



## NOTICE OF APPROVAL

The Department of Community Planning & Building of the City of Carmel-by-the-Sea has approved a Project pursuant to the City's Municipal Code. Persons interested in the project may review additional materials available at the Department of Community Planning & Building located at City Hall on Monte Verde Street between Ocean and 7<sup>th</sup> Avenues, phone number 831-620-2010.

The decision to approve this project may be appealed within 10 days from the date of this by filing a written appeal with the Department of Community Planning & Building.

**Planning Case #:** Design Study 23344

**Owner Name:** HIPWELL FREDERICK W & KRISTINE M TRS

**Case Planner:** Alec Barton, Contract Planner

**Date Posted:** \_\_\_\_\_

**Date Approved:**

**Project Location:** TORRES STREET 10 SW OF 10TH

**APN #:** 010072025000      **BLOCK/LOT:** 119/ALL LOT 19

**Applicant:** Gretchen Flesher Architects

**Project Description:** WINDOW & DOOR REPLACEMENT, GUARDRAIL & EXT. LIGHTING MODIFICATIONS

**Can this project be appealed to the Coastal Commission?** Yes ☐ No ☒

*Upon completion of the 10 calendar-day appeal period, please return this form, along with the Affidavit of Posting, to the case planner noted above.*

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	<b>Authorization.</b> This approval of Design Study application DS 23-344 (Hipwell) finds the subject application consistent with the findings and requirements of CMC 17.10.030, and authorizes minor exterior modifications to the existing residence including replacing the railing and walking surface of an existing balcony, replacing painted wood windows with aluminum clad wood windows in existing openings, replacing French doors with aluminum clad wood doors in existing openings, removing and replacing exterior light fixtures, replacing a garage door and Dutch door, and painting the exterior of the residence at Torres 10 SW of 10th Avenue in the Single-Family Residential (R-1) zoning district, as depicted on plans marked approved by the Planning Division on February 6, 2024.
2.	<b>Codes and Ordinances.</b> The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Community Planning and Building Department, the Planning Commission, and/or Historic Resources Board, as appropriate.
3.	<b>Permit Validity.</b> In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
4.	<b>Modifications.</b> The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to final inspection.
5.	<b>Water Use.</b> Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this permit will be scheduled for reconsideration, and appropriate findings will be prepared for review and adoption by the Planning Commission.
6.	<b>Exterior Revisions to Planning Approval Form.</b> All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Planning and Building Department. Any modification incorporated into construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.
7.	<p><b>Conflicts Between Planning Approvals and Construction Plans.</b> It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning &amp; Building Director or their designee.</p> <p>When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.</p>

8.	<b>Tree Removal.</b> Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.
9.	<p><b>Tree Protection Measures.</b> Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> <li>• Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.</li> <li>• Excavation within 6 feet of a tree trunk is not permitted.</li> <li>• No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree.</li> <li>• Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.</li> <li>• Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing.</li> <li>• The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots.</li> <li>• If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.</li> </ul> <p>If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.</p>
10.	<b>Indemnification.</b> The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
11.	<b>Conditions of Approval.</b> Prior to the issuance of a building permit, these signed Conditions of Approval shall be printed on a full-size sheet within the construction plan set submitted to the Building Division.
<b>Special Conditions</b>	
12.	<b>Building Permit.</b> The applicant shall obtain a Building Permit from the Planning and Building Department.
13.	<b>Exterior Lighting.</b> Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground. All fixtures shall be shielded and down facing.

14.	<b>Aluminum-Clad Wood Frame Windows and Doors.</b> Prior to the issuance of a building permit, the Applicant shall include the manufacturer's specifications for the approved aluminum-clad wood windows and doors. The window style shall be consistent with authentic wood windows and doors with divided lights that appear to be true divided light, including the use of internal and external mullions and muntins on insulated windows. Any window pane dividers, which are snap-in or otherwise superficially applied, are not permitted. The painted finish shall be matte or low gloss.
15.	<b>Copper Gutters &amp; Downspouts Not Permitted.</b> Copper gutters and downspouts are prohibited.
16.	<b>Conditions of Approval Acknowledgement.</b> Prior to the issuance of a building permit revision, a completed <b>Conditions of Approval Acknowledgment</b> form shall be included in the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor prior to the issuance of a building permit.

Acknowledgment and acceptance of conditions of approval:

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date



L	AND	ELEC	ELECTRICAL	LAV	LAVATORY	SPEC	SPECIFICATION
Q	ANGLE	EP	ELECTRIC PANELBOARD	LT	LIGHT	SQ	SQUARE
@	AT	EL	ELEVATION	LWC	LIGHTWEIGHT CONCRETE	SS	STAINLESS STEEL
Q	CENTERLINE	ELEV	ELEVATOR	MB	MARKER BOARD	STD	STANDARD
Q	DIAMETER OR ROUND	ENCL	ENCLOSURE	MFR	MANUFACTURER	STL	STEEL
Q	PERPENDICULAR	ENGR	ENGINEER	MO	MASONRY OPENING	STRUCT	STRUCTURAL
#	POUND OR NUMBER	EQ	EQUAL	MAX	MAXIMUM	SUSP	SUSPENDED
#	PROPERTY LINE	EQPT	EQUIPMENT	MECH	MECHANICAL	SAT	SUSPENDED ACOUSTIC TILE
ABV	ABOVE	EXIST (E)	EXISTING	MEMB	MEMBRANE	SYM	SYMETRICAL
AFF	ABOVE FINISH FLOOR	EJ	EXPANSION JOINT	MEPS	MOLDED EXPANDED	SYS	SYSTEM
ACOUS	ACOUSTICAL	EXP	EXPOSED		POLYSTYRENE BOARD	T	TREAD
ADJ	ADJUSTABLE	FOC	FACE OF CONCRETE	MET	METAL	TEMP	TEMPERED
AGG	AGGREGATE	EXT	EXTERIOR	MIN	MINIMUM	THK	THICKNESS
ALT	ALTERNATE	FOS	FACE OF FINISH	MISC	MISCELLANEOUS	THRES	THRESHOLD
ALB	ALUMINIUM	FOF	FACE OF STUD	MTD	MOUNTED		TACKBOARD
APPROX	ANCHOR BOLT	FRP	FIBERGLASS REINFORCED	MUL	MULLION	TCA	TILE COUNCIL OF AMERICA
ARCH	APPROXIMATE		PLASTIC	NOM	NOMINAL	T&G	TONGUE & GROVE
ARCH	ARCHITECTURAL	FIN	FINISH	NIC	NOT IN CONTRACT	TOC	TOP OF CONCRETE
AC	ASPHALTIC CONCRETE	FF	FINISH FLOOR	NTS	NOT TO SCALE	TOP	TOP OF PAVEMENT
BM	BEAM	FA	FIRE ALARM	NO #	NUMBER	TOS	TOP OF STEEL
BITUM	BITUMINOUS	FEB	FIRE EXTINGUISHER/BACKET	O/	OVER	TOW	TOP OF WALL
BLK	BLOCK	FEC	FIRE EXTINGUISHER/CABINET	OC	ON CENTER	TS	TUBE STEEL
BLKG	BLOCKING	FIXT	FIXTURE	OPP	OPPOSITE	TPY	TYPICAL
BD	BOARD	FLASH	FLASHING	OPP HND	OPPOSITE HAND	TEN	TYPICAL END NAIL
BOT	BOTTOM	FLBX	FLEXIBLE		OUTSIDE DIAMETER	UON	UNLESS OTHERWISE NOTED
BLDG	BUILDING	FLR	FLOOR	QA	OVERALL	VERIF	VERIFY IN FIELD
BUR	BUILT-UP ROOFING	FD	FLOOR DRAIN	QH	OVERHEAD	VERT	VERTICAL
CAB	CABINET	FLUOR	FLUORESCENT	PT	PAINT	VGDF	VERTICAL GRAIN DOUGLAS FIR
CA	CARPET	FTG	FOOTING	PR	PAIR	VCT	VINYL COMPOSITION TILE
CLKG	CAULKING	FT	FOOT OR FEET	PNL	PANEL	VWF	VINYL WALL FABRIC
CB	CATCH BASIN	FDN	FOUNDATION	PTN	PARTITION	WP	WATERPROOF
CI	CAST IRON	FR	FRAME	PLAS	PLASTER	WPM	WATERPROOF MEMBRANE
CLG	CEILING	FURR	FURRING	P LAM	PLASTIC LAMINATE	WMM	WELDED WIRE MESH
CEM	CEMENT	GALV	GALVANIZED	PL	PLATE	WDW	WINDOW
CT	CENTER	GSM	GALVANIZED SHEET METAL	PWD	PLYWOOD	W/	WITH
CTR	CERAMIC TILE	GA	GATE	PS	PLYWOOD SHEATHING	WO	WITHOUT
CLR	CLEAR	GENL	GENERAL	PT	POINT OR PAINT	WD	WOOD
CW	COLD WATER	GL	GLASS	PVMT	PAVEMENT		
COL	COLUMN	GLB	GLULAM BEAM	QT	QUARRY TILE		
CONC	CONCRETE	GR	GRADE	R	RADIUS OR RISER		
CMU	CONCRETE MASONRY UNIT	GND	GROUND	RWL	RAIN WATER LEADER		
CONN	CONNECTION	GYP	GYPSPUM	RWD	REDWOOD		
CONST	CONSTRUCTION	GWB	GYPSPUM WALL BOARD	REINF	REINFORCED		
CL	CONTROL JOINT	HR	HANDRAIL	REQ	REQUIRED		
CONT	CONTINUOUS	HDWR	HARDWARE	RESIL	RESISTANT		
CONTR	CONTRACTOR	HDWD	HARDWOOD	REV	REVISION OR REVISED		
CTSK	COUNTERSINK	HDR	HEADER	RD	ROOF DRAIN		
DET	DETAIL	HT	HEIGHT	RO	ROUGH OPENING		
DIAG	DIAGONAL	HM	HOLLOW METAL	SCHED	SCHEDULE		
DIA	DIAMETER	HORZ	HORIZONTAL	SECT	SECTION		
DIM	DIMENSION	HB	HOSE BIBB	SAD	SEE ARCHITECTURAL DRAWINGS		
DR	DOOR	HR	HOUR	SED	SEE ELECTRICAL DRAWINGS		
DS	DOWNSPOUT	HW	HOT WATER	SLD	SEE LANDSCAPE DRAWINGS		
DWG	DRAWING	INCL	INCLUDE	SMD	SEE MECHANICAL DRAWINGS		
DF	DRINKING FOUNTAIN	ID	INSIDE DIAMETER	SSD	SEE STRUCTURAL DRAWINGS		
	OR DOUGLAS FIR	INSUL	INSULATION	SHT	SHEET		
DP	DIMENSION POINT	INT	INTERIOR	SH	SHELF		
EA	EACH	JT	JOINT	SHWR	SHOWER		
EIFS	EXTERIOR INSULATION	JST	JOIST	SIM	SIMILAR		
	FINISH SYSTEM	LAM	LAMINATE	SC	SOLID CORE		

<p><b>I. GENERAL DIMENSIONING REQUIREMENTS:</b></p> <ol style="list-style-type: none"> <li>CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD BEFORE COMMENCING WORK. CONTRACTOR TO FURNISH AND INSTALL ALL MATERIALS NECESSARY TO COMPLETE THE WORK INDICATED ON THE DRAWINGS AND SPECIFIED.</li> <li>DIMENSIONS AT EXTERIOR WALLS ARE GIVEN TO FACE OF SHEATHING/FOUNDATION, UNLESS OTHERWISE NOTED.</li> <li>DIMENSIONS AT INTERIOR WALLS ARE GIVEN TO FACE OF STUDS, UNLESS OTHERWISE NOTED.</li> </ol>	<p>2. PERMANENT LABEL PER CBC SECTION 2406.2 SHALL IDENTIFY EACH LIGHT OF A SIGNATURE GLAZING.</p> <ol style="list-style-type: none"> <li>EVERY MANUFACTURED FENESTRATION PRODUCT SHALL HAVE PERMANENT LABELING THAT CERTIFIES COMPLIANCE WITH AIR LEAKAGE, U-FACTOR, SHGC AND VT PER SEC. 10-111 OF THE CAGBS.</li> </ol>
<p><b>II. DETAILS:</b></p> <p>IN THE EVENT THAT CERTAIN DETAILS OF THE CONSTRUCTION ARE NOT FULLY SHOWN OR NOTED ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS, THEIR CONSTRUCTION SHALL BE OF THE SAME SIZE AND CHARACTER AS FOR SIMILAR CONDITIONS WHICH ARE SHOWN AND NOTED.</p>	<p><b>VII. FINISHES/POLLUANT CONTROL</b></p> <ol style="list-style-type: none"> <li>PENETRATIONS AND OPENINGS SHALL BE PROTECTED DURING CONSTRUCTION IN CONFORMANCE WITH CAGBS SEC. 4.504.1.</li> <li>FINISHES AND ADHESIVES SHALL COMPLY WITH VOC LIMITS PER CGCB SEC. 4.504 TABLES 4.504.1-4.505.3. CONTRACTOR SHALL PROVIDE DOCUMENTATION OF INSTALLED MATERIALS AND FINISHES.</li> </ol>
<p><b>III. LIGHT FIXTURES:</b></p> <ol style="list-style-type: none"> <li>RECESSED LIGHT FIXTURES LOCATED IN NEW JOIST SPACES WILL CONTROL THE LOCATION OF JOISTS.</li> </ol>	<p><b>VIII. AIR LEAKAGE &amp; INSULATION</b></p> <ol style="list-style-type: none"> <li>ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION.</li> </ol>
<p><b>IV. WATER:</b></p> <p>ALL PLUMBING FIXTURES WITHIN THIS PROJECT SCOPE MUST COMPLY WITH THE FOLLOWING REQUIREMENTS.</p> <ol style="list-style-type: none"> <li>TOILETS: 1.28 GALLONS/FLUSH MAXIMUM, U.O.N.</li> <li>SHOWER HEADS: 2.0 GALLONS PER MINUTE MAXIMUM @ 80 PSI</li> <li>FAUCETS: WASHBASIN MUST HAVE AERATORS WHICH RESTRICT FLOW TO 1.2 GALLONS PER MINUTE @ 80 PSI, ALL OTHER FAUCETS, 1.8 GPM.</li> </ol>	<p><b>IX. ENHANCED DURABILITY AND REDUCED MAINTENANCE</b></p> <ol style="list-style-type: none"> <li>ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITES OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.</li> <li>OPENINGS IN THE BUILDING ENVELOPE SEPARATING CONDITIONED AND NON-CONDITIONED SPACE NEEDED TO ACCOMMODATE GAS, PLUMBING, ELECTRICAL LINES AND OTHER NECESSARY PENETRATIONS, MUST BE SEALED AS REQUIRED BY THE CAEC.</li> </ol>
<p><b>V. PLUMBING:</b></p> <ol style="list-style-type: none"> <li>THE USE OF SOLDERS CONTAINING MORE THAN TWO TENTHS OF ONE PERCENT LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED PER SB 164.</li> <li>THE USE OF PLUMBING PIPELINES AS AN ELECTRICAL GROUND IS PROHIBITED PER SB 164.</li> <li>NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT PER SECTION 6(K), ORD 3522.</li> <li>ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUTOFF NOZZLE. WHEN AN AUTOMATIC SHUTOFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUTOFF NOZZLE PER SEC. 6(K), ORD 3522.</li> <li>NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUBPOTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE PER SECTION 6(K), ORD 3522.</li> </ol>	<p><b>X. CONSTRUCTION WASTE REDUCTION</b></p> <ol style="list-style-type: none"> <li>RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE. EXCEPTIONS: <ol style="list-style-type: none"> <li>EXCAVATED AND LAND-CLEARING DEBRIS.</li> <li>ALTERNATE WASTE REDUCTION METHODS BY WORKING WITH LOCAL AGENCIES IF DIVERSION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOBSITE.</li> </ol> </li> <li>WHERE A LOCAL JURISDICTION DOES NOT HAVE A MORE STRINGENT WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE ENFORCING AGENCY. OTHER OPTIONS FOR MEETING THE 50% WASTE REDUCTION REQUIREMENTS INCLUDE UTILIZING A WASTE MANAGEMENT COMPANY APPROVED BY THE LOCAL ENFORCING AGENCY OR REDUCING TOTAL CONSTRUCTION WASTE GENERATION TO BELOW 4 POUNDS PER SQUARE FOOT OF BUILDING AREA.</li> </ol>
<p><b>VI. GLAZING</b></p> <ol style="list-style-type: none"> <li>NEW DOORS WITH GLAZING SHALL HAVE A U-FACTOR EQUAL TO OR LESS THAN 0.45 AND COMPLY WITH PACKAGE 'D' SHDG REQUIREMENTS.</li> </ol>	<p><b>XI. APPLICABLE CODES:</b> THIS PROJECT SHALL CONFORM TO :  CALIFORNIA BUILDING CODE, 2022 EDITION (CBC)  CALIFORNIA PLUMBING CODE, 2022 EDITION (CPC)  CALIFORNIA MECHANICAL CODE, 2022 EDITION (CMC)  CALIFORNIA ELECTRICAL CODE, 2022 EDITION (CEC)  TITLE 24 CALIFORNIA BUILDING ENERGY CODE, 2022 EDITION (CAEC)  TITLE 24 CALIFORNIA GREEN BUILDING STANDARDS CODE, 2022 EDITION (CAGBS)  CALIFORNIA RESIDENTIAL CODE, 2022 EDITION (CRC)  CALIFORNIA FIRE CODE, 2022 EDITION (CFC)  CITY OF CARMEL BY THE SEA AMENDMENTS AND REGULATORY REQUIREMENTS</p>

Permit #: DS 23-344 (Hipwell)

Date Approved: February 6, 2024

Planner: A. Barton

## 1

[illegible]

<b>OWNER</b>	FRED & KRIS HIPWELL P.O. BOX CARMEL, CA 93923
<b>ARCHITECT</b>	GRETCHEN FLESHER ARCHITECTS 550 HARTNELL ST, SUITE E MONTEREY, CA 93940 831.375-4868   gretchen@gfastudio.com
<b>LOCATION</b>	TORRES STREET 10 SW OF 10TH CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
<b>LEGAL DESCRIPTION:</b>	LOTS 19, BLOCK 119, ADDITION NO.5 TO CARMEL-BY-THE-SEA
<b>APN</b>	010-072-025
<b>PARCEL AREA</b>	4000 SQ. FT.
<b>ZONING</b>	R-1
<b>FIRE DEPARTMENT</b>	CARMEL FIRE
<b>SCOPE OF WORK</b>	<p>THE PROJECT SCOPE INCLUDES MINOR EXTERIOR WORK;</p> <ol style="list-style-type: none"> <li>1. REPLACE THE FRONT SECTION OF THE BALCONY GUARDRAIL WITH (N) STAINED WOOD RAILING, REPLACE BALCONY WALKING SURFACE WITH (E) PAINTED WOOD WINDOWS WITH (N) ALUM. CLAD WOOD WINDOWS IN THE EXISTING OPENINGS;</li> <li>3. REPLACE 3 (E) FRENCH DOORS WITH NEW ALUM. CLAD WOOD DOORS IN (E) OPENINGS;</li> <li>4. REMOVE SELECT EXTERIOR DECORATIVE LIGHT FIXTURES AND REPLACE REMAINING WITH NEW WALL FIXTURES;</li> <li>5. REPLACE (E) PAINTED WOOD GARAGE DOOR WITH NEW STAINED WOOD DOOR, REPLACE (E) PAINTED DUTCH DOOR WITH (N) STAINED WOOD DUTCH DOOR;</li> <li>6. EXTERIOR PAINT OF ENTIRE RESIDENCE.</li> </ol> <p>INTERIOR REMODELING INCLUDES REMODELING IN PLACE TWO BATHROOMS AND THE KITCHEN, NEW INTERIOR FLOORING, LIGHTING FIXTURE UPGRADES, REPLACEMENT OF METAL FIREPLACES, SURROUNDS AND HEARTHES IN (E) LOCATIONS.</p>
<b>SITework</b>	NONE (PREVIOUS WORK DONE UNDER BLDG. PERMIT 17165)
<b>TREE REMOVAL</b>	NONE
<b>REQUIRED PARKING</b>	NA
<b>OCCUPANCY</b>	SFD
<b>CONSTRUCTION TYPE</b>	V-B
<b>WATER</b>	EXISTING CAL AM METER
<b>SEWER</b>	CITY SEWER
<b>CUT AND FILL</b>	NONE
<b>FIRE PROTECTION/ SPRINKLERS</b>	NO <5% REMOVAL OR ADDITION OF LINEAR INTERIOR AND EXTERIOR WALLS
<b>PROJECT AREA</b>	<b>EXISTING/PROPOSED</b>
FLOOR AREA	
EXISTING RESIDENCE	1435 SQ. FT.
GARAGE	370 SQ. FT.
TOTAL AREA	2422 SQ. FT.

esher AIA

GFA

architecture

TORRES ST. 10 SW OF 10th  
CARMEL BY THE SEA, CA

APN 010-072-025

1317.01

## CONSTRUCTION PERMIT SUBMITTAL

**Title:**

PROJECT INFORMATION  
VICINITY MAP & SYMBOLS  
SHEET INDEX  
ABBREVIATIONS & NOTES

**Revisions:**

 DSA REVISIONS 1.31.24


**Scale: 1/4"=1'-0"**

**Date:** NOV. 7, 2023

Sheet No:

## A1.0





Project: \_\_\_\_\_

Location: \_\_\_\_\_

Fixture Type: \_\_\_\_\_

Catalog Number: \_\_\_\_\_

AVAILABLE FINISHES:

BRONZE FINISH

Mist

WS-W54016

FEATURES

- ACL ED driverless technology
- Seedy mouth-blown hammered glass
- Removable glass for easy cleaning
- IDA Dark Sky compliant when mounted in a downward orientation

SPECIFICATIONS

Rated Life 54000 Hours

Standards ETL, cETL, Wet Location Listed, Title 24 JAR, 2019 Compliant, Dark Sky Friendly

Input 120 VAC, 50/60Hz

Dimming ELV

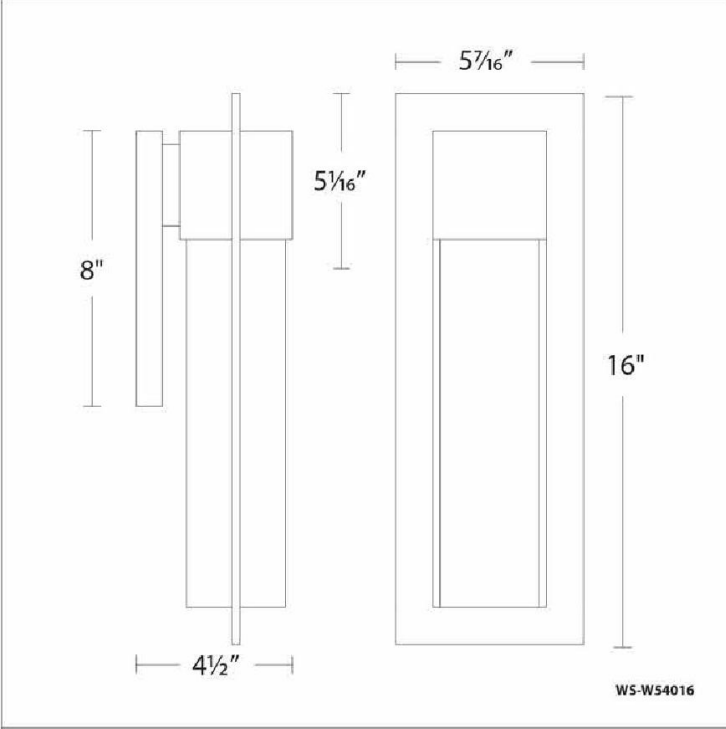
Color Temp 3000K

CRI 90

Construction Aluminum body with hammered seedy glass

REPLACEMENT PARTS


RPL-GLA-S4016 - Glass



Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W54016 10"	3000K	Black	4.3W	113	113
	3000K	Bronze	4.3W	113	113

Example: WS-W54016-BZ

For custom requests please contact [customs@modernforms.com](mailto:customs@modernforms.com)



Project: \_\_\_\_\_

Location: \_\_\_\_\_

Fixture Type: \_\_\_\_\_

Catalog Number: \_\_\_\_\_

AVAILABLE FINISHES:

BRONZE FINISH

Mist

WS-W54020

PRODUCT DESCRIPTION

A contemporary outdoor scone inspired by the handmade colonial era glass window panes. The seeded and hammered glass is captivatingly framed and weather resistant finished.

FEATURES

- ACL ED driverless technology
- Seedy mouth-blown hammered glass
- Removable glass for easy cleaning
- IDA Dark Sky compliant when mounted in a downward orientation

SPECIFICATIONS

Rated Life 54000 Hours

Standards ETL, cETL, Wet Location Listed, Title 24 JAR, 2019 Compliant, Dark Sky Friendly

Input 120 VAC, 50/60Hz

Dimming ELV

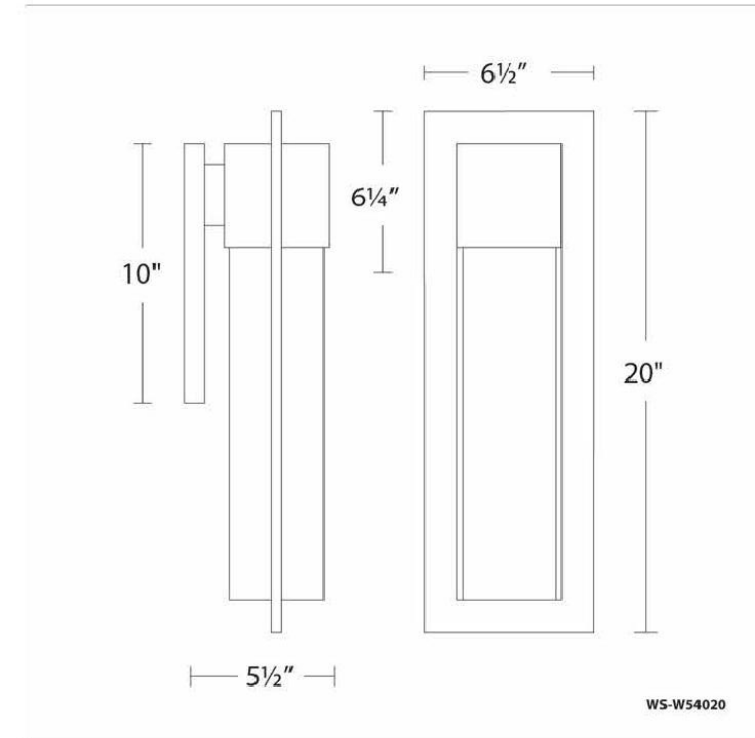
Color Temp 3000K

CRI 90

Construction Aluminum body with hammered seedy glass

REPLACEMENT PARTS

RPL-GLA-S4020 - Glass



Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W54020 20"	3000K	Black	8W	600	228
	3000K	Bronze	8W	600	228

Example: WS-W54020-BZ

For custom requests please contact [customs@modernforms.com](mailto:customs@modernforms.com)

MODERN FORMS

## PROPOSED EXTERIOR LIGHTING

A  
SMALL

B  
LARGE

1

EXTERIOR LIGHT FIXTURE KEY

A MIST BY MODERN FORMS WALL FIXTURE - SMALL

B MIST BY MODERN FORMS WALL FIXTURE - MEDIUM

### SITE PLAN LEGEND

- CONCRETE PAVER WALKWAY
- SAND SET STONE PATIO
- CONCRETE PAVER DRIVEWAY
- 4' HT. WOOD FENCE TRASH ENCLOSURE
- EXISTING TREE
- D.G. PARKING AREA
- FIREPIT
- WOOD BOARDWALK
- LOW LANDSCAPE WALLS
- CONCRETE ENTRY LANDING
- PLANTING AREA
- A.C. PAVING

CARMEL-BY-THE-SEA  
PLANNING DEPARTMENT  
APPROVED

Permit #: DS 23-344 (Hipwell)

Date Approved: February 6, 2024

Planner: A. Barton

Gretchen Flesher AIA

GFA  
architecture

550 Hartnell St., Suite E  
Monterey CA 93940 831.375.4868

## HIPWELL RESIDENCE REMODEL

TORRES ST. 10 SW OF 10th  
CARMEL BY THE SEA, CA

APN 010-072-025

1317.01

TRACK 1 DESIGN REVIEW

Title:  
SITE PLAN  
EXTERIOR LIGHT FIXTURES

### Revisions:

DSA REVISIONS 1.31.24

Scale: 1/8"=1'-0"

Date: NOV. 7, 2023

Sheet No:

A2.0

# HIPWELL RESIDENCE REMODEL

TORRES ST. 10 SW OF 10th  
CARMEL BY THE SEA, CA

APN 010-072-025

1317.01

TRACK 1 DESIGN REVIEW

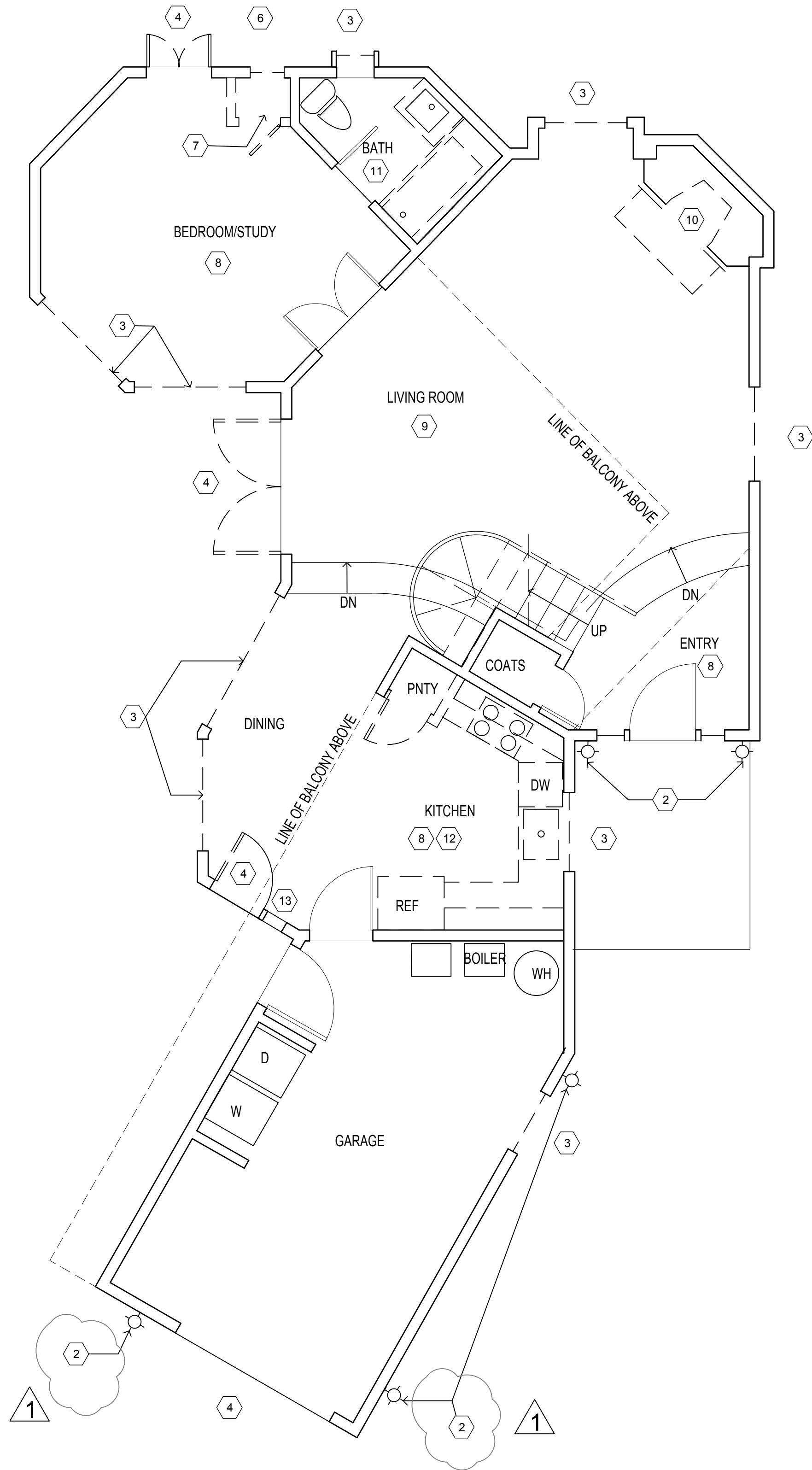
Title:  
EXISTING FLOOR/DEMO PLAN

Revisions:  
△ DSA REVISIONS 1.31.24

Scale: 1/4"=1'-0" Sheet No:  
Date: NOV. 7, 2023 A3.0

CARMEL-BY-THE-SEA  
PLANNING DEPARTMENT  
APPROVED

Permit #: DS 23-344 (Hipwell)  
Date Approved: February 6, 2024  
Planner: A. Barton



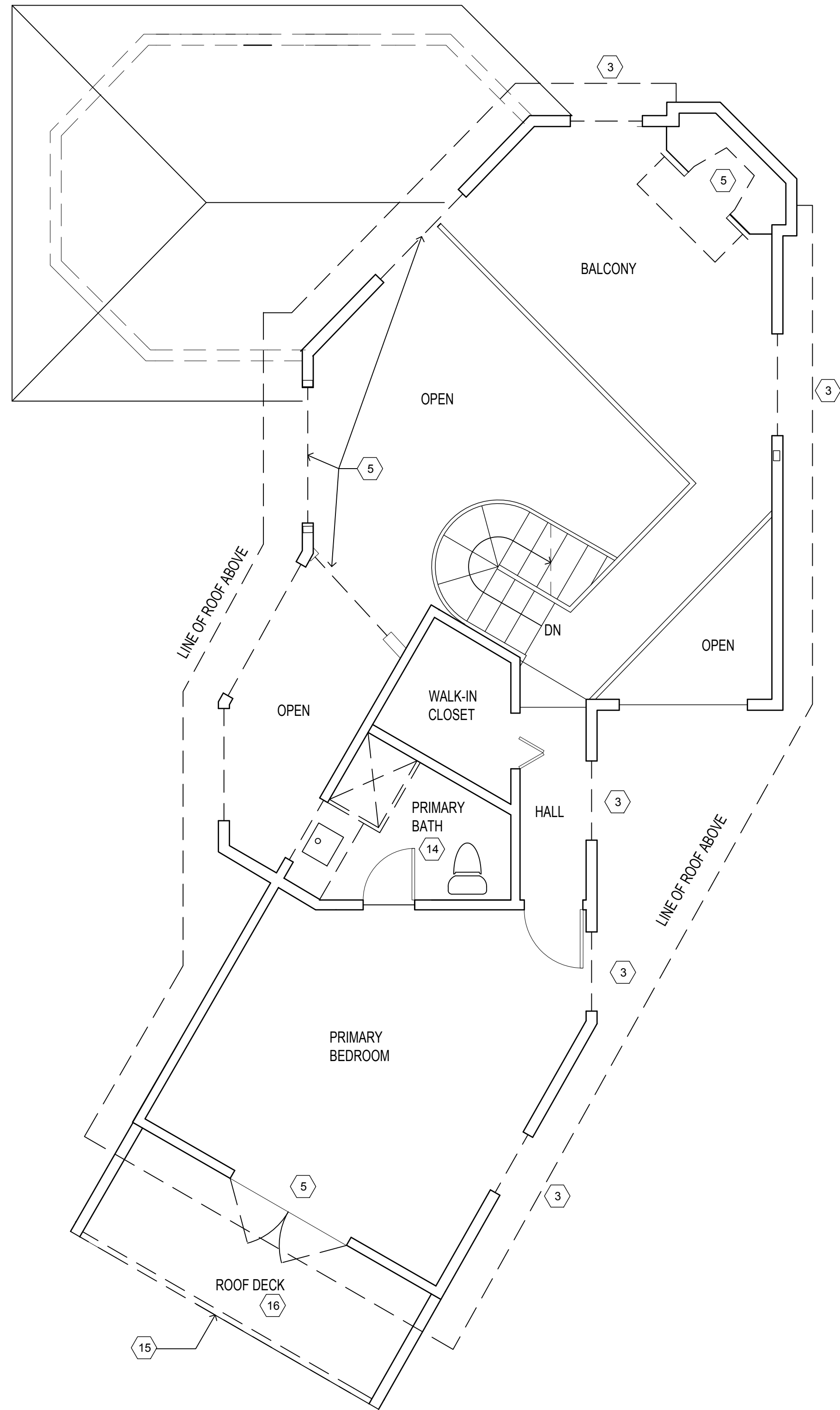
2 LOWER FLOOR PLAN  
1/4"=1'-0"

## EXISTING PLAN DEMO NOTES

- NOT USED
- REPLACE (E) WALL LIGHT FIXTURE
- WINDOW(S) TO BE REPLACED IN (E) OPENING
- DOOR TO BE REPLACED IN (E) OPENING
- DOOR AND TRANSOM ABOVE TO BE REPLACED IN (E) OPENING
- WINDOW TO BE REMOVED, PATCH WALL FINISHES TO MATCH ADJ. FINISHES
- CLOSET WALLS AND DOOR TO BE REMOVED
- REMOVE TILE FLOORING
- REPLACE WOOD FLOORING
- REPLACE PREFAB GAS FIREPLACE, HEARTH AND TILE SURROUND
- REMOVE BATHTUB, TILE SURROUND, VANITY AND FLOOR FINISHES
- REMOVE KITCHEN CABINETS, APPLIANCES, PANTRY AND FIXTURES FOR REPLACEMENT
- REMOVE THRU-WALL PET DOOR OPENING, PATCH WALL FINISHES
- REMOVE TUB/SHOWER, VANITY, TOILET AND WOOD FLOORING
- REMOVE WOOD GUARDRAIL AND CURB AT FRONT WALL
- REMOVE WATERPROOF DECK FINISH

1 UPPER FLOOR PLAN  
1/4"=1'-0"

LEGEND	
	(E) WALLS TO REMAIN
	NEW 2 X STUD WALL
	DEMOLISHED FEATURES





# HIPWELL RESIDENCE REMODEL

TORRES ST. 10 SW OF 10th  
CARMEL BY THE SEA, CA

APN 010-072-025

1317.01

TRACK 1 DESIGN REVIEW

Title:  
PROPOSED FLOOR PLANS

Revisions:  
Δ DSA REVISIONS 1.31.24

Scale: 1/4"=1'-0" Sheet No:

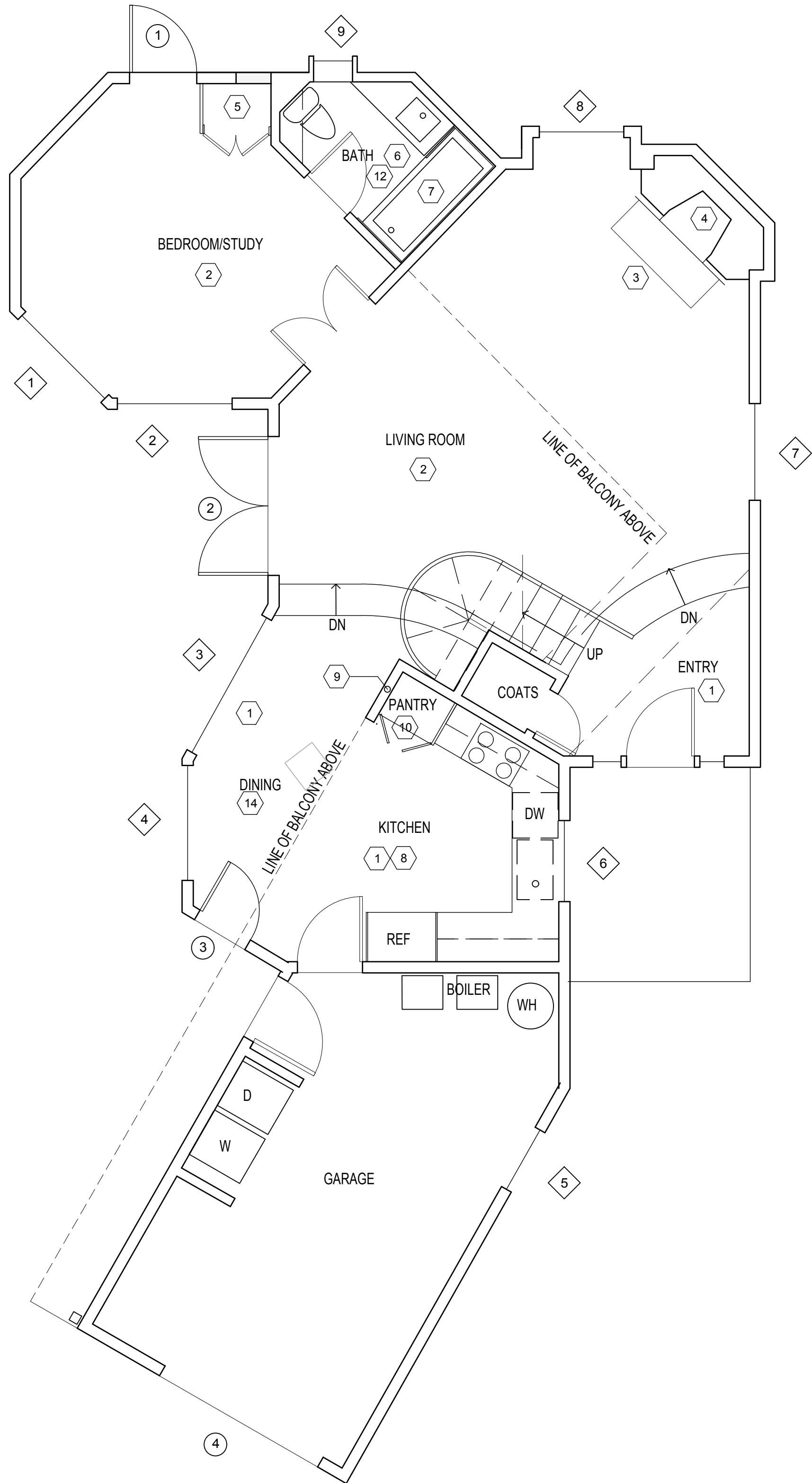
Date: NOV. 7, 2023 A3.1

CARMEL-BY-THE-SEA  
PLANNING DEPARTMENT  
APPROVED

Permit #: DS 23-344 (Hipwell)

Date Approved: February 6, 2024

Planner: A. Barton

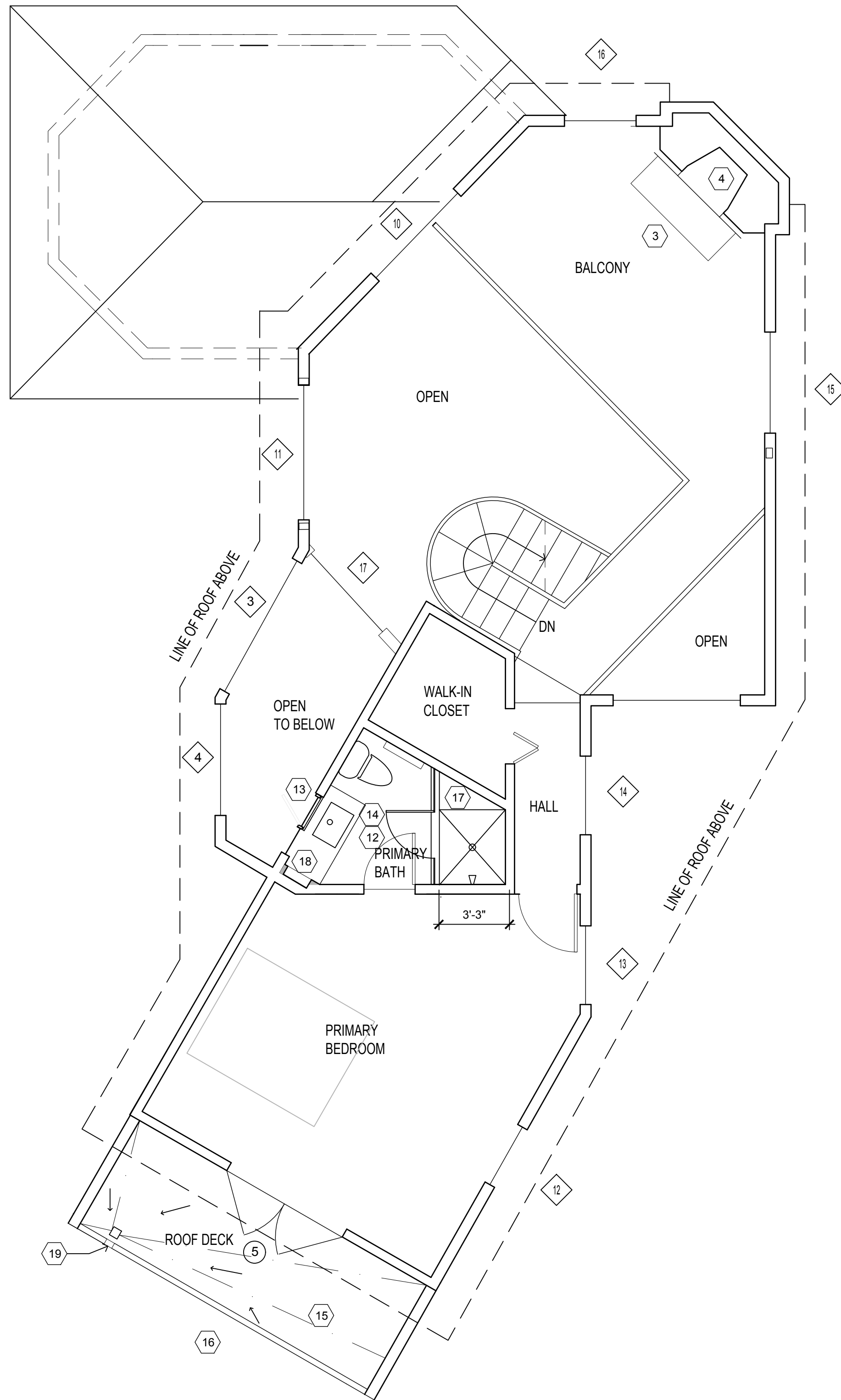


2 LOWER FLOOR PLAN  
1/4"=1'-0"

NOTE:  
SEE SHEET A4 FOR WINDOW AND DOOR SCHEDULES  
AND TYPES. DOORS WITHOUT SYMBOLS WILL NOT  
BE REPLACED.

## FLOOR PLAN SHEET NOTES

- 1 NEW STONE TILE FLOORING
- 2 NEW WOOD FLOORING OVER (E) RADIANT HEATING
- 3 NEW STONE HEARTH AND FIREPLACE SURROUND
- 4 REPLACE (E) METAL GAS FIREPLACE WITH NEW IN (E) LOCATION
- 5 NEW FULL HEIGHT CLOSET CABINET
- 6 NEW BATHTUB, TILE SURROUND, VANITY AND FIXTURES IN (E) LOCATIONS
- 7 NEW TEMP. GLASS ENCLOSURE, SEE INT. ELEV.
- 8 NEW KITCHEN CABINETS, APPLIANCES AND FIXTURES IN (E) LOCATIONS
- 9 NEW WASTE LINE IN WALL
- 10 NEW FULL HEIGHT PANTRY CABINET
- 11 NEW DRAIN LINE FROM DECK ABOVE, TIE TO (E) SITE DRAINAGE
- 12 NEW STONE/TILE FLOORING
- 13 NEW MIRROR AT (E) WINDOW, CLEAR FIXED GLASS AT EACH SIDE TO FILL (E) OPENING
- 14 NEW VANITY, FIXTURES, SHOWER WITH BENCH, AND TEMP. GLASS ENCLOSURE
- 15 REPLACE (E) DECK SURFACE W/NEW WALKING SURFACE AND DRAINAGE, UTILIZ (E) SLOPE OF SUBSTRATE
- 16 NEW WOOD GUARDRAIL AND END WALL CAP TRIM
- 17 FLOATING BENCH
- 18 (N) FURRED WALL & MEDICINE CABINET
- 19 NEW SCUPPER OVERFLOW



1 UPPER FLOOR PLAN  
1/4"=1'-0"

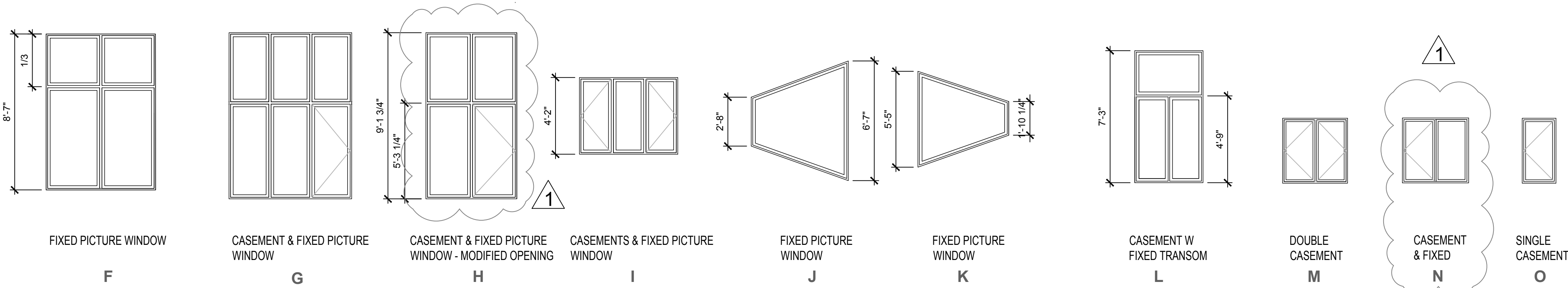
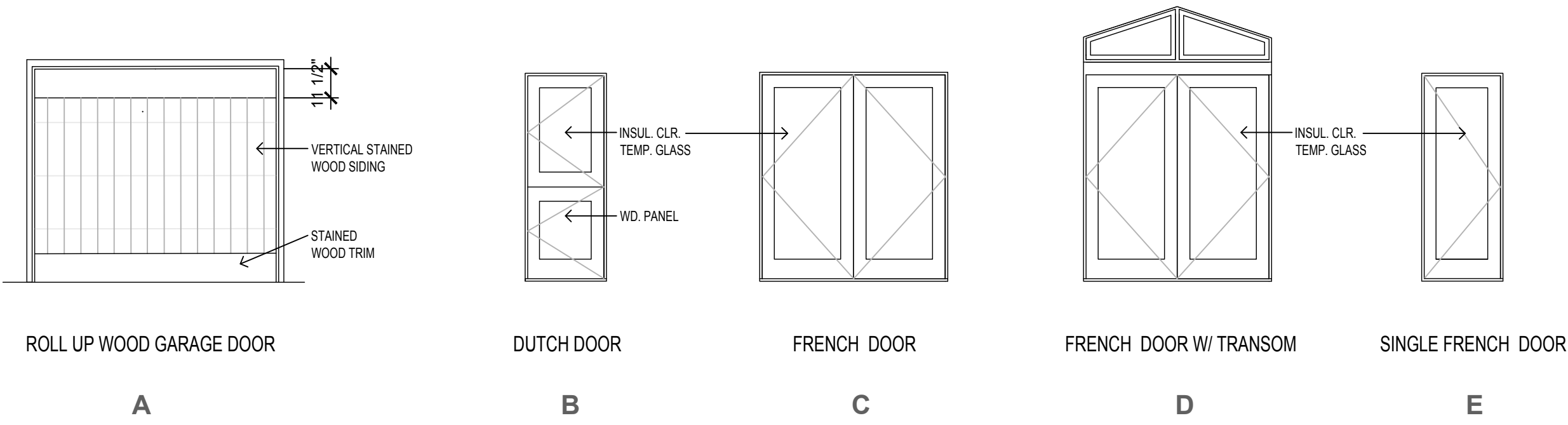
LEGEND  
— (E) WALLS TO REMAIN  
— NEW 2 X STUD WALL  
- - - DEMOLISHED FEATURES



DOOR SCHEDULE

MARK	DOOR TYPE	SIZE		FRAME DETAILS			REMARKS	NOTE
		WIDTH	HEIGHT	HEAD	JAMB	THRESHOLD		
1	E	3'-0"	6'-8"				ALUM. CLAD WOOD OUTSWINGING, TEMP. CLR. GLASS	2,4,5
2	C	6'-0"	6'-8"	4/A5,1	6/A5,1	5,A5,1	ALUM. CLAD WOOD OUTSWINGING, TEMP. CLR. GLASS	2,4,5
3	B	2'-8"	6'-8"	4/A5,1	6/A5,1	5,A5,1	WD. & GLASS DUTCH DOOR	4,5
4	A	8'-0"	7'-0"				WOOD PANEL & TRIM ROLL UP GARAGE DOOR	
5	D	6'-0"	6'-8"				OUTSWINGING FRENCH DR. W/TRAPIZOID TRANSOM	4,5

- ROUGH OPENING SIZES ESTIMATED. ALL DOORS ARE REPLACEMENTS TO (E) DOORS IN (E) OPENINGS. CONTRACTOR TO VERIFY ALL DIMENSIONS.
- FRENCH DOORS BASED ON ULTIMATE WOOD ALUM. CLAD SERIES BY MARVIN, INC.
- FENESTRATION MUST HAVE A MAXIMUM U-FACTOR 0.45
- WHERE REQUIRED PROVIDE TEMPERED GLAZING. A PERMANENT LABEL PER CRC SEC. R308.1 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.
- EVERY MANUFACTURED FENESTRATION PRODUCT SHALL HAVE TEMPORARY AND PERMANENT LABELING THAT CERTIFIES COMPLIANCE W/AIR LEAKAGE, U-FACTOR, SHGC AND VT PER CAEC SEC. 110.6(A)



WINDOW SCHEDULE

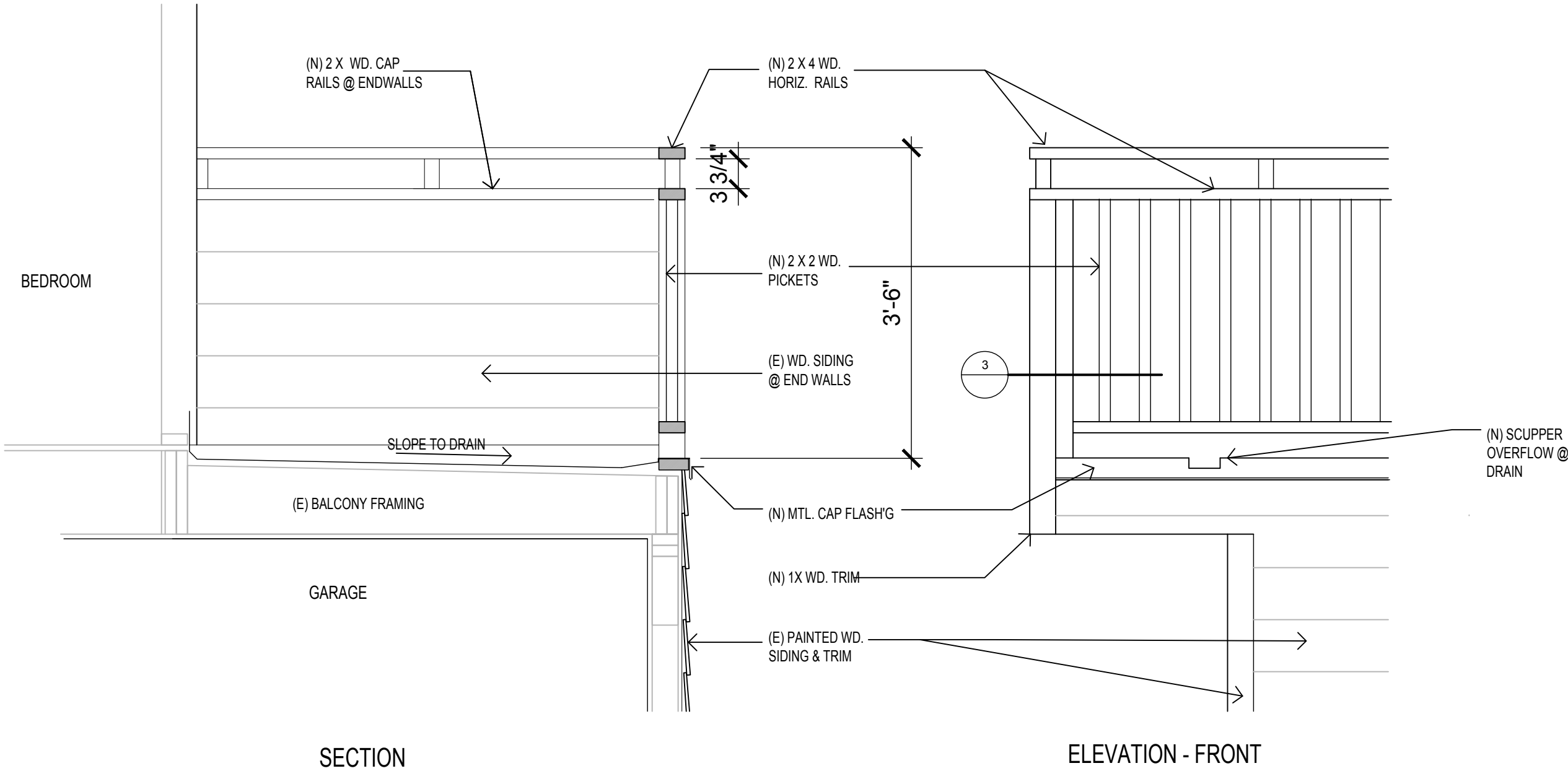
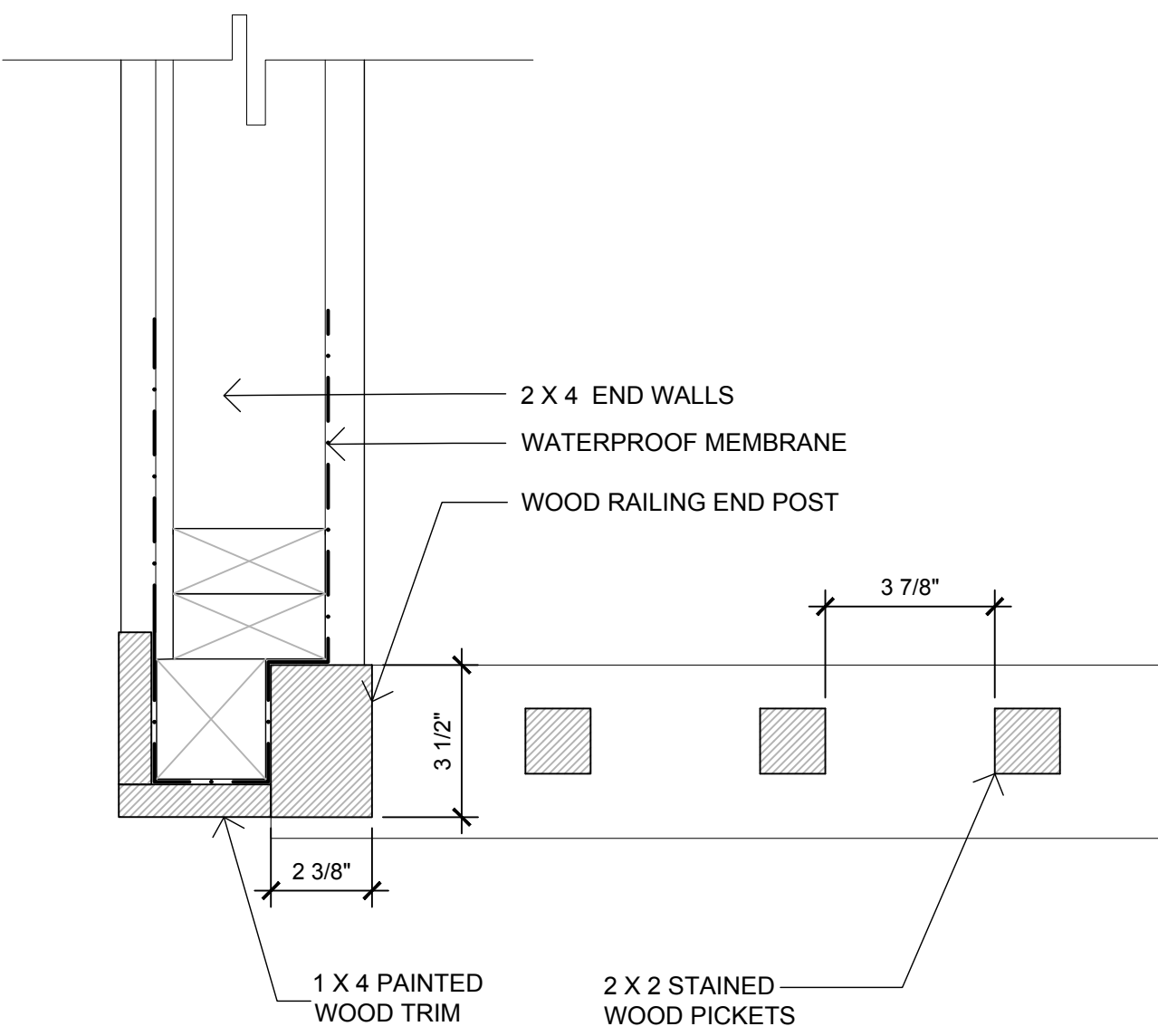
MARK	WINDOW TYPE	SIZE		FRAME DETAILS			REMARKS	NOTE
		WIDTH	HEIGHT	HEAD	JAMB	SILL		
1	I	5'-0"	4'-2"				3 EQ. LIGHTS, 2 CASEMENTS W/ CENTER PICTURE	
2	I	5'-0"	4'-2"				3 EQ. LIGHTS, 2 CASEMENTS W/CENTER PICTURE	
3	G	6'-9"	9'-1"				MULLED 6 PANEL UNIT W/1 CASEMENT	
4	H	5'-0"	9'-1"				MULLED 4 PANEL UNIT W/1 CASEMENT	
5	M	3'-6"	3'-6"					
6	N	3'-6"	3'-6"					
7	L	3'-6"	4'-8"					
8	M	3'-6"	2'-8"					
9	O	1'-10"	2'-8"					
10	J						TRAPIZOID PICTURE WINDOW	
11	F	6'-0"	8'-7"				4 PANE PICTURE WINDOW	
12	M	3'-6"	3'-6"					
13	M	3'-6"	3'-6"					
14	M	3'-6"	3'-6"					
15	M	3'-6"					DOUBLE CASEMENT W/TRANSOM	
16	F	3'-6"	2'-8"					
17	K						TRAPIZOID PICTURE WINDOW	

- WINDOW ROUGH OPENING SIZES ESTIMATED. ALL WINDOWS ARE REPLACEMENTS IN (E) OPENINGS U.O.N. CONTRACTOR TO VERIFY ALL DIMENSIONS.
- WINDOWS BASED ON ULTIMATE WOOD ALUM. CLAD CASEMENT AND PICTURE SERIES BY MARVIN, INC.
- FENESTRATION PRODUCTS MUST HAVE A MAXIMUM U-FACTOR 0.45
- WHERE REQUIRED PROVIDE TEMPERED GLAZING PER CRC SECTION R308.1.
- EVERY MANUFACTURED FENESTRATION PRODUCT SHALL HAVE TEMPORARY AND PERMANENT LABELING THAT CERTIFIES COMPLIANCE W/AIR LEAKAGE, U-FACTOR, SHGC AND VT PER CAEC SEC. 110.6(A)

DOOR & WINDOW TYPES  
1 1/4"=1'-0"

TORRES ST. 10 SW OF 10th  
CARMEL BY THE SEA, CA

APN 010-072-025



1317.01

TRACK 1 DESIGN REVIEW

Title:  
DOOR & WINDOW SCHEDULES  
BALCONY GUARDRAIL ELEV.,  
SECTION & DETAIL

Revisions:  
DSA REVISIONS 1.31.24

Scale: AS NOTED Sheet No:  
Date: NOV. 7, 2023 A4.0



# HIPWELL RESIDENCE REMODEL

TORRES ST. 10 SW OF 10th  
CARMEL BY THE SEA, CA

APN 010-072-025

1317.01

TRACK 1 DESIGN REVIEW

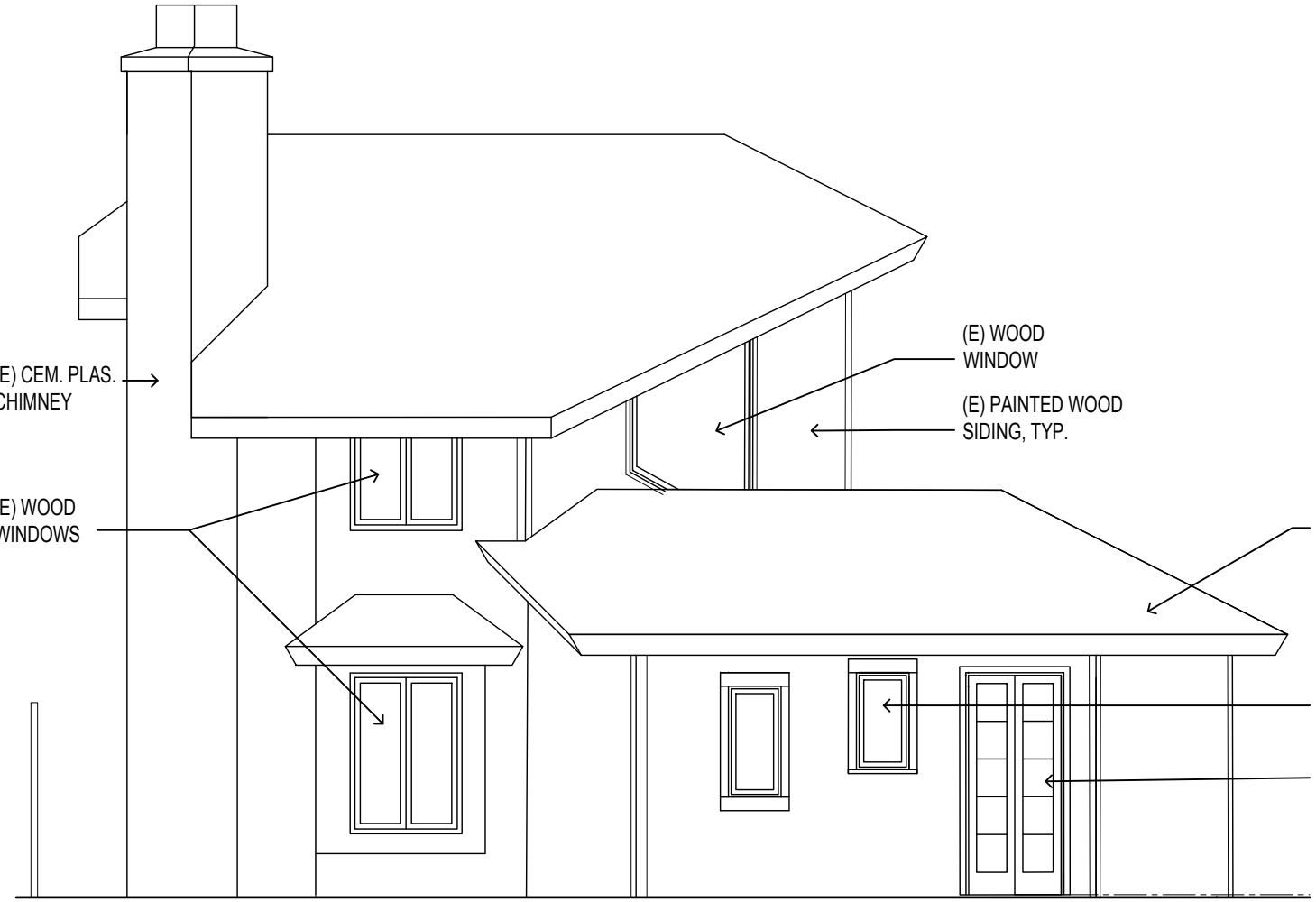
Title:  
EXISTING & PROPOSED  
EXTERIOR ELEVATIONS  
RESIDENCE PHOTOS

Revisions:  
△ DSA REVISIONS 1.31.24

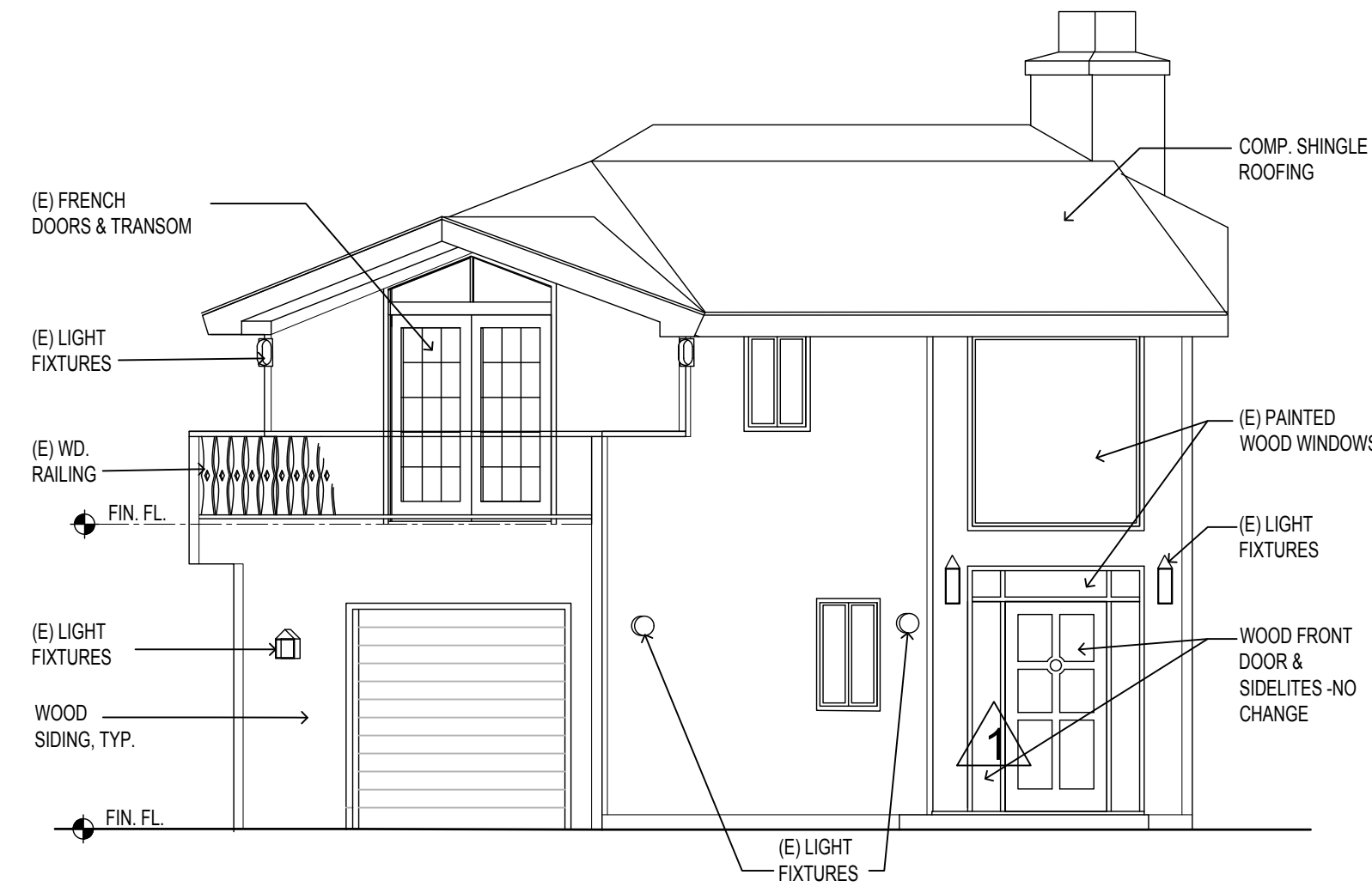
Scale: 1/4"=1'-0" Sheet No:  
Date: NOV. 7, 2023 A5.0



3 PARTIAL WEST PROPOSED  
3/16"=1'-0"



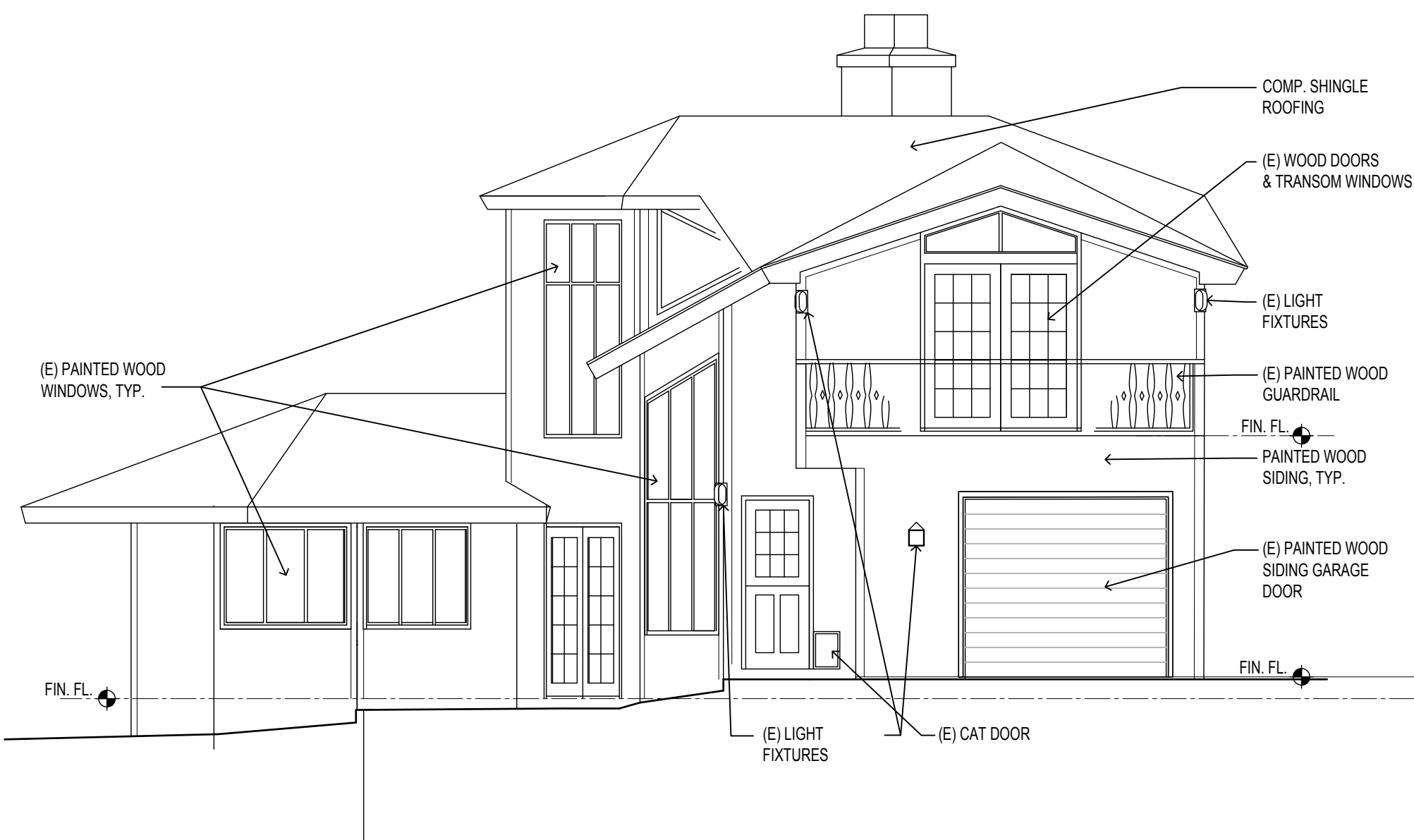
2 PARTIAL WEST EXISTING  
3/16"=1'-0"



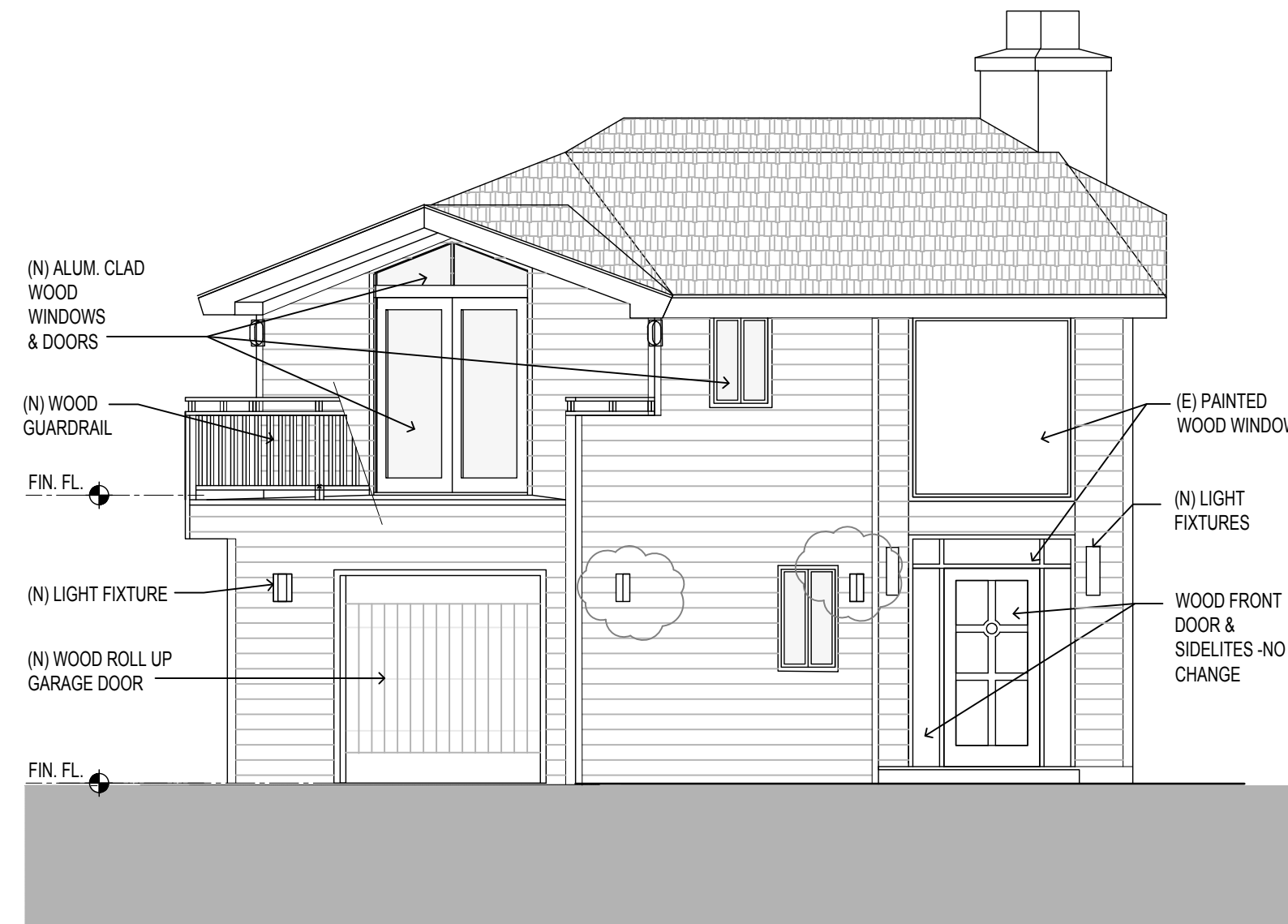
1 NORTHEAST/STREET VIEW EXISTING  
3/16"=1'-0"



5 EAST PROPOSED  
3/16"=1'-0"



4 EAST EXISTING  
3/16"=1'-0"



1  
6 NORTHEAST/STREET PROPOSED  
3/16"=1'-0"

7 EXISTING RESIDENCE PHOTOS  
NO SCALE





# HIPWELL RESIDENCE REMODEL

TORRES ST. 10 SW OF 10th  
CARMEL BY THE SEA, CA

APN 010-072-025

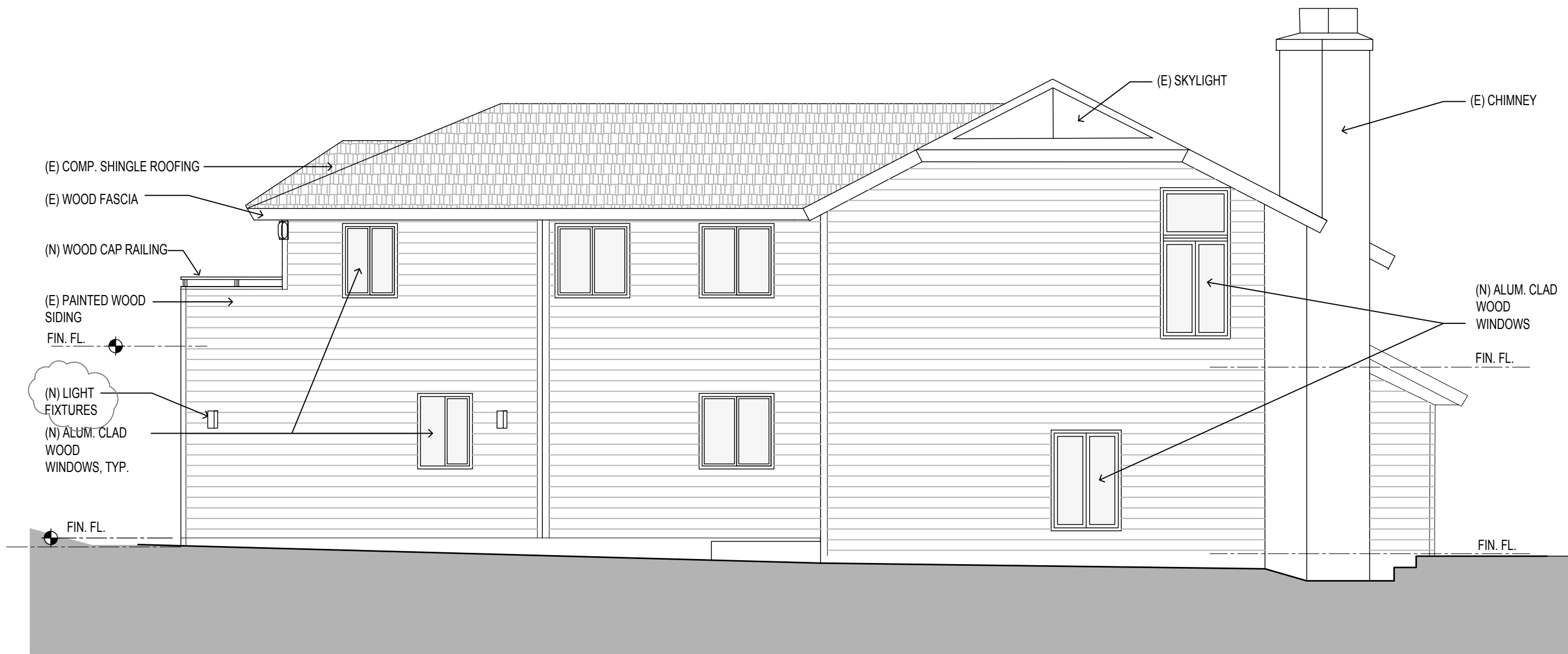
1317.01

TRACK 1 DESIGN REVIEW

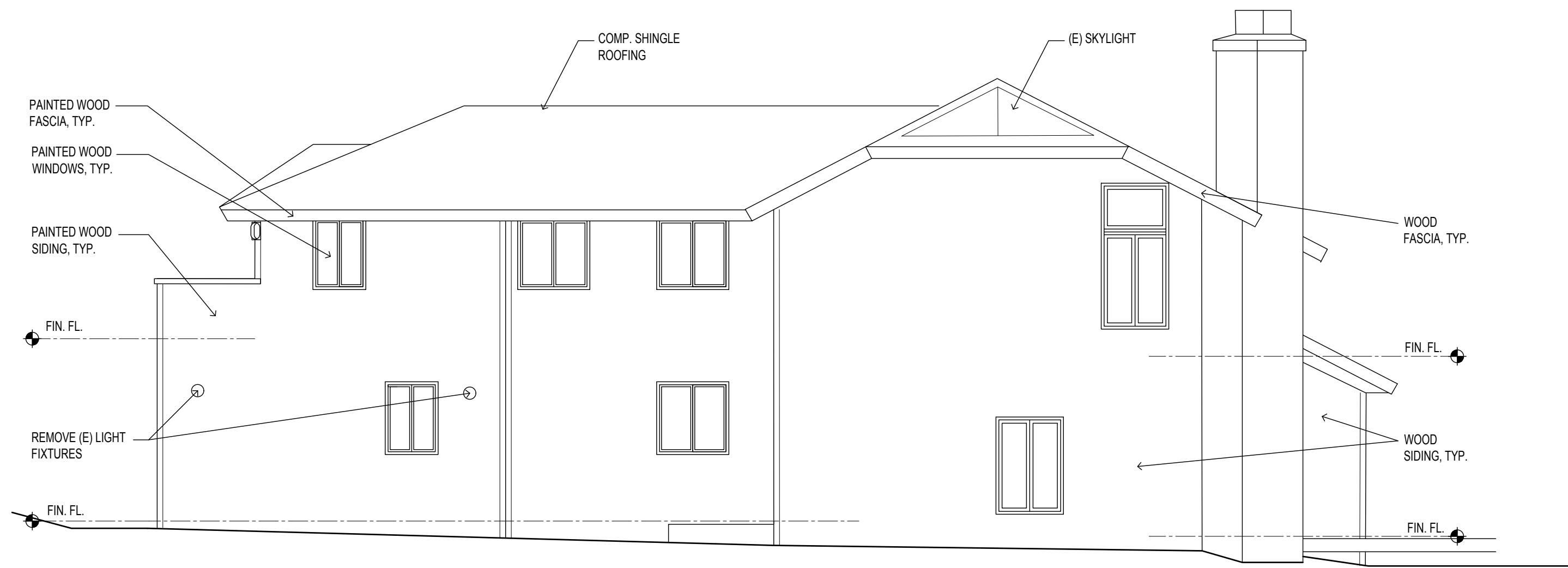
**Title:**  
EXISTING & PROPOSED  
EXTERIOR ELEVATIONS  
MATERIALS

**Revisions:**  
⚠ DSA REVISIONS 1.31.24

**Scale:** 3/16"=1'-0" **Sheet No:**  
**Date:** NOV. 7, 2023 **A5.1**



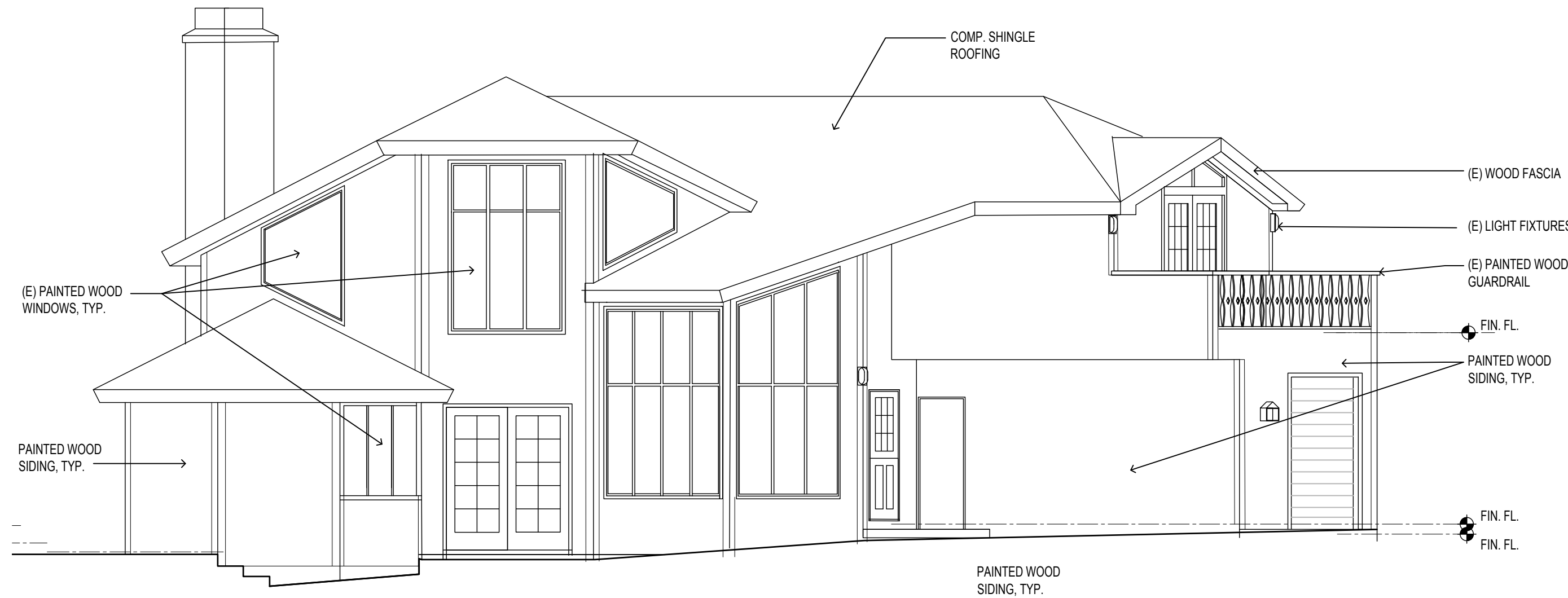
1  
2 NORTH PROPOSED  
3/16"=1'-0"



1  
NORTH EXISTING  
3/16"=1'-0"



1  
4 SOUTH PROPOSED  
3/16"=1'-0"



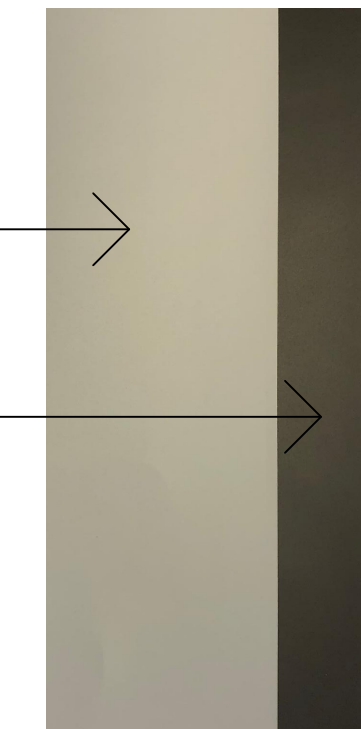
3  
SOUTH EXISTING  
3/16"=1'-0"

**CARMEL-BY-THE-SEA  
PLANNING DEPARTMENT  
APPROVED**

**Permit #:** DS 23-344 (Hipwell)  
**Date Approved:** February 6, 2024  
**Planner:** A. Barton

BENJAMIN MOORE  
"ABALONE" SIDING  
& BODY TRIM

BENJAMIN MOORE  
"MIDSUMMER NIGHT"  
WINDOW & DOOR TRIM,  
FASCIA



**PAINT; SIDING  
& WINDOW TRIM/  
FASCIA**

**WOOD STAIN**



**ALUM. CLAD COLOR**



**ALUM. CLAD WOOD WOOD WINDOWS**



**ALUM. CLAD WOOD FRENCH DOORS**



5  
MATERIALS