

Remodel and Addition to Existing Residence

Guadalupe 4 SW of 1st, Carmel, CA, 93923



ANATOLY OSTRETSOV
P.O. BOX 2272
MONTEREY, CA 93942
(831) 682-1331

GENERAL NOTES

- EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT HIS WORK.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE ON ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS. ANY DEFECT DISCOVERED IN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK.
- ALL CONSTRUCTION WORK, MECHANICAL, PLUMBING, ELECTRICAL, ETC., AS MAY BE REQUIRED, SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA RESIDENTIAL CODE AND THE LATEST EDITION OF ALL GOVERNING CODES AND REGULATIONS AS ADOPTED BY THE CITY OF CARMEL. ALL WORK SHALL BE DONE IN A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF THE PRACTICE.
- DETAILS NOTED AS 'TYPICAL' SHALL APPLY IN ALL LIKE CONDITIONS UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION OF THIS PROJECT.
- DIMENSIONS, DETAILS, NOTES, AND/OR SYMBOLS THAT APPLY TO ONE UNIT, APPLY TO ALL UNITS IN LIKE SITUATIONS UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ON CONSTRUCTIONS DRAWINGS ARE TO FACE OF STUD (F.O.S.), OR FACE OF CONCRETE (F.O.C.), UNLESS OTHERWISE NOTED. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.
- THE STRUCTURE IS DESIGNED AS A STABLE UNIT AFTER ALL COMPONENTS ARE IN PLACE. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING NECESSARY TO ENSURE THE STABILITY OF ANY AND ALL PARTS OF THE BUILDING DURING CONSTRUCTION.
- WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED IN ORDER TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE LIMITS AND SCOPE OF WORK, BUT WHICH MAY NOT BE SPECIFICALLY INCLUDED IN THE PLANS, SHALL BE PERFORMED BY CONTRACTOR
- THE CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATION OF ALL SITE UTILITIES AND TO COORDINATE AND AVOID CONFLICT IN THE LOCATIONS OF NEW UNDERGROUND AND SITE UTILITIES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FABRICATED ITEMS, CUT SHEETS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR BY THE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION AND/OR INSTALLATION.
- CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT THE WORK OR SHALL KEEP A COMPETENT EMPLOYEE, AUTHORIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTOR'S BEHALF, CONTINUOUSLY ON SITE DURING WORKING HOURS.
- ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, INSTALLATION AND MATERIAL FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION.
- CONTRACTOR SHALL PROTECT OWNER'S AREA, NEW AND/OR EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH OWNER PRIOR TO COMMENCEMENT OF WORK AS NECESSARY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.
- ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT-OFF. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
- NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY THE CITY OF CARMEL AND APPROPRIATE FOR SUCH USE.
- THE USE OF SOLDER CONTAINING LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED.
- PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSE BIBS.
- SEWER BACK WATER VALVE AND SEWER RELIEF VENT IS REQUIRED



RENDERING

PROJECT DATA

PROPERTY OWNER:
JAMES M. HARRINGTON
2560 GARDEN RD., #205
MONTEREY, 93940
TEL. (831) 601-6861

PROJECT ADDRESS:
GUADALUPE 4 SW OF 1ST
CARMEL, CA 93923

PROJECT DESCRIPTION/ SCOPE OF WORK:
1. REMODEL OF EXISTING 1,329 SF SINGLE FAMILY RESIDENCE. ADDITION OF 432 SF MASTER BEDROOM AND BATHROOM. DEMOLITION OF EXISTING 149 SF GARAGE AND CONSTRUCTION OF NEW ATTACHED 206 SF GARAGE

LEGAL DESCRIPTION: LOT: 7 BLOCK: 16
APN: 010-026-004-000
ZONING: R-1
TYPE OF CONSTRUCTION: V-B
OCCUPANCY: R-3, U
STORIES: 2
HEIGHT LIMIT: 24' (15' AT REAR SETBACK)
GRADING: NONE
TREE REMOVAL: 1 (ONE) HOLLY TREE 6" DIA
APPLICABLE CODES: 2016 CBC, 2016 CRC, 2016 CFC, 2016 CPC, 2016 CEC, 2016 CMC, 2016 CALIFORNIA ENERGY CODE, 2016 CALIFORNIA GREEN BUILDING CODE

LOT AREA: 4,000 S.F.
FLOOR AREA ALLOWED: 1,800 S.F.
FLOOR AREA PROPOSED: 1,799 S.F.

	EXISTING	REMOVED	ADDITION	TOTAL
HOUSE	1,180 S.F.	19 S.F.	432 S.F.	1,593 S.F.
ATTACHED GARAGE	149 S.F.	149 S.F.	206 S.F.	206 S.F.
	1,329 S.F.	168 S.F.	638 S.F.	1,799 S.F.

SITE COVERAGE ALLOWED: 396 S.F.
4% OF LOT SIZE (160 SF) FOR DRIVEWAY
TOTAL ALLOWED - 556 S.F.

SITE COVERAGE PROPOSED:

	EXISTING (IMPERVIOUS)	REMOVED	PROPOSED
DRIVEWAY 9'-0" (PERMEABLE)	246 S.F.	246 S.F.	135 S.F.
STONE PATIO (PERMEABLE)	244 S.F.	244 S.F.	180 S.F.
COVERED PORCH (IMPERVIOUS)	14 S.F.	14 S.F.	42 S.F.
WOOD DECK (PERMEABLE)	144 S.F.	144 S.F.	149 S.F.
BALCONY (PERMEABLE)	0 S.F.	0 S.F.	21 S.F.
FRONT PATHWAY (PERMEABLE)	44 S.F.	44 S.F.	29 S.F.
SHED	169 S.F.	169 S.F.	0 S.F.
SIDEWALK	159 S.F.	159 S.F.	0 S.F.
UTILITY AREA (MULCH) NOT COUNTED	0 S.F.	0 S.F.	18 S.F.
TOTAL COVERAGE	1,020 S.F.	1,020 S.F.	556 S.F.

PERMEABLE 514 S.F. (92%)
IMPERVIOUS 42 S.F. (8%)

ABBREVIATIONS

A.B.	ANCHOR BOLT	HDR.	HEADER
ABV.	ABOVE	HGR.	HANGER
ALT.	ALTERNATE	HDWD.	HARDWOOD
ALUM.	ALUMINUM	HORIZ.	HORIZONTAL
APPROX.	APPROXIMATE	INT.	INTERIOR
ARCH.	ARCHITECT	INSUL.	INSULATION
ASPH.	ASPHALT	JST.	JOIST
AUTO.	AUTOMATIC	K	KIPS (1,000 LBS.)
BD.	BOARD	L.V.L.	LEVEL
BLKG.	BLOCKING	MAX.	MAXIMUM
BLDG.	BUILDING	M.B.	MACHINE BOLT
BM.	BEAM	MIN.	MINIMUM
BOT.	BOTTOM	M.I.W.	MALLEABLE IRON WASHER
BTWN.	BETWEEN	(N)	NEW
C.J.	CONTRACTION JOINT	N.I.C.	NOT IN CONTRACT
CLR.	CLEAR	N.T.S.	NOT TO SCALE
COL.	COLUMN	O	OVER
CONC.	CONCRETE	O.C.	ON CENTER
CONC. BLK.	CONCRETE BLOCK	P.E.N.	PLY EDGE NAILING
CONN.	CONNECTION	PL.	PLATE
CONSTR.	CONSTRUCTION	P.T.D.F.	PRESSURE TREATED DOUGLAS FIR
CONT.	CONTINUOUS	PLYWD.	PLYWOOD
CTR.	CENTER	REINF.	REINFORCED
CTSK.	COUNTERSINK	REQ'D	REQUIRED
D.F.	DOUGLAS FIR	REV.	REVERSED
DBL.	DOUBLE	S.A.D.	SEE ARCH. DRAWING
DIA.	DIAMETER	S.B.	SOLID BLOCKING
DWG.	DRAWING	S.F.	SQUARE FOOT
EA.	EACH	S.O.G.	SLAB ON GRADE
E.N.	EDGE NAILING	SCHED.	SCHEDULE
EL.	ELEVATION	SHT.	SHEET
ELEV.	ELEVATOR	SHTG.	SHEATHING
EQ.	EQUAL	SIM.	SIMILAR
(E)	EXISTING	SPEC.	SPECIFICATIONS
EXP.	EXPANSION	STD.	STANDARD
EXT.	EXTERIOR	T.&G.	TONGUE & GROOVE
F.E.	FIRE EXTINGUISHER	T.N.	TOE NAIL
F.G.	FINISH GRADE	T.O.C.	TOP OF CONCRETE
FL.	FLOOR	T.O.P.	TOP OF PLATE
F.N.	FIELD NAILING	T.O.W.	TOP OF WALL
FNDN.	FOUNDATION	T.S.	TUBE STEEL
F.O.M.	FACE OF MASONRY	TYP.	TYPICAL
FT.	FEET	U.O.N.	UNLESS OTHERWISE NOTED
FTG.	FOOTING	VERT.	VERTICAL
GA.	GAUGE	W	WITH
GALV.	GALVANIZED	W/O	WITHOUT
G.I.	GALVANIZED IRON	W.W.M.	WELDED WIRE MESH
GLU-LAM.	GLUE LAMINATED	W.I.	WROUGHT IRON
GRD.	GRADE		
GYP. BD.	GYPSUM BOARD		

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A6.2	EXTERIOR ELEVATIONS
D2.0	DEMOLITION FLOOR PLAN
L-1	PLANTING AND IRRIGATION PLAN

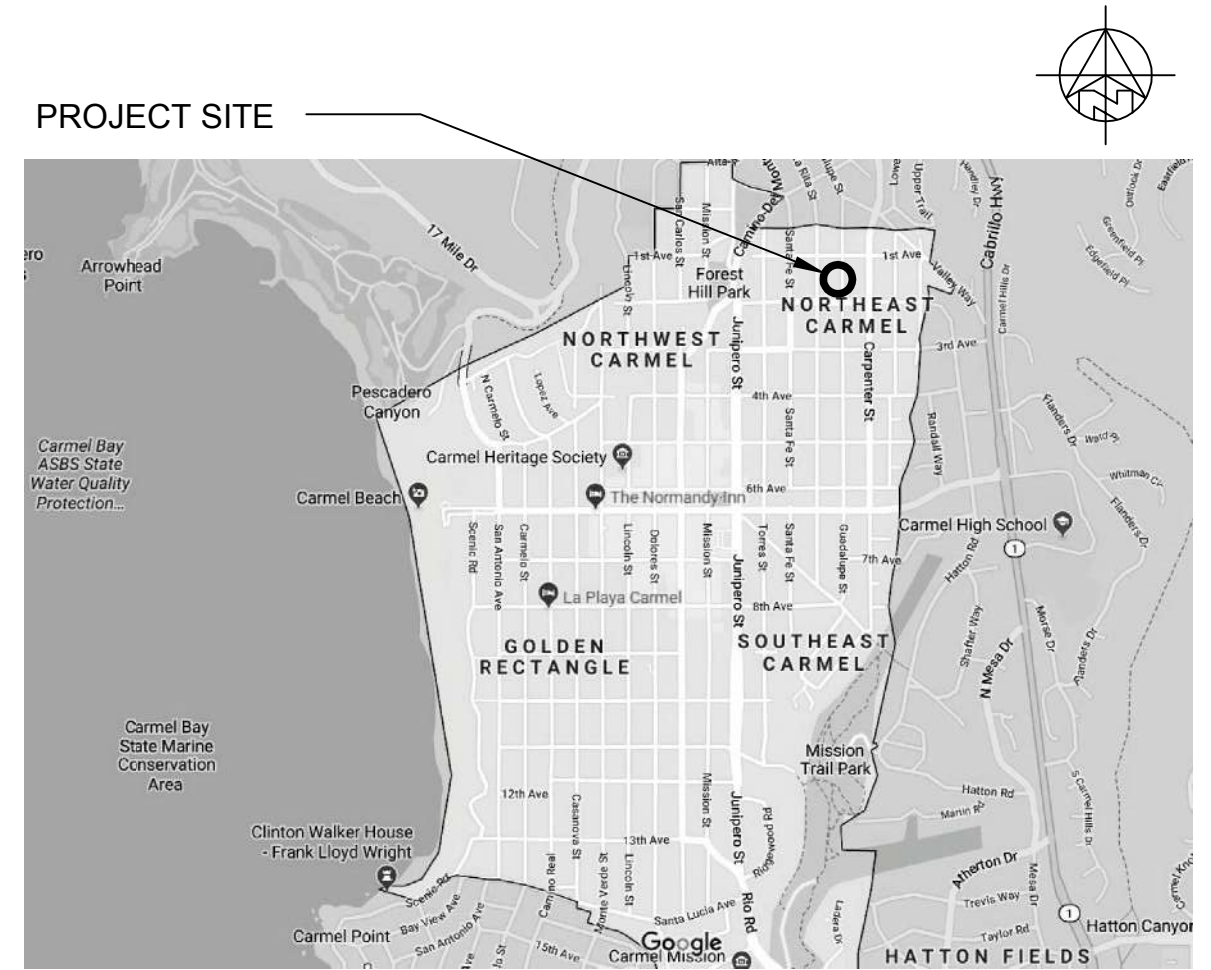
EROSION CONTROL NOTES

- BETWEEN OCTOBER 15TH AND APRIL 15TH DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOILS PROTECTION.
- RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.

FIRE NOTES

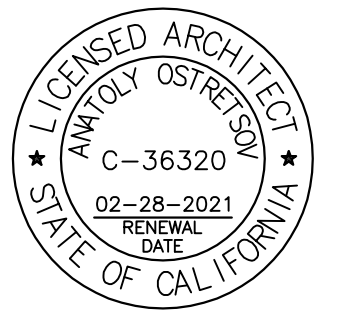
- THE BUILDING SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT.
- ALL NEW STRUCTURES, AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 50 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBO CLASS A ROOF CONSTRUCTION.

VICINITY MAP



CARMEL, CA 93923

REMODEL AND ADDITION TO EXISTING RESIDENCE IN CARMEL
APN: 010-026-004
GUADALUPE 4 SW OF 1ST



REVISIONS:

1	
2	
3	
4	

COVER SHEET
PROJECT INFO

DATE: 06-07-19

DESIGN APPROVAL

SHEET NO.

A0.0

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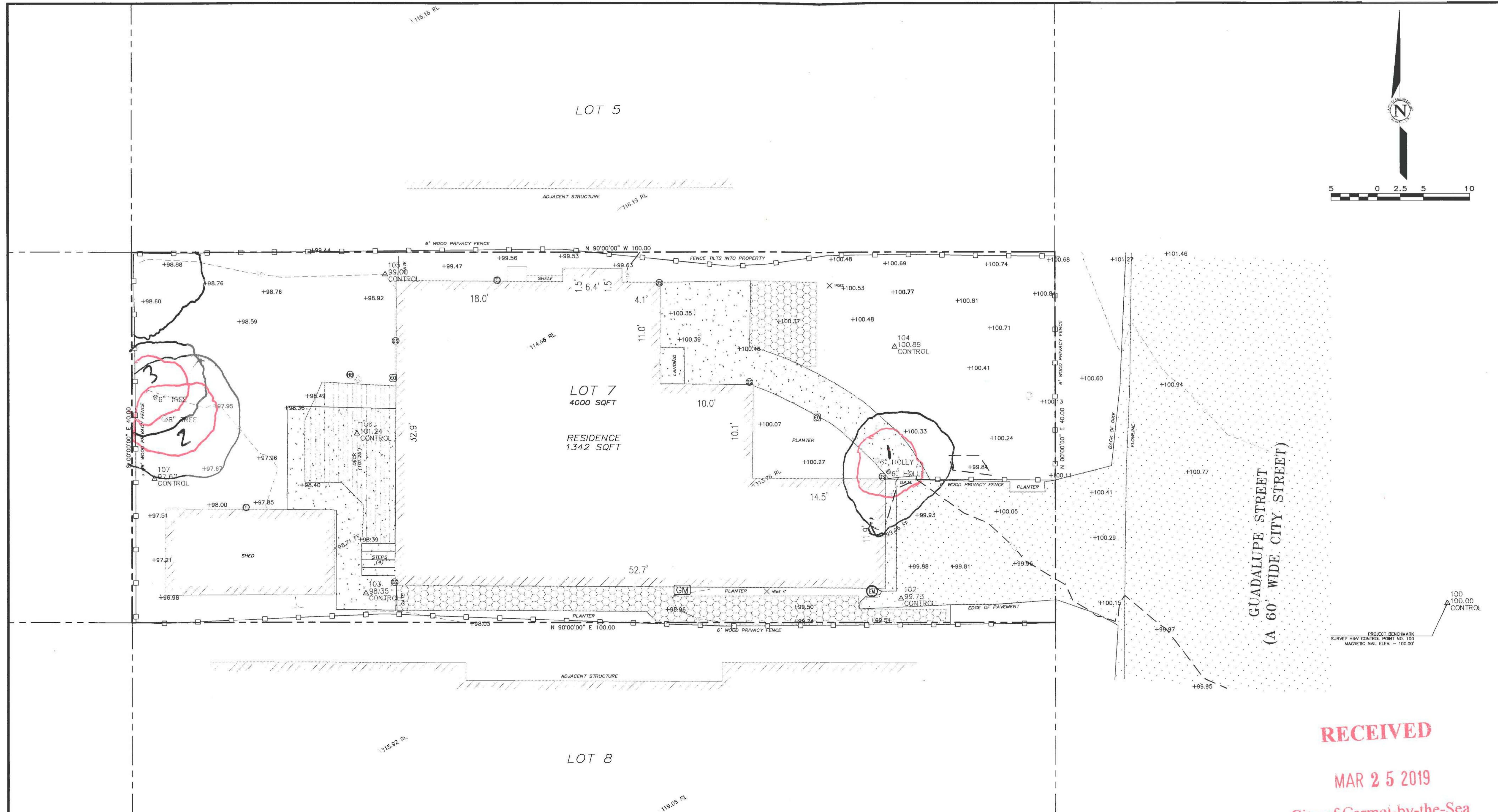


APPROVED BY:
 GUY R. GIRAUDO
 P.L.S. No. 8703



TOPOGRAPHIC MAP
 OF
 THAT CERTAIN PARCEL, AS DESCRIBED IN
 DOCUMENT No. 2018-036887
 CARMEL-BY-THE-SEA, CALIFORNIA
 FOR
 MR. JAMES HARRINGTON

A.P.N.: 010-026-004
 SCALE: 1" = 5'
 DATE: MAR 2019
 JOB NO. 1930-01
 SHEET 1
 OF 1 SHEETS



RECEIVED
 MAR 25 2019
 City of Carmel-by-the-Sea
 Planning & Building Dept.

LEGEND:

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	ORIGINAL PROPERTY BOUNDARY LINE
	EASEMENT LINE (TYPE AS SHOWN)
	ROADWAY CENTERLINE
	MAJOR CONTOUR LINE (5' INTERVAL)
	MINOR CONTOUR LINE (1' INTERVAL)
	FENCE (TYPE AS MARKED)
	ASPHALT CONCRETE SURFACE
	PORTLAND CEMENT CONCRETE SURFACE
	STONE WALKING SURFACE
	PAVER SURFACE
	NATURAL GROUND SURFACE/LANDSCAPED AREA

	CONDUIT		GAS LINE		GAS METER		FOUND MONUMENT - TYPE NOTED
	PIPE		TELEPHONE SERVICE		WATER METER		SURVEY H&V CONTROL POINT
	CLEANOUT		UNKNOWN UTILITY		PGE BOX		SPOT ELEVATION
	DOWNSPROUT		FUSE BOX		UTILITY HUB		RIDGELINE
	HOSEBIB		ELECTRICAL OUTLET		TELEPHONE BOX		FINISHED FLOOR
	WATER SERVICE		UTILITY POLE		ELECTRICAL HUB		TREE (TYPE AND SIZE AS MARKED)
	IRRIGATION BOX		GUY WIRE		ELECTRICAL PANEL		TWO PRONGED TREE
	IRRIGATION CONTROL VALVE		MAILBOX		ELECTRICAL METER		THREE PRONGED TREE
	WATER VALVE		AREA DRAIN		SANITARY SEWER MANHOLE		
	DRAIN LINE		HYDRANT		STORM DRAIN MANHOLE		
			SIGN		PGE GAS MANHOLE		
					ELECTRICAL MANHOLE		

GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #100, A MAGNETIC NAIL LOCATED 43 FEET DUE EAST OF THE SOUTHEAST PROPERTY CORNER, ELEVATION = 100.00' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (03/11/2019) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

CONTACT INFORMATION:

OWNER/REPRESENTATIVE:
 MR. JAMES HARRINGTON

ARCHITECT:
 ATTN: ANATOLY OSTRETSOV
 AO ARCHITECTURAL DESIGN
 P.O. BOX 2272
 MONTEREY, CA 93942

SITE LOCATION:
 GUADALUPE STREET 4 SW OF 1ST AVENUE
 CARMEL-BY-THE-SEA, CA 93921

No.	DATE	BY	REVISION
	03/18/19	JK	RELEASED TO CLIENT

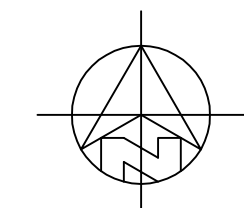
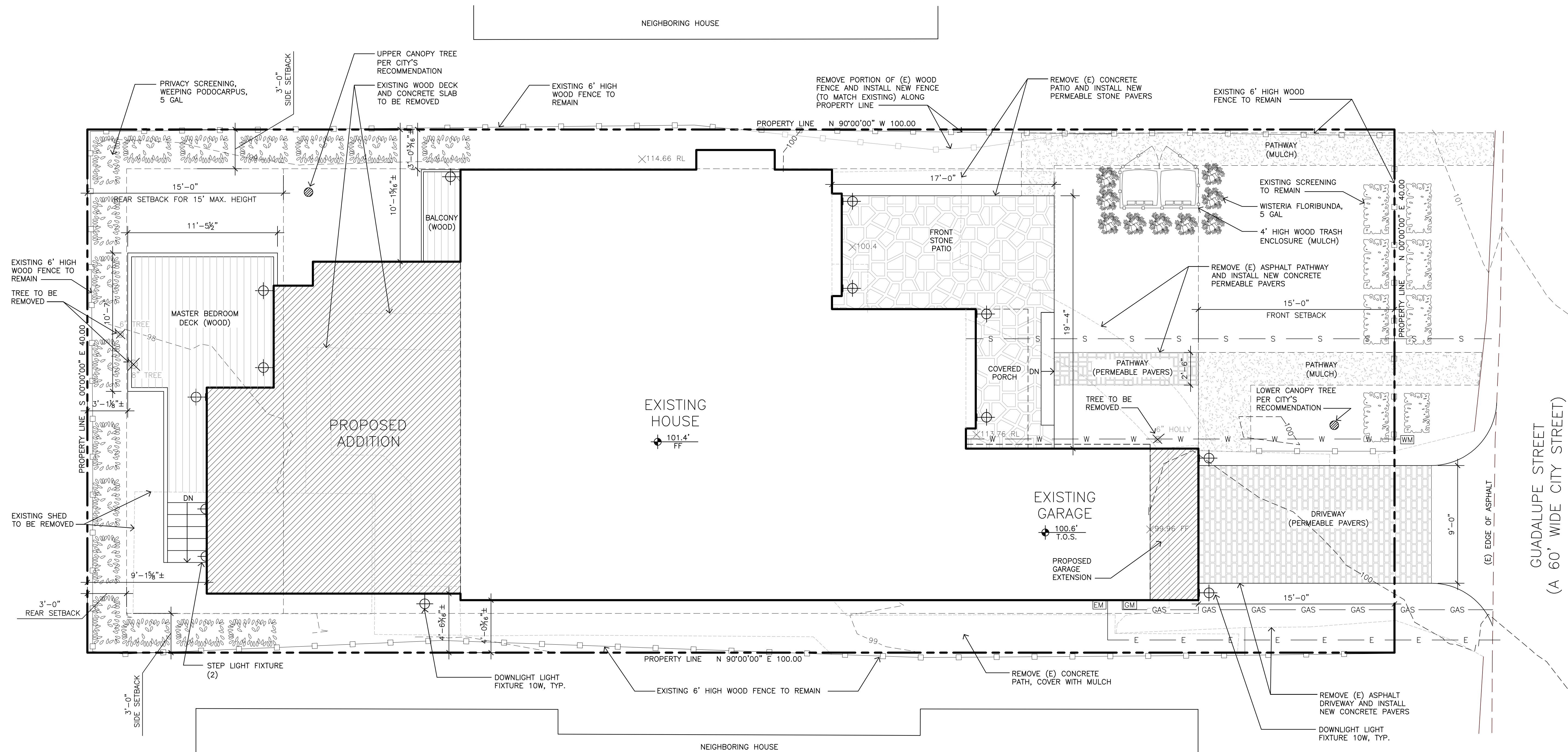
EXTERIOR LIGHT FIXTURES



MINKA "KIRKHAM" OUTDOOR WALL MOUNT LIGHT FIXTURE
MODEL #8101-A138-L
FINISH: ASPEN BRONZE
LED BULB 10W MAX.

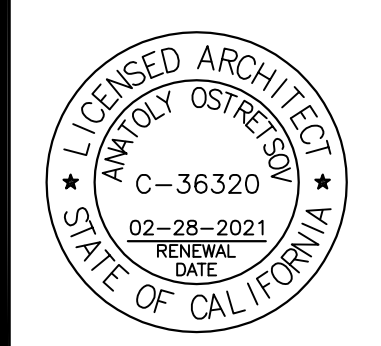


DALIS STEP LIGHT FIXTURE
MODEL LEDSTEP005
FINISH: BRONZE
LED BULB 3.5W



SITE PLAN

1/4"=1'-0"



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EXISTING RESIDENCE IN CARMEL**

APN: 010-026-004

GUADALUPE 4 SW OF 1ST



REVISIONS:

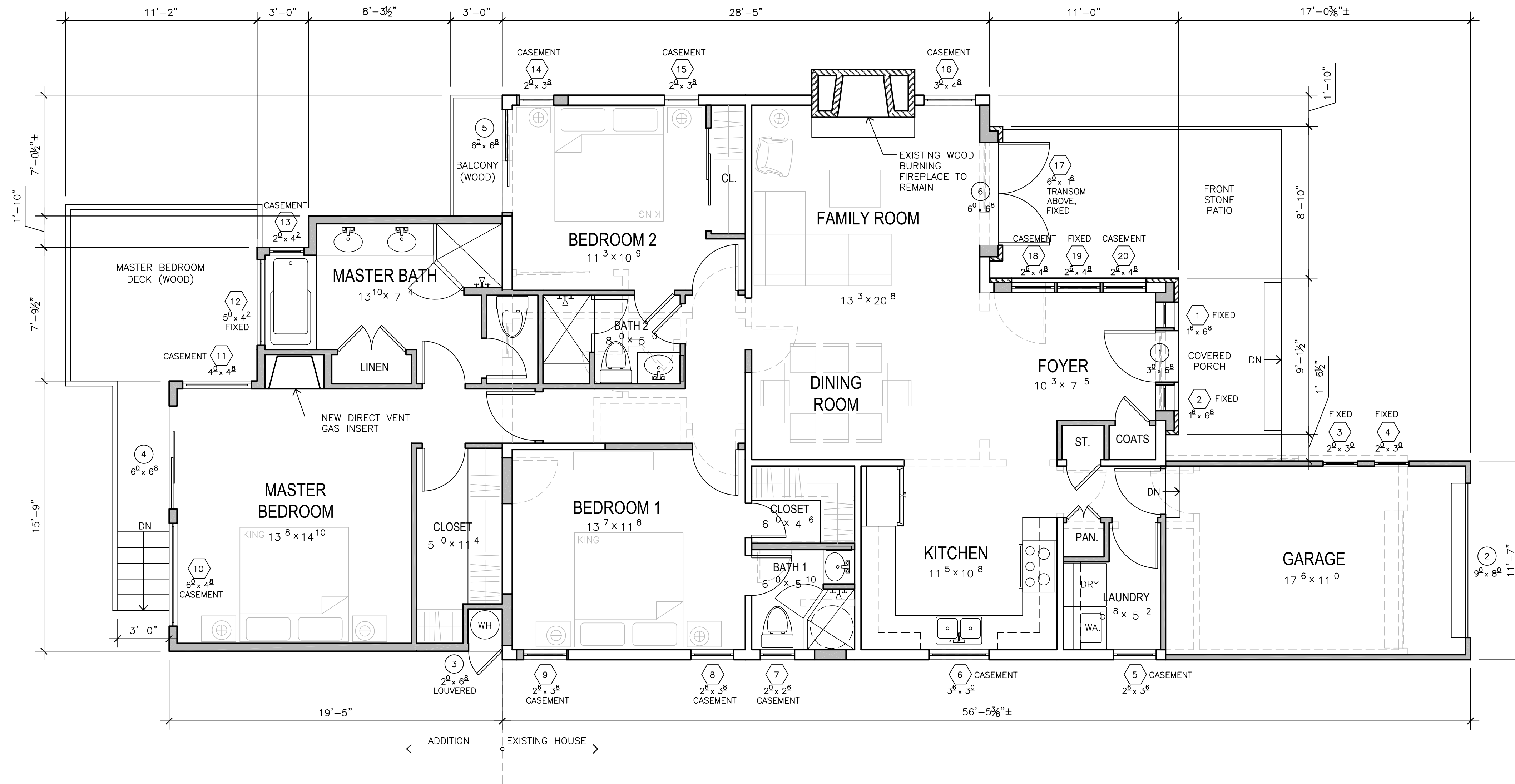
PROPOSED FLOOR PLAN

DATE: 06-07-19

DESIGN APPROVAL

SHEET NO.

A2.0

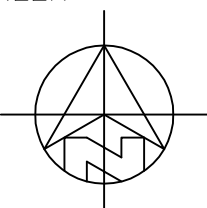


DOOR / WINDOW LEGEND

- DENOTES A WINDOW
XX x XX
- DENOTES A DOOR
XX x XX

WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- (E) DOOR OR WINDOW TO BE REMOVED
- 2X EXISTING WALL TO BE REMOVED
- 2X NEW STUD FRAMED WALL
- BRICK WALL/ THIN STONE VENEER



PROPOSED FLOOR PLAN

1/4"=1'-0"

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GENERAL ROOF NOTES

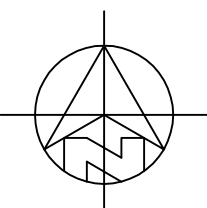
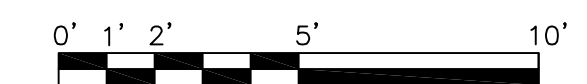
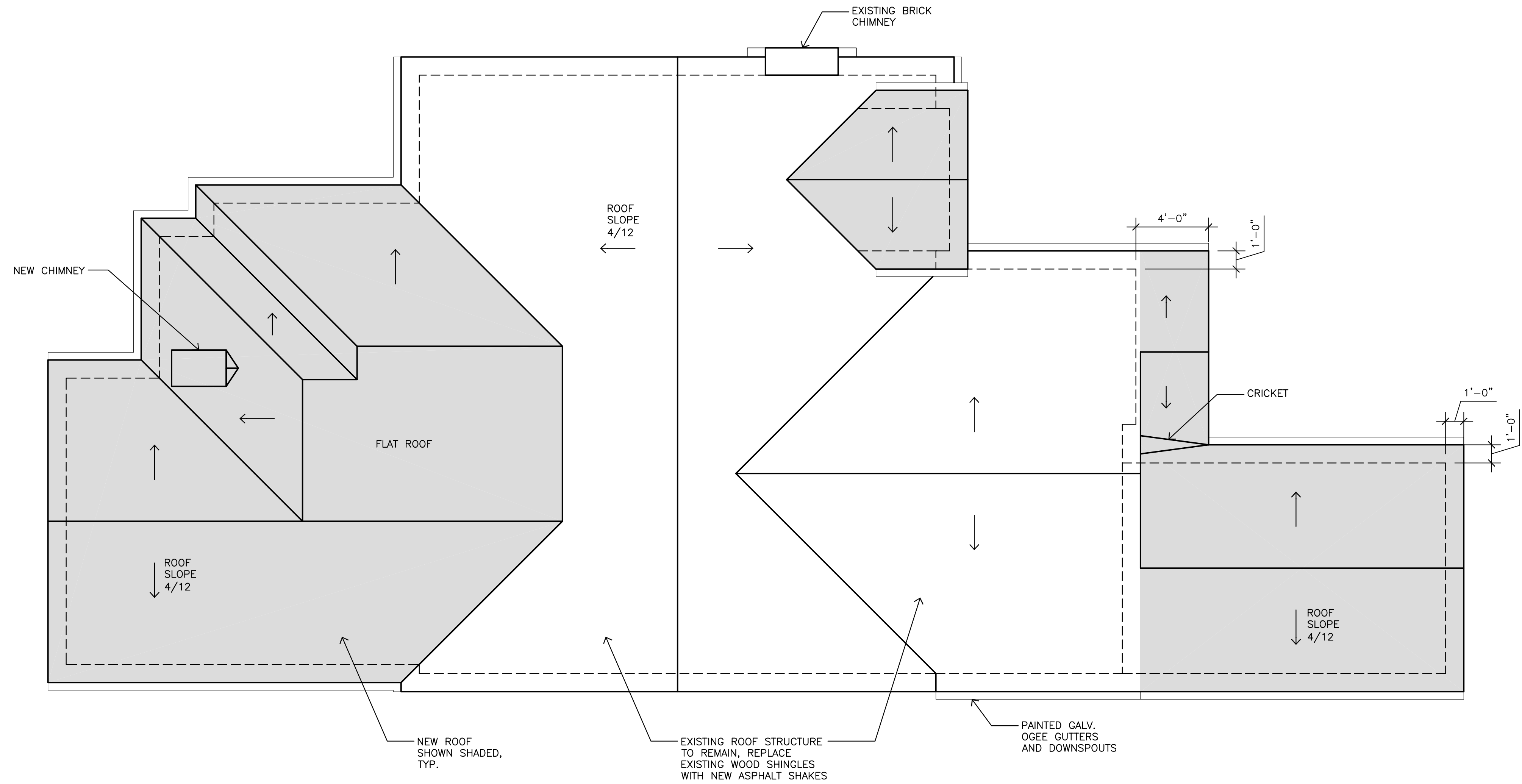
ROOF MATERIAL - CLASS 'A' CERTAINTED PRESIDENTIAL ASPHALT SHAKES "AGED BARK" COLOR. FIELD VERIFY WITH OWNER AND ARCHITECT COLOR AND/OR BLEND OF ROOFING UNITS PRIOR TO INSTALLATION

ROOF SLOPE - 4/12 UNLESS OTHERWISE NOTED, MATCH EXISTING

OVERHANG - 12" UNLESS OTHERWISE NOTED

GALVANIZED OGEE GUTTERS WITH SQUARE DOWNSPOUTS, MATCH EXISTING

GANG ALL VENT STACKS TO MINIMIZE QUANTITY OF ROOF JACKS AND LOCATE ROOF JACKS IN LEAST VISIBLE LOCATION



ROOF PLAN 1/4"=1'-0"



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APN: 010-026-004

GUADALUPE 4 SW OF 1ST



REVISIONS:

△	
△	
△	
△	

ROOF PLAN

DATE: 06-07-19

DESIGN APPROVAL

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GUADALUPE 4 SW OF 1ST



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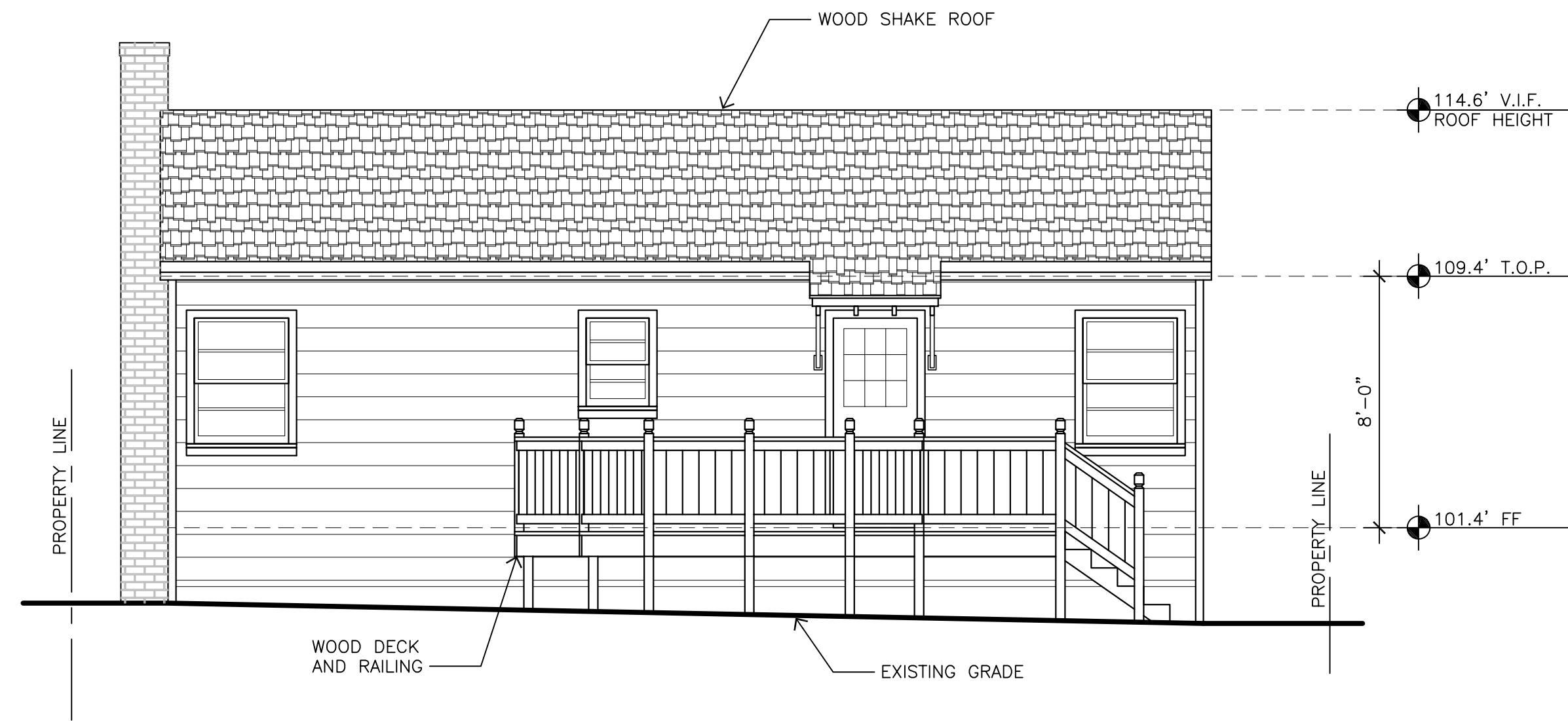
EXTERIOR ELEVATIONS

DATE: 06-07-19

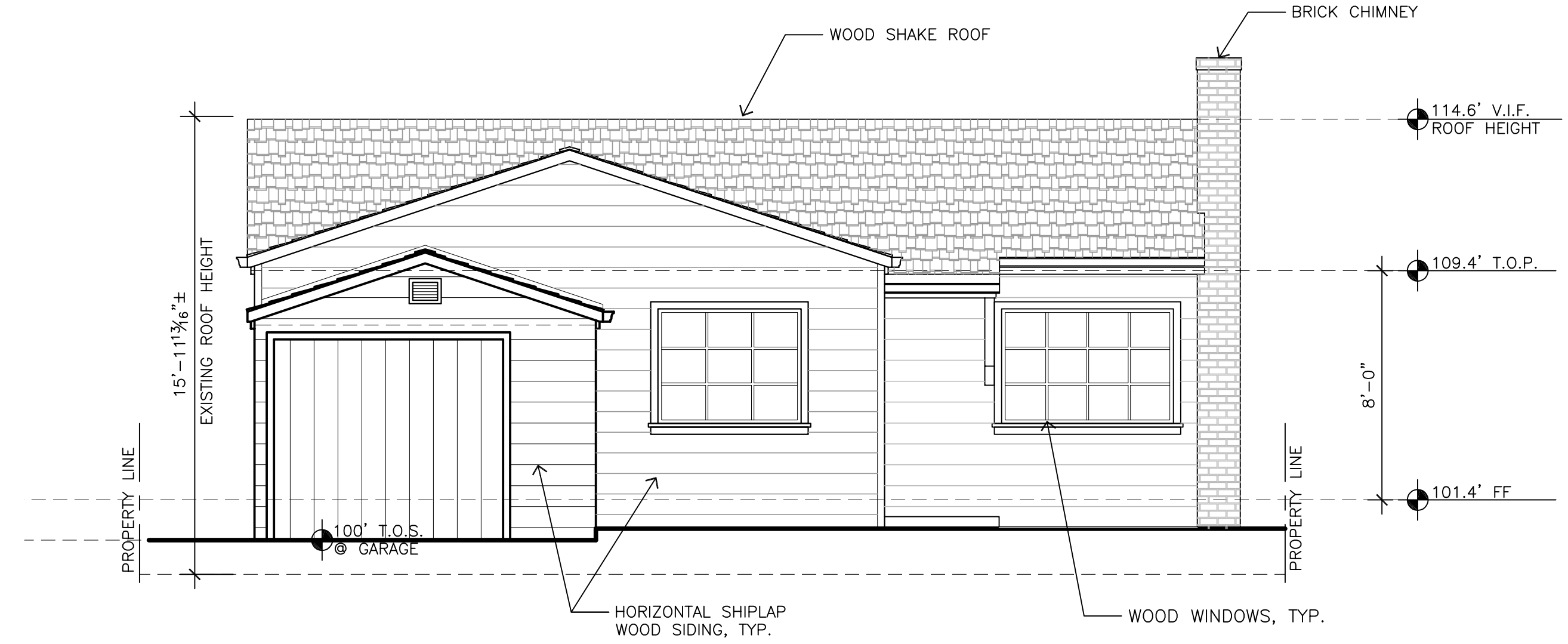
DESIGN APPROVAL

SHEET NO.

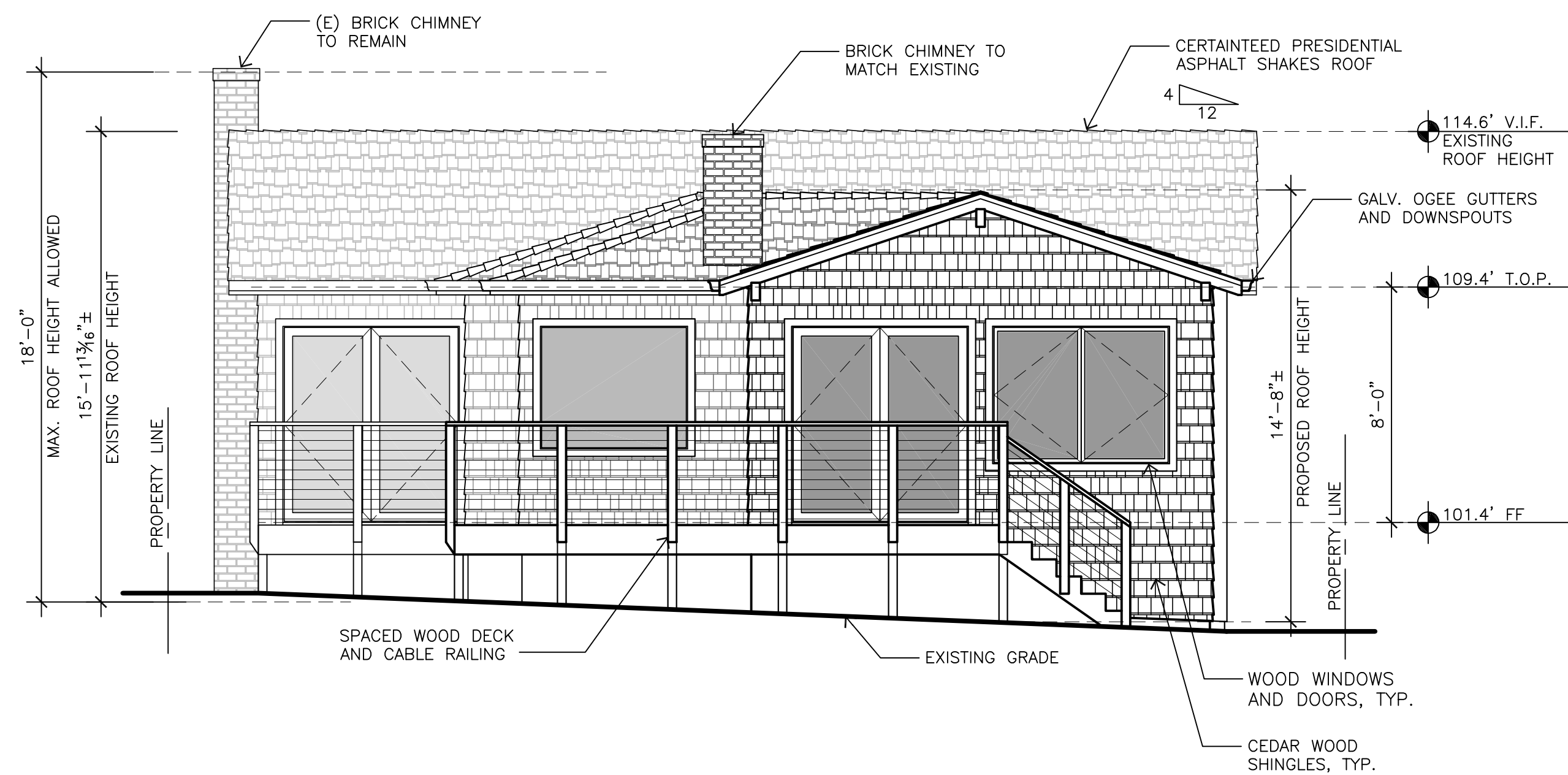
A6.0



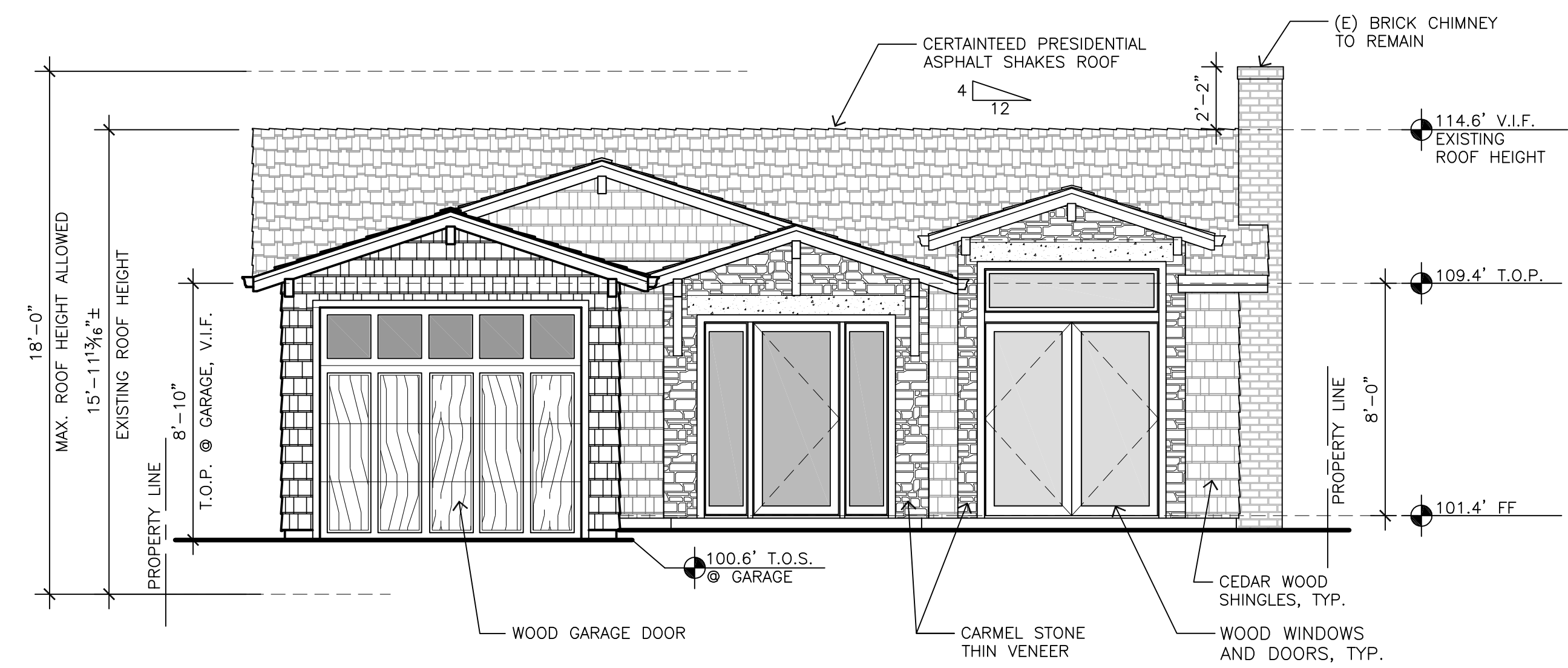
EXISTING WEST (REAR) ELEVATION 1/4"=1'-0"



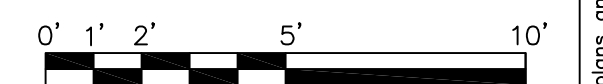
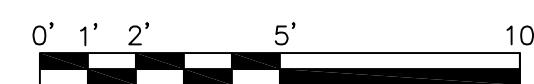
EXISTING EAST (FRONT) ELEVATION 1/4"=1'-0"



PROPOSED WEST (REAR) ELEVATION 1/4"=1'-0"



PROPOSED EAST (FRONT) ELEVATION 1/4"=1'-0"



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**REMODEL AND ADDITION TO
 EXISTING RESIDENCE IN CARMEL**

APN: 010-026-004

GUADALUPE 4 SW OF 1ST



REVISIONS:

- △
- △
- △
- △

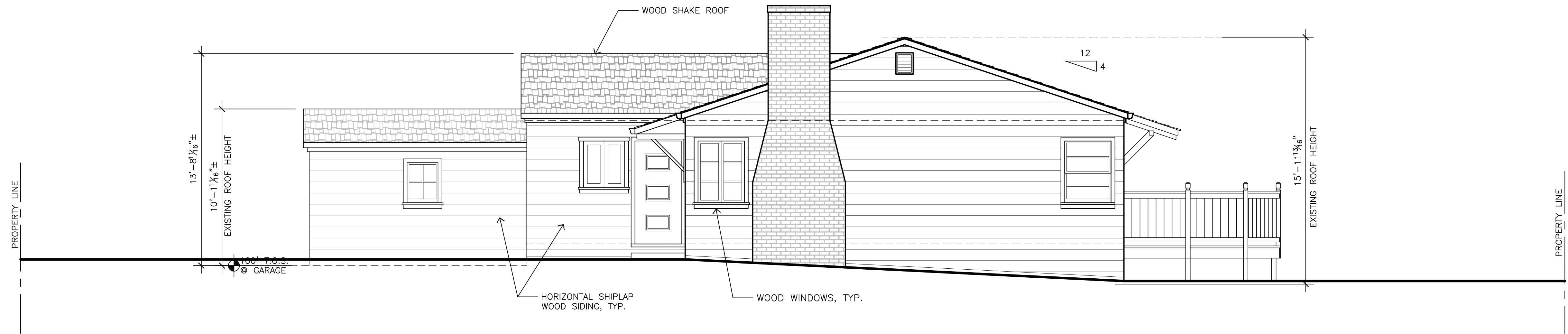
EXTERIOR
 ELEVATIONS

DATE: 06-07-19

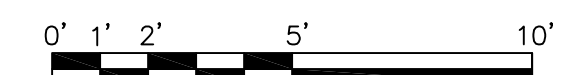
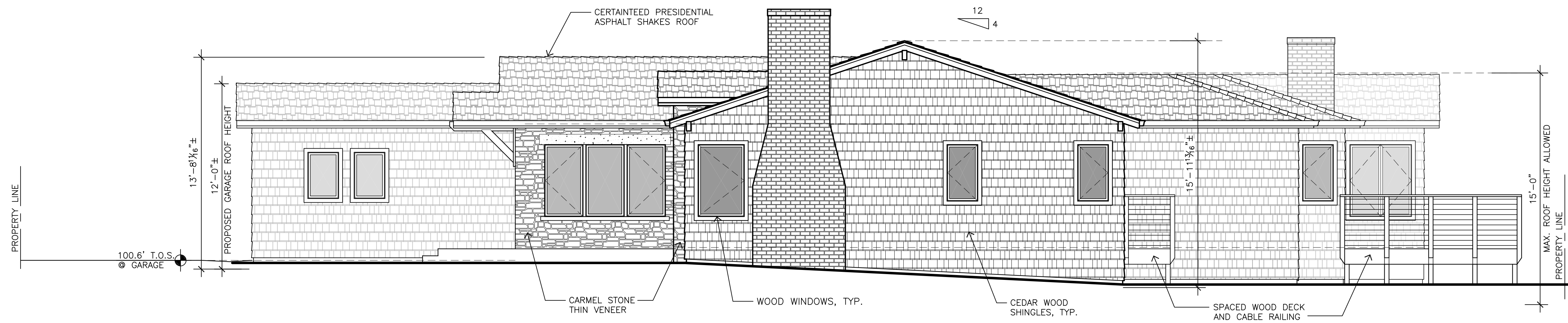
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A6.1



EXISTING NORTH ELEVATION 1/4"=1'-0"



PROPOSED NORTH ELEVATION 1/4"=1'-0"

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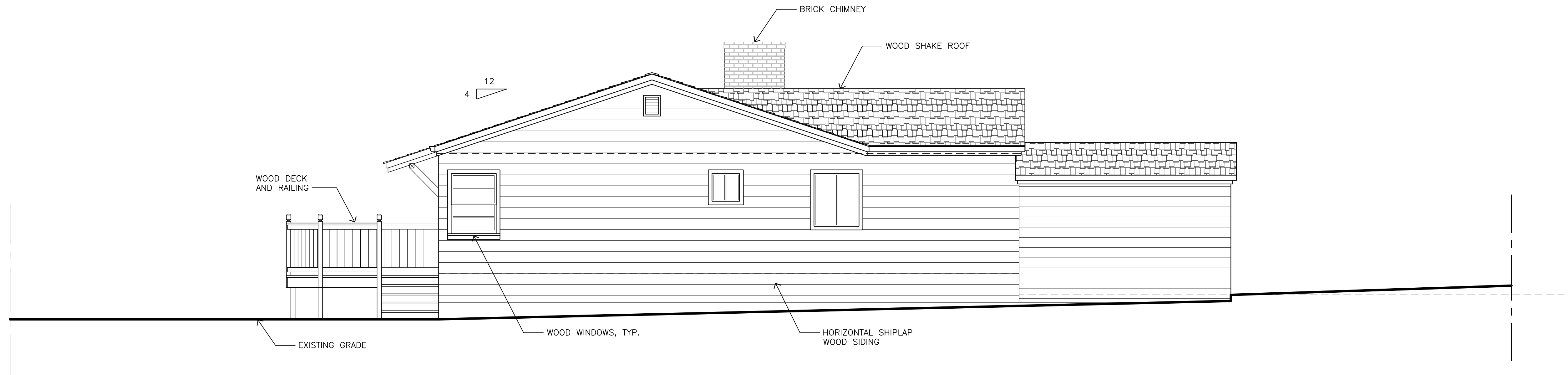
EXTERIOR ELEVATIONS

DATE: 06-07-19

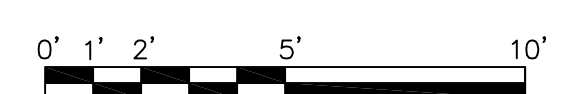
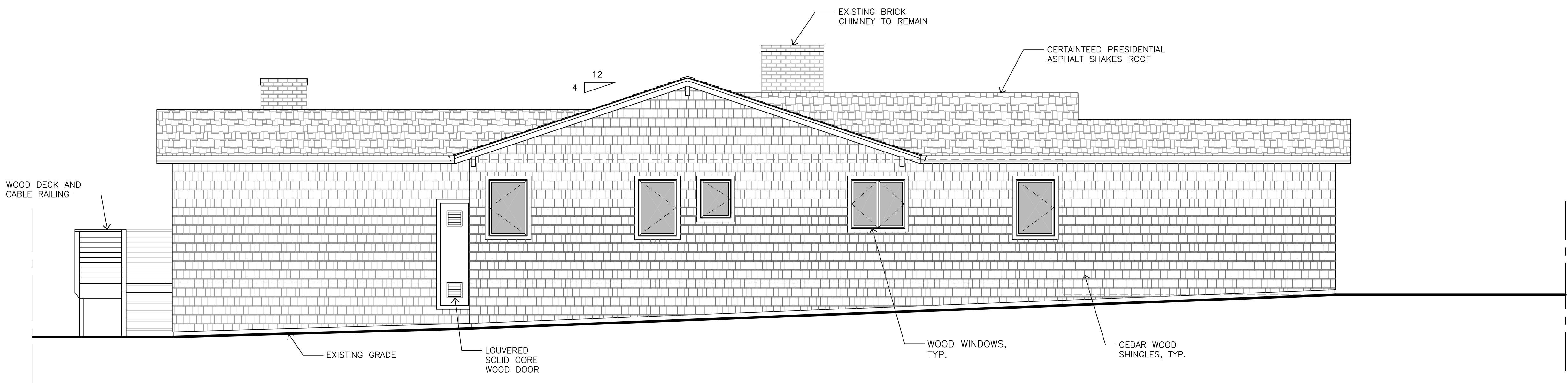
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A6.2

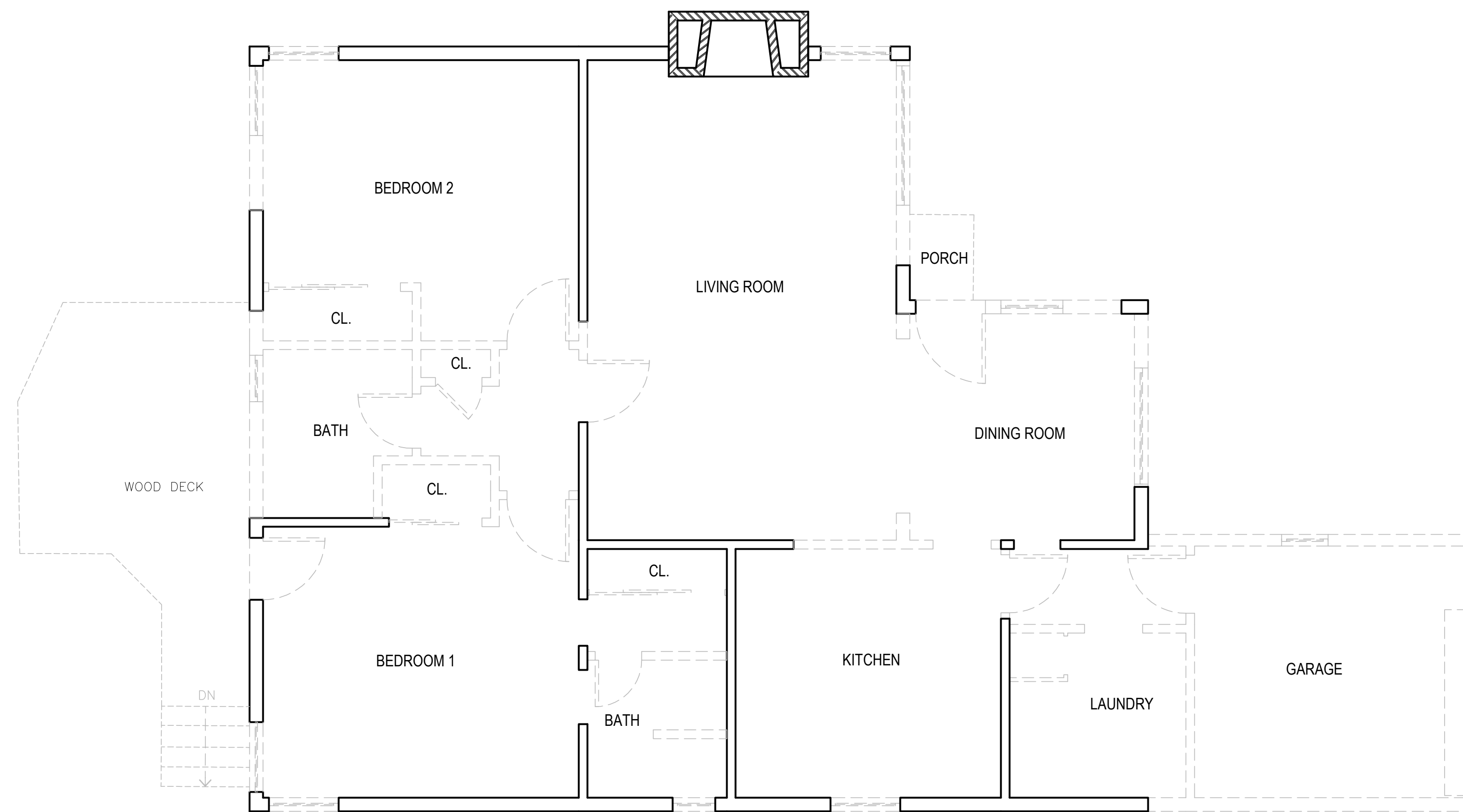


EXISTING SOUTH ELEVATION 1/4"=1'-0"



PROPOSED SOUTH ELEVATION 1/4"=1'-0"

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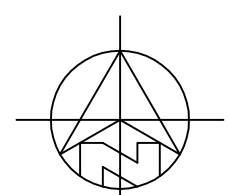
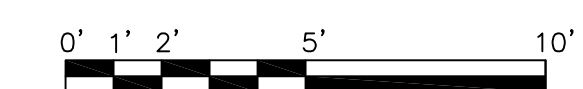


CALCULATIONS OF WALLS

EXISTING WALLS (EXTERIOR AND INTERIOR) – 329 L.F.
 WALLS TO BE REMOVED (EXTERIOR AND INTERIOR) – 154 L.F.
 47% OF EXISTING WALLS TO BE REMOVED

WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- (E) DOOR OR WINDOW TO BE REMOVED
- 2X EXISTING WALL TO BE REMOVED



DEMOLITION FLOOR PLAN

1/4"=1'-0"



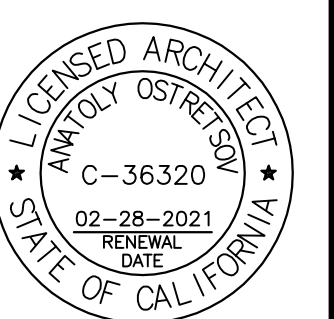
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**REMODEL AND ADDITION TO A
 RESIDENCE IN CARMEL**

GUADALUPE 4 SW OF 1ST

APN: 010-026-004

CARMEL, CA 93923



REVISIONS:

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DEMOLITION FLOOR PLAN

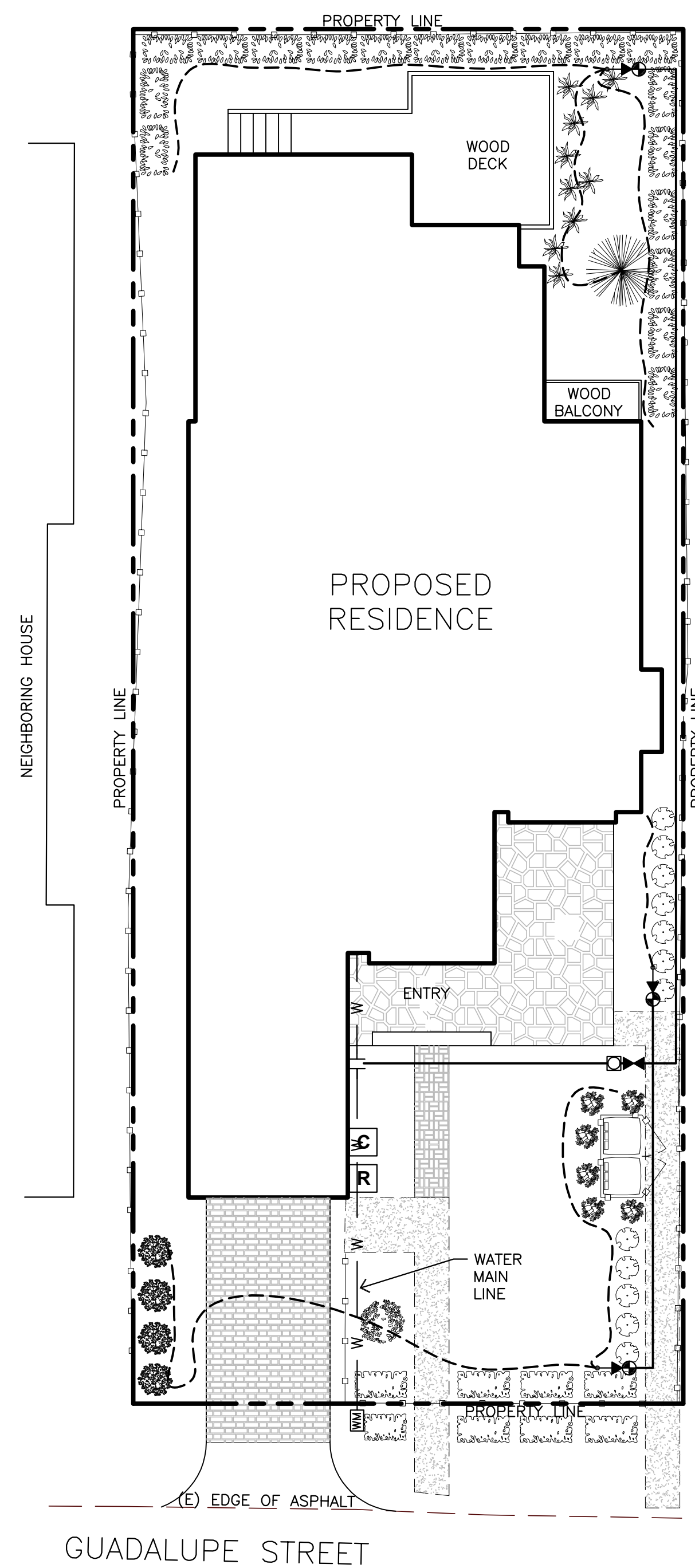
DATE: 06-07-19

DESIGN APPROVAL

SHEET NO.

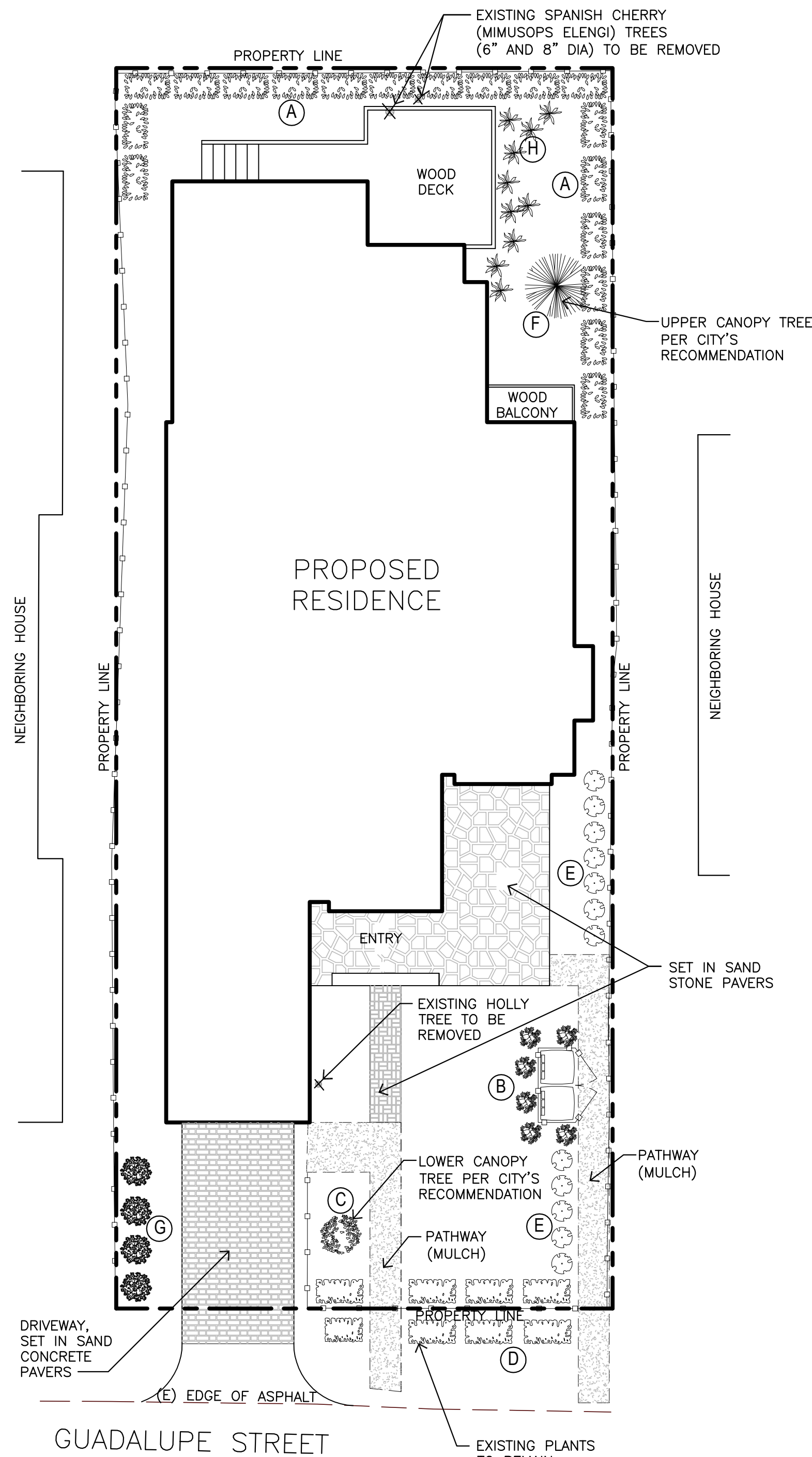
D 2.0

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IRRIGATION PLAN

1/8"=1'-0"



PLANTING PLAN

1/8"=1'-0"

GENERAL IRRIGATION NOTES

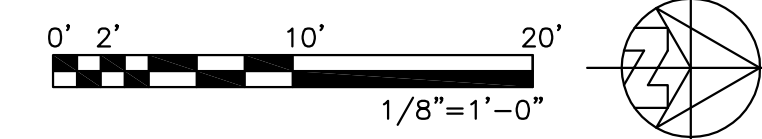
1. IRRIGATION TO BE RUN OFF SEPARATE MAINLINE EXTENSION WITH ISOLATION SHUT OFF VALVE
2. ALL DRIP LINES TO HAVE AN IN-LINE FILTER
3. PRESSURE FOR REGULATOR FOR DRIP IRRIGATION TO BE REGULATED TO 25 - 35 PSI
4. ALL VALVES TO BE SUB-GRADE WITHIN A WEATHERPROOF VALVE BOX

PLANT LIST

CODE	QTY	SIZE	BOTANICAL NAME	COMMON NAME
A	18	5 GAL	AFROCARPUS GRACILIOR	WEeping PODOCARPUS
B	6	5 GAL	AMETHYST FALLS BLUE WISTERIA	WISTERIA
C	1	5 GAL	SCHINUS TEREBINTHIFOLIUS	BRAZILIAN PEPPER (LOWER CANOPY)
D	8	EXISTING	MELALEUCA SUBULATA	RED BOTTLEBRUSH FLOWER
E	12	5 GAL	PITTOSPORUM 'MARIE CHANNON'	VARIATED PITTOSPORUM
F	1	5 GAL	PINUS RADIATA	MONTEREY PINE (UPPER CANOPY)
G	4	5 GAL	CEANOTHUS	CALIFORNIA LILAC
H	10	1 GAL	CALAMAGROSTIS FOLIOSA	PACIFIC REED GRASS

IRRIGATION LEGEND

- POINT OF CONNECTION FROM MAIN LINE
- GATE SHUT OFF VALVE
- BACKFLOW PREVENTION ASSEMBLY
- CONTROL VALVE TO DRIP - HUNTER PGV 1" GLOBE VALVE WITH 30 PSI PRESSURE REGULATOR AND FILTER
- CONTROLLER - HUNTER PRO C
- RAIN SENSOR - HUNTER RAIN CLIK
- DRIP ZONE RISER FROM 3/4" PVC TO 1/2" TUBING
- 3/4 PVC SCHEDULE 40 TO VALVES
- LATERAL TUBING TO EMITTERS - 1/2" POLYETHYLENE



AO ARCHITECTURAL
DESIGN

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REMODEL AND ADDITION TO
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GUADALUPE 4 SW OF 1ST
APN: 010-026-004



REVISIONS:

PLANTING PLAN
IRRIGATION PLAN

DATE: 06-07-19
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L-1

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