

Hermle Collins Residence

Carmel, California

APN: 010-121-013-000

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HEIGHT LIMITS AND SETBACKS

HEIGHT		
MAIN DWELLING	EXISTING	PROPOSED
ONE STORY RIDGE HEIGHT	67.2'	69.9
TWO STORY RIDGE HEIGHT	N/A	77.1'
ONE STORY LEVEL PLATES	N/A	66.7'
TWO STORY LEVEL PLATES	64.8'	74.6'
GARAGE/CARPORT		
ONE STORY RIDGE HEIGHT	0'-0"	66.1'
LOWER LEVEL PLATES	0'-0"	63.8'
SETBACKS		
MAIN DWELLING	EXISTING	PROPOSED
NORTH SIDE	3'-2"	3'-2"
SOUTH SIDE	12'-9"	10'-0"
WEST SIDE	10'-7"	15'-0"
EAST SIDE	40'-11"	4'-4"
GARAGE/CARPORT		
NORTH SIDE	0'-0"	26'-2"
SOUTH SIDE	0'-0"	3'-6"
WEST SIDE	0'-0"	64'-6"
EAST SIDE	0'-0"	15'-6"

PROJECT DATA

FLOOR AREA			
FAR ALLOWED	1,800.0 SQ.FT.		45.0%
	EXISTING	PROPOSED	
PROPOSED MAIN LEVEL	866 SQ.FT.	1,227.6 SQ.FT.	
UPPER LEVEL		371.3 SQ.FT.	
GARAGE		200.0 SQ.FT.	
SHED	213 SQ.FT.	0.0 SQ.FT.	
TOTAL GROSS FLOOR AREA:	1,079 SQ.FT.	1,798.9 SQ.FT.	45.0%

SITE COVERAGE

PERVIOUS COVERAGE	EXISTING	PROPOSED	
SOUTH PATIO	324.0 SQ.FT.	200.0 SQ.FT.	
SOUTH WALKWAY		22.5 SQ.FT.	
WEST ENTRY WALK		49.3 SQ.FT.	
DRIVEWAY		33.4 SQ.FT.	
WEST PATIO		52.2 SQ.FT.	
TOTAL PERVIOUS COVERAGE	324.0 SQ.FT.	357.4 SQ.FT.	8.9 %
IMPERVIOUS COVERAGE	EXISTING	PROPOSED	
SOUTH AC DRIVEWAY	560.0 SQ.FT.		
WEST STEPS	36.0 SQ.FT.		
WEST PORCH	35.0 SQ.FT.	25.0 SQ.FT.	
NORTH WALKWAY	55.0 SQ.FT.		
EAST PATIO	350.0 SQ.FT.		
MASTER PATIO		108.0 SQ.FT.	
FOUNTAIN		17.8 SQ.FT.	
NORTH PATIO		40.1 SQ.FT.	
TOTAL IMPERVIOUS COVERAGE	1,036.0 SQ.FT.	190.9 SQ.FT.	4.8 %
TOTAL GROSS COVERAGE	1,360.0 SQ.FT.	548.3 SQ.FT.	13.7 %

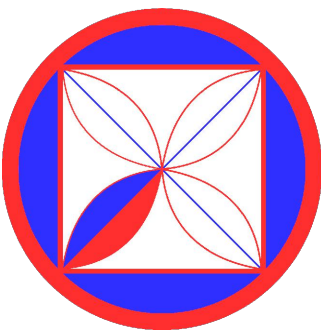
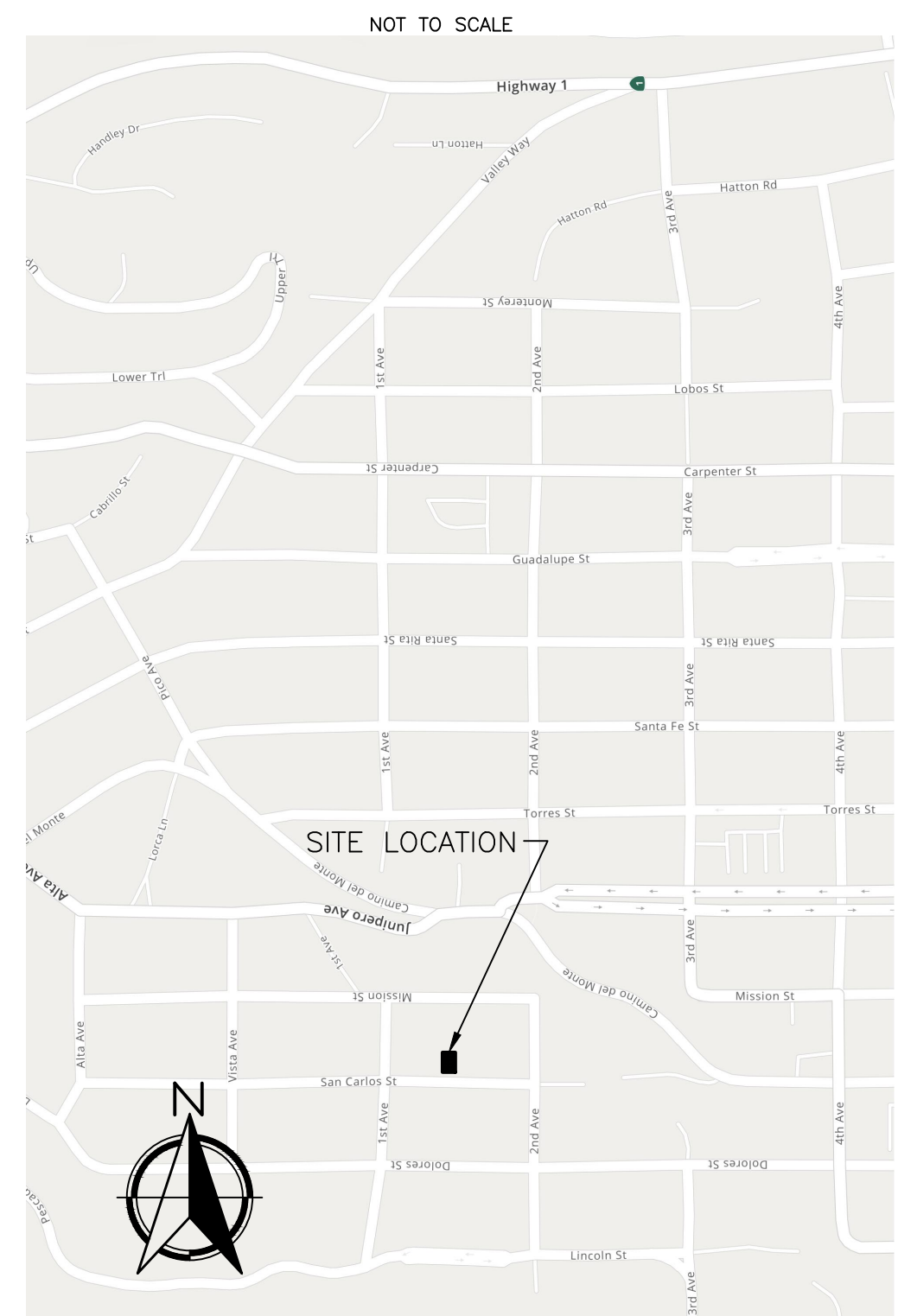
PROJECT INFORMATION

LOT SIZE	(0.92 Acres) 4,000.0 S.F.
A.P.N.	010-121-013-000
LEGAL DESCRIPTION	BLOCK: 11 LOT: NORTH PORT OF 8 & SOUTHPORT OF 10
ZONING	R-1
SETBACKS (MIN. ALLOWED)	FRONT:15FT, SIDE 3FT. REAR 3FT./15FT.
BLDG. OCCUPANCY	R-3/U
CONST. TYPE	V-B
STORIES:1	PLATE HT. 12FT. - RIDGE HT. 18FT.
STORIES:2	PLATE HT. 18FT. - RIDGE HT. 24FT.

SCOPE OF WORK

1. TO DEMO A EXISTING SINGLE STORY HOUSE AND SHED.
2. GRADE THE LANDSCAPE AND PROVIDE A RETAINING WALL TO THE SOUTH OF THE PROPERTY.
3. BUILD A TWO STORY SINGLE FAMILY DWELLING, AND A DETACHED SINGLE CAR GARAGE.
4. REMOVE TREE #8.

VICINITY MAP



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REVISIONS:
01-06-2023/1

PROJECT: Hermie Collins Residence: San Carlos St.
3 SW of 1St, Carmel-By-The-Sea
Monterey County, California
Block: 11 Lot: North Port of 8 & SouthF
APN: 010-121-013-000
PROJECT NO. 21-08

ISSUE:

DRAWN BY:
D.Santana

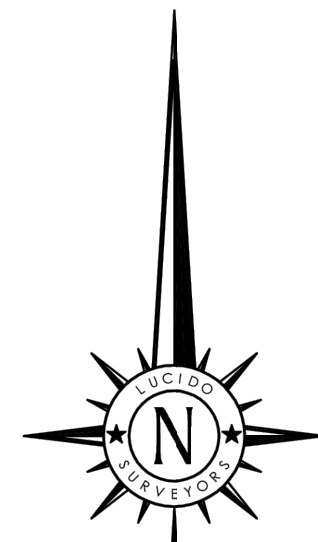
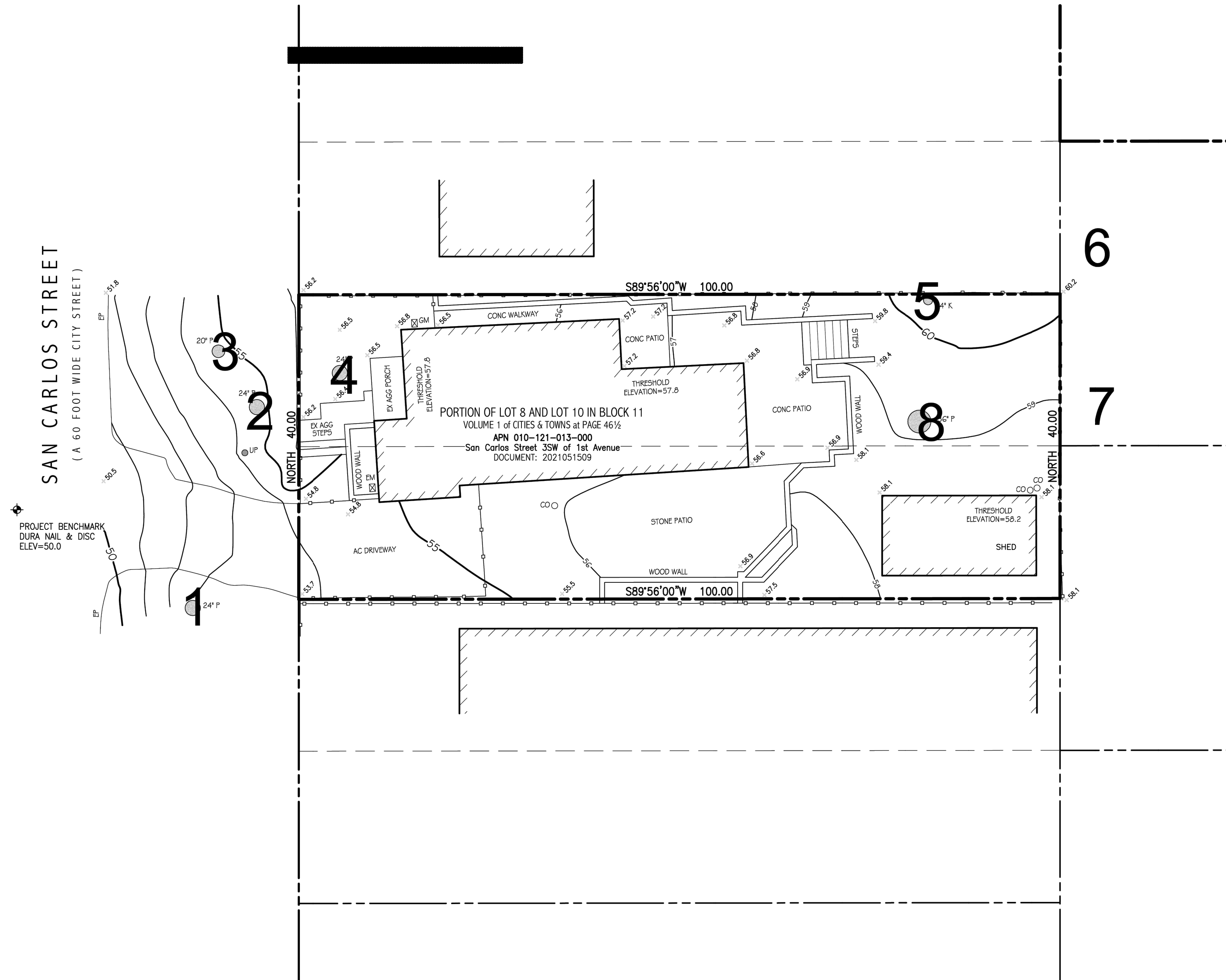
COVER SHEET

SCALE: 1/4" = 1'

A1.0

	RECORD BOUNDARY
	RECORD RIGHT OF WAY
	RECORD LOT LINE
	RECORD CENTERLINE
	RECORD EASEMENT LINE
	RECORD SETBACK
	OLD RECORD LINE
	PROJECT BENCHMARK
	CONTOUR (MAJOR)
	CONTOUR (MINOR)
	GRADEBREAK
	EDGE OF PAVEMENT
	LIP OF GUTTER
	FACE OF CURB
	CURB AND GUTTER
	BACK OF CURB
	BACK OF SIDEWALK
	EDGE OF DRIVEWAY
	FLOWLINE
	FLOWLINE
	BUILDING
	APPROXIMATE BUILDING OUTLINE
	CHIMNEY
	THRESHOLD ELEVATION
	DECK
	CONC PAD
	CONCRETE PAD
	STEP
	STEP
	PLANTER
	PLANTER
	WATER LINE
	WATER VALVE
	WATER METER
	FIRE HYDRANT
	HOSE BIB
	IRRIGATION CONTROL VALVE
	SANITARY SEWER LINE
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEAN-OUT
	STORM DRAIN
	STORM DRAIN MANHOLE
	AREA DRAIN
	STORM DRAIN CATCH BASIN
	ELECTRIC LINE
	UTILITY POLE
	GUY WIRE
	ELECTRIC VAULT
	UTILITY VAULT
	ELECTRIC METER
	STREET LIGHT
	LAMP POST
	GAS LINE
	GAS METER
	TELEPHONE LINE
	TELEPHONE STANDARD
	CABLE TELEVISION LINE
	CABLE TELEVISION BOX

	WOOD FENCE
	WIRE FENCE
	CHAIN LINK FENCE
	STREET SIGN
	SIGN POST
	MAIL BOX
	BOLLARD
	PILLAR
	BLOCK RETAINING WALL
	ROCK RETAINING WALL
	STACKED BLOCK WALL
	BRICK WALKWAY/PATIO
	CARMEL STONE
	PCC WALKWAY/PATIO
	DISABLED PARKING
	STANDARD PARKING STALL
	ASPHALT CONCRETE
	CARMEL STONE
	CORRUGATED METAL PIPE
	CONCRETE SLAB
	DECOMPOSED GRANITE
	EXPOSED AGGREGATE
	HIGH DENSITY POLY ETHYLENE
	PORTLAND CEMENT CONCRETE
	PAVER STONE
	POLY VINYL CHLORIDE
	REINFORCED CONCRETE PIPE
	TRASH ENCLOSURE
	EDGE OF FOLIAGE
	TREE WITH SIZE AND TYPE
	ACACIA
	CYPRESS
	OAK
	PINE
	REDWOOD
	TREE
	SPOT ELEVATION



SCALE: 1"=10'



ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A DURA NAIL & DISC SET IN THE PAVEMENT NEAR THE NORTHERLY BOUNDARY CORNER OF THE SUBJECT PROPERTY AS SHOWN HEREON.

1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS.
2. ENCUMBRANCES OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
3. DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
4. CONTOUR INTERVAL = ONE FOOT.
5. TREE TYPES (IF ANY) ARE IDENTIFIED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST PROVIDED BY OTHERS, PER AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 6" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
6. POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPE OF BUILDING FACIES, POP-OUTS, BULL NOSE CORNERS, ETC. SQUARE FOOTAGE OF BUILDINGS (IF ANY) IS SHOWN APPROXIMATE ONLY, AND SUBJECT TO REVISION AT ANY TIME.
7. NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
8. THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN FEBRUARY OF 2022.

OF
San Carlos Street 3SW of 1st Avenue

PER
DOCUMENT: 2021051509

Records of Monterey County

PREPARED FOR

Claudio Ortiz Design Group Inc.

BY
LUCIDO SURVEYORS

Boundary and Construction Surveys · Topographic and Planimetric Mapping
ALTA Surveys and GIS Database Management · Land Planning and Consulting

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SCALE: 1"=10'

PROJECT No. 2875

FEBRUARY 2022

CITY OF CARMEL

COUNTY OF MONTEREY

STATE OF CALIFORNIA



Additional Resources: For more information on the Design Review Process, Residential Design Guidelines, Carmel Municipal Code, Green Building Ordinance and Title 7A of the Building Code, please visit our website at:

[Track 2 Design Study Submittal Checklist](#)

<https://ci.carmel.ca.us/community-planning-and-building>

Significant Tree Evaluation Worksheet

APN: 010-121-013-000
Street Location: San Carlos 3 SE ist Ave
Planner: Evan Kort
City Forester: Sara Davis
Property Owner: Collins
Recommended Tree Density: 3 upper and 1 lower

Part One: Initial Screening:

Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

A. Does the tree pose an above-normal potential risk to life and property?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES															
NO	X	X	X	X	X	X	X	X							

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Species	MP	MP	MP	MP	CO	MP	MP	MP							
YES	X	X	X	X	X	X	X	X							
NO															

MP-Monterey pine, MC-Monterey cypress, BP-Bishop pine, CR-coast redwood, CO-coast live oak
CI-Catalina ironwood, CS-California sycamore, BL-big leaf maple, OT-other

(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. Does the tree meet the minimum size criteria for significance?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	24	24	20	24	14	30	30	36							
NO															

Monterey pine, Monterey cypress, Bishop pine, Coast redwood: 6" DBH

Coast live oak – single trunk tree: 6" DBH

Coast live oak – multi-trunk tree measured per industry standard: 6" DBH

California sycamore, Big leaf maple, Catalina ironwood, other: 10" DBH

dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

Items to note: All Ivy and Acacia shall be eradicated from lot and public right of way

Required Structural Root Zone

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Feet	12	12	10	12	7	15	15	18							

Required Tree Protection Zone

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	36	36	30	36	21	45	45	54							

Requirements for tree preservation shall adhere to the following tree protection measures on construction site.

- Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.

- Excavation within 6 feet of a tree trunk is not permitted.

- No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.

- Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.

- Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing.

- The Structural Root Zone -- Structural Root Zone shall by 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots.

- If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.

- If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.

G. Are environmental conditions favorable to the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	2	2	2	2	2	2	2							

- 0 points: The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.
- 1 point: The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.
- 2 points: The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

Part Three: Final Assessment

Record the total points scored on D - G for each tree.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Total Score	7	7	7	7	8	8	8	5							

A. Did all assessment categories in Part Two achieve a minimum score of 1-point?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	X	X	X	X	X	X	X	X							
NO															

B. Are there any other factors that would disqualify a tree from a determination of significance?
(Explain any 'yes' answer)

Yes _____

Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of **6 or more points** or shall be classified as Moderately Significant if it achieves a score of **4 or 5 points**. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score **at least 7 points**, or as Moderately Significant if they score **at least 4 points**. All other trees are classified as non-significant.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
SIGNIF	X	X	X	X	X	X	X								
MOD SIGNIF								X							
NOT SIGNIF															

Part Two: Assessment For Tree Significance

For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

D. What is the health and condition of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	2	2	2	2	2	2	1							

- 0 points: The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.

- 1 point: The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.

- 2 points: The tree appears healthy and in good condition.

- 3 points: The tree shows excellent health, is free of pests and disease and is in very strong condition.

E. What is the overall form and structure of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	2	2	2	2	2	2	1							

- 0 points: Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.

- 1 point: The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.

- 2 points: The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.

- 3 points: The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each

F. What is the age and vigor of the tree?

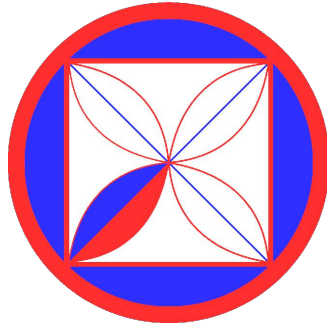
Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	1	1	1	1	2	2	2	1							

- 0 points: The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.

- 1 point: The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.

- 2 points: The tree is young to middle age and shows normal vigor.

- 3 points: The tree is young to middle age and shows exceptional vigor.



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REVISIONS:
01-06-2023

PROJECT: Hermie Collins Residence: San Carlos St.
3 SW of 1st, Carmel-By-the-Sea
Monterey County, California
Block: 11 Lot: North Port of 8 & SouthPort of 10
APN: 010-121-013-000
PROJECT NO. 21-08

ISSUE:


PRELIMINARY SITE
ASSESSMENT

SCALE: 1" = 1/4"

A1.3

DRAWN BY:
D.Santana



REVISIONS:
01-06-2023 

PROJECT: Hermie Collins Residence: San Carlos St.
3 SW of 1st, Carmel-By-The-Sea
Monterey County, California
Block: 11 Lot: North Port
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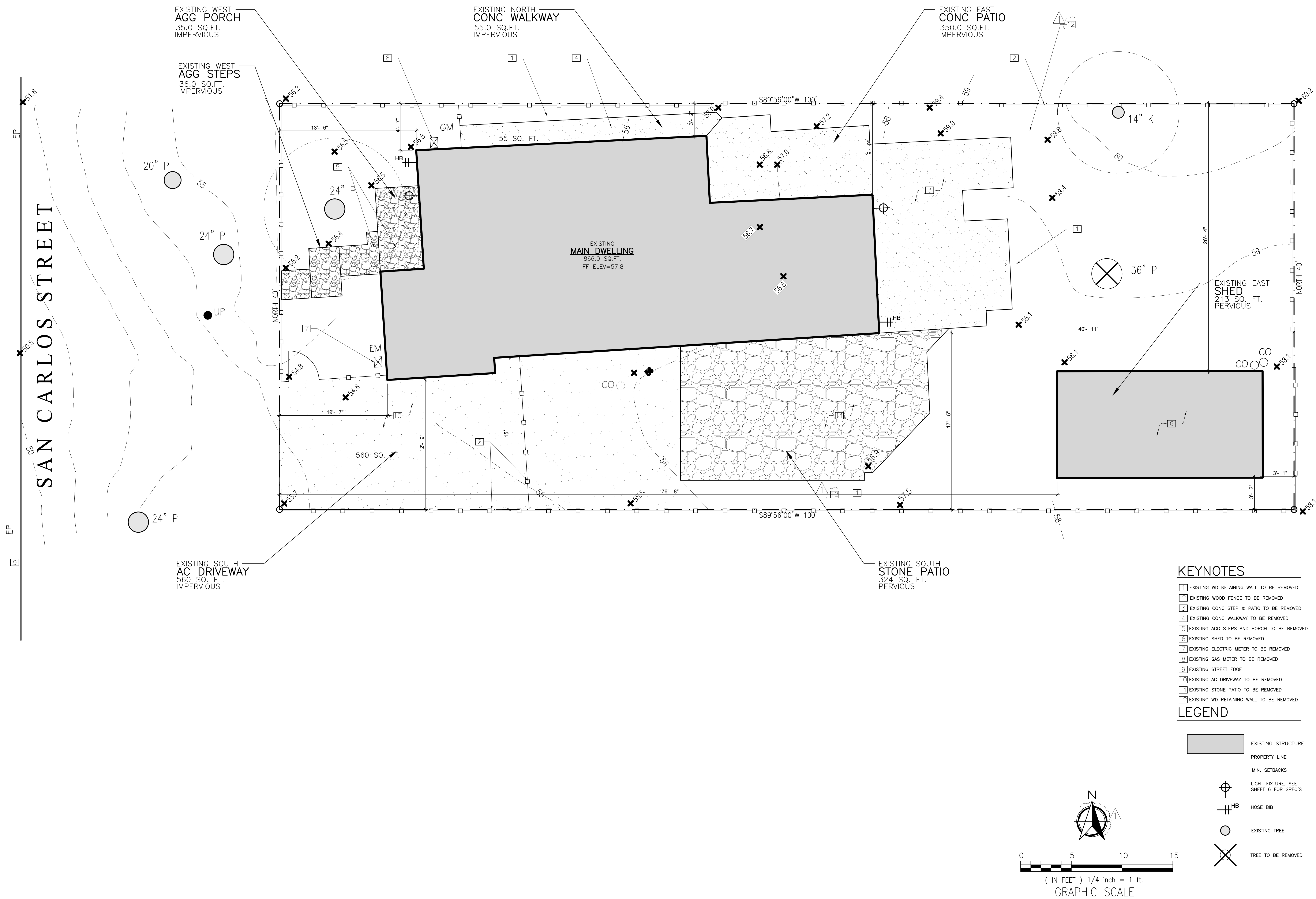
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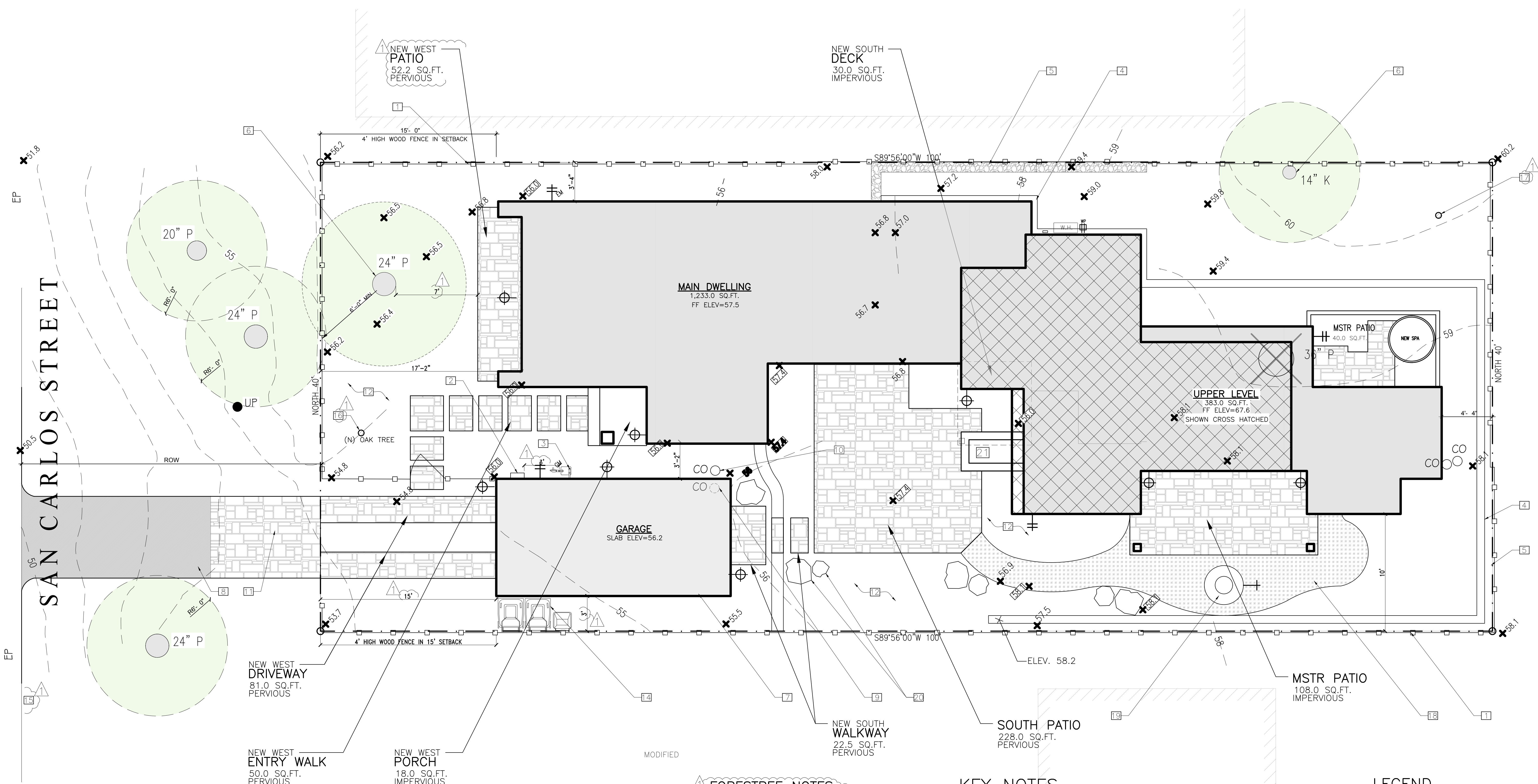
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1 SITE PLAN (EXISTING)

SCALE: 1' = 1/4"

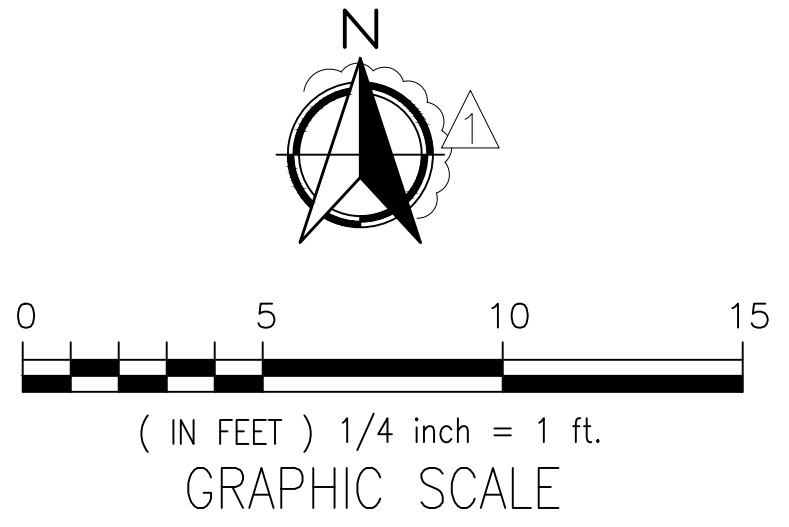
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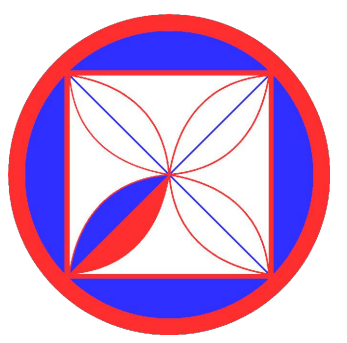


- FORESTREE NOTES**
- A. TREE PROTECTION ZONE - - THE TREE PROTECTION ZONE SHALL BE EQUAL TO DRIPLINE OR 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER. MINIMUM OF 4 FOOT HIGH TRANSPARENT FENCING IS REQUIRED UNLESS OTHERWISE APPROVED BY THE CITY FORESTER. TREE PROTECTION SHALL NOT BE RESIZED, MODIFIED, REMOVED, OR ALTERED IN ANY MANNER WITHOUT WRITTEN APPROVAL. THE FENCING MUST BE MAINTAINED UPRIGHT AND TAUGHT FOR THE DURATION OF THE PROJECT. NO MORE THAN 4 INCHES OF WOOD MULCH SHALL BE INSTALLED WITHIN THE TREE PROTECTION ZONE. WHEN THE TREE PROTECTION ZONE IS AT OR WITHIN THE DRIP LINE, NO LESS THAN 6 INCHES OF WOOD MULCH SHALL BE INSTALLED 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE OUTSIDE OF FENCING.
- B. THE STRUCTURAL ROOT ZONE (SRZ) STRUCTURAL ROOT ZONE SHALL BY 6 FEET FROM THE TRUNK OR 6 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 5' ABOVE THE SOIL LINE, WHICHEVER IS GREATER. ANY EXCAVATION OR CHANGES TO THE GRADE SHALL BE APPROVED BY THE CITY FORESTER PRIOR TO WORK. EXCAVATION WITHIN THE STRUCTURAL ROOT ZONE SHALL BE PERFORMED WITH PNEUMATIC EXCAVATOR, HYDROVAC AT LOW PRESSURE, OR OTHER METHOD THAT DOES NOT SEVER ROOTS.
- C. FOOTINGS MAY NOT TRENCH THROUGH MORE THAN 25% OF THE SRZ. PIERS AND CANTILEVERS ARE ACCEPTABLE. A PARTIAL FOUNDATION PLAN SHALL BE PROVIDED FOR THE FOUNDATIONS LOCATED WITHIN SRZ SHOWING THE HOW PIERS WILL BE USED WITHIN THE SRZ (I.E. BRIDGED FOUNDATION/STEM WALLS).

- KEY NOTES**
- 1 (N) 6' HIGH REDWOOD FENCE
2 (N) ELEC. SERVICE ENTRANCE
3 GAS METER: PROVIDE A CLEAR & LEVEL SURFACE: WIDTH=48" DEPTH=36" HEIGHT=78"
4 (N) RETAINING WALL
5 (N) DRY STACKED RETAINING WALL
6 (E) TREE TO REMAIN
7 (N) DETACHED GARAGE
8 (N) ASPHALT
9 MOVE (E) LOCATION SANITARY SEWER CLEAN OUT
10 (N) LOCATION SANITARY SEWER CLEAN OUT
11 PAVER DRIVEWAY
12 (N) LANDSCAPING
13 OMITTED
14 TRASH AREA
15 (E) STREET EDGE
16 (N) OAK TREE
17 (N) PINE TREE
18 (N) WD CHIP WALKWAY
19 (N) FIRE PIT
20 (N) LARGE LANDSCAPE ROCK
21 (N) WATER FOUNTAIN



- LEGEND**
- (N) MAIN LEVEL
(N) UPPER LEVEL
PROPERTY LINE
MIN. SETBACKS
LIGHT FIXTURE, SEE SHEET A4.0 FOR SPEC'S
HOSE BIB
GAS VALVE
EXISTING TREE
NEW TREE
TREE TO BE REMOVED
NEW ELEVATION MARKER



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REVISIONS:
01-06-2023(1)

PROJECT:
Hermie Collins Residence: San Carlos St.
3 SW of 1st, Carmel-By-The-Sea
Monterey County, California
Block: 11 Lot: North Port of 8 & SouthPort of 10
APN: 010-121-013-000
PROJECT NO.
21-08

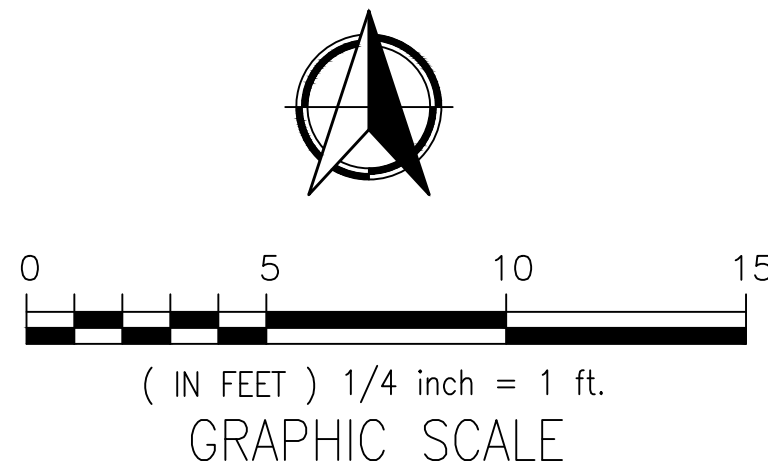
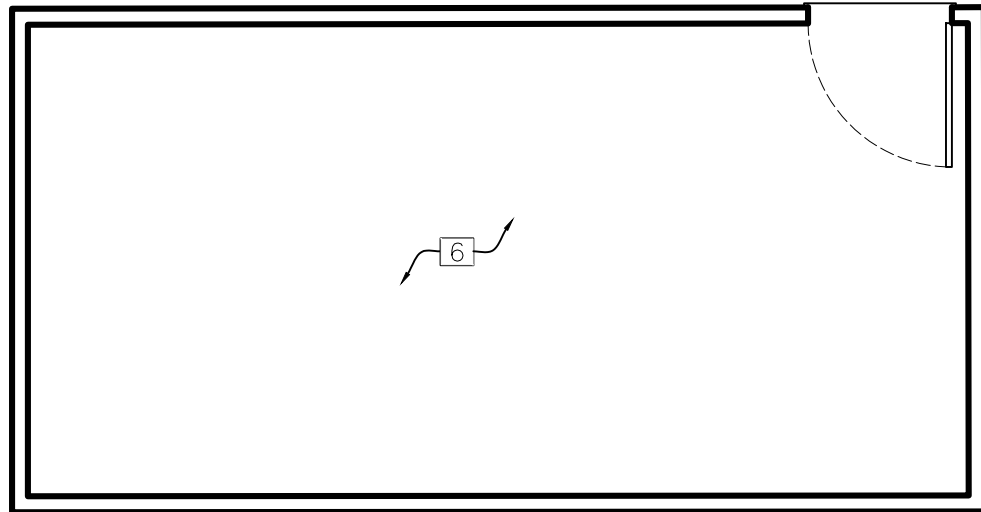
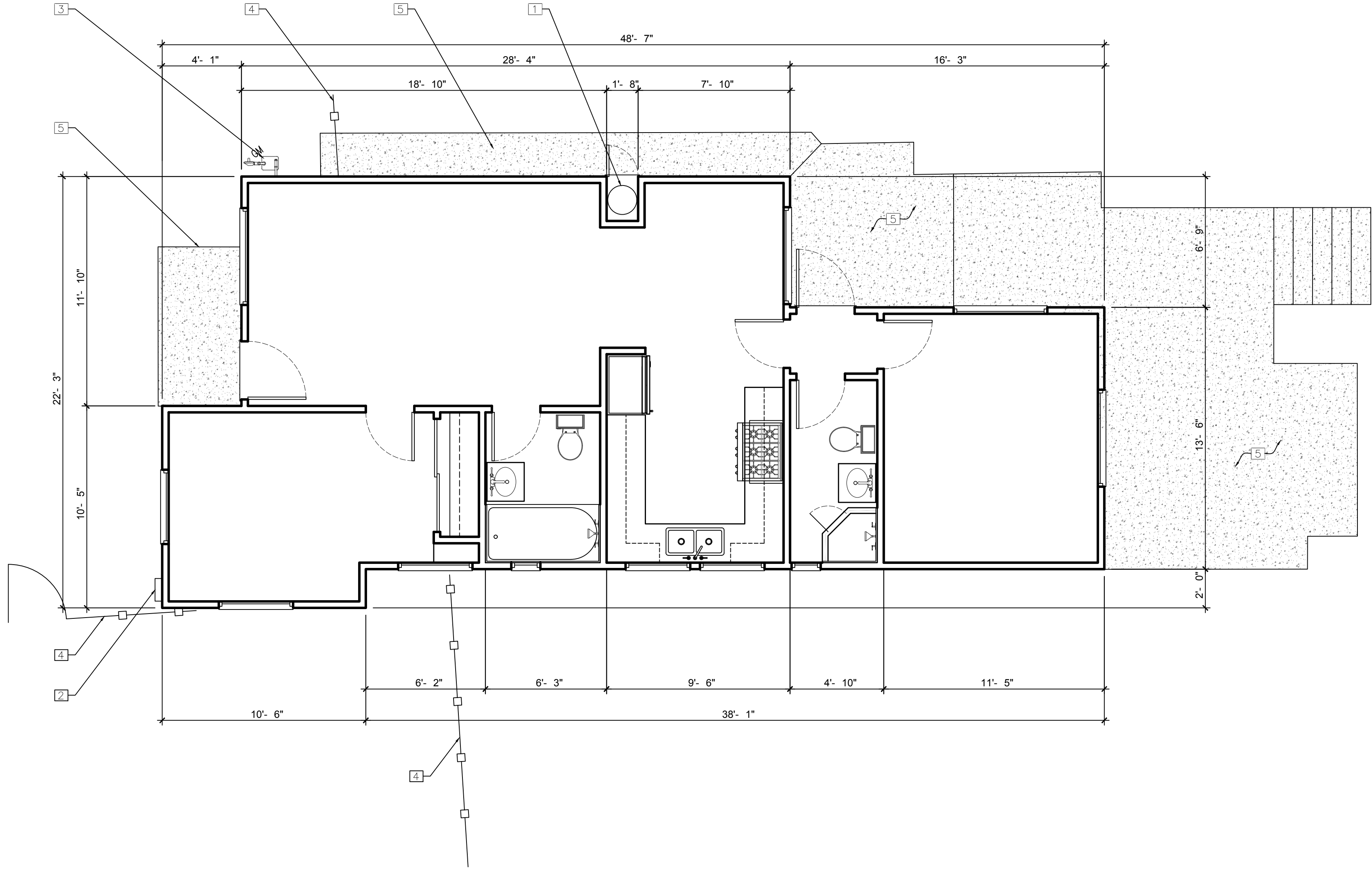
ISSUE:
9-07-22

DRAWN BY:
D.Santana

**SITE PLAN
(PROPOSED)**

SCALE: 1" = 1/4"

A1.5



KEY NOTES

- 1 (E) WATER HEATER TO BE REMOVED
- 2 (E) MAIN 100 AMP ELEC. SERVICE ENTRANCE TO BE REMOVED
- 3 (E) GAS METER TO BE REMOVED
- 4 (E) FENCE & GATE TO BE REMOVED
- 5 (E) CONC TO BE REMOVED
- 6 (E) SHED HOUSE TO BE REMOVED

LEGEND

EXISTING WALLS TO BE REMOVED

FLOOR PLAN
(EXISTING)

SCALE: 1" = 1/4"

A2.0

ISSUE:

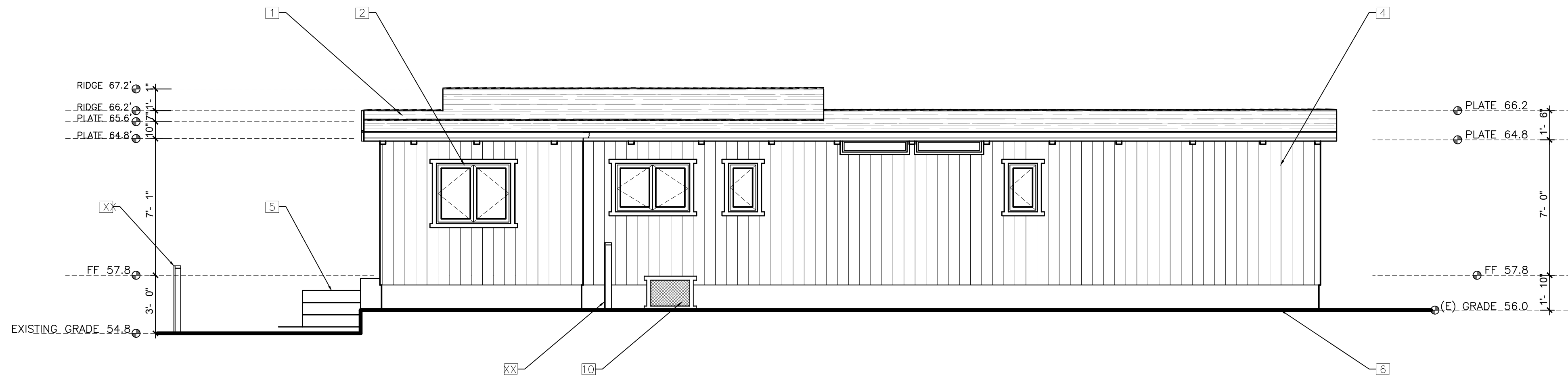
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D.Santana

PROJECT:
Hermie Collins Residence: San Carlos St.
3 SW of 1st, Carmel-By-the-Sea
Monterey County, California
Block 10, Lot 12, North Port of 8 & SouthPort of 10
APN: 010-121-013-000
PROJECT NO.
21-08

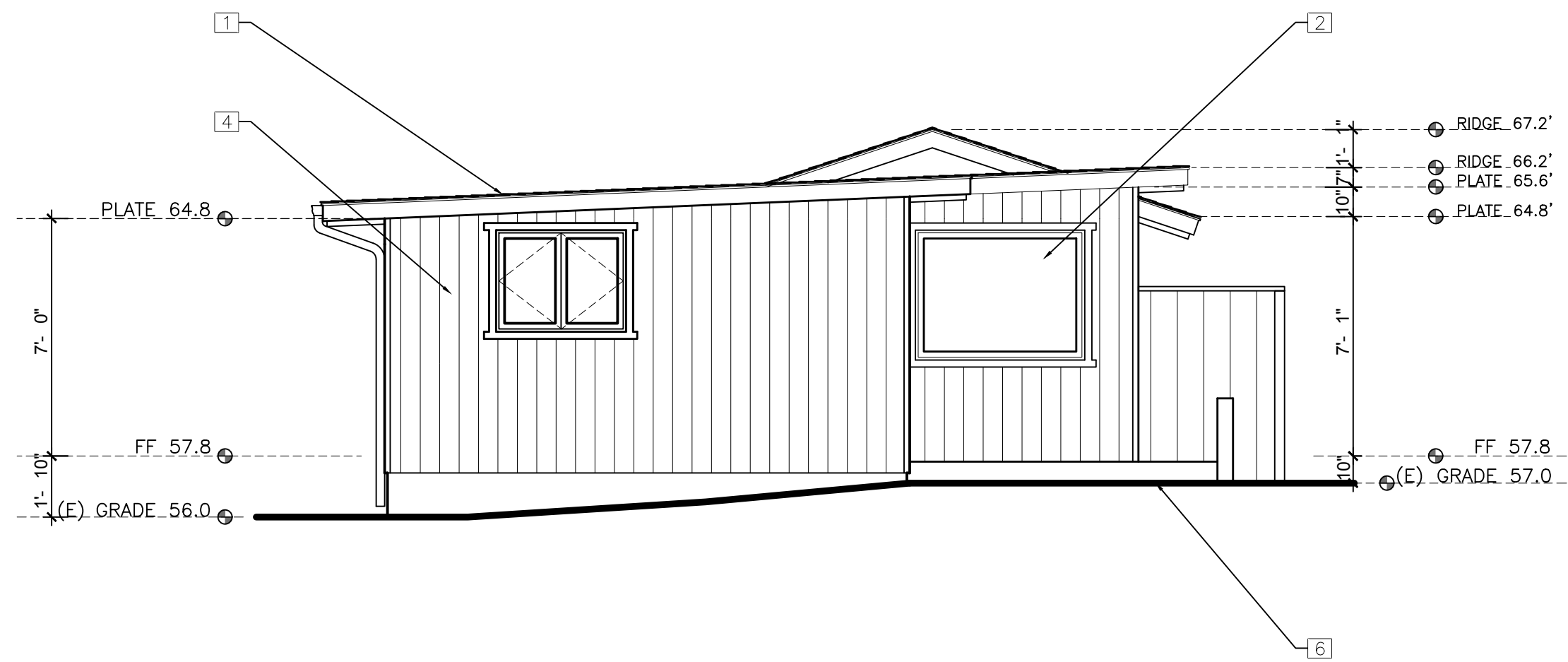
REVISIONS:
01-06-2023

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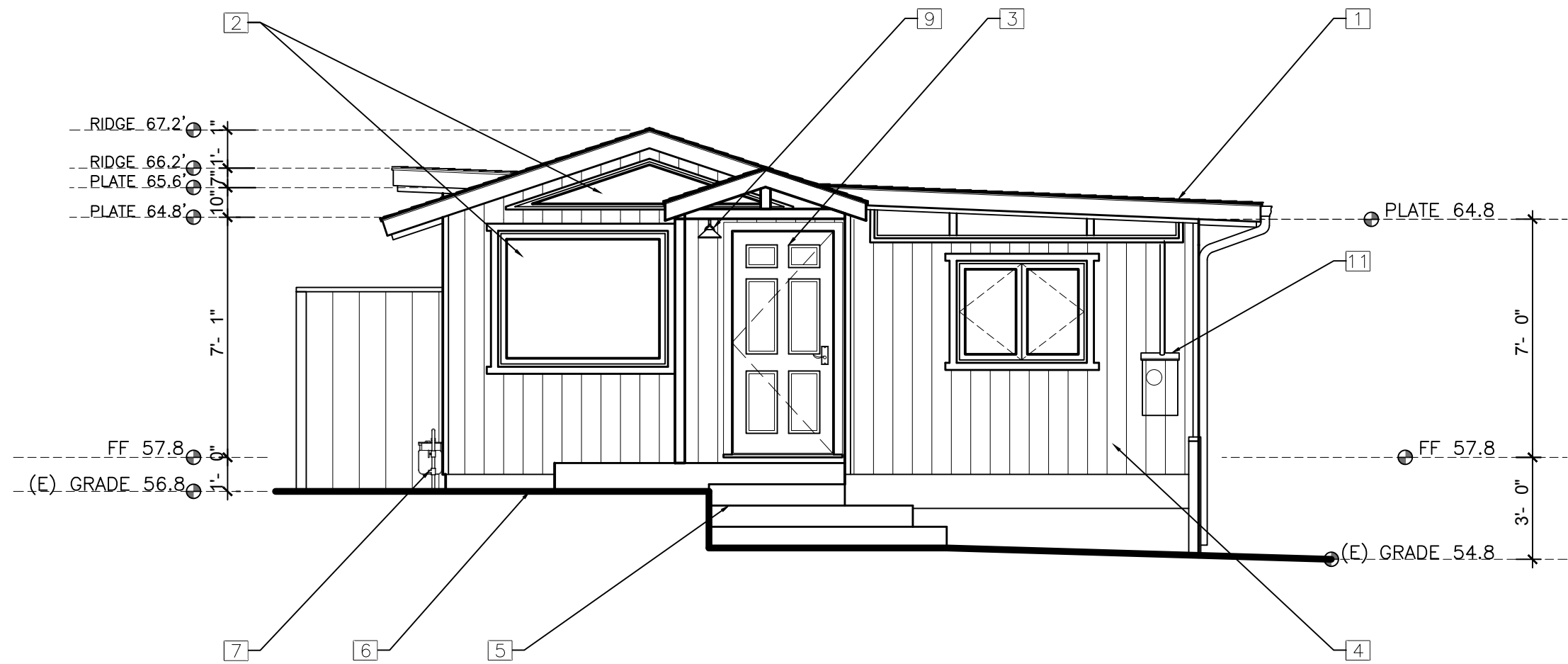
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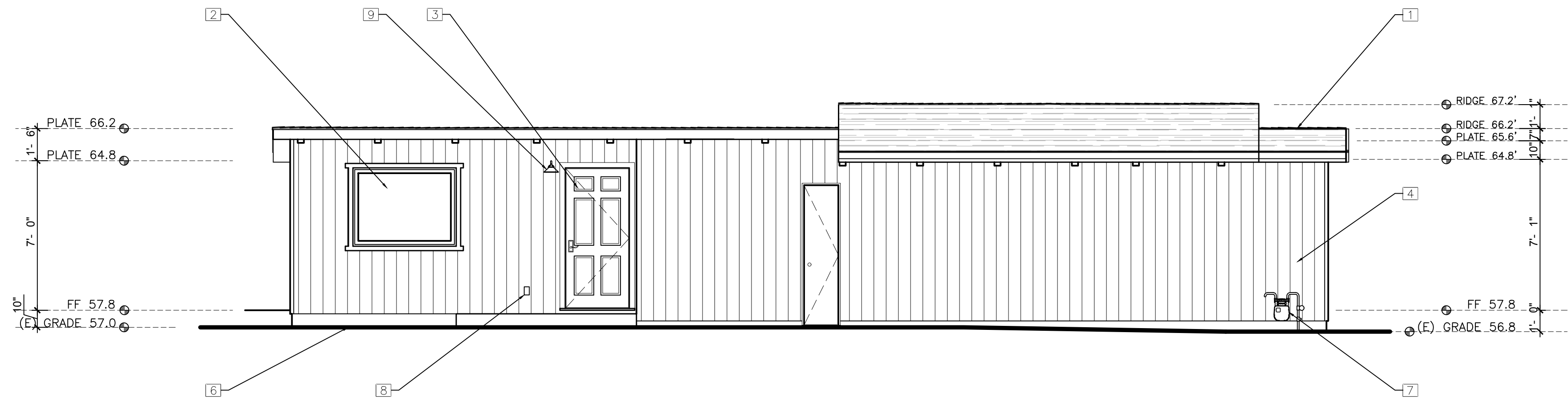
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION

KEY NOTES

- 1 EXISTING ASPHALT SHINGLE ROOF TO BE RREMOVED
- 2 EXISTING WINDOWS TO BE REMOVED
- 3 EXISTING DOOR TO BE REMOVED
- 4 EXISTING WOOD SIDING TO BE REMOVED
- 5 EXISTING CONC STEPS
- 6 EXISTING GRADE
- 7 EXISTING GAS METER
- 8 EXISTING 125 VOLT RECEPTACLE TO BE REMOVED
- 9 EXISTING LIGHT FIXTURE TO BE REMOVED
- 10 EXISTING CRAWL SPACE ACCESS DOOR
- 11 EXISTING SUB-PANEL TO BE REMOVED

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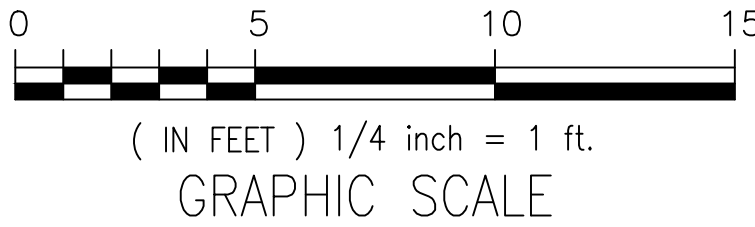
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REVISIONS:
01-06-2023/1

PROJECT:
Hermie Collins Residence: San Carlos St.
3 SW of 1St, Carmel-By-The-Sea
Monterey County, California
Block: 11 Lot: North Port of 8 & SouthPort of 10
APN: 010-121-013-000
PROJECT NO:
21-08

ISSUE:
DRAWN BY:
D.Santana

**ELEVATIONS
(EXISTING)**



A2.1

GENERAL NOTES

1. SEE PLAN FOR ROOF SLOPE.
2. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS.
3. CLASS "A" MINIMUM RATING FOR ROOF ASSEMBLY PER C.B.C.
4. IN "CALIFORNIA" DOUBLE FRAMING AREAS PROVIDE OPENINGS INTO MAIN ATTIC SPACE FOR ADEQUATE VENTILATION. PER C.B.C., IF "CALIFORNIA" DOUBLE FRAME AREA HAS MORE THAN 30-INCHES HEADROOM PROVIDE A 22"x30" ACCESS THROUGH MAIN ROOF SHEATHING. VERIFY OPENINGS IN ROOF SHAETHING WITH STRUCTURAL ENGINEER.
5. ALL BOX COLUMNS AND 'POP-OUTS' SHALL REMAIN OPEN AT TOP PALET LINE TO ALLOW FOR VENTILATION. PROVIDE TWO (2) LAYERS GRADE "D" MINIMUM PAPER UNDER STUCCO WHERE WOOD SHEATHING OCCURS.
6. PROVIDE DRAFT STOPS PER C.B.C.
7. ALL ROOF FASTENERS TO BE CAPABLE OF RESISTING WIND LOAD OF 110 M.P.H. INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTION.. (As shown in Figured R301.2(4)A.)
8. BUILT UP ROOFING TO HAVE MINERAL SURFACE CAP SHEET WITH FIBERGLASS BASE SHEET SPOT MOPPED TO DECK. PROVIDE 2 FIBERGLASS PLYSHEETS WITH TYPE III ASPHALT @ 25-30. CONSULT MANF. FOR SPECIFIC INSTALLATION REQUIREMENTS.
9. WHERE CEILING ARE APPLIDE TO UNDER-SIDE OF ROOF RAFTERS, EACH SEPARATE SPACE SHALL HAVE CROSS VENTILLATION OPENING & MINIMUM 1-INCH AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING.
10. FLAT ROOFS MUST SLOPE A MINIMUM OF 1/4-INCH PER FOOT FOR DRAINAGE OR SUBMIT DESING TO SUPPORT ACCUMULATED WATER. (Sec. 1611.2)
11. 50% OF THE REQUIRED VENTILATION AREA SHALL BE PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3- FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE.

KEY NOTES

- 1

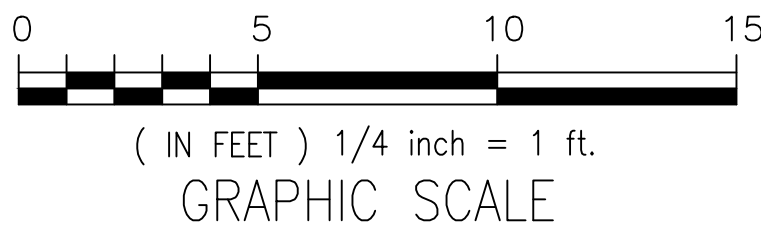
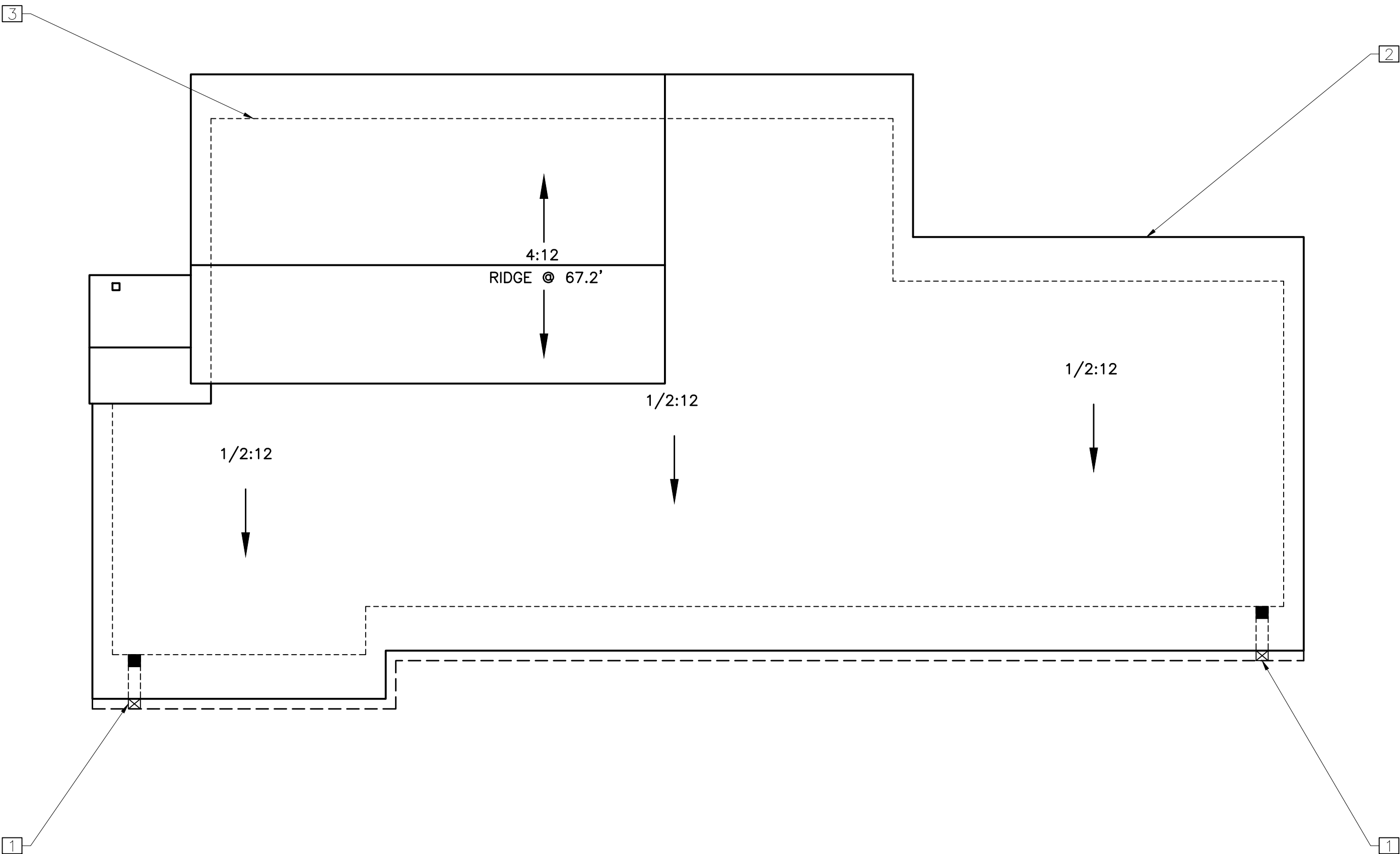
EXISTING 3-IN GUTTER & DOWNSPOUTS TO BE REMOVED
- 2

ROOF SHOWN THICK SOLID LINE TO BE REMOVED
- 3

MAIN STRUCTURE SHOWN THIN--DASHED LINE TO BE REMOVED

LEGEND

- ROOF SLOPE DIRECTION
ARROW
- ROOF LINE: NEW
THICK SOLID LINE
- MAIN STRUCTURE FOOTPRINT
THIN DASHED LINE
- GUTTERS
- DOWNSPOUTS
W/2% SLOPE



ROOF PLAN
(EXISTING)

A2.2

ISSUE:

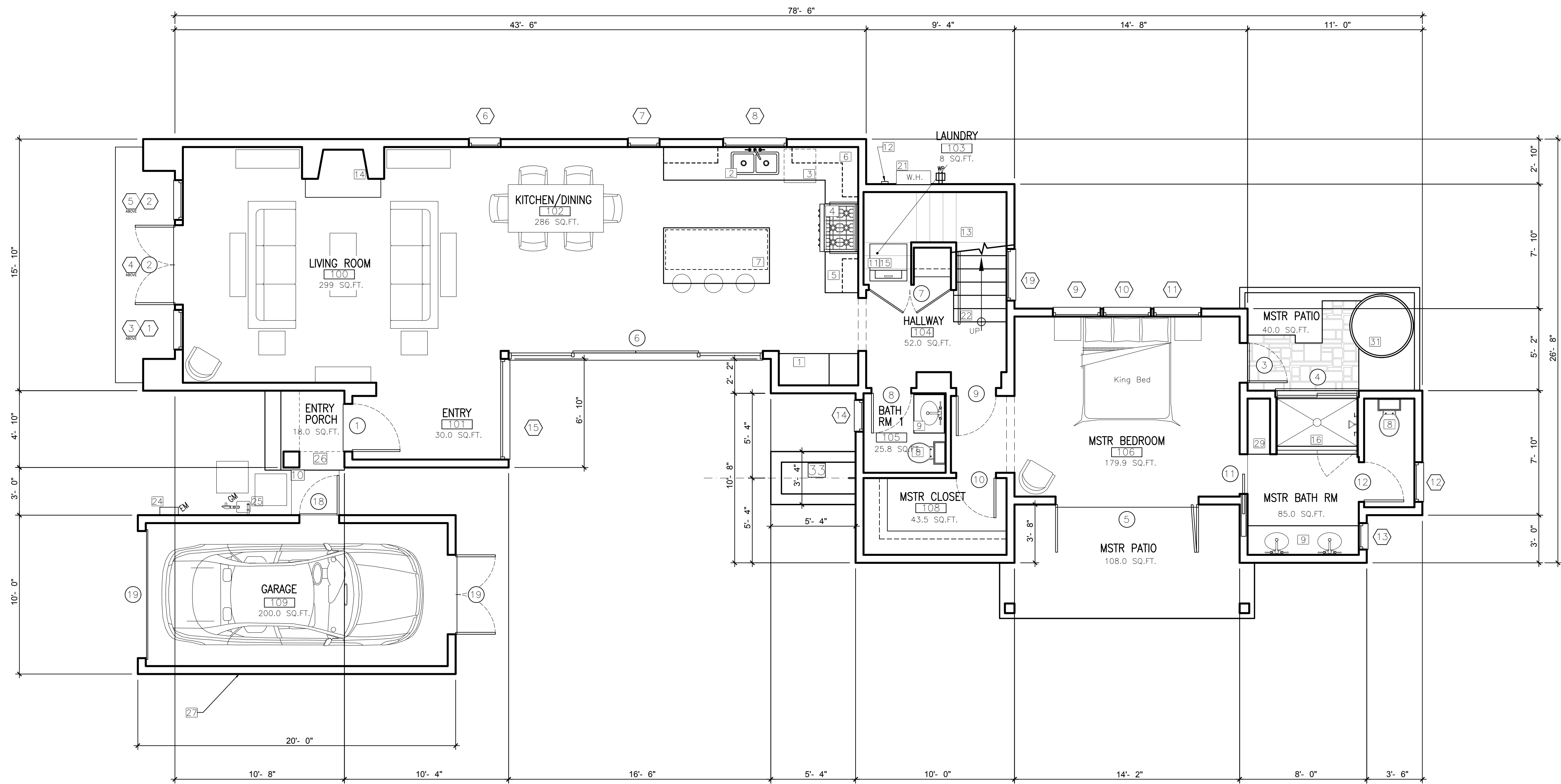
DRAWN BY:
D.Santana

PROJECT:
Herme Collins Residence: San Carlos St.
3 SW of 1st St. Carmel, By The Sea
Monterey County, California
Block 1 Lot 1 North Port of 8 & SouthPort of 10
BPN: 010-121-013-000
APN: 010-121-013-000
PROJECT NO.
21-08

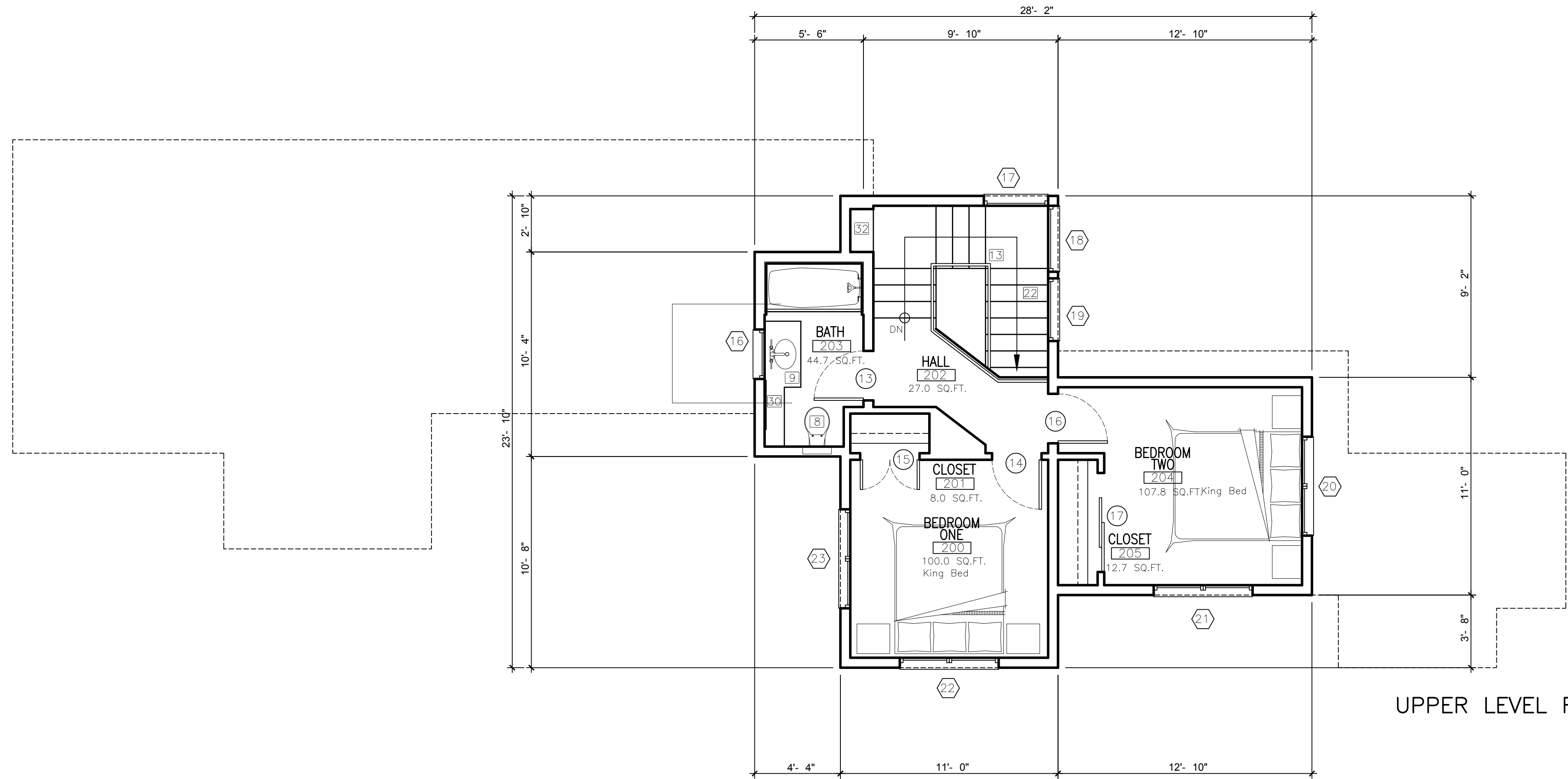
REVISIONS:
01-06-2023

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MAIN LEVEL FLOOR PLAN



UPPER LEVEL FLOOR PLAN

KEY NOTES

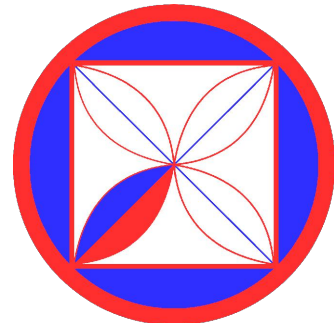
- 1 NEW 36" REFRIGERATOR. PROVIDE RECESSED COLD WATER BIB & SHUT-OFF FOR ICE-MAKER.
- 2 NEW KITCHEN SINK W/GARBAGE DISPOSAL
- 3 NEW DISH WASHER SPACE
- 4 NEW 36" RANGE DUAL-FUEL RANGE VENTILATED W/42" HOOD ABOVE.
- 5 NEW 36-INCH HIGH COUNTER TOP WITH BACKSPLASH.
- 6 NEW UPPER CABINETS
- 7 NEW KITCHEN ISLAND
- 8 NEW WATER CLOSET: TO BE MAXIMUM 1.28 GALLONS PER FLUSH PER C.P.C. 402.3.
- 9 NEW BATHROOM SINK 36-INCH HIGH W/ OR W/O VANITY WITH STONE TOP AND BACKSPLASH.
- 10 NEW PLASTER COLUMNS
- 11 ELECTRIC WASHER SPACE: PROVIDE RECESSED WATER & DRAIN CONNECTIONS.
- 12 ELECTRIC DRYER SPACE: PROVIDE VENT TO EXTERIOR. (SEE NOTE #15)
- 13 NEW METAL 38-IN HIGH HANDRAIL & BALUSTERS @ 4-INCHES ON CENTER MAX.
- 14 NEW FIREPLACE
- 15 NEW STACK WASHER & DRYER
- 16 NEW TILED SHOWER/TUB
- 17 NICHE
- 18 NEW F.A.U. IN CRAWL SPACE
- 19 NEW ATTIC ACCESS DOOR
- 20 NEW RAISED PATIO
- 21 NEW THANKLESS WATER HEATER
- 22 NEW INTERIOR STAIRS
- 23 OMITTED
- 24 NEW 200 AMP ELEC. SERVICE ENTRANCE
- 25 NEW GAS METER
- 26 NEW FLAGSTONE PORCH
- 27 NEW DETACHED GARAGE
- 28 NEW TILED DECK
- 29 NEW 36 HIGH LINEN CAB
- 30 NEW SLIDING MIRROR
- 31 NEW SPA
- 32 NICHE: PLASTER ARCHED TOP, 34-IN OFF THE FLOOR
- 33 WATER FOUNTAIN: PLASTER WITH TILE CAP AND INTERIOR.

LEGEND

NEW WALLS



(IN FEET) 1/4 inch = 1 ft.
GRAPHIC SCALE



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REVISIONS:

PROJECT: Hermie Collins Residence: San Carlos St.
3 SW of 1St, Carmel-By-The-Sea
Monterey County, California
Block: 11 Lot: North Port of 8 & SouthPort of 10
APN: 010-121-013-000
PROJECT NO. 21-08

ISSUE:

PROPOSED MAIN &
UPPER FLOOR PLAN

SCALE: 1" = 1/4"

A3.0



- 1 NEW DOWN SPOUT & GUTTER
- 2 NEW BARREL ROOF TILE
- 3 NEW PLASTER FINISH, THREE COATS
- 4 NEW DOOR & WINDOWS (WOOD CLAD)
- 5 EXISTING GRADE WHERE OCCURS
- 6 NEW WATER SPIGOT
- 7 WOOD CORBEL: 6X8 SHAPED, RDWD STAINED
- 8 GARAGE OUTLINE SHOWN THIN DASHED LINE.
SEE SHEET A3.2 FOR ELEVATIONS.
- 9 OMITTED
- 10 NEW CRAWL SPACE VENTS
- 11 POST: 8X8 RDWD, STAINED
- 12 CARMEL STONE PORCH
- 13 NEW 12X12 PLASTER CULMIN
- 14 NEW COPPER CHIMNEY CAP
- 15 NEW RETAINING WALL
- 16 NEW STONE STEPS
- 17 24'-FT HEIGHT LIMIT SHOWN DASH-DOT LINE
- 18 AVERAGE NATURAL GRADE 57.5 FT
- 19 NEW TANKLESS WATER
- 20 NEW CRAWLSPACE ACCESS DOOR
- 21 NEW DRY STACKED RETAINING WALL
- 22 NEW 125 VOLT RECEPTACLE TO BE WITHIN
THREE FEET OF TANKLESS WATER HEATER
- 23 DRYER VENT TO EXTERIOR
- 24 NEW GRADE SHOWN SOLID THK LINE



PROJECT: Hermie Collins Residence: San Carlos St.
3 SW of 1st, Carmel-By-The-Sea
Monterey County, California
Block: 11 Lot: North Port of 8 & SouthPort of 10
APN: 010-121-013-000
PROJECT NO. 21-08

ISSUE:
DRAWN
C O

SCALE: 1' = 1/4"

A3.1

GENERAL NOTES

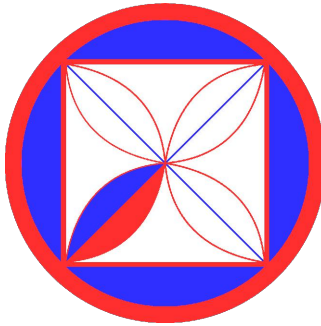
1. SEE PLAN FOR ROOF SLOPE.
2. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS.
3. CLASS "A" MINIMUM RATING FOR ROOF ASSEMBLY PER C.B.C.
4. IN "CALIFORNIA" DOUBLE FRAMING AREAS PROVIDE OPENINGS INTO MAIN ATTIC SPACE FOR ADEQUATE VENTILATION. PER C.B.C., IF "CALIFORNIA" DOUBLE FRAME AREA HAS MORE THAN 30-INCHES HEADROOM PROVIDE A 22"x30" ACCESS THROUGH MAIN ROOF SHEATHING. VERIFY OPENINGS IN ROOF SHEATHING WITH STRUCTURAL ENGINEER.
5. ALL BOX COLUMNS AND 'POP-OUTS' SHALL REMAIN OPEN AT TOP PALET LINE TO ALLOW FOR VENTILATION. PROVIDE TWO (2) LAYERS GRADE "D" MINIMUM PAPER UNDER STUCCO WHERE WOOD SHEATHING ACCURS.
6. PROVIDE DRAFT STOPS PER C.B.C.
7. ALL ROOF FASTENERS TO BE CAPABLE OF RESISTING WIND LOAD OF 110 M.P.H. INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTION.. (As shown in Figured R301.2(4)(A).)
8. BUILT UP ROOFING TO HAVE MINERAL SURFACE CAP SHEET WITH FIBERGLASS BASE SHEET SPOT MOPPED TO DECK. PROVIDE 2 FIBERGLASS PLYSHEETS WITH TYPE III ASPHALT @ 25-30. CONSULT MANF. FOR SPECIFIC INSTALLATION REQUIREMENTS.
9. WHERE CEILING ARE APPLIED TO UNDER-SIDE OF ROOF RAFTERS, EACH SEPARATE SPACE SHALL HAVE CROSS VENTILATION OPENING & MINIMUM 1-INCH AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING.
10. FLAT ROOFS MUST SLOPE A MINIMUM OF 1/4-INCH PER FOOT FOR DRAINAGE OR SUBMIT DESING TO SUPPORT ACCUMULATED WATER. (Sec. 1611.2)
11. 50% OF THE REQUIRED VENTILATION AREA SHALL BE PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3- FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE.

KEY NOTES

- 1 DOWNSPOUTS
- 2 GUTTERS W/ 2% SLOPE
- 3 NEW CLAY BARREL TILES
- 4 NEW 200 AMP ELEC. SERVICE ENTRANCE
- 5 NEW GAS METER
- 6 GRADE
- 7 NEW DOOR & WINDOWS (WOOD CLAD)
- 8 NEW PLASTER FINISH, THREE COATS
- 9 NEW ROLL UP CARRIAGE GARAGE DOOR
- 10 NEW CHIMNEY CRICKET
- 11 NEW CHIMNEY
- 12 AVERAGE NATURAL GRADE 55.0 FT

LEGEND

- BUILDING FOOTPRINT
THIN DASHED LINE
- GUTTERS
- DOWNSPOUTS
W/2% SLOPE
- SLOPE DIRECTION
ARROW
- UPPER FLOOR



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REVISIONS:

Hermie Collins Residence: San Carlos St.
3 SW of 1st, Carmel-By-The-Sea
Monterey County, California
Block: 10, Lot: North Port of 8 & SouthPort of 10
APN: 010-121-013-000

21-08

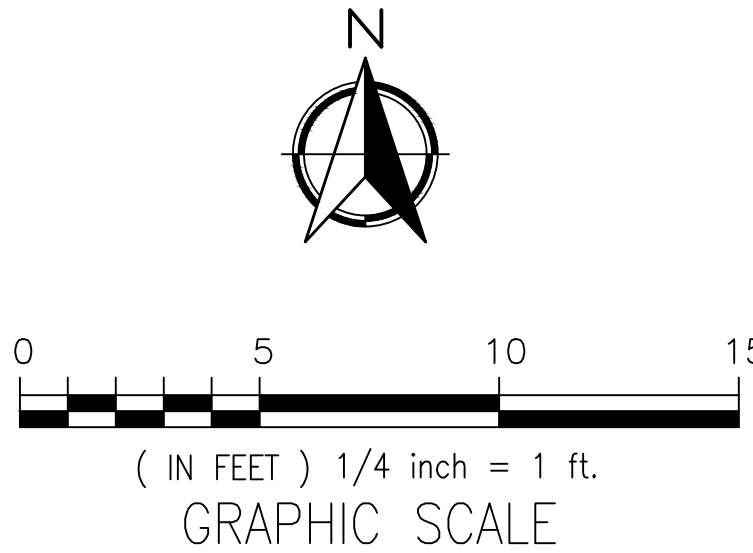
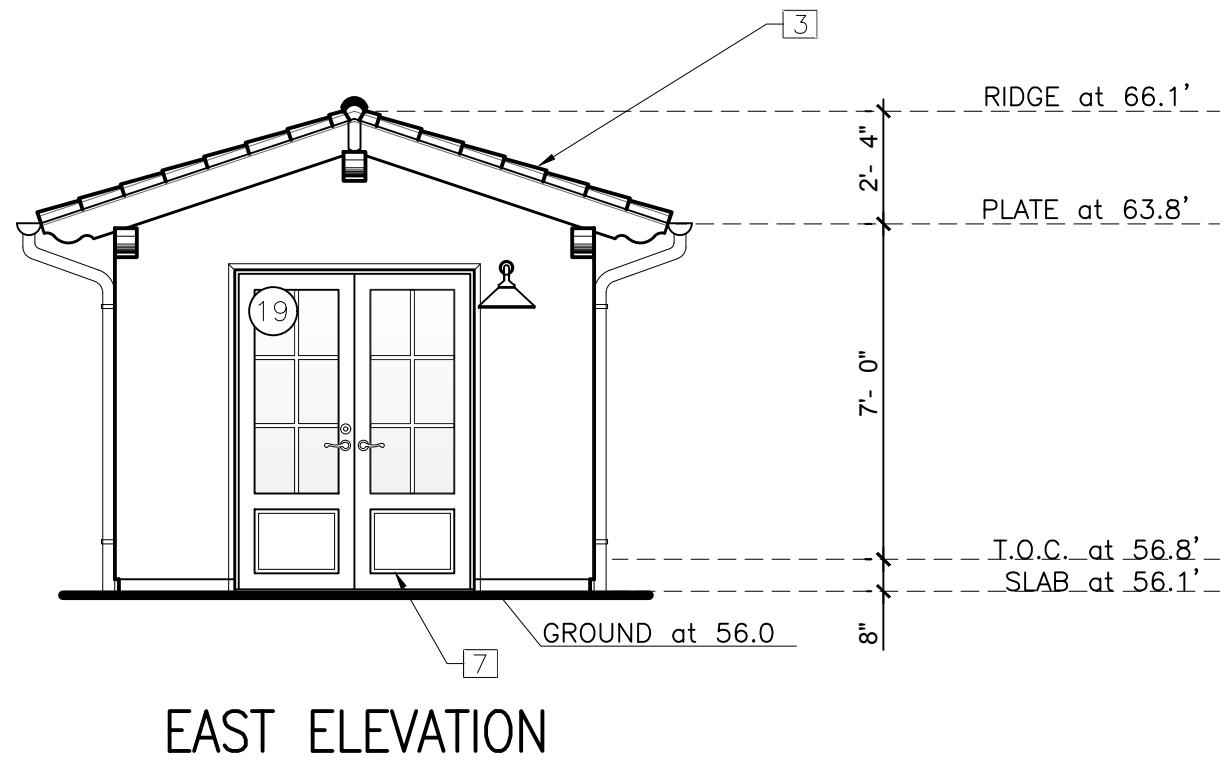
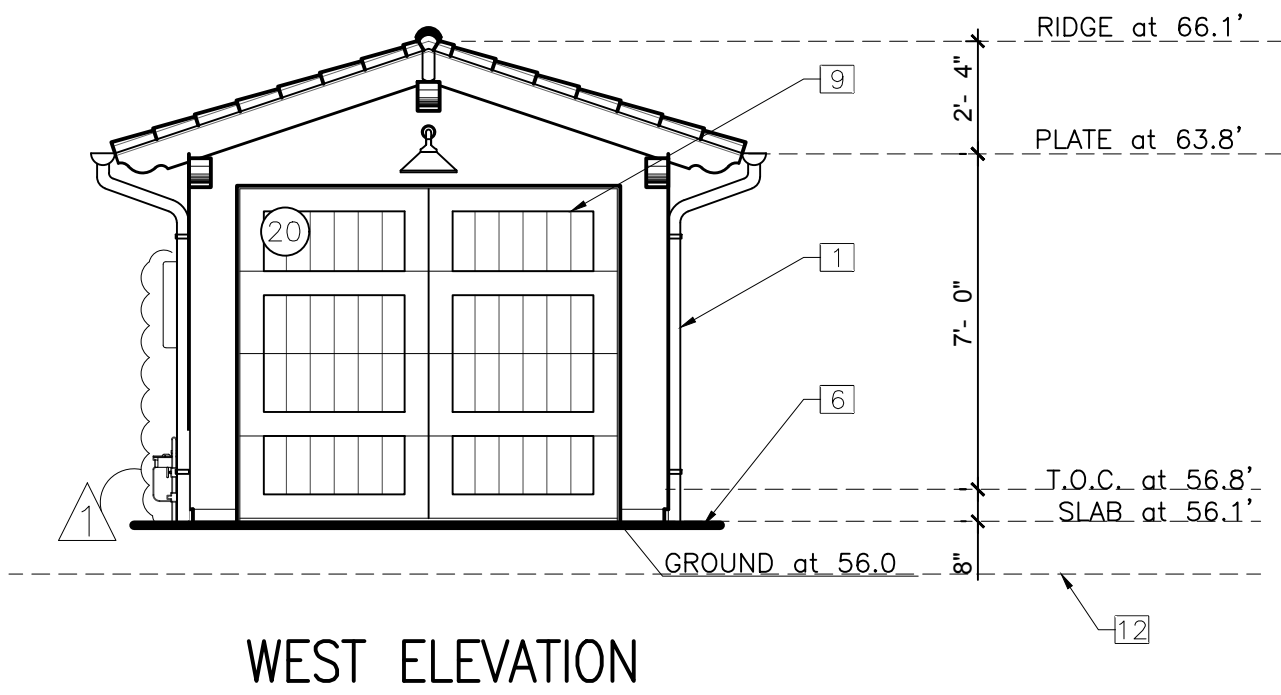
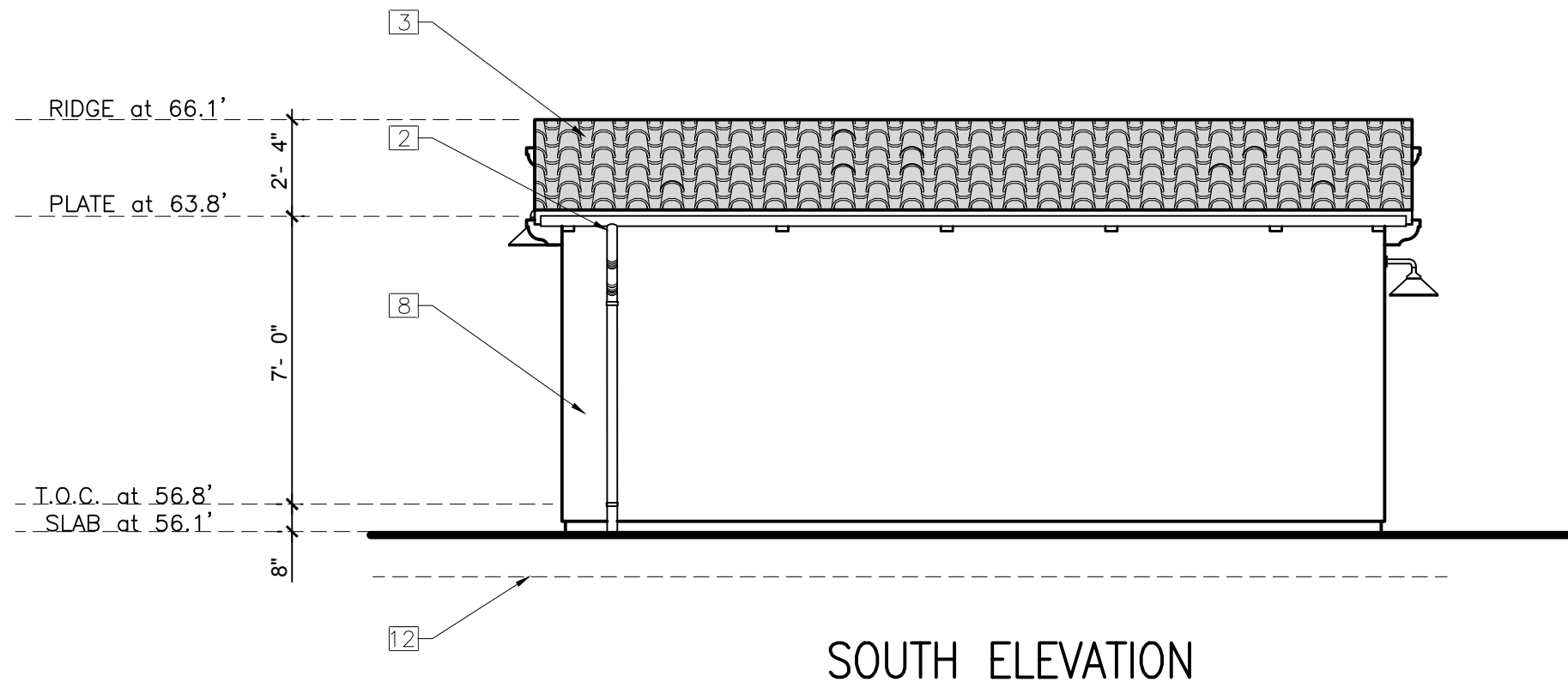
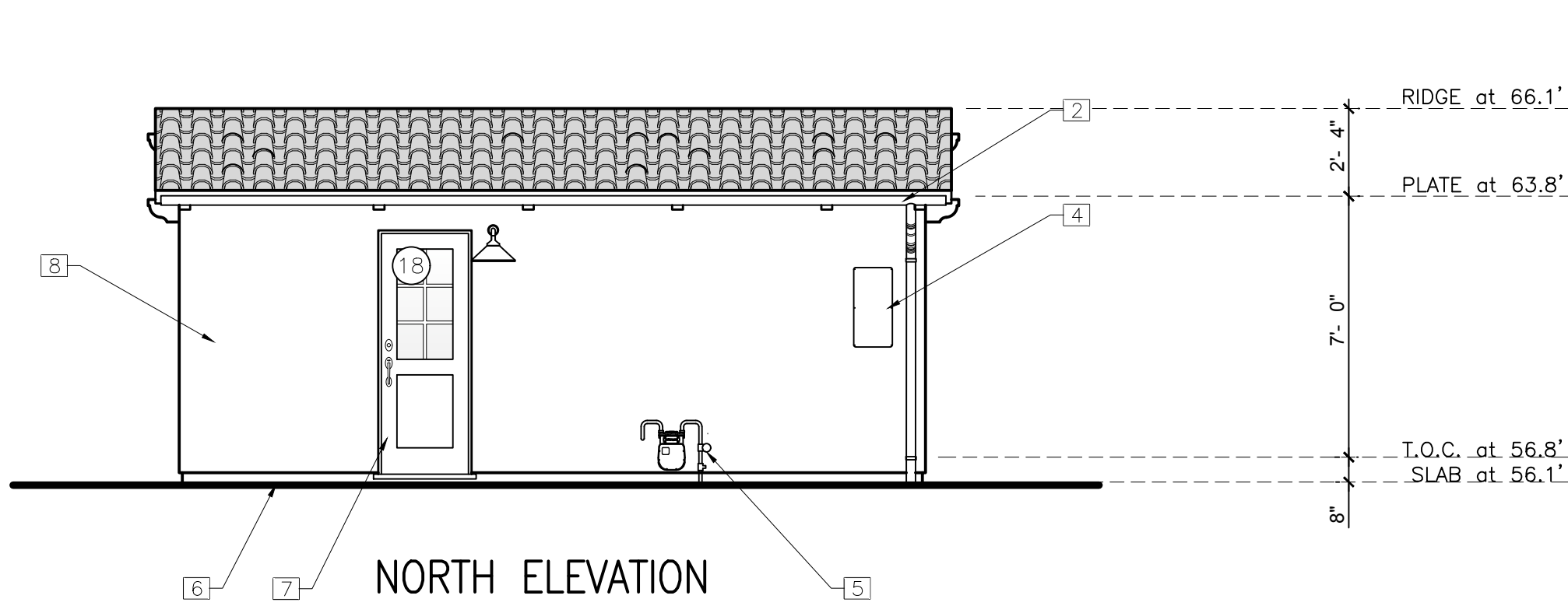
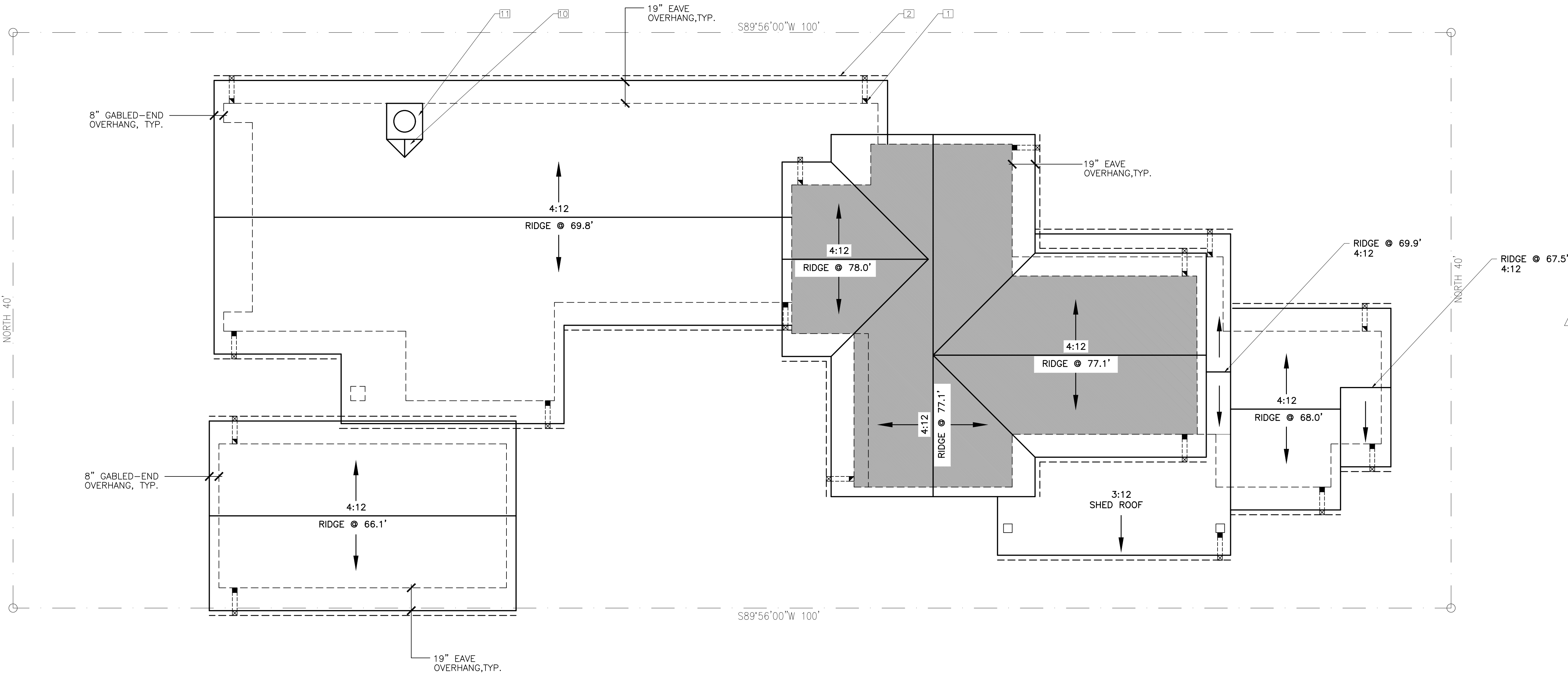
ISSUE:

ROOF PLANS &
GARAGE ELEVATIONS
(PROPOSED)

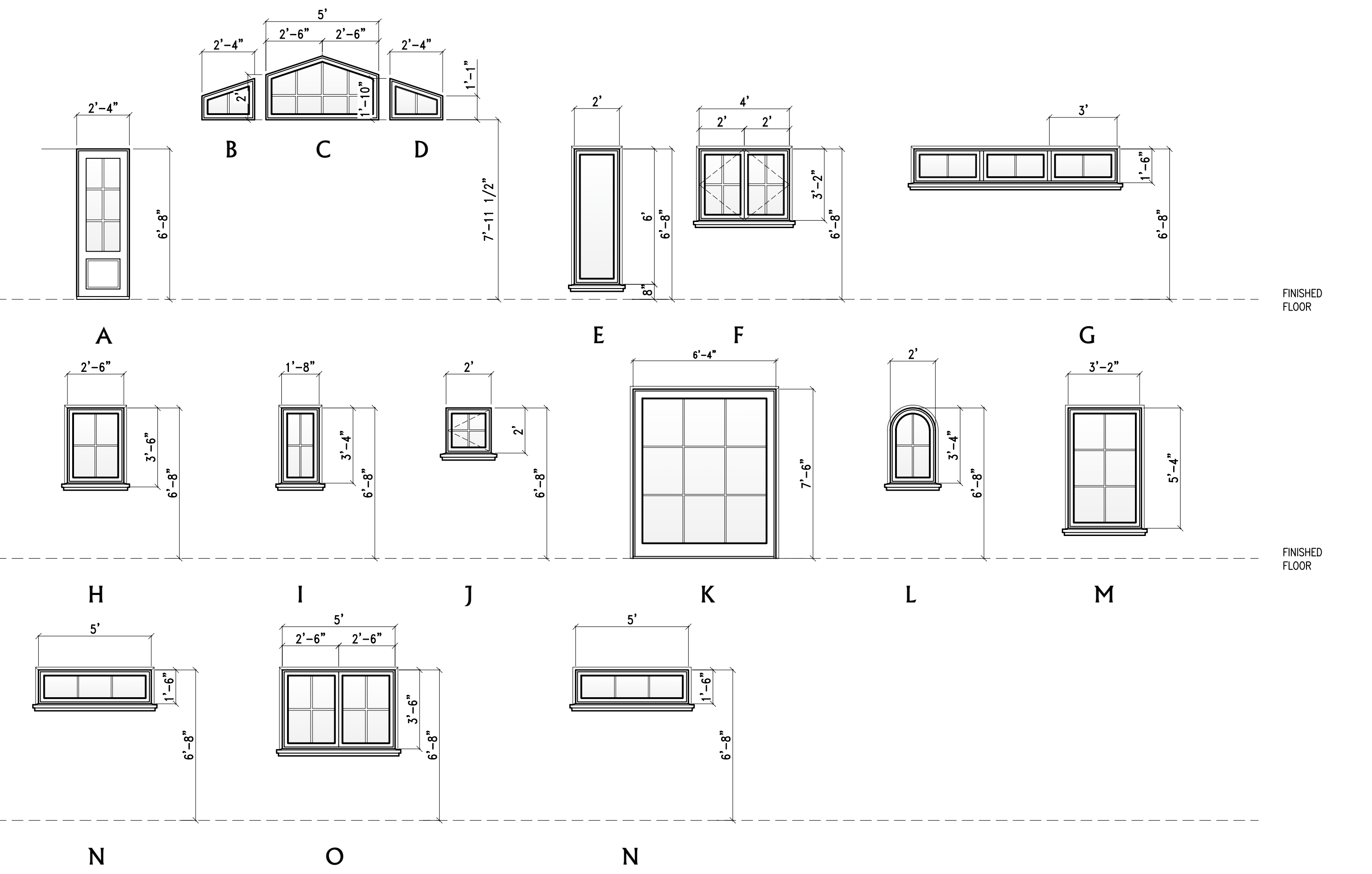
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A3.2

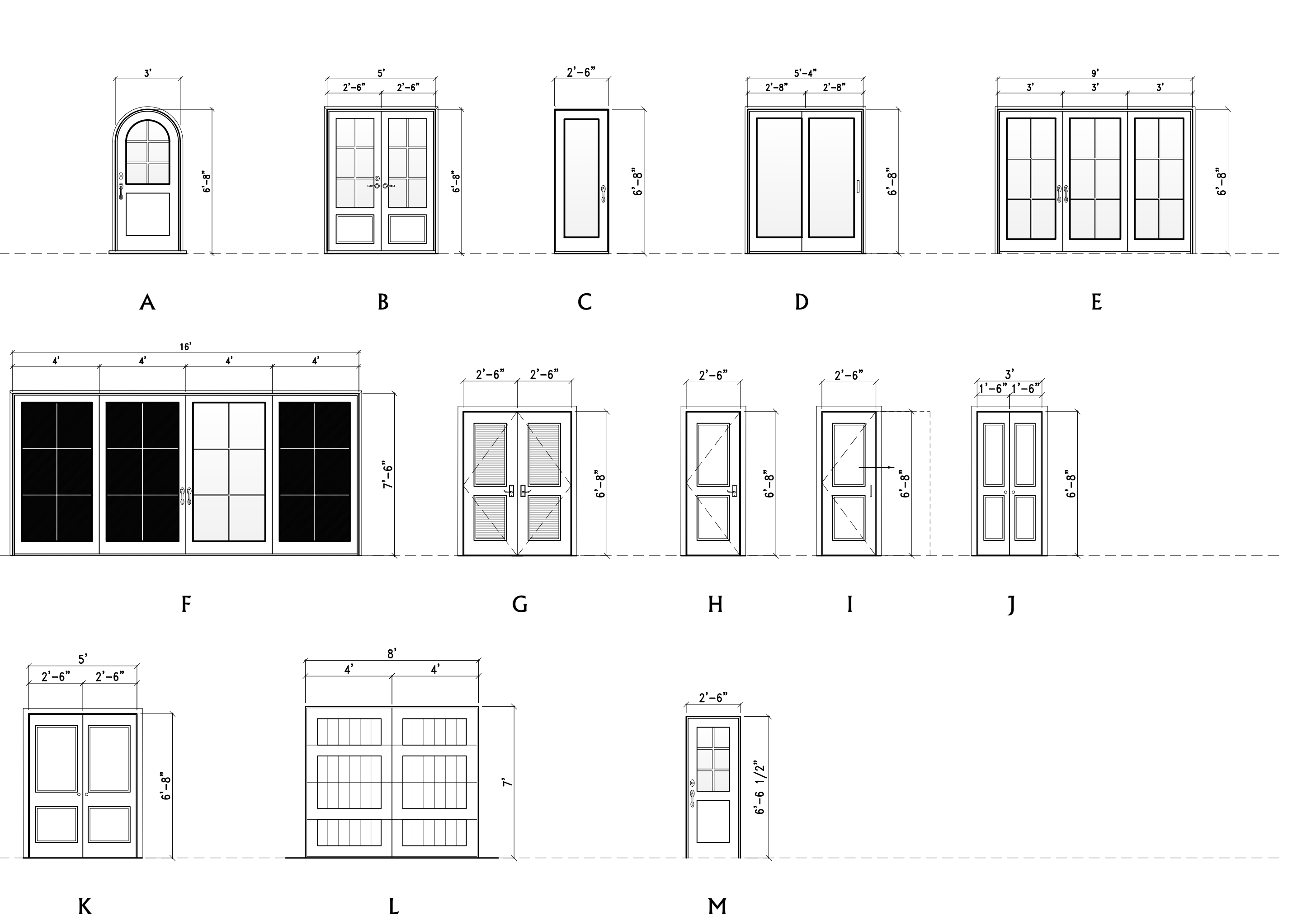
DRAWN BY:
C.O.



Window Elevation Types



Door Elevation Types



Window Schedule

		NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED	SCREEN	EGRESS WINDOWS
MAIN LEVEL	1	LIVING ROOM	A	2'-4" X 6'-8"	FF	FIXED		WOOD CLAD	YES	YES	NO	NO
	2	LIVING ROOM	A	2'-4" X 6'-8"	FF	FIXED		WOOD CLAD	YES	YES	NO	NO
	3	LIVING ROOM	D	2'-4" X 1'-10" X 1'-1"	FF	FIXED		WOOD CLAD	YES	YES	NO	NO
	4	LIVING ROOM	C	5'-0" X 2'-0"	FF	FIXED		WOOD CLAD	YES	YES	NO	NO
	5	LIVING ROOM	B	2'-4" X 1'-10" X 1'-1"	FF	FIXED		WOOD CLAD	YES	YES	NO	NO
	6	KITCHEN/DINING	E	2'-0" X 6'-0"	FF	CASEMENT		WOOD CLAD	YES	YES	YES	NO
	7	KITCHEN/DINING	E	2'-0" X 6'-0"	FF	CASEMENT		WOOD CLAD	YES	YES	YES	NO
	8	KITCHEN	F	4'-0" X 3'-2"	FF	CASEMENT		WOOD CLAD	YES	YES	YES	NO
	9	MASTER BATHROOM	G	3'-0" X 1'-6"	FF	AWNING		WOOD CLAD	YES	YES	YES	NO
	10	MASTER BEDROOM	G	3'-0" X 1'-6"	FF	AWNING		WOOD CLAD	YES	YES	YES	NO
	11	MASTER BEDROOM	G	3'-0" X 1'-6"	FF	AWNING		WOOD CLAD	YES	YES	YES	NO
	12	MASTER BATHROOM	H	2'-6" X 3'-6"	FF	CASEMENT		WOOD CLAD	YES	YES	YES	NO
	13	MASTER BATHROOM	I	1'-8" X 3'-4"	FF	CASEMENT		WOOD CLAD	YES	YES	YES	NO
	14	BATHROOM ONE	J	2'-0" X 2'-0"	FF	CASEMENT		WOOD CLAD	YES	YES	YES	NO
	15	BATHROOM	K	6'-4" X 7'-6"	FF	FIXED		WOOD CLAD	YES	YES	NO	NO
UPPER LEVEL	16	BATH	L	2'-0" X 3'-4"	FF	CASEMENT		WOOD CLAD	YES	YES	YES	NO
	17	STAIRS	M	3'-2" X 5'-4"	FF	FIXED		WOOD CLAD	YES	YES	NO	NO
	18	STAIRS	M	3'-2" X 5'-4"	FF	FIXED		WOOD CLAD	YES	YES	NO	NO
	19	STAIRS	M	3'-2" X 5'-4"	FF	FIXED		WOOD CLAD	YES	YES	NO	NO
	20	BEDROOM TWO	N	5'-0" X 1'-6"	FF	AWNING		WOOD CLAD	YES	YES	YES	NO
	21	BEDROOM TWO	O	5'-0" X 3'-6"	FF	CASEMENT		WOOD CLAD	YES	YES	YES	YES
	22	BEDROOM ONE	N	5'-0" X 1'-6"	FF	AWNING		WOOD CLAD	YES	YES	YES	NO
	23	BEDROOM ONE	O	5'-0" X 3'-6"	FF	CASEMENT		WOOD CLAD	YES	YES	YES	YES

Window Manufacture:
MANUFACTURE: SIERRA PACIFIC
TYPE: ASPEN CASEMENT

Door Schedule

		NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED
MAIN LEVEL	1	ENTRY	A	3'-0" X 6'-8"	FF	GLASS / PANELED	OUTSIDE	WOOD CLAD	NO	YES
	2	LIVING ROOM	B	(2) PER- 2'-6" X 6'-6"	FF	GLASS / PANELED FRENCH DOOR	OUTSIDE	WOOD CLAD	NO	YES
	3	MASTER BEDROOM	C	2'-6" X 6'-8"	FF	GLASS / PANELED FRENCH DOOR	OUTSIDE	WOOD CLAD	NO	NO
	4	MASTER BATH	D	(2) PER- 2'-8" X 6'-8"	FF	GLASS / SLIDER	OUTSIDE	WOOD CLAD	NO	NO
	5	MASTER BEDROOM	E	(3) PER- 3'-0" X 6'-8"	FF	GLASS / BI-FOLDING DOORS	OUTSIDE	WOOD CLAD	NO	NO
	6	KITCHEN	F	(4) PER- 4'-0" X 6'-8"	P	GLASS / SLIDER	OUTSIDE	WOOD CLAD	NO	NO
	7	HALLWAY	G	(2) PER 2'-6" X 6'-8"	P	LOUVERED DOOR	INSIDE	WOOD CLAD	NO	NO
	8	BATHROOM ONE	H	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD CLAD	NO	NO
	9	HALLWAY	H	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD CLAD	NO	NO
	10	MASTER CLOSET	H	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD CLAD	NO	NO
	11	MASTER BATHROOM	I	2'-6" X 6'-8"	P	FLUSHED / PANELED POCKET DOOR	INSIDE	WOOD CLAD	NO	NO
	12	MASTER BATHROOM	H	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD CLAD	NO	NO
UPPER LEVEL	13	BATH	H	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD CLAD	NO	NO
	14	BEDROOM ONE	H	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD CLAD	NO	NO
	15	BEDROOM ONE CLOSET	J	(2) PER- 1'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD CLAD	NO	NO
	16	BEDROOM TWO	H	2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD CLAD	NO	NO
	17	BEDROOM TWO	K	(2) PER 2'-6" X 6'-8"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD CLAD	NO	NO
	18	GARAGE	M	2'-6" X 6'-8"	FF	FLUSHED / PANELED FRENCH DOOR	OUTSIDE	WOOD CLAD	NO	NO
	19	GARAGE	B	(2) PER- 2'-6" X 6'-6"	FF	FLUSHED / PANELED FRENCH DOOR	OUTSIDE	WOOD CLAD	NO	NO
	20	GARAGE	L	8'-0" X 7'-0"	P	ROLL-UP WOOD CARRIAGE GARAGE DOOR	OUTSIDE	WOOD CLAD	NO	NO

Door Manufacture:
MANUFACTURE: SIERRA PACIFIC
TYPE: ALL WOOD

Door Notes:

1. PROVIDE DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. SEE SCHEDULE FOR ADDITIONAL REQUIREMENTS.
2. PROVIDE PRIVACY HARDWARE FOR ALL BEDROOM AND BATHROOM LOCATIONS.
3. GENERAL CONTRACTOR TO CONSULT WITH OWNER FOR ADDITIONAL DOOR HARDWARE REQUIREMENTS.
4. ALL DOOR GLAZING TO BE TEMPERED GLASS.
5. ALL EXTERIOR DOOR GLAZING TO BE 5/8" INSULATED TEMPERED GLASS.
6. DOORS BETWEEN UNCONDITIONED AND UNCONDITIONED SPACES TO BE FULLY WEATHER STRIPPED.
7. GENERAL CONTRACTOR TO REVIEW DOOR ORDER WITH ARCHITECT PRIOR TO DOOR ORDER PLACEMENT.
8. DOOR HINGES TO BE 4.5"HX4.5"W. DOOR 7'-0"
9. ALL DOOR TOPS AND BOTTOM TO BE SANDED, FINISHED. AND SEALED.
10. GARAGE DOORS : SEE SCHEDULE AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
11. THE DOOR FINISH PER CLIENT OR CODG, INC.
12. THE DOOR STILES TO BE PER PLAN
13. CHECK FLOOR PLAN FOR HINGES LOCATION
14. PER THE ENERGY CODE ALL WINDOWS ARE TO BE LAMINATED DOUBLE GLAZING PANE.

Window Notes:

1. PROVIDE SAFETY GLAZING (TEMPERED OR LAMINATED) AS REQUIRED PER C.B.C.
2. SCREEN COLOR TO BE SPECIFIED BY CLIENT
3. GENERAL CONTRACTOR TO VERIFY THE WINDOW ORDER AND ROUGH FRAMING WITH THE DESIGNER/ARCHITECT PRIOR TO PLACEMENT OF THE WINDOW ORDER.
4. THE WINDOW MANUFACTURER WILL SUPPLY SHOP DRAWINGS FOR SPECIAL WINDOWS (OVERSIZE,ETC.) PRO REVIEW BY CODG, Inc.
5. APPLY SISAL KRAFT PAPER AROUND ALL EXTERIOR OPENING.
6. PROVIDE CONTINUOUS CAULK AROUND ALL WINDOW OPENINGS WITH C.E. SILICONE ACRYLIC POLYSULFIDE OR URETHANE AS REQUIRED.
7. ALL MANUFACTURED WINDOWS TO BE CERTIFIED AND LABELED MEETING STANDARDS LISTED IN TABLE 2-53V OF TITLE 24.
8. EXTERIOR WINDOW FINISH TO BE SEALED, U.N.O.
9. ALL OPERABLE WINDOWS TO HAVE SCREENS. AS SPECIFY BY CLIENT.
10. SEE EXTERIOR ELEVATIONS FOR ALL WINDOW HEAD HEIGHTS.
11. DOUBLE PANE LAMINATED GLASS AS SPECIFIED TITLE 24 GLASS & GLAZING SEC. 2401 & TABLE 2403.2.1
12. PER THE ENERGY CODE ALL WINDOWS ARE TO BE GLAZING AS DUAL PANE.
13. WINDOW JAMS TO BE 3-1/2-INCHES WITHOUT EXTENSION JAMS AND DELIVERED WITH EXTERIOR WOOD SILLS ONLY. (U.N.O)

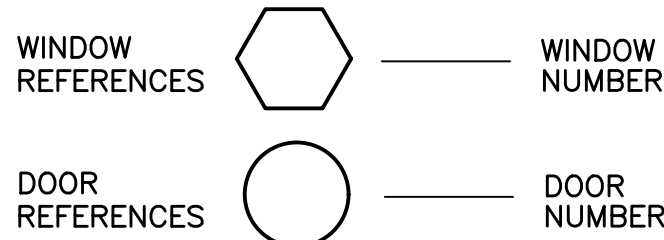
Note:

1. FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATIONS
2. ALL WINDOW DIMENSIONS ARE THE ROUGH OPENING SEE ELEVATIONS
3. ALL DOOR DIMENSIONS ARE ACTUAL DOOR SIZE & OPENING SEE ELEVATIONS

Tempered Glass Note:

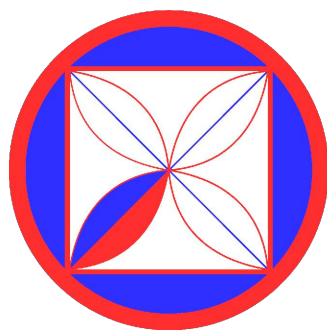
- EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED GLASS. THE FOLLOWING LOCATIONS SHALL BE HAZARDOUS LOCATIONS FOR GLAZING:
- A) GLAZING IN DOORS.
 - B) GLAZING IN A FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60-INCHES ABOVE THE FLOOR OR WALKING SURFACE AND ITS EITHER WITHIN 24-INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR "OR" WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR WITHIN 24-INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.
 - C) GLAZING IN WINDOWS THAT MEET ALL THE FOLLOWING CONDITIONS:
 1. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET.
 2. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 3. THE TOP EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 4. ONE OR MORE WALKING SURFACES ARE WITHIN 36-INCHES, MEASURED HORIZONTALLY.
 - D) GLAZING IN GUARDS AND RAILINGS.
 - E) GLAZING IN WALLS CONTAINING OR FACING TUBS, SHOWERS AND OTHER WET SURFACES WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60-INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACES, INCLUDING SHOWER DOORS AND SURROUNDINGS.
 - F) GLAZING ADJACENT TO STAIRS AND RAMPS.

Symbols



Abbreviations

- | | |
|------|--------------------|
| N/A | NOT APPLICABLE |
| G.C. | GENERAL CONTRACTOR |
| P | PAINT |
| ST | STAIN |
| FF | FACTORY FINISH |
| I.D. | INTERIOR DESIGN |
| S | SEALED |
| MFR. | MANUFACTURER |
| FIN. | FINISH |
| NAT. | NATURAL |



CODG
CLAUDIO ORTIZ DESIGN GROUP, INC
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OFFICE: 831.626.4146
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REVISIONS:

PROJECT: Hermie Collins Residence: San Carlos St.
3 SW of 1st, Corral, CA
Monterey County, California
Block: 11 Lot: North Port of 8 & SouthPort of 10
APN: 010-121-013-000
PROJECT NO. 21-08

ISSUE: 021-08-2021

DRAWN BY: D.Santana

WINDOW & DOOR
SCHEDULE
(PROPOSED)

SCALE: 1/4" = 1'

A3.3



BULB

MANUFACTURE: PHILLIPS
WATTS: 4 WATTS
LUMENS: 150
BULB TYPE: B11 LED SOCKET



FIXTURE A

MANUFACTURE: HAMPTON BAY
T24 COMPLIANT: YES
COLOR: COPPER
WATTS: 4 WATTS
LUMENS: 150
BULB TYPE: SEE BULB
DIMENSIONS: 16"H X 10.5"W X 11"



FIXTURE B

MANUFACTURE: WORLD IMPORTS
T24 COMPLIANT: YES
COLOR: ANTIQUE COPPER
WATTS: 4 WATTS
LUMENS: 150
BULB TYPE: SEE BULB
DIMENSIONS: 16"H X 10.5"W

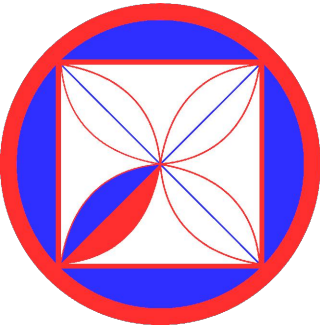


FIXTURE C

MANUFACTURE: WAC LEDme
T24 COMPLIANT: N/A
COLOR: BRONZE
WATTS: 3.9 WATTS
LUMENS: 68
BULB TYPE: LED MODULE
DIMENSIONS: 21"H X 8"W

EXTERIOR LIGHTING NOTES

1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10- FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
2. LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAT 10- FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.



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REVISIONS:
01-06-2023

PROJECT:
Hermie Collins Residence: San Carlos St.
3 SW of 1st, Carmel-By-The-Sea
Monterey County, California
Block: 11 Lot: North Port of 8 & SouthPort of 10
APN: 010-121-013-000
PROJECT NO.
21-08

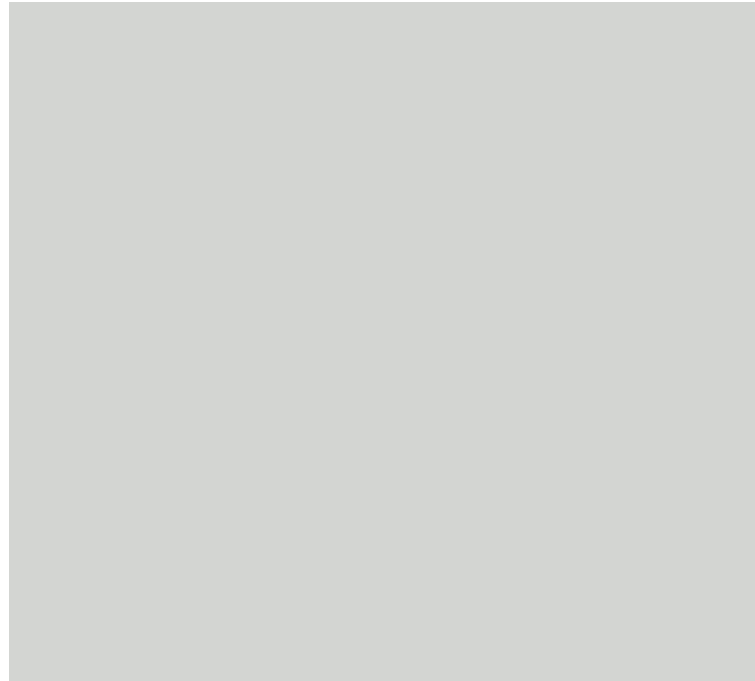
ISSUE:
DRAWN BY:
D.Santana

MATERIALS
SCALE: 1" = 1/4"
A4.0



BARREL ROOF TILE

MANUFACTURE: LUDOWICI
COLOR: PALM BEACH MISSION PALM BEACH MISSION
LOCATION: EXTERIOR



COLOR EXTERIOR

MANUFACTURE: SHERWIN-WILLIAMS
COLOR: REFLECTION / SW 7661
LOCATION: EXTERIOR
LOCATOR NUMBER: 233-C1



WINDOW FRAME COLOR EXTERIOR

MANUFACTURE: SHERWIN-WILLIAMS
COLOR: SHIITAKE
LOCATION: EXTERIOR
LOCATOR NUMBER: 248-C1



DRY STACKED RETAINING WALL



NEW 4-FOOT FENCE

MATERIAL: REDWOOD
FINISH: NATURAL
HEIGHT: 4-FT.



DRIVEWAY

MANUFACTURE: CALSTONE
COLOR: OAK BARREL GRAY
INSTALLATION: SET ON SAND



PATIO

MANUFACTURE: CARMEL STONE
COLOR: NATURAL
INSTALLATION: SET ON SAND



WALKWAY

MANUFACTURE: CARMEL STONE
COLOR: NATURAL
INSTALLATION: SET ON SAND



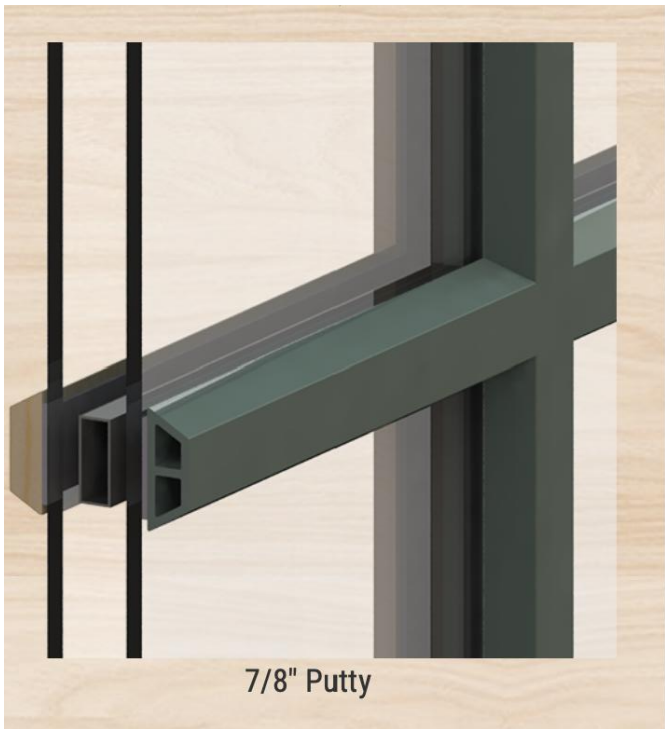
NEW 6-FOOT FENCE

MATERIAL: REDWOOD
FINISH: NATURAL
HEIGHT: 6-FT.



GUARDRAIL

MANUFACTURE: CUSTOM
COLOR: BRONZE
MATERIAL: ROUGH IRON, GALV.



WINDOW

MANUFACTURE: SIERRA PACIFIC
COLOR: LINEN 032
MATERIAL: WOOD-CLAD
STYLE: CASEMENT
MUNTIN: 7/8" PUTTY

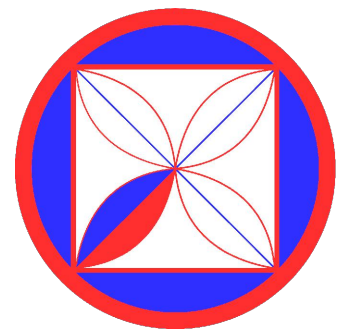
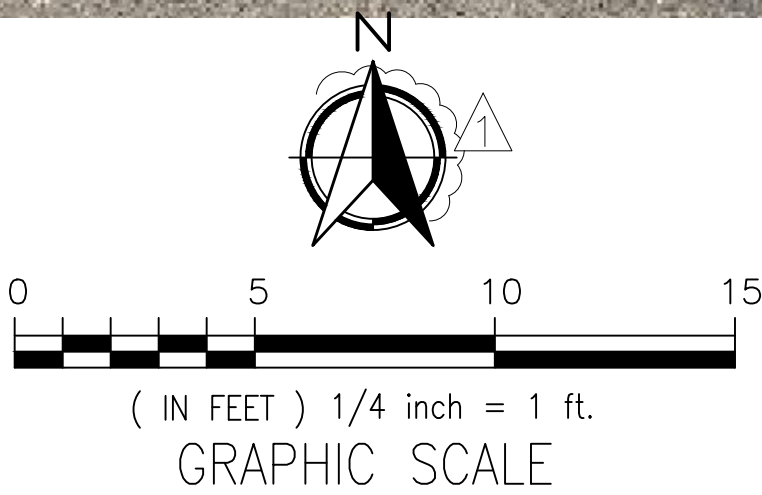
Linen*
032



San Carlos Street
EXISTING EAST ELEVATION



San Carlos Street
PROPOSED EAST ELEVATION



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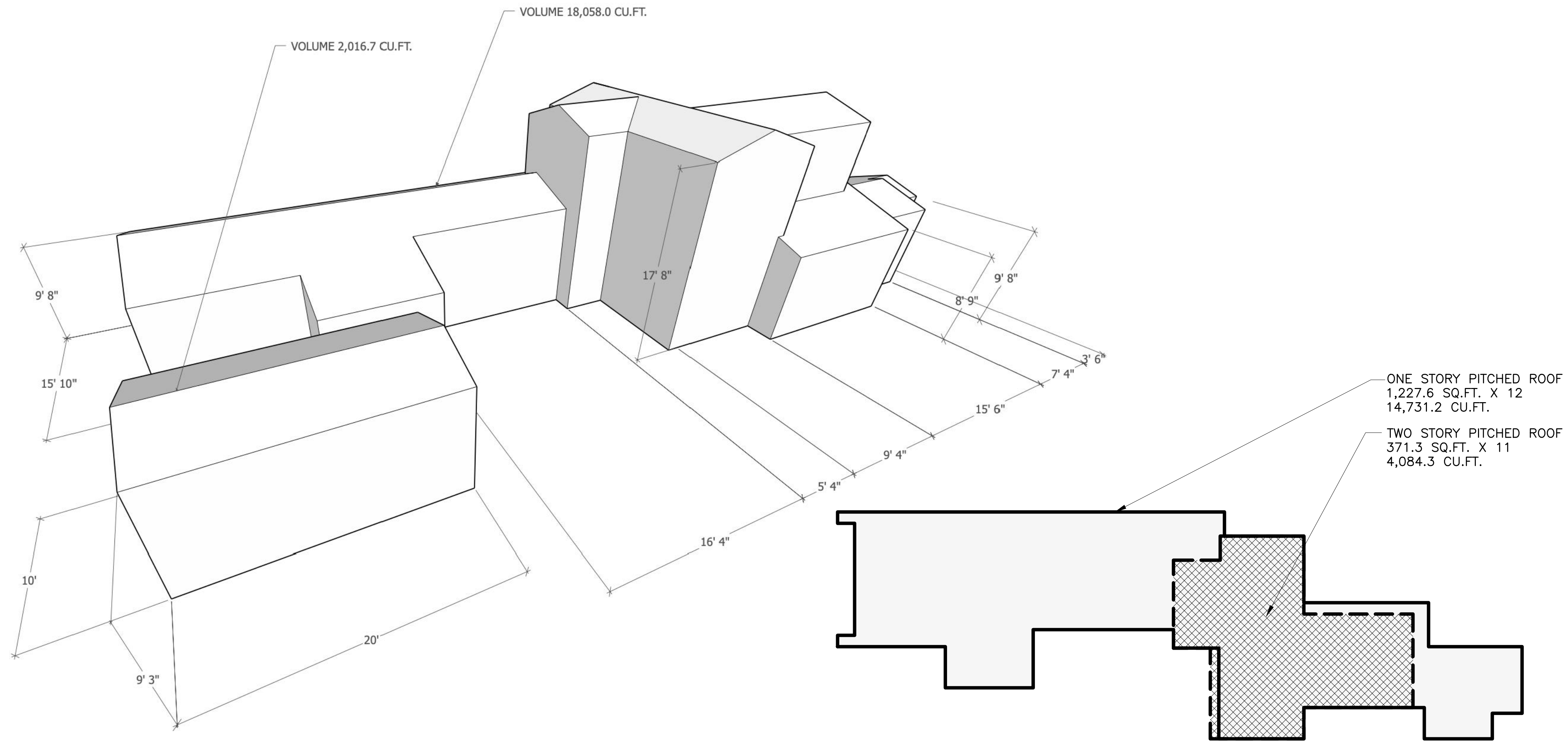
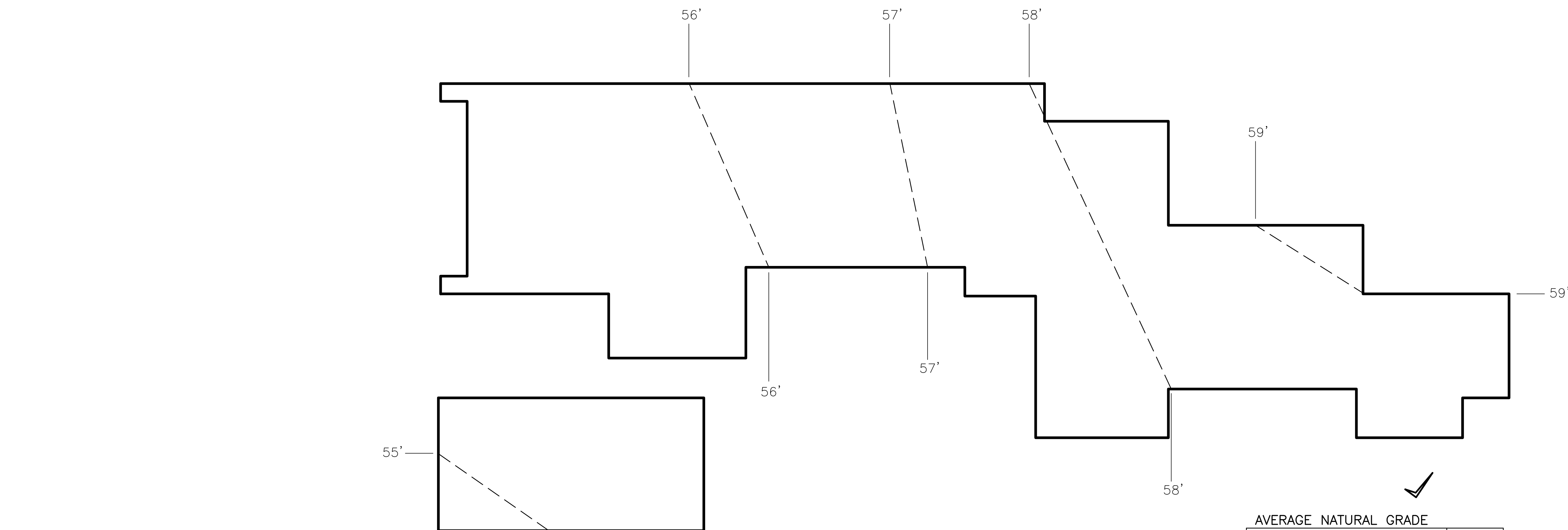
REVISIONS:
01-06-2023

PROJECT:
Hermie Collins Residence: San Carlos St.
3 SW of 1st, Carmel-By-The-Sea
Monterey County, California
Block: 11 Lot: North Port of 8 & SouthPort of 10
APN: 010-121-013-000
PROJECT NO.
21-08

ISSUE:
DRAWN BY:
D.Santana

STREET SCOPE
SCALE: 1" = 1/4"

A5.0



AVERAGE NATURAL GRADE

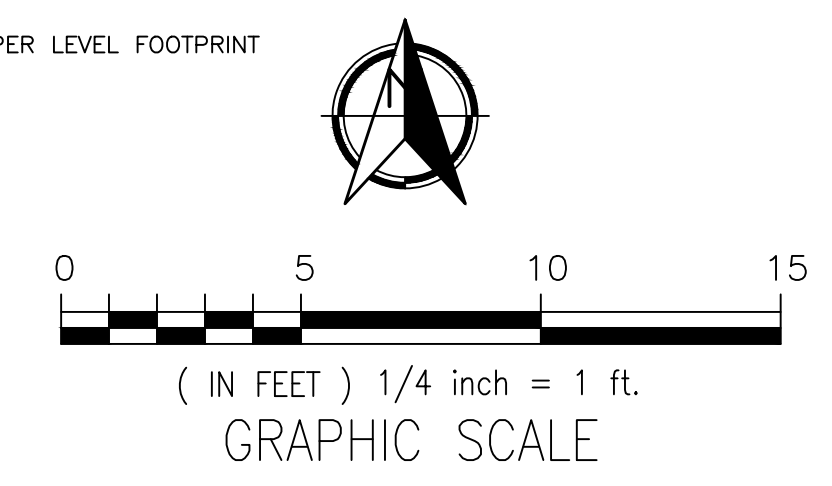
DWELLING AVERAGE NATURAL GRADE			57.5 FT
ELEV.	LINE	LENGTH	TOTAL
56 FT	0	15.0'	0
57 FT	1	14.0'	14.0'
58 FT	2	25.3'	50.6'
59 FT	3	9.6'	28.8'
TOTAL		63.9'	93.4
MATH: 93.4 / 63.9 = 1.46			
FACTOR: = 1.5			
A.N.G. = 56 FT + 1.4 FACTOR =57.5 FT			

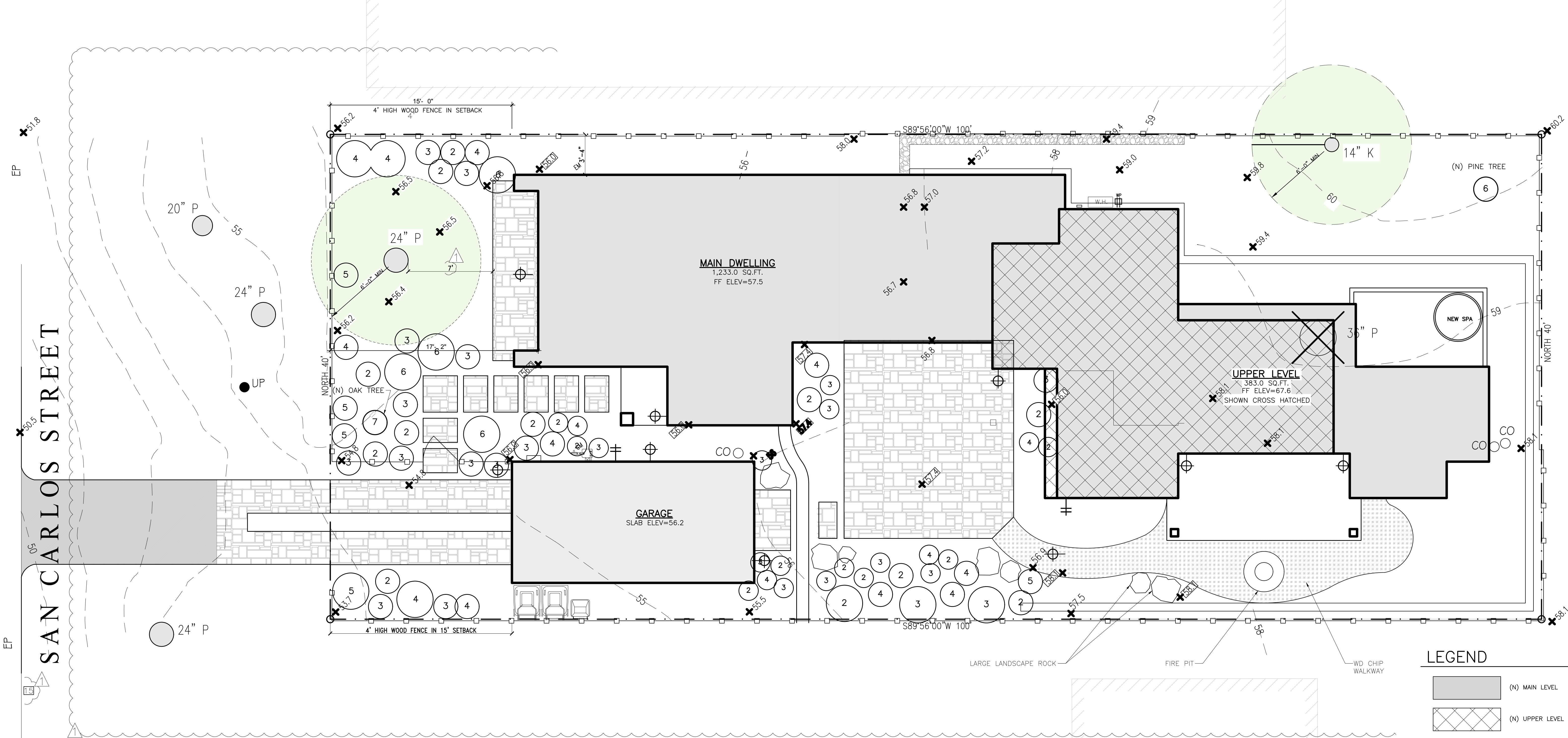
VOLUME ANALYSIS

MAIN LEVEL PITCH	1,227.6 SF X 12	14,731.2 CU.FT.
UPPER LEVEL PITCH	371.3 SF X 11	4,084.3 CU.FT.
GARGAE	200.0 SF X 12	4,200.0 CU.FT.
VOLUME ALLOWED		23,015.5 CU.FT.
VOLUME PROPOSED		20,074.7 CU.FT.

LEGEND

- LOWER LEVEL PITCHED ROOF
- UPPER LEVEL PITCHED ROOF
- MAIN LEVEL FOOTPRINT
- UPPER LEVEL FOOTPRINT





EXTERIOR LIGHTING NOTES

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2. LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAT 10- FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFETY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.

IRRIGATION SYSTEM

1. 1-INCH ANTISYPHON DEVICE
2. 1-INCH ELECTRIC VALVES
3. FILTER PLUS REGULATOR FOR EACH VALVE
4. ELECTRIC CONTROLLER
5. EACH PLANT TO BE ON DRIP SYSTEM
6. ALL PLANTS WILL BE PLANTED WITH AGRIFORM
7. TABS FOLLOWING MANUFACTURE DIRECTIONS.
8. COMPOST WILL BE MIXED WITH SOIL AT 2:1

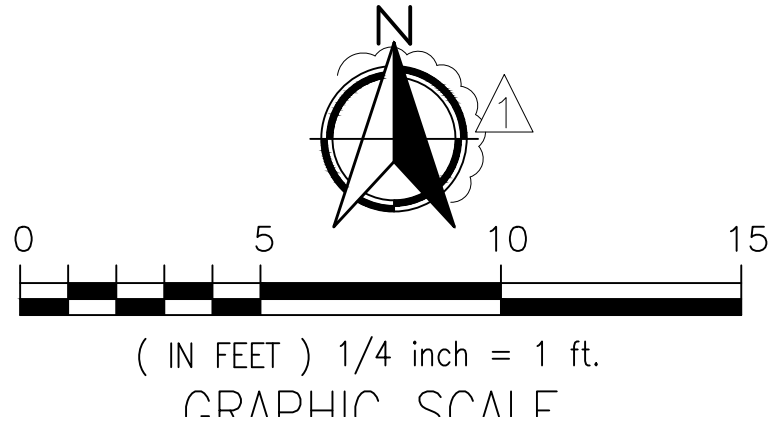
PLANT INDEX			
No.	BOTANICAL NAME	COMMON NAME	SIZE
1	AGAPANTHUS PETER PAN	LILY OF THE NILE	1 GAL
2	CISTUS DORIS HIBBERSON	ROCK ROSE	5 GAL
3	LAVANDULA STOECHAS	SPANISH LAVENDER	5 GAL
4	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	5 GAL
5	PRUNUS CAROLINIANA	CAROLINA CHERRY LAUREL (TRIM AS HEDGE)	5 GAL
6	EASTERN WHITE PINE TREE	PINE TREE	5 GAL
7	OAK TREE	QUERCUS	5 GAL

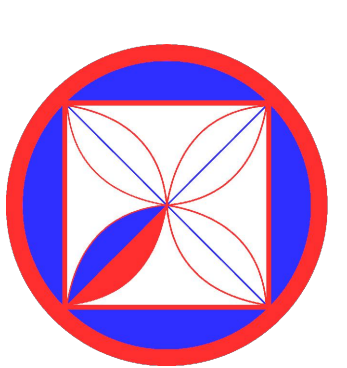
LIGHT KEY

⦿ PATH LIGHT, 3 WATTS LED, SEE FIXTURE "C" ON SHEET 6.0
MAY NOT BE SPACED CLOSER THAN 10- FEET APART

LEGEND

- (N) MAIN LEVEL
- (N) UPPER LEVEL
- (N) MAIN LEVEL MASTER BR ON SLAB
- HARDSCAPE
- PROPERTY LINE
- MIN. SETBACKS
- NEW 6-FOOT FENCE
- NEW ELEVATION MARKER
- LIGHT FIXTURE, SEE SHEET A4.0 FOR SPEC'S
- HOSE BIB
- GAS VALVE
- (E) TREE TO REMAIN
- (N) TREE
- (E) TREE TO BE REMOVED
- NEW RETAINING WALL





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PROJECT NO. 21-08

ISSUE:

DRAWN BY:
D.Santana

LANDSCAPE PLAN
(PROPOSED)

SCALE: 1' = 1/4"

L1.0