWN STREET  
AUSTIN, TX 78729  
512.362.1656

CIVIL ENGINEER:  
BENJAMINI, INC  
AVI BENJAMINI  
720 YORK ST #114  
SAN FRANCISCO, CA 94110  
415.550.2600

ENERGY CONSULTANT:  
MONTEREY ENERGY GROUP, INC.  
ABE STALLCUP  
26465 CARMEL RANCHO BLVD. ST #8  
CARMEL, CA 93928  
831.372.8328

- NOTES:
1. CONFIRM INSTALLATION REQS FOR ALL MECH. APPLIANCES W/ MFR.
  2. T.O. ALL CONC-1 WALLS GRIND TO TERRAZZO FINISH, TYP.

LEGEND:

ISSUE	REVISION	COMMENTS
07.19.2022	REVISION 4	PERMIT COMMENTS

PROJECT:  
**RAINEY RESIDENCE**  
LINCOLN S SW OF 10TH  
CARMEL-BY-THE-SEA, CA 93923

*Jose Corral*

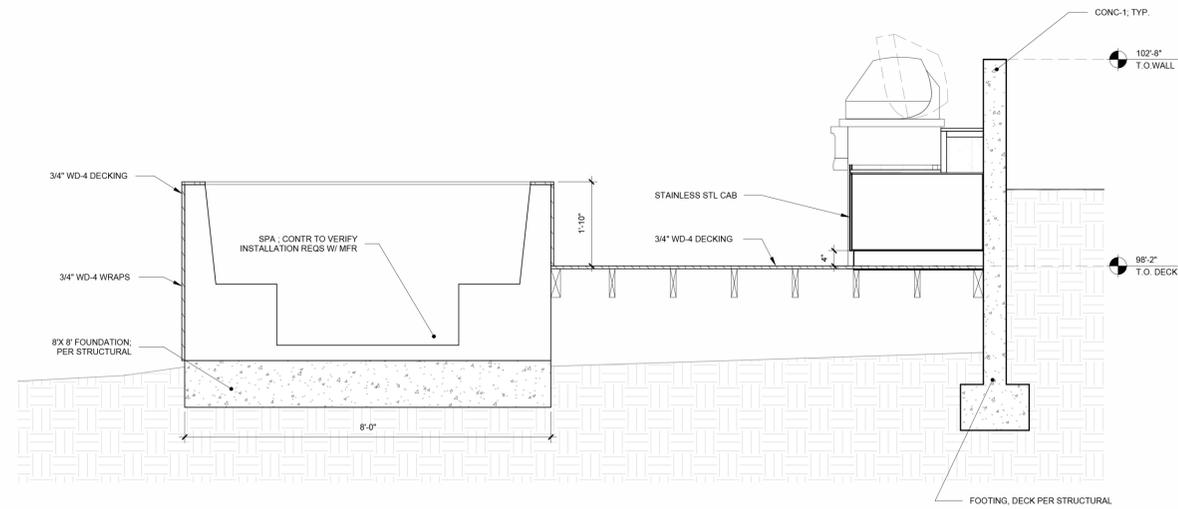
PROJECT NUMBER:  
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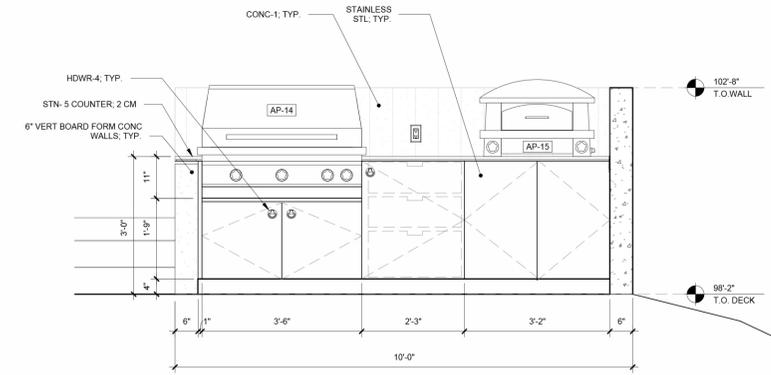
NORTH: SCALE: **1/2" = 1'-0"**

**OUTDOOR KITCHEN AND SPA**

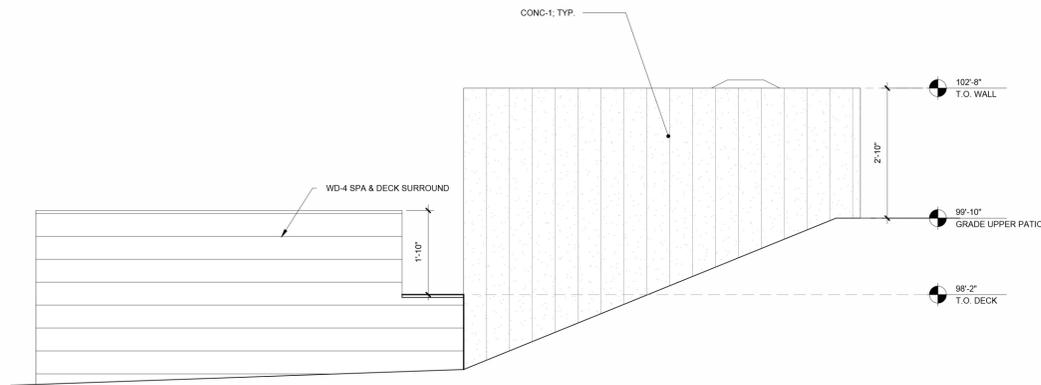
**A8.20**



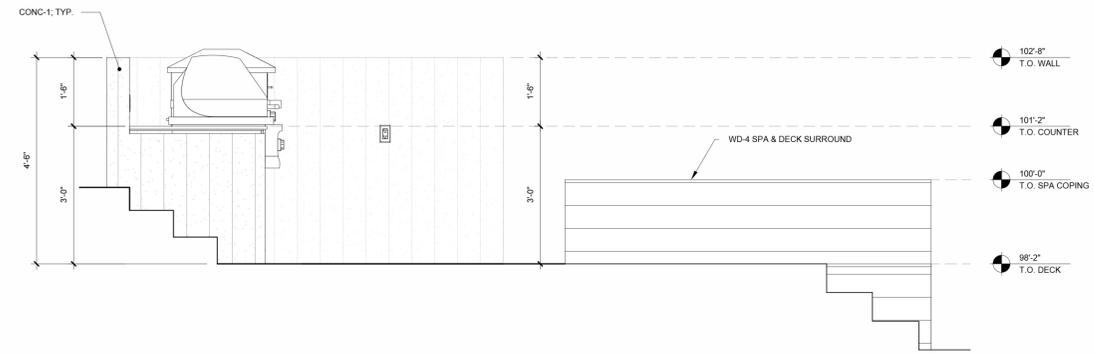
**7 SECTION THROUGH OUTDOOR KITCHEN AND SPA**  
1/2" = 1'-0"



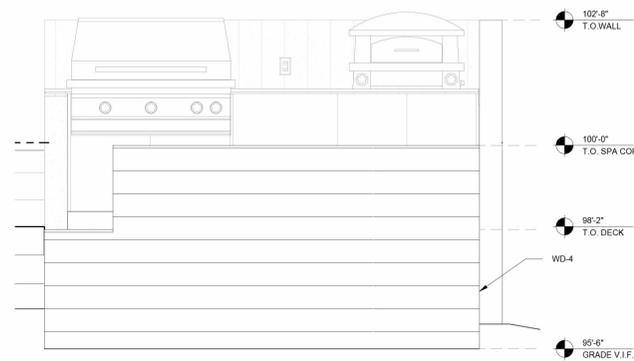
**6 WEST ELEVATION - OUTDOOR KITCHEN**  
1/2" = 1'-0"



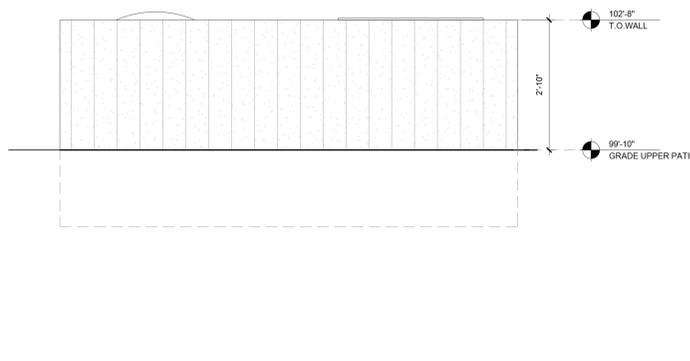
**5 SOUTH ELEVATION - OUTDOOR KITCHEN AND SPA**  
1/2" = 1'-0"



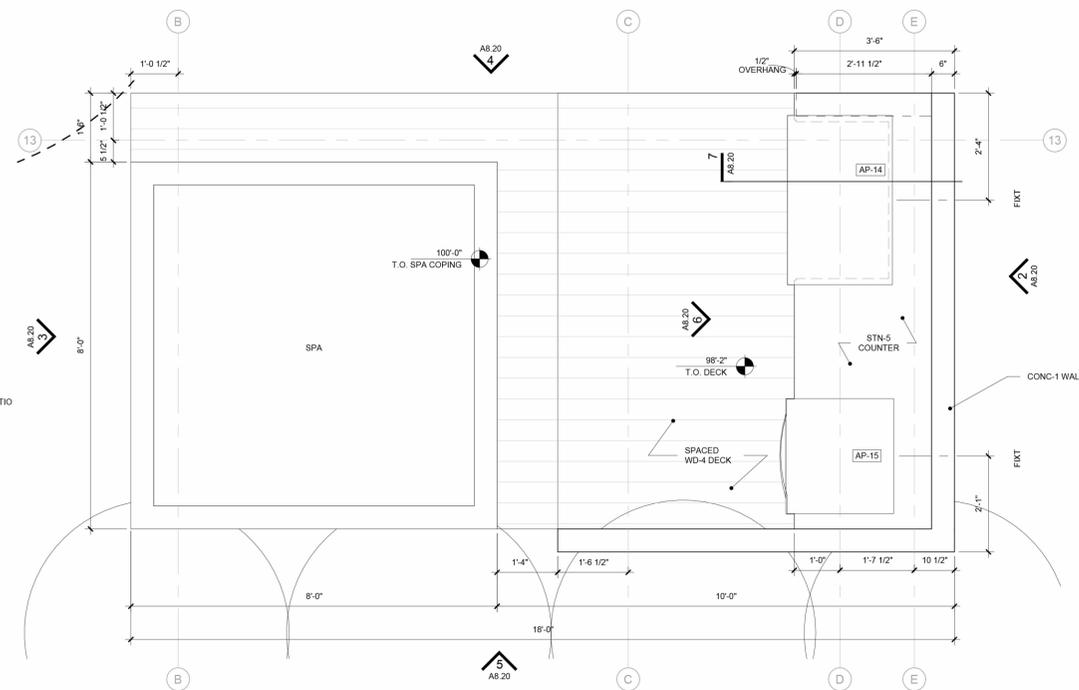
**4 NORTH ELEVATION - OUTDOOR KITCHEN AND SPA**  
1/2" = 1'-0"



**3 WEST ELEVATION - SPA**  
1/2" = 1'-0"



**2 EAST ELEVATION - OUTDOOR KITCHEN**  
1/2" = 1'-0"



**1 OUTDOOR KITCHEN ENLARGED PLAN**  
1/2" = 1'-0"