

CRI - RESIDENTIAL DEVELOPMENT

Lot #12 Guadalupe Street Carmel-by-the-Sea, CA 93921

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 375-0410 • FAX (831) 375-7840 • WEB: www.ericmillerarchitects.com

ARCHITECT

TITLE SHEET / PROJECT DATA
PROJECT NAME: CRI - Residential House Lot #12
Address: 1240 Miradas Avenue
Carmel-by-the-Sea, CA 93921
A.P.N. 010-021-031

DATE: 5/9/23
SCALE: N.T.S.
DRAWN: JK/DM
JOB NUMBER: 20-05

A-1
SHEET OF

PROJECT DATA

ADDRESS: LOT #12, GUADALUPE STREET
CARMEL BY THE SEA, CA 93921

PROJECT DESCRIPTION: CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING WITH ATTACHED GARAGE, CONSISTING OF: 964 S.F. MAIN FLOOR, 243 S.F. UPPER FLOOR, 248 S.F. GARAGE AND 200 S.F. BASEMENT.

LOT SIZE: 4,000.0 S.F.
ZONING: RI
A.P.N.: 010-021-031-000
TYPE OF CONSTRUCTION: (V-B)

SETBACK
FRONT: 5'
REAR: 5'
SIDE: 25% OF LOT WIDTH - 10' MAX.
BUILDING HEIGHT: ONE STORY PLATE HT. - 12'
2ND STORY PLATE HT. - 8'
MAX. ROOF HT. - 24'

F.A.R. FLOOR AREA CALCULATIONS	
MAIN FLOOR AREA	930 S.F.
GARAGE	243 S.F.
UPPER FLOOR AREA	593 S.F.
SUB - TOTAL	1,766 S.F.
MAX. FLOOR AREA ALLOWED	1,800 S.F.
AREA ALLOWED TOWARD BASEMENT	1,800 - 1,766 = 34 S.F.
BASEMENT FLOOR AREA (34 x 2)	68 S.F.
BASEMENT BONUS	100 S.F.
TOTAL	1,934 S.F.
PROJECT FLOOR AREA = 1,934 SF.	

PROJECT TEAM

OWNER: CRI ON CARPENTER, INC.
HITESH DESAI - CEO
1240 MIRADAS AVENUE
MONTEREY, CA 93940
PH: 510-858-2100

ARCHITECT: ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVE.
MONTEREY, CA 93940
PH: 831-375-0410
CONTACT: LYREN VJ

SURVEYOR: LANDSET ENGINEERING
520-B CRAZY HORSE CANYON ROAD
SALINAS, CA 93901
PH: 831-448-8410
CONTACT: GUY GIRAUDO

LANDSCAPE: TOWN & COUNTRY GARDENING & LANDSCAPE
P.O. BOX 228789
CARMEL, CA 93923
PH: 831-586-7600
CONTACT: ROBERT LUSTER

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OWNERSHIP NOTES

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

- TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED.
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TREE REMOVAL

TWO (2) TREES TO BE REMOVED: TREE #33 (29' PINE), TREE #31 (46' PINE)

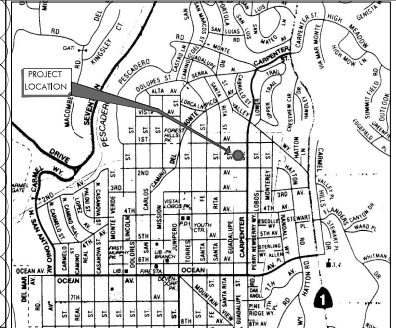
EXTERIOR LIGHTING NOTE

ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING SHALL BE NO HIGHER THAN 10 FEET ABOVE GROUND AND NOT EXCEED 25 WATTS (INCANDESCENT EQUIVALENT) IN POWER PER FIXTURE.

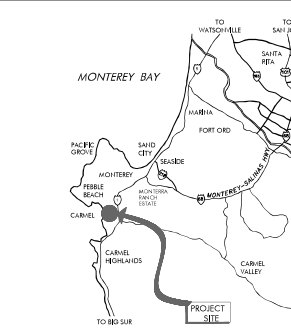
SITE COVERAGE

ALLOWED	556.0 S.F.
PROPOSED IMPERVIOUS COVERAGE	
PORCH	32.0 S.F.
LANDINGS	6.0 S.F.
STEPPING STONES	30.0 S.F.
SITE WALLS	21.0 S.F.
TOTAL IMPERVIOUS COVERAGE	95.0 S.F.
PROPOSED PERVIOUS COVERAGE	
DRIVENWAY	107.0 S.F.
PATIO	4.0 S.F.
BUILDING OVERHANGS	207.0 S.F.
TOTAL PERVIOUS COVERAGE	408.0 S.F.
TOTAL PROPOSED SITE COVERAGE	503.0 S.F.
SECOND FLOOR DECK	
FRONT DECK	148.0 S.F.
REAR DECK	234.0 S.F.
TOTAL	382.0 S.F.

LOCATION MAP



VICINITY MAP



THE USE OF THESE DRAWINGS AND SPECIFICATIONS ARE SOLELY LIMITED TO THE PROJECT AND SPECIFICATIONS SHOWN ON THESE DRAWINGS. NO CONTRACTORS OR PROFESSIONALS SHALL CONTRACT WITH THESE DRAWINGS & SPECIFICATIONS UNLESS EXPLICITLY STATED TO DO SO IN WRITING. CONSULT WITH THESE DRAWINGS & SPECIFICATIONS BEFORE ANY CONTRACTOR OR PROFESSIONAL BIDDING OR CONTRACTING. ANY CONTRACTOR OR PROFESSIONAL BIDDING OR CONTRACTING SHALL CONTRACT WITH THESE DRAWINGS & SPECIFICATIONS UNDER THE CONTRACTOR'S OWN RISK AND LIABILITY. NO CONTRACTORS OR PROFESSIONALS SHALL CONTRACT WITH THESE DRAWINGS & SPECIFICATIONS UNLESS EXPLICITLY STATED TO DO SO IN WRITING. CONSULT WITH THESE DRAWINGS & SPECIFICATIONS BEFORE ANY CONTRACTOR OR PROFESSIONAL BIDDING OR CONTRACTING. ANY CONTRACTOR OR PROFESSIONAL BIDDING OR CONTRACTING SHALL CONTRACT WITH THESE DRAWINGS & SPECIFICATIONS UNDER THE CONTRACTOR'S OWN RISK AND LIABILITY.

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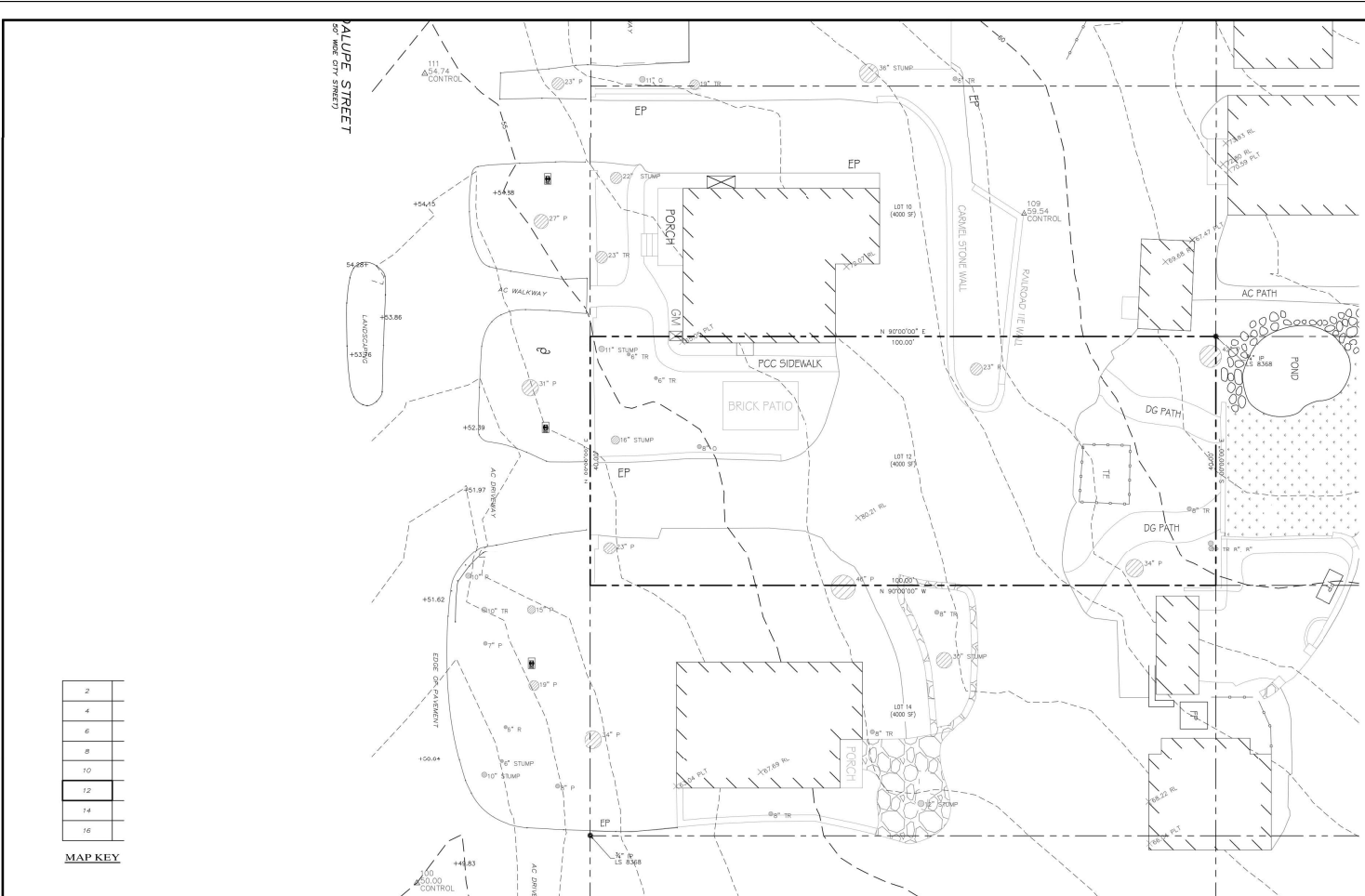
MAP KEY

LEGEND:

- PROPERTY BOUNDARY LINE
- - - ADJACENT PROPERTY BOUNDARY LINE
- ORIGINAL PROPERTY BOUNDARY LINE
- - - EASEMENT LINE (TYPE AS SHOWN)
- - - ROADWAY CENTERLINE
- MAJOR CONTOUR LINE (5' INTERVAL)
- - - MINOR CONTOUR LINE (1' INTERVAL)
- CONDUIT
- PIPE
- CLEANOUT
- DOWNSPOUT
- HOSEBB
- WATER SERVICE
- IRRIGATION BOX
- IRRIGATION CONTROL VALVE
- WATER VALVE
- DRAIN LINE
- STREET LIGHT
- GAS LINE
- TELEPHONE SERVICE
- UNKNOWN UTILITY
- FUSE BOX
- ELECTRICAL OUTLET
- UTILITY POLE
- GUY WIRE
- MALBOX
- AREA DRAIN
- HYDRANT
- STORM DRAIN MANHOLE
- SOV
- GAS METER
- WATER METER
- FUSE BOX
- UTILITY KUB
- TELEPHONE BOX
- ELECTRICAL HUB
- ELECTRICAL PANEL
- ELECTRICAL METER
- SANITARY SEWER MANHOLE
- POE GAS MANHOLE
- ELECTRICAL MANHOLE
- FOUND MONUMENT - TYPE NOTED
- SURVEY NAVY CONTROL POINT
- SPOT ELEVATION
- RIDGELINE
- PLATE HEIGHT
- TREE (TYPE AND SIZE AS MARKED) CENTER OF STAMP IS APPROX.
- TWO-PRONGED TREE (2P)
- THREE-PRONGED TREE (3P)
- MULTIPRONGED TREE (MP)
- CE = CEDAR PA = PALM
- CW = COTTON WOOD PE = PEPPER
- CPW = CORNUS P = PINE
- E = EUCALYPTUS R = REDWOOD
- H = HOLLY TR = TREE
- O = OAK W = WILLOW

GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY NAVY CONTROL POINT #101 A WAREHOUSE BUILT LOCATED IN 1300 CALLE STREET APPROXIMATELY 29 FEET WEST OF THE NORTHWESTERLY PROPERTY CORNER OF LOT 16, BLOCK 17, ELEVATION = 50.00' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FOLLOE WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES (WATER, GAS, ETC.) MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNERS, AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPARED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 4" ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 4" ARE NOT SHOWN.
- THIS MAP SERVES TO VALIDATE AND AUGMENT PREVIOUS TOPOGRAPHIC INFORMATION PROVIDED BY LICENSED SURVEYORS. THIS MAP IS INTENDED AS A COMPARISON OF SURVEYS PERFORMED BY SEPARATE PARTIES ON DIFFERENT DATES SPANNING FROM DECEMBER 2016 TO JULY 2020. THIS MAP DOES NOT SHOW SURVEY OR GEOLOGICAL INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PROVIDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.



APPROVED BY:

ERIC MILLER
CITY OF MONTEREY
P.E. No. 87763

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Monterey, CA 93940
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www.landsetengineers.com

TOPOGRAPHIC MAP
LOT 12 IN BLOCK 17
VOLUME 1 OF CITIES AND TOWNS AT PAGE 52
CARMEL-BY-THE-SEA, CALIFORNIA
DATE: AUG 2020
MR. DON DESAI

CONTACT INFORMATION:
OWNER:
MR. DON DESAI
PO BOX 2108
MONTEREY, CA 93942
ARCHITECTS:
ERIC MILLER ARCHITECTS
211 HOFFMAN AVENUE
MONTEREY, CA 93940
SITE LOCATION:
GUALALUPE ST. BETWEEN 1ST AND 2ND AVE
CARMEL-BY-THE-SEA, CA 93921

SCALE: 1" = 8'
DATE: AUG 2020
JOB NO. 2143-01

No.	DATE	BY	REVISION
08/19/20 JK			RELEASED TO CLIENT

SHEET 7 OF 9 SHEETS

REVISION	No.

CONSULTANT:

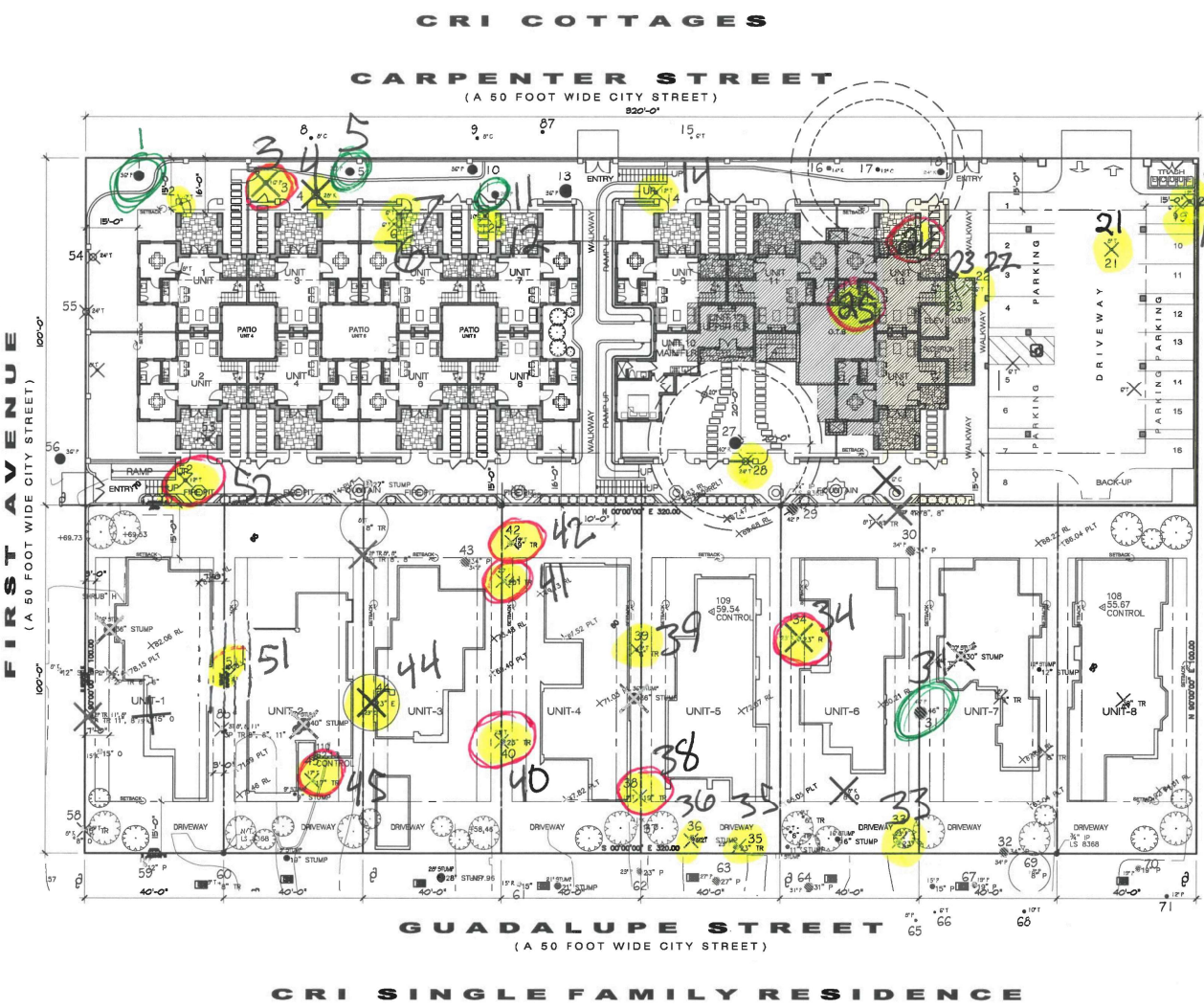
ARCHITECT:

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EXIST 6 TOPOGRAPHIC SURVEY
JOB NUMBER: 2025

DATE: 5/9/23
SCALE: N.T.S.
DRAWN: JK
JOB NUMBER: 2025

A-2a
SHEET OF



N
TREE REMOVAL PLAN
 SCALE: 1/16" = 1'-0"
 0 8' 16' 32' 48' 64' 80'

LEGEND		TREES TO BE REMOVED FOR CRI COTTAGES
TREE TYPE & SIZES OF TREES TO BE REMOVED	NO. OF TREES TO BE REMOVED	
(T) TREE (7) 6", (5) 8", (2) 10", (3) 12", (1) 14", (1) 18", (1) 20", (3) 24"	21 - TREES	
(O) OAK (1) 20"	1 - OAK	X
(C) CYPRESS (1) 6"	1 - CYPRESS	X
(P) PINE (1) 16"	1 - PINE	X
TOTAL NUMBER OF TREES TO BE REMOVED = 24		

LEGEND		TREES TO BE REMOVED FOR CRI SINGLE FAMILY RESIDENCE
TREE TYPE & SIZES OF TREES TO BE REMOVED	NO. OF TREES TO BE REMOVED	
(T) TREE (8) 8", (2) 11", (1) 12", (1) 17", (2) 18", (1) 20", (1) 22", (2) 23"	18 - TREES	
(O) OAK (1) 8", (1) 10"	2 - OAK	X
(P) PINE (2) 8", (3) 8", (1) 11"	6 - PINE	X
(R) REDWOOD (1) 23"	1 - REDWOOD	X
(E) EUCALYPTUS (1) 23"	1 - EUCALYPTUS	X
STUMP (1) 30", (2) 36", (1) 40"	4 - STUMPS	X
TOTAL NUMBER OF TREES TO BE REMOVED = 28		
TOTAL NUMBER OF STUMPS TO BE REMOVED = 4		

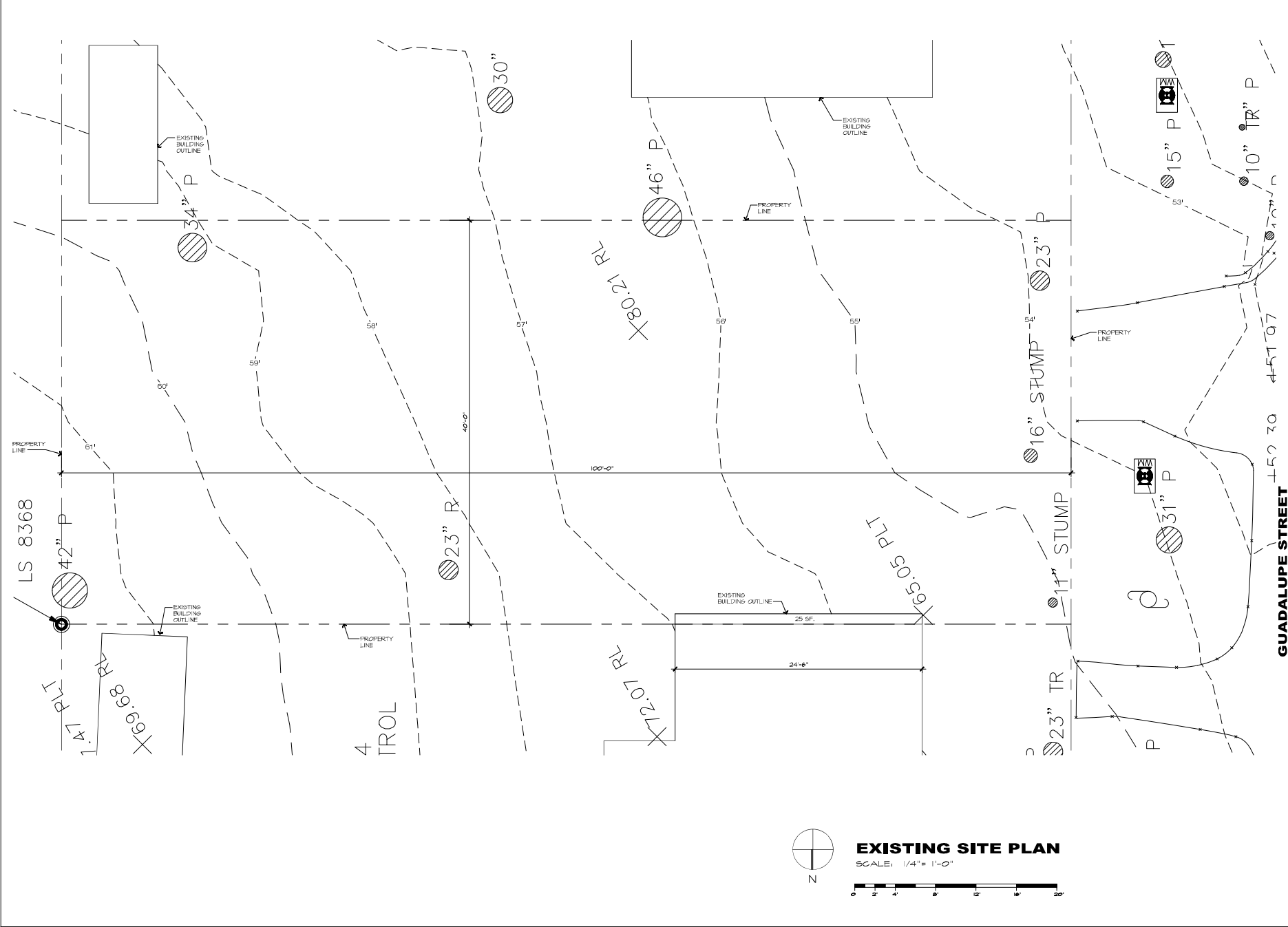
TOTAL NUMBER OF TREES TO BE REMOVED = 52
TOTAL NUMBER OF STUMPS TO BE REMOVED = 4

NOTES:

- TREE PROTECTION ZONE - THE TREE PROTECTION ZONE SHALL BE EQUAL TO DRIPLINE OR 18" RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER.
- STRUCTURAL ROOT ZONE - STRUCTURAL ROOT ZONE SHALL BE 6 FEET FROM THE TRUNK OR 6' RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER.

ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE MONTEREY, CALIFORNIA 93940 TEL: 831-372-0410

<p>CONSULTANT:</p> <p style="text-align: center;">ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>REVISION</th> <th>No.</th> </tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>	REVISION	No.												
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<p>ARCHITECT</p> <p style="text-align: center;">ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com</p>	<p>PRELIMINARY SITE ASSESSMENT PLAN</p> <p>CR1 - Residential House Lot #12 211 Hoffman Avenue Monterey, CA 93940 A.P.N. 010-021-021</p>														
<p>DATE: 5/9/23 SCALE: N.T.S. DRAWN: CAD JOB NUMBER: 2025</p>	<p style="text-align: right; font-size: 24pt; font-weight: bold;">A-2b</p> <p style="text-align: right; font-size: 10pt;">SHEET OF</p>														

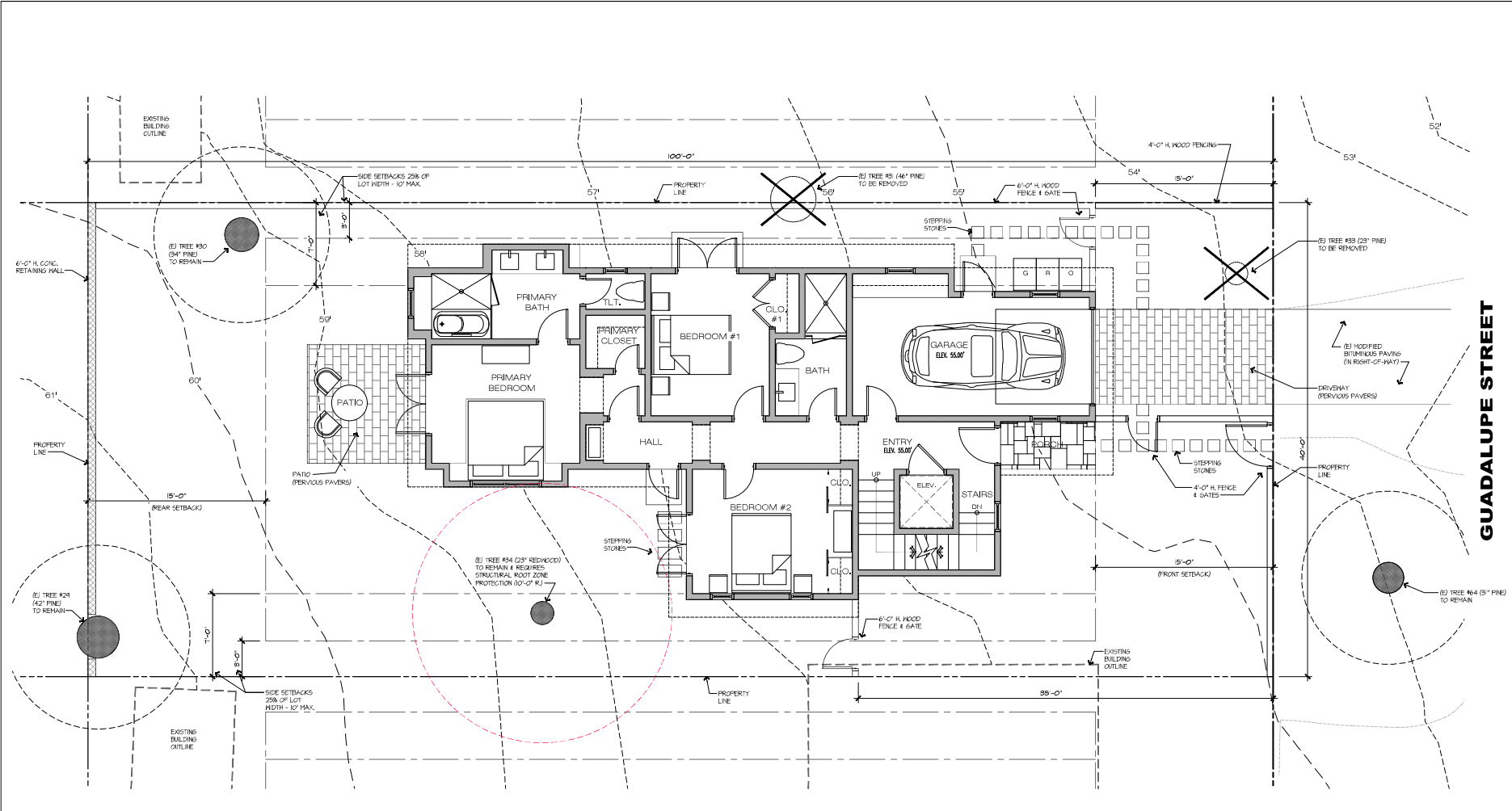


EXISTING SITE PLAN
SCALE: 1/4" = 1'-0"



REVISION		No.
PLAN CHECK RESPONSE 12/20/23		△
CONSULTANT:		
ARCHITECT		
ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY CA 93940 PHONE (831) 372-6410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
EXISTING SITE PLAN CRI - Residential House Lot #12 211 Hoffman Avenue Carmel-by-the-Sea, CA 93921 A.P.N. 010-021-051		ARCHITECT ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY CA 93940 PHONE (831) 372-6410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com
DATE:	5/9/23	
SCALE:	1/4"=1'-0"	
DRAWN:	JK	
403 NUMBER:	20.05	
A-3a		SHEET OF

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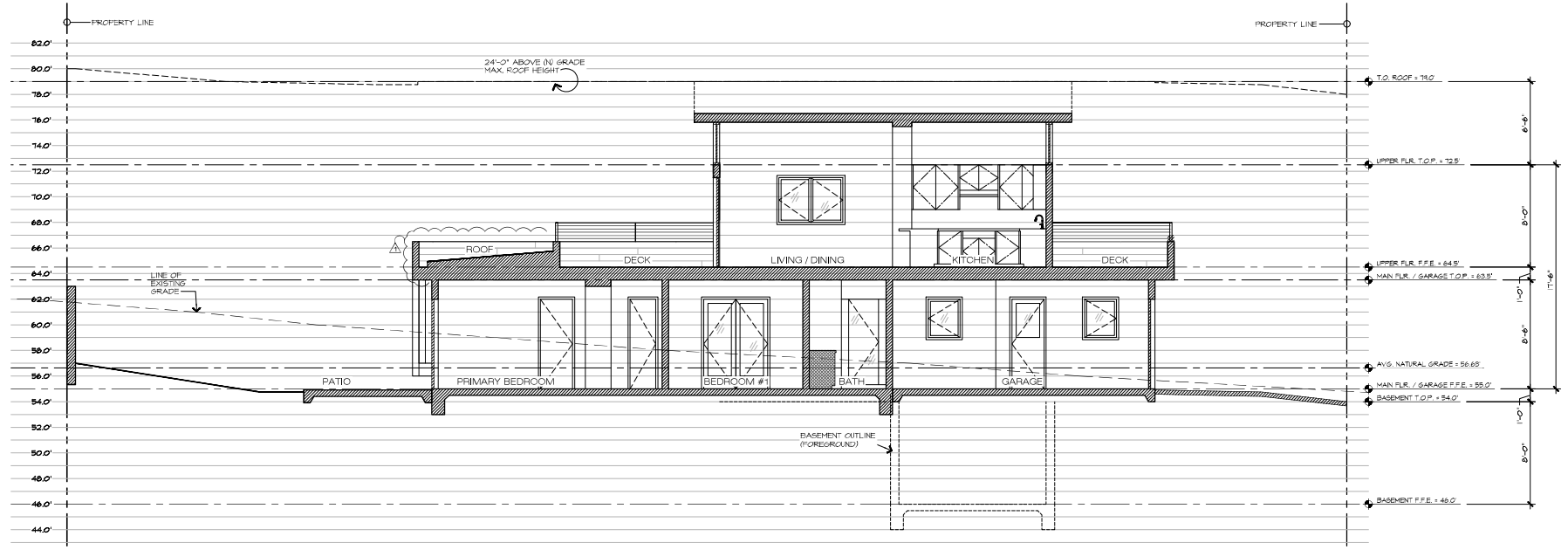


PROPOSED SITE PLAN
SCALE: 1/4" = 1'-0"

SECOND FLOOR DECK	
FRONT DECK	149.0 S.F.
REAR DECK	234.0 S.F.
TOTAL:	383.0 S.F.

SITE COVERAGE	
ALLOWED	556.0 S.F.
PROPOSED IMPERVIOUS COVERAGE	
PORCH	32.0 S.F.
LANDINGS	6.0 S.F.
STEPPING STONES	30.0 S.F.
SITE WALLS	21.0 S.F.
TOTAL IMPERVIOUS COVERAGE	89.0 S.F.
PROPOSED PERVIOUS COVERAGE	
DRIVEWAY	101.0 S.F.
PATIO	41.0 S.F.
BUILDING OVERHANGS	207.0 S.F.
TOTAL PERVIOUS COVERAGE	409.0 S.F.
TOTAL PROPOSED SITE COVERAGE	500.0 S.F.

REVISION	No.
PLAN CHECK RESPONSE	12/20/23
CONSULTANT:	
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ARCHITECT	
PROPOSED SITE PLAN CRI - Residential House Lot #12 11000 Highway 168, Suite 100 Carmel-by-the-Sea, CA 93921 A.P.N. 010-021-051	
DATE:	5/8/23
SCALE:	1/4" = 1'-0"
DRAWN:	JK/DM
WOR NUMBER:	20.05
A-3b SHEET OF	



A PROPOSED SITE SECTION
 SCALE: 1/4" = 1'-0"
 0 2 4 6 8 10 12 14 16 18 20

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

CONSULTANT:

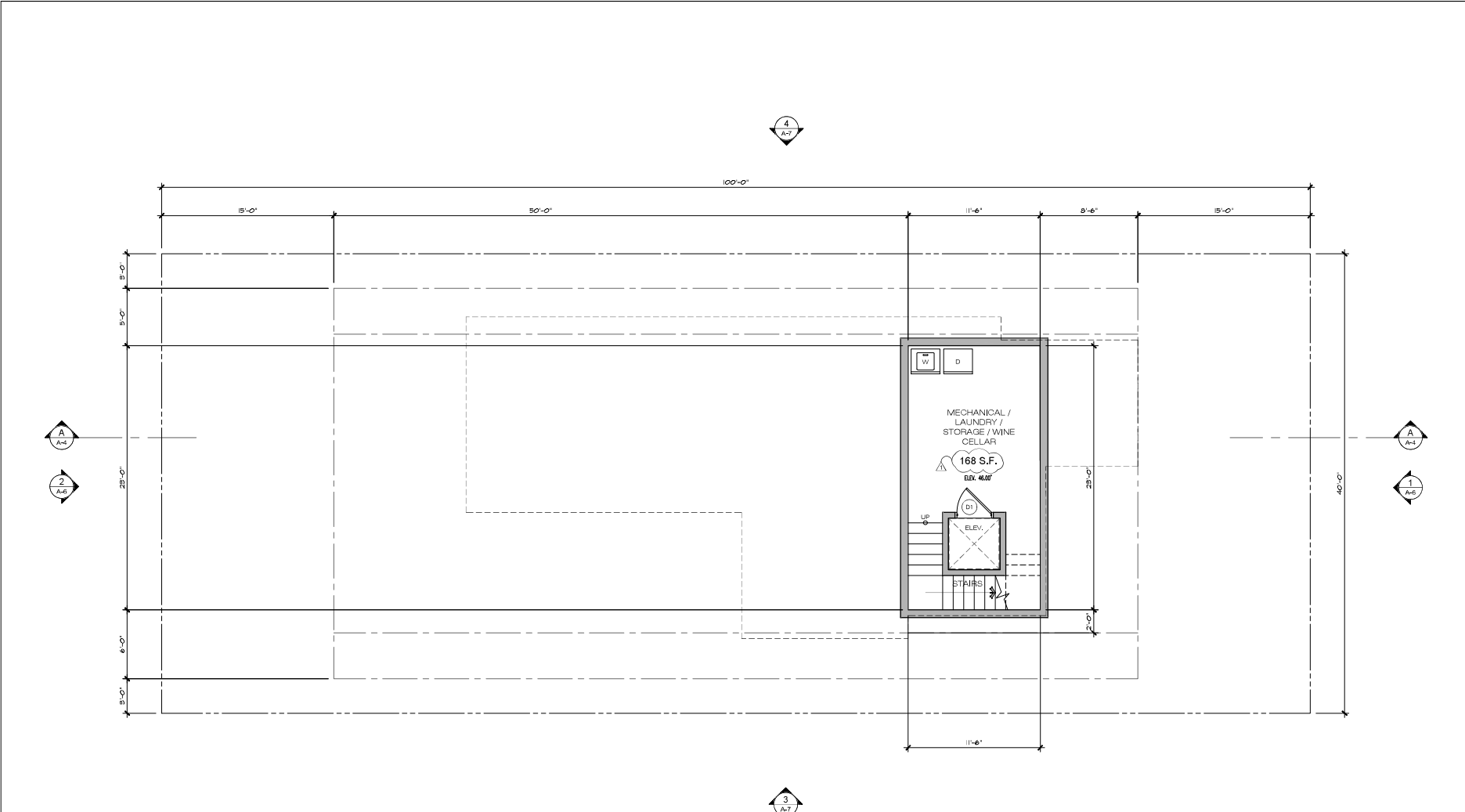
ARCHITECT
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 PHONE (831) 375-0410 • FAX (831) 375-7940 • WEB: www.ericmillerarchitects.com

PROPOSED SITE SECTION
 JOB NAME: **CRI - Residential House Lot #12**
 ADDRESS: 12000 Highway 101, Santa Cruz, CA 95061
 A.P.N. 010-021-051

DATE: 5/5/23
 SCALE: 1/4"=1'-0"
 DRAWN: JK/DM
 JOB NUMBER: 2025

A-4
 SHEET OF

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BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



MAIN FLOOR AREA	930 S.F.
GARAGE	243 S.F.
UPPER FLOOR AREA	593 S.F.
SUB - TOTAL	
	1,766 S.F.
MAX. FLOOR AREA ALLOWED	1,800 S.F.
AREA ALLOWED TOWARD BASEMENT	1,800-1,766 = 34 S.F.
BASEMENT FLOOR AREA (34 x 2)	68 S.F.
BASEMENT BONUS	100 S.F.
TOTAL	
	1,934 S.F.

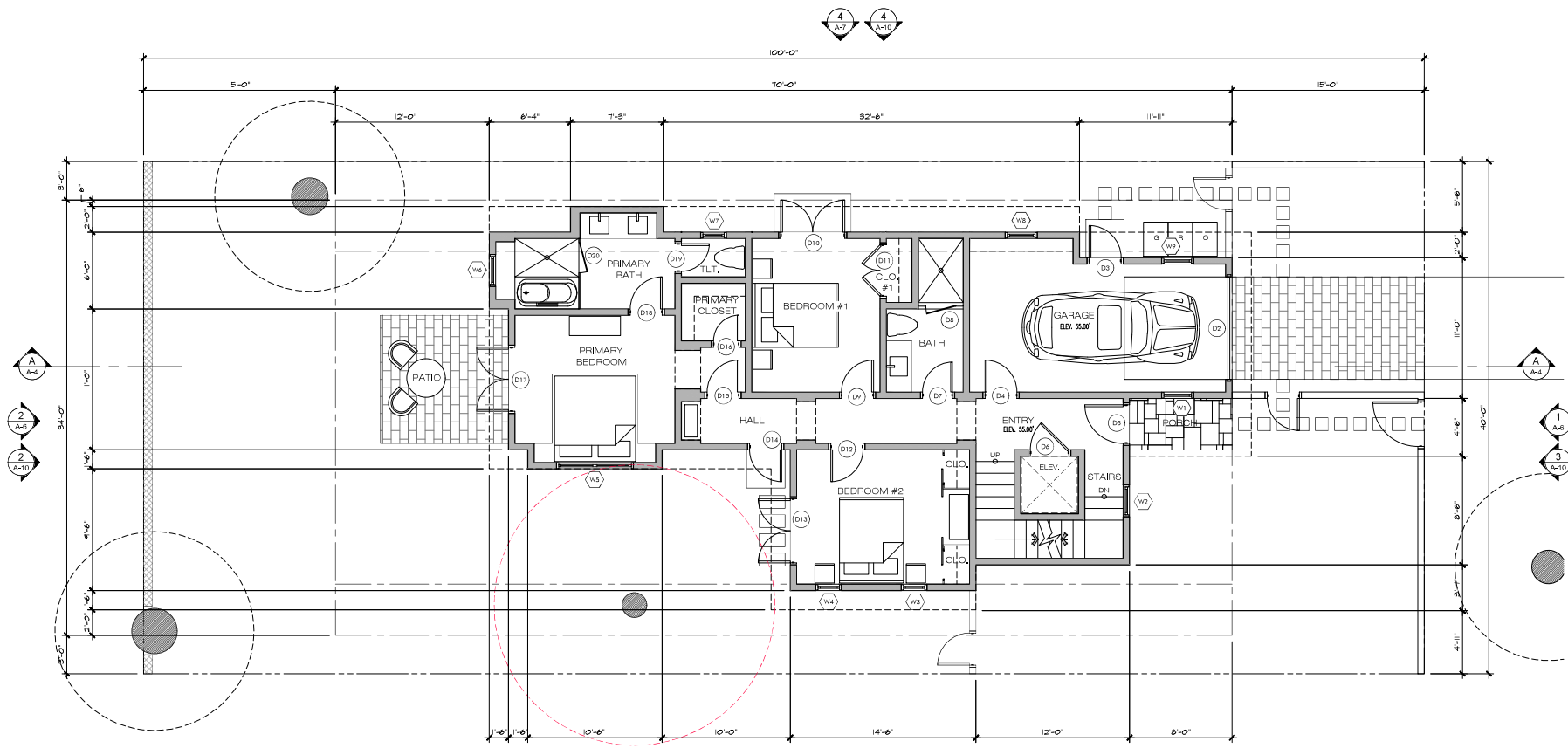
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ARCHITECT

BASEMENT FLOOR PLAN
JOB NAME: **CR1 - Residential House Lot #12**
211 Hoffman Avenue
Monterey, CA 93940
A.P.N. 010-021-051
DATE: 5/5/23
SCALE: 1/4"=1'-0"
DRAWN: JK/DM
JOB NUMBER: 2025
A-5a
SHEET OF

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MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"



MAIN FLOOR AREA	930 S.F.
GARAGE	243 S.F.
UPPER FLOOR AREA	593 S.F.
SUB - TOTAL	
	1,766 S.F.
MAX. FLOOR AREA ALLOWED	1,800 S.F.
AREA ALLOWED TOWARD BASEMENT	1,800-1,766 = 34 S.F.
BASEMENT FLOOR AREA (34 x 2)	68 S.F.
BASEMENT BONUS	100 S.F.
TOTAL	
	1,934 S.F.

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

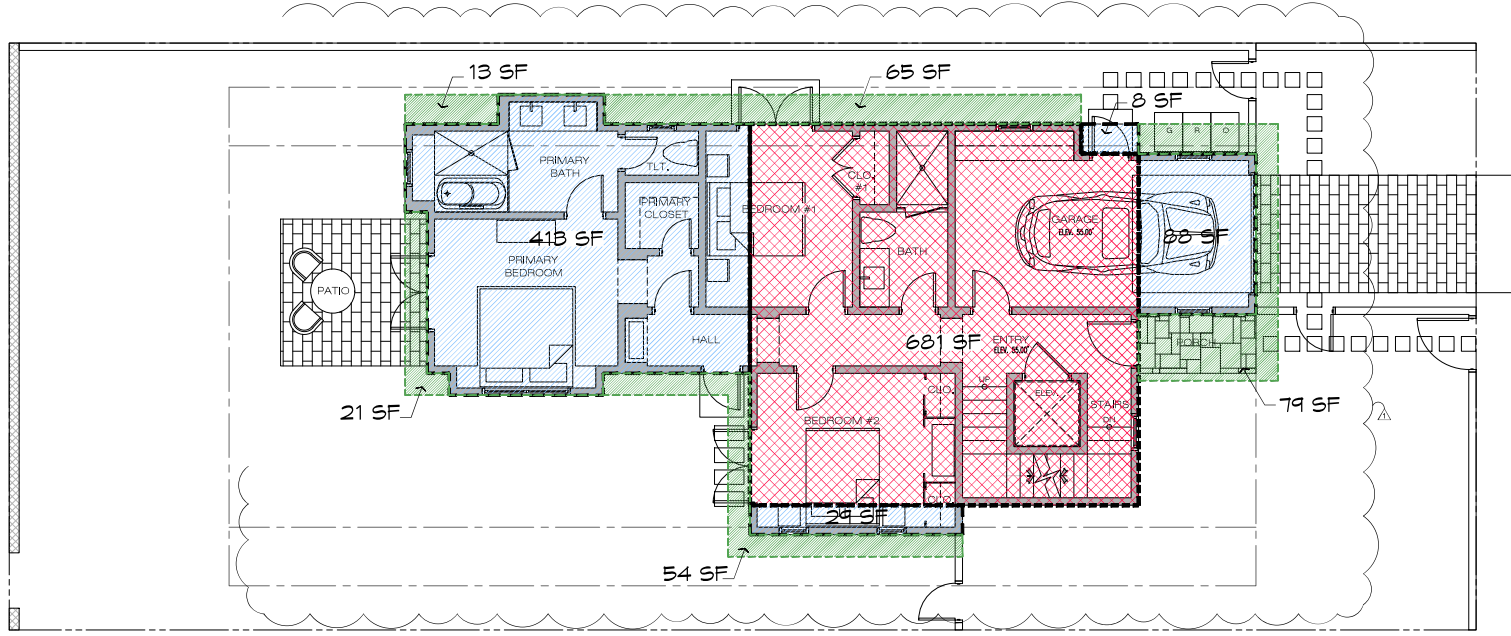
CONSULTANT:
ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 375-5410 • FAX (831) 375-7840 • WEB: www.ericmillerarchitects.com

ARCHITECT

PROJECT NAME:
CR1 - Residential House Lot #12
12150 Highway 168, Suite 100
Carmel-by-the-Sea, CA 95021
A.P.N. 010-021-051

DATE: 5/5/23
SCALE: 1/4" = 1'-0"
DRAWN: JK/DM
JOB NUMBER: 20-05

A-5b
SHEET OF



MAIN FLOOR & UPPER FLOOR OVERLAY

SCALE: 1/4" = 1'-0"



LEGEND	
	OVERLAPPING & NON-OVERLAPPING FLOOR AREA = 681 S.F.
	NON-OVERLAPPING FLOOR AREA = 538 S.F.
	ROOF & DECK OVERHANG AREA = 232 S.F.

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

DATE: 5/5/23

SCALE: 1/4" = 1'-0"

DRAWN: JK/DM

402 NUMBER: 2025

PROJECT NAME: **CR1 - Residential House Lot #12**

Address: 10000 Highway 168, Santa Cruz, CA 95061

A.P.N. 010-021-051

A-5d

SHEET OF

THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY INTENDED TO BE USED IN CONNECTION WITH THE PROJECT AND SPECIFICATIONS SHOWN ON THESE DRAWINGS. CONSULT WITH THESE DRAWINGS AND SPECIFICATIONS FOR ALL DETAILS. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REVISIONS TO THESE DRAWINGS SHALL BE INDICATED BY A REVISION TABLE AND SHALL BE PART OF THESE DRAWINGS. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS OR SPECIFICATIONS. THE USER OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND SPECIFICATIONS SHOWN ON THESE DRAWINGS AND SPECIFICATIONS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COST INCREASES CAUSED BY THE USER OF THESE DRAWINGS AND SPECIFICATIONS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COST INCREASES CAUSED BY THE USER OF THESE DRAWINGS AND SPECIFICATIONS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COST INCREASES CAUSED BY THE USER OF THESE DRAWINGS AND SPECIFICATIONS.

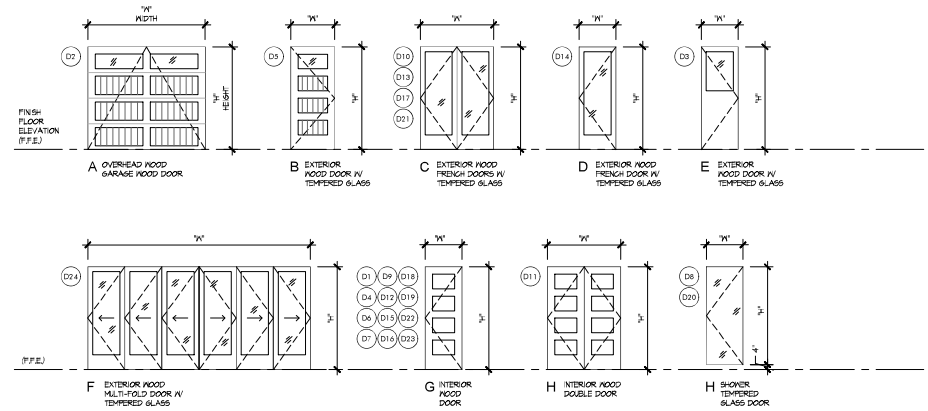
DOOR SCHEDULE

DOOR NO.	TYPE	W'-DOOR WIDTH	H'-DOOR HEIGHT	THKNS.	LOCATION - ROOM NUMBER	DOOR MATL.	FRAME MATL.	HEAD DETAIL	JAMB DETAIL	THRESH. DETAIL	REMARKS
D1	6	3'-0"	T'-0"	1-3/4"	MECH. / STORAGE	WOOD	WOOD	--	--	--	ELEVATOR DOOR PER ELEV. MFR. REQUIREMENTS
D2	A	8'-0"	T'-0"	2-1/4"	GARAGE	WOOD	WOOD	--	--	--	OVERHEAD GARAGE DOOR, TEMPERED GLASS
D3	E	2'-6"	T'-0"	1-3/4"	GARAGE	ND./SL.	WOOD	--	--	--	TEMPERED GLASS
D4	6	2'-6"	T'-0"	1-3/4"	GARAGE	WOOD	WOOD	--	--	--	20 MIN. FIRE RATED, SEE NOTE 6
D5	B	3'-0"	T'-0"	1-3/4"	ENTRY	ND./SL.	WOOD	--	--	--	TEMPERED GLASS
D6	6	3'-0"	T'-0"	1-3/4"	ENTRY	WOOD	WOOD	--	--	--	ELEVATOR DOOR PER ELEV. MFR. REQUIREMENTS
D7	6	2'-4"	T'-0"	1-3/4"	BATH	WOOD	WOOD	--	--	--	--
D8	I	2'-4"	6'-6"	1/2"	BATH	GLASS	--	--	--	--	TEMPERED GLASS, SEE NOTE 10
D9	6	2'-6"	T'-0"	1-3/4"	BEDROOM #1	WOOD	WOOD	--	--	--	--
D10	G	5'-0"	T'-0"	1-3/4"	BEDROOM #1	ND./SL.	WOOD	--	--	--	TEMPERED GLASS
D11	H	4'-0"	T'-0"	1-3/4"	CLOSET #1	WOOD	WOOD	--	--	--	--
D12	6	2'-6"	T'-0"	1-3/4"	BEDROOM #2	WOOD	WOOD	--	--	--	--
D13	G	5'-0"	T'-0"	1-3/4"	BEDROOM #2	ND./SL.	WOOD	--	--	--	TEMPERED GLASS
D14	D	2'-6"	T'-0"	1-3/4"	HALL	ND./SL.	WOOD	--	--	--	TEMPERED GLASS
D15	6	2'-6"	T'-0"	1-3/4"	PRIMARY BEDROOM	WOOD	WOOD	--	--	--	--
D16	6	2'-0"	T'-0"	1-3/4"	PRIMARY CLOSET	WOOD	WOOD	--	--	--	--
D17	6	5'-0"	T'-0"	1-3/4"	PRIMARY BEDROOM	ND./SL.	WOOD	--	--	--	TEMPERED GLASS
D18	6	2'-6"	T'-0"	1-3/4"	PRIMARY BATH	WOOD	WOOD	--	--	--	--
D19	6	2'-2"	T'-0"	1-3/4"	PRIMARY TOILET	WOOD	WOOD	--	--	--	--
D20	I	2'-4"	6'-6"	1/2"	PRIMARY BATH	GLASS	--	--	--	--	TEMPERED GLASS, SEE NOTE 10
D21	G	5'-0"	T'-0"	1-3/4"	KITCHEN	ND./SL.	WOOD	--	--	--	TEMPERED GLASS
D22	6	3'-0"	T'-0"	1-3/4"	KITCHEN	WOOD	WOOD	--	--	--	ELEVATOR DOOR PER ELEV. MFR. REQUIREMENTS
D23	6	2'-4"	T'-0"	1-3/4"	POWDER	WOOD	WOOD	--	--	--	--
D24	F	15'-2"	T'-0"	1-3/4"	LIVING	ND./SL.	WOOD	--	--	--	TEMPERED GLASS

DOOR NOTES

- ALL NEW DOORS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED (U.O.N.).
- SHALL BE 2'-0" X T'-0" MINIMUM.
- SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
- THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 3/4" ABOVE FINISH FLOOR. EGRESS DOORS TO HAVE A MAX. HEIGHT OF 1/2" A.F.F.
- PROVIDE (2) PAIR, 4-1/2" X 4-1/2" BUTTS ON ALL DOORS.
- ALL HARDWARE TO BE ROCKY MOUNTAIN OR EQUIVALENT, SELECTED BY OWNER.
- ALL FIRE-RATED DOORS SHALL HAVE FIRE-RESISTANCE RATING OF 20 MINUTES, PEMA 5880 (OR EQUIVALENT) SMOKE SEALS AND SHALL BE TIGHT-FITTING, SELF-CLOSING, AND SELF-LATCHING.
- ALL EXTERIOR DOORS TO BE FEATHER STRIPPED.
- ALL WOOD DOORS SHALL BE SOLID CORE.
- EXTERIOR GLAZED DOORS SHALL BE MULTI-PANE INSULATED GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 253, OR MEET THE REQUIREMENTS OF SP-1 (2-TAK-2) (REF. 57A.2.1). ALL DOOR GLAZING TO BE TEMPERED.
- ALL HINGED SHOWER DOORS SHALL OPEN OUTWARD PER CBC SECTION 184A.6.7 AND SHALL BE SAFETY GLAZING, PER CBC 2406.4.3.
- REQUIRED NATURAL LIGHT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% OF ROOM FLOOR AREA.
- REQUIRED NATURAL VENT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE AREA OF OPENINGS NOT LESS THAN 4% OF AREAS BEING VENTED.

DOOR TYPES



REVISION	No.

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE
 MONTEREY, CA 93940
 PHONE (831) 375-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

DOOR SCHEDULE

OWNER: **CR1 - Residential House Lot #12**
 11000 Highway 168, Santa Cruz, CA 95061
 A.P.N. 010-010-021-051

DATE: 5/9/23
 SCALE: 1/4" = 1'-0"
 DRAWN: K
 JOB NUMBER: 2025

A-5e
 SHEET OF

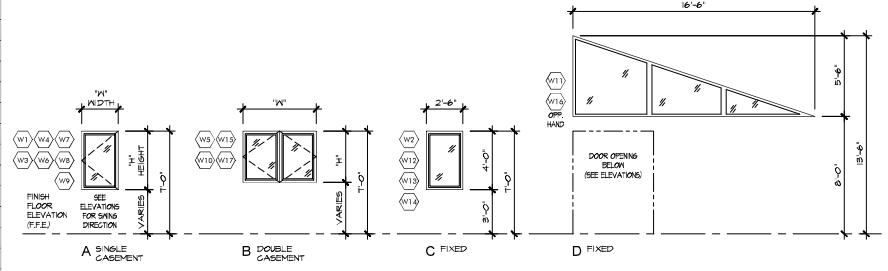
WINDOW SCHEDULE

W/DW NO.	TYPE	SIZE W' X H'	GLAZING	SAFETY GLAZING	OPERATING STYLE	FRAME MAT'L.	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	MULLION DETAIL	LOCATION	REMARKS
W1	A	2'-6" X 3'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	SARAGE	--
W2	C	2'-6" X 4'-0"	DOUBLE GLAZE	TEMPERED GLASS	FIXED	WOOD	--	--	--	--	STAIRS	SEE NOTE B3
W3	A	2'-0" X 4'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	BEDROOM #2	--
W4	A	2'-0" X 4'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	BEDROOM #2	--
W5	B	6'-0" X 4'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	PRIMARY BEDROOM	--
W6	A	2'-0" X 3'-0"	DOUBLE GLAZE	TEMPERED GLASS	CASEMENT	WOOD	--	--	--	--	PRIMARY BATH	SEE NOTE B6
W7	A	2'-0" X 3'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	PRIMARY TOILET	--
W8	A	2'-6" X 3'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	SARAGE	--
W9	A	2'-6" X 3'-0"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	SARAGE	--
W10	B	5'-0" X 3'-6"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	KITCHEN	--
W11	D	6'-6" X 5'-6"	DOUBLE GLAZE	--	FIXED	WOOD	--	--	--	--	KITCHEN	--
W12	C	2'-6" X 4'-0"	DOUBLE GLAZE	TEMPERED GLASS	FIXED	WOOD	--	--	--	--	STAIRS	SEE NOTE B3
W13	C	2'-6" X 4'-0"	DOUBLE GLAZE	--	FIXED	WOOD	--	--	--	--	STAIRS	--
W14	C	2'-6" X 4'-0"	DOUBLE GLAZE	--	FIXED	WOOD	--	--	--	--	STAIRS	--
W15	B	5'-0" X 3'-6"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	DINING	--
W16	D	6'-6" X 5'-6"	DOUBLE GLAZE	--	FIXED	WOOD	--	--	--	--	LIVING/DINING	--
W17	B	5'-0" X 3'-6"	DOUBLE GLAZE	--	CASEMENT	WOOD	--	--	--	--	LIVING	--

WINDOW NOTES

- ALL WINDOWS SHALL COMPLY WITH THE FOLLOWING U.O.N.'S:
- EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 24 INCHES IN HEIGHT, 20 INCHES IN WIDTH, 5.7 S.F. IN AREA, AND A SILL HEIGHT NOT MORE THAN 44" A.F.F. PER CGC SECTION R302.2.
 - WOOD WINDOWS - POWDER-COATED ALUMINUM-CLAD WOOD WINDOWS, PAINTED INTERIORS - COLORS TO BE SELECTED.
 - ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH CGC SECTION R308.3. ALL SAFETY GLAZING IN HAZARDOUS LOCATIONS SHALL COMPLY WITH CGC SECTION R308.4.
 - ALL SLOPED GLAZING SHALL COMPLY WITH CGC SECTION R309.6 FOR INSTALLATION AND MATERIALS.
 - SEE WINDOW TYPES THIS SHEET FOR OPERABLE PORTIONS OF WINDOWS AND TO VERIFY NATURAL VENTILATION PER CGC SEC. R303.1 AND EGRESS PER CGC SEC. R310.
 - ALL WINDOW GLAZING SHALL BE LOW-E, DOUBLE GLAZED U.O.N.
 - ALL EXTERIOR OPENINGS SHALL PROVIDE NATURAL LIGHTING IN HABITABLE ROOMS, WITH AN AREA OF NOT LESS THAN 8% OF ROOM FLOOR AREA PER CGC SEC. R303.1, AND NATURAL VENTILATION WITH AN AREA OF NOT LESS THAN 4% OF ROOM FLOOR AREA PER CGC SECTION 303.1.
 - TEMPERED SAFETY GLAZING:
 - IS REQUIRED WHERE THE NEAREST EDGE OF GLAZING IS WITHIN A 24-INCH ARC OF EITHER SIDE OF A DOOR IN A CLOSED POSITION (UNLESS THERE IS AN INTERVENING WALL BETWEEN THE DOOR AND THE GLAZING OR IF THE GLAZING IS 5' OR HIGHER ABOVE THE WALKING SURFACE).
 - GLAZING GREATER THAN 8 SQUARE FEET WITH THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND THE TOP EDGE GREATER THAN 36" ABOVE THE FLOOR (UNLESS THE GLAZING IS MORE THAN 36" HORIZONTALLY AWAY FROM THE WALKING SURFACES OR IF A COMPLYING PROTECTIVE BAR IS INSTALLED).
 - GLAZING IN SHOWER AND TUB ENCLOSURES (LESS THAN 60" ABOVE STANDING SURFACE).
 - GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE GLAZING IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
 - WINDOWS IN BATHROOMS ARE TEMPERED IF LESS THAN 60" HORIZONTAL OR VERTICAL FROM STANDING SURFACE OF TUB AND/OR SHOWER. [CGC SECTION 308.4.5]

WINDOW TYPES



REVISION	No.

CONSULTANT:

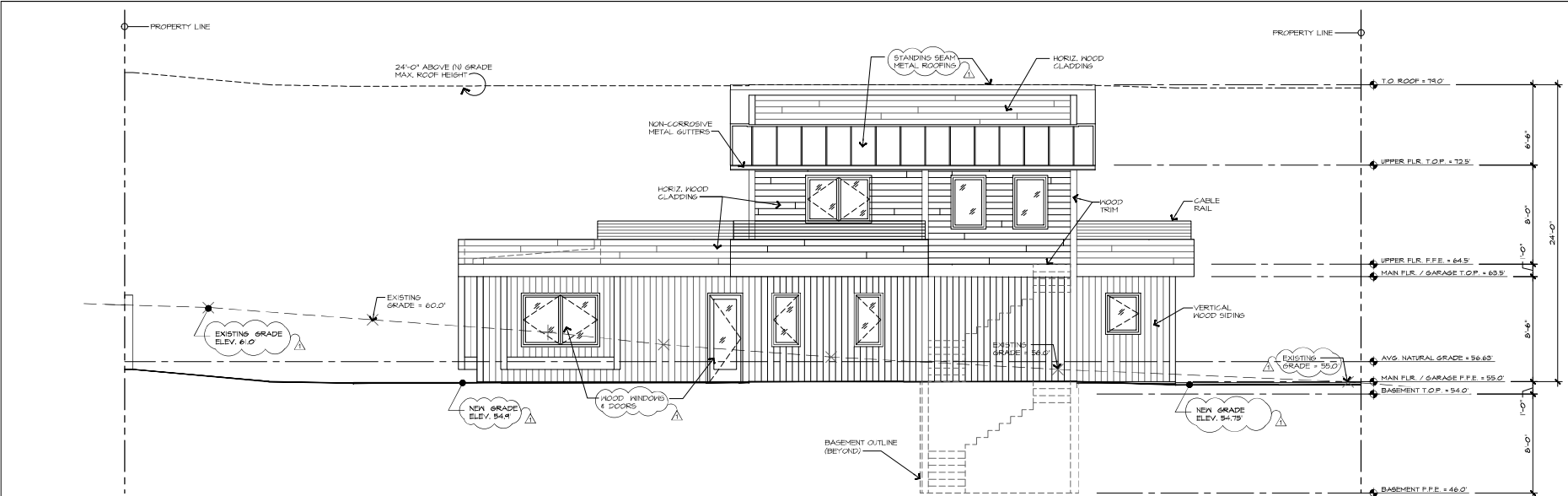
ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE
 MONTEREY, CA 93940
 PHONE (831) 375-5410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

WINDOW SCHEDULE
 JOB NAME: **CR1 - Residential House Lot #12**
 11000 Highway 101, Suite 100
 Carmel-by-the-Sea, CA 93921
 A.P.N. 010-021-051

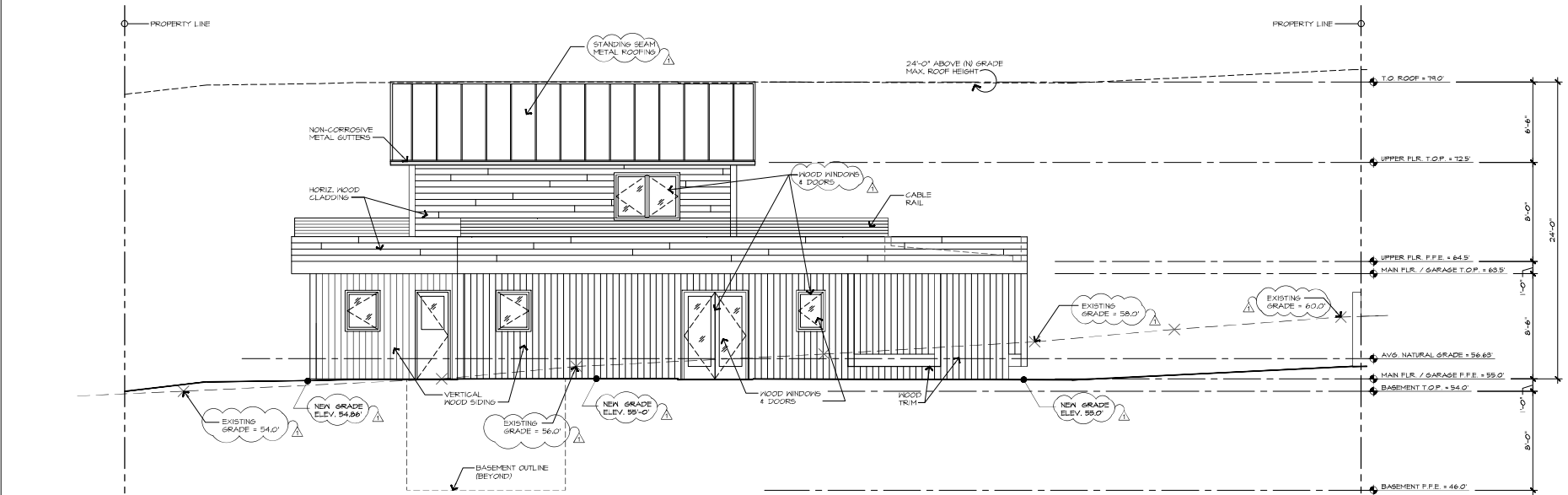
DATE: 5/5/23
 SCALE: 1/4" = 1'-0"
 DRAWN: K
 JOB NUMBER: 2025

A-5f
 SHEET OF

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3 SIDE ELEVATION (NORTH)



4 SIDE ELEVATION (SOUTH)

PROPOSED EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"
0 2 4 6 8 10 12 14 16 18 20

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	1

CONSULTANT:

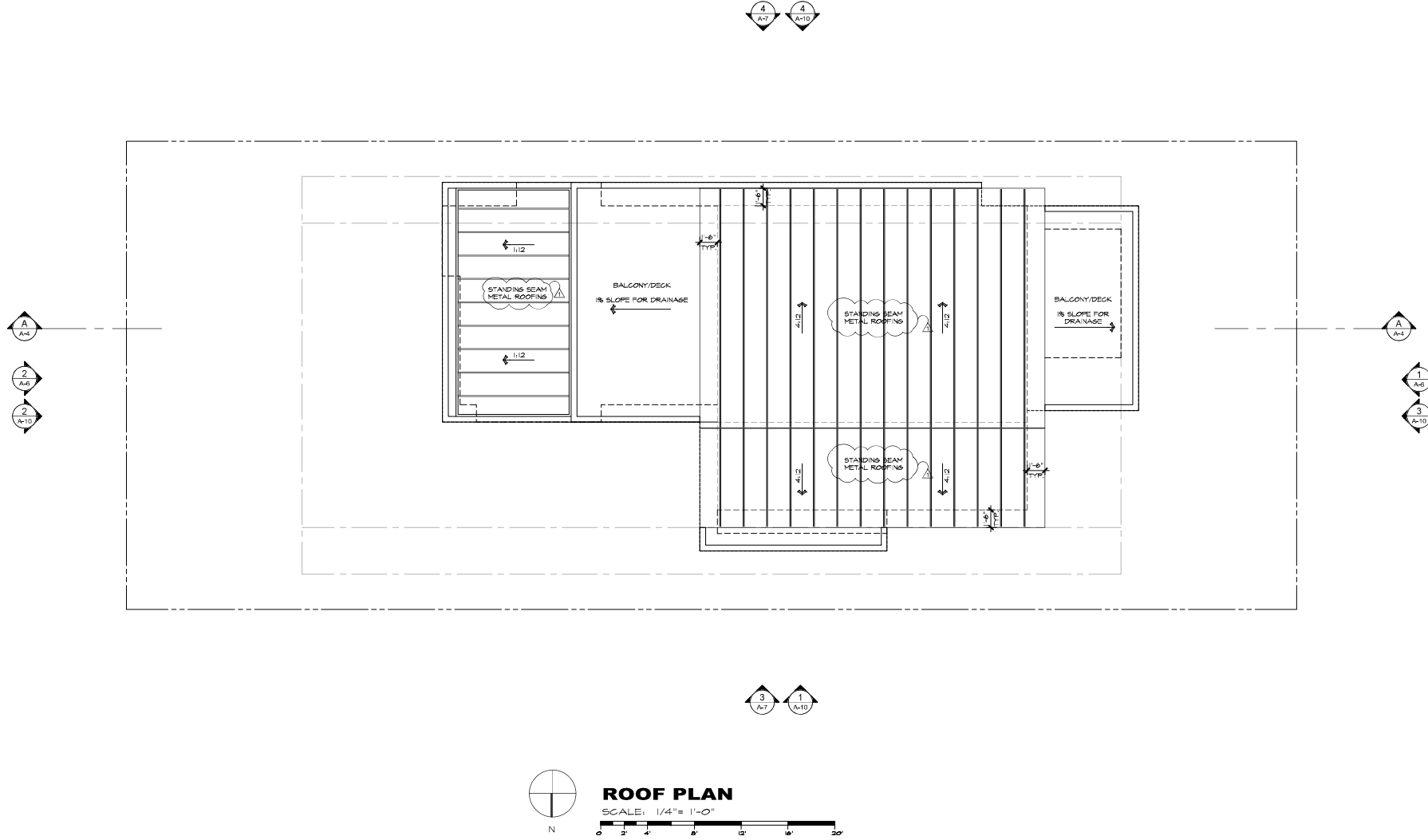
ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE
 MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

ARCHITECT

PROPOSED EXTERIOR ELEVATIONS
 JOB NAME: **CR1 - Residential House Lot #12**
 1100 Highway 101, Suite 100, Monterey, CA 93940
 A.P.N. 010-010-021-051

DATE:	5/5/23
SCALE:	1/4"=1'-0"
DRAWN:	JK/DM
JOB NUMBER:	2025

A-7
SHEET OF



ROOF PLAN

SCALE: 1/4" = 1'-0"

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 375-0410 • FAX (831) 375-7840 • WEB www.ericmillerarchitects.com

PROJECT NAME

CR1 - Residential House Lot #12

211 Hoffman Avenue
Campbell, CA 95008

A.P.N. 010-021-051

DATE: 5/5/23

SCALE: 1/4" = 1'-0"

DRAWN: JK/DM

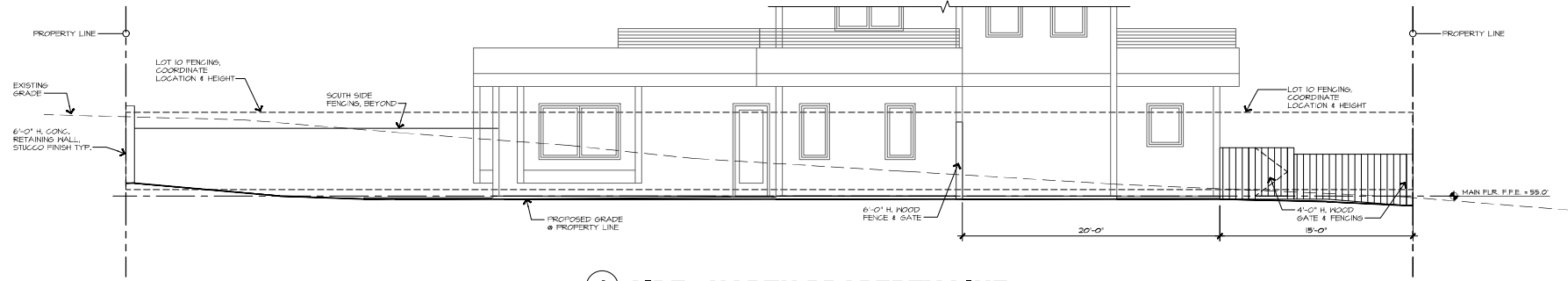
JOB NUMBER: 2025

A-9

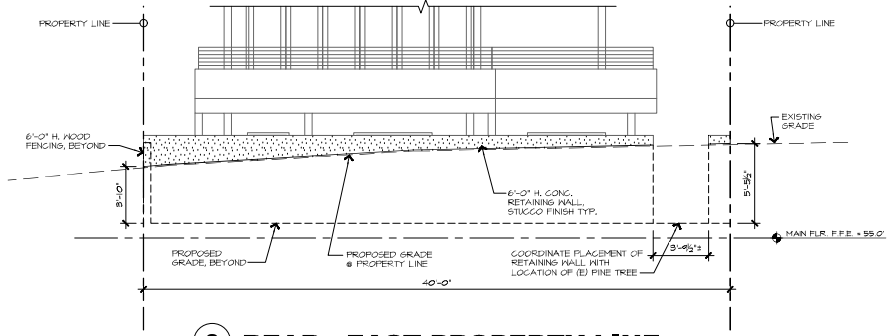
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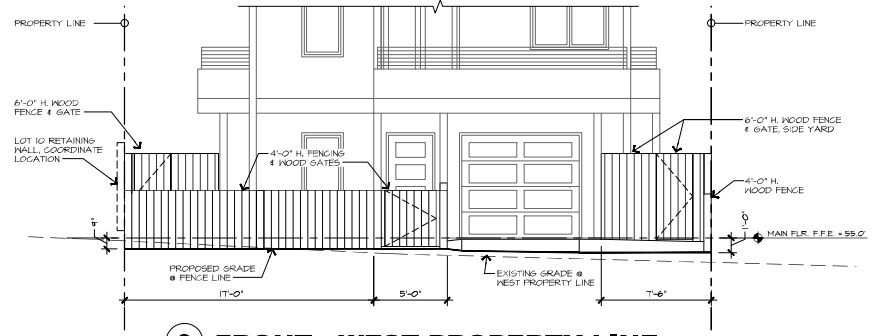
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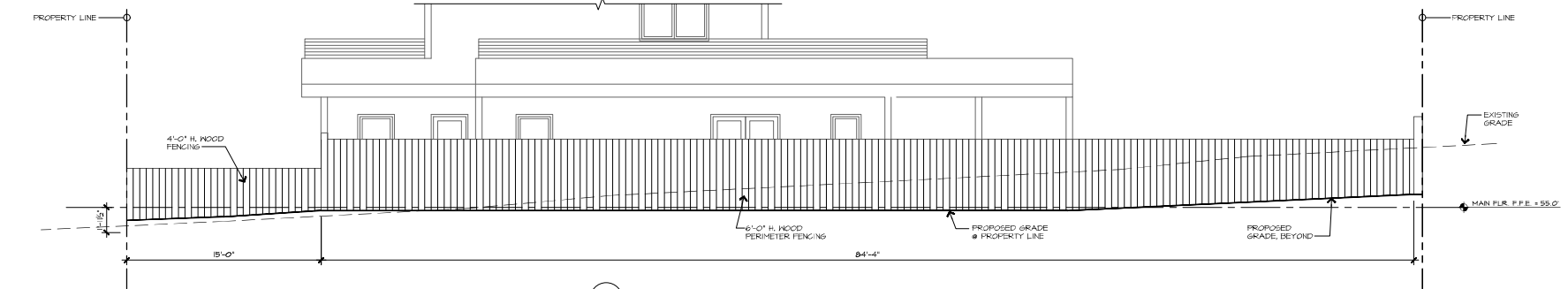
1 SIDE - NORTH PROPERTY LINE



2 REAR - EAST PROPERTY LINE

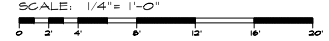


3 FRONT - WEST PROPERTY LINE



4 SIDE - SOUTH PROPERTY LINE

PROPOSED FENCING ELEVATIONS



REVISION	No.

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.
 211 HOFFMAN AVENUE
 MONTEREY, CA 93940
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB www.ericmillerarchitects.com

ARCHITECT

PROPOSED FENCING ELEVATIONS
 JOB NAME: CRI - Residential House Lot #12
 1050 Highway 101, Suite 100
 Carmel-by-the-Sea, CA 93921
 A.P.N. 010-021-051

DATE: 5/5/23
 SCALE: 1/4" = 1'-0"
 DRAWN: JK
 JOB NUMBER: 2025

A-10
SHEET OF



10 TRENCH & AREA DRAIN



7 WOOD WINDOWS



4 GUTTER & DOWNSPOUT



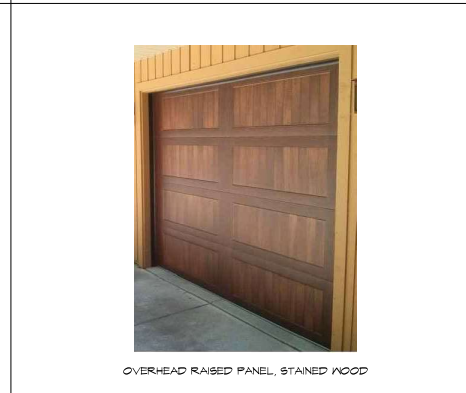
1 ROOFING



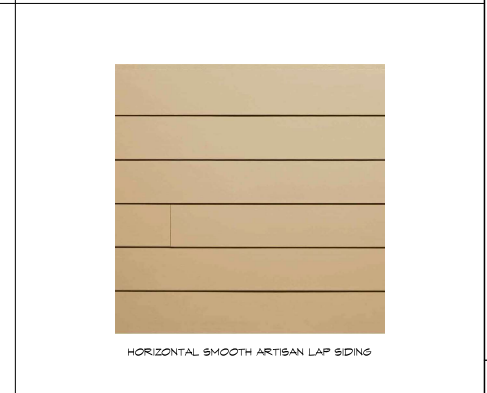
11 DRIVEWAY PAVERS



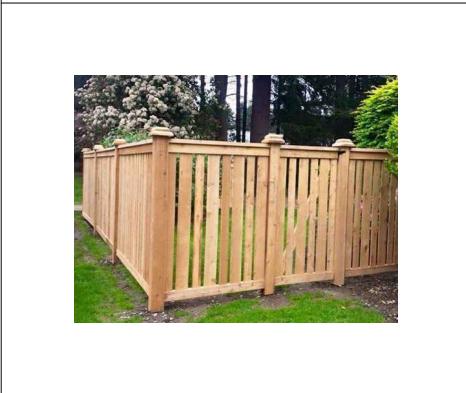
8 EXTERIOR WOOD DOORS



5 GARAGE DOOR



2 EXTERIOR FINISH



12 WOOD FENCING



9 MULTI-FOLD DOOR



6 ENTRY WOOD DOOR



3 EXTERIOR FINISH

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△
CONSULTANT:	
ARCHITECT	ERIC MILLER ARCHITECTS, INC.
	211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 375-4110 • FAX (831) 375-7940 • WEB: www.ericmillerarchitects.com
MATERIAL COLOR SAMPLES	CR1 - Residential House Lot #12 Architectural Color Sample #1 Carmel-Holyoke-Santa, CA 95021 A.P.N. 010-021-051
DATE:	5/5/23
SCALE:	N.T.S.
DRAWN:	JK/DM
JOB NUMBER:	2025
A-11	SHEET OF



PERSPECTIVE RENDERING
SCALE: N.T.S.



COLOR RENDERING
SCALE: N.T.S.

REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

CONSULTANT:
ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 375-0410 • FAX (831) 375-7840 • WEB: www.ericmillerarchitects.com

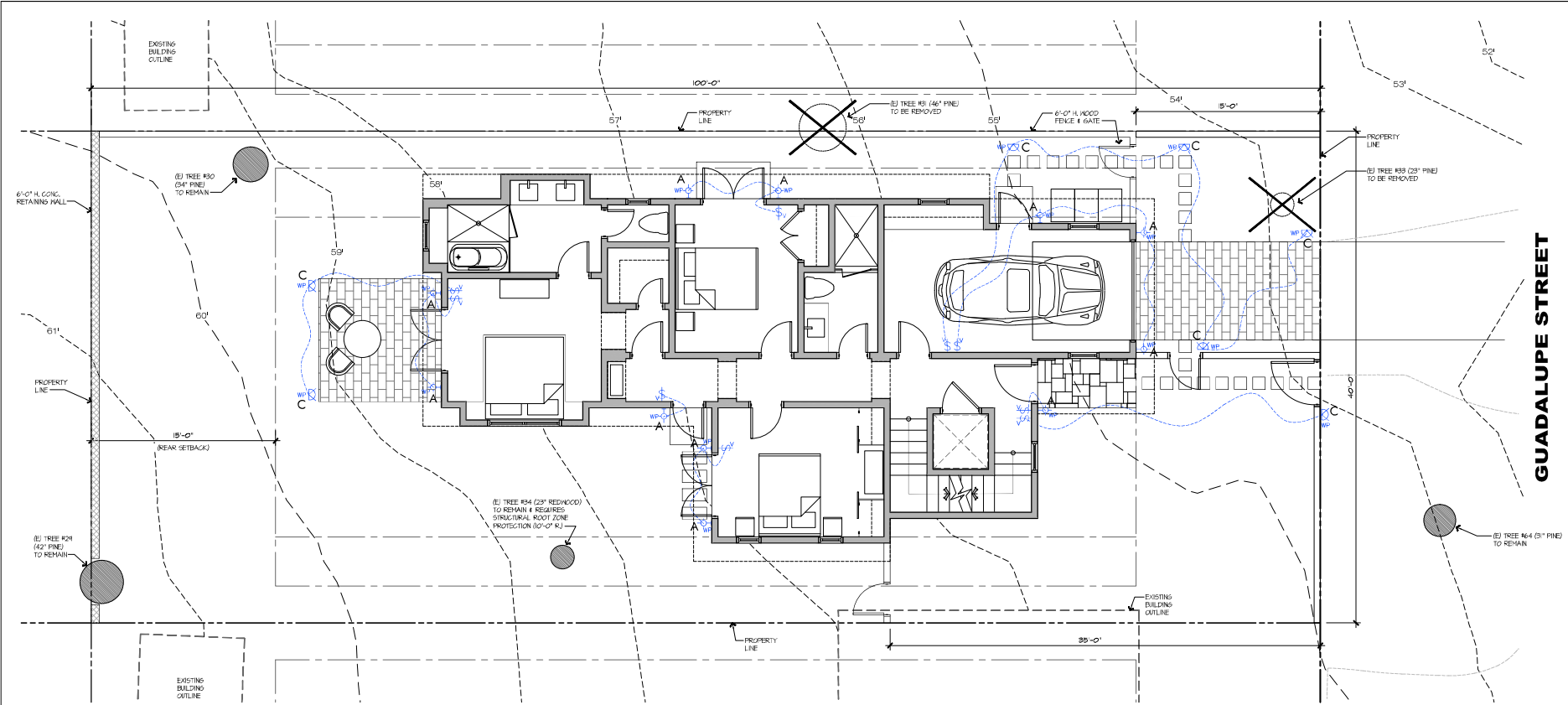
ARCHITECT

COLOR RENDERING
JOB NAME: **CRI - Residential House Lot #12**
211 Hoffman Avenue
Carmel-by-the-Sea, CA 93921
A.P.N. 010-021-051

DATE: 5/5/23
SCALE: N.T.S.
DRAWN: K.L.
JOB NUMBER: 2025

A-12
SHEET OF

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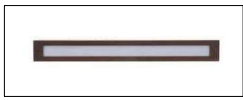


GUADALUPE STREET

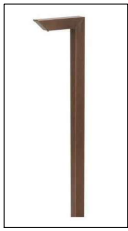
SPJ LIGHTING Inc.
ARCHITECTURAL LANDSCAPE & OUTDOOR LIGHTING



A MODEL: **SPJ-LWS36**
LINEAR WASH LIGHT - DOWN WASH



B MODEL: **SPJ-113-RL**
WALL RECESSED FIXTURE



C MODEL: **SPJ-SQ100-1**
CONTEMPORARY PATH LIGHT



Model: **SPJ-FL300-15V**

Flex-Link™ Transformers

DESCRIPTION
Model#: SPJ-FL300-15V
Shown: Stainless Steel
Electrical Input: 120V
Electrical Output: 12-15V
Max. Watts: 300 Watts
Circuit: 2 Circuits
Dimmable: Yes



EXTERIOR LIGHTING PLAN

SCALE: 1/4" = 1'-0"

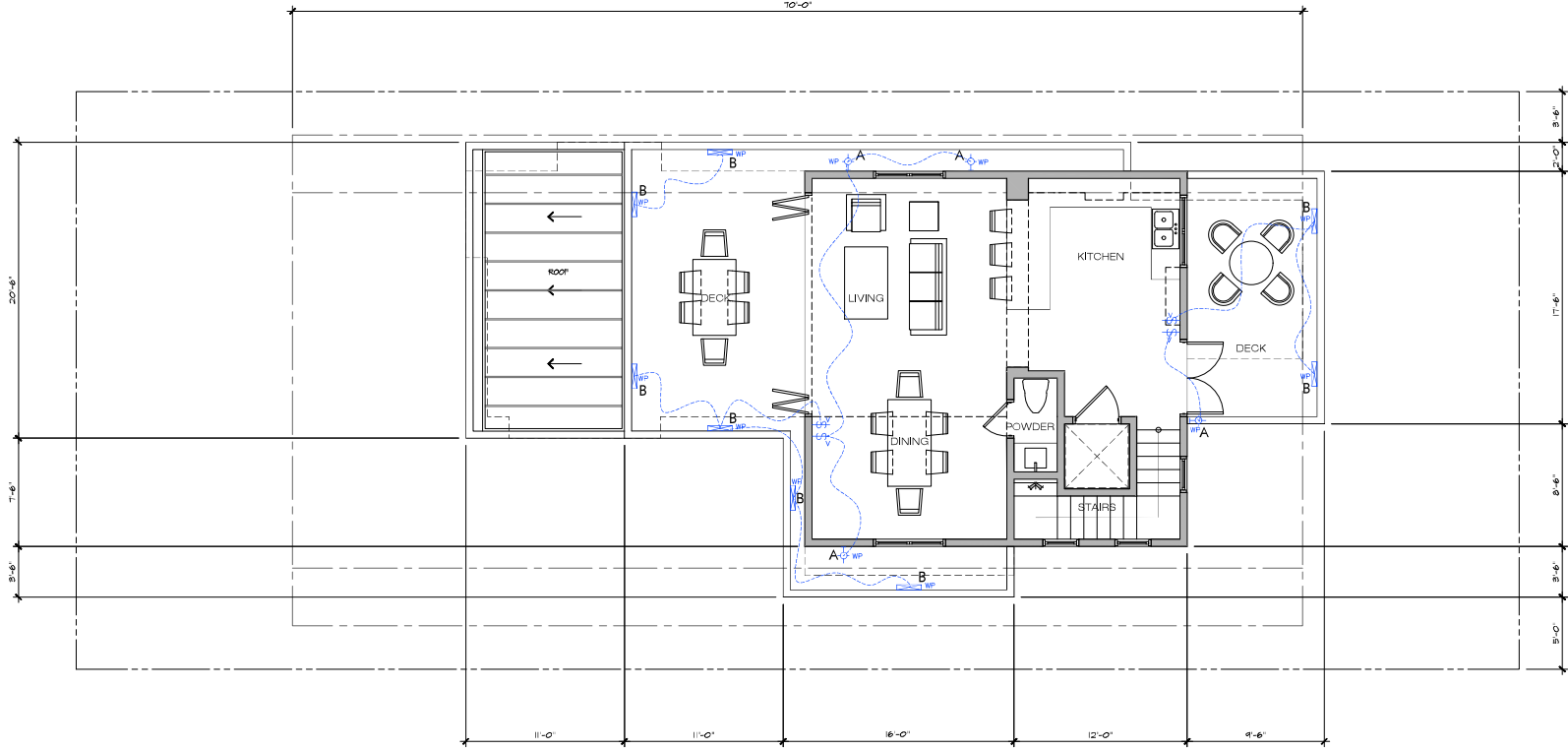


EXTERIOR LIGHTING FIXTURES							
MODEL	FINISH	SIZE	TYPE	QUANTITY	WATT / LUMENS	SYMBOL	
A	SPJ-LWS36	BLACK	6"	LINEAR WALL DOWN WASH	15	N/200L	
B	SPJ-113-RL	BLACK	13 1/2"	WALL RECESSED	8	2W / 125L	
C	SPJ-SQ100-1	BLACK	21" x 4 1/2" x 1"	PATH LIGHT - MIN. DISTANCE APART 10 FEET	7	2W / 125L	
D	SPJ-FL300-15V	STAINLESS	1" x 6.75"	TRANSFORMER	1	300W	

D MODEL: **SPJ-FL300-15V**
FLEX LINK™ TRANSFORMERS

* TIMER, 24 HOUR * PHOTOCELL, FIELD INSTALL

<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: left;">REVISION</th> <th style="text-align: left;">No.</th> </tr> <tr> <td>PLAN CHECK RESPONSE 12/20/23</td> <td style="text-align: center;">▲</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	REVISION	No.	PLAN CHECK RESPONSE 12/20/23	▲					<p style="text-align: center; font-weight: bold;">CONSULTANT:</p> <div style="text-align: center;"> <p style="font-weight: bold; margin: 0;">ERIC MILLER ARCHITECTS, INC.</p> <p style="font-size: 8px; margin: 0;">211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 375-0410 • FAX (831) 375-7840 • WEB: www.ericmillerarchitects.com</p> </div> <p style="text-align: center; font-weight: bold;">ARCHITECT</p>
REVISION	No.								
PLAN CHECK RESPONSE 12/20/23	▲								
<p style="font-size: 8px; margin: 0;">PROJECT NAME: CR1 - Residential House Lot #12 12111 Hoffman Avenue Carmel-by-the-Sea, CA 93921 A.P.N. 010-021-051</p>									
<p style="font-size: 8px; margin: 0;">DATE: 5/5/23</p> <p style="font-size: 8px; margin: 0;">SCALE: 1/4"=1'-0"</p> <p style="font-size: 8px; margin: 0;">DRAWN: JK/DM</p> <p style="font-size: 8px; margin: 0;">JOB NUMBER: 20.05</p>									
<p style="font-size: 24px; font-weight: bold; margin: 0;">A-13a</p> <p style="font-size: 8px; margin: 0;">SHEET OF</p>									



UPPER FLOOR EXTERIOR LIGHTING PLAN

SCALE: 1/4" = 1'-0"



REVISION	No.
PLAN CHECK RESPONSE 12/20/23	△

CONSULTANT:

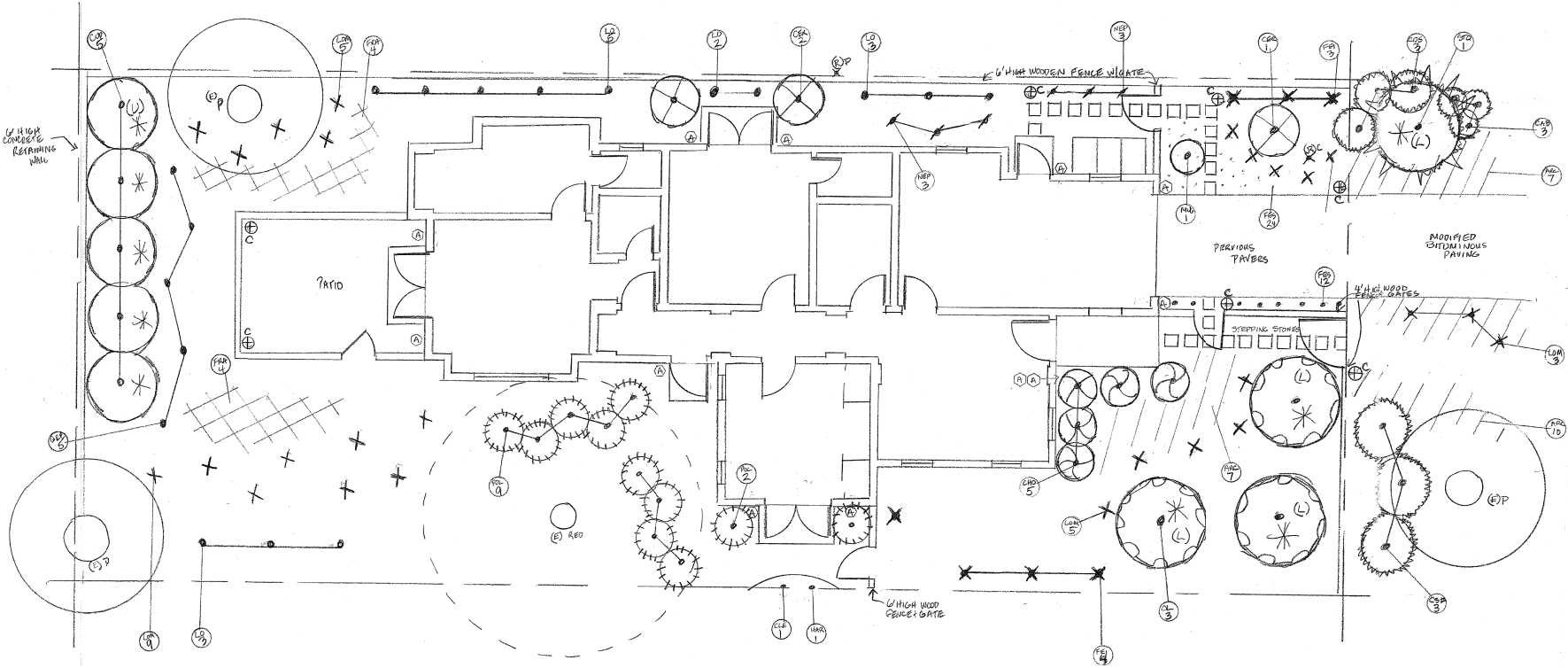
ARCHITECT

ERIC MILLER ARCHITECTS, INC.

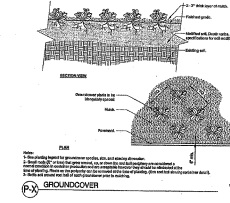
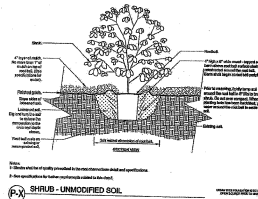
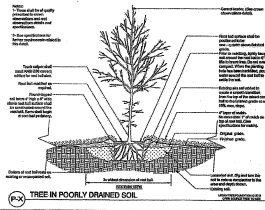
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 375-0410 • FAX (831) 375-7840 • WEB: www.ericmillerarchitects.com

JOB NAME	UPPER FLOOR EXTERIOR LIGHTING PLAN
DATE	5/5/23
SCALE	1/4" = 1'-0"
DRAWN	JK/DM
JOB NUMBER	2025

A-13b
SHEET OF



ABBR	PLANT NAME	SIZE	QUAN
ARC	ARCTOSTAPHYLOS EMERALD CARPET	1G	24
CAB	CEANOTHUS GLOBOSUS ANCHOR BAY	1G	3
CDS	CEANOTHUS DARK STAR	5G	3
CER	CEFCUS OCCIDENTALIS WESTERN REDBUD	15G	3
CHO	CHONDRPETALUM TECTORUM	5G	5
CIF	CEANOTHUS THYRSIFLORUS SNOW FLURRY	5G	3
CLE	CLEMATIS EVERGREEN	5G	1
CUP	CUPRESSUS MACROCARPA MONTEREY CYPRESS (L)	15G	5 *
FEI	FEIJOA SELLVIANA PINEAPPLE GUAVA	5G	7
FES	FESTUCA GERMICA ELIASH BLUE	1G	36
GRE	GREVILLEA LAVANDUACEA PENDLA	5G	5
HAR	HARDENBERGIA VIOLACEA HAPPY WANDER	5G	1
LD	OLEA EUROPEA MONTEA LITTLE OLLIE	5G	13
LOM	LOMANDRA PLATINUM BEAUTY	1G	22
MUG	PINUS MUGO - MUGO PINE	5G	1
NEP	NEPHROLEPS COMPTONIA SOUTHERN SWORD FERN	1G	6
OL	OLEA EUROPEA WILSONII (L)	15G	3 *
POL	POLYSTICHUM MUNITUM WESTERN SWORD FERN	1G	11
STD	PINUS PINEA ITALIAN STONEPINE (L)	24"	1 *



THREE ARE 5-6 UPPER CANOPY TREES - CUPRESSUS MACROCARPA (L) * AS MARKED ON PLAN
 4 LOWER CANOPY TREES - OLEA EUROPEA - 3 + 1 PINUS P. NEA - 1-24" (L) * AS MARKED ON PLAN

TOWN AND COUNTRY GARDENING & LANDSCAPE INC
 PO BOX 223798
 CARMEL, CA 93923
 831-596-2709, 831-625-3105

CRI RESIDENTIAL LOT #12
 GUADALUPE ST. BETWEEN 1ST & 2ND AVE
 CARMEL, CA 93921
 APN 010-021-031-000

1/4" = 1' 0"

LANDSCAPE PLANTING **L.1**
 & LIGHTING LOWER FLOOR
 4/6/2023 MML REV 10/10/23

IRRIGATION

- RAIN GAUGE HUNTER IRRITROL RC/R5500
- 1" MAINLINE
- 1" DWYER FLOW METER
- RAINBIRD ESP-ME SMT SMART IRRIGATION CONTROLLER
- 1" FERCO SERIES ROSY DOUBLE CHECK BACKFLOW PREVENTION DEVICE
- 6 DRIP VALVES ELECTRIC REMOTE CONTROL VALVES SERIES DV-075 - OR 100-DV

Drip Emmitter Schedule

- 1 gal - 1
- 5 gal - 2
- 15 gal - 3
- 24" - 4

1.0 gph pressure compensating, Rain bird Xeri-Bug / Toro N. G. E. / Netalim WPC (w/bug cap)
Toro T-DL Mp9 Indicator w/flush valve at end of each zone

MAWA NOTES

Maximum Allowable Water Allocation (MAWA) calculations prepared for the CRI RESIDENTIAL LOT #12

GUADALUPE ST BTWN 1ST & 2ND AVE CARMEL APN #010-021-031-000

by MARY LUSTER (831-625-3105 CONTACT@TNCGARDENSCARMEL.COM) for

Town & Country Gardening & Landscaping 4/6/23.

Maximum allowable landscape irrigation usage for this site is .243 acre ft. / year

Formula & Calculations:

MAWA = $E_{to} \times ET_{adj} \times LA \times 0.623$

325,851

Where:

- E_{to} = 46.3" / yr (Zone 3)
- ET_{adj} = .80
- LA = 1756 sq. ft.

Calculated as:	2 sq. ft. / 1 gal. plant	102 plants	204 sq. ft.
	4 sq. ft. / 5 gal. plant	39 plants	156 sq. ft.
	16 sq. ft. / 15 gal. plant	11 plants	176 sq. ft.
	20 sq. ft. / 24" box tree	1	20 sq. ft.
	150 sq. ft. / total of flat	8	1200 sq. ft.
		TOTAL	1756 sq. ft.

MAWA for this site = $46.3 \times .80 \times 1756 \times 0.623 = 325,851$ = **.124 Acre Feet**

325,851

ETWU NOTES

Estimated Total Water Use (ETWU) calculations prepared for the CRI RESIDENTIAL LOT #12

GUADALUPE ST BTWN 1ST & 2ND AVE CARMEL APN #010-021-031-000

by MARY LUSTER (831-625-3105 CONTACT@TNCGARDENSCARMEL.COM)

of Town & Country Gardening & Landscaping 4/6/2023

Maximum allowable landscape irrigation usage for this site is .243 acre ft. / year.

Formula & Calculations:

ETWu = $E_{to} \times ET_{adj} \times ALA \times 0.623 \times IEF$

325,851

Where:

- E_{to} = 46.3" / yr (Zone 3)
- ET_{adj} = .80
- ALA = 881.2 sq. ft.

Calculated as:	2 sq. ft. / 1 gal. plant
	4 sq. ft. / 5 gal. plant
	16 sq. ft. / 15 gal. plant
	20 sq. ft. / 24" box tree
	150 sq. ft. / total of flat


Spec'd plants: Very low water use plant square footage = $52 \times 0.1 = 5.2$
 Low water use plant square footage = $488 \times 0.3 = 146.4$
 Medium water plant use square footage = $1216 \times 0.6 = 729.6$
 High water plant use square footage = $0 \times 1.0 = 0$

IEF = .85 100% drip irrigation

ETWU for this site = $46.3 \times .80 \times 881.2 \times 0.623 \times .85 = 325,851$ = **.093 Acre Feet**

325,851

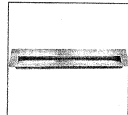
A



Model: **SPJ-LWS36**

Linear Wash Light
Down Wash

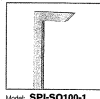
B



MODEL: **SPJ-MSL-2BK-12**

Recessed Downlight Fixture


C



Model: **SPJ-SQ100-1**
Finish: PVD Graphite

Contemporary Path Light

D



Model: **SPJ-FL300-15V**





Flex-Link™ Transformers

DESCRIPTION

Model: SPJ-FL300-15V
 Show: Stainless Steel
 Electrical Input: 120V
 Electrical Output: 12-15V
 Max. Watts: 300 Watts
 Circuits: 2 Circuits
 Dimmable: Yes

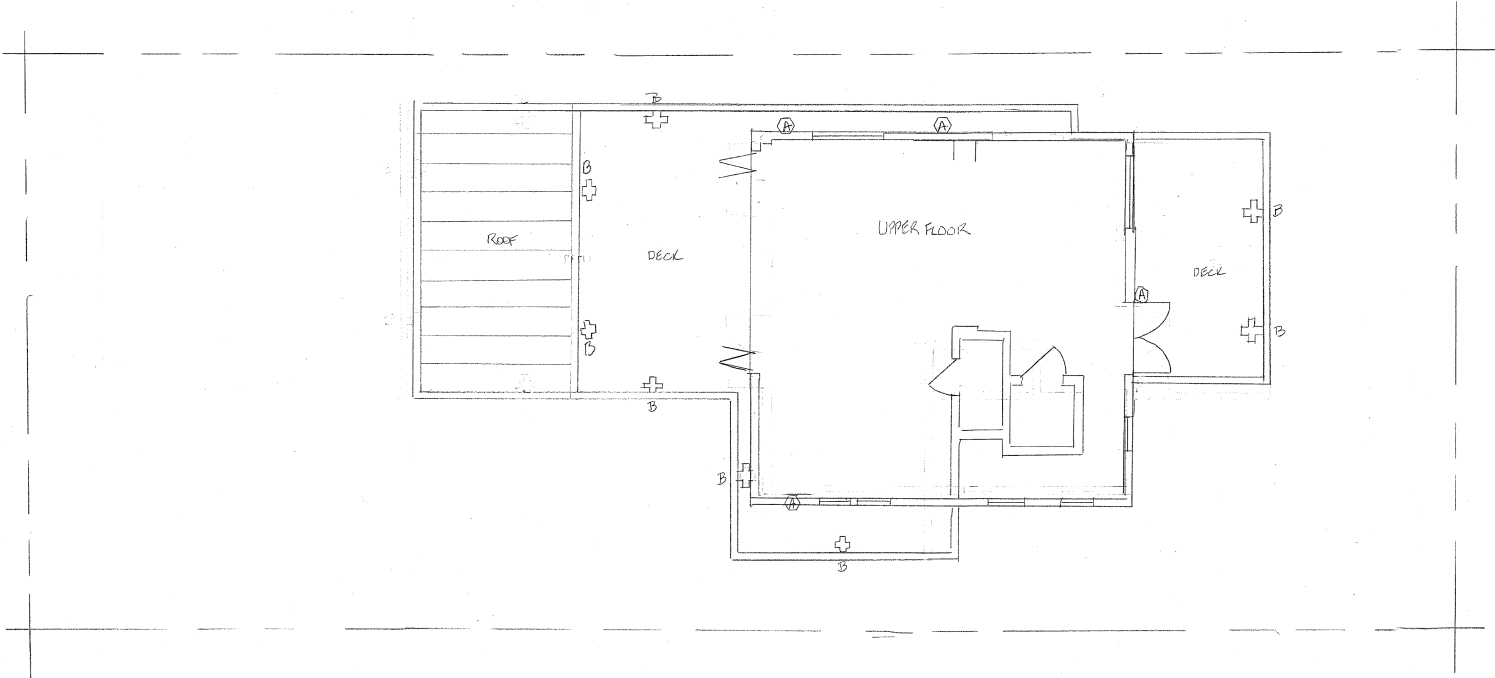
• TIMER, 24 HOUR • PHOTOCELL, FIELD INSTALL

EXTERIOR LIGHTING FIXTURES

A	MODEL	FINISH	SIZE	TYPE	QUAN	WATT/LUMENS	SYMBOL
A	SPJ-LWS36	BLACK	6"	LINEAR WALL DOWN WASH	15	W/200L	
B	SPJ-MSL-2BK-12	BLACK	12 1/8"	WALL RECESSED DOWNLIGHT	8 ⁸	2W/125L	
C	SPJ-SQ100-1	BLACK	21"x47/8" X1"	PATH LIGHT - MIN DISTANCE APART 30'	7	2W/125L	
D	SPJ-FL300-15V	STAINLESS	1 7/8"x8.75"	TRANSFORMER	1	300W	

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 APN 010-021-031-000

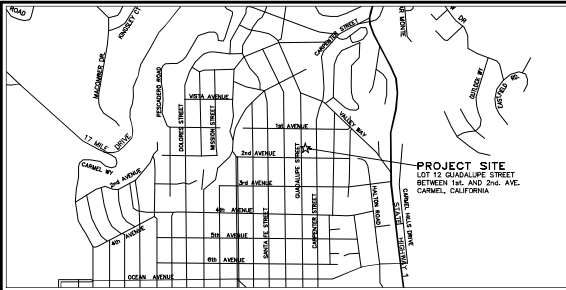


1/4"=1'0"

LANDSCAPE LIGHTING **L.2B**
 SPECS UPPER FLOOR
 4/6/2023 MML

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CRI RESIDENTIAL LOT #12
 GUADALUPE ST. BETWEEN 1ST & 2ND AVE
 CARMEL CA 93921
 APN 010-021-031-000



VICINITY MAP
NOT TO SCALE

STORM WATER CONTROL NOTES:

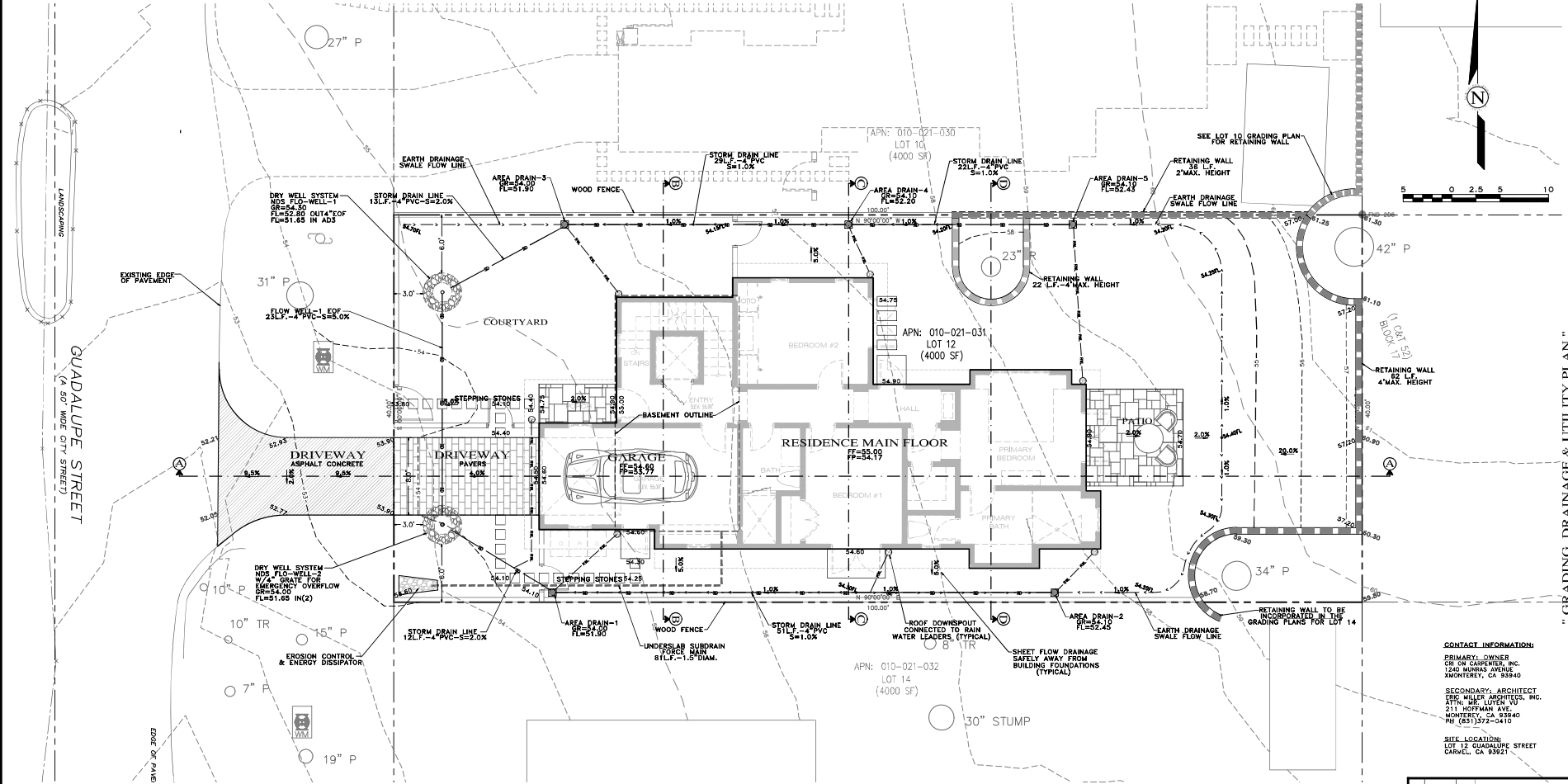
- 1) THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER NO. 2013-001-DWC; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRW) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- 2) ALL DRAINAGE SHALL CONFORM TO THE STANDARD OPERATING GUIDANCE FOR 17-07 PRIVATE STORM WATER SYSTEMS PER THE CITY OF CARMEL-BY-THE-SEA.

TOTAL LOT AREA = 4,000 SQ.FT.
TOTAL IMPERVIOUS AREA = 1,329 SQ.FT.
TOTAL AREA OF DISTURBANCE = 3,660 SQ.FT.

GRADING QUANTITIES:
CUT = 465 C.Y.
FILL = 0 C.Y.
NET = 465 C.Y. EXPORT

INDEX TO SHEETS

- SHEET C1 GRADING, DRAINAGE & UTILITY PLAN
- SHEET C2 GRADING SECTIONS
- SHEET C3 EROSION & SEDIMENT CONTROL PLAN
- SHEET C4 CONSTRUCTION MANAGEMENT PLAN



PLAN VIEW
SCALE: 1"=5'

No.	DATE	BY	REVISION



APPROVED BY:
CRI ON CASPENTER, INC.
CITY OF CARMEL, CA

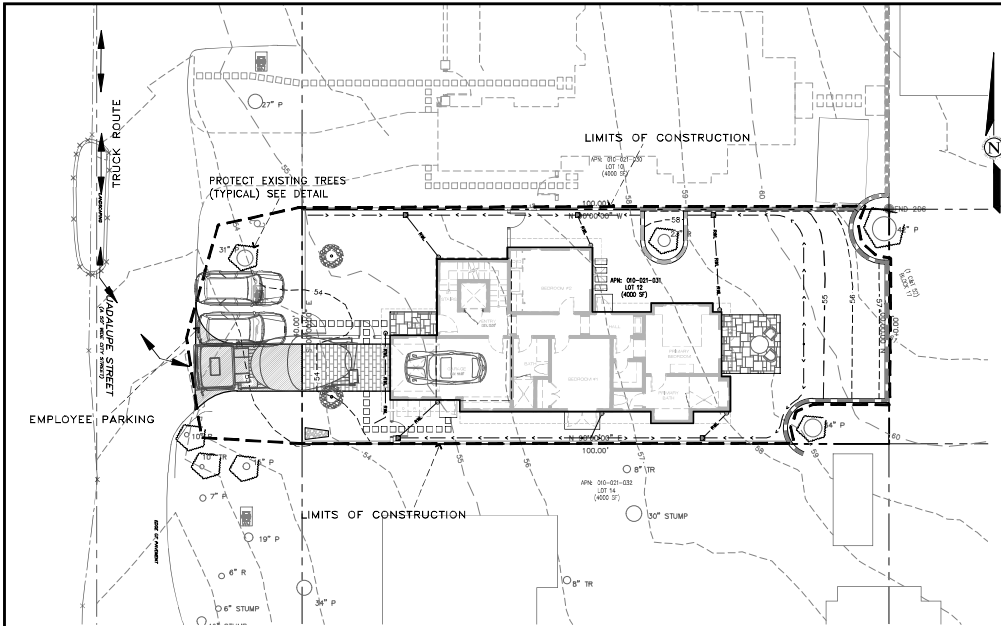


GRADING, DRAINAGE & UTILITY PLAN "1"
GRADING, DRAINAGE & EROSION CONTROL PLAN
CRI RESIDENTIAL HOUSE LOT 12
APN: 010-021-031
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
CRI ON CASPENTER, INC.

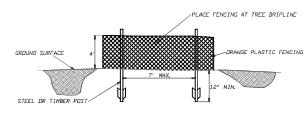
CONTACT INFORMATION:
PRIMARY OWNER:
CRI ON CASPENTER, INC.
1200 MARINA AVENUE
MONTEREY, CA 93940
SECONDARY ARCHITECT:
THE MILLER ARCHITECTS, INC.
ATTN: MR. LUYEN DU
211 HOFFMAN AVE.
MONTEREY, CA 93940
PH: (831) 392-2410
SITE LOCATION:
LOT 12 GUADALUPE STREET
CARMEL, CA 93921

SCALE: AS SHOWN
DATE: DECEMBER 2023
JOB NO. 2143-04

SHEET **C1**
OF 4 SHEETS



PLAN
SCALE: 1"=10'



FENCING (USA) DETAIL
Scale: NTS

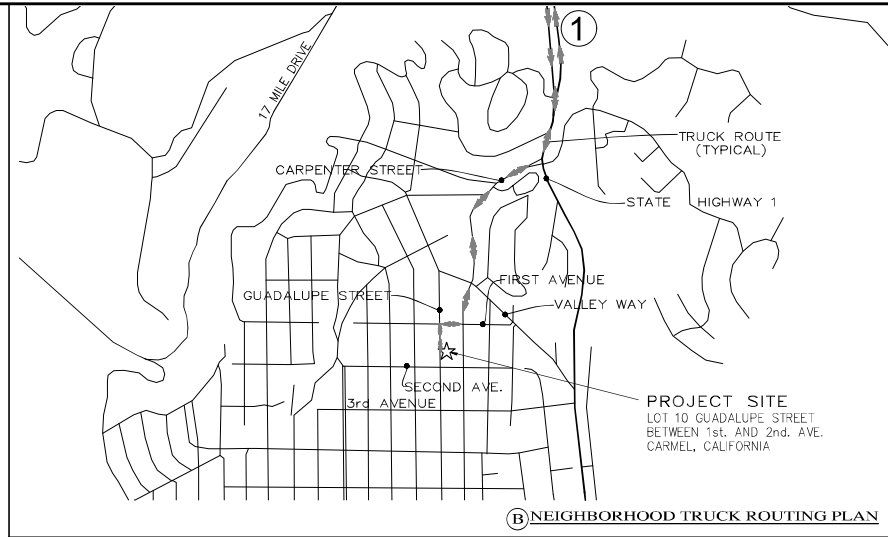
TRUCK TRIP GENERATION CHART

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	3	2
GRADING & SOIL REMOVAL (EXPORT)	23	4
ENGINEERING MATERIALS (IMPORT)	2	2
TOTALS	28	8

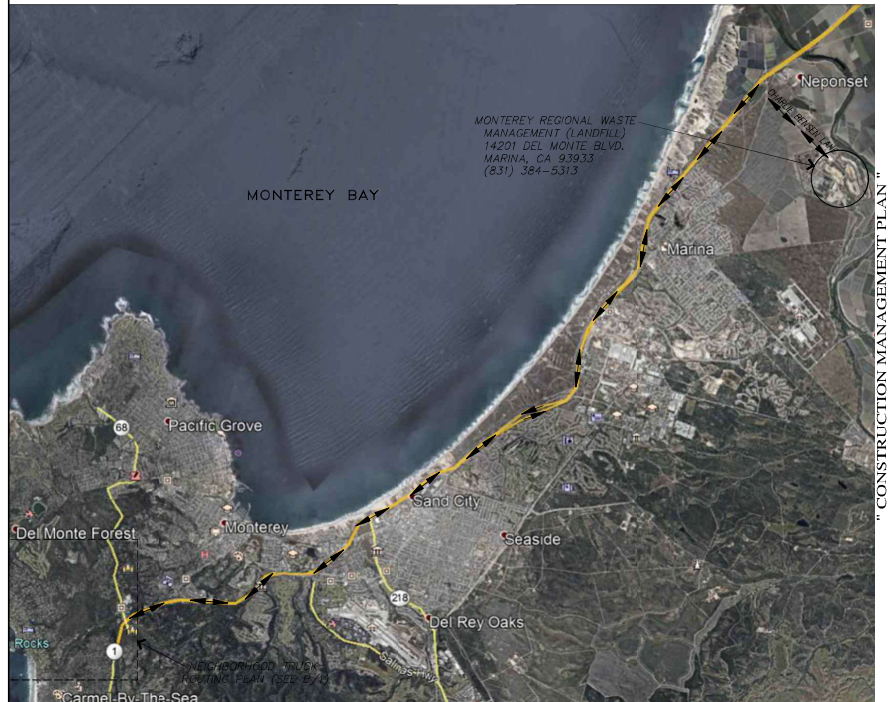
TRUCK TRIP GENERATION NOTES

- TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 3 TRUCK LOADS PER DAY.
 - THERE ARE 465 CY OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
 - GRADING OPERATIONS SHALL TAKE APPROXIMATELY 3 WORKING DAYS TO COMPLETE.
 - THE AMOUNT OF GRADING PER DAY WILL VARY. THE AVERAGE BETWEEN 60 & 120 CUBIC YARDS.
- NUMBER OF EMPLOYEES/DAY: 9-10
HOURS OF OPERATION/DAY: 4
PROJECT SCHEDULING: PROJECTED START DATE IS JANUARY 2024 & WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

A CONSTRUCTION STAGING PLAN
SCALE: 1"=30'



B NEIGHBORHOOD TRUCK ROUTING PLAN



C OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

NO.	DATE	BY	REVISION
12/12/23	AMS	RELEASED TO CLIENT	



APPROVED BY:
LANDSET ENGINEERS, INC.
1000 S. Bascom Avenue, Suite 1000
San Jose, CA 95128
(415) 881-1000
www.landseteng.com



GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
CRI RESIDENTIAL HOUSE LOT 12
A.P.N.: 010-021-031
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA
CRI ON CARPENTER, INC.

SCALE: AS SHOWN
DATE: DECEMBER 2023
JOB NO: 2143-04
SHEET **C4**
OF 4 SHEETS