



## NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

**Planning Case #:** Design Study 23379

**Owner Name:** KUKUS NEST LLC

**Case Planner:** Alec Barton, Contract Planner

**Date Posted:** \_\_\_\_\_

**Date Approved:**

**Project Location:** Casanova 3 SW of 7th

**APN #:** 010262002000      **BLOCK/LOT:** H/ALL LOT 7

**Applicant:** BLS Permit Facilitation

**Project Description:** Replace rotten doors and windows to match existing. Trim and paint to match existing. Repair rotting deck boards and railings; kitchen and bathroom remodel.

**Can this project be appealed to the Coastal Commission?** Yes ☐ No ☒

*Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.*

| CONDITIONS OF APPROVAL |  |
|------------------------|--|
| No.                    | Standard Conditions  |
| 1.                     | <b>Authorization.</b> This approval of Design Study application DS 23-379 (Kuku’s Nest, LLC) finds the subject application consistent with the findings and requirements of CMC 17.10.030, and authorizes minor exterior modifications to the existing residence including replacement of rotten doors and windows to match existing, trim and paint to match existing, and repairs of rotting deck boards and railings at Casanova 3 SW of 7th in the Single-Family Residential (R-1) zoning district, as depicted on plans marked approved by the Planning Division on February 9, 2024.   |
| 2.                     | <b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Community Planning and Building Department, the Planning Commission, and/or Historic Resources Board, as appropriate.   |
| 3.                     | <b>Permit Validity.</b> In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.   |
| 4.                     | <b>Modifications.</b> The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to final inspection.  |
| 5.                     | <b>Water Use.</b> Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this permit will be scheduled for reconsideration, and appropriate findings will be prepared for review and adoption by the Planning Commission.  |
| 6.                     | <b>Exterior Revisions to Planning Approval Form.</b> All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the “Revisions to Planning Approval” form on file in the Planning and Building Department. Any modification incorporated into construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.  |
| 7.                     | <p><b>Conflicts Between Planning Approvals and Construction Plans.</b> It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning &amp; Building Director or their designee.</p> <p>When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City’s attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p> |
| 8.                     | <b>Tree Removal.</b> Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.   |

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|---------------------------|---|
| 9.                        | <p><b>Tree Protection Measures.</b> Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> <li>• Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.</li> <li>• Excavation within 6 feet of a tree trunk is not permitted.</li> <li>• No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree.</li> <li>• Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.</li> <li>• Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.</li> <li>• The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.</li> <li>• If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.</li> </ul> <p>If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.</p> |
| 10.                       | <p><b>Indemnification.</b> The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.</p>   |
| 11.                       | <p><b>Conditions of Approval.</b> Prior to the issuance of a building permit, these signed Conditions of Approval shall be printed on a full-size sheet within the construction plan set submitted to the Building Division.</p>  |
| <b>Special Conditions</b> |   |
| 12.                       | <p><b>Building Permit.</b> The applicant shall obtain a Building Permit from the Planning and Building Department.</p>  |
| 13.                       | <p><b>Repair of Deck Boards and Railings.</b> Work on deck boards and railings is limited to repair, and this approval shall not be construed to allow expansion of the deck. Materials that match or are substantially similar to existing materials shall be used in repair work.</p>   |
| 14.                       | <p><b>Conditions of Approval Acknowledgement.</b> Prior to the issuance of a building permit revision, a completed <b>Conditions of Approval Acknowledgment</b> form shall be included in the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor prior to the issuance of a building permit.</p>  |

Acknowledgment and acceptance of conditions of approval:

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Printed Name

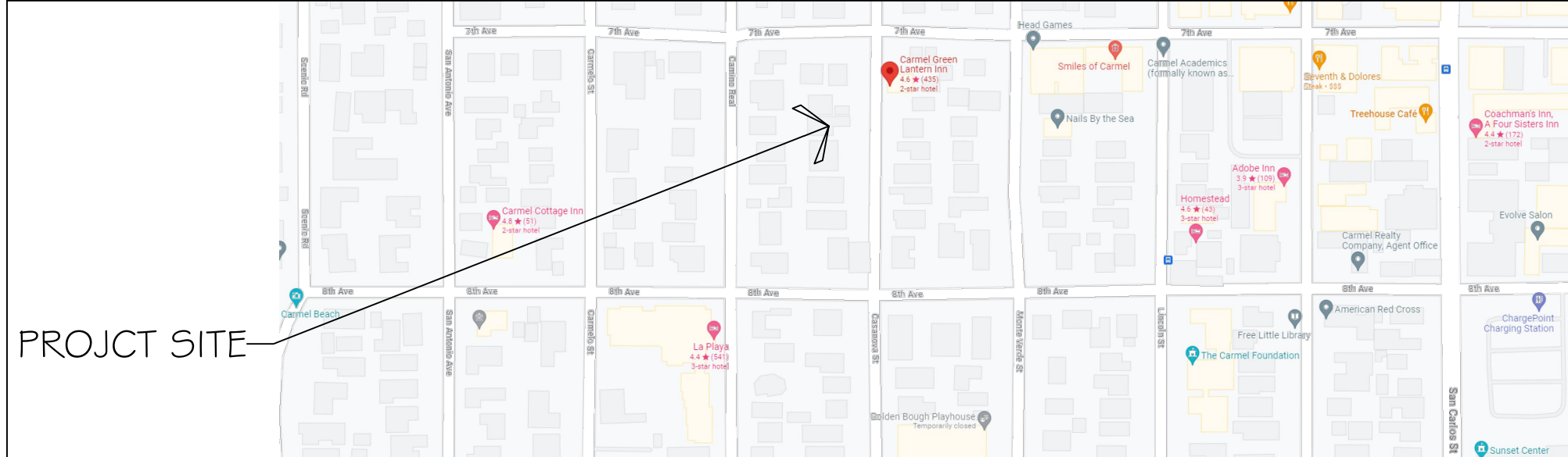

\_\_\_\_\_  
Date

\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date



| <div>KUKU'S NEST, LLC</div> <div>GUSTAFSON RESIDENCE</div> <div>CASA NOVA 3 SW OF 7TH, CARMEL-BY-THE-SEA, CA 93921</div>   |                              | <div>VICINITY MAP:</div> <div></div> <div>PROJECT SITE</div>                         |                              | <div>VICINITY MAP, GENERAL NOTES, SHEET INDEX, PROJECT DATA, SCOPE OF WORK, PROJECT DIRECTORY, TYPE OF CONSTRUCTION, APPLICABLE CODES, AREA FOR APPROVAL</div> <div>APN: 010-262-002</div> <div>KUKU'S NEST, LLC</div> <div>CASA NOVA 3 SW OF 7TH</div> <div>CARMEL-BY-THE-SEA, CA 93921</div> <div>DRAWN BY: </div> <div>REVISIONS</div> <div>SCALE: NS</div> <div>Permit #: <a href="#">DS 23-379 (Kuku's Nest, LLC)</a></div> <div>Date Approved: <a href="#">February 9, 2024</a></div> <div>Planner: <a href="#">A. Barton</a></div> <div>AO.1</div> |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
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| <div>GENERAL NOTES:</div> <div><p>SITE SPECIFICATIONS: 2022 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA FIRE CODE (CFC), CALIFORNIA GREEN BUILDING CODE (CGBC) AND CALIFORNIA ENERGY CODE.</p><p>THE OWNER SHALL BE RESPONSIBLE TO PAY FOR ALL NECESSARY PERMITS, INSPECTIONS, CERTIFICATES AND FEES, INCLUDING UTILITIES. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO START OF WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF. ALL MANUFACTURERS' INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.</p><p>IF, DURING CONSTRUCTION THE CONTRACTOR FINDS STRUCTURAL CONDITIONS DIFFERENT THEN THOSE ON THE DRAWING, THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE PROCEEDING ANY FURTHER. ANY UNUSUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO FURTHER WORK.</p><p>THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE DESIGNER IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. THE CONTRACTOR SHALL OPERATE TO BEST MANAGEMENT PRACTICES.</p><p>THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE. THE GENERAL CONTRACTOR SHALL HAVE CURRENT CALIFORNIA CLASS B LICENSE, WORKMANS COMPENSATION CERTIFICATE AND NECESSARY MUNICIPAL BUSINESS LICENSE.</p><p>THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.</p><p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING &amp; PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.</p><p>THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE BRACING AND SHORING. THE CONTRACTOR SHALL NOT STORE CONSTRUCTION MATERIAL IN A MANNER THAT SUCH THE DESIGN LIVE LOAD OF THE STRUCTURE ARE EXCEEDED ( 16 psf ON THE ROOF, 40psf ON THE FLOOR). ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION.</p><p>THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND SHALL ADHERE TO ALL FEDERAL, STATE, LOCAL AND O.S.H.A. STANDARDS.</p><p>LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRED CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.</p><p>NEW LUMBER SHALL NOT EXCEED 19% MOISTURE CONTENT, NOR SHALL ANY WATER DAMAGED MATERIALS BE INSTALLED. MOISTURE BARRIER SHALL BE INSTALLED UNDER SURFACES WHERE NEEDED. ALL LUMBER SHALL BE DOUGLAS FIR-LARCH UNLESS OTHERWISE NOTED, GRADED IN ACCORDANCE WITH WESTERN WOOD PRODUCTS ASSOCIATION OR WEST COAST LUMBER INSPECTION BUREAU. MAXIMUM MOISTURE CONTENT SHALL BE 19% MARKED S-DRY ALL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED DOUGLAS FIR, TREATED ALL CUT SURFACES. LUMBER GRADES ARE AS FOLLOWS UNLESS OTHERWISE NOTED:</p><table><tr><td>2 X 4 STUDS AND BLOCKING</td><td>CONSTRUCTION GRADE OR BETTER</td></tr><tr><td>2 X 6 STUDS</td><td>No. 2 OR BETTER</td></tr><tr><td>JOISTS / RAFTERS</td><td>No. 2 OR BETTER</td></tr><tr><td>4 X AND LARGER</td><td>No. 1</td></tr><tr><td>POSTS</td><td>No. 1</td></tr></table><p>PLYWOOD SHALL BE EXTERIOR OR EXPOSURE 1 CONFORMING TO U.S. PRODUCT STANDARDS PS-1&amp;3 WITH EXTERIOR GLUE, GRADE STAMPED AMERICAN PLYWOOD ASSOCIATION. PROVIDE 1/8" GAP AT PANEL JOINTS. NAIL HEADS SHALL NOT PENETRATE PLYWOOD SKIN.</p><p>WALL PLYWOOD: TO BE 3/4" MIN. CDX WITH A SPAN RATING OF 2400 OR BETTER. EDGE NAIL 10d @ 6" O.C., FIELD NAIL WITH 10d @ 12" O.C. BLOCK AND EDGE NAIL AT ALL PLYWOOD EDGES. PLYWOOD FACE GRAIN TO BE VERTICAL.</p><p>ROOF PLYWOOD: TO BE 1/2" MIN NON T&amp;G OR 5/8" MIN T&amp;G CDX WITH A SPAN RATING OF 2400 OR BTR. EDGE NAIL WITH 8d @ 6" O.C. FIELD NAIL WITH 8d @ 12" O.C. INCREASED NAILING IS REQUIRED FOR ROOF PLYWOOD OVER SHEARWALLS. USE SIMPSON PLYWOOD SHEATHING CLIP (P5CU), AT ALL UNSUPPORTED PLYWOOD EDGES IN NON T&amp;G SHEATHING IS USED, ONE PER SPAN. PLYWOOD FACE GRAIN TO BE PERPENDICULAR TO SUPPORTS. FLOOR PLYWOOD: TO BE 3/4" T 4G CDX OR BETTER WITH A SPAN RATING OF 48/20 OR BETTER. EDGE NAIL WITH 10d @ 6" O.C. FIELD NAIL WITH 10d @ 10" O.C. INCREASED NAILING IS REQUIRED OVER SHEARWALLS INTO JOISTS OR BLOCKING GLUE AND NAIL PLYWOOD. PLYWOOD FACE GRAIN TO BE PERPENDICULAR TO SUPPORTS. STAGGER PLYWOOD PANELS. 10d NAILS TO BE SCREW SHANK OR RING SHANK.</p><p>NAILS SHALL BE COMMON WIRE NAILS AND CONNECTORS EXPOSED TO WEATHER SHALL BE GALVANIZED. ALL NAILING TO CONFORM TO C.R.C. TABLE R602.3(1). BOLT HOLES SHALL BE 1/16" MAX LAGER THAN THE BOLT DIAMETER. BOLTS SHALL BE TIGHTENED WHEN PLACED AND RE-TIGHTENED PRIOR TO CONCEALING. ALL NAILING SHALL BE DONE WITHOUT SPLITTING WOOD. CONTRACTOR TO PRE-DRILL AS REQUIRED TO PREVENT SPLITTING WOOD. ALL MEMBERS SPLIT BY NAILING SHALL BE REPLACED. ALL HOLES FOR BOLTS SHALL BE ACCURATELY DRILLED IN CORRECT SIZES AND LOCATIONS TO PREVENT FORCING OR LOOSENESS IN CONNECTIONS. NAILING TO BE IN COMPLIANCE WITH CBC TABLE 23-II-B-1</p><p>ALL FRAMING CONNECTIONS SHALL BE BY "SIMPSON STRONG-TIE Co. ALL CONNECTIONS SHALL BE INSTALLED IN CONFORMANCE WITH THE MANUFACTURES SPECS.</p><p>CONTRACTOR SHALL PRE-DRILL HOLES FOR LAG BOLTS, LEAD HOLE SHALL BE 50% TO 67% OF BOLT DIAMETER FOR THREADED PORTION OF BOLT AND ACTUAL BOLT DIAMETER FOR UNTHREADED SHANK. ALL SPLIT MEMBERS SHALL BE REPLACED.</p><p>ALL ANCHOR BOLTS AND HOLD-DOWN BOLTS SHALL HAVE 3" X 3" X 1/4" HDG WASHERS AGAINST WOOD SURFACE.</p><p>THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE DESIGNER FROM AND AGAINST ALL CLAIMS/DAMAGES/LOSSES AND EXPENSES, INCLUDING ATTORNEYS FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.</p><p>CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN. DO NOT SCALE DRAWINGS. DRAWINGS ARE FOR REFERENCE ONLY.</p><p>THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEAN UP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.</p><p>BEST MANAGEMENT PRACTICES SHALL BE FOLLOWED FOR PREVENTION OF WATER RUNOFF FROM SITE BY MEANS OF STRAW WADDLES, BERMS AND RETENTION PITS AS NEEDED (NO CONCRETE CLEAN UP SHALL OCCUR ON SITE) AND FOR STORAGE AND HANDLING OF MATERIALS.</p><p>THE CONTRACTOR SHALL SUPPLY A WASTE MANAGEMENT PLAN IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS, SECTION 4.408.1 THAT IDENTIFIES THAT 65% OF DEMOLITION WASTE IS RECYCLED OR RE-USED AND SHALL USE A CERTIFIED WASTE MANAGEMENT TO PROVIDE VERIFIABLE DOCUMENTATION OF PERCENTAGE OF LANDFILL DIVERSION. SEE GUIDE TO CALIFORNIA GREEN BUILDING STANDARDS CODE (RESIDENTIAL) <a href="http://www.hcd.ca.gov/CALGreen.html">www.hcd.ca.gov/CALGreen.html</a></p><p>ALL SEALANTS, PAINTS, CARPETS, WOOD FLOORS AND RESILIENT FLOORING SHALL BE APPROVED LOW-LEVEL V.O.C. WITH DOCUMENTATION PROVIDED TO VERIFY COMPLIANCE WITH LIMITS SHOWN IN TABLES 4.504.1, 4.504.2, 4.504.3 AND 4.504.5.</p><p>a.) PAINT, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.</p><p>b.) AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS. DOCUMENTATION SHALL BE PROVIDED TO VERIFY COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.</p><p>c.) CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.</p><p>d.) 50% OF THE FLOOR AREA RECEIVING RESILIENT FLOORINGS SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOL (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORS CORE PROGRAM.</p><p>e.) PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.</p><p>ANNULAR SPACES AT PIPE AND CONDUIT PENETRATIONS AT EXTERIOR WALLS SHALL BE SEALED WITH MORTAR TO PREVENT RODENT ENTRY.</p><p>APPLIANCES, FIXTURES AND ANY CONTROL FEATURES SHALL HAVE DOCUMENTATION TO PROVIDE FUTURE OWNERS.</p><p>SMOKE AND CARBON MONOXIDE DETECTORS: SMOKE DETECTORS ARE LOCATED ON THE CEILING OF EACH SLEEPING/HABITABLE ROOM. A COMBINATION SMOKE &amp; CARBON MONOXIDE DETECTOR IS CENTRALLY LOCATED IN THE HOUSE, OUTSIDE THE BEDROOMS.</p><p>CONTRACTOR TO CONFIRM IF SEWER BACK WATER VALVE AND SEWER RELIEF VENT SHALL BE INSTALLED</p><p>NO VERBAL CHANGE ORDERS SHALL BECOME LEGAL AND/OR BINDING.</p><p>BATHROOM: STANDARD REQUIREMENTS</p><p>ELECTRICAL – ALL NEW ELECTRICAL TO MEET CURRENT NATIONAL ELECTRICAL CODE. MINIMUM OF ONE (1) 20-amp CIRCUIT SERVING ONLY THE BATHROOM UTLETS/LIGHTING IS REQUIRED. ONE RECEPTACLE LOCATED AT SINK AREA SHALL BE GFCI PROTECTED NEW LIGHTING STANDARDS REQUIRE HIGH EFFICIENCY LIGHTING OR A MANUAL ON/AUTOMATIC OFF MOTION SENSOR LIGHT SWITCH TO BE INSTALLED ANY LIGHTING DIRECTLY OVER THE SHOWER/TUB. AREA IS REQUIRED TO BE FOR WET LOCATIONS.</p><p>PLUMBING - SHOWER STALLS ARE REQUIRED TO HAVE A MINIMUM CLEAR THRESHOLD OPENING OF 22" AND THE FLOOR AREA MUST BE A MINIMUM OF 1.024 SQUARE INCHES AND ENCOMPASS A 30" CIRCLE. GLASS SHOWER ENCLOSURES MUST BE TEMPERED. TOILET AREA IS REQUIRED TO HAVE A MINIMUM WIDTH OF 30" CLEAR SPACE AND 24" CLEAR IN FRONT. SHOWERHEAD MUST HAVE A PRESSURE/TEMPERATURE BALANCE VALVE.</p><p>KITCHEN: STANDARD REQUIREMENTS</p><p>ELECTRICAL – ALL NEW ELECTRICAL TO MEET CURRENT NATIONAL CODES, ALL NEW ELECTRICAL CIRCUITS ARE COMBINATION AFCI PROTECTED. MINIMUM OF (2) 20 amp CIRCUITS SERVING COUNTERS AFCI/GFCI PROTECTED RECEPTACLES ONLY, ARE REQUIRED SPACE NO MORE THAN 4' O.C. THE REFRIGERATOR IS PERMITTED TO BE ON THIS CIRCUIT. NO OTHER LIGHTS OR FIXTURES ARE PERMITTED ON THESE TWO CIRCUITS. FIXED APPLIANCES AND MICROWAVES SHALL BE PROVIDED POWER FROM ADDITIONAL DEDICATED CIRCUITS. ALL KITCHEN PLUGS TO BE AFCI/GFCI PROTECTED. AT KITCHEN DUEL AFCI/GFCI RECEPTACLE WITHIN 2' OF EACH SINK. ONE OUTLET PROVIDED PER AN ISLAND OR PENINSULA, REGARDLESS OF LENGTH OR SIZE, UNLESS SEPARATED INTO MORE THAN ONE COUNTERTOP AREA. ON ISLANDS AND PENINSULA SPACES, RECEPTACLES MAY BE MOUNTED NOT MORE THAN 12" BELOW THE COUNTERTOP AREA WHERE CONSTRUCTION PRECLUDES MOUNTING ABOVE THE COUNTERTOP. ALL LIGHTING TO BE HIGH-EFFICIENCY</p><p>PLUMBING- RELOCATING, ADDING TO, OR OTHERWISE MODIFYING A GAS LINE REQUIRES BOTH A GAS LINE DIAGRAM AND PRESSURE TEST ALL NEW PLUMBING LINES SHALL BE TESTED PRIOR TO COVERING.</p><p>APPLIANCES- ALL NEW APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURE GUIDELINES. IT IS IMPORTANT THESE GUIDELINES BE REVIEWED PRIOR TO CLOSING UP THE WALLS.</p></div> |                              | 2 X 4 STUDS AND BLOCKING  | CONSTRUCTION GRADE OR BETTER | 2 X 6 STUDS  | No. 2 OR BETTER | JOISTS / RAFTERS | No. 2 OR BETTER | 4 X AND LARGER | No. 1 | POSTS | No. 1 | <div>SHEET INDEX:</div> <div><div>AO.1</div><div>VICINITY MAP, GENERAL NOTES, SHEET INDEX, PROJECT DATA, SCOPE OF WORK, PROJECT DIRECTORY, TYPE OF CONSTRUCTION, APPLICABLE CODES, AREA FOR APPROVALS</div></div> <div><div>AO.2</div><div>SITE PLAN, DOOR &amp; WINDOW NOTES, CONSTRUCTION WASTE NOTES, WINDOW CUT SHEET DETAILS</div></div> <div><div>AI.O</div><div>EXISTING FLOOR PLAN</div></div> <div><div>AI.1</div><div>PROPOSED FLOOR PLAN</div></div> |  | <div>PROJECT DATA:</div> <div><div>APN:</div><div>010-262-002</div></div> <div><div>SITE ADDRESS:</div><div>CASA NOVA 3 SW OF 7TH<br/>CARMEL-BY-THE-SEA, CA 93921</div></div> <div><div>PROPERTY OWNER:</div><div>KUKU'S NEST, LLC</div></div> <div><div>YEAR BUILT:</div><div>1952</div></div> <div><div>CONSTRUCTION TYPE:</div><div>VB</div></div> <div><div>OCCUPANCY GROUP:</div><div>MED.DEN.</div></div> <div><div>ZONING:</div><div>R-1</div></div> <div><div>FIRE SPRINKLERS:</div><div>NO</div></div> <div><div>LOT SIZE:</div><div>4,000 SF</div></div> <div><table><tr><th>AREAS</th><th>EXISTING</th><th>PROPOSED</th></tr><tr><td colspan="3">BASE FLOOR AREA:</td></tr><tr><td>MAIN FLOOR</td><td>1,427</td><td>1,427 SF</td></tr><tr><td>LOWER FLOOR (UNDER HOUSE)</td><td>100</td><td>100 SF</td></tr><tr><td>GARAGE</td><td>273</td><td>273 SF</td></tr><tr><td>TOTAL FLOOR AREA</td><td>1,800 SF</td><td>1,800 SF</td></tr><tr><td colspan="3">INTERIOR REMODEL ONLY, NO SQUARE FOOTAGE ADDED</td></tr><tr><th>SITE COVERAGE</th><th>EXISTING</th><th>PROPOSED</th></tr><tr><td colspan="3">FULLY PERMEABLE:</td></tr><tr><td>GRAVEL, DECKING, WOOD STAIRS</td><td>559</td><td>559 SF</td></tr><tr><td colspan="3">SEMI-PERMEABLE:</td></tr><tr><td>SAND SET BRICKS</td><td>137</td><td>137 SF</td></tr><tr><td colspan="3">IMPERMEABLE:</td></tr><tr><td>CONCRETE, MORTARED STONE (PATIO)</td><td>840</td><td>840 SF</td></tr><tr><td>TOTAL SITE COVERAGE:</td><td>1,536 SF</td><td>1,536 SF</td></tr><tr><td>ALLOWED SF WITH DRIVEWAY BONUS:</td><td></td><td>556 SF</td></tr><tr><td>TOTAL ADDITIONAL NON-CONFORMING AREA:</td><td></td><td>980 SF</td></tr></table></div> <div>PROJECT DIRECTORY:</div> <div><div>OWNER:</div><div>KUKU'S NEST, LLC</div></div> <div><div>MAIN CONTACT:</div><div>DAVID GUSTAFSON<br/>CELL: 415-309-3009<br/>EMAIL: <a href="mailto:dgustafson@sppinc.com">dgustafson@sppinc.com</a></div></div> <div><div>CONTRACTOR:</div><div>JOLLEY BUILDERS<br/>LIC. B883060<br/>MARC JOLLEY<br/>OFFICE: 831-238-6044<br/>EMAIL: <a href="mailto:jolleybuilders@gmail.com">jolleybuilders@gmail.com</a></div></div> <div><div>DRAFTING SERVICES:</div><div>AUGUST DESIGN &amp; BUILD<br/>CASSANDRA AUGUST<br/>PHONE: 831 236-3182<br/>EMAIL: <a href="mailto:augustdesignandbuild@gmail.com">augustdesignandbuild@gmail.com</a></div></div> <div><div>PERMITTING SERVICES:</div><div>BLS PERMIT FACILITATION MANAGEMENT<br/>BRITTNEY SCHLOSS<br/>PHONE: 408-508-9760<br/>EMAIL: <a href="mailto:blspermits@gmail.com">blspermits@gmail.com</a></div></div> |  | AREAS | EXISTING | PROPOSED | BASE FLOOR AREA: |  |  | MAIN FLOOR | 1,427 | 1,427 SF | LOWER FLOOR (UNDER HOUSE) | 100 | 100 SF | GARAGE | 273 | 273 SF | TOTAL FLOOR AREA | 1,800 SF | 1,800 SF | INTERIOR REMODEL ONLY, NO SQUARE FOOTAGE ADDED |  |  | SITE COVERAGE | EXISTING | PROPOSED | FULLY PERMEABLE: |  |  | GRAVEL, DECKING, WOOD STAIRS | 559 | 559 SF | SEMI-PERMEABLE: |  |  | SAND SET BRICKS | 137 | 137 SF | IMPERMEABLE: |  |  | CONCRETE, MORTARED STONE (PATIO) | 840 | 840 SF | TOTAL SITE COVERAGE: | 1,536 SF | 1,536 SF | ALLOWED SF WITH DRIVEWAY BONUS: |  | 556 SF | TOTAL ADDITIONAL NON-CONFORMING AREA: |  | 980 SF | <div>AREA FOR APPROVALS:</div> <div><div>CARMEL-BY-THE-SEA<br/>PLANNING DEPARTMENT<br/>APPROVED</div><div>Permit #: <a href="#">DS 23-379 (Kuku's Nest, LLC)</a></div><div>Date Approved: <a href="#">February 9, 2024</a></div><div>Planner: <a href="#">A. Barton</a></div></div> |
| 2 X 4 STUDS AND BLOCKING   | CONSTRUCTION GRADE OR BETTER |   |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| 2 X 6 STUDS  | No. 2 OR BETTER              |   |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| JOISTS / RAFTERS   | No. 2 OR BETTER              |   |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| 4 X AND LARGER   | No. 1                        |   |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| POSTS  | No. 1                        |   |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| AREAS  | EXISTING                     | PROPOSED  |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| BASE FLOOR AREA:   |                              |   |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| MAIN FLOOR   | 1,427                        | 1,427 SF  |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| LOWER FLOOR (UNDER HOUSE)  | 100                          | 100 SF  |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| GARAGE   | 273                          | 273 SF  |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| TOTAL FLOOR AREA   | 1,800 SF                     | 1,800 SF  |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| INTERIOR REMODEL ONLY, NO SQUARE FOOTAGE ADDED   |                              |   |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| SITE COVERAGE  | EXISTING                     | PROPOSED  |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| FULLY PERMEABLE:   |                              |   |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| GRAVEL, DECKING, WOOD STAIRS   | 559                          | 559 SF  |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| SEMI-PERMEABLE:  |                              |   |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| SAND SET BRICKS  | 137                          | 137 SF  |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| IMPERMEABLE:   |                              |   |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| CONCRETE, MORTARED STONE (PATIO)   | 840                          | 840 SF  |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| TOTAL SITE COVERAGE:   | 1,536 SF                     | 1,536 SF  |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| ALLOWED SF WITH DRIVEWAY BONUS:  |                              | 556 SF  |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| TOTAL ADDITIONAL NON-CONFORMING AREA:  |                              | 980 SF  |                              |  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |
| <div>SCOPE OF WORK:</div> <div><div>REPLACEMENT OF ROTTEN DOORS &amp; WINDOWS TO MATCH EXISTING, TRIM &amp; PAINT TO MATCH EXISTING, REPAIR ROTTING DECK BOARDS &amp; RAILINGS, KITCHEN &amp; BATHROOM REMODEL.</div></div>  |                              | <div>TYPE OF CONSTRUCTION:</div> <div><div>PERIMETER FOUNDATION, WOOD FRAMING, PLAIN BEVEL HORIZONTAL REDWOOD SIDING WITH GROOVES. ROOF PITCH VARIES 4-6:12</div></div> |                              | <div>APPLICABLE CODES:</div> <div><div>THIS PROJECT SHALL COMPLY WITH ALL CURRENT CODES LISTED AS FOLLOWS:</div><div>2022 CALIFORNIA RESIDENTIAL CODE</div><div>2022 CALIFORNIA MECHANICAL CODE</div><div>2022 CALIFORNIA PLUMBING CODE</div><div>2022 CALIFORNIA ELECTRICAL CODE</div><div>2022 TITLE 24 ENERGY CALCULATIONS</div></div>  |                 |                  |                 |                |       |       |       |   |  |  |  |       |          |          |                  |  |  |            |       |          |                           |     |        |        |     |        |                  |          |          |  |  |  |               |          |          |                  |  |  |                              |     |        |                 |  |  |                 |     |        |              |  |  |                                  |     |        |                      |          |          |                                 |  |        |                                       |  |        |   |



## Clad Urban Casement



Known for its industrial modern aesthetics thanks to exposed locking hardware and the narrowest of sightlines, the Clad Urban Casement can be used alone or in combination with other windows types and shapes.

## Standard Construction:

- 0.062" thick extruded aluminum exterior, with extruded with integral nail fin and corners sealed with silicone, corner pads and mechanically fastened.
- 5-11/16" overall frame depth with standard 4-9/16" jamb depth.
- Full 1-3/4" sash thickness. Sash available in narrow (1-7/16") or wide (2-3/16") face width.
- Seamless, compression-style frame weatherstrip. Leaf sash weatherstrip.
- Truth Encore operator and standard contemporary folding handle/cover. Optional traditional folding handle/cover.
- Independent high pressure, die-cast zinc sash locks (heights  $\geq 40"$  have two sash locks). Optional tandem tie bar sash lock operation available.
- Sash opens 90 degrees for easy cleaning and removal from the inside.
- Standard aluminum screen frame. Optional Flexscreen.



| MINIMUM / MAXIMUM FRAME SIZES                    |       |  |      |
|--|-------|--|------|
| Additional sizes may be available upon approval. |       |  |      |
| URBAN CASEMENT – OPERATING<br>(25 sqft Maximum)  |       | URBAN CASEMENT –<br>STATIONARY/PICTURE |      |
| Minimum Frame Width                              | 14.5" | Minimum Frame Width                    | 12"  |
| Minimum Frame Height                             | 14.5" | Minimum Frame Height                   | 12"  |
| Maximum Frame Width                              | 36"   | Maximum Frame Width                    | 120" |
| Maximum Frame Height                             | 84"   | Maximum Frame Height                   | 120" |
|  |       | Maximum Square Feet                    | 42   |

## Performance Data:

|   |   |
|---|---|
| <b>Operating Casement: 36" x 72"</b><br>AIR INFILTRATION.....0.01/0.01/AS<br>WATER.....NO LEAKAGE @ 6.06 PSF<br>STRUCTURAL.....CW-PG40 (+40/-40)  | <b>Operating Casement: 36" x 84"</b><br>AIR INFILTRATION.....0.01/0.01/AS<br>WATER.....NO LEAKAGE @ 4.58 PSF<br>STRUCTURAL.....CW-PG30 (+30/-30)  |
| <b>Operating Casement: 32" x 72"</b><br>AIR INFILTRATION.....0.01/0.01/AS<br>WATER.....NO LEAKAGE @ 6.89 PSF<br>STRUCTURAL.....CW-PG45 (+45/-45)* | <b>Casement Picture: 72" x 60"</b><br>AIR INFILTRATION.....0.01/0.01/FIXED<br>WATER.....NO LEAKAGE @ 7.53 PSF<br>STRUCTURAL.....CW-PG50 (+50/-50) |

\*Single arm operator w/plano hinge.

For a comprehensive list of tested and rated sizes and configurations, please refer to the Clad Urban Casement Product Performance Guide (Structural) located in the Technical Resources Library on our website.

## Thermal Performance (NFRC):

| Air Filled             |                   |                                       | Argon Filled           |                   |                                       |
|------------------------|-------------------|---------------------------------------|------------------------|-------------------|---------------------------------------|
| <b>Low-E 272 Clear</b> | <b>Low-E 366</b>  | <b>Triple IG (LE272/LE180/LE189)*</b> | <b>Low-E 272 Clear</b> | <b>Low-E 366</b>  | <b>Triple IG (LE272/LE180/LE189)*</b> |
| U-FACTOR.....0.33      | U-FACTOR.....0.33 | U-FACTOR.....0.21                     | U-FACTOR.....0.30      | U-FACTOR.....0.29 | U-FACTOR.....0.19                     |
| SHGC.....0.31          | SHGC.....0.21     | SHGC.....0.36                         | SHGC.....0.31          | SHGC.....0.21     | SHGC.....0.25                         |
| VT.....0.53            | VT.....0.48       | VT.....0.46                           | VT.....0.53            | VT.....0.48       | VT.....0.41                           |
| CR......55             | CR......55        | CR......59                            | CR......55             | CR......59        | CR......61                            |

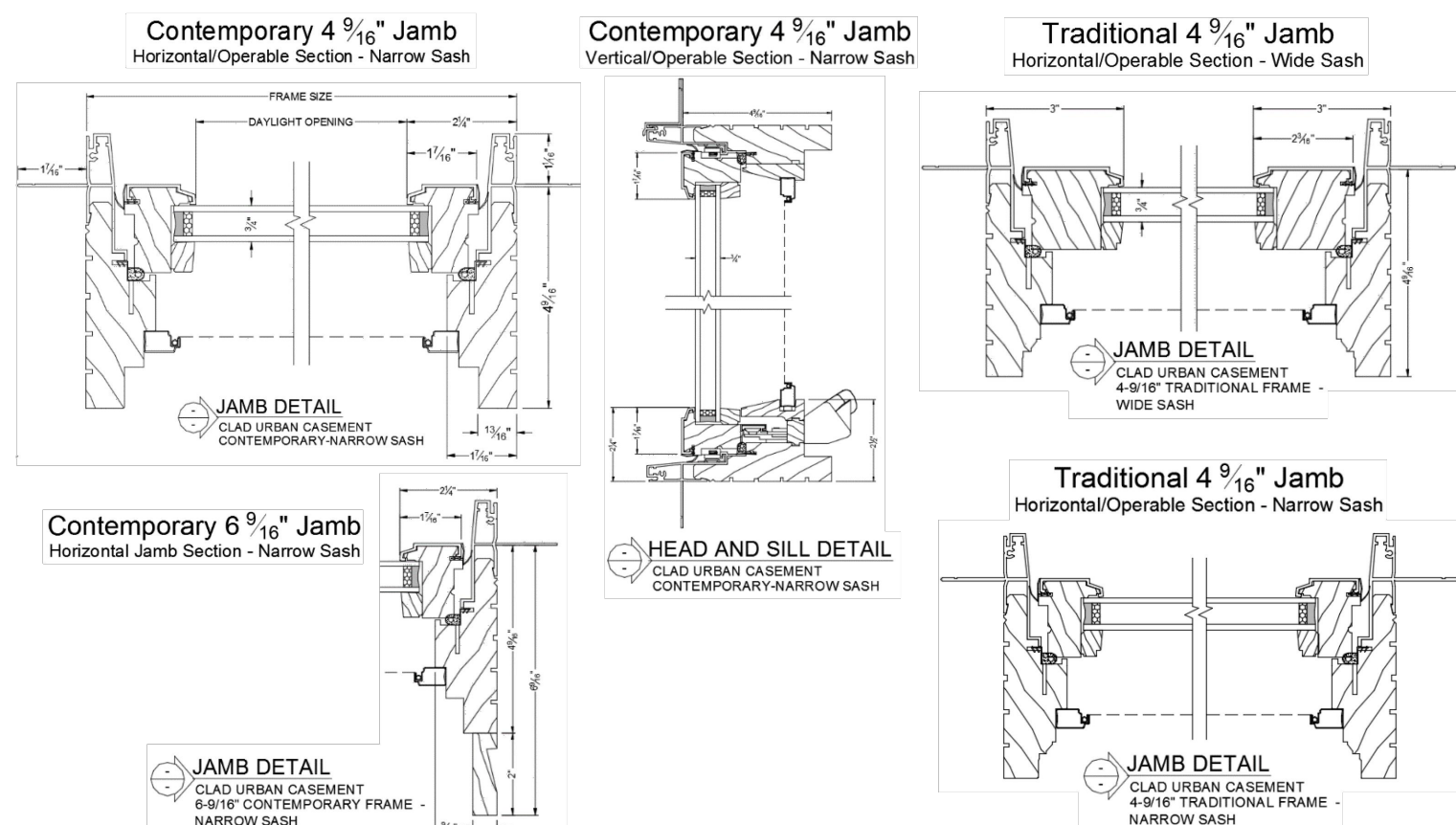
Values represent Clad Urban Casements with **hopper sash**. Insulated glass units using standard black warm edge spacer. Additional glazing options available.

\*Triple IG glass only available with the wide sash option.

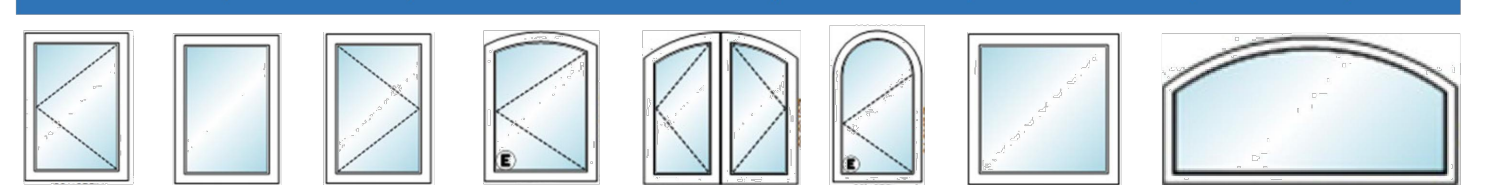
For a comprehensive list of glazing configurations, please refer to the Clad Urban Casement Product Performance Guide (NFRC) located in the Technical Resources Library on our website.

800.824.7744

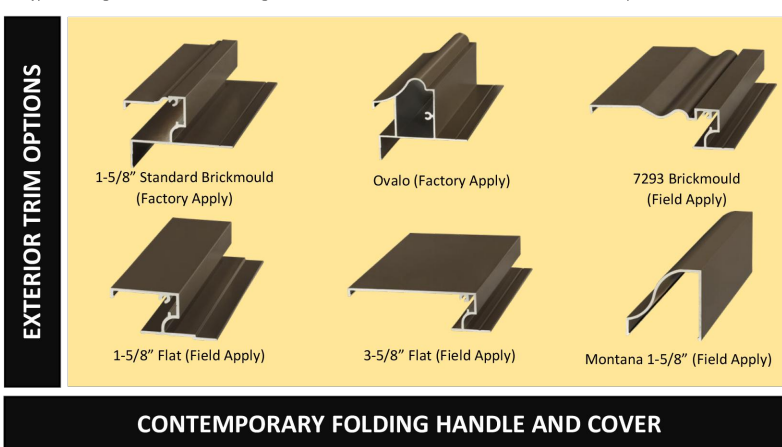
SIERRAPACIFICWINDOWS.COM



Additional product details may be found on our website [www.sierrapacificwindows.com/ProfessionalResources/TechnicalLibrary](http://www.sierrapacificwindows.com/ProfessionalResources/TechnicalLibrary)



Typical configurations shown. Handling as viewed from the exterior. Contact us for additional options.



## Clad Urban Casement Additional Features

- Color Palette of 75 colors in powder coated AAMA 2605. Some design collections only available in AAMA 2604.
- Extensive offering of performance glass available using black warm edge or Cardinal spacer for optimum efficiency.
- Simulated Divided Lites available in 5/8", 7/8" and 1" Putty; 5/8", 7/8", 1", 1-1/4" and 2" Traditional and Contemporary.
- Grilles-Between-The-Glass available in 5/8" and 1" flat.
- Optional veneer wrapped or Genius retractable screen.
- Factory mulling up to 5-wide. Factory stacking and structural supports available.

Please visit our website [www.sierrapacificwindows.com](http://www.sierrapacificwindows.com) for additional details or to contact your nearest Sierra Pacific Branch or Dealer location.

Place Business Card or Company Information Here

800.824.7744

SIERRAPACIFICWINDOWS.COM

CARMEL-BY-THE-SEA  
PLANNING DEPARTMENT  
APPROVEDPermit #: DS 23-379 (Kuku's Nest, LLC)Date Approved: February 9, 2024Planner: A. Barton

## DOOR &amp; WINDOW NOTES

REQUIRED SAFETY GLAZING: [TEMPERED] CONFORMING TO THE HUMAN IMPACT LOADS OF PER CRC SECTIONS R308.3 & R308.4

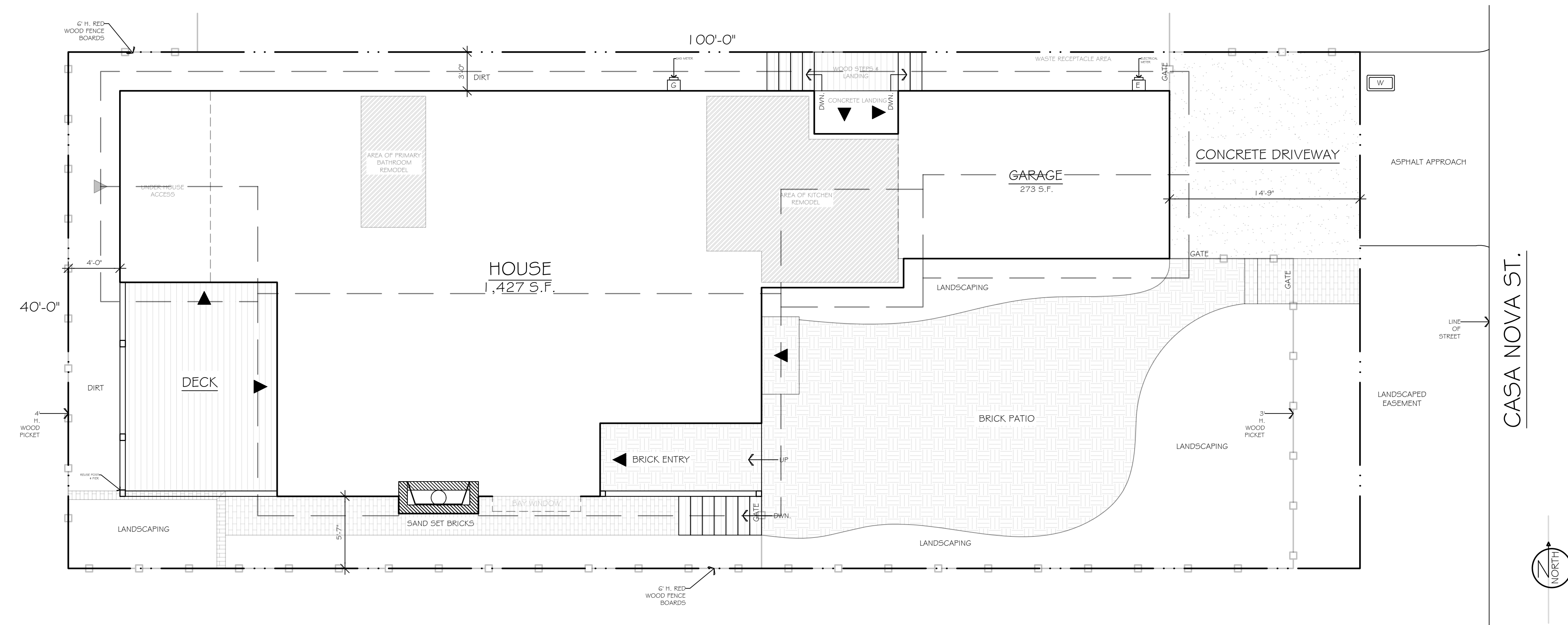
- 1.) FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.
- 2.) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
- 3.) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
  - a.) BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
  - b.) TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
  - c.) ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
  - d.) GLAZING IN ENCLOSURE FOR OR WALLS FACING BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

EMERGENCY EGRESS REQUIREMENTS FOR SLEEPING ROOMS: [CRC R310.1.]

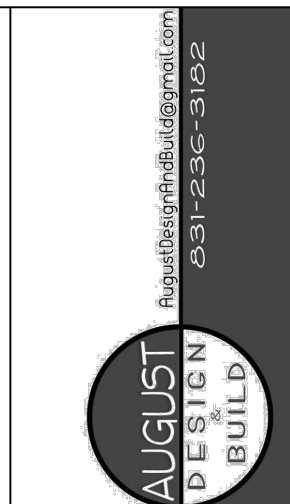
- 1.) MINIMUM NET CLEAR OPENING DIMENSIONS OF 24" IN HEIGHT.
- 2.) MINIMUM NET CLEAR OPENING DIMENSION OF 20" IN WIDTH.
- 3.) MINIMUM NET CLEAR OPENING DIMENSION OF 5.7 SQUARE FEET IN AREA.
- 4.) OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR.

## CONSTRUCTION WASTE

CONSTRUCTION WASTE MANAGEMENT: "RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS, SECTION 4.408.1." IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS, SECTION 4.504.2, THE FOLLOWING POLLUTANT CONTROL MEASURES SHALL BE IMPLEMENTED. a.) PAINT, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS. b.) AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS. DOCUMENTATION SHALL BE PROVIDED TO VERIFY COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. c.) CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. d.) 50% OF THE FLOOR AREA RECEIVING RESILIENT FLOORINGS SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOL (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORS CORE PROGRAM. e.) PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.



## SITE PLAN

SCALE:  $\frac{3}{16}" = 1'-0"$ 

SITE PLAN, DOOR & WINDOW NOTES,  
CONSTRUCTION WASTE NOTES, WINDOW CUT  
SHEET DETAILS

APN: 010-262-002  
KUKU'S NEST, LLC  
CASA NOVA 3 SW OF 7TH  
CARMEL-BY-THE-SEA, CA 93921

DRAWN BY:

CA

CASSANDRA AUGUST  
DATE: 12-12-2023

REVISIONS

SCALE:

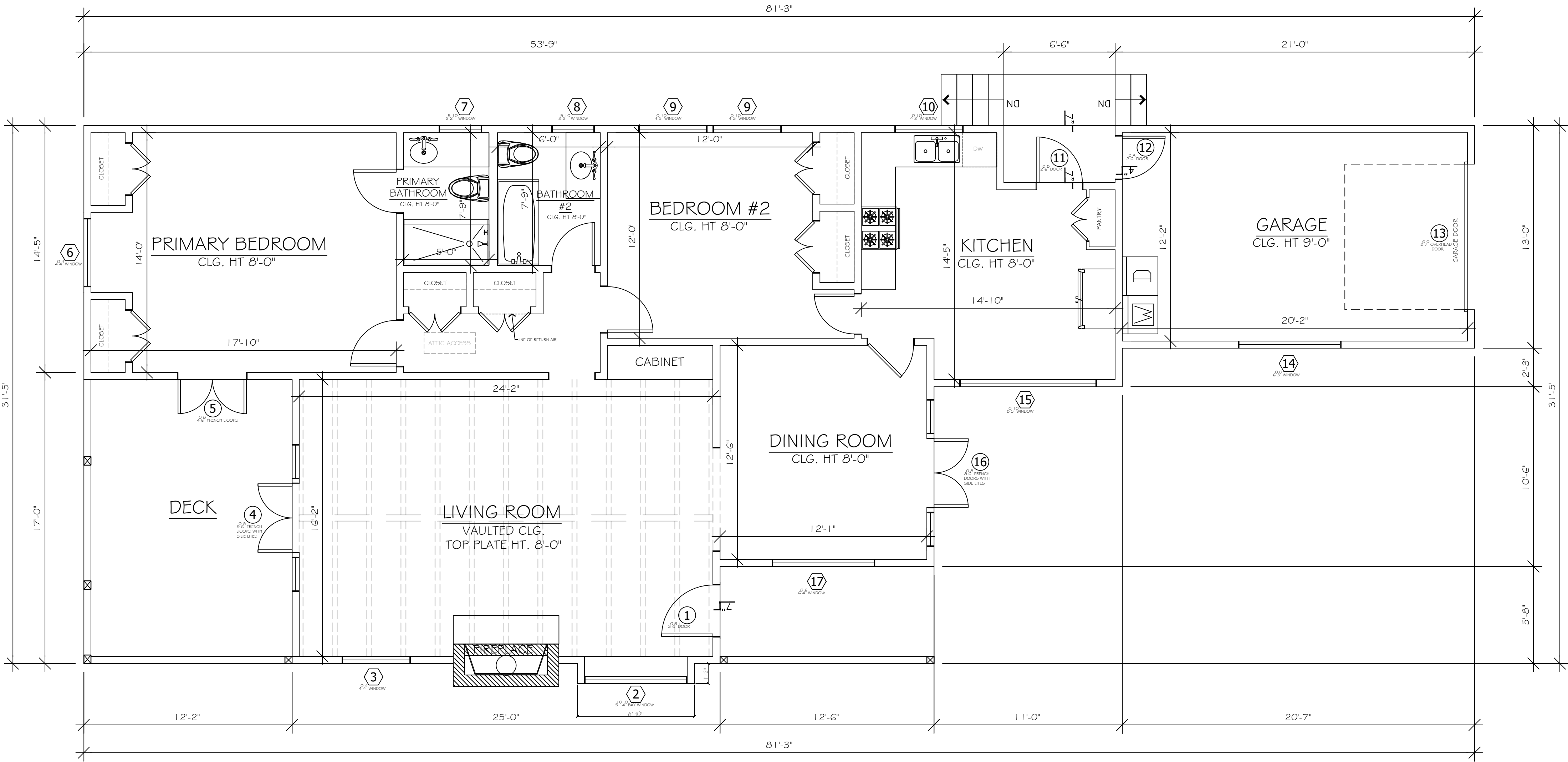
$\frac{3}{16}" = 1'-0"$

A0.2



CARMEL-BY-THE-SEA  
PLANNING DEPARTMENT  
APPROVED

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EXISTING FLOOR PLAN

SCALE:  $\frac{1}{4}" = 1'-0"$

EXISTING FLOOR PLAN

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*CA*  
CASSANDRA AUGUST  
DATE: 12-12-2023

REVISIONS

SCALE:  
 $\frac{1}{4}" = 1'-0"$

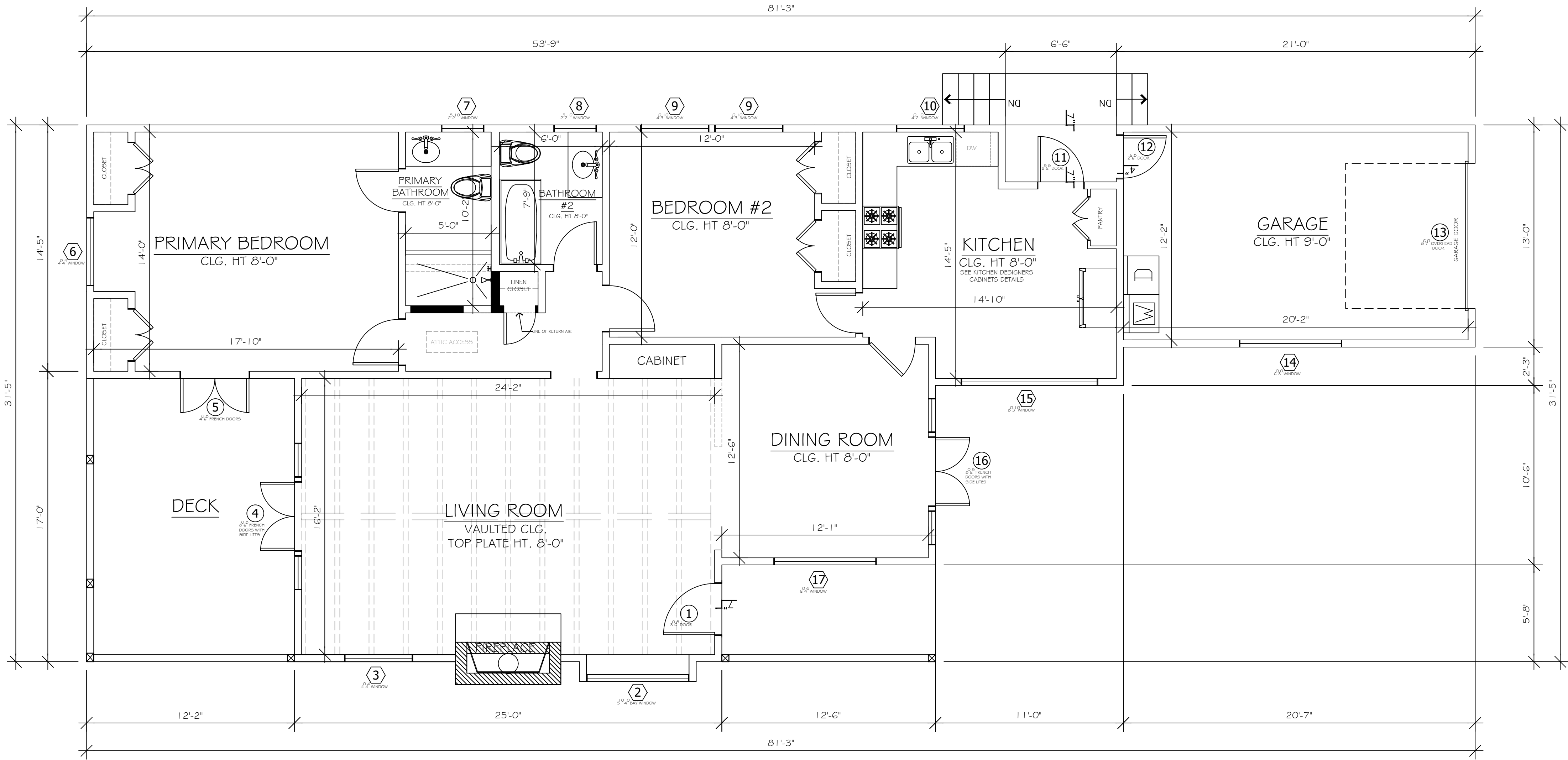
A1.0

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| WALL LEGEND:  |                   |
|---|-------------------|
|   | (N) 2 X 4 WALLS   |
|   | (E) 2 X 4 WALLS   |
|   | DEMOS 2 X 4 WALLS |
| 1. EXTERIOR WALLS - 2 X 4 STUDS @ 16 O.C., PLAIN BEVEL HORIZONTAL REDWOOD SIDING WITH GROOVES ON THE EXTERIOR WITH 1/2" GWB ON THE INTERIOR |                   |
| 2. INTERIOR WALLS - 2 X 4 STUDS @ 16 O.C. WITH 1/2" GWB   |                   |

DOOR & WINDOW SCHEDULE  
(AS SHOWN ON PLANS)

| #  | DOOR  | #    | WINDOW                 |                         |                    |                          |  |
|----|-------|------|------------------------|-------------------------|--------------------|--------------------------|--|
| ID | SIZE  | QTY. | MAKE                   | STYLE                   | LOCATION           | MATERIALS                |  |
| 1  | 3068  | 1    | TO REMAIN              |                         |                    | WOOD                     |  |
| 2  | 51040 | 1    | BAY WINDOW             | PR., PAINT GRADE        | LIVING ROOM        |                          |  |
| 3  | 4044  | 1    | CASEMENT               | PR., PAINT GRADE        | LIVING ROOM        |                          |  |
| 4  | 8068  | 1    | FRNCH DRS W/ SIDE LITE | PAINT GRADE GLS. PNL.   | LIVING ROOM        |                          |  |
| 5  | 4068  | 1    | FRENCH DOORS           | PAINT GRADE GLS. PNL.   | PRIMARY BEDROOM    |                          |  |
| 6  | 4044  | 1    | CASEMENT               | PR., PAINT GRADE        | PRIMARY BEDROOM    |                          |  |
| 7  | 25210 | 1    | CASEMENT               | PR., PAINT GRADE        | PRIMARY BATHROOM   |                          |  |
| 8  | 25210 | 1    | CASEMENT               | PR., PAINT GRADE        | BATHROOM #2        |                          |  |
| 9  | 40310 | 2    | CASEMENT               | PR., PAINT GRADE        | BEDROOM #2         |                          |  |
| 10 | 40210 | 1    | CASEMENT               | PR., PAINT GRADE        | KITCHEN            |                          |  |
| 11 | 2868  | 1    | OUT SWING HNG R        | PNT. GRD. TOP HALF GLS. | MASTER BATH SHOWER | WOOD & COMPOSITE<br>WOOD |  |
| 12 | 2668  | 1    | OUT SWING HNG L        | PNT. GRD. TOP HALF GLS. | GARAGE             |                          |  |
| 13 | 8670  | 1    | OVERHEAD               | PRIM. PANELS            | GARAGE             |                          |  |
| 14 | 6030  | 1    | FIXED HEX GRID PATTERN | PR., PAINT GRADE        | GARAGE             |                          |  |
| 15 | 80310 | 1    | CASEMENT               | PR., PAINT GRADE        | KITCHEN            |                          |  |
| 16 | 8068  | 1    | FRNCH DRS W/ SIDE LITE | PAINT GRADE GLS. PNL.   | DINING ROOM        |                          |  |
| 17 | 6046  | 1    |                        | PAINT GRADE             | MASTER BEDROOM     |                          |  |



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

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SCALE:  
1/4" = 1'-0"

A1.1