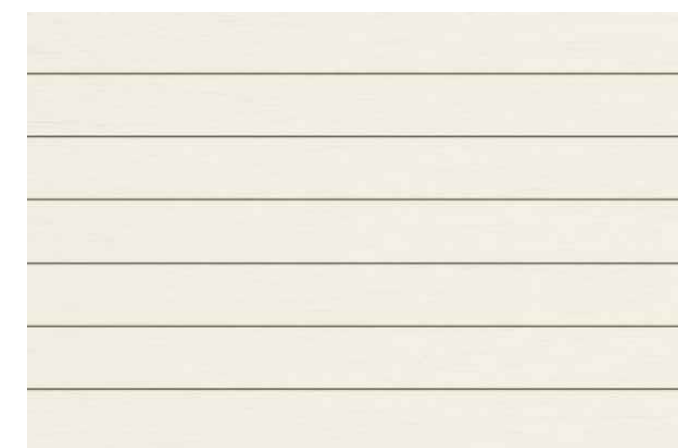


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**PROPOSED MATERIALS**



SLATE SHINGLE ROOF - GRAY



HORIZ. WOOD SIDING - CREAM/IVORY



BRICK VENEER - CREAM/IVORY WASHED FINISHED



ALUM. FRAMED WINDOWS & DOORS - BLACK



WOOD ENTRY & GARAGE DOOR - STAINED BLACK



VERTICAL WOOD FENCING, DARK BROWN STAIN



STONE PAVERS AT DRIVEWAY



STONE TILE @ REAR DECK & PATIO



PROPOSED SKYLIGHT BY 'VELUX'

**EXISTING SITE PHOTOS**



FRONT OF HOUSE & GARAGE LOOKING WEST



FRONT OF GARAGE LOOKING NORTHWEST



BACK OF HOUSE LOOKING NORTHEAST

**BUILDING CODE INFO**

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

ALL MATERIALS & CONSTRUCTION TO COMPLY WITH CHAPTER 7A OF THE 2019 CBC, AND CHAPTER 3, SECTION 337R OF THE 2019 CRC.

**SHEET INDEX**

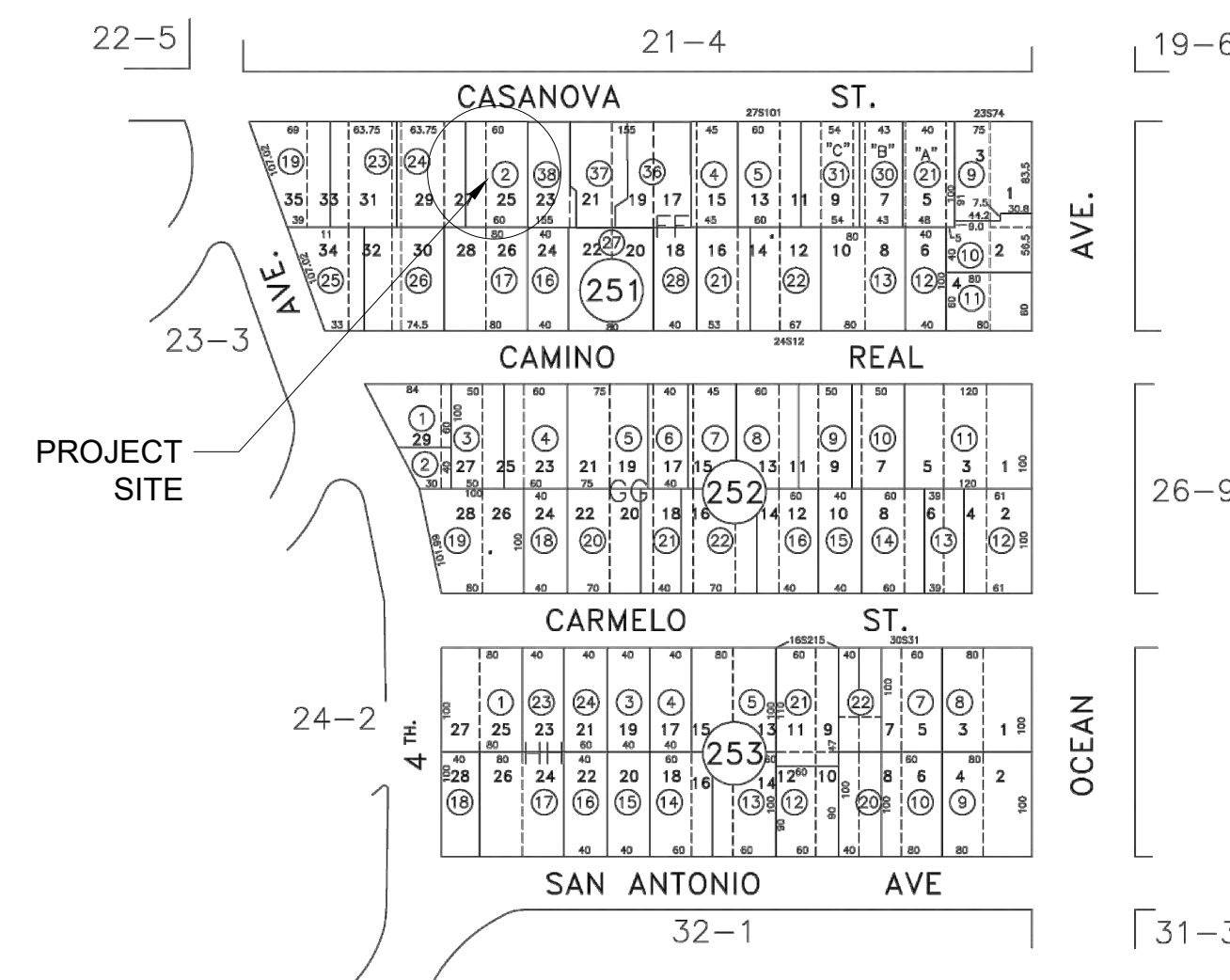
- G1.0 PROJECT INFORMATION
- G1.1 STREET VIEWS
- G1.2 SURVEY
- G1.3 CITY FORESTER TREE SURVEY
- A1.0 EXISTING SITE PLAN
- A1.1 PROPOSED SITE PLAN
- A1.2 PROPOSED GRADING & SHORING PLAN
- A1.3 PROPOSED SITE LIGHTING PLAN
- A2.0 EXISTING LOWER FLOOR PLAN
- A2.1 EXISTING MAIN FLOOR & GARAGE PLAN
- A2.2 EXISTING UPPER FLOOR & ROOF PLAN
- A2.3 MAIN & LOWER FLOOR DEMOLITION PLAN
- A2.4 UPPER FLOOR & ROOF DEMOLITION PLAN
- A2.5 PROPOSED LOWER FLOOR PLAN (A.D.U.)
- A2.6 PROPOSED MAIN FLOOR & GARAGE PLAN
- A2.7 PROPOSED UPPER FLOOR
- A2.8 PROPOSED ROOF PLAN
- A2.9 PROPOSED OVERLAPPING FLOOR DIAGRAM
- A3.0 BUILDING ELEVATIONS
- A3.1 BUILDING ELEVATIONS
- A3.2 BUILDING ELEVATIONS
- A3.3 BUILDING ELEVATIONS
- A3.4 BUILDING ELEVATIONS
- A4.0 DOOR & WINDOW SCHEDULES

**SCOPE OF WORK**

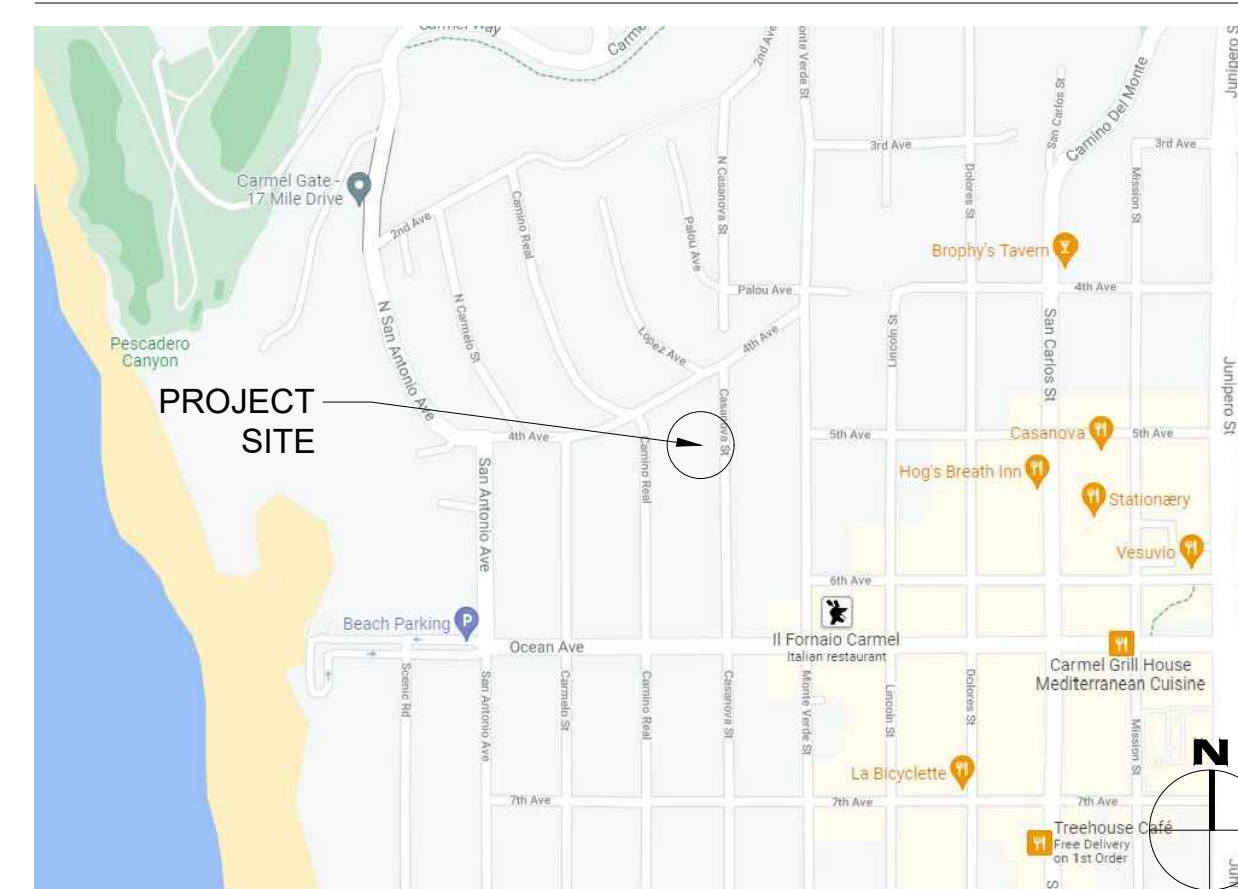
REMODEL & ADDITION TO AN (E) THREE STORY SINGLE FAMILY HOME. CONVERT 563 SF GROUND FLOOR LEVEL TO A NEW ACCESSORY DWELLING UNIT AND ADD 667 SF FOR A TOTAL OF 1,230 SF. ADD 456 SF TO (E) MAIN LEVEL & REDUCE (E) UPPER LEVEL BY 257 SF. ADD 16 SF TO (E) ONE CAR GARAGE. REPLACE (E) WINDOWS & EXT. DOORS WITH NEW ALUM. FRAMED WINDOWS & DOORS. INSTALL NEW HORIZONTAL WOOD SIDING & BRICK VENEER, PAINTED. INSTALL NEW SLATE SHINGLE ROOF. REPLACE (E) DECK IN BACK OF HOUSE WITH NEW TILED DECK.

EXTERIOR SITE IMPROVEMENTS INCLUDE A NEW STONE WALKWAY UP TO FRONT DOOR, NEW STONE STEPS, NEW BRICK CLAD SITE WALLS, A NEW PAVER DRIVEWAY 9'W, AND A NEW SAND-SET PERMEABLE PAVER PATIO ALONG BACK OF HOUSE.

**PARCEL MAP**



**VICINITY MAP**



**PROJECT TEAM**

OWNER	C.J. & AMBER MACDONALD CASANOVA STREET 4 SW OF 4TH AVENUE CARMEL-BY-THE-SEA, CA 93923
ARCHITECT	SAMUEL PITNICK ARCHITECTS, INC. LICENSE # C-34362 PO BOX 22412, CARMEL, CA 93922 PHONE: (831) 241-1895 SAMUELPITNICK@GMAIL.COM
LANDSCAPE DESIGNER	SEVEN SPRINGS STUDIO 2548 EMPIRE GRADE SANTA CRUZ, CA 95060 PHONE: (831) 646-1383
SURVEYOR	LANDSET ENGINEERS INC. 520 CRAZY HORSE CANYON RD B, SALINAS, CA 93907 PHONE: (831) 443-6970
CONTRACTOR	T.B.D.

**PROJECT INFORMATION**

PROPERTY ADDRESS	CASANOVA STREET 4 SW OF 4TH AVENUE CARMEL-BY-THE-SEA, CA 93923 BLOCK: FF LOT: 25 & 27
APN	010-251-002
ZONING	R-1 (SINGLE FAMILY RESIDENTIAL)
TYPE OF CONSTRUCTION	TYPE V-B
OCCUPANCY GROUP	R-3 / SINGLE FAMILY RESIDENCE U / GARAGE
YEAR BUILT	1919 (REMODELED 2012)

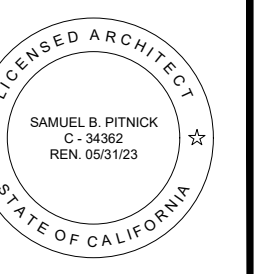
**BUILDING INFORMATION & LOT COVERAGE**

LOT SIZE	6,000 SF
ALLOWABLE FLOOR AREA	2,460 SF
(E) FLOOR AREA:	
(E) LOWER LEVEL	563 SF
(E) MAIN LEVEL	1,190 SF
(E) UPPER LEVEL	871 SF
(E) GARAGE	184 SF
(E) SHED	91 SF
TOTAL	2,899 SF
(P) FLOOR AREA:	
(P) MAIN LEVEL	1,646 SF
(P) UPPER LEVEL	614 SF
(P) GARAGE	200 SF
TOTAL	2,460 SF
(P) LOWER LEVEL A.D.U.	1,230 SF
ALLOWABLE LOT COVERAGE	541.2 SF (781.2 SF W/ BONUS)
(E) LOT COVERAGE	755.5 SF (81.6% PERMEABLE)
(P) LOT COVERAGE	751 SF (84.6% PERMEABLE)
*SEE SITE PLANS FOR MORE INFORMATION ON LOT COVERAGE	

**MISCELLANEOUS**

WATER SOURCE	CAL AM
WASTE DISPOSAL SYSTEM	SEWER - C.A.W.D.
TREES TO BE REMOVED	NONE
GRADING ESTIMATES	(P) CUT = 246 CU.YDS. (P) FILL = 9.7 CU.YDS. (P) NET CUT = 236.3 CU.YDS.
(E) PARKING	1 SPACE (COVERED)
(P) PARKING	1 SPACE (COVERED)* *NO ADDITIONAL PARKING REQUIRED FOR A.D.U. - PROJECT LOCATED WITHIN 1/2 MILE OF PUBLIC TRANSIT (6TH & MISSION)
(E) BUILDING SPRINKLERED	NO
(P) BUILDING SPRINKLERED	YES

**MACDONALD RESIDENCE REMODEL**  
CASANOVA ST. 4 SW OF 4TH AVENUE  
CARMEL, CA 93923



**SAMUEL PITNICK ARCHITECTS**  
P.O. BOX 22412, CARMEL, CA 93922  
PHONE: (831) 241-1895  
EMAIL: SAMUELPITNICK@GMAIL.COM

REVISIONS DATE

ARCHITECTURAL

PROJECT INFORMATION

Scale: SEE DWG.

Drawn By: SBP

Job: -

**G1.0**

05/23/2022

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(E) HOUSE & GARAGE

1 EXISTING STREET VIEW ALONG CASANOVA STREET  
SCALE: N.T.S.



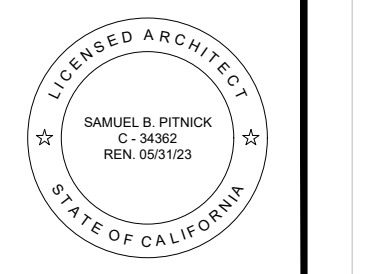
(P) HOUSE & GARAGE

2 PROPOSED STREET VIEW ALONG CASANOVA STREET  
SCALE: N.T.S.



3 RENDERING OF PROPOSED HOUSE  
SCALE: N.T.S.

**MACDONALD  
RESIDENCE  
REMODEL**  
CASANOVA ST. 4 SW OF  
4TH AVENUE  
CARMEL, CA 93923



**SAMUEL PITNICK ARCHITECTS**  
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EMAIL: SAMUEL@PITNICK.COM

REVISIONS    DATE

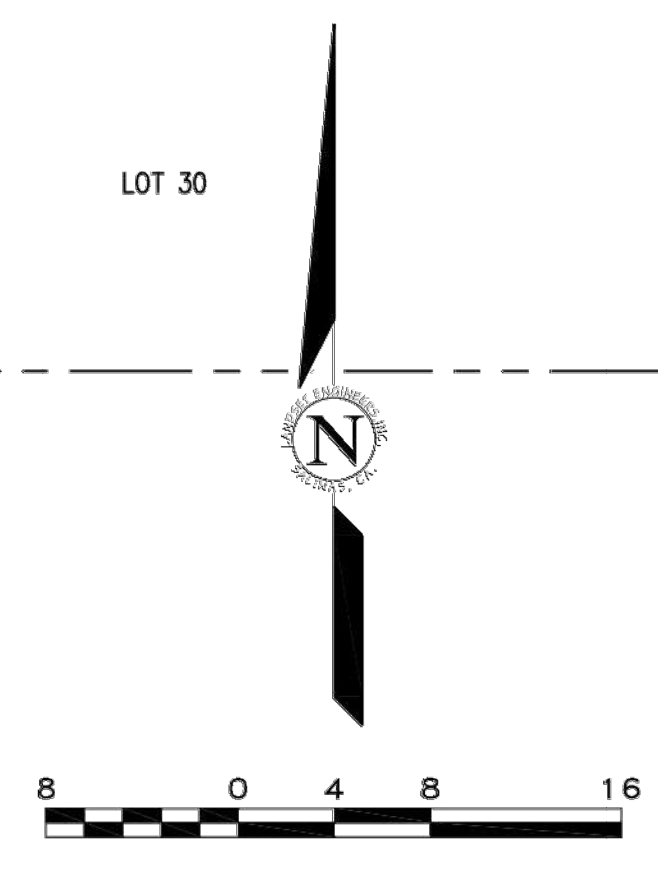
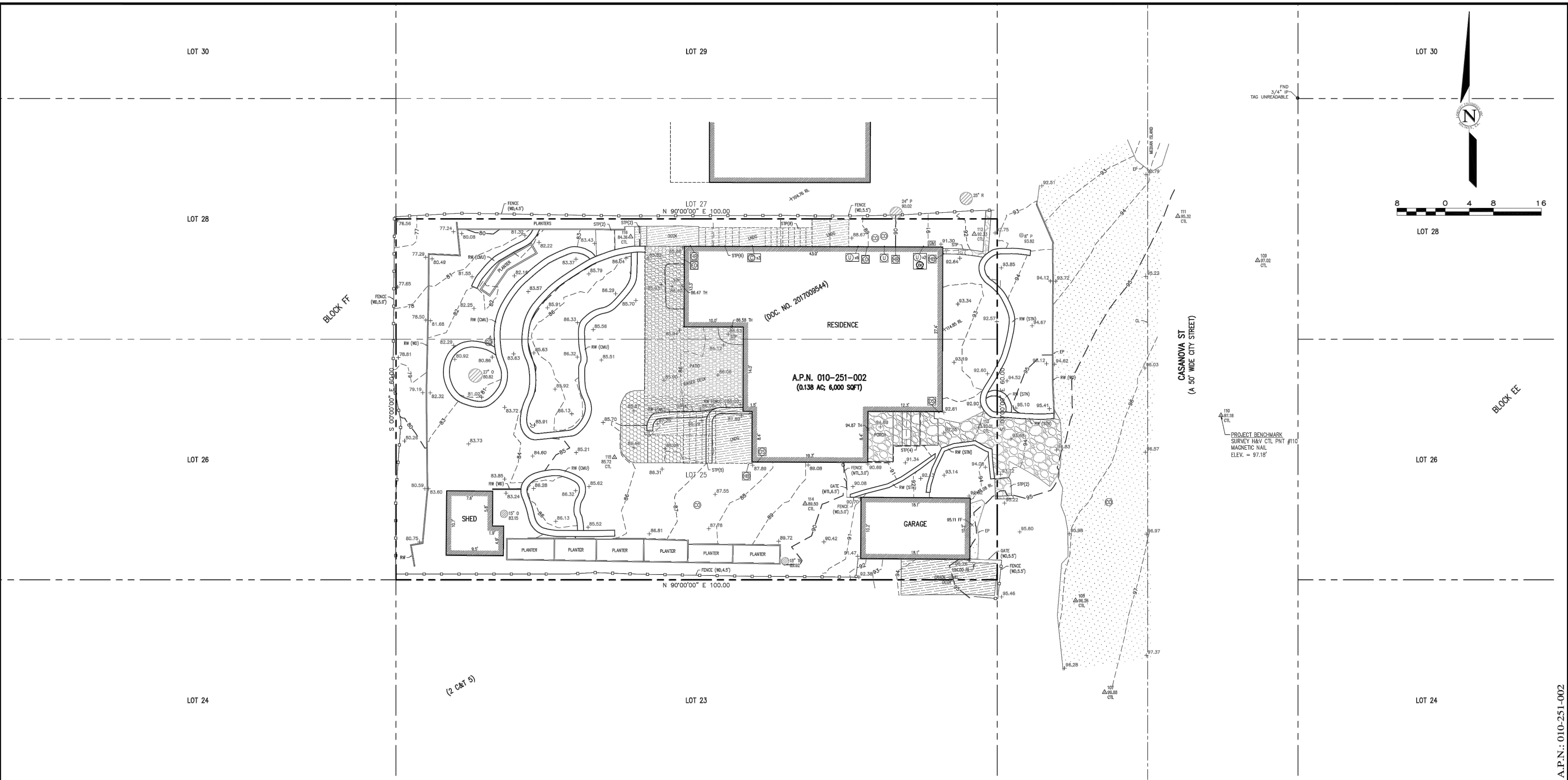
REVISIONS	DATE

ARCHITECTURAL  
STREET  
VIEWS

Scale: SEE DWG.  
Drawn By: SBP  
Job: -

G1.1

05/06/2022



**LEGEND:**

- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li>--- PROPERTY BOUNDARY</li> <li>--- ADJACENT PROPERTY BOUNDARY</li> <li>--- ORIGINAL PROPERTY BOUNDARY</li> <li>--- EASEMENT (TYPE AS SHOWN)</li> <li>--- ROADWAY CENTERLINE</li> <li>--- MAJOR CONTOUR LINE (5' INTERVAL)</li> <li>--- MINOR CONTOUR LINE (1' INTERVAL)</li> <li>--- FENCE (TYPE AS MARKED)</li> <li>ASPHALT CONCRETE</li> <li>PORTLAND CEMENT CONCRETE</li> <li>PAVERS</li> <li>WOOD</li> <li>BRICK</li> <li>NATURAL GROUND SURFACE/<br/>LANDSCAPED AREA</li> </ul> | <ul style="list-style-type: none"> <li>CONDUIT</li> <li>CLEANOUT</li> <li>DOWNSPOUT</li> <li>ELECTRICAL HUB</li> <li>ELECTRIC METER</li> <li>ELECTRIC OUTLET</li> <li>ELECTRICAL PANEL</li> <li>ELECTRIC MANHOLE</li> <li>FUSEBOX</li> <li>GAS LINE</li> <li>GAS METER</li> <li>GAS VALVE</li> <li>GUY WIRE</li> <li>HOSE BIB</li> <li>FIRE HYDRANT</li> <li>IRRIGATION CONTROL VALVE</li> <li>IRRIGATION BOX</li> <li>LANDSCAPE LIGHT</li> <li>STREETLIGHT</li> <li>PG&amp;E BOX</li> <li>PG&amp;E GAS MANHOLE</li> <li>PIPE</li> <li>STORM DRAIN MANHOLE</li> <li>SANITARY SEWER CLEANOUT</li> <li>SANITARY SEWER MANHOLE</li> <li>TELEPHONE BOX</li> <li>UNKNOWN UTILITY</li> <li>UTILITY HUB</li> <li>UTILITY POLE</li> <li>WATER METER</li> <li>WATER SERVICE</li> <li>WATER VALVE</li> <li>FOUND MONUMENT (TYPE NOTED)</li> <li>SURVEY H&amp;V CONTROL POINT</li> <li>SPOT ELEVATION</li> <li>RIDGELINE</li> <li>FINISHED FLOOR</li> <li>THRESHOLD</li> <li>TREE (TYPE/SIZE AS MARKED)<br/>SYMBOL CENTER IS APPROX CENTER OF TREE</li> <li>TWO-PRONGED TREE (2P)</li> <li>THREE-PRONGED TREE (3P)</li> <li>MULTI-PRONGED TREE (MP)</li> <li>CE = CEDAR PA = PALM</li> <li>CW = COTTON WOOD PE = PEPPER</li> <li>CYP = CYPRESS P = PINE</li> <li>E = EUCALYPTUS R = REDWOOD</li> <li>H = HOLLY TR = TREE</li> <li>O = OAK W = WILLOW</li> </ul> |
|---|--|

**GENERAL NOTES:**

- 1) ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #110, A MAGNETIC NAIL LOCATED WITHIN THE CASANOVA ST RIGHT-OF-WAY, APPROXIMATELY 32.7' SOUTHERLY AND 37.2' EASTERLY OF THE NORTHEASTERLY CORNER OF THAT CERTAIN PARCEL DESCRIBED IN DOCUMENT NO. 2017009544. ELEVATION = 97.18' AS SHOWN.
- 2) NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- 3) TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- 4) THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (10/05/21) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- 5) BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
- 6) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

**CONTACT INFORMATION:**

CLIENT:  
MR. CJ MACDONALD  
1038 MUNDELL CRT  
LOS ALTOS, CA 94022

SITE LOCATION:  
CASANOVA ST, 4 SW OF 4TH AVE  
CARMEL-BY-THE-SEA, CA

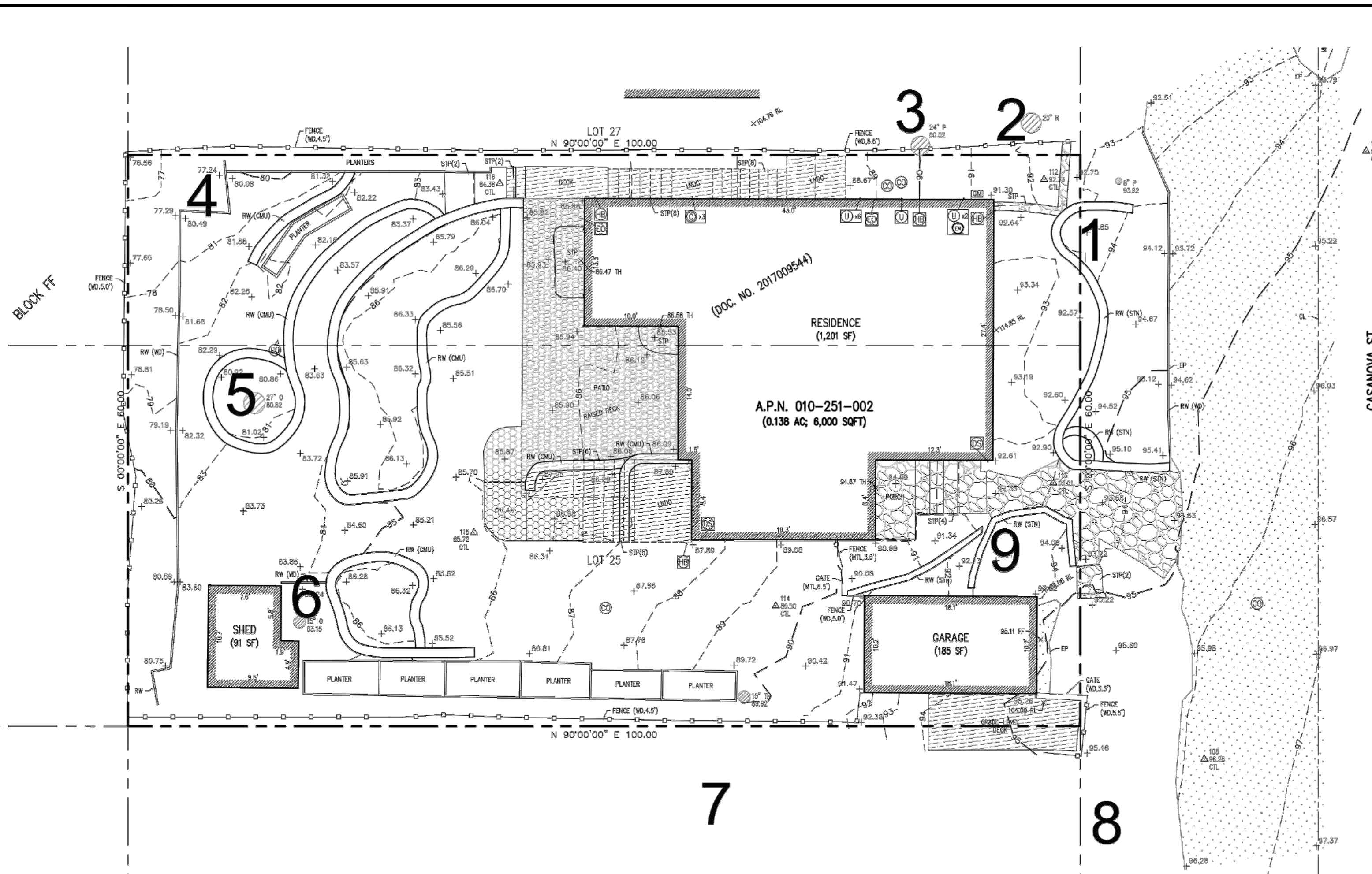
No.	DATE	BY	REVISION
05/04/22	JAN		ADJACENT RESIDENCE
10/12/21	JAN		RELEASED TO CLIENT

A.P.N.: 010-251-002  
**TOPOGRAPHIC MAP**  
 OF  
**THAT CERTAIN PARCEL DESCRIBED IN DOCUMENT NO. 2017009544**  
**OFFICIAL RECORDS OF MONTEREY COUNTY**  
**CARMEL-BY-THE-SEA, CALIFORNIA**  
 FOR  
**MR. CJ MACDONALD**

APPROVED BY:  
  
**GUY R. GIRARDO**  
 P.L.S. No. 8703

**LANDSET ENGINEERS, INC.**  
 5308 Elgin Road, Suite 100  
 San Jose, California 95007  
 Office (831) 443-6970 Fax (831) 443-3901  
 www.landseteng.com

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**G. Are environmental conditions favorable to the tree?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	1	1	1	1	1	1	1	1	1						

- 0 points:** The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.
- 1 point:** The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.
- 2 points:** The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

**Part Three: Final Assessment**  
Record the total points scored on D - G for each tree.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Total Score	7	7	7	7	5	7	7	7	7						

**A. Did all assessment categories in Part Two achieve a minimum score of 1-point?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	X	X	X	X	X	X	X	X	X						
NO															

**B. Are there any other factors that would disqualify a tree from a determination of significance?**  
(Explain any 'yes' answer)  
Yes \_\_\_\_\_

**Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?**  
If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of 6 or more points or shall be classified as Moderately Significant if it achieves a score of 4 or 5 points. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score at least 7 points, or as Moderately Significant if they score at least 4 points. All other trees are classified as non-significant.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
SIGNIF	X	X	X			X	X	X							
MOD SIGNIF					X										
NOT SIGNIF				X					X						

**Items to note:**

**Required Structural Root Zone**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Feet	6	15	15	0	14	6	15	15	0						

**Required Tree Protection Zone**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	18	45	45	0	42	18	45	45	0						

- Requirements for tree preservation shall adhere to the following tree protection measures on construction site.
- Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
  - Excavation within 6 feet of a tree trunk is not permitted.
  - No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
  - Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.
  - Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing.
  - The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots.
  - If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
  - If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.

**Significant Tree Evaluation Worksheet**

APN: 010-251-002-000  
Street Location: Casanova 4 SW of 4th Avenue  
Planner: Suray Nathan  
City Forester: Sara Davis  
Property Owner: MacDonald  
Recommended Tree Density: 5 upper and 4 lower canopy trees

**Part One: Initial Screening:**  
Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

**A. Does the tree pose an above-normal potential risk to life and property?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES															
NO	X	X	X	X	X	X	X	X	X						

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

**B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Species	Cedar	CR	MP	Maple	CO	CO	CO	CR	Maple						
YES	X	X	X		X	X	X	X							
NO				X					X						

MP-Monterey pine MC- Monterey cypress BP-Bishop pine CR-coast redwood CO-coast live oak  
CI-- Catalina ironwood C5-- California sycamore BL-- big leaf maple OT-- other  
(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

**C. Does the tree meet the minimum size criteria for significance?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	X	X	X		X	X	X	X							
NO				X					X						

[Monterey pine, Monterey cypress, Bishop pine, Coast redwood: 6" DBH  
Coast live oak -- single trunk tree: 6" DBH  
Coast live oak -- multi-trunk tree measured per industry standard: 6" DBH  
California sycamore, Big leaf maple, Catalina ironwood, other: 10" DBH  
dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

**Part Two: Assessment For Tree Significance**  
For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

**D. What is the health and condition of the tree?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	2	2	2	1	2	2	2	2						

- 0 points:** The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.
- 1 point:** The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.
- 2 points:** The tree appears healthy and in good condition.
- 3 points:** The tree shows excellent health, is free of pests and disease and is in very strong condition.

**E. What is the overall form and structure of the tree?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	2	2	2	2	2	2	2	2						

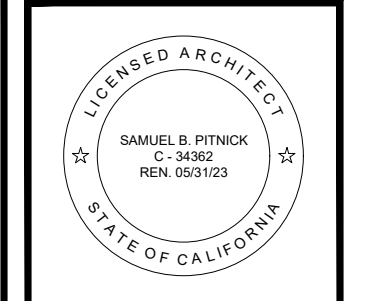
- 0 points:** Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.
- 1 point:** The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.
- 2 points:** The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.
- 3 points:** The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each

**F. What is the age and vigor of the tree?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	2	2	2	1	2	2	2	2						

- 0 points:** The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.
- 1 point:** The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.
- 2 points:** The tree is young to middle age and shows normal vigor.
- 3 points:** The tree is young to middle age and shows exceptional vigor.

**MACDONALD RESIDENCE REMODEL**  
CASANOVA ST. 4 SW OF 4TH AVENUE  
CARMEL, CA 93923



**SAMUEL PITNICK ARCHITECTS**  
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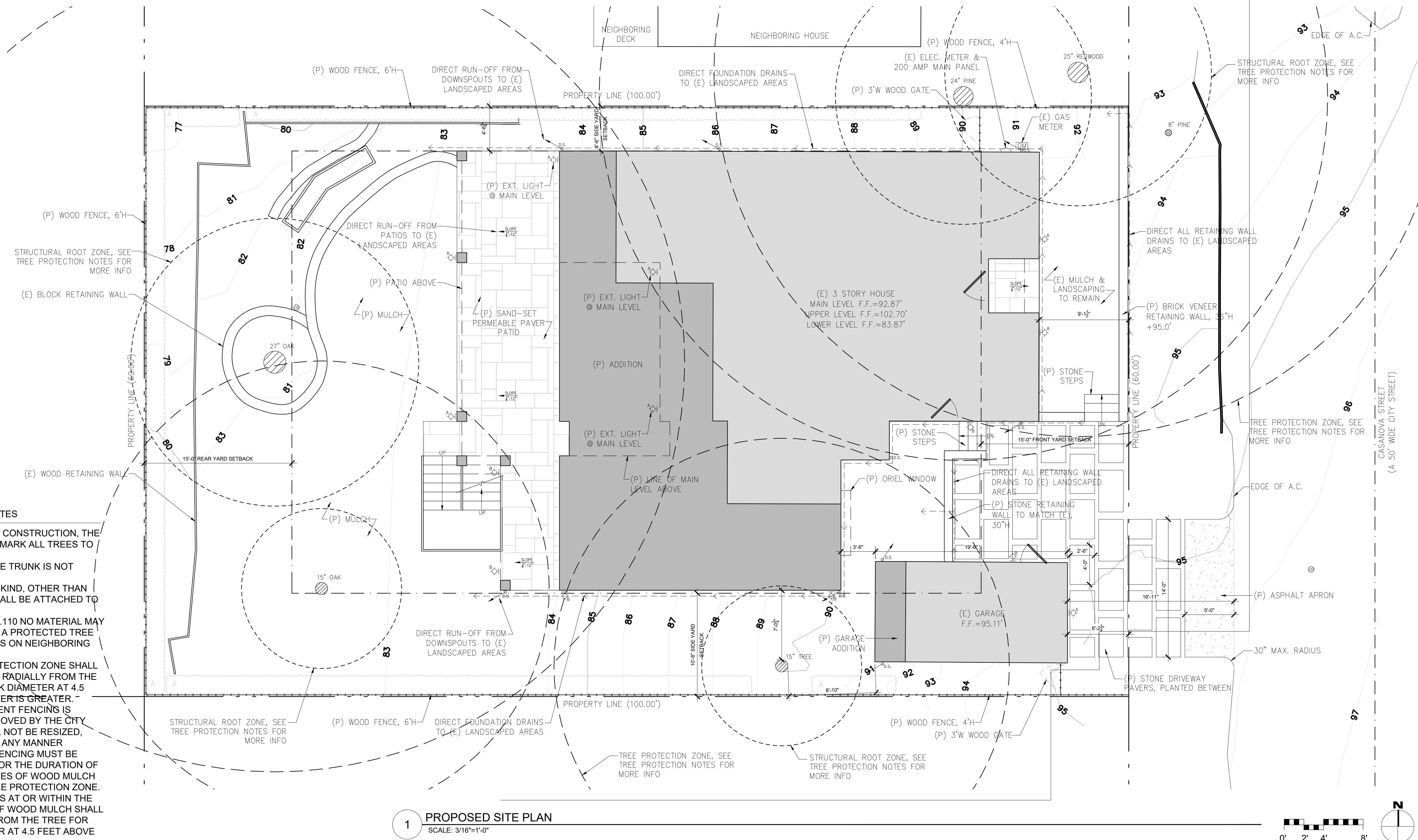
ARCHITECTURAL  
CITY FORESTER TREE SURVEY

Scale: SEE DWG.  
Drawn By: SBP  
Job: -

**G1.3**  
05/06/2022



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**TREE PROTECTION NOTES**

1. PRIOR TO GRADING, EXCAVATION, OR CONSTRUCTION, THE DEVELOPER SHALL CLEARLY TAG OR MARK ALL TREES TO BE PRESERVED.
2. EXCAVATION WITHIN 6 FEET OF A TREE TRUNK IS NOT PERMITTED.
3. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
4. PER MUNICIPAL CODE CHAPTER 17.48.110 NO MATERIAL MAY BE STORED WITHIN THE DRIFLINE OF A PROTECTED TREE TO INCLUDE THE DRIP LINES OF TREES ON NEIGHBORING PARCELS.
5. TREE PROTECTION ZONE - TREE PROTECTION ZONE SHALL BE EQUAL TO DRIFLINE OR 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER. MINIMUM OF 4 FOOT HIGH TRANSPARENT FENCING IS REQUIRED UNLESS OTHERWISE APPROVED BY THE CITY FORESTER. TREE PROTECTION SHALL NOT BE RESIZED, MODIFIED, REMOVED, OR ALTERED IN ANY MANNER WITHOUT WRITTEN APPROVAL. THE FENCING MUST BE MAINTAINED UPRIGHT AND TAUGHT FOR THE DURATION OF THE PROJECT. NO MORE THAN 4 INCHES OF WOOD MULCH SHALL BE INSTALLED WITHIN THE TREE PROTECTION ZONE. WHEN THE TREE PROTECTION ZONE IS AT OR WITHIN THE DRIP LINE, NO LESS THAN 6 INCHES OF WOOD MULCH SHALL BE INSTALLED 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE OUTSIDE OF FENCING.
6. THE STRUCTURAL ROOT ZONE - STRUCTURAL ROOT ZONE SHALL BE 6 FEET FROM THE TRUNK OR 6 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE WHICHEVER IS GREATER. ANY EXCAVATION OR CHANGES TO THE GRADE SHALL BE APPROVED BY THE CITY FORESTER PRIOR TO WORK. EXCAVATION WITHIN THE STRUCTURAL ROOT ZONE SHALL BE PERFORMED WITH PNEUMATIC EXCAVATOR, HYDROVAC AT LOW PRESSURE, OR OTHER METHOD THAT DOES NOT SEVER ROOTS.
7. IF ROOTS GREATER THAN 2 INCHES IN DIAMETER OR LARGER ARE ENCOUNTERED WITHIN THE APPROVED STRUCTURAL ROOT ZONE THE CITY FORESTER SHALL BE CONTACTED FOR APPROVAL TO MAKE ANY ROOT CUTS OR ALTERATIONS TO STRUCTURES TO PREVENT ROOTS FROM BEING DAMAGED.
8. IF ROOTS LARGER THAN 2 INCHES IN DIAMETER ARE CUT WITHOUT PRIOR CITY FORESTER APPROVAL OR ANY SIGNIFICANT TREE IS ENDANGERED AS A RESULT OF CONSTRUCTION ACTIVITY, THE BUILDING PERMIT WILL BE SUSPENDED AND ALL WORK STOPPED UNTIL AN INVESTIGATION BY THE CITY FORESTER HAS BEEN COMPLETED AND MITIGATION MEASURES HAVE BEEN PUT IN PLACE.

**1 PROPOSED SITE PLAN**  
SCALE: 3/16"=1'-0"

**SITE LANDSCAPING LEGEND**

A	<i>PRUNUS LUSITANICA</i> - 'PORTUGAL LAUREL' HEDGE QUANTITY = 40 SIZE = 15 GAL.
---	--

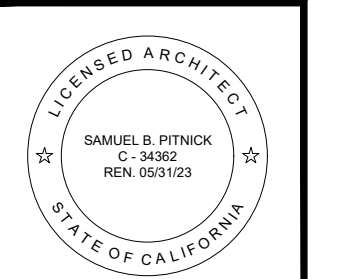
- SITE PLAN NOTES**
1. EXTERIOR LIGHTING SHALL BE LIMITED TO 25 WATTS OR LESS (INCANDESCENT EQUIVALENT, I.E., 375 LUMENS) PER FIXTURE AND SHALL BE NO HIGHER THAN 10 FEET ABOVE THE GROUND.
  2. LANDSCAPE LIGHTING SHALL BE LIMITED TO 15 WATTS (INCANDESCENT EQUIVALENT, I.E., 225 LUMENS) OR LESS PER FIXTURE AND SHALL NOT EXCEED 18 INCHES ABOVE THE GROUND.
  3. PATHWAY LIGHTS SHALL BE SPACE A MIN. OF 10'-0" APART.
  4. PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUTS.
  5. DIRECT ALL SURFACE DRAINAGE INTO LANDSCAPED AREAS.

- SITE LIGHTING LEGEND**
- |   |   |
|---|---|
| A | EXTERIOR GAS LANTERN BY 'BEVOLO - WILLIAMSBURG, ORIGINAL BRACKET', 14"H |
| B | EXTERIOR LED LANTERN BY 'BEVOLO - WILLIAMSBURG, ORIGINAL BRACKET', 14"H |
- \*SEE SHEET A1.3 FOR LIGHT FIXTURE CUT SHEETS

**PROPOSED LOT COVERAGE**

ALLOWABLE LOT COVERAGE = 541.2 SF (78.1.2 SF W/ BONUS)
(P) STONE STEPS & ENTRY LANDING = 38.5 SF (IMPERMEABLE)
(P) PAVER PATIO @ REAR YARD = 425.5 SF (SEMI-PERMEABLE)
(P) DECK STAIRS = 77 SF (IMPERMEABLE)
SUB-TOTAL (P) COVERAGE = 541 SF (78.6% PERMEABLE)
(P) BONUS FOR PAVER DRIVEWAY = 210 SF (SEMI-PERMEABLE)
(P) TOTAL COVERAGE = 751 SF (84.6% PERMEABLE)

**MACDONALD RESIDENCE REMODEL**  
CASANOVA ST. 4 SW OF 4TH AVENUE  
CARMEL, CA 93923



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P.O. BOX 22412, CARMEL, CA 93922  
PHONE: (831) 241-1895  
EMAIL: SAMUEL@PITNICK.COM

**REVISIONS**

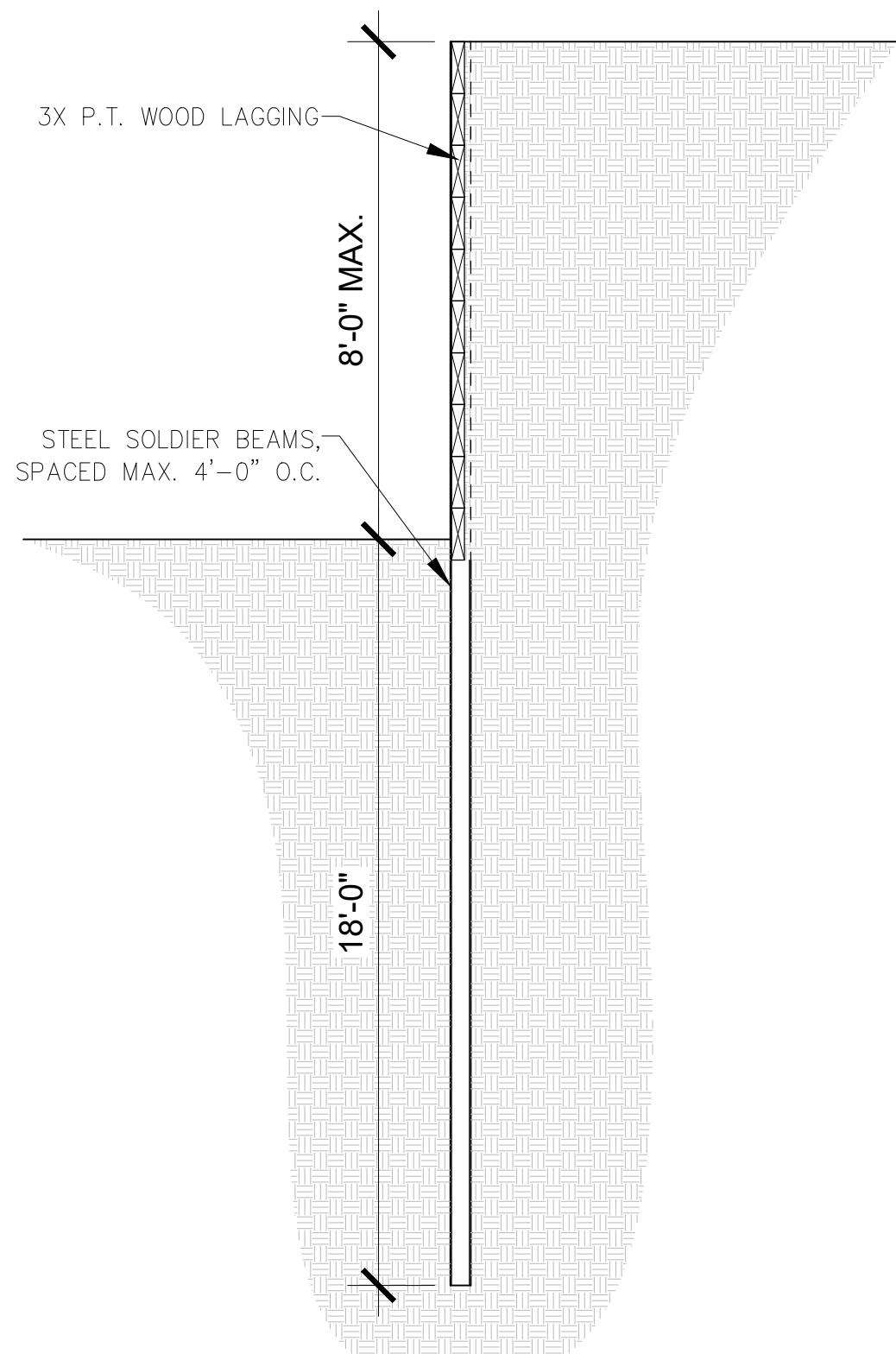
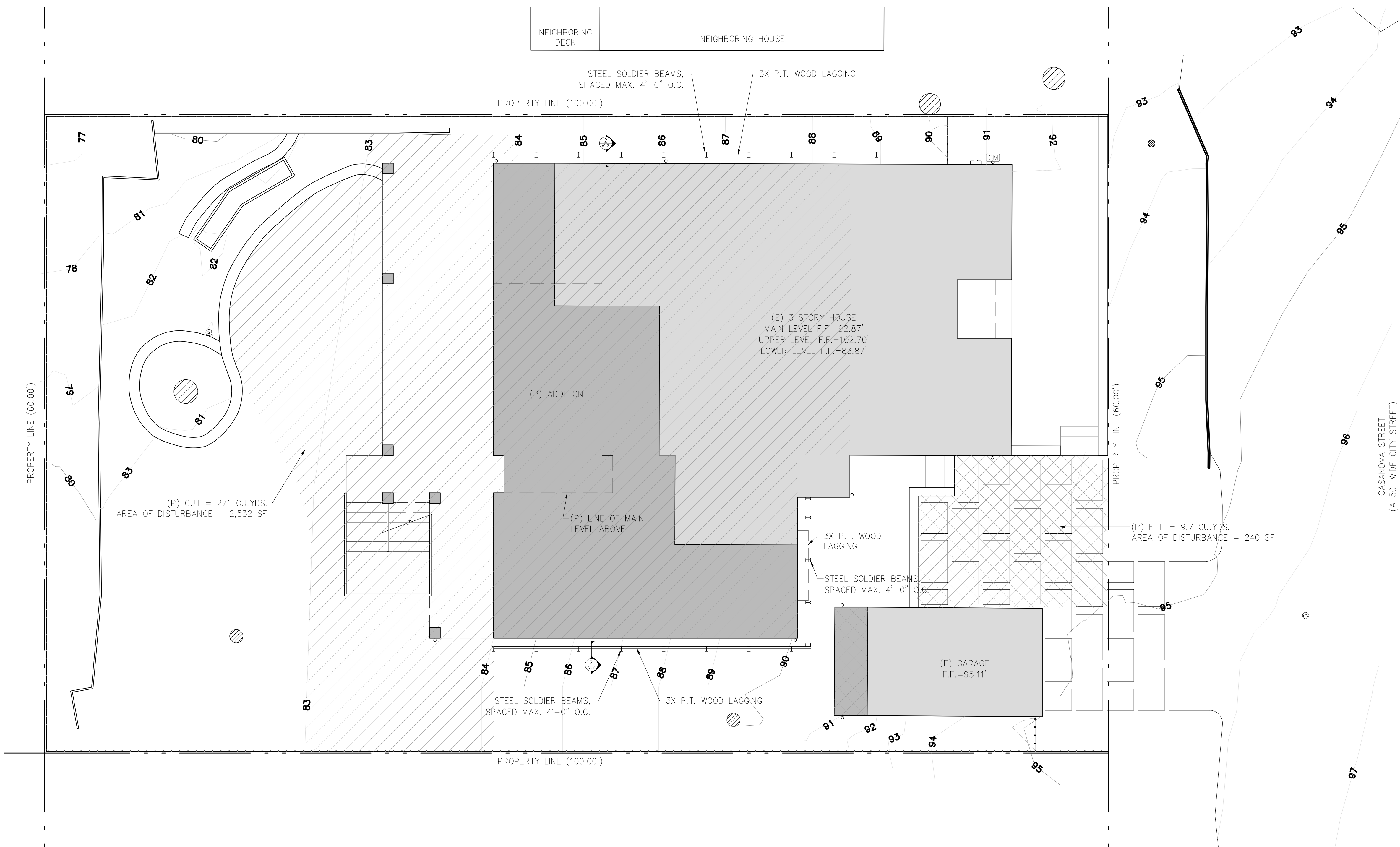
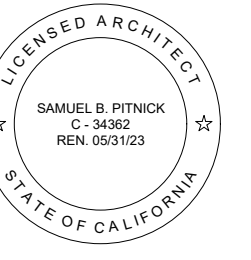
NO.	DATE	DESCRIPTION

**ARCHITECTURAL**  
PROPOSED SITE PLAN

Scale: SEE DWG.  
Drawn By: SBP  
Job: -

**A1.1**  
05/23/2022

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**2 PROPOSED SHORING DETAIL**  
SCALE: 3/16"=1'-0"

**1 PROPOSED GRADING & SHORING PLAN**  
SCALE: 3/16"=1'-0"

**GRADING LEGEND**

	CUT MATERIAL
	FILL MATERIAL

**GRADING ESTIMATES:**  
(P) CUT = 246 CU.YDS.  
(P) FILL = 9.7 CU.YDS.  
(P) NET CUT = 236.3 CU.YDS.

- GRADING & SHORING NOTES**
1. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE CONTRACTOR SHALL SCHEDULE AN INSPECTION WITH ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH THE CITY OF CARMEL REGULATIONS.
  2. CONTRACTOR SHALL HAUL OFF 236.3 CU.YDS. OF EXCESS CUT MATERIAL FROM SITE & TAKE TO MONTEREY REGIONAL WASTE MANAGEMENT DISTRICT, OR APPROVED FACILITY.
  3. FIFTEEN (15) TRUCK TRIPS ARE ESTIMATED TO BE NECESSARY FOR THE GRADING PHASE OF THE PROJECT.
  4. PROPOSED SHORING IS TEMPORARY AND WILL BE REMOVED PRIOR TO COMPLETION OF PROJECT.

REVISIONS	DATE

**ARCHITECTURAL**

**PROPOSED GRADING & SHORING PLAN**

Scale: SEE DWG.  
Drawn By: SBP  
Job: -

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**BEVOLO**  
*-established 1945-*  
 GAS & ELECTRIC LIGHTS



FROSTED GLASS SHIELD  
 AROUND LIGHT SO  
 SOURCE OF LIGHT NOT  
 VISIBLE, CONTRACTOR  
 TO INSTALL 25 WATT MAX  
 BULB

**WILLIAMSBURG**

**ORIGINAL BRACKET**

The Williamsburg fixture was originally produced from a colonial design. We often use this fixture in both primary and secondary areas. The Williamsburg naturally complements the French Quarter lantern and is often paired with this fixture. The Williamsburg can be purchased with or without the stack (pictured without stack). The bracket mount Williamsburg is available in natural gas, liquid propane, and electric. \*10" & 12" are not available in gas.

**Standard Lantern Sizes**

Height	Width	Depth
10.0"	7.3"	6.0"
12.0"	8.8"	7.5"
14.0"	10.3"	9.0"

**2** PROPOSED EXTERIOR SCONCE - TYPE 'B'  
 SCALE: N.T.S.

**BEVOLO**  
*-established 1945-*  
 GAS & ELECTRIC LIGHTS



**WILLIAMSBURG**

**ORIGINAL BRACKET**

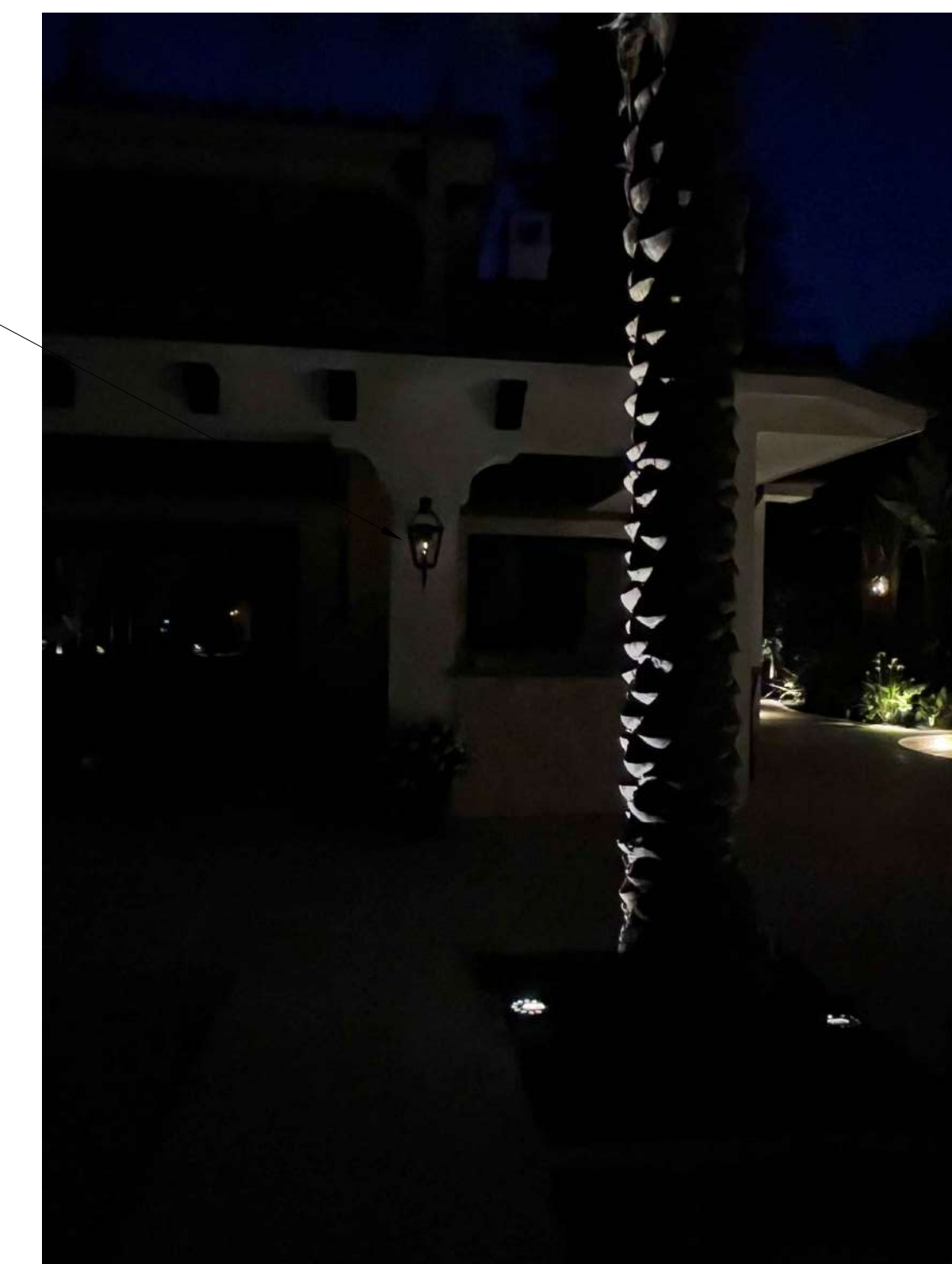
The Williamsburg fixture was originally produced from a colonial design. We often use this fixture in both primary and secondary areas. The Williamsburg naturally complements the French Quarter lantern and is often paired with this fixture. The Williamsburg can be purchased with or without the stack (pictured without stack). The bracket mount Williamsburg is available in natural gas, liquid propane, and electric. \*10" & 12" are not available in gas.

**Standard Lantern Sizes**

Height	Width	Depth
10.0"	7.3"	6.0"
12.0"	8.8"	7.5"
14.0"	10.3"	9.0"

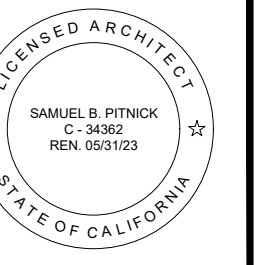
**1** PROPOSED EXTERIOR SCONCE - TYPE 'A'  
 SCALE: N.T.S.

GAS LANTERN BY  
 BEVOLO



**3** PHOTO OF BEVOLO GAS LANTERN AT NIGHT  
 SCALE: N.T.S.

**MACDONALD  
 RESIDENCE  
 REMODEL**  
 CASANOVA ST. 4 SW OF  
 4TH AVENUE  
 CARMEL, CA 93923



**SAMUEL PITNICK** ARCHITECTS  
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 PHONE: (831) 241-1885  
 EMAIL: SAMUELPITNICK@GMAIL.COM

REVISIONS    DATE

REVISIONS	DATE

ARCHITECTURAL

PROPOSED  
 SITE  
 LIGHTING

Scale: SEE DWG.

Drawn By: SBP

Job: -

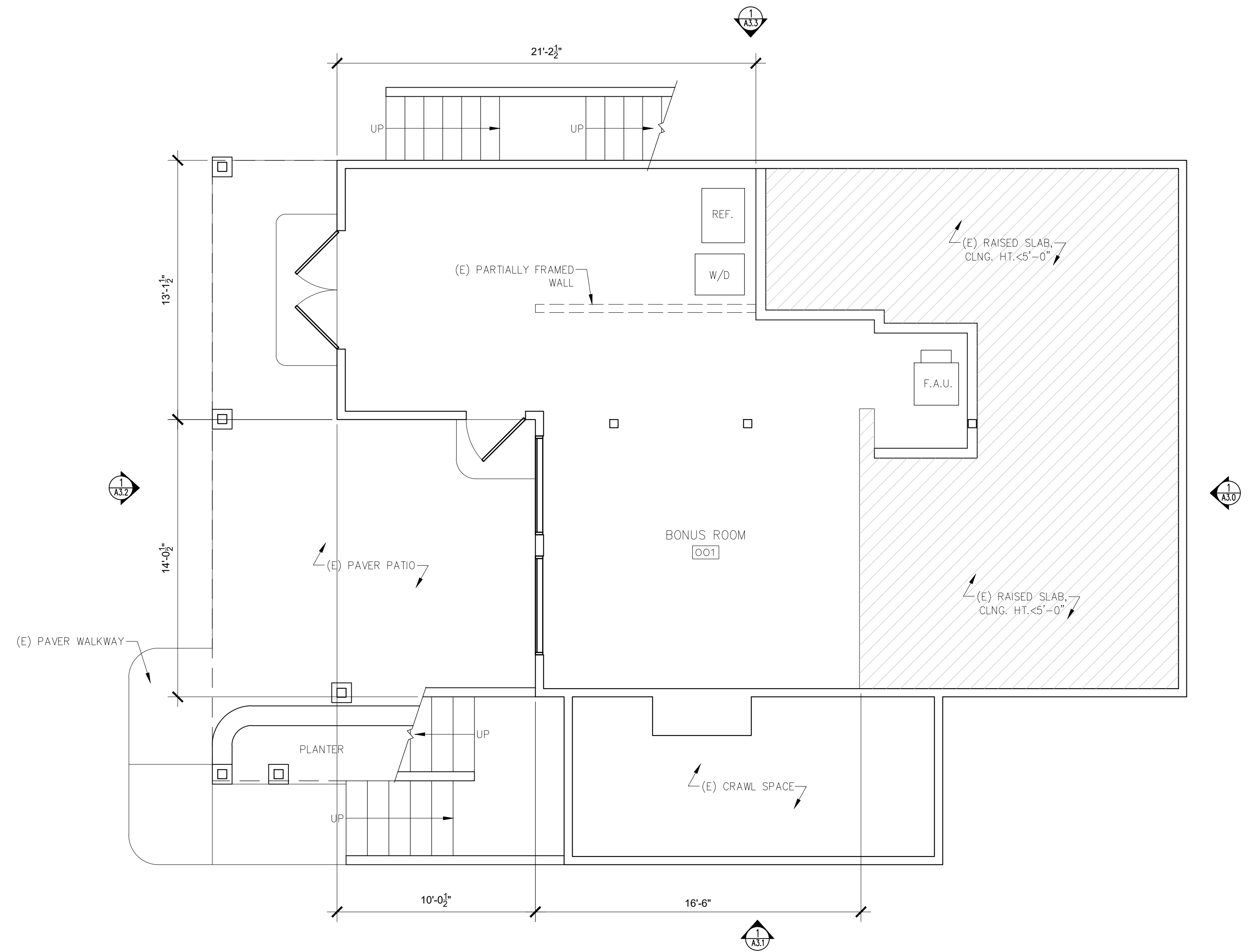
**A1.3**

05/06/2022



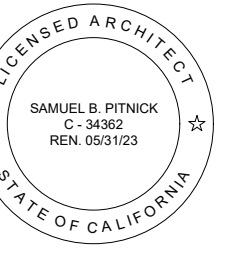
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WALL TYPE LEGEND:  
 (E) WALL TO REMAIN  
 (E) WALL TO REMOVE  
 (F) WALL



1 EXISTING LOWER FLOOR PLAN  
 SCALE: 1/4"=1'-0"

MACDONALD  
 RESIDENCE  
 REMODEL  
 CASANOVA ST. 4 SW OF  
 4TH AVENUE  
 CARMEL, CA 93923



SAMUEL PITNICK ARCHITECTS  
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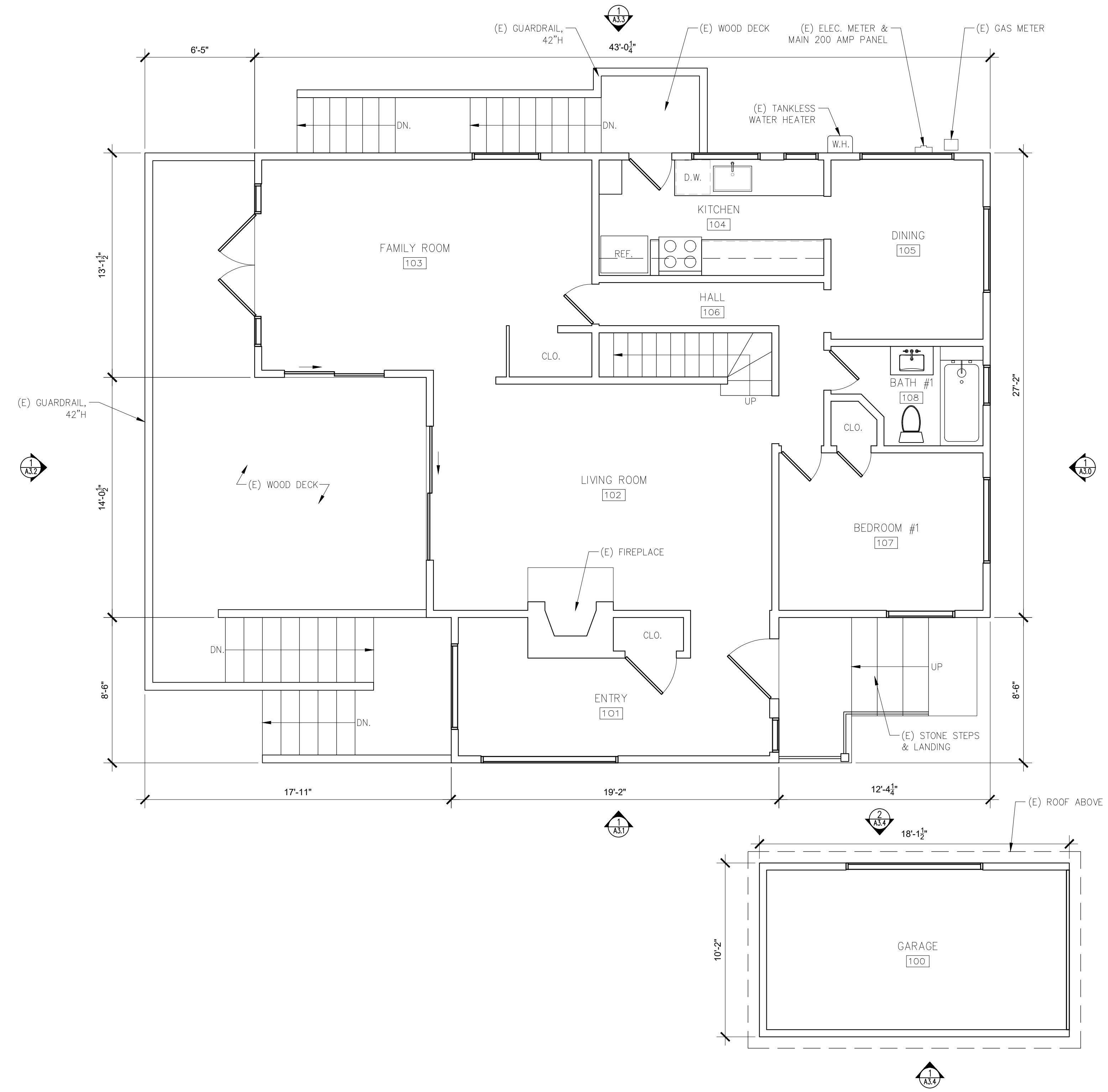
ARCHITECTURAL  
 EXISTING  
 LOWER FLOOR  
 PLAN

Scale: SEE DWG.  
 Drawn By: SBP  
 Job: -

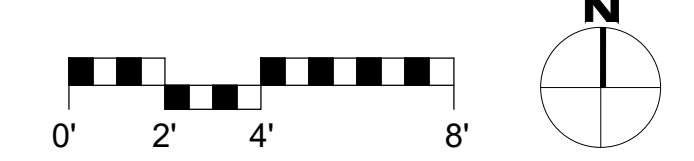
A2.0

05/06/2022

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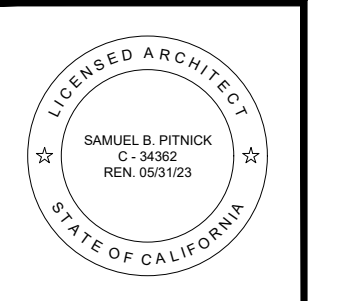


**1 EXISTING MAIN FLOOR PLAN**  
SCALE: 1/4"=1'-0"



**WALL TYPE LEGEND:**  
 ——— (E) WALL TO REMAIN  
 - - - (E) WALL TO REMOVE  
 ■■■■ (F) WALL

**MACDONALD  
RESIDENCE  
REMODEL**  
CASANOVA ST. 4 SW OF  
4TH AVENUE  
CARMEL, CA 93923



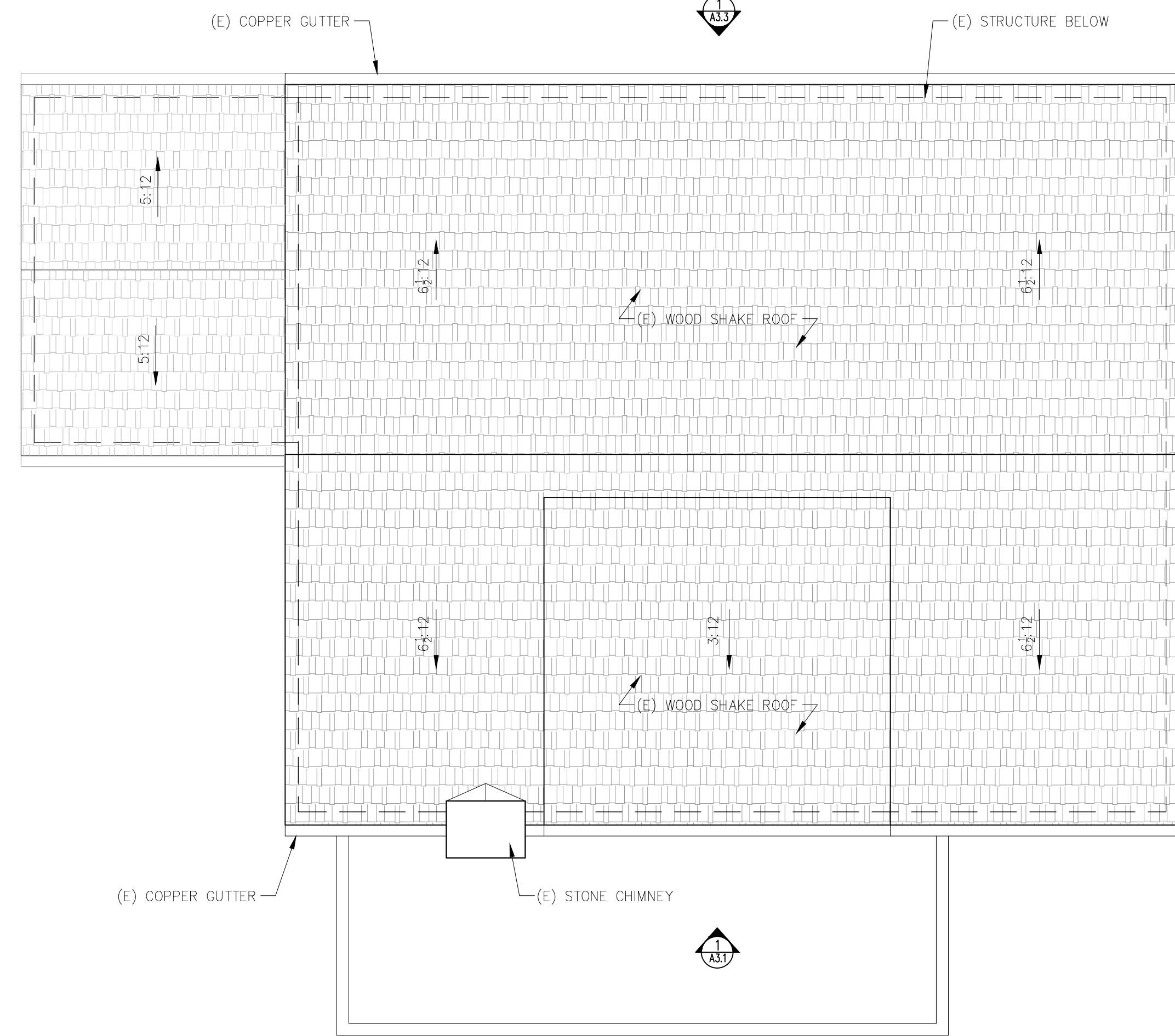
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REVISIONS	DATE

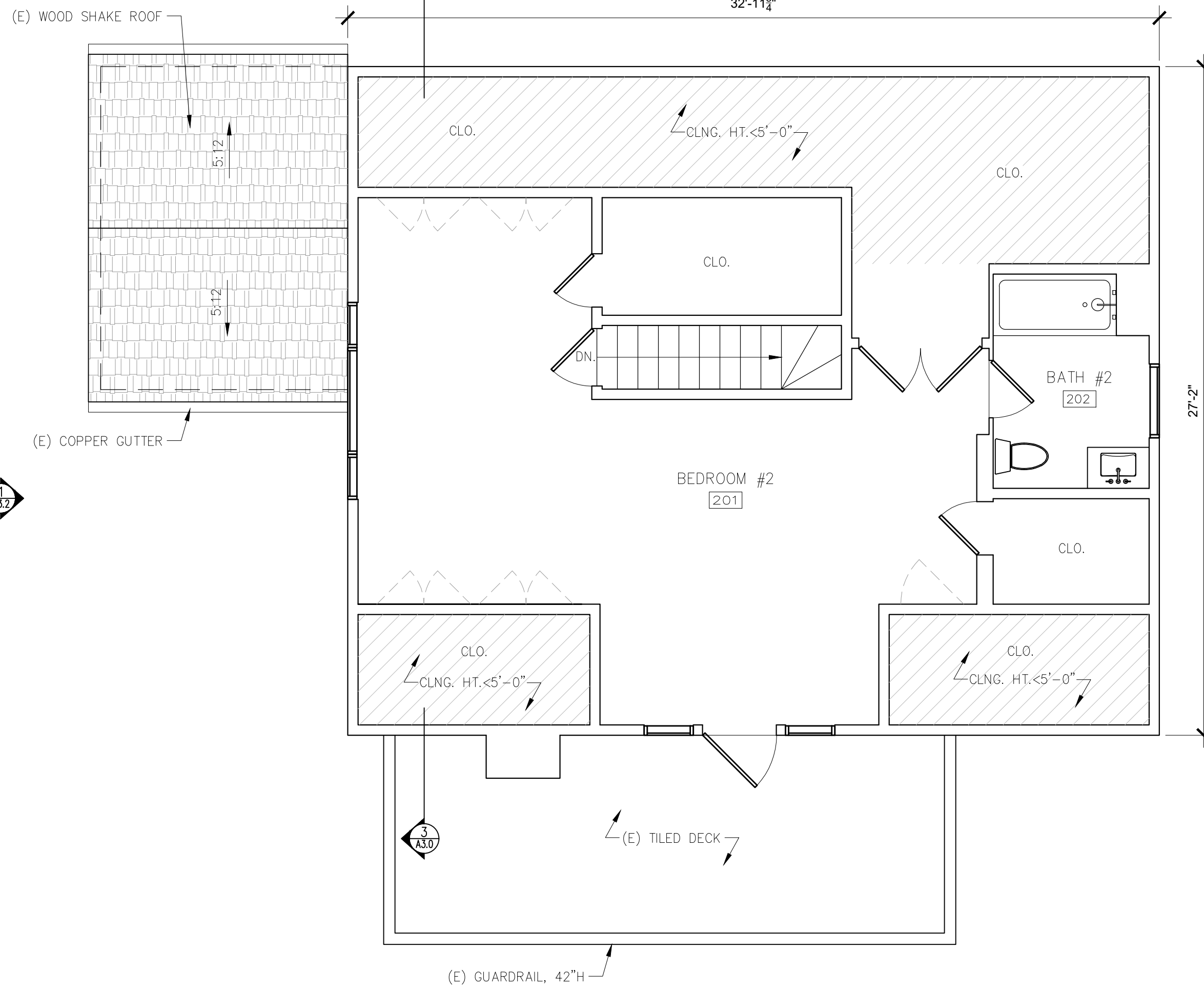
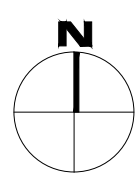
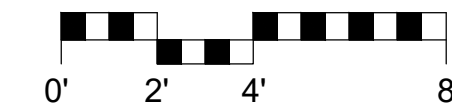
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EXISTING  
MAIN FLOOR  
PLAN  
Scale: SEE DWG.  
Drawn By: SBP  
Job: -

**A2.1**  
05/06/2022

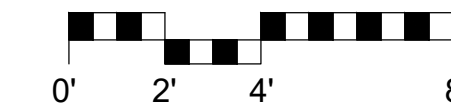
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**2** EXISTING ROOF PLAN  
SCALE: 1/4"=1'-0"

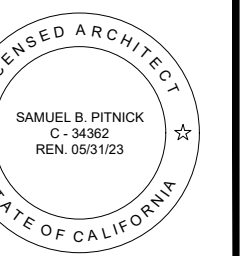


**1** EXISTING UPPER FLOOR PLAN  
SCALE: 1/4"=1'-0"



- WALL TYPE LEGEND:**
- (E) WALL TO REMAIN
  - (E) WALL TO REMOVE
  - (F) WALL

**MACDONALD  
RESIDENCE  
REMODEL**  
CASANOVA ST. 4 SW OF  
4TH AVENUE  
CARMEL, CA 93923



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REVISIONS	DATE

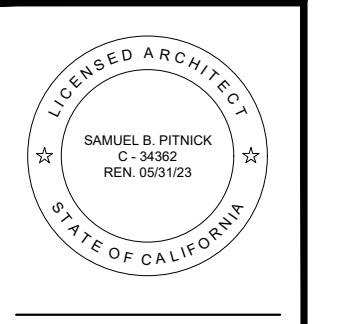
**ARCHITECTURAL**  
EXISTING  
UPPER FLOOR  
& ROOF PLAN

Scale: SEE DWG.  
Drawn By: SBP  
Job: -

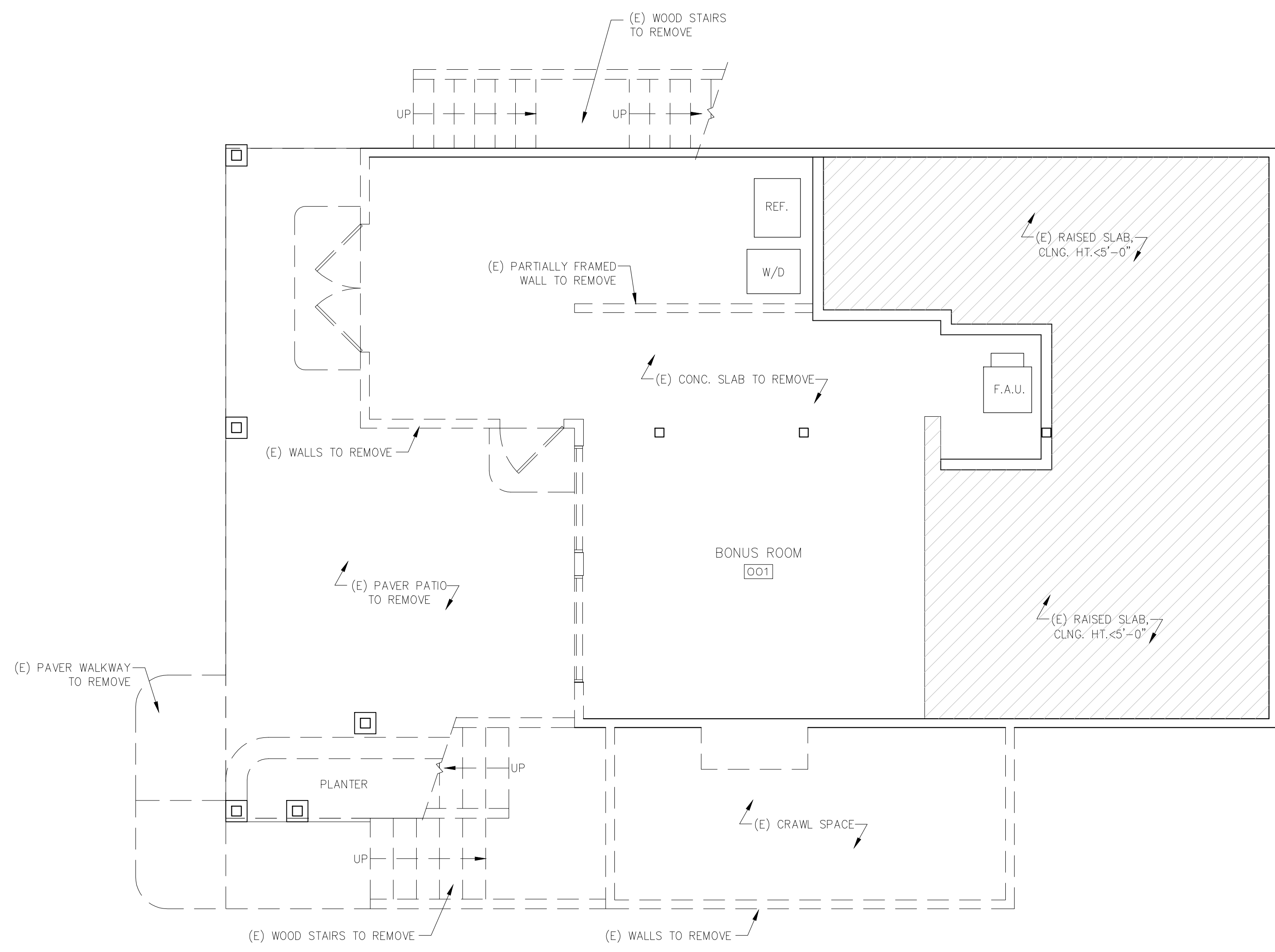
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05/06/2022

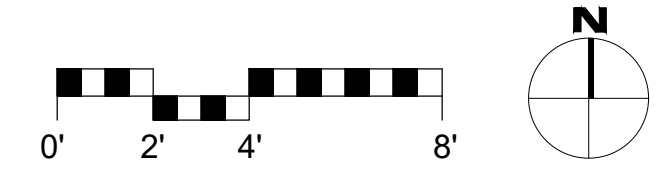
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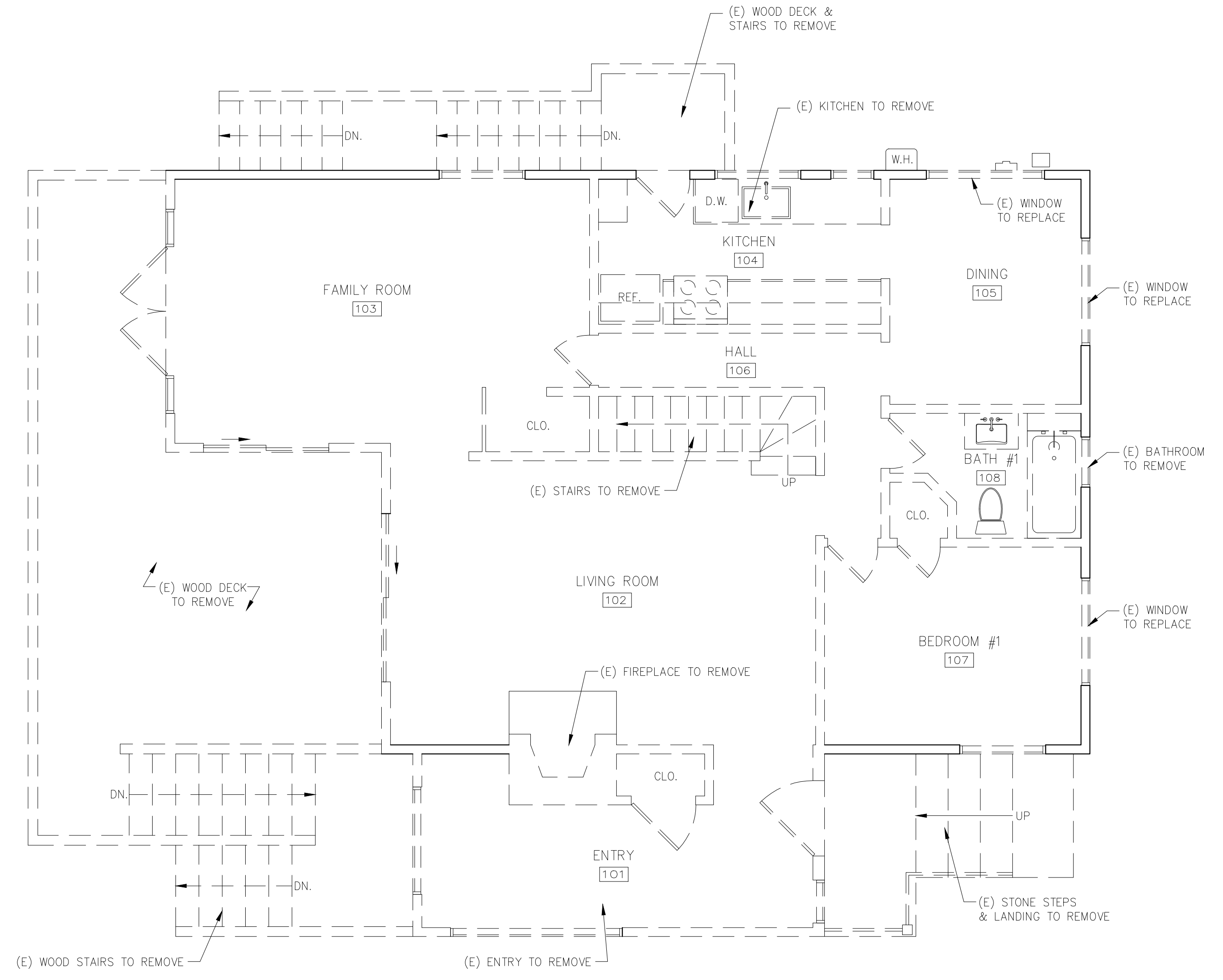


**2 EXISTING LOWER FLOOR DEMOLITION PLAN**  
SCALE: 1/4"=1'-0"

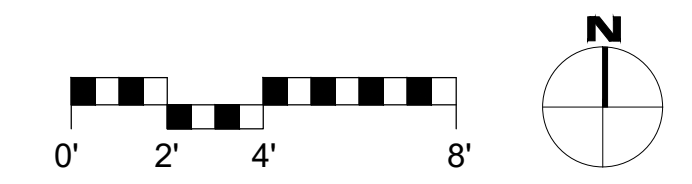


**DEMOLITION NOTES**

1. MATERIAL SALVAGE: COORDINATE WITH OWNER PRIOR TO DEMOLITION. REMOVE, PROTECT AND STORE MATERIAL SCHEDULED FOR REUSE AND SALVAGE.
2. SEE STRUCTURAL DRAWINGS FOR DEMOLITION SPECIFIC TO ANY NEW STRUCTURAL WORK.
3. THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE JOB SITE. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL ISOLATE THE AFFECTED AREA AND CONTACT THE ARCHITECT FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING.
4. REPAIR ALL DEMOLITION PERFORMED, IN EXCESS OF THAT REQUIRED, AT NO ADDITIONAL COST TO THE OWNER.
5. REMOVE FROM SITE AND LEGALLY DISPOSE OF DAILY ALL REFUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED.
6. REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE CONTRACT AREAS AND SITE CLEAN, ORDERLY AND IN A CONDITION ACCEPTABLE FOR NEW OR OTHER CONSTRUCTION.



**1 EXISTING MAIN FLOOR DEMOLITION PLAN**  
SCALE: 1/4"=1'-0"



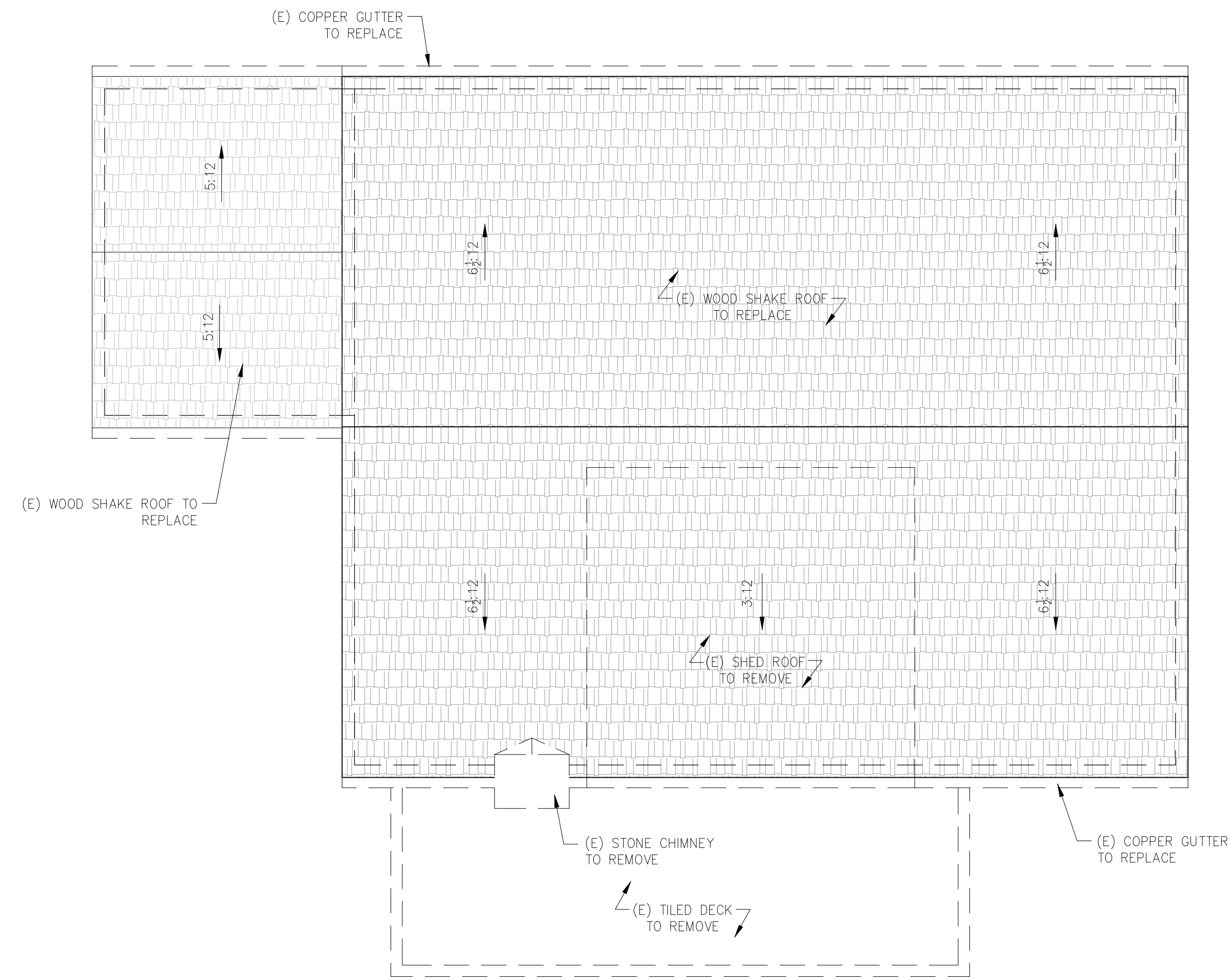
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 ——— (E) WALL TO REMAIN  
 - - - (E) WALL TO REMOVE  
 ——— (F) WALL

REVISIONS	DATE

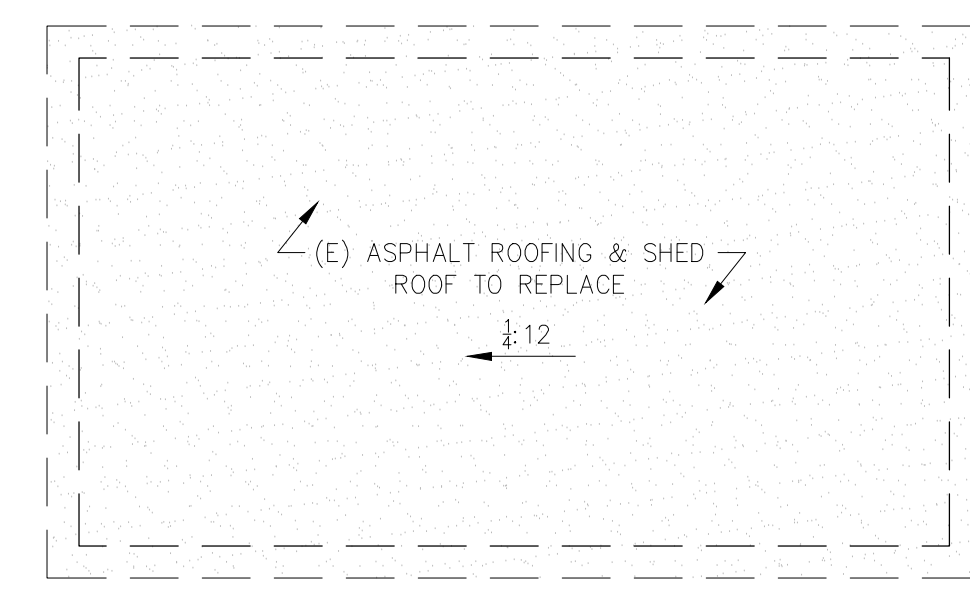
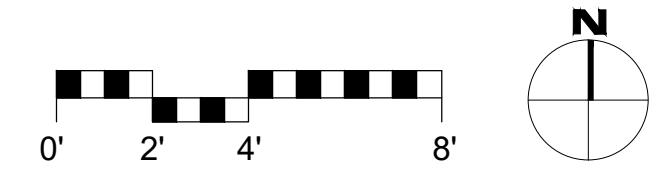
**ARCHITECTURAL**  
EXISTING LOWER  
& MAIN FLOOR  
DEMO PLAN

Scale: SEE DWG.  
Drawn By: SBP  
Job: -

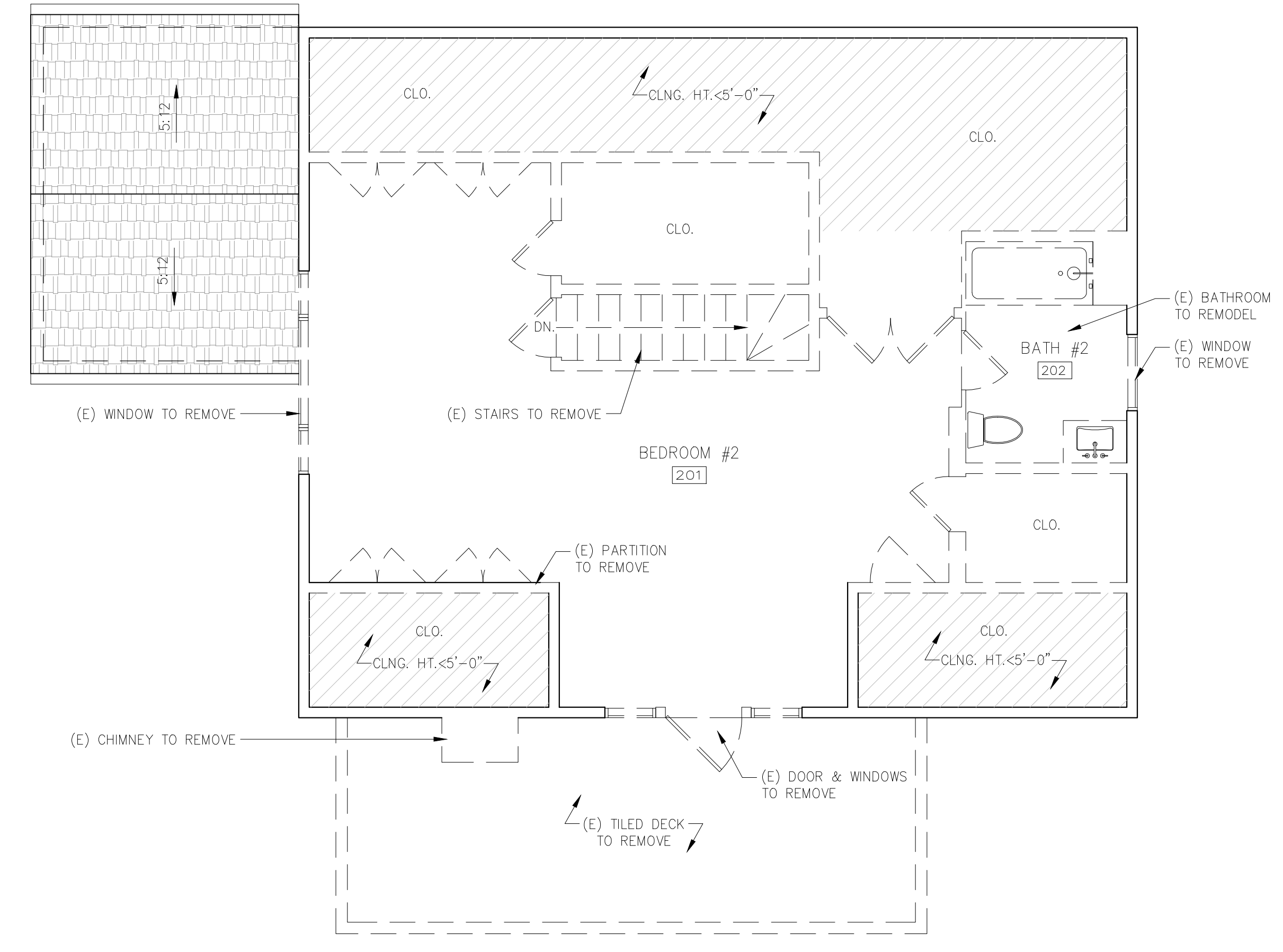
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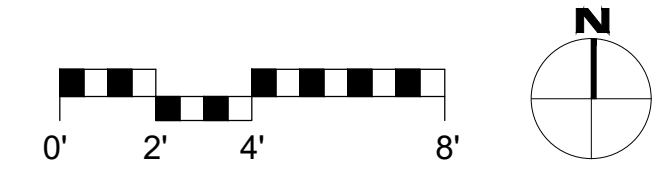
**2** EXISTING ROOF DEMOLITION PLAN  
SCALE: 1/4"=1'-0"



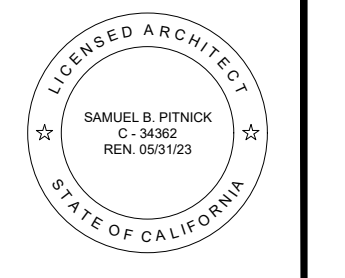
**WALL TYPE LEGEND:**  
 ——— (E) WALL TO REMAIN  
 - - - (E) WALL TO REMOVE  
 ——— (F) WALL



**1** EXISTING UPPER FLOOR DEMOLITION PLAN  
SCALE: 1/4"=1'-0"



**MACDONALD  
RESIDENCE  
REMODEL**  
 CASANOVA ST. 4 SW OF  
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









REVISIONS	DATE

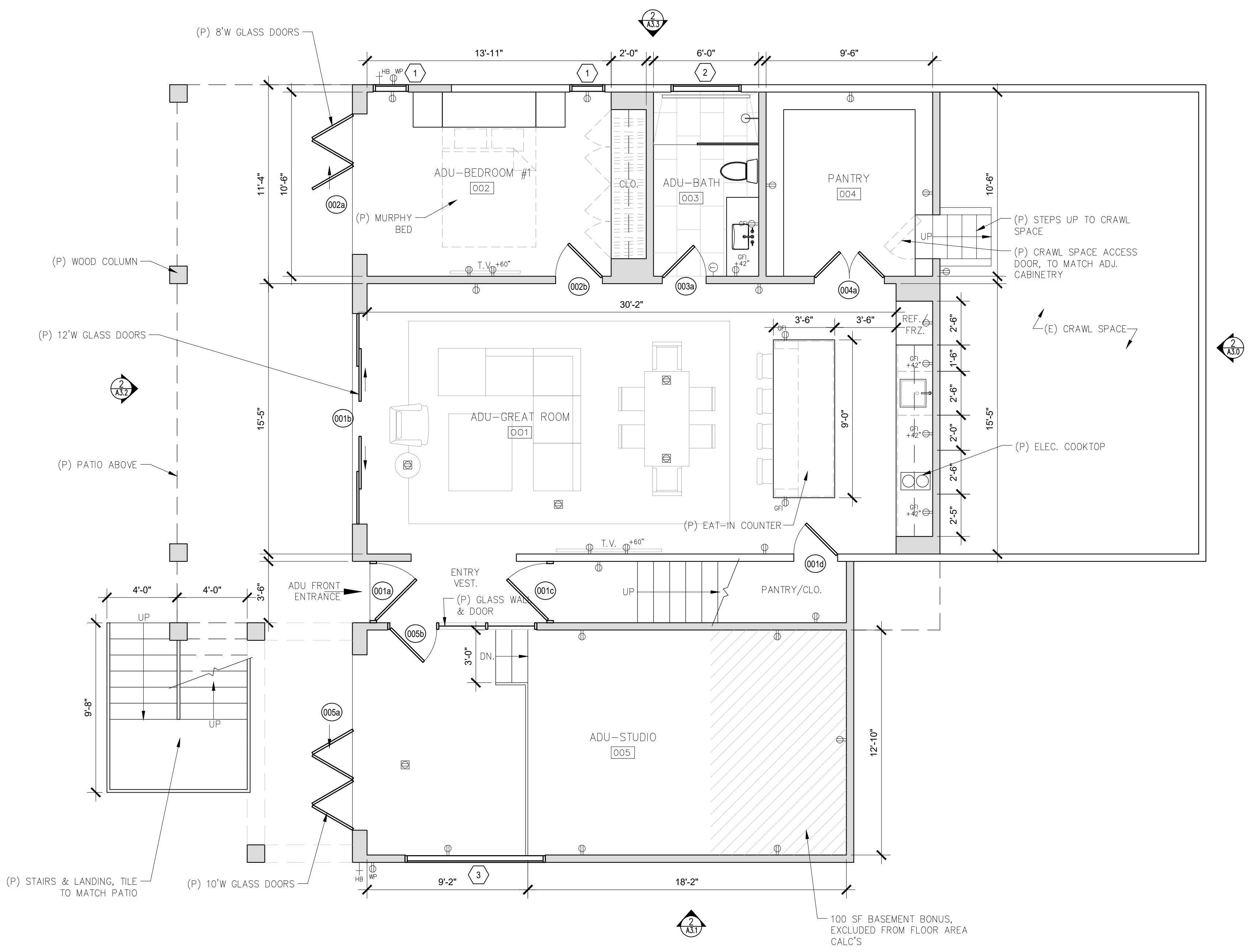
ARCHITECTURAL  
 EXISTING UPPER  
 LEVEL & ROOF  
 DEMO PLAN  
 Scale: SEE DWG.  
 Drawn By: SBP  
 Job: -

**A2.4**  
 05/06/2022

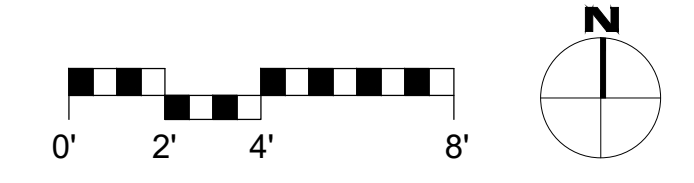
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FLOOR PLAN SYMBOLS LEGEND

-  TAMPER RESISTANT DUPLEX OUTLET, BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES, TYP. ALL OUTLETS
-  TAMPER RESISTANT QUAD OUTLET
-  220V TAMPER RESISTANT DUPLEX OUTLET
-  TAMPER RESISTANT DUPLEX OUTLET W/ USB CHARRING
-  GROUND FAULT CIRCUIT INTERRUPT OUTLET
-  WATER PROOF EXTERIOR GFCI OUTLET / TAMPER RESISTANT
-  TAMPER RESISTANT FLOOR OUTLET
-  GARAGE DOOR OPENER W/ AUTOMATIC GARAGE DOOR BATTERY BACKUP
-  HOSE BIBB W/ ANTI-SIPHON DEVICE
-  THERMOSTATIC CONTROL, IN BATHROOMS FOR NUHEAT UNDER-FLOOR HEATING SYSTEM

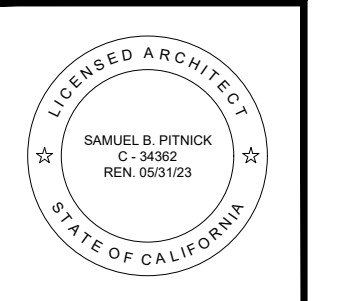


**1 PROPOSED LOWER FLOOR PLAN (A.D.U.)**  
SCALE: 1/4"=1'-0"



- WALL TYPE LEGEND:
-  (E) WALL TO REMAIN
  -  (E) WALL TO REMOVE
  -  (P) WALL

**MACDONALD RESIDENCE REMODEL**  
CASANOVA ST. 4 SW OF 4TH AVENUE  
CARMEL, CA 93923



**SAMUEL PITNICK ARCHITECTS**  
P.O. BOX 22412, CARMEL, CA 93922  
PHONE: (831) 241-1885  
EMAIL: SAMUEL@PITNICK.COM

REVISIONS	DATE

ARCHITECTURAL

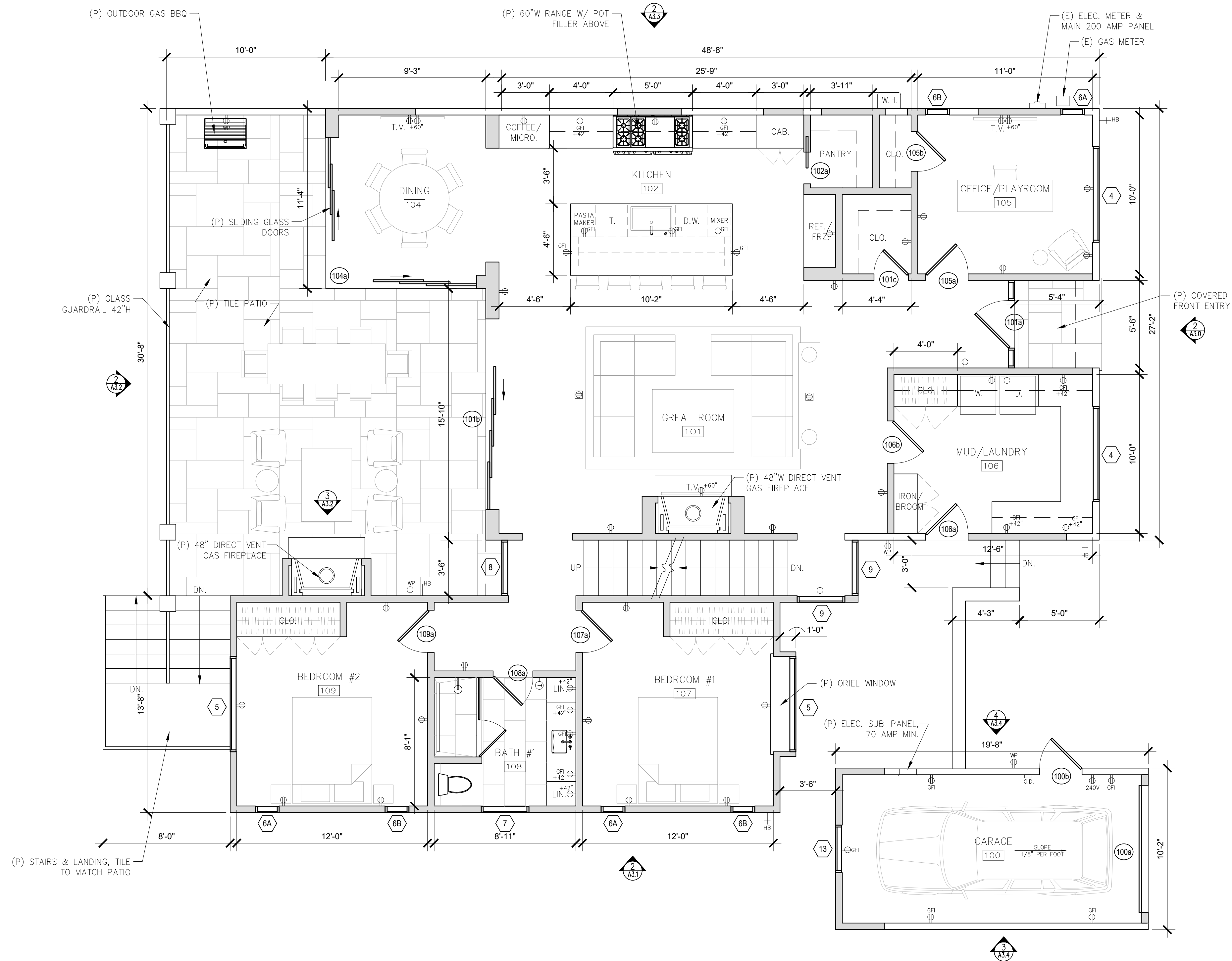
PROPOSED LOWER FLOOR PLAN (A.D.U.)

Scale: SEE DWG.  
Drawn By: SBP  
Job: -

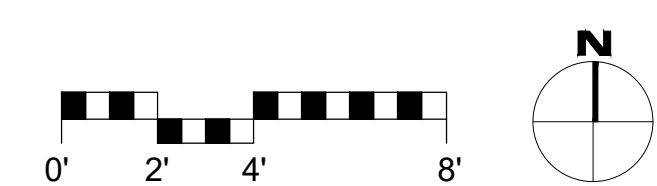
**A2.5**  
05/23/2022

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- FLOOR PLAN SYMBOLS LEGEND**
- TAMPER RESISTANT DUPLEX OUTLET, BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES, TYP. ALL OUTLETS
  - TAMPER RESISTANT QUAD OUTLET
  - 220V TAMPER RESISTANT DUPLEX OUTLET
  - TAMPER RESISTANT DUPLEX OUTLET W/ USB CHARNING
  - GFI
  - WP
  - WATER PROOF EXTERIOR GFCI OUTLET / TAMPER RESISTANT
  - TAMPER RESISTANT FLOOR OUTLET
  - GARAGE DOOR OPENER W/ AUTOMATIC GARAGE DOOR BATTERY BACKUP
  - HOSE BIBB W/ ANTI-SIPHON DEVICE
  - THERMOSTATIC CONTROL, IN BATHROOMS FOR NUHEAT UNDER-FLOOR HEATING SYSTEM

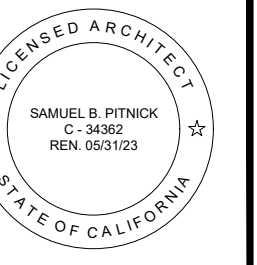


**1 PROPOSED MAIN FLOOR & GARAGE PLAN**  
SCALE: 1/4"=1'-0"



- WALL TYPE LEGEND:**
- (E) WALL TO REMAIN
  - (E) WALL TO REMOVE
  - (P) WALL

**MACDONALD  
RESIDENCE  
REMODEL**  
CASANOVA ST. 4 SW OF  
4TH AVENUE  
CARMEL, CA 93923



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REVISIONS    DATE

ARCHITECTURAL

PROPOSED  
MAIN FLOOR  
& GARAGE PLAN

Scale: SEE DWG.  
Drawn By: SBP  
Job: -

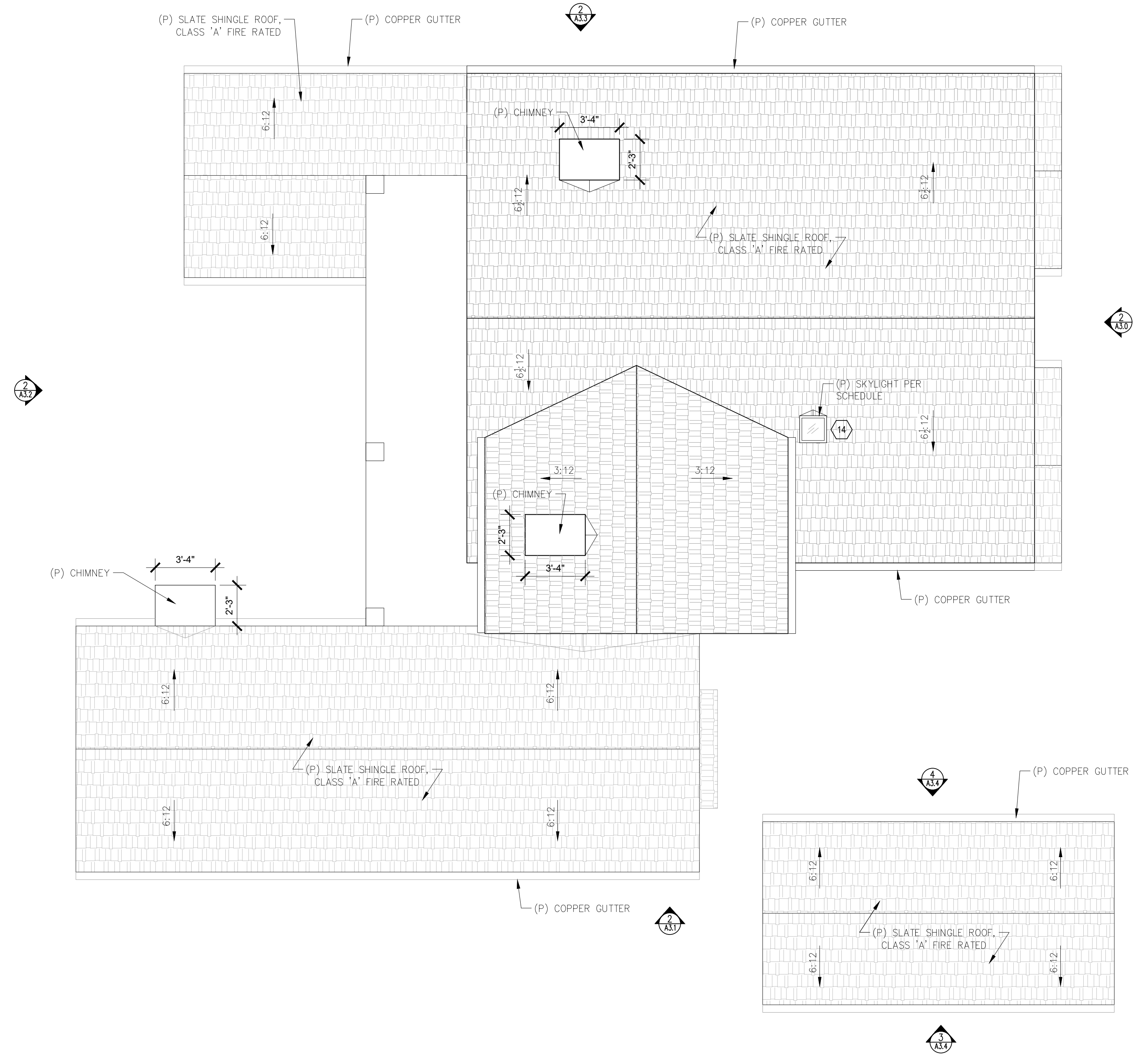
**A2.6**

05/23/2022

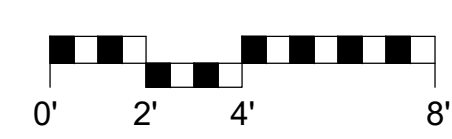




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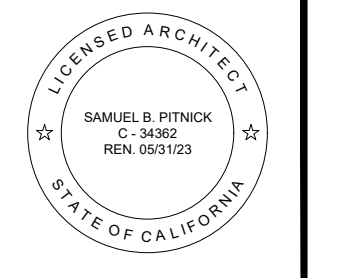


1 PROPOSED ROOF PLAN  
SCALE: 1/4"=1'-0"



**WALL TYPE LEGEND:**  
 ——— (E) WALL TO REMAIN  
 - - - (E) WALL TO REMOVE  
 ■■■■ (P) WALL

**MACDONALD  
RESIDENCE  
REMODEL**  
 CASANOVA ST. 4 SW OF  
 4TH AVENUE  
 CARMEL, CA 93923



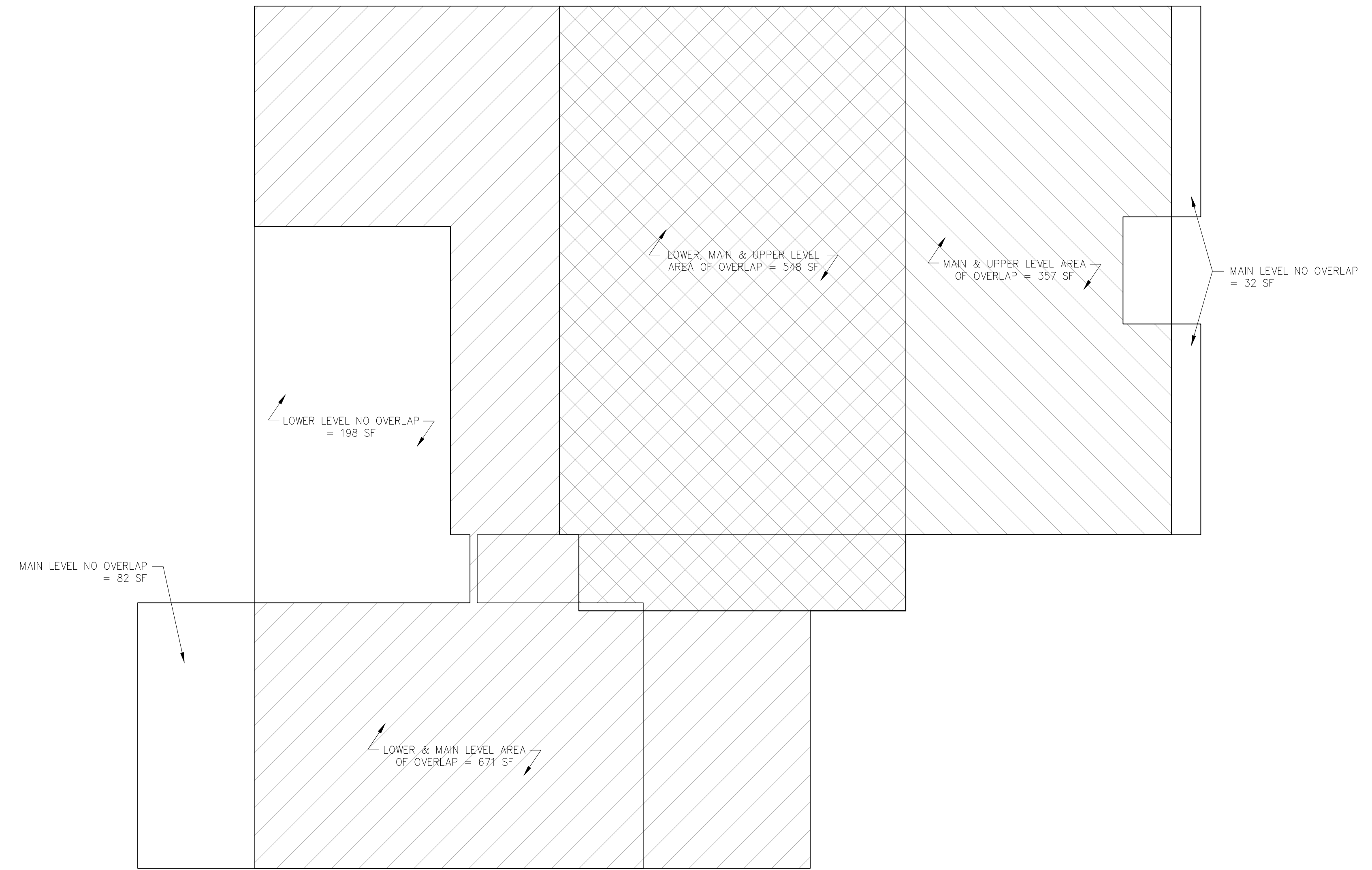
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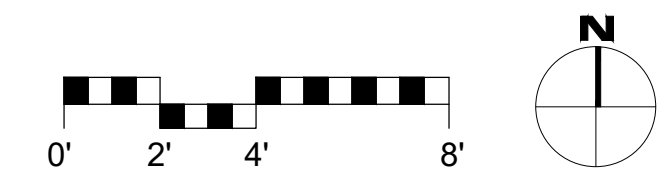
**ARCHITECTURAL**  
 PROPOSED  
 ROOF PLAN  
 Scale: SEE DWG.  
 Drawn By: SBP  
 Job: -

**A2.8**  
 05/23/2022

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1 PROPOSED OVERLAPPING FLOOR PLAN DIAGRAM  
SCALE: 1/4"=1'-0"



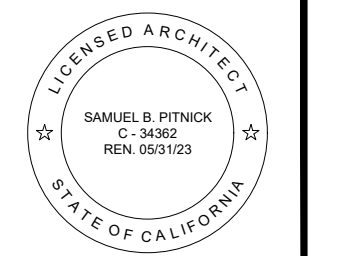
FLOOR PLAN LEGEND

	LOWER & MAIN LEVEL OVERLAPPING FLOOR AREA
	MAIN & UPPER LEVEL OVERLAPPING FLOOR AREA
	LOWER, MAIN & UPPER LEVEL OVERLAPPING FLOOR AREA

WALL TYPE LEGEND:

	(E) WALL TO REMAIN
	(E) WALL TO REMOVE
	(F) WALL

**MACDONALD  
RESIDENCE  
REMODEL**  
CASANOVA ST. 4 SW OF  
4TH AVENUE  
CARMEL, CA 93923



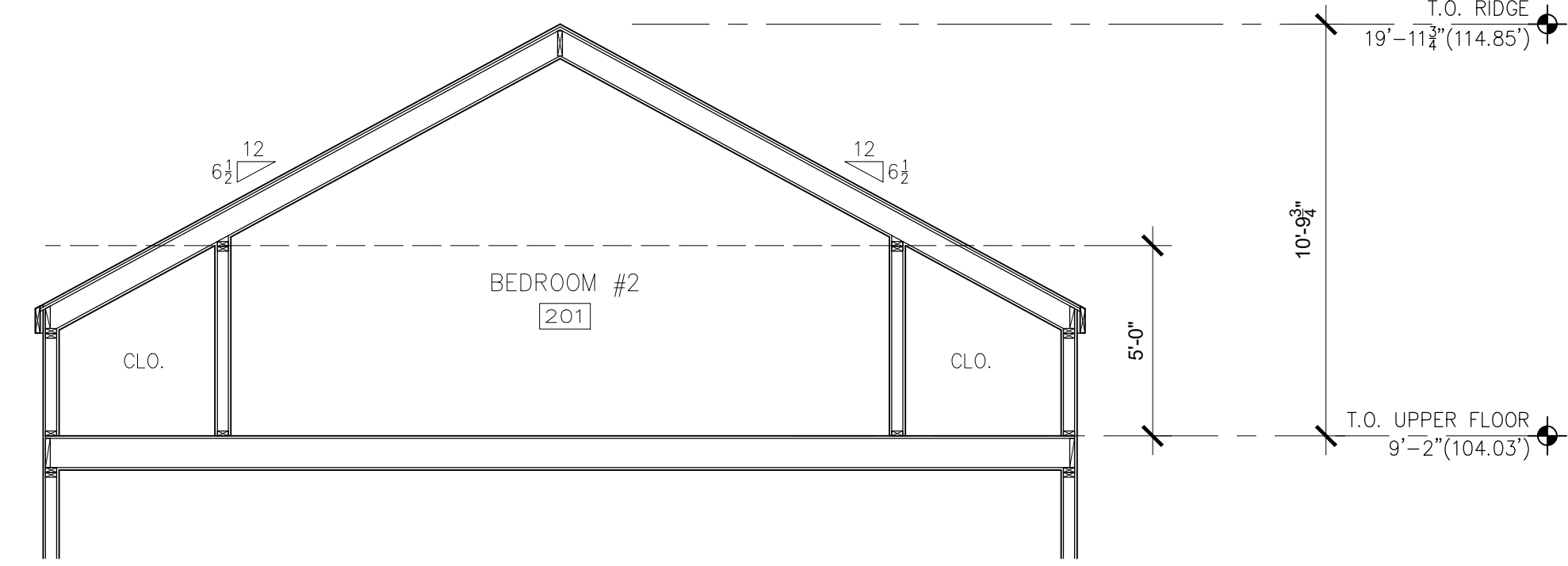
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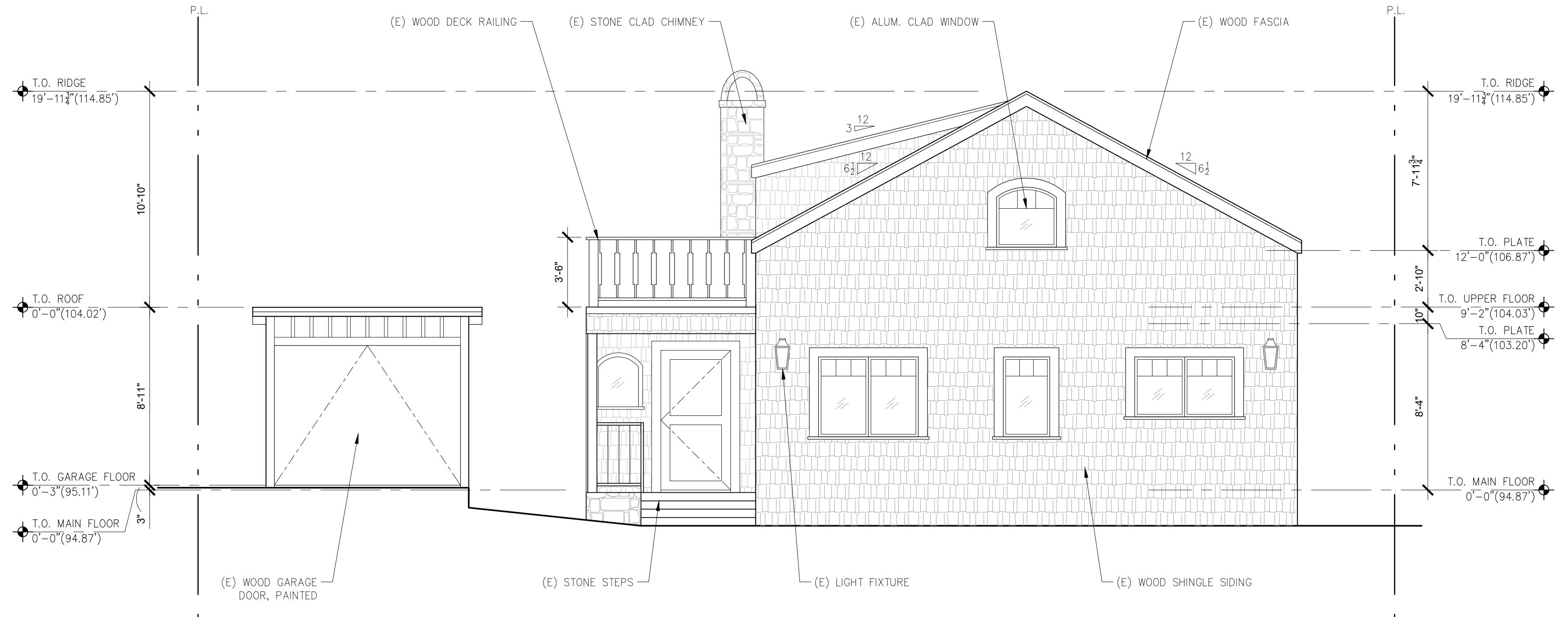
ARCHITECTURAL  
PROPOSED  
OVERLAPPING  
FLOOR DIAGRAM  
Scale: SEE DWG.  
Drawn By: SBP  
Job: -

**A2.9**  
05/06/2022

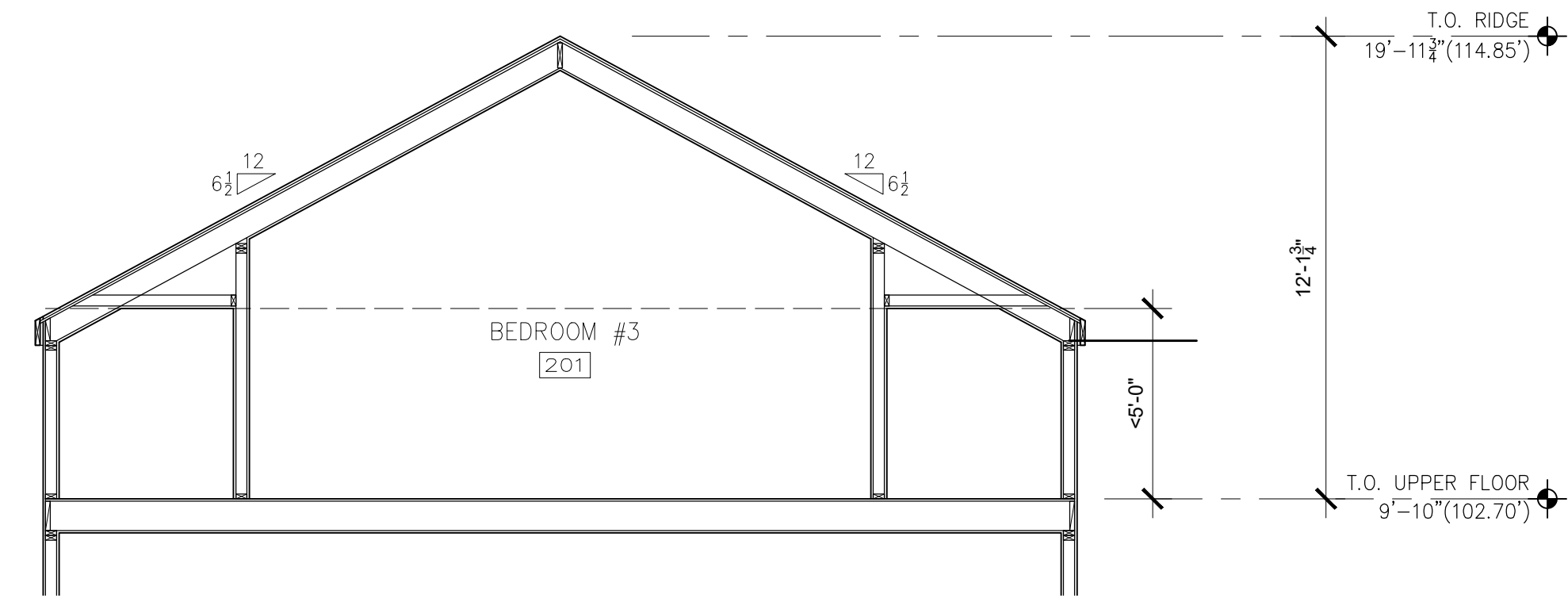
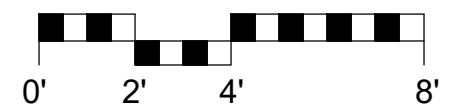
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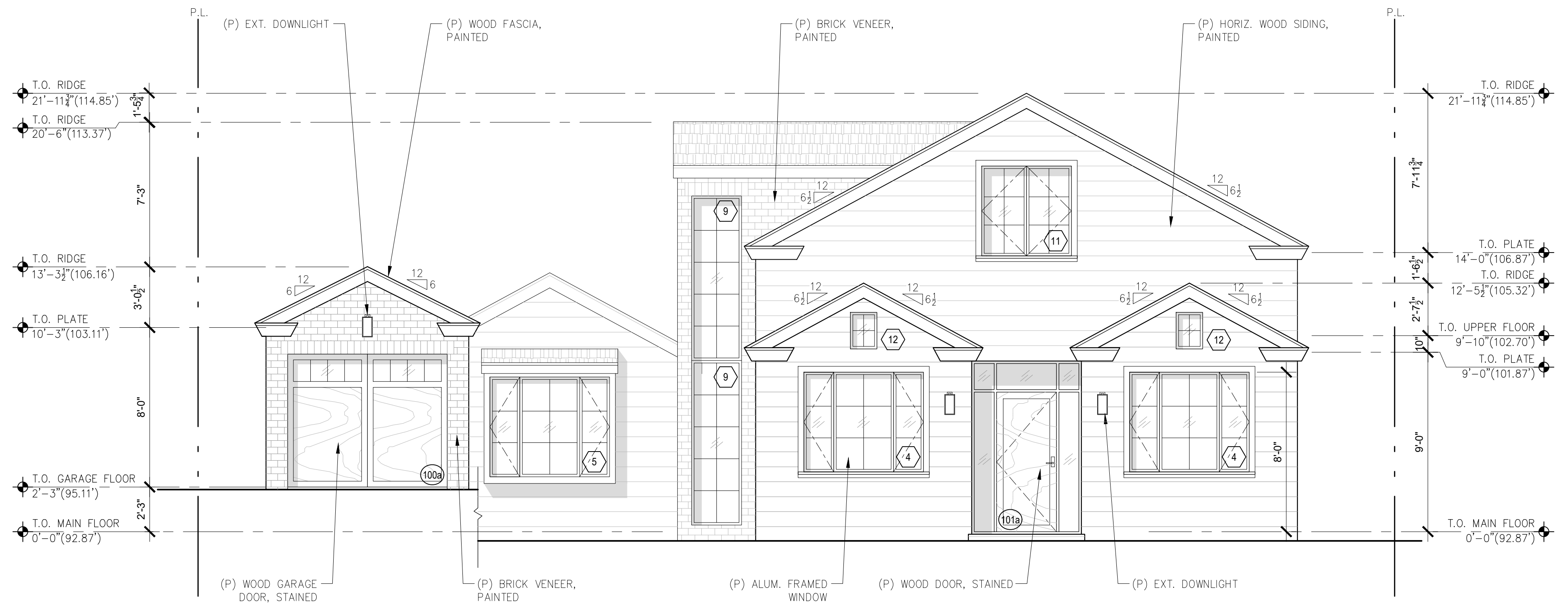
3 EXISTING SECTION THROUGH 2ND FLOOR  
SCALE: 1/4"=1'-0"



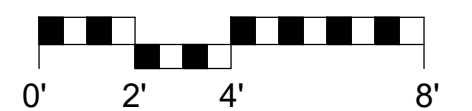
1 EXISTING EAST ELEVATION (STREET VIEW)  
SCALE: 1/4"=1'-0"



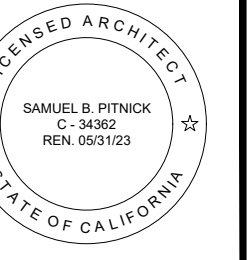
4 PROPOSED SECTION THROUGH 2ND FLOOR  
SCALE: 1/4"=1'-0"



2 PROPOSED EAST ELEVATION (STREET VIEW)  
SCALE: 1/4"=1'-0"



MACDONALD  
RESIDENCE  
REMODEL  
CASANOVA ST. 4 SW OF  
4TH AVENUE  
CARMEL, CA 93923



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REVISIONS DATE

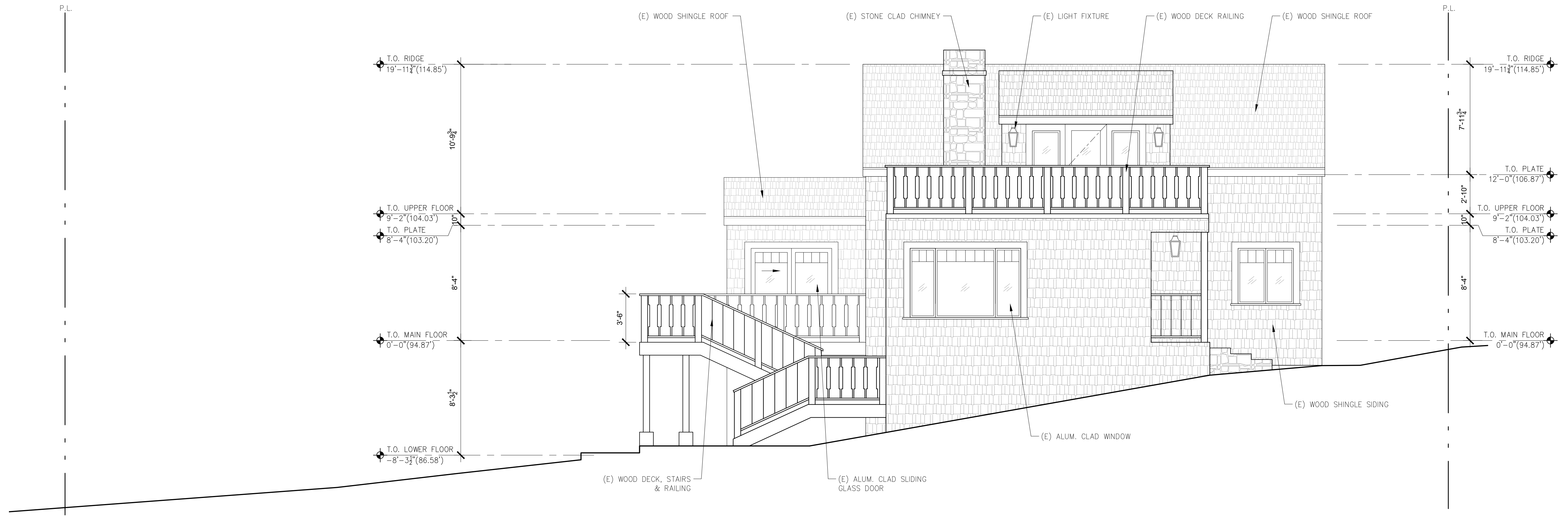
ARCHITECTURAL  
BUILDING  
ELEVATIONS

Scale: SEE DWG.  
Drawn By: SBP  
Job: -

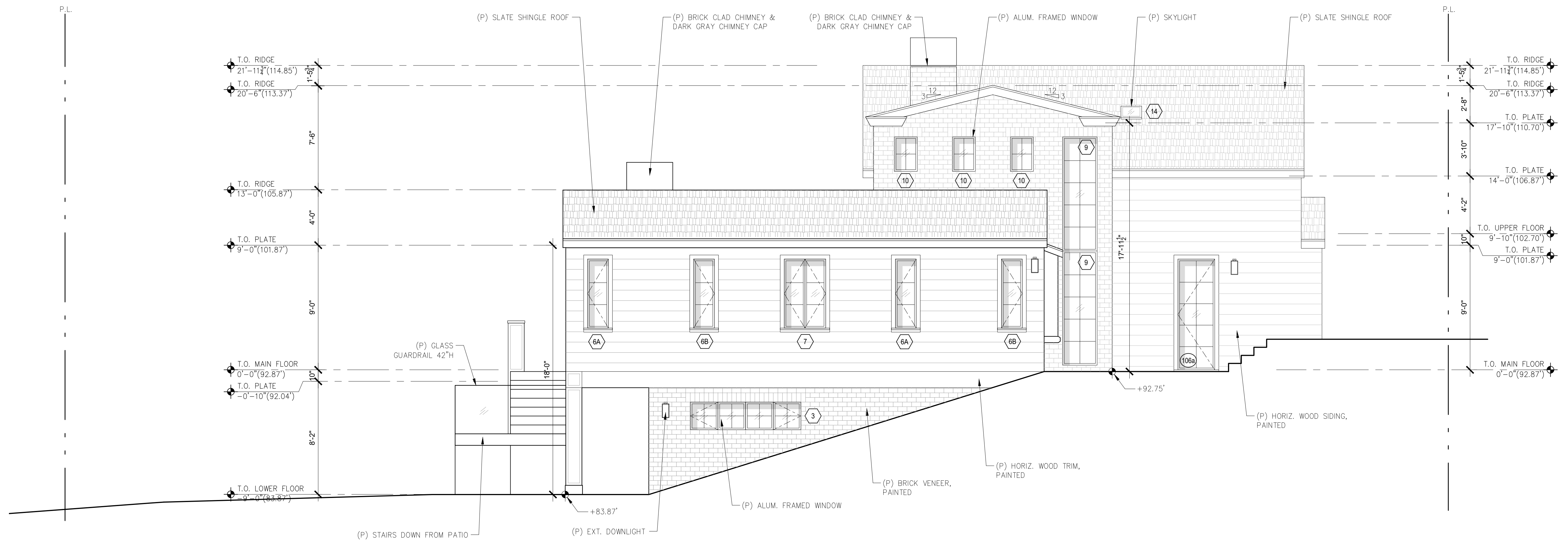
A3.0

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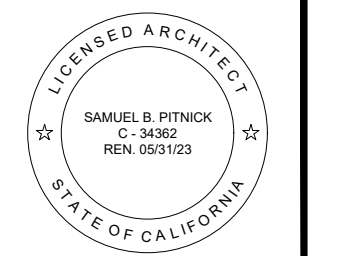


**1 EXISTING SOUTH ELEVATION**  
SCALE: 1/4"=1'-0"



**2 PROPOSED SOUTH ELEVATION**  
SCALE: 1/4"=1'-0"

**MACDONALD  
RESIDENCE  
REMODEL**  
CASANOVA ST. 4 SW OF  
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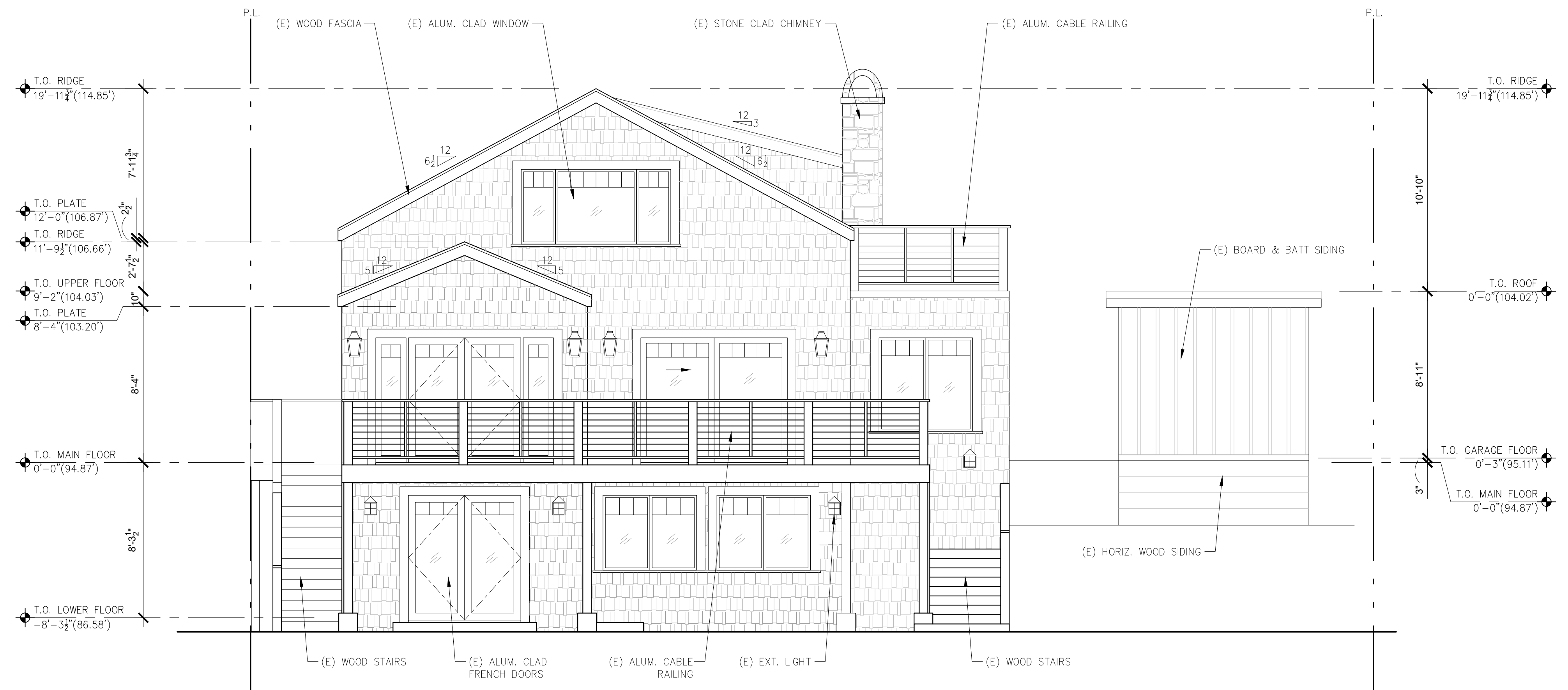
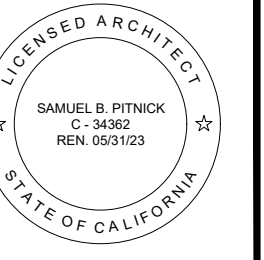
REVISIONS	DATE

**ARCHITECTURAL  
BUILDING  
ELEVATIONS**

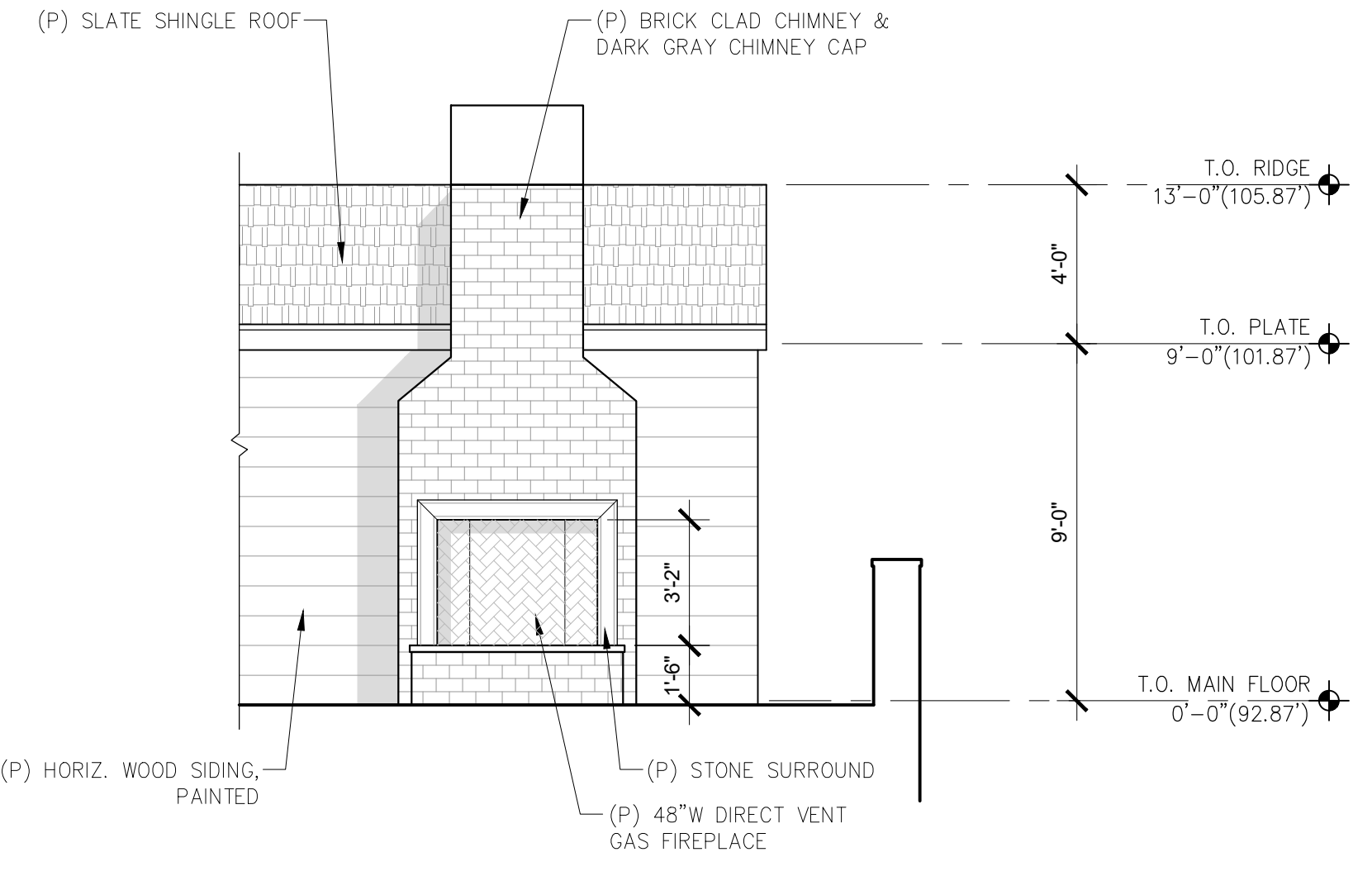
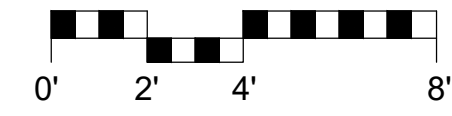
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Drawn By: SBP  
Job: -

**A3.1**  
05/23/2022

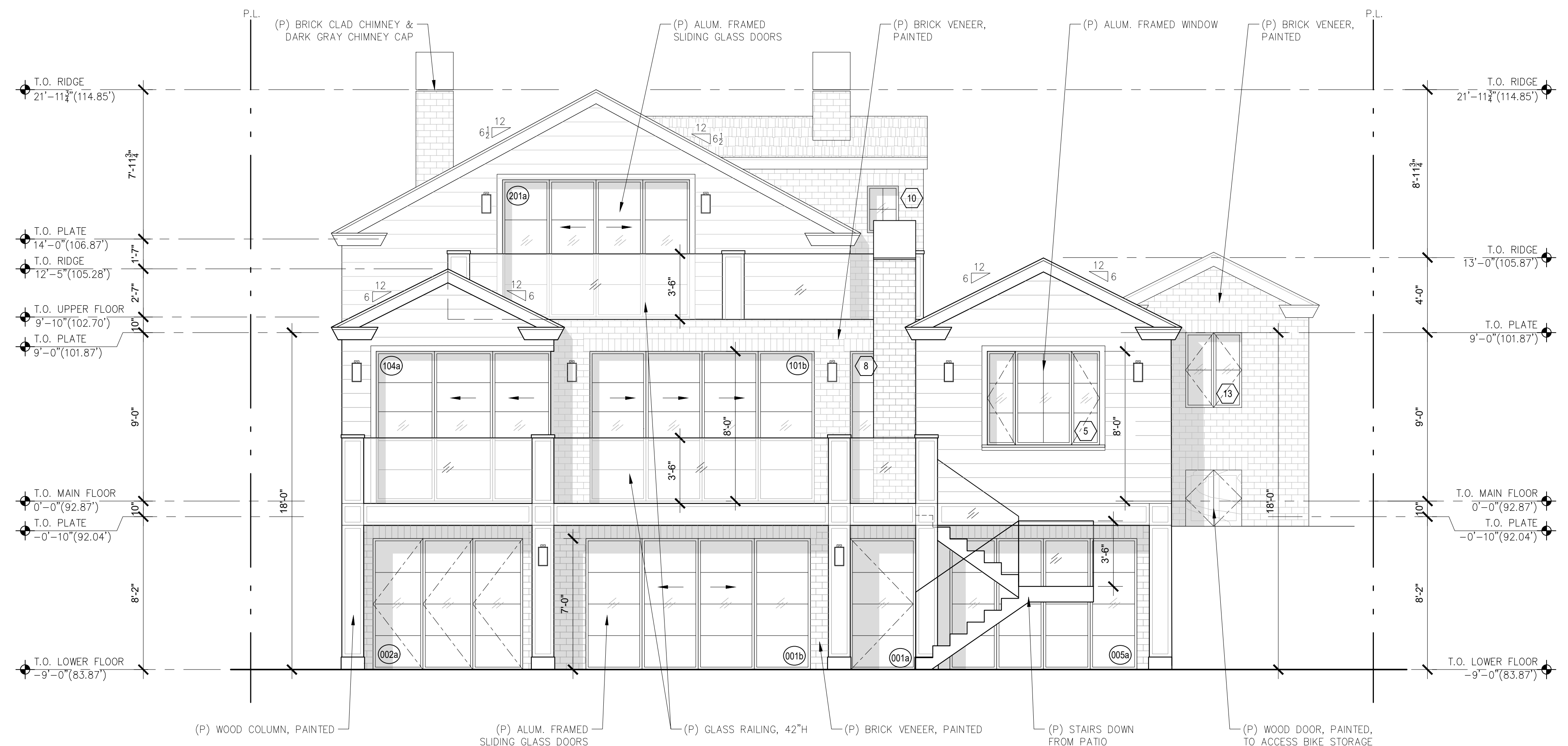
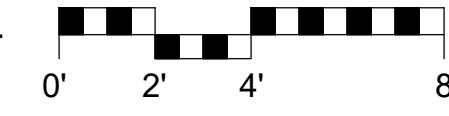
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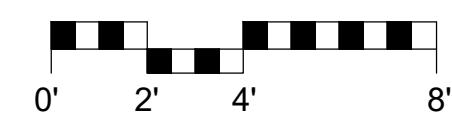
**1 EXISTING WEST ELEVATION**  
SCALE: 1/4"=1'-0"



**3 PROPOSED OUTDOOR FIREPLACE ELEVATION**  
SCALE: 1/4"=1'-0"



**2 PROPOSED WEST ELEVATION**  
SCALE: 1/4"=1'-0"

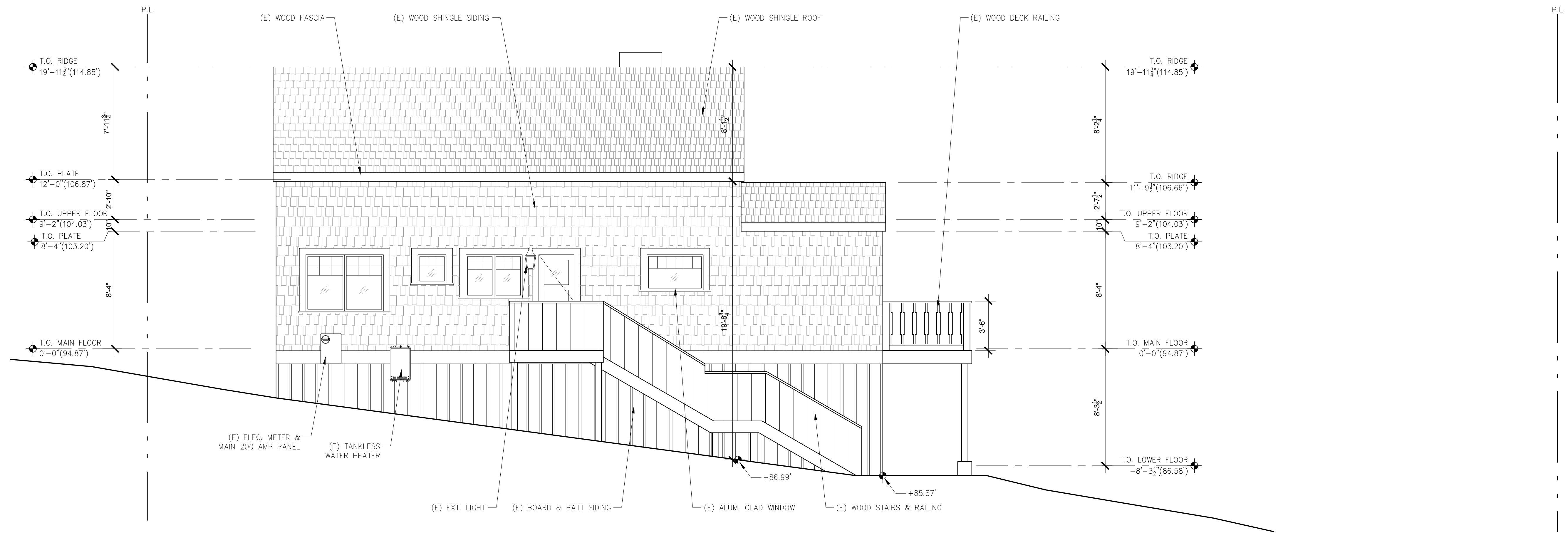


REVISIONS	DATE

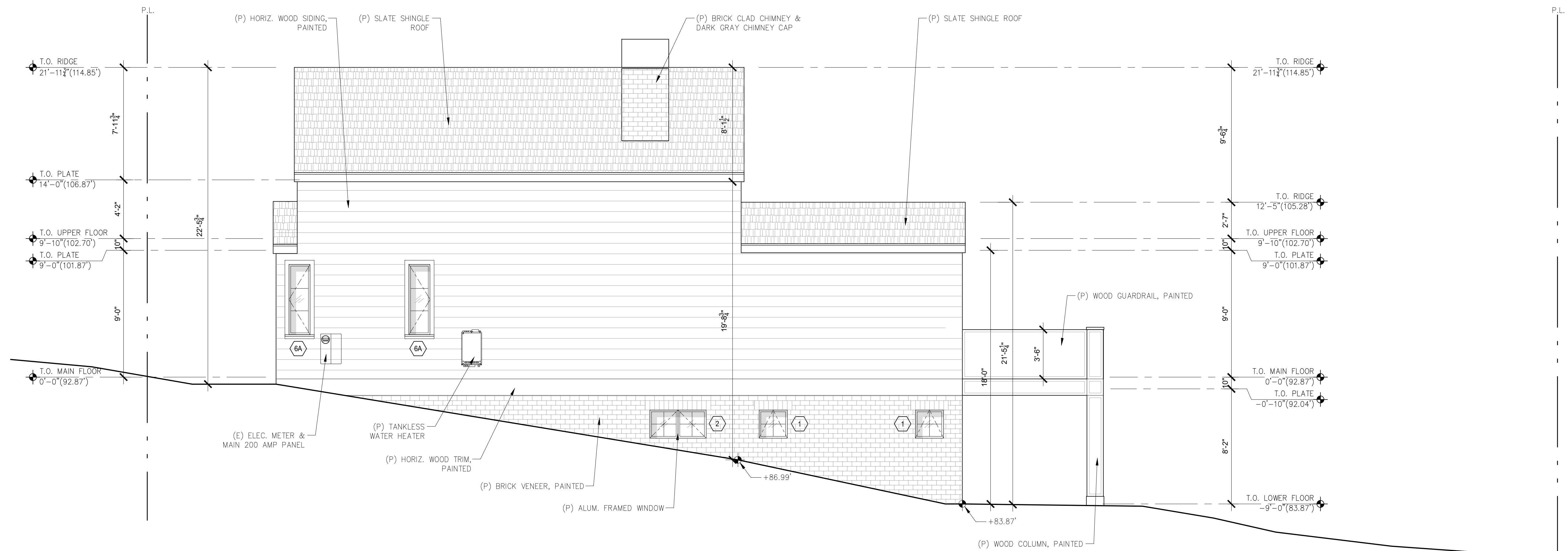
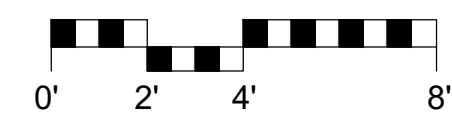
**ARCHITECTURAL**  
**BUILDING ELEVATIONS**

Scale: SEE DWG.  
Drawn By: SBP  
Job: -

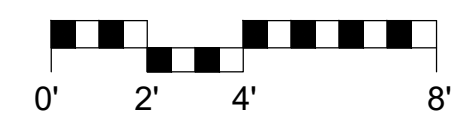
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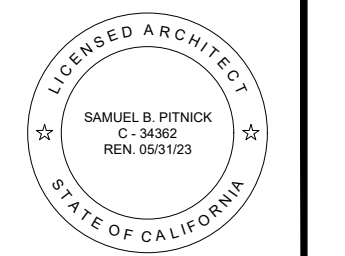
**1 EXISTING NORTH ELEVATION**  
SCALE: 1/4"=1'-0"



**2 PROPOSED NORTH ELEVATION**  
SCALE: 1/4"=1'-0"



**MACDONALD  
RESIDENCE  
REMODEL**  
CASANOVA ST. 4 SW OF  
4TH AVENUE  
CARMEL, CA 93923



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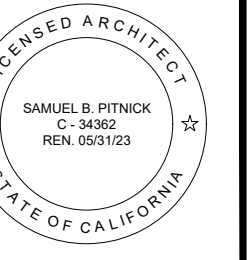
REVISIONS	DATE

**ARCHITECTURAL**  
**BUILDING ELEVATIONS**

Scale: SEE DWG.  
Drawn By: SBP  
Job: -

**A3.3**  
05/23/2022

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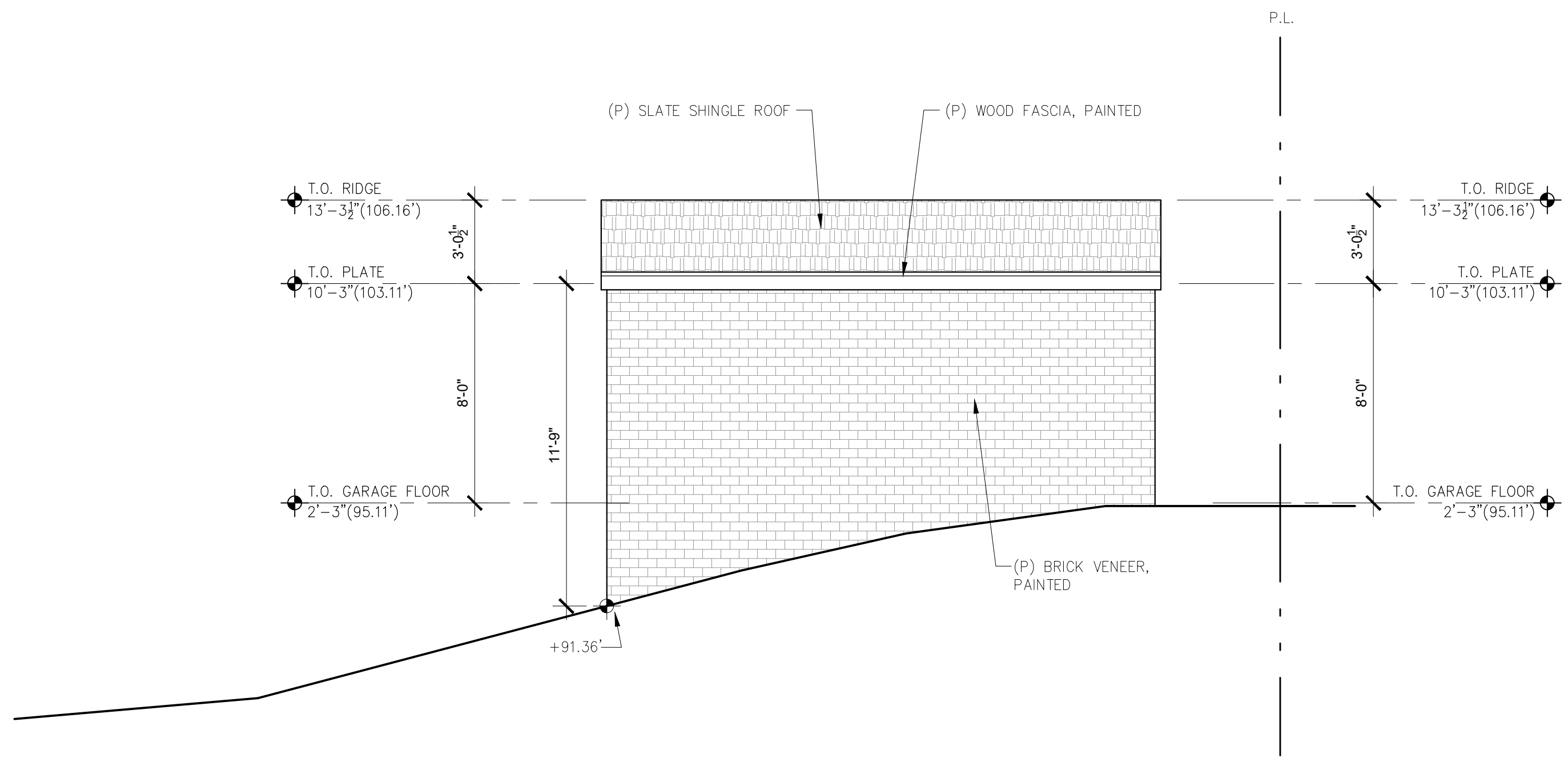
ARCHITECTURAL

BUILDING  
ELEVATIONS

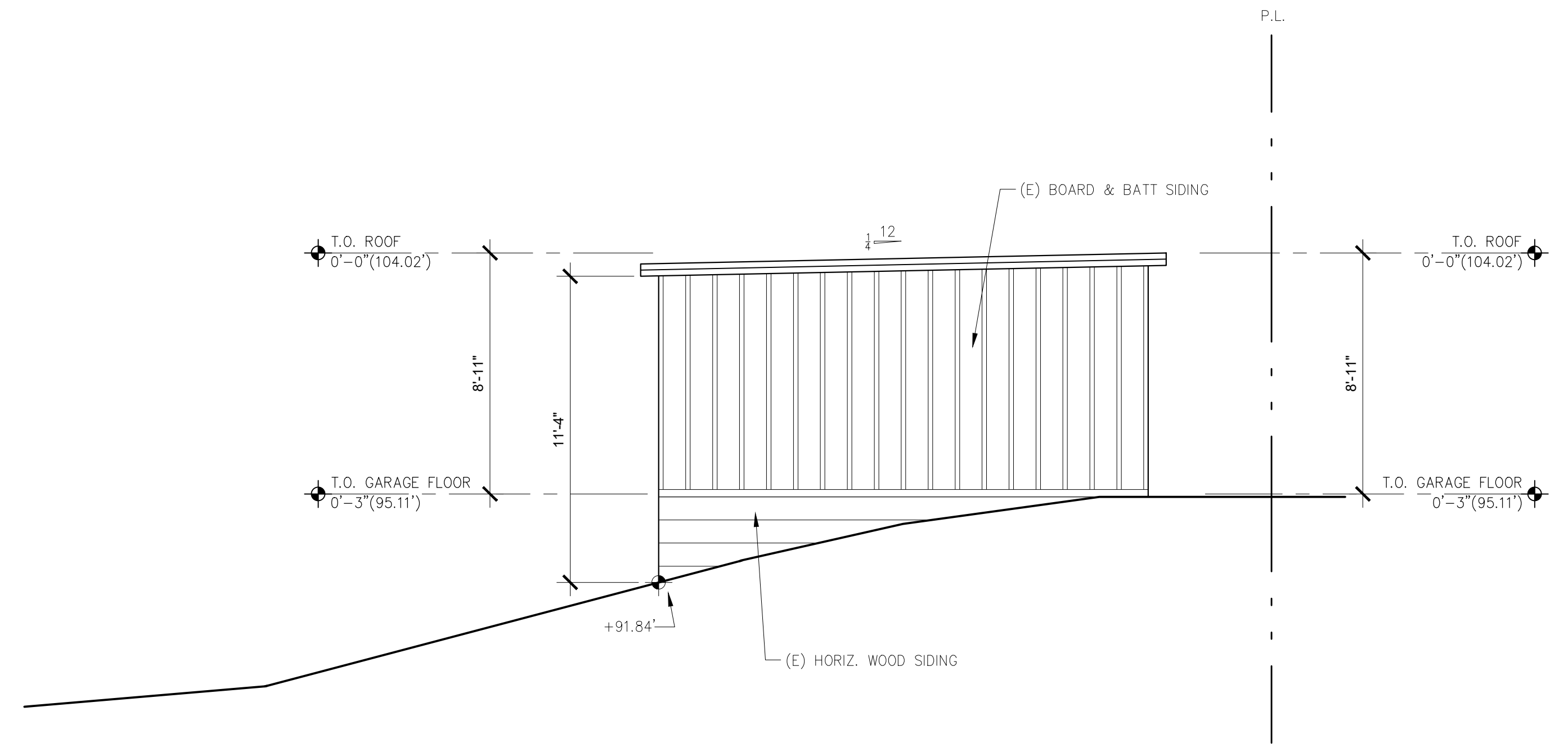
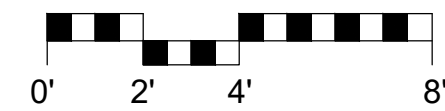
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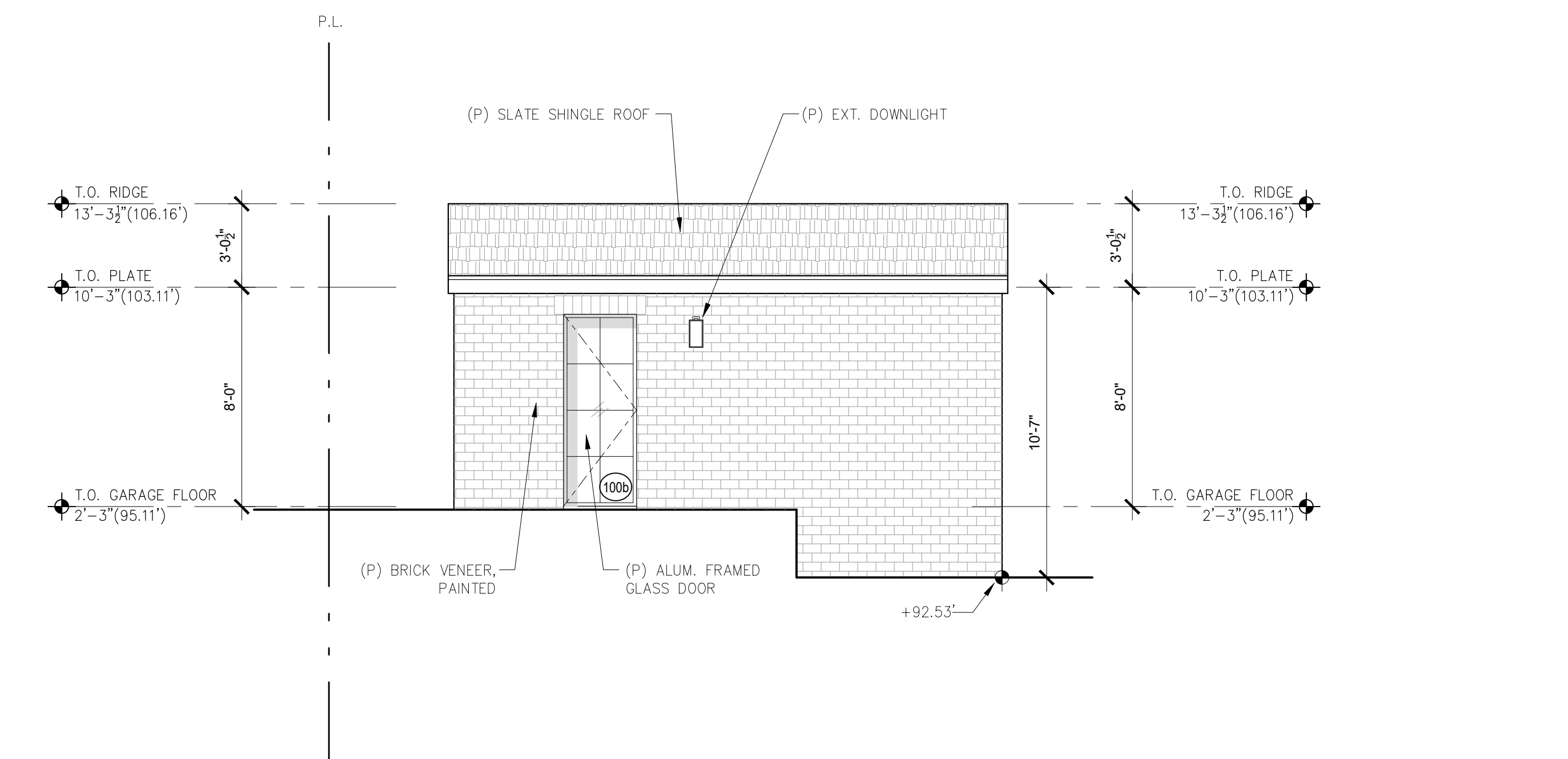
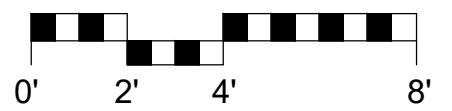
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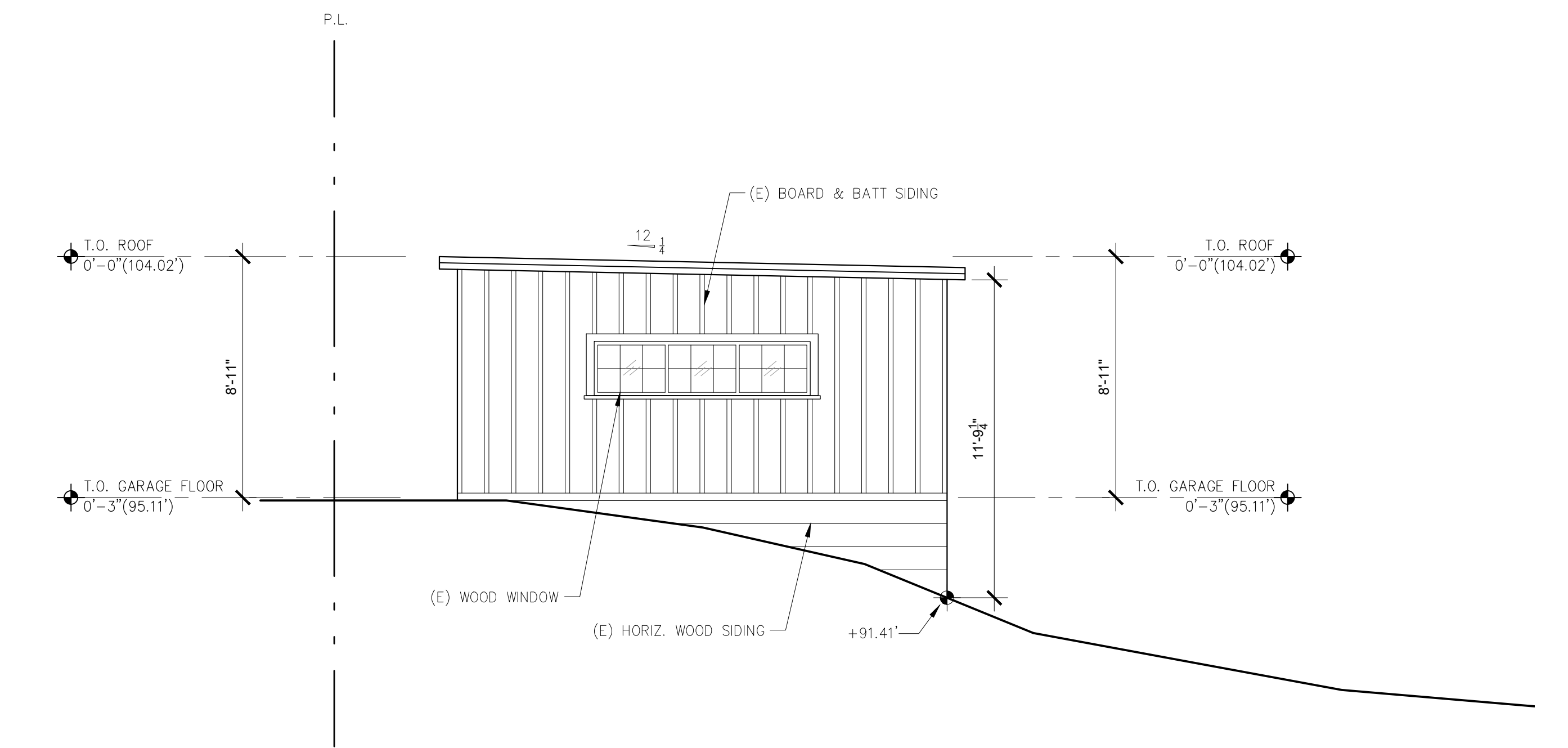
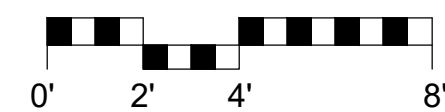
**3 PROPOSED GARAGE SOUTH ELEVATION**  
SCALE: 1/4"=1'-0"



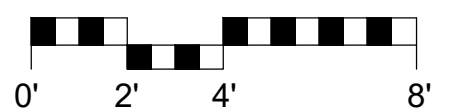
**1 EXISTING GARAGE SOUTH ELEVATION**  
SCALE: 1/4"=1'-0"



**4 PROPOSED GARAGE NORTH ELEVATION**  
SCALE: 1/4"=1'-0"



**2 EXISTING GARAGE NORTH ELEVATION**  
SCALE: 1/4"=1'-0"



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## K4000 Series Photo Controls

### K4000 Series Fixed Position Mounting

The K4000 Series Fixed Position Mounting Photo Controls are thermal-type photo controls that fit into a standard outlet box, post lamp, or wall pack. The photo controls provide dusk-to-dawn lighting control along with a delay action, which eliminates loads switching OFF due to car headlights and lightning. The thermal-type controls feature a cadmium sulfide photocell and a sonic-welded polycarbonate case and lens to seal out moisture. The design utilizes a dual temperature compensating bimetal and composite resistor for reliable long life operation over ambient temperature extremes.

- Features**
- Cadmium sulfide photocell
  - Sonic-welded polycarbonate housing and lens to seal out moisture
  - Delay action eliminates load switching OFF due to car head lights and lightning
  - 9" leads
  - K4321 includes a weatherproof wall plate with a neoprene gasket
  - Most models equipped with a 3/8" - 18" threaded side mounting, locking nut and washer gasket

**Ratings**  
Size: Plate (Model K4321C) 4 1/2" (11.4 cm) H x 2 3/4" (7.0 cm) W  
Mechanism 1 3/8" (3.3 cm) W x 1 1/8" (4.6 cm) L x 1 3/8" (4 cm) D  
Color: Gray  
Electrical Rating: See table  
Activation: 1-5 FC ON; 3-15 FC OFF  
Fail Mode: ON  
Power Consumption: Averages under 1 Watt  
Operating Temperature: -40°F to 158°F (-40°C to 70°C)  
Shipping Weight: 1/2 lb. (11 kg); K4321C - 1/2 lb. (17 kg)  
Agency Listing: See table



Model Number	Tungsten (Watts)	Ballast (W)	Tungsten (Amps)	Ballast (Amps)	Volts	Agency Listing
K4021C	1800	1000	15	8.3	120	UL, CSA
K4023C	3100-3150	1700-2300	15	8.3	208-277	UL, CSA
K4027	5205	2850	15	8.3	347	CAS, CUS
K4035	7200	4000	15	8.3	490	None
K4321C	1800	1000	15	8.3	120	CSA, CUS

INTERMATIC Energy Controls



## VELUX INTEGRA® Solar DSC/DSD/DSH

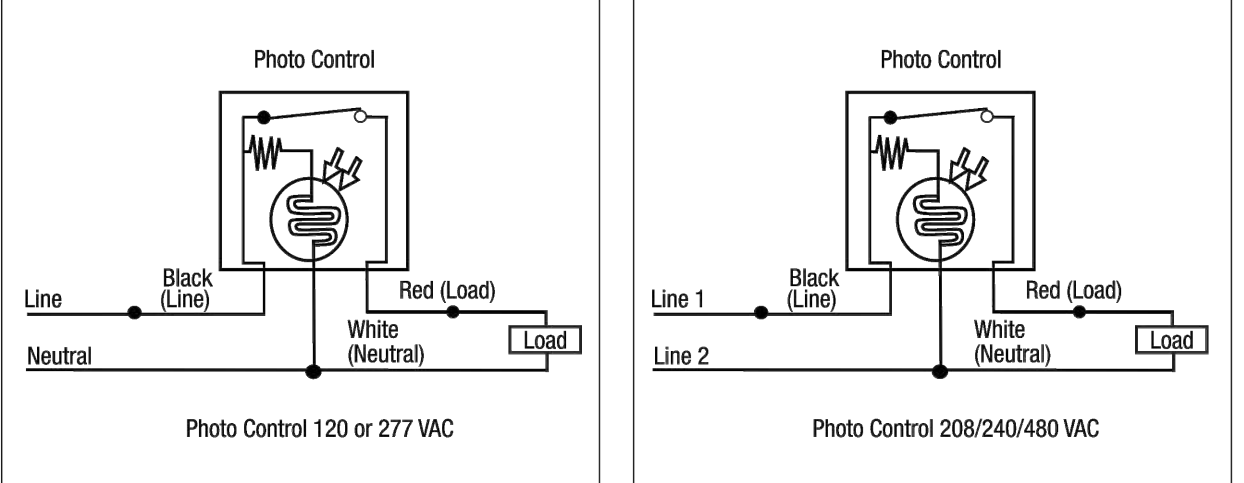
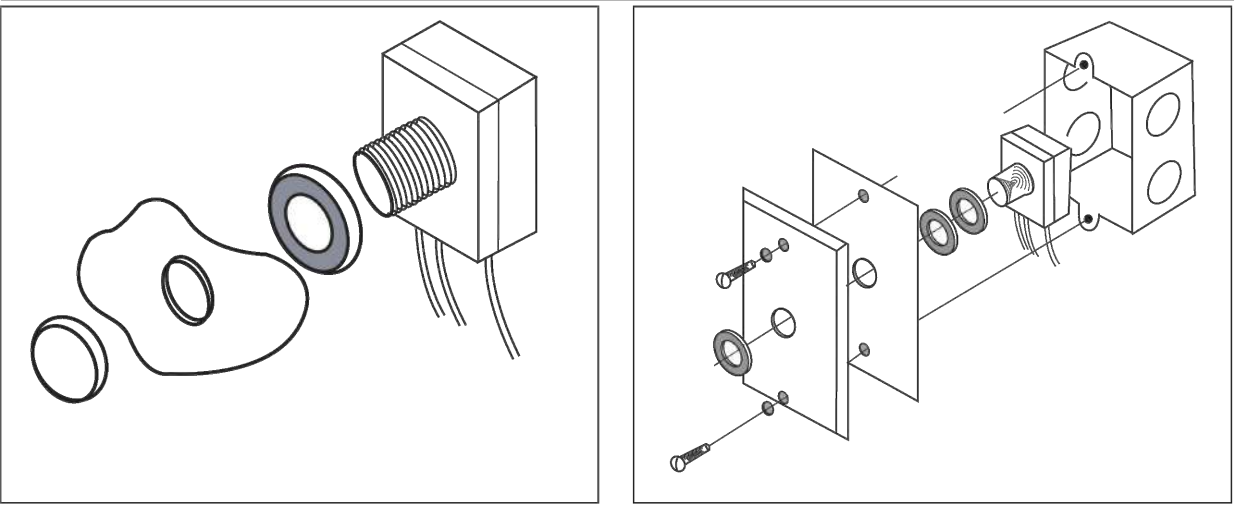


### 1 SOLAR SHADE BLINDS CUT SHEET SCALE: N.T.S.

## K4000 Series

**Specification**  
The photo control shall provide automatic switching for outdoor lighting loads. The control shall be a thermal design with built-in delay to ensure that the controlled lighting does not switch off due to ambient light or light striking the photocell. The photo control shall have a rating of \_\_\_\_\_ Watts and \_\_\_\_\_ Amps tungsten and \_\_\_\_\_ Watts and \_\_\_\_\_ Amps ballast based on agency testing at 50% power factor for ballast loads. The photo control shall provide switching for nominal voltage fixtures of \_\_\_\_\_ Volts ±10% to accommodate fluctuations in supply voltage. The photo control shall include all necessary mounting hardware and instructions. The photo control housing shall be constructed of high impact polycarbonate. The photo control components shall consist of a metal film resistor, dual temperature compensating bi-metal blades, snap action contact blades, chemically treated polymer encapsulated cadmium sulfide photocell, and silver alloy contacts to ensure reliable operation. The photo control shall be 100% factory tested for function within specified light levels. The photo control shall be agency certified (unless noted otherwise) and tested accordingly. The photo control shall function over temperature range of -40°F to 158°F (-40°C to 70°C). The photo control shall be Intermatic model \_\_\_\_\_ (See Model Numbers Listed).

### Diagrams



## VELUX INTEGRA® KLI 110



**ENGLISH: Instructions for control keypad**  
**ESPAÑOL: Instrucciones para el teclado de control**  
**FRANÇAIS : Instructions pour le bloc numérique**  
**日本語: リモコンKLI 110の取扱説明書**



### 2 SOLAR SHADE CONTROLS CUT SHEET SCALE: N.T.S.

### EXTERIOR DOOR SCHEDULE

TAG	WIDTH	HEIGHT	THICK	DOOR MTL.	FRAME MTL.	TYPE	COMMENTS
001a	3'-6"	7'-0"	-	ALUM./GLASS	ALUM.	SWING	TEMPERED GLAZING
001b	12'-0"	7'-0"	-	ALUM./GLASS	ALUM.	SLIDING	TEMPERED GLAZING
002a	8'-0"	7'-0"	-	ALUM./GLASS	ALUM.	STACKING	TEMPERED GLAZING
005a	10'-0"	7'-0"	-	ALUM./GLASS	ALUM.	STACKING	TEMPERED GLAZING
100a	8'-0"	7'-0"	-	WOOD/GLASS	WOOD	GARAGE, SECTIONAL	TEMPERED GLAZING
100b	2'-8"	7'-0"	-	ALUM./GLASS	ALUM.	SWING	TEMPERED GLAZING
101a	3'-0"	7'-0"	-	WOOD	WOOD	SWING	W/ GLASS SIDELITES
101b	12'-0"	8'-0"	-	ALUM./GLASS	ALUM.	SLIDING	
104a	9'-6"	8'-0"	-	ALUM./GLASS	ALUM.	CORNER SLIDING	
106a	2'-8"	8'-0"	-	ALUM./GLASS	ALUM.	SWING	
201a	10'-0"	7'-6"	-	ALUM./GLASS	ALUM.	SLIDING	TEMPERED GLAZING

### INTERIOR DOOR SCHEDULE

TAG	WIDTH	HEIGHT	THICK	DOOR MTL.	FRAME MTL.	TYPE	COMMENTS
001c	3'-0"	7'-0"	2-1/4"	WOOD	WOOD	SWING	
001d	2'-6"	7'-0"	2-1/4"	WOOD	WOOD	SWING	
002b	2'-8"	7'-0"	2-1/4"	WOOD	WOOD	SWING	
003a	2'-6"	7'-0"	2-1/4"	WOOD	WOOD	SWING	
004a	4'-0"	7'-0"	-	STEEL/GLASS	STEEL	FRENCH	TEMPERED GLAZING
005b	2'-8"	7'-0"	3/4"	GLASS	-	SWING	TEMPERED GLAZING
101c	2'-2"	7'-0"	2-1/4"	WOOD	WOOD	SWING	
102a	2'-0"	7'-0"	2-1/4"	WOOD	WOOD	POCKETING	
105a	2'-8"	7'-0"	2-1/4"	WOOD	WOOD	SWING	
105b	2'-6"	7'-0"	2-1/4"	WOOD	WOOD	SWING	
106b	2'-8"	7'-0"	2-1/4"	WOOD	WOOD	SWING	
107a	2'-8"	7'-0"	2-1/4"	WOOD	WOOD	SWING	
108a	2'-6"	7'-0"	2-1/4"	WOOD	WOOD	SWING	
109a	2'-8"	7'-0"	2-1/4"	WOOD	WOOD	SWING	
201b	4'-0"	7'-0"	2-1/4"	WOOD	WOOD	FRENCH	
202a	3'-0"	7'-0"	2-1/4"	WOOD	WOOD	DBL. POCKETING	
203a	2'-6"	7'-0"	2-1/4"	WOOD	WOOD	SWING	
203b	2'-0"	7'-0"	2-1/4"	WOOD	WOOD	POCKETING	

### WINDOW SCHEDULE

TAG	WIDTH	HEIGHT	THICK	WINDOW MTL.	FRAME MTL.	TYPE	COMMENTS
1	2'-0"	2'-0"	-	GLASS	ALUM.	AWNING	TEMPERED GLAZING
2	4'-0"	2'-0"	-	GLASS	ALUM.	AWNING	TEMPERED GLAZING
3	8'-0"	2'-0"	-	GLASS	ALUM.	X-O-O-X	TEMPERED GLAZING
4	6'-0"	5'-0"	-	GLASS	ALUM.	X-O-X	TEMPERED GLAZING
5	6'-0"	5'-0"	-	GLASS	ALUM.	X-O-X	TEMPERED GLAZING
6A	1'-6"	5'-0"	-	GLASS	ALUM.	CASEMENT	TEMPERED GLAZING
6B	1'-6"	5'-0"	-	GLASS	ALUM.	CASEMENT	TEMPERED GLAZING
7	3'-0"	5'-0"	-	GLASS	ALUM.	CASEMENT	TEMPERED GLAZING
8	3'-6"	8'-0"	-	GLASS	ALUM.	FIXED	TEMPERED GLAZING
9	2'-6"	8'-0"	-	GLASS	ALUM.	FIXED	TEMPERED GLAZING
10	1'-8"	2'-6"	-	GLASS	ALUM.	FIXED	TEMPERED GLAZING
11	4'-6"	4'-6"	-	GLASS	ALUM.	CASEMENT	TEMPERED GLAZING
12	1'-4"	1'-10"	-	GLASS	ALUM.	FIXED	TEMPERED GLAZING
13	3'-0"	4'-0"	-	GLASS	ALUM.	CASEMENT	TEMPERED GLAZING
14	1'-6"	1'-6"	-	GLASS	ALUM.	SKYLIGHT	NON-REFLECTIVE GLASS W/ SOLAR SHADING, TEMPERED

### WINDOW & EXTERIOR DOOR NOTES

- WINDOWS & DOORS ARE BY 'ARCADIA' (OR APP'VD EQUAL)  
GLAZING: DUAL GLAZING, ARGON GAS, LOWE2  
MTL: ALUMINUM - BLACK
- CONTRACTOR TO VERIFY ROUGH OPENING DIMENSIONS WITH ON SITE FIELD CONDITIONS PRIOR TO ORDERING WINDOWS & DOORS.
- ALL DIMENSIONS ARE GIVEN FOR OVERALL FRAME SIZE
- ALL HEAD HEIGHTS TO ALIGN WHERE POSSIBLE
- ALL OPERABLE WINDOWS TO BE PROVIDED WITH SCREENS.
- REQUIRED SAFETY GLAZING SHALL CONFIRM TO THE HUMAN IMPACT LOADS PER CRC SECTIONS R308.3 & R308.4.
- GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:  
(A) THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET ; AND  
(B) THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR; AND  
(C) THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR; AND  
(D) ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING; AND  
(E) GLAZING IN ENCLOSURES FOR, OR WALLS FACING BATHTUBS & SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.  
(F) FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BI-FOLD DOOR ASSEMBLIES.
- GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
- CONTRACTOR TO PROVIDE SHOP DRAWING TO ARCHITECT FOR REVIEW PRIOR TO ORDERING DOORS AND WINDOWS.
- ALL WINDOWS TO BE DUAL GLAZED - ARGON FILLED WITH THERMAL SPACER
- MIN. U-VALUE & SGHC = SEE TITLE 24 REPORT
- EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE, GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [§R327.8.2.1]
- EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITIONRESISTANT MATERIAL. SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1- 1/4 INCHES THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM-7A-1. [§R327.8.3]

### SKYLIGHT NOTES

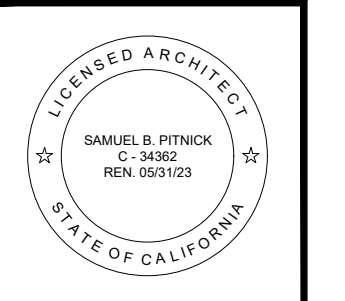
- SKYLIGHTS ARE BY "VELUX" (OR APP'VD EQUAL)
- ALL NEW SKYLIGHTS SHALL HAVE AUTOMATIC PHOTOSENSITIVE SOLAR SHADING DEVICES INSTALLED.
- ALL NEW SKYLIGHTS SHALL USE NON-REFLECTIVE GLASS TO MINIMIZE THE AMOUNT OF LIGHT AND GLARE VISIBLE FROM ADJOINING PROPERTIES.
- ALL NEW SKYLIGHTS SHALL BE FLAT IN PROFILE.
- ALL NEW SKYLIGHT FLASHING SHALL MATCH THE ADJACENT ROOF COLOR.

### INTERIOR DOOR NOTES

- INTERIOR DOORS ARE BY 'TRUSTILE' (OR APP'VD EQUAL), 2-1/4" THK., STAIN GRADE, UNLESS NOTED OTHERWISE. VERIFY FINAL PROFILE & FINISH WITH OWNER.
- ALL INTERIOR SHOWER GLASS DOORS TO BE 1/2" TEMP. GLASS, 2'-4" WIDE, UNLESS NOTED OTHERWISE.

### 3 PHOTOSENSOR CONTROL CUT SHEET SCALE: N.T.S.

**MACDONALD RESIDENCE REMODEL**  
CASANOVA ST. 4 SW OF 4TH AVENUE  
CARMEL, CA 93923



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REVISIONS	DATE

ARCHITECTURAL  
DOOR & WINDOW SCHEDULES

Scale: SEE DWG.  
Drawn By: SBP  
Job: -

**A4.0**

05/23/2022