



# ULRIKA PLAZA

## Corner of 5th & Dolores St. Carmel-By-The-Sea, CA 93921

### PROJECT INFORMATION

PROJECT ADDRESS:	CORNER OF 5TH AVENUE & DOLORES ST.	
A.P.N.	010-138-021-000, 010-138-003-000	
ZONING:	SC - SERVICE COMMERCIAL DISTRICT	
LOT SIZE:	16,000 SF (0.37 ACRES)	
PROPOSED BUILDING AREA:	LOWER LEVEL 15,211 SF STREET LEVEL 9,205 SF UPPER LEVEL 11,246 SF TOTAL 35,662 SF	
BUILDING COVERAGE:	MAX. ALLOWABLE BUILDING COVERAGE (90% OF LOT SIZE, BASED UPON COMPLIANCE WITH CORE COMMERCIAL DESIGN GUIDELINES)	14,400 SF
	PROPOSED BUILDING COVERAGE	14,039 SF
PROJECT DESCRIPTION:	NEW MIXED-USE BUILDING WITH TWELVE (12) APARTMENT UNITS (SEVEN (7) OF WHICH HAVE MEZZANINES), FIFTEEN (15) RETAIL SPACES AND TWENTY-SEVEN (27) UNDERGROUND CAR PARKING SPACES.	
CONSTRUCTION:	TYPE VA SPRINKLERED	
MAX. FLOOR AREA RATIO:	16,000 SF x 145% = 23,200 SF (INCLUDES 10% INTRA-BLOCK WALKWAY BONUS)	
PROVIDED FLOOR AREA:	22,978 SF	
OFF-STREET PARKING ANALYSIS:	RESIDENTIAL REQUIRED (1 PER UNIT):	12
	COMMERCIAL REQUIRED:	15
	8,964 SF RETAIL AREA / 600 =	
TOTAL REQUIRED PARKING:	27 SPACES	
TOTAL PROVIDED PARKING:	27 SPACES	
MAXIMUM COMPACT SPACES = 27 x 0.5 =	13	
COMPACT SPACES PROVIDED:	5	
STANDARD ACCESSIBLE SPACES REQUIRED:	1	
STANDARD ACCESSIBLE SPACES PROVIDED:	1	
VAN ACCESSIBLE SPACES REQUIRED:	1	
VAN ACCESSIBLE SPACES PROVIDED:	1	
RESIDENTIAL EVCS SPACES REQUIRED:	2	
RESIDENTIAL EVCS SPACES PROVIDED:	2	
NONRESIDENTIAL EVCS SPACES REQUIRED:	2	
NONRESIDENTIAL EVCS SPACES PROVIDED:	2	
CLEAN AIR VEHICLE SPACES REQUIRED:	4	
CLEAN AIR VEHICLE SPACES PROVIDED:	4	

### SHEET INDEX

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A404	COURTYARD EXTERIOR ELEVATIONS
A405	STREETSCAPE ELEVATIONS
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A412	PERSPECTIVE RENDERINGS

**WR&D**  
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### ABBREVIATIONS

### LEGEND

### SYMBOLS

### PROJECT TEAM

### GENERAL NOTES

&	AND	CONDITIONING	U.O.N.	UNLESS OTHERWISE NOTED
@	ANGLE	I.C.C.	UR	URINAL
Ø	CENTERLINE	INTL.	V.I.F.	VERIFY IN FIELD
Ø	DIAMETER OR ROUND	ID.	W.	WEST/WIDTHWISE
Ø	PERIPHERAL	INCL.	W.	WATER CLOSET
#	PROPERTY LINE	INSUL.	W.C.	WOOD
#	FOUND OR NUMBER	INT.	WD.	WINDOW
A.B.	ANCHOR BOLT	JAN.	WH.	WATER HEATER
A.B.S.	ACRYLONITRILE BUTADIENE	JAS.	WO.	WOODWORK/INSTITUTE
ABV.	ABOVE	JOH.	WO.	WITHOUT
AC	ASPHALTIC CONCRETE	JOINT	WR.	WATER RESISTANT
AC	AIR CONDITIONING	JT.	WT.	WARRANTY
ACOUS.	ACOUSTICAL	KIT.	W.W.M.	WELDED WIRE MESH
ADJ.	ADJUSTABLE	L.		
A.F.F.	ABOVE FINISH FLOOR	L.A.M.		
AGGR.	AGGREGATE	L.A.M.		
ALUM.	ALUMINUM	L.A.M.		
ANOD.	ANODIZED	L.A.M.		
A.P.A.	AMERICAN PLYWOOD ASSOCIATION	LOC.		
APPROX.	APPROXIMATE	LOC.		
ARCH.	ARCHITECTURAL	L.V.L.		
A.S.	ADJUSTABLE SHELF	L.W.		
BD.	BOARD	M.A.S.		
BIT.	BITUMINOUS	MAT.		
BLDG.	BUILDING	MAX.		
BLK.	BLOCK	M.B.		
BLKG.	BLOCKING	M.C.		
BM.	BENCH MARK	M.C.		
B.M.	BENCH MARK	M.C.		
BOT.	BOTTOM	MEMB.		
BR.	BRAKE	MECH.		
BTWN.	BETWEEN	MFR.		
B.U.R.	BUILDUP ROOFING	MIR.		
B.W.	BOTH WAYS	MIR.		
CAB.	CABINET	MIR.		
C.B.	CATCH BASIN	MIR.		
CBC.	CALIFORNIA BUILDING CODE	MIR.		
CEN.	CEMENT	MIR.		
CER.	CERAMIC	MIR.		
CFCI.	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED	MIR.		
C.F.	CUBIC FEET	MIR.		
C.I.	CAST IRON	MIR.		
C.I.	CEILING JOINT	MIR.		
C.L.G.	CEILING	MIR.		
CLKG.	CEILING	MIR.		
CL.	CLEARANCE	MIR.		
C.M.U.	CONCRETE MASONRY UNIT	MIR.		
COL.	COLUMN	MIR.		
COMP.	COMPOSITION	MIR.		
CONC.	CONCRETE	MIR.		
CONN.	CONNECTION	MIR.		
CONT.	CONTINUOUS	MIR.		
COB.	CORRUGATED	MIR.		
C.O.T.G.	CLEAN-OUT TO GRADE	MIR.		
CSMT.	CASHEMENT	MIR.		
CSWK.	CASWORK	MIR.		
C.T.	CERAMIC TILE	MIR.		
CTR.	COUNTERSINK	MIR.		
C.Y.	CUBIC YARD	MIR.		
DB.	DOUBLE	MIR.		
DEPT.	DEPTH	MIR.		
DF.	DRINKING FOUNTAIN	MIR.		
D.F.	DOUBLE FLOOR	MIR.		
D.G.	DECOMPOSED GRANITE	MIR.		
DIAG.	DIAGONAL	MIR.		
DIA.	DIAMETER	MIR.		
DIMEN.	DIMENSION	MIR.		
DISP.	DISPENSER/DISPENSER	MIR.		
DN.	DOWN	MIR.		
DRWG.	DRAWING	MIR.		
D.S.B.	DRL. STRENGTH B GRADE (GLASS)	MIR.		
D.S.	DOWNCUT	MIR.		
DWR.	DRAWER	MIR.		
D.W.	DISH WASHER	MIR.		
E.	EAST	MIR.		
E.A.	EACH	MIR.		
E.A.	EXPANSION JOINT	MIR.		
ELEV.	ELEVATION, ELEVATOR	MIR.		
ELEC.	ELECTRICAL	MIR.		
EMER.	EMERGENCY	MIR.		
ENCL.	ENCLOSURE	MIR.		
EQUIP.	EQUIPMENT N.I.C. W/ WITH	MIR.		
EW.	ELECTRIC WATER COOLER	MIR.		
EX.	EXISTING	MIR.		
EXH.	EXHAUST	MIR.		
EXT.	EXPOSED/EXPANSION	MIR.		
F.A.	FIRE ALARM	MIR.		
F.A.S.T.	FASTENER	MIR.		
F.B.	FLAT BAR	MIR.		
F.D.	FLOOR DRAIN	MIR.		
F.E.C.	FIRE EXTINGUISHER CABINET	MIR.		
F.F.	FIRE FLOOR	MIR.		
F.G.	FINISH GRADE	MIR.		
FND.	FOUNDATION	MIR.		
F.E.	FIRE EXTINGUISHER	MIR.		
F.F.	FIBERGLASS	MIR.		
FIN.	FINISH	MIR.		
F.H.M.S.	FLATHEAD MECHANICAL SCREW	MIR.		
F.H.W.S.	FLATHEAD WOOD SCREW	MIR.		
FLASH.	FLASHING	MIR.		
FLR.	FLOORING	MIR.		
FLUOR.	FLUORESCENT	MIR.		
F.O.	FACE OF	MIR.		
F.O.B.	FACE OF BLOCK	MIR.		
F.O.C.	FACE OF CONCRETE	MIR.		
F.O.F.	FACE OF FINISH	MIR.		
F.O.M.	FACE OF MASONRY	MIR.		
F.P.	FACE OF STUD	MIR.		
F.P.S.	FACE OF STUD	MIR.		
F.P.	FIREPLACE	MIR.		
F.R.P.	FIBERGLASS REINF. PANEL	MIR.		
FTG.	FOOTING	MIR.		
FURR.	FURRETING	MIR.		
FUT.	FUTURE	MIR.		
GA.	GAUGE/GAGE	MIR.		
GALV.	GALVANIZED	MIR.		
G.B.	GRAB BAR	MIR.		
G.L.	GALVANIZED IRON	MIR.		
G.L.B.	GLASS LAMINATING	MIR.		
GR.	GRADE/ING	MIR.		
G.W.B.	GYPSSUM WALLBOARD	MIR.		
H.B.	HARDSHORE	MIR.		
H.B.D.	HOLLOW CORE	MIR.		
HDR.	HEADER	MIR.		
HDRW.	HARDWARE	MIR.		
H.M.	HOLLOW METAL	MIR.		
H.S.	HORIZONTAL	MIR.		
H.S.	HEAVY SHEET	MIR.		
H.S.	HEADST.	MIR.		
HTG.	HEATING	MIR.		
H.W.	HOT WATER	MIR.		
H.WD.	HARDWOOD	MIR.		
H.WC.	HEATING/VENTILATING/	MIR.		

XXX	DOOR SYMBOL
◇	WINDOW SYMBOL
X	KEY TAG
XX	DEMOLITION TAG
—	MATCH LINE
⊙	WORK POINT, DATUM POINT OR CONTROL
⊙	VERTICAL OR HORIZONTAL DIAPHRAGM KEY
X	SECTION IDENTIFICATION
AX-Y	SHEET WHERE SECTION IS DRAWN
X	DETAIL IDENTIFICATION
AX-Y	SHEET WHERE DETAIL IS DRAWN
XXXX	FINISH GRADE (SPOT) SURFACE
XXXX	EXISTING GRADE (SPOT) SURFACE
---	PROPERTY LINE
☁	REVISION

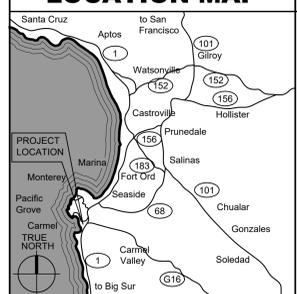
---	EARTH
---	ROCK
---	SAND, MORTAR, PLASTER
---	CONCRETE BLOCK
---	CAST-IN-PLACE (C.I.P.) CONCRETE
---	(E) STUD WALL
---	(N) STUD WALL
---	(E) STUD WALL TO BE REMOVED
---	SOUND INSULATED STUD WALL
---	METAL
---	WOOD FINISH
---	WOOD FRAMING CONTINUOUS MEMBER
---	WOOD BLOCKING
---	PLYWOOD
---	GYPSSUM WALLBOARD
---	A.C. PAVING

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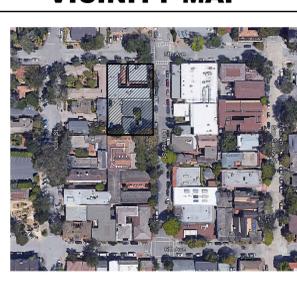
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, GRADES, AND OTHER CONDITIONS, AND SHALL CORRELATE AT THE JOB SITE ALL SUCH ITEMS. GENERAL CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION AND CORRECTION PRIOR TO BEGINNING ANY WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR (SHOW OR INFERRED) ON THESE PLANS TO RENDER THE WORK COMPLETE.
- IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY FOR THE SUPERVISION OF THE WORK.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK OR THE PROPER EXECUTION OF THE SAME.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY, PRIOR TO COMMENCEMENT OF WORK.
- THESE DRAWINGS SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO RENDER THE WORK COMPLETE, AS IS THE INTENT OF THESE DRAWINGS, EITHER SHOWN OR INFERRED HEREIN, THROUGH PROPER AND ESTABLISHED CONSTRUCTION PRACTICES.
- EXISTING CONSTRUCTION DETAILS SHOWN HEREIN ARE ASSUMED TO BE SUBSTANTIALLY CORRECT AND MAY NOT DEPICT THE ACTUAL CONDITION. THE GENERAL CONTRACTOR SHALL VERIFY (E) CONDITIONS AND NOTIFY THE ARCHITECT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- ANY PROPOSED SHUT DOWN OF UTILITIES SHALL BE REGISTERED IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT.
- PROVIDE ALL REQUIRED FIRE BLOCKINGS IN ACCORDANCE WITH SECTION 708 OF THE CURRENT ADOPTED EDITION OF C.B.C.

- APPLICABLE CODES & STANDARDS**
- 2019 NFPA 13, AUTOMATIC SPRINKLER SYSTEMS (CA AMENDED)
  - 2019 NFPA 72, NATIONAL FIRE ALARM AND SIGNALING CODE (CA AMENDED)
  - 2019 CALIFORNIA ADMINISTRATIVE CODE (CAC), CCR TITLE 24, PART 1
  - 2019 CALIFORNIA BUILDING CODE (CBC), CCR TITLE 24, PART 2, VOLUMES 1 AND 2
  - 2019 CALIFORNIA RESIDENTIAL CODE (CRC), CCR TITLE 24, PART 2.5
  - 2019 CALIFORNIA ELECTRICAL CODE (CEC), CCR TITLE 24, PART 3
  - 2019 CALIFORNIA MECHANICAL CODE (CMC), CCR TITLE 24, PART 4
  - 2019 CALIFORNIA PLUMBING CODE (CPC), CCR TITLE 24, PART 5
  - 2019 CALIFORNIA ENERGY CODE (CEC), CCR TITLE 24, PART 6
  - 2019 CALIFORNIA HISTORICAL BUILDING CODE (CHBC), CCR TITLE 24, PART 8
  - 2019 CALIFORNIA FIRE CODE (CFC), CCR TITLE 24, PART 9
  - 2019 CALIFORNIA EXISTING BUILDING CODE (CEBC), CCR TITLE 24, PART 10
  - 2019 CALIF. GREEN BUILDING STANDARDS CODE (CALGreen), CCR TITLE 24, PART 11
  - 2019 CALIFORNIA REFERENCED STANDARDS CODE, CCR TITLE 24, PART 12
  - CCR TITLE 19, PUBLIC SAFETY, DIVISION 1, STATE FIRE MARSHAL

### LOCATION MAP



### VICINITY MAP



### FIRE SPRINKLER NOTES

- THIS BUILDING SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER 2019 NFPA 13 AND FIRE ALARM SYSTEM PER CBC 903 & 907 RESPECTIVELY.
- DRAWINGS AND SUPPORTIVE CALCULATIONS FOR SPRINKLER AND FIRE ALARM SYSTEMS ARE REQUIRED TO BE SUBMITTED BY THE INSTALLING LICENSED FIRE SPRINKLER CONTRACTOR (C-16) TO THE FIRE PREVENTION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION & INSTALLATION.
- ANY INCLUDED FIRE ALARM OR FIRE SPRINKLER PROTECTION PLANS CONTAINED WITHIN THESE DOCUMENTS IS FOR REFERENCE ONLY; A SEPARATE SUBMITTAL IS REQUIRED.
- FIRE SERVICE UNDERGROUND, SYSTEM PLANS & FIRE ALARM SYSTEMS SHALL BE SUBMITTED SEPARATELY BY THE INSTALLING LICENSED (C-16) CONTRACTOR AND APPROVED BY THE FIRE DEPARTMENT & STATE FIRE MARSHAL AS APPLICABLE BEFORE A FRAMING INSPECTION MAY BE GRANTED BY THE BUILDING INSPECTION DEPARTMENT.

ULRIKA PLAZA MIXED USE  
CORNER OF 5TH AVENUE AND DOLORES STREET  
CARMEL-BY-THE SEA, CA 93921 A.P.N. NO.: 010-138-021-000, 010-138-003-000

JOB NO.  
**20013**

PRINT DATE:  
3.26.2021

PLOT DATE:  
3.26.2021

DRAWN BY:  
SC

CHECKED BY:  
PS

SET ISSUED:

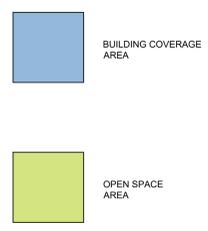
PLANNING SUBMITTAL 03.10.21

SHEET NAME:  
COVER SHEET

SHEET NO.:  
**A001**

FILE NAME: 20013-A001

**LEGEND**



**BUILDING COVERAGE**  
 16,000 SF PARCEL  
 14,039 SF BUILDING COVERAGE  
 16,000 / 14,039 = 87.74%  
 80% PLUS  
 INTRA-BLOCK WALKWAY  
 10% BONUS = 90% MAX.



**BUILDING COVERAGE DIAGRAM**  
 SCALE: 1/8"=1'-0"

**ULRIKA PLAZA MIXED USE**

CORNER OF 5TH AVENUE AND DOLORES STREET  
 CARMEL-BY-THE SEA, CA 95021 A.P.N. NO.: 010-138-021-000, 010-138-003-000

JOB NO. 20013  
 PRINT DATE: 3.26.2021  
 PLOT DATE: SC  
 DRAWN BY: PS  
 CHECKED BY: PS  
 SET ISSUED:

PLANNING SUBMITTAL 03.10.21

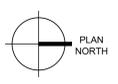
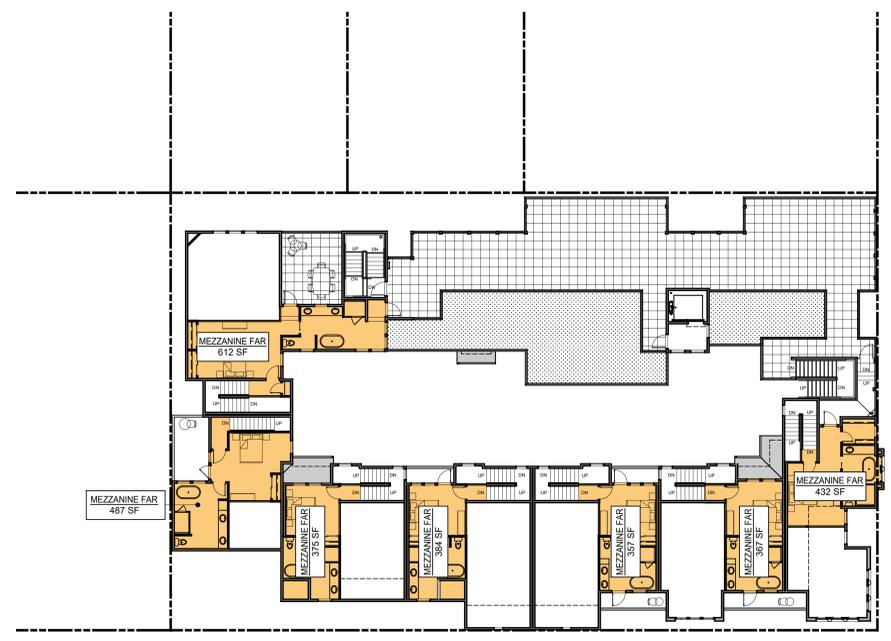
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**BUILDING COVERAGE DIAGRAM**

SHEET NO.:

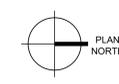
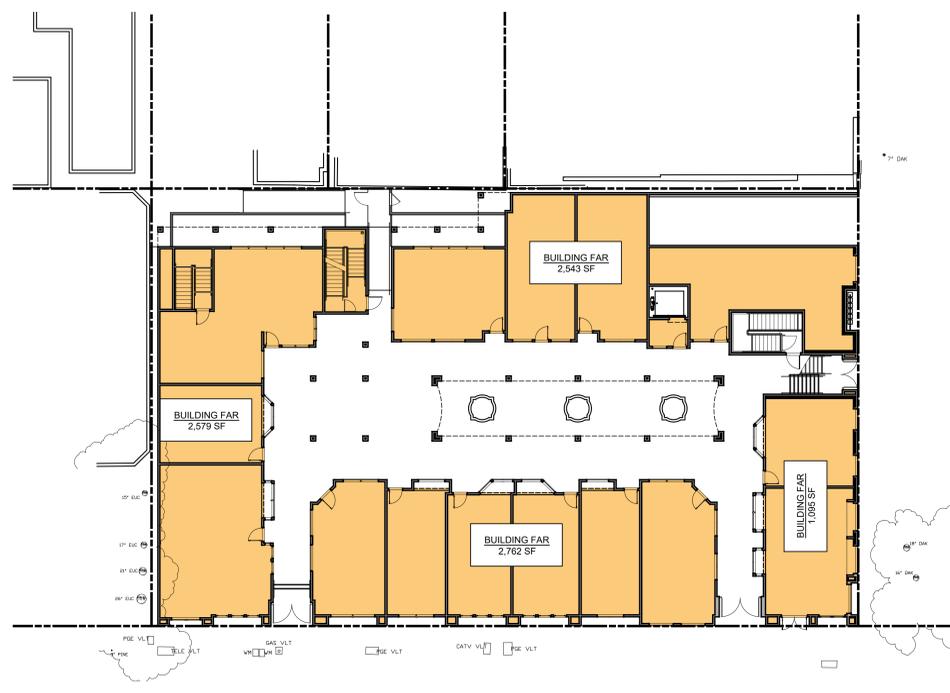
**A002**

FILE NAME: 20013-A002

**LEGEND**



**PROPOSED  
MEZZANINE FLOOR PLAN - FAR**  
SCALE: 1/16"=1'-0"

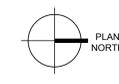
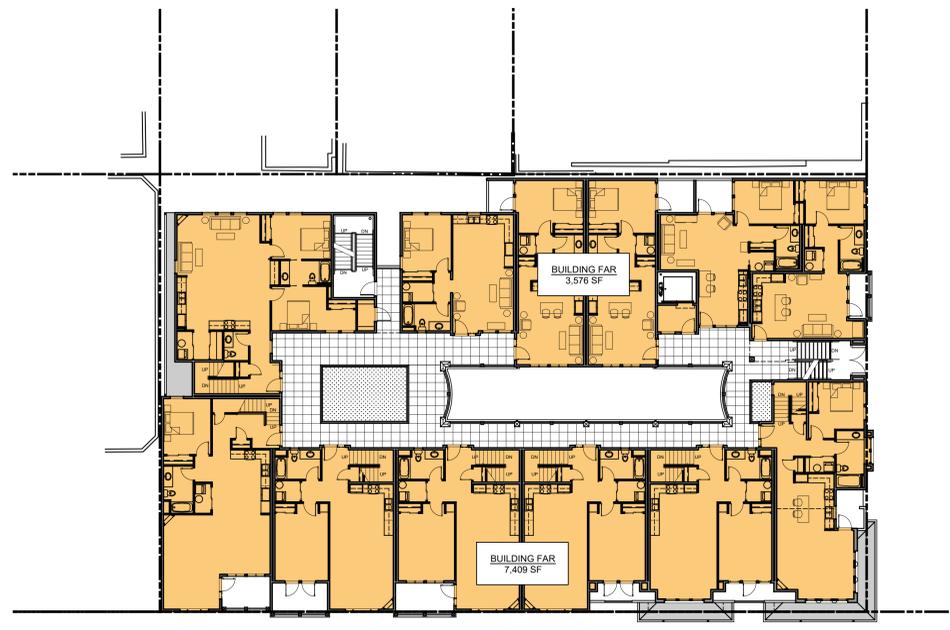


**PROPOSED  
FIRST FLOOR PLAN - FAR**  
SCALE: 1/16"=1'-0"

**FAR COVERAGE**

16,000 SF PARCEL  
16,000 SF x 145% = 23,200 SF  
(INCLUDES 10% INTRA-BLOCK  
WALKWAY BONUS)

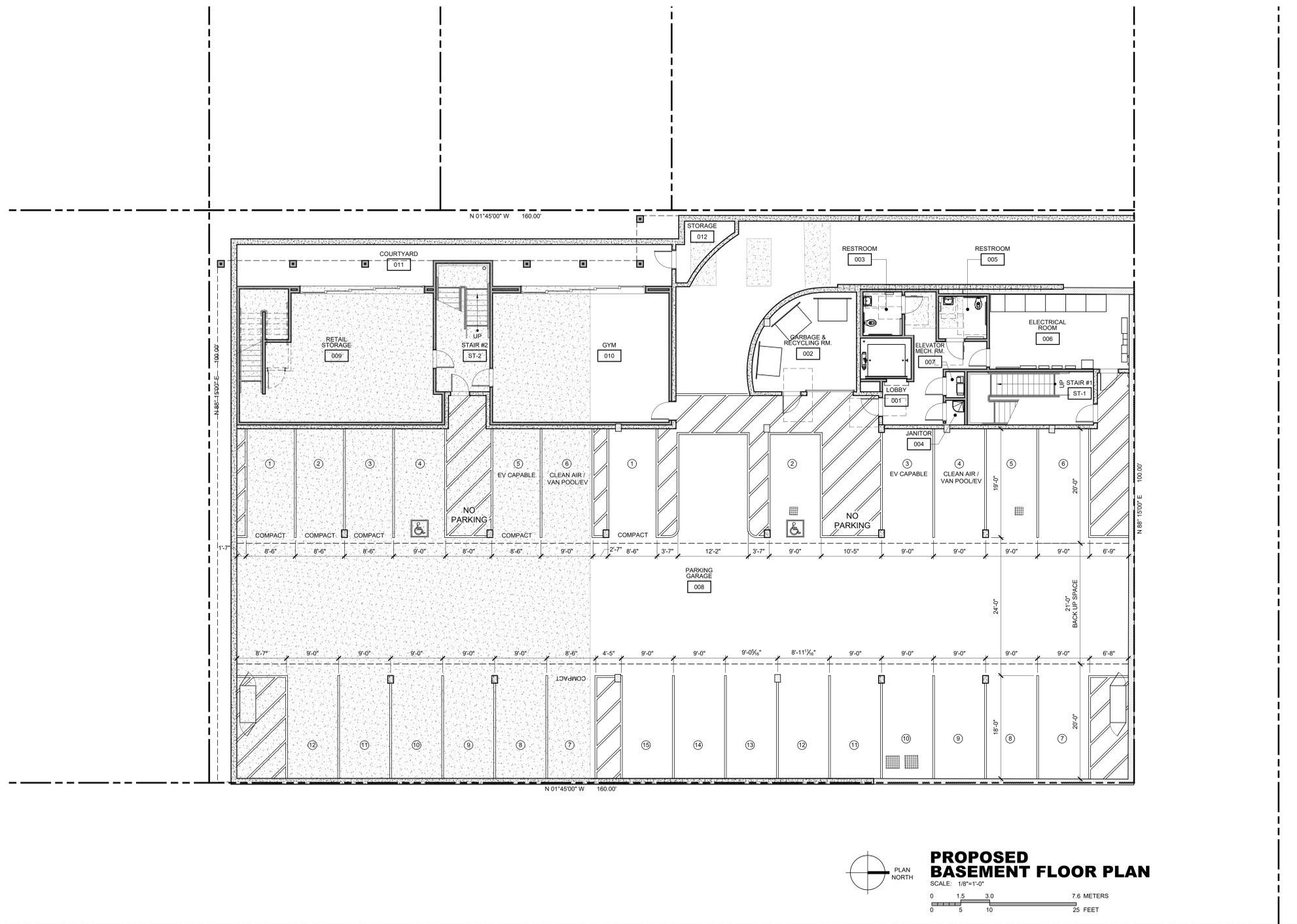
FIRST FLOOR -	8,979 SF
SECOND FLOOR -	10,965 SF
MEZZANINE -	3,014 SF
TOTAL -	22,978 SF



**PROPOSED  
SECOND FLOOR PLAN - FAR**  
SCALE: 1/16"=1'-0"



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**PROPOSED BASEMENT FLOOR PLAN**  
SCALE: 1/8"=1'-0"  
0 1.5 3.0 7.6 METERS  
0 5 10 25 FEET

**ULRIKA PLAZA MIXED USE**

CORNER OF 5TH AVENUE AND DOLORES STREET  
CARMEL-BY-THE SEA, CA 95021 A.P.N. NO.: 010-138-021-000, 010-138-003-000

JOB NO:  
**20013**

PRINT DATE:  
3.26.2021

PLOT DATE:  
SC

DRAWN BY:  
PS

CHECKED BY:  
SET ISSUED:

PLANNING SUBMITTAL 03.10.21

SHEET NAME:  
**PROPOSED BASEMENT FLOOR PLAN**

SHEET NO.:

**A200**

FILE NAME: 20013-A200

LINCOLN STREET

THE POCKET

ADJACENT PROPERTY

ADJACENT PROPERTY

ADJACENT PROPERTY

INTRA-BLOCK WALKWAY TO LINCOLN STREET

OPEN TO BELOW

OPEN TO BELOW

DOWN TO PARKING BELOW

OVERHEAD GARAGE DOOR

GAS METERS

5TH AVENUE

EXISTING TREE TO REMAIN  
EXISTING TREE TO REMAIN

RETAIL 111  
111

RETAIL 110  
110

RETAIL 109  
109

RETAIL 108  
108

RETAIL 107  
107

RETAIL 106  
106

RETAIL 105  
105

RETAIL 104  
104

RETAIL 103  
103

RETAIL 102  
102

RETAIL 101  
101

RETAIL 112  
112

RETAIL 113  
113

RETAIL 114  
114

RETAIL 115  
115

OPEN COURTYARD  
116

PLANTER

FOUNTAIN

PLANTER

STAIR #2  
ST-2

ELEV. LOBBY  
100

STAIR #1  
ST-1

STAIR #2  
ST-2

PGE VLT

SATV VLT

ELE VLT

GAS VLT

VM

VM

VM

VM

VM

VM

SATV VLT

PGE VLT

CELEC PANEL

DOLORES STREET

NEW SIDEWALK PLANTERS & TREES, TYP.



**PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"  
0 1.5 3.0 7.6 METERS  
0 5 10 25 FEET

ULRIKA PLAZA MIXED USE

CORNER OF 5TH AVENUE AND DOLORES STREET  
CARMEL-BY-THE SEA, CA 95021 A.P.N. NO.: 010-138-021-000, 010-138-003-000

JOB NO.  
**20013**  
PRINT DATE:  
PLOT DATE: 3.26.2021  
DRAWN BY: SC / PS  
CHECKED BY: PS  
SET ISSUED:

PLANNING SUBMITTAL 03.10.21

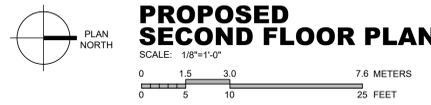
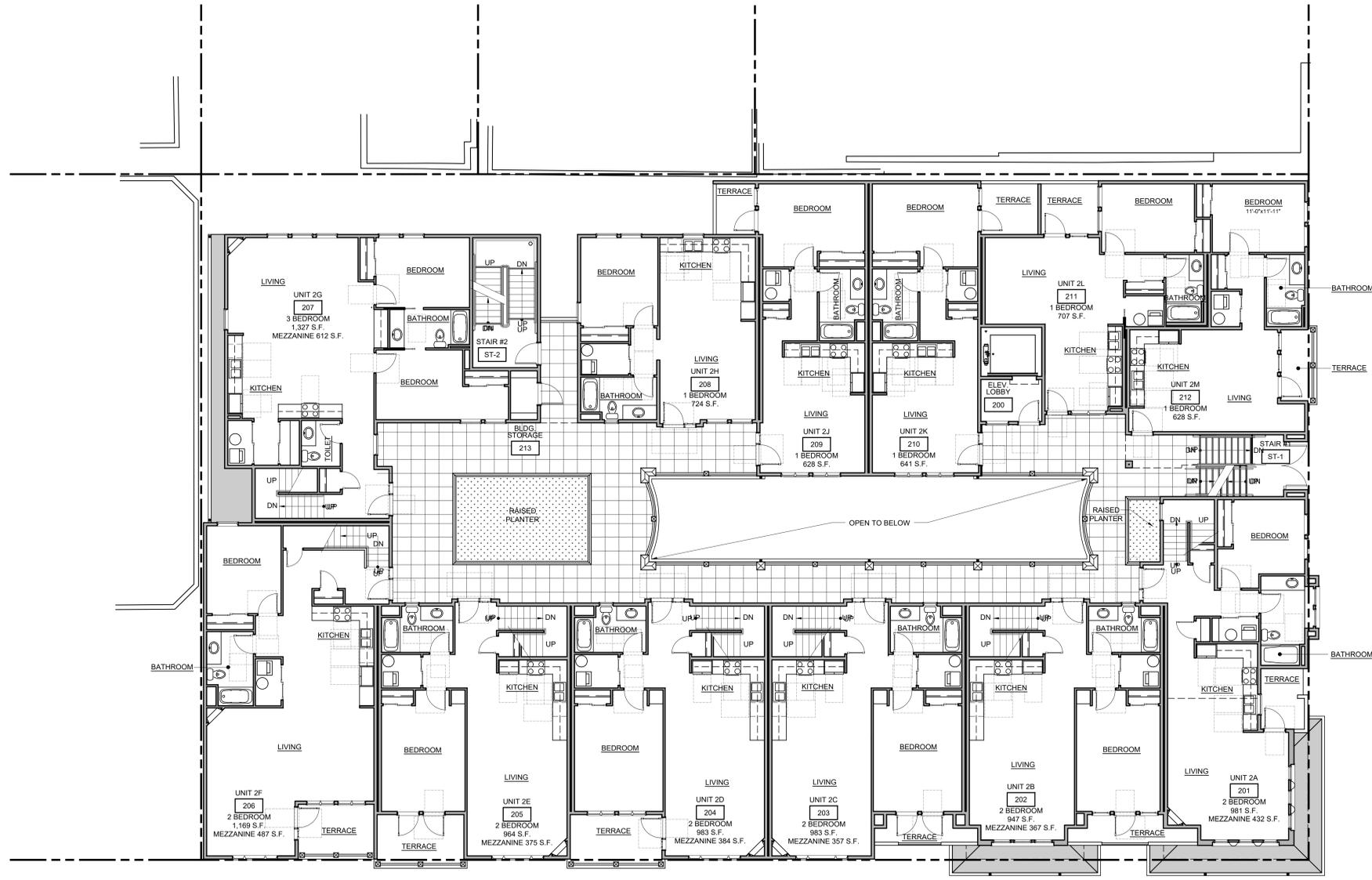
SHEET NAME:  
**PROPOSED FIRST FLOOR PLAN**

SHEET NO.:

**A201**

FILE NAME: 20013-A201

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE REVISIONS THEREOF IS EXPRESSLY LIMITED TO SUCH USE. NO REPRODUCTION OR REVISION BY ANY METHOD IN WHICH OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES FRANA ACE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



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CORNER OF 5TH AVENUE AND DOLORES STREET  
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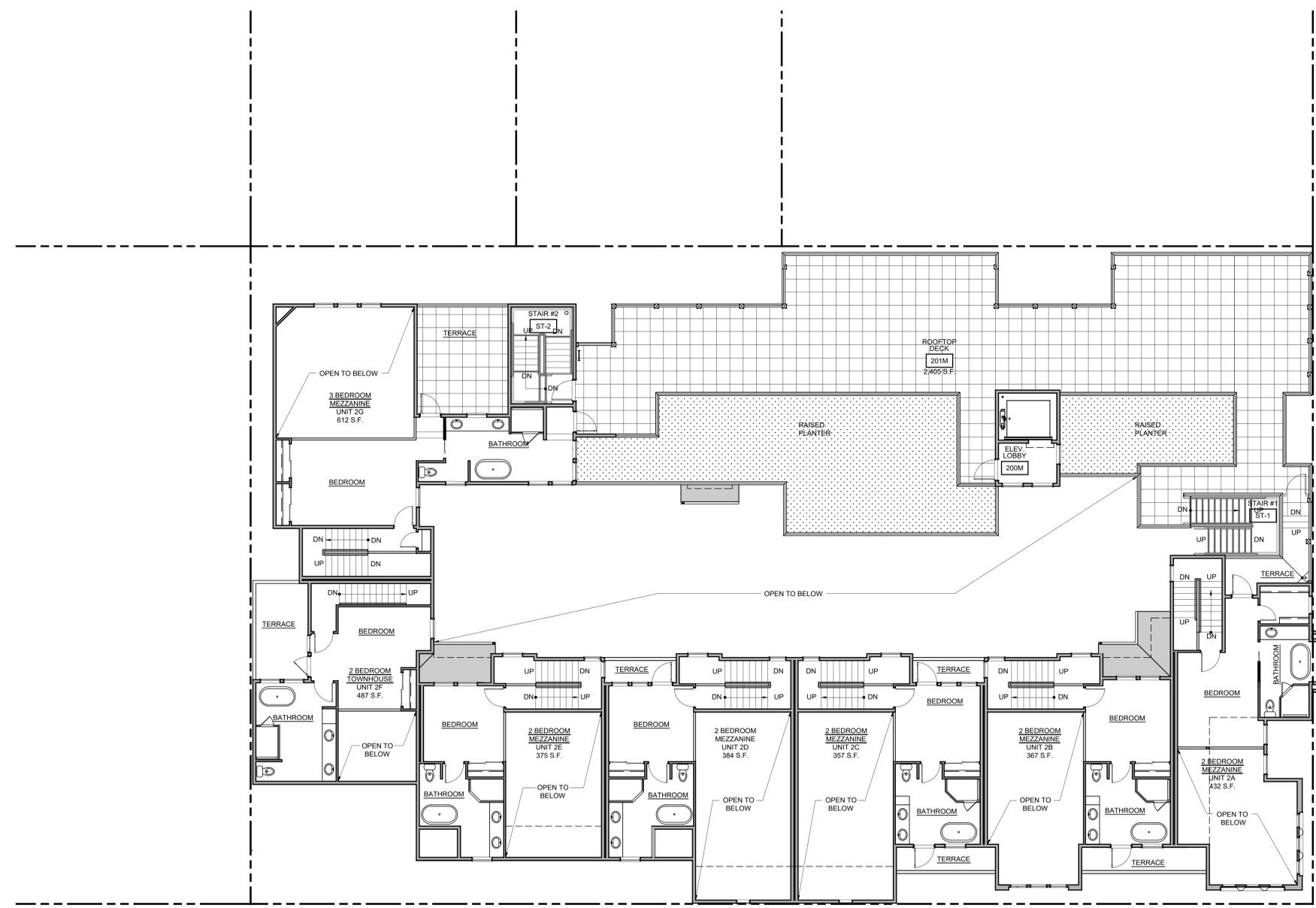
PLANNING SUBMITTAL 03.10.21

SHEET NAME:  
**PROPOSED SECOND FLOOR PLAN**

SHEET NO.:

**A202**

FILE NAME: 20013-A202



**PROPOSED MEZZANINE PLAN**  
SCALE: 1/8"=1'-0"  
0 1.5 3.0 7.6 METERS  
0 5 10 25 FEET

**ULRIKA PLAZA MIXED USE**  
CORNER OF 5TH AVENUE AND DOLORES STREET  
CARMEL-BY-THE SEA, CA 93921 A.P.N. NO.: 010-138-021-000, 010-138-003-000

JOB NO.  
**20013**  
PRINT DATE:  
PLOT DATE: 3.26.2021  
DRAWN BY: SC / PS  
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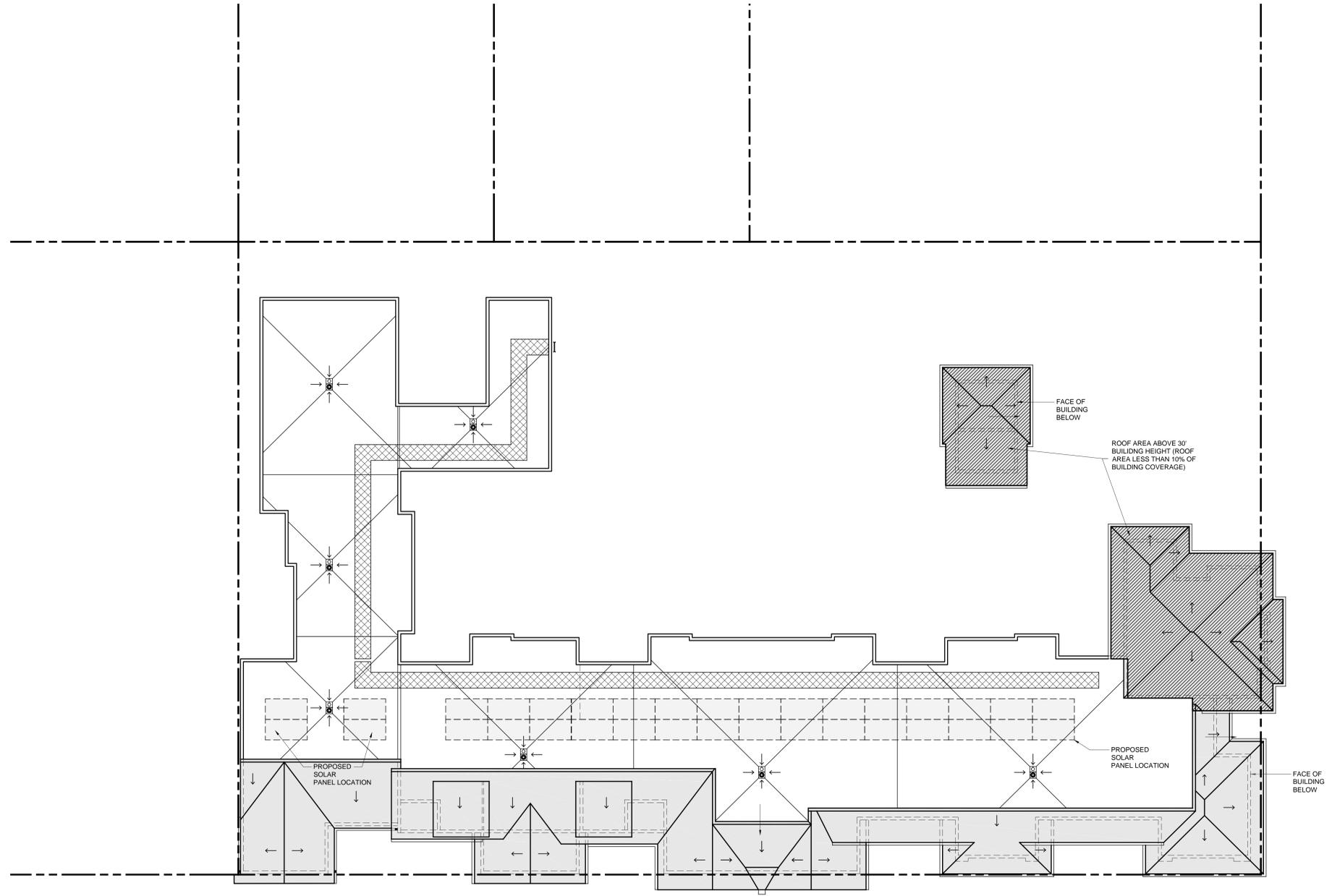
PLANNING SUBMITTAL 03.10.21

SHEET NAME:  
**PROPOSED MEZZANINE PLAN**

SHEET NO.:

**A203**

FILE NAME: 20013-A203



PLAN NORTH  
**PROPOSED ROOF PLAN**  
SCALE: 1/8"=1'-0"  
0 1.5 3.0 7.6 METERS  
0 5 10 25 FEET

**ULRIKA PLAZA MIXED USE**  
CORNER OF 5TH AVENUE AND DOLORES STREET  
CARMEL-BY-THE SEA, CA 93921 A.P.N. NO.: 010-138-021-000, 010-138-003-000

JOB NO.  
**20013**  
PRINT DATE:  
PLOT DATE: 3.26.2021  
DRAWN BY: SC / PS  
CHECKED BY: PS  
SET ISSUED:

PLANNING SUBMITTAL 03.10.21

Blank table with 10 rows and 1 column.

SHEET NAME:  
**PROPOSED  
ROOF  
PLAN**

SHEET NO.:

**A204**

FILE NAME: 20013-A204













**PROPOSED DOLORES STREET VIEW - WEST**



**PROPOSED DOLORES STREET VIEW - WEST**



**EXISTING DOLORES STREET VIEW - NORTH WEST**



**PROPOSED DOLORES STREET VIEW - NORTH WEST**

**ULRIKA PLAZA MIXED USE**  
CORNER OF 5TH AVENUE AND DOLORES STREET  
CARMEL-BY-THE SEA, CA 95021 A.P.N. NO.: 010-138-021-000, 010-138-003-000

JOB NO:  
**20013**  
PRINT DATE:  
PLOT DATE: 3.26.2021  
DRAWN BY:  
CHECKED BY: PS  
SET ISSUED:

PLANNING SUBMITTAL 03.10.21  
SHEET NAME:

PERSPECTIVE  
RENDERINGS

SHEET NO.:

**A411**

FILE NAME: 20013-A411

