



CITY OF CARMEL-BY-THE-SEA CITY COUNCIL AGENDA

Mayor Dave Potter, Council Members Jeff Baron,
Karen Ferlito, Bobby Richards, and Carrie Theis
Contact: 831.620.2000 www.ci.carmel.ca.us

All meetings are held in the City Council Chambers
East Side of Monte Verde Street
Between Ocean and 7th Avenues

CITY COUNCIL SPECIAL MEETING Monday, August 2, 2021 4:30 PM

Governor Newsom's Executive Order N-29-20 has allowed local legislative bodies to hold public meetings via teleconference and to make public meetings accessible telephonically or otherwise electronically to all members of the public seeking to observe and to address the local legislative body. Also, see the Order by the Monterey County Public Health Officer issued March 17, 2020. The health and well-being of our residents is the top priority for the City of Carmel-by-the-Sea. To that end, this meeting will be held via teleconference and web-streamed on the City's website ONLY.

Click the following link to attend via Zoom (or copy and paste the link into your browser); <https://ci-carmel-ca-us.zoom.us/j/96210728499?>; Meeting ID (if needed): 962 1072 8499; Passcode (if needed): 923512; or to attend via telephone, dial 1-669-900-9128

The public can also email comments to cityclerk@ci.carmel.ca.us. Comments must be received 2 hours before the meeting in order to be provided to the legislative body. Comments received after that time and up to the beginning of the meeting will be added to the agenda and made part of the record.

CALL TO ORDER AND ROLL CALL

PUBLIC APPEARANCES

Members of the Public are invited to speak on any item that does not appear on the Agenda and that is within the subject matter jurisdiction of the City Council. The exception is a Closed Session agenda, where speakers may address the Council on those items before the Closed Session begins. Speakers are usually given three (3) minutes to speak on any item; the time limit is in the discretion of the Chair of the meeting and may be limited when appropriate. Applicants and appellants in land use matters are usually given more time to speak. If an individual wishes to submit written information, he or she may give it to the City Clerk. Speakers and any other members of the public will not approach the dais at any time without prior consent from the Chair of the meeting.

ANNOUNCEMENTS

- A. City Administrator Announcements
- B. City Attorney Announcements
- C. Councilmember Announcements

CONSENT AGENDA

Items on the consent agenda are routine in nature and do not require discussion or independent action. Members of the Council, Board or Commission or the public may ask that any items be considered individually for purposes of Council, Board or Commission discussion and/ or for public comment. Unless that is done, one motion may be used to adopt all recommended actions.

1. July 6, 2021 Regular Meeting Minutes
2. Monthly Reports for June: 1) City Administrator Contract Log; 2) Community Planning and Building Department Reports; 3) Police, Fire, and Ambulance Reports; 4) Public Records Act Requests, and 5) Public Works Department Report
3. June 2021 Check Register Summary
4. Resolution 2021-039 authorizing the City Administrator to execute an agreement with the Monterey County Convention and Visitors Bureau for Destination Marketing for the term of July 1, 2021 to June 30, 2022 in an amount not to exceed \$160,007
5. Resolution 2021-040 adopting the Public Agency Retirement Services (PARS) Public Agencies Post-Employment Benefits Trust (the "Program"); Appoint the City Administrator or his/her designee as the City's Plan Administrator for the Program and Authorize the City's Plan Administrator to execute all necessary documents and to take whatever additional actions are necessary to establish and maintain the City's participation in the Program
6. Resolution 2021-041 authorizing a refund of Design Review application fees of \$2,197.50 to Rich Pepe
7. Receive the Climate Change Vulnerability Assessment that was developed by the Climate Committee as part of the Climate Adaptation and Action Plan Project

FUTURE AGENDA ITEMS

CLOSED SESSION

- A. Conference with Real Property Negotiators pursuant to Government Code Section 54956.8; Property: Forest Theater (lots one to fifteen inclusive in block 85 as designated on the Map of Addition Number 5 to Carmel-by-the-Sea). Agency Negotiators: City Administrator Chip Rerig, Library and Community Activities Director Ashlee Wright, Public Works Director Robert Harary and City Attorney Brian Pierik; Negotiating Parties: Steven Retsky and Pacific Repertory Theatre; Under Negotiation: Terms of Lease
- B. Conference with Legal Counsel – Anticipated Litigation, Initiation of litigation pursuant to Government Code Section 54956.9(d)(4) - Number of potential cases; One case
- C. Public Employee Performance Evaluation pursuant to Government Code Section 54957; Title: City Administrator
- D. Conference with Legal Counsel – Anticipated Litigation, Significant exposure to litigation pursuant to Government Code Section 54956.9(d)(2) - Number of potential cases; One case

ADJOURNMENT

This agenda was posted at City Hall, Monte Verde Street between Ocean Avenue and 7th Avenue, outside the Park

Branch Library, NE corner of Mission Street and 6th Avenue, the Carmel-by-the-Sea Post Office, 5th Avenue between Dolores Street and San Carlos Street, and the City's webpage <http://www.ci.carmel.ca.us> in accordance with applicable legal requirements.

SUPPLEMENTAL MATERIAL RECEIVED AFTER THE POSTING OF THE AGENDA

Any supplemental writings or documents distributed to a majority of the City Council regarding any item on this agenda, received after the posting of the agenda will be available for public review at City Hall located on Monte Verde Street between Ocean and Seventh Avenues during regular business hours.

SPECIAL NOTICES TO PUBLIC

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at 831-620-2000 at least 48 hours prior to the meeting to ensure that reasonable arrangements can be made to provide accessibility to the meeting (28CFR 35.102-35.104 ADA Title II).



**CITY OF CARMEL-BY-THE-SEA
CITY COUNCIL
Staff Report**

**August 2, 2021
CONSENT AGENDA**

TO: Honorable Mayor and City Council Members
SUBMITTED BY: Britt Avrit, City Clerk
APPROVED BY: Chip Rerig, City Administrator
SUBJECT: July 6, 2021 Regular Meeting Minutes

RECOMMENDATION:

Approve July 6, 2021 Regular Meeting Minutes as presented.

BACKGROUND/SUMMARY:

The City Council routinely approves the Minutes of its meetings.

FISCAL IMPACT:

None for this action.

PRIOR CITY COUNCIL ACTION:

None for this action.

ATTACHMENTS:

Attachment #1 - July 6, 2021 Meeting Minutes

**REGULAR MEETING
Tuesday, July 6, 2021**

This meeting was held via teleconference pursuant to Governor Newsom's Executive Order N-29-20

CALL TO ORDER AND ROLL CALL

Mayor Potter called the meeting to order at 4:30 p.m.

Present: Council Members Baron, Ferlito, Theis, Mayor Pro Tem Richards, Mayor Potter

EXTRAORDINARY BUSINESS

Item A: Welcoming and Inclusive Community Proclamation

PUBLIC APPEARANCES

The following member of the public spoke:

Brian Andrus

Item A: City Administrator Announcements

The City Administrator thanked former Mayor White, Ashlee Wright, Leslie Fenton and the entire team for the hard work to put on the concert with Monterey Pops in Devendorf Park on 4th of July and stated the City intends to begin conducting City Council and Board/Commission meetings in person in September and will continue offering attendance via Zoom.

Item B: City Attorney Announcements

None

Item C: Councilmember Announcements

Council Member Ferlito thanked Public Works Director Bob Harary, Police Chief Tomasi and Fire Chief Panholzer for the recent fire safety presentation at the Forest Theater and discussed the 4th of July concert at Devendorf Park.

Council Member Baron discussed the upcoming Climate Committee meeting.

Mayor Pro Tem Richards congratulated Sarah Graessley from Carmel High School as the CCS pole vault champion and for placing fifth in pole vault at the State Championships.

Mayor Potter discussed the climate he experienced while visiting Boston and thanked Council Member Theis and Baron for their work with the Climate Committee.

CONSENT AGENDA

Council Member Baron requested Items 6 and 7 be removed for separate discussion.

Council Member Ferlito requested Items 2, 5, 6 and 8 be removed for comment and discussion

CONSENT AGENDA

Council Member Ferlito discussed concerns with the number of illegal fires on the beach and discussed the number of tress removed vs. the number replaced regarding Item 2; thanked Agnes Martelet for her work with the grant regarding Item 5; discussed the amount spent on cleaning at Vista Lobos regarding Item 8.

On a motion by Mayor Pro Tem Richards and seconded by Council Member Theis, the City Council approved the Consent Agenda except Items 6 and 7, by the following roll call vote:

AYES: BARON, FERLITO, THEIS, RICHARDS, POTTER
NOES: NONE
ABSENT: NONE
ABSTAIN: NONE

Item 6: Resolution 2021-035 authorizing the City Administrator to execute Amendment No. 3 to the agreement with Peninsula Messenger Service for mail delivery for a not to exceed increase of \$122,000 for the term of July 1, 2021 to December 31, 2022

Questions from the City Council to staff included clarification as to how the new rate for the service is determined, the deadline to return the applicable forms, and what happens after that deadline if people do not submit their form. Additional clarification was needed regarding the number of people dropping off the service and history of the cost to the City.

Discussion among the City Council and staff included discussion of verbiage in the staff report and the need to start the discussion and process related to assigning addresses and having USPS mail service in the City.

Council Member Baron moved and Mayor Pro Tem Richards seconded the approval of Consent Agenda Item 6.

Additional discussion included discussion of the concerns related to the amount spent and continuing to spend on the service, ensuring the City is not overpaying, and potentially reducing the number of days for mail delivery by Peninsula Messenger Service.

On a motion by Council Member Baron and seconded by Mayor Pro Tem Richards, the City Council approved Consent Agenda Item 6, by the following roll call vote:

AYES: BARON, FERLITO, THEIS, RICHARDS, POTTER
NOES: NONE
ABSENT: NONE
ABSTAIN: NONE

Item 7: Resolution 2021-036 authorizing the City Administrator to sign a Legal Services Agreement with the Telecom Law Firm

Questions from the City Council to staff included clarification of the process for developing a future telecommunications ordinance.

Item 7 continued...

The following members of the public spoke regarding this item:
Sue McCloud

Tripp May discussed Telecom Law Firm's history and areas of expertise.

Discussion among the City Council and staff included discussion of concerns related to the process of developing the ordinance and the associated policy, and discussion regarding involving the Planning Commission prior to presenting an ordinance to the City Council.

On a motion by Council Member Theis and seconded by Mayor Pro Tem Richards, the City Council approved Consent Agenda Item 7, by the following roll call vote:

AYES: BARON, FERLITO, THEIS, RICHARDS, POTTER
NOES: NONE
ABSENT: NONE
ABSTAIN: NONE

Item 1: June 1, 2021 Regular Meeting Minutes and June 8, 2021 Special Meeting Minutes

Item 2: Monthly Reports for May: 1) City Administrator Contract Log; 2) Community Planning and Building Department Reports; 3) Police, Fire, and Ambulance Reports; 4) Public Records Act Requests, and 5) Public Works Department Report

Item 3: May 2021 Check Register Summary

Item 4: Letter authorizing the County of Monterey to execute all documents necessary to continue to implement the annual Used Oil Payment Program on behalf of the City during FY 2021/22

Item 5: Resolution 2021-034 approving the Grant of Funds from the California State Coastal Conservancy for the Mission Trail Nature Preserve Fire Fuel Abatement Project and approving a Budget Amendment of \$45,000 to the Fiscal Year 2021-2022 Adopted Budget

Item 6: Resolution 2021-035 authorizing the City Administrator to execute Amendment No. 3 to the agreement with Peninsula Messenger Service for mail delivery for a not to exceed increase of \$122,000 for the term of July 1, 2021 to December 31, 2022

Item 7: Resolution 2021-036 authorizing the City Administrator to sign a Legal Services Agreement with the Telecom Law Firm

Item 8: Resolution 2021-037 authorizing the City Administrator to execute Amendment No. 5 with Pureserve Building Services, Inc., extending the existing janitorial services contract through December 31, 2021 for a fee of \$97,000, plus a supplemental services contingency of \$5,000, for a not-to-exceed total of \$102,000

Item 9: Resolution 2021-038 establishing a schedule of fines greater than \$100 for Administrative Citations pursuant to Section 18.04.080 of the City of Carmel-by-the-Sea Municipal Code

ORDERS OF BUSINESS

Item 10: Receive a presentation recommending the Public Agency Retirement Services (PARS) as the preferred Section 115 Retirement Trust provider and direct staff to prepare the authorizing resolution and other necessary documents to establish a Section 115 Trust Administered by the Public Agency Retirement Services (PARS)

The City Administrator and Director of Budgets and Contracts provided the staff report for this item.

Questions from the City Council to staff included clarification of an IRS private letter ruling.

Discussion among the City Council and staff included discussion of the financial position the City is in and discussed the responsible use of funds to pay down the City's liability. The City Council stated it is pleased to be moving ahead with this and discussed restrictions for investment of the funds.

On a motion by Mayor Potter and seconded by Mayor Pro Tem Richards, the City Council directed staff to prepare the authorizing resolution and other necessary documents to establish a Section 115 Trust Administered by the Public Agency Retirement Services (PARS), by the following roll call vote:

AYES: BARON, FERLITO, THEIS, RICHARDS, POTTER
NOES: NONE
ABSENT: NONE
ABSTAIN: NONE

FUTURE AGENDA ITEMS

Council Member Ferlito requested an item regarding a plan for revitalization of the Commercial District be provided in the future. Mayor Potter discussed working with the Planning Commission to be more involved in planning as opposed to design.

ADJOURNMENT

Mayor Potter adjourned the meeting to Closed Session at 5:44 p.m.

APPROVED:

ATTEST:

Dave Potter, Mayor

Britt Avrit, MMC
City Clerk



CITY OF CARMEL-BY-THE-SEA CITY COUNCIL Staff Report

August 2, 2021
CONSENT AGENDA

TO:	Honorable Mayor and City Council Members
SUBMITTED BY:	Britt Avrit, City Clerk
APPROVED BY:	Chip Rerig, City Administrator
SUBJECT:	Monthly Reports for June: 1) City Administrator Contract Log; 2) Community Planning and Building Department Reports; 3) Police, Fire, and Ambulance Reports; 4) Public Records Act Requests, and 5) Public Works Department Report

RECOMMENDATION:

Review and receive monthly reports.

BACKGROUND/SUMMARY:

This is a monthly series of reports.

Based upon Council direction provided during the April 7, 2020 meeting, staff have added a new section to the monthly staff report regarding the home mail delivery program.

The invoice submitted by Peninsula Messenger Service for the month of June shows 159 residents are receiving mail delivery service.

FISCAL IMPACT:

None for this action.

PRIOR CITY COUNCIL ACTION:

Monthly approvals.

ATTACHMENTS:

- Attachment #1 - City Administrator Contract Log
- Attachment #2 - Community Planning & Building Report June 2021
- Attachment #3 - Police, Fire & Ambulance Report
- Attachment #4 - Public Records Act Request Logs
- Attachment #5 - Public Works Report for June 2021

City Administrator Contract Log

Nothing to report for June, 2021



CITY OF CARMEL-BY-THE-SEA Monthly Report

June 2021

Community Planning and Building Department

TO:	Honorable Mayor and City Council Members
SUBMITTED BY:	Margi Perotti, Administrative Coordinator
SUBMITTED ON:	July 1, 2021
APPROVED BY:	Brandon Swanson, Community Planning & Building Director

JUNE 2021 – DEPARTMENT ACTIVITY REPORT

I. PLANNING APPLICATIONS:

In June of 2021, **51** planning permit applications were received.

II. BUILDING PERMIT APPLICATIONS:

In June of 2021, **56** Building Permit applications were received.

III. CODE COMPLIANCE CASES:

In June of 2021, **2** new code compliance cases were created.

IV. ENCROACHMENT APPLICATIONS:

In June of 2021, **13** encroachment permit applications were received.

V. YEAR-TO-DATE TRENDS

Table 1 includes the June 2021 totals, for planning and building permit applications, encroachments and code compliance cases with a comparison to June 2020 totals. As shown in the table, in 2021 there was a **54% increase** in planning permit applications, a **10% increase** in building permit applications, **73% decrease** in code compliance cases, and a **17% decrease** in encroachment permit applications compared to the same period 2020.

Table 1. Permit Application Totals

	<u>Planning</u>	<u>Building</u>	<u>Code Compliance</u>	<u>Encroachments</u>
2020 Totals	151	258	97	171
2021 Totals	232	285	26	142
% Difference	54%	10%	-73%	-17%



CITY OF CARMEL-BY-THE-SEA

Monthly Report

June 2021

Public Safety

TO:	Honorable Mayor and City Council Members
SUBMITTED BY:	Paul Tomasi, Public Safety Director
SUBMITTED ON:	July 9, 2021
APPROVED BY:	Chip Rerig, City Administrator

AMBULANCE REPORT

Summary of Carmel Fire Ambulance June Calls for Service

AMBULANCE PERFORMANCE MEASURE

The performance goal for Code-3 (life threatening emergency-lights & siren) ambulance calls with a response time of 5 minutes or less from dispatch to arrival is 95%. For the month of June 2021 the ambulance was unable to meet the performance measure. The response time was 100% with no code-3 calls over 5 minutes.

49 Calls for service in CBTS Average response time: 3:11 min.
 32 Code 3 calls for service –Average response time 2:49 min Zero calls over 5:00 min.

MONTEREY FIRE REPORT

Summary of Monterey Fire June Calls for Service

FIRE PERFORMANCE MEASURE

The performance goal for Code-3 (life threatening emergency-lights & siren) fire calls with a response time of 5 minutes or less from dispatch to arrival is 95%. For the month of June 2021 the fire department was unable to meet the performance measure. The response time was 94% with 2 code-3 calls over 5 minutes.

72 total calls for service in CBTS Average response time: 3:45 min.
 54 total Code-3 calls
 6/27/21; (5:20 min response); Santa Lucia & San Carlos: (Distance from station)
 6/29/21; (5:49 min response); Santa Lucia & Mission: (Traffic)
 6/26/21; (5:50 min response); Camino Real & 8th Ave: (Traffic)

BEACH FIRES

There were 15 illegal beach fires recorded during the month of June.



RESPONSE SUMMARY REPORT BY DISTRICT

27015 CARMEL-BY-THE-SEA FIRE AMBULANCE

Alarm Dates: 6/01/2021 to 6/30/2021



MEDICAL RESPONSES CARMEL CITY

INCIDENT	PRIORITY	DATE	ALARM	ARRIVAL	RESPONSE	CALL CLEARED	STREET
210602-CFA00702	Emergent	6/2/2021	4:46:09 AM	4:48:46 AM	0:02:37	5:45:00 AM	OCEAN AVE / LINCOLN ST
210602-CFA00705	Emergent	6/2/2021	11:53:04 AM	11:57:32 AM	0:04:28	12:01:39 PM	LINCOLN ST / 12TH AVE
210604-CFA00716	Emergent	6/4/2021	3:35:41 PM	3:37:44 PM	0:02:03	4:40:00 PM	OCEAN AVE / SCENIC RD
210606-CFA00723	Emergent	6/6/2021	12:26:17 PM	12:27:39 PM	0:01:22	1:50:00 PM	7TH AVE / SAN CARLOS ST
210606-CFA00727	Emergent	6/6/2021	11:09:18 PM	11:11:44 PM	0:02:26	11:59:00 PM	MISSION ST / 8TH AVE
210607-CFA00728	Emergent	6/7/2021	11:46:28 AM	11:48:01 AM	0:01:33	12:25:42 PM	MONTE VERDE ST / OCEAN A
210607-CFA00729	Emergent	6/7/2021	6:47:33 PM	6:48:15 PM	0:00:42	7:36:00 PM	DOLORES ST / 5TH AVE
210609-CFA00735	Emergent	6/9/2021	5:48:35 PM	5:50:00 PM	0:01:25	5:52:00 PM	6TH AVE / MISSION ST
210610-CFA00742	Emergent	6/10/2021	8:25:40 PM	8:27:54 PM	0:02:14	9:20:00 PM	OCEAN AVE / LINCOLN ST
210611-CFA00743	Emergent	6/11/2021	3:27:08 AM	3:31:48 AM	0:04:40	4:22:38 AM	CAMINO REAL ST / 4TH AVE
210611-CFA00746	Emergent	6/11/2021	10:27:52 PM	10:32:45 PM	0:04:53	11:40:00 PM	11TH AVE / SCENIC RD
210612-CFA00748	Emergent	6/12/2021	10:08:00 AM	10:09:28 AM	0:01:28	10:55:00 AM	MISSION ST / 5TH AVE
210612-CFA00751	Emergent	6/12/2021	9:45:22 PM	9:49:22 PM	0:04:00	9:54:41 PM	LINCOLN ST / SANTA LUCIA A
210613-CFA00753	Emergent	6/13/2021	4:13:29 AM	4:18:18 AM	0:04:49	4:37:19 AM	JUNIPERO AVE / 1ST AVE
210613-CFA00756	Emergent	6/13/2021	5:45:22 PM	5:46:33 PM	0:01:11	6:40:00 PM	SAN CARLOS ST / 7TH AVE
210614-CFA00760	Emergent	6/14/2021	9:44:30 AM	9:46:48 AM	0:02:18	10:44:53 AM	8TH AVE / CASANOVA ST
210614-CFA00763	Non-Emerg	6/14/2021	8:22:06 PM	8:23:53 PM	0:01:47	9:12:22 PM	OCEAN AVE / JUNIPERO AVE
210616-CFA00770	Emergent	6/16/2021	9:52:41 AM	9:54:46 AM	0:02:05	10:48:00 AM	LINCOLN ST / 7TH AVE
210616-CFA00775	Emergent	6/16/2021	10:14:04 PM	10:16:48 PM	0:02:44	11:04:53 PM	MISSION ST / 4TH AVE
210618-CFA00782	Emergent	6/18/2021	5:48:04 AM	5:51:03 AM	0:02:59	5:55:43 AM	SAN CARLOS ST / 5TH AVE
210622-CFA00807	Emergent	6/22/2021	5:43:07 PM	5:45:00 PM	0:01:53	5:52:37 PM	CARPENTER ST / 6TH AVE
210624-CFA00823	Emergent	6/24/2021	5:05:51 PM	5:08:02 PM	0:02:11	6:07:17 PM	7TH AVE / LINCOLN ST
210625-CFA00824	Emergent	6/25/2021	2:35:15 AM	2:39:00 AM	0:03:45	3:25:10 AM	LINCOLN ST / 7TH AVE
210625-CFA00825	Emergent	6/25/2021	9:00:22 AM	9:01:57 AM	0:01:35	10:10:30 AM	LINCOLN ST / 7TH AVE
210625-CFA00829	Emergent	6/25/2021	4:12:26 PM	4:14:28 PM	0:02:02	4:56:42 PM	DOLORES ST / 5TH AVE
210626-CFA00836	Emergent	6/26/2021	12:43:38 PM	12:46:16 PM	0:02:38	1:40:50 PM	SAN CARLOS ST / 4TH AVE
210626-CFA00837	Non-Emerg	6/26/2021	1:40:54 PM	1:48:08 PM	0:07:14	2:08:15 PM	JUNIPERO AVE / 4TH AVE
210626-CFA00838	Emergent	6/26/2021	9:16:41 PM	9:18:34 PM	0:01:53	9:25:00 PM	6TH AVE / JUNIPERO AVE
210626-CFA00839	Emergent	6/26/2021	11:09:44 PM	11:14:09 PM	0:04:25	12:02:41 AM	CAMINO REAL ST / 8TH AVE
210627-CFA00840	Emergent	6/27/2021	10:31:16 PM	10:35:32 PM	0:04:16	11:28:00 PM	MONTE VERDE ST / 4TH AVE
210628-CFA00842	Emergent	6/28/2021	8:07:17 PM	8:11:02 PM	0:03:45	8:50:00 PM	12TH AVE / CASANOVA ST
210629-CFA00845	Emergent	6/29/2021	5:32:09 PM	5:35:04 PM	0:02:55	5:47:00 PM	SAN ANTONIO AVE / 7TH AVE

NUMBER OF EMS INCIDENT 32 AVERAGE RESPONSE 0:02:49

FIRE RESPONSES CARMEL CITY

INCIDENT	PRIORITY	DATE	ALARM	ARRIVAL	RESPONSE	CALL CLEARED	STREET
210601-CFA00700	Emergent	6/1/2021	9:45:51 PM	9:48:20 PM	0:02:29	9:51:25 PM	7TH AVE / DOLORES ST
210602-CFA00703	Emergent	6/2/2021	9:03:09 AM	9:07:33 AM	0:04:24	9:10:46 AM	MISSION ST / VISTA AVE
210602-CFA00706	Emergent	6/2/2021	6:29:39 PM	6:31:51 PM	0:02:12	6:34:29 PM	9TH AVE / MONTE VERDE ST
210603-CFA00711	Emergent	6/3/2021	9:03:10 PM	9:11:32 PM	0:08:22	9:19:25 PM	LINCOLN ST / SANTA LUCIA A
210604-CFA00713	Emergent	6/4/2021	7:31:49 AM	7:34:33 AM	0:02:44	7:36:12 AM	LINCOLN ST / 7TH AVE
210606-CFA00722	Emergent	6/6/2021	11:31:03 AM	11:33:20 AM	0:02:17	12:26:12 PM	OCEAN AVE / LINCOLN ST
210608-CFA00731	Emergent	6/8/2021	9:27:25 PM	9:30:57 PM	0:03:32	9:35:45 PM	LINCOLN ST / SANTA LUCIA A
210609-CFA00733	Non-Emerg	6/9/2021	9:34:01 AM	9:37:24 AM	0:03:23	9:44:17 AM	SANTA FE ST / 1ST AVE
210610-CFA00737	Emergent	6/10/2021	8:59:06 AM	9:03:56 AM	0:04:50	9:15:47 AM	CASANOVA ST / 9TH AVE
210617-CFA00776	Emergent	6/17/2021	4:49:57 AM	4:52:43 AM	0:02:46	5:12:06 AM	DOLORES ST / 4TH AVE
210619-CFA00791	Emergent	6/19/2021	8:22:08 AM	8:24:56 AM	0:02:48	8:35:37 AM	TORRES ST / 1ST AVE
210619-CFA00794	Non-Emerg	6/19/2021	9:10:14 PM	9:12:57 PM	0:02:43	9:19:34 PM	LINCOLN ST / 7TH AVE
210621-CFA00800	Emergent	6/21/2021	7:46:22 PM	7:52:35 PM	0:06:13	8:15:05 PM	LINCOLN ST / 4TH AVE
210623-CFA00808	Emergent	6/23/2021	1:24:53 AM	1:29:16 AM	0:04:23	1:35:08 AM	CARMELO ST / OCEAN AVE
210624-CFA00816	Emergent	6/24/2021	1:30:02 AM	1:35:02 AM	0:05:00	1:38:24 AM	SANTA RITA ST / 1ST AVE
210624-CFA00820	Emergent	6/24/2021	1:17:35 PM	1:21:32 PM	0:03:57	1:21:58 PM	SCENIC RD / 8TH AVE
210626-CFA00835	Emergent	6/26/2021	8:55:16 AM	8:58:34 AM	0:03:18	9:03:35 AM	CAMINO REAL ST / 8TH AVE

NUMBER OF FIRE INCIDENT	17	AVERAGE RESPONSE	0:03:51
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TOTAL CARMEL CITY INCIDE	49	4L AVERAGE RESPONSE TIME	0:03:11
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RESPONSES BY DISTRICT

INCIDENT	PRIORITY	DATE	ALARM	ARRIVAL	RESPONSE	CALL CLEARED	STREET
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CARMEL HIGHLANDS

INCIDENT	PRIORITY	DATE	ALARM	ARRIVAL	RESPONSE	CALL CLEARED	STREET
210602-CFA00701	Emergent	6/2/2021	12:48:00 AM	12:57:50 AM	0:09:50	1:46:59 AM	98 CORONA RD
210604-CFA00718	Emergent	6/4/2021	6:48:54 PM	6:56:29 PM	0:07:35	7:57:18 PM	120 HIGHLAND DR
210615-CFA00767	Emergent	6/15/2021	10:08:28 AM	10:15:53 AM	0:07:25	11:03:48 AM	120 HIGHLAND DR
210616-CFA00771	Emergent	6/16/2021	12:40:02 PM	12:52:53 PM	0:12:51	1:45:00 PM	27720 HWY 1
210616-CFA00774	Emergent	6/16/2021	9:15:25 PM	9:24:11 PM	0:08:46	9:28:38 PM	120 HIGHLAND DR
210620-CFA00795	Emergent	6/20/2021	9:20:19 AM	9:28:28 AM	0:08:09	10:20:48 AM	27601 HWY 1
210630-CFA00847	Emergent	6/30/2021	11:42:19 AM	11:50:23 AM	0:08:04	12:40:49 PM	1 POINT LOBOS STATE RESER
Subtotal		7		Average Response Time	0:08:57		Carmel Highlands

CYPRESS FIRE

INCIDENT	PRIORITY	DATE	ALARM	ARRIVAL	RESPONSE	CALL CLEARED	STREET
210601-CFA00699	Emergent	6/1/2021	4:50:17 PM	4:57:00 PM	0:06:43	6:00:00 PM	
210603-CFA00708	Emergent	6/3/2021	10:50:32 AM	10:54:41 AM	0:04:09	10:55:44 AM	RIO RD / BIRCH PL
210604-CFA00715	Emergent	6/4/2021	11:01:58 AM	11:07:12 AM	0:05:14	11:12:00 AM	
210606-CFA00724	Emergent	6/6/2021	1:48:26 PM	1:51:08 PM	0:02:42	2:43:34 PM	
210606-CFA00725	Emergent	6/6/2021	6:56:54 PM	7:01:54 PM	0:05:00	7:05:47 PM	
210608-CFA00730	Emergent	6/8/2021	8:03:47 PM	8:10:38 PM	0:06:51	8:40:07 PM	

210609-CFA00732	Emergent	6/9/2021	8:58:14 AM	9:05:34 AM	0:07:20	9:29:50 AM	26245 CARMEL RANCHO BLVE
210609-CFA00734	Emergent	6/9/2021	10:29:38 AM	10:34:55 AM	0:05:17	11:28:22 AM	26245 CARMEL RANCHO BLVE
210609-CFA00736	Emergent	6/9/2021	7:37:06 PM	7:42:33 PM	0:05:27	9:09:13 PM	
210610-CFA00740	Emergent	6/10/2021	2:17:58 PM	2:24:59 PM	0:07:01	3:17:00 PM	3626 THE BARNYARD
210611-CFA00744	Emergent	6/11/2021	9:45:09 AM	9:50:43 AM	0:05:34	10:54:12 AM	26350 CARMEL RANCHO LN
210612-CFA00747	Emergent	6/12/2021	1:32:33 AM	1:42:00 AM	0:09:27	2:03:11 AM	2882 CUESTA WAY
210612-CFA00749	Emergent	6/12/2021	4:25:53 PM	4:30:13 PM	0:04:20	4:42:57 PM	6 CROSSROADS MALL
210612-CFA00750	Emergent	6/12/2021	7:22:39 PM	7:26:52 PM	0:04:13	7:40:01 PM	555 CARMEL RANCHO SHOPPI
210613-CFA00752	Emergent	6/13/2021	1:11:46 AM	1:18:01 AM	0:06:15	2:06:00 AM	26382 RIVERSIDE PL
210613-CFA00757	Emergent	6/13/2021	8:24:14 PM	8:28:37 PM	0:04:23	8:57:46 PM	26245 CARMEL RANCHO BLVE
210614-CFA00758	Emergent	6/14/2021	1:59:37 AM	2:04:32 AM	0:04:55	3:00:00 AM	26270 DOLORES ST
210614-CFA00761	Emergent	6/14/2021	1:50:21 PM	1:53:51 PM	0:03:30	2:02:38 PM	26245 CARMEL RANCHO BLVE
210614-CFA00762	Emergent	6/14/2021	3:23:57 PM	3:28:53 PM	0:04:56	4:07:47 PM	96 HIGH MEADOW LN
210615-CFA00766	Emergent	6/15/2021	9:33:08 AM	9:39:01 AM	0:05:53	10:00:37 AM	26135 CARMEL RANCHO BLVE
210616-CFA00773	Emergent	6/16/2021	7:08:21 PM	7:12:12 PM	0:03:51	7:52:00 PM	26135 CARMEL RANCHO BLVI
210617-CFA00779	Emergent	6/17/2021	3:08:00 PM	3:14:00 PM	0:06:00	3:36:00 PM	24449 SAN JUAN RD
210617-CFA00780	Emergent	6/17/2021	4:50:02 PM	4:55:24 PM	0:05:22	5:08:10 PM	26135 CARMEL RANCHO BLVE
210618-CFA00784	Emergent	6/18/2021	12:40:58 PM	12:48:23 PM	0:07:25	12:54:00 PM	25260 ARRIBA DEL MUNDO D
210618-CFA00785	Emergent	6/18/2021	2:23:53 PM	2:29:15 PM	0:05:22	3:20:00 PM	CARMELO ST / SCENIC RD
210618-CFA00787	Emergent	6/18/2021	7:49:39 PM	7:55:54 PM	0:06:15	9:00:00 PM	3601 THE BARNYARD
210619-CFA00789	Emergent	6/19/2021	4:16:15 AM	4:23:57 AM	0:07:42	4:30:07 AM	4000 RIO RD
210620-CFA00796	Emergent	6/20/2021	11:28:12 AM	11:33:49 AM	0:05:37	11:41:58 AM	3121 SERRA AVE
210620-CFA00797	Emergent	6/20/2021	1:28:09 PM	1:38:11 PM	0:10:02	3:00:19 PM	24940 OUTLOOK DR
210621-CFA00799	Emergent	6/21/2021	2:57:26 PM	3:02:57 PM	0:05:31	4:57:44 PM	3850 RIO RD
210621-CFA00801	Emergent	6/21/2021	10:45:13 PM	10:47:00 PM	0:01:47	11:43:34 PM	25300 OUTLOOK DR
210622-CFA00802	Emergent	6/22/2021	6:49:46 AM	6:55:06 AM	0:05:20	8:06:33 AM	DOLORES ST / VISTA AVE
210622-CFA00804	Emergent	6/22/2021	2:14:39 PM	2:18:20 PM	0:03:41	2:25:14 PM	26245 CARMEL RANCHO BLVE
210623-CFA00809	Emergent	6/23/2021	10:21:44 AM	10:26:01 AM	0:04:17	11:30:15 AM	ATHERTON DR / HWY 1
210623-CFA00810	Emergent	6/23/2021	12:43:21 PM	12:49:48 PM	0:06:27	12:50:31 PM	101 CROSSROADS BLVD
210623-CFA00811	Emergent	6/23/2021	2:36:34 PM	2:42:44 PM	0:06:10	2:54:56 PM	26135
210623-CFA00814	Emergent	6/23/2021	3:57:52 PM	4:07:33 PM	0:09:41	5:15:00 PM	555 CARMEL RANCHO SHOPPI
210624-CFA00817	Emergent	6/24/2021	2:43:27 AM	2:49:31 AM	0:06:04	3:00:00 AM	GUADALUPE ST / PICO AVE
210624-CFA00818	Emergent	6/24/2021	9:29:52 AM	9:36:14 AM	0:06:22	10:39:43 AM	4000 RIO RD
210624-CFA00821	Emergent	6/24/2021	1:43:42 PM	1:48:35 PM	0:04:53	2:02:52 PM	26408 MISSION FIELDS RD
210624-CFA00815	Emergent	6/24/2021	12:02:57 AM	12:11:40 AM	0:08:43	12:58:41 AM	5 LA PRADERA LN
210625-CFA00831	Emergent	6/25/2021	10:46:00 PM	10:50:58 PM	0:04:58	11:50:31 PM	3540 MESA CT
210626-CFA00832	Emergent	6/26/2021	2:25:56 AM	2:32:21 AM	0:06:25	3:19:30 AM	26245 CARMEL RANCHO BLVE
210628-CFA00841	Emergent	6/28/2021	11:57:07 AM	12:02:35 PM	0:05:28	1:15:00 PM	26245 CARMEL RANCHO BLVE

Subtotal	44	Average Response Time	0:05:44	CYPRESS FIRE
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PEBBLE BEACH

INCIDENT							
210601-CFA00698	Emergent	6/1/2021	12:17:55 PM	12:29:06 PM	0:11:11	1:21:14 PM	SEVENTEEN MILE DR / SIGNA
210605-CFA00719	Emergent	6/5/2021	10:05:35 PM	10:12:23 PM	0:06:48	11:04:00 PM	1500 CYPRESS DR
210606-CFA00720	Emergent	6/6/2021	2:45:31 AM	2:55:52 AM	0:10:21	3:40:00 AM	3934 RONDA RD
210606-CFA00726	Emergent	6/6/2021	8:42:17 PM	8:48:11 PM	0:05:54	9:48:00 PM	1500 CYPRESS DR

210610-CFA00741	Emergent	6/10/2021	4:11:28 PM	4:23:03 PM	0:11:35	5:10:00 PM	1017 MATADOR RD
210615-CFA00768	Emergent	6/15/2021	1:34:18 PM	1:50:37 PM	0:16:19	2:22:46 PM	1049 SOMBRERO RD
210617-CFA00777	Emergent	6/17/2021	6:37:50 AM	6:46:48 AM	0:08:58	7:40:00 AM	4127 SUNRIDGE RD
210617-CFA00778	Emergent	6/17/2021	9:06:55 AM	9:14:07 AM	0:07:12	10:14:28 AM	1500 CYPRESS DR
210618-CFA00786	Emergent	6/18/2021	4:26:36 PM	4:35:57 PM	0:09:21	5:59:00 PM	1432 RIATA RD
210621-CFA00798	Emergent	6/21/2021	10:04:54 AM	10:17:55 AM	0:13:01	11:17:08 AM	3080 BIRD ROCK RD
Subtotal		10		Average Response Time	0:10:04		PEBBLE BEACH

CARMEL VALLEY

INCIDENT							
210624-CFA00819	Emergent	6/24/2021	11:20:47 AM	11:35:58 AM	0:15:11	1:10:00 PM	102 RANCHO RD
Subtotal		1		Average Response Time	0:15:11		CARMEL VALLEY

MID COAST

INCIDENT							
210619-CFA00792	Emergent	6/19/2021	9:50:06 AM	10:20:00 AM	0:29:54	10:40:00 AM	38618 PALO COLORADO RD
Subtotal		1		Average Response Time	0:29:54		MID COAST

SEASIDE/SAND CITY

INCIDENT							
210602-CFA00704	Emergent	6/2/2021	10:33:55 AM	10:41:54 AM	0:07:59	12:00:00 PM	HWY 1 / FREMONT SEASIDE S
210619-CFA00793	Emergent	6/19/2021	7:07:09 PM	7:15:45 PM	0:08:36	7:18:00 PM	1533 ALHAMBRA ST
210625-CFA00828	Emergent	6/25/2021	1:31:47 PM	1:36:46 PM	0:04:59	2:30:00 PM	
210629-CFA00846	Emergent	6/29/2021	6:00:30 PM	6:11:15 PM	0:10:45	7:31:17 PM	NOCHE BUENA ST / HARCOUR
Subtotal		4		Average Response Time	0:08:05		SEASIDE/SAND CITY

MONTEREY

INCIDENT							
210611-CFA00745	Emergent	6/11/2021	12:55:28 PM	1:03:48 PM	0:08:20	1:58:00 PM	2124 N FREMONT ST
210613-CFA00755	Emergent	6/13/2021	10:04:00 AM	10:07:38 AM	0:03:38	11:05:00 AM	32 CANNERY ROW
210615-CFA00764	Emergent	6/15/2021	9:05:09 AM	9:10:02 AM	0:04:53	9:19:37 AM	HWY 1 / HWY 68
210618-CFA00788	Emergent	6/18/2021	11:09:08 PM	11:20:07 PM	0:10:59	12:16:54 AM	1501 SKYLINE DR
210622-CFA00803	Emergent	6/22/2021	11:07:55 AM	11:16:25 AM	0:08:30	12:15:00 PM	1501 SKYLINE DR
210630-CFA00850	Emergent	6/30/2021	7:00:32 PM	7:08:49 PM	0:08:17	8:08:06 PM	200 GLENWOOD CIR
Subtotal		6		Average Response Time	0:07:26		MONTEREY

TOTAL ALL CALLS		122		41 AVERAGE RESPONSE TIME	0:05:29		
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RESPONSE SUMMARY REPORT BY DISTRICT

27015 CARMEL-BY-THE-SEA FIRE AMBULANCE

Alarm Dates: 6/01/2021 to 6/30/2021



MEDICAL RESPONSES CARMEL CITY

INCIDENT	PRIORITY	DATE	ALARM	ARRIVAL	RESPONSE	CALL CLEARED	STREET
210602-CFA00702	Emergent	6/2/2021	4:46:09 AM	4:48:46 AM	0:02:37	5:45:00 AM	OCEAN AVE / LINCOLN ST
210602-CFA00705	Emergent	6/2/2021	11:53:04 AM	11:57:32 AM	0:04:28	12:01:39 PM	LINCOLN ST / 12TH AVE
210604-CFA00716	Emergent	6/4/2021	3:35:41 PM	3:37:44 PM	0:02:03	4:40:00 PM	OCEAN AVE / SCENIC RD
210606-CFA00723	Emergent	6/6/2021	12:26:17 PM	12:27:39 PM	0:01:22	1:50:00 PM	7TH AVE / SAN CARLOS ST
210606-CFA00727	Emergent	6/6/2021	11:09:18 PM	11:11:44 PM	0:02:26	11:59:00 PM	MISSION ST / 8TH AVE
210607-CFA00728	Emergent	6/7/2021	11:46:28 AM	11:48:01 AM	0:01:33	12:25:42 PM	MONTE VERDE ST / OCEAN A
210607-CFA00729	Emergent	6/7/2021	6:47:33 PM	6:48:15 PM	0:00:42	7:36:00 PM	DOLORES ST / 5TH AVE
210609-CFA00735	Emergent	6/9/2021	5:48:35 PM	5:50:00 PM	0:01:25	5:52:00 PM	6TH AVE / MISSION ST
210610-CFA00742	Emergent	6/10/2021	8:25:40 PM	8:27:54 PM	0:02:14	9:20:00 PM	OCEAN AVE / LINCOLN ST
210611-CFA00743	Emergent	6/11/2021	3:27:08 AM	3:31:48 AM	0:04:40	4:22:38 AM	CAMINO REAL ST / 4TH AVE
210611-CFA00746	Emergent	6/11/2021	10:27:52 PM	10:32:45 PM	0:04:53	11:40:00 PM	11TH AVE / SCENIC RD
210612-CFA00748	Emergent	6/12/2021	10:08:00 AM	10:09:28 AM	0:01:28	10:55:00 AM	MISSION ST / 5TH AVE
210612-CFA00751	Emergent	6/12/2021	9:45:22 PM	9:49:22 PM	0:04:00	9:54:41 PM	LINCOLN ST / SANTA LUCIA A
210613-CFA00753	Emergent	6/13/2021	4:13:29 AM	4:18:18 AM	0:04:49	4:37:19 AM	JUNIPERO AVE / 1ST AVE
210613-CFA00756	Emergent	6/13/2021	5:45:22 PM	5:46:33 PM	0:01:11	6:40:00 PM	SAN CARLOS ST / 7TH AVE
210614-CFA00760	Emergent	6/14/2021	9:44:30 AM	9:46:48 AM	0:02:18	10:44:53 AM	8TH AVE / CASANOVA ST
210614-CFA00763	Non-Emerg	6/14/2021	8:22:06 PM	8:23:53 PM	0:01:47	9:12:22 PM	OCEAN AVE / JUNIPERO AVE
210616-CFA00770	Emergent	6/16/2021	9:52:41 AM	9:54:46 AM	0:02:05	10:48:00 AM	LINCOLN ST / 7TH AVE
210616-CFA00775	Emergent	6/16/2021	10:14:04 PM	10:16:48 PM	0:02:44	11:04:53 PM	MISSION ST / 4TH AVE
210618-CFA00782	Emergent	6/18/2021	5:48:04 AM	5:51:03 AM	0:02:59	5:55:43 AM	SAN CARLOS ST / 5TH AVE
210622-CFA00807	Emergent	6/22/2021	5:43:07 PM	5:45:00 PM	0:01:53	5:52:37 PM	CARPENTER ST / 6TH AVE
210624-CFA00823	Emergent	6/24/2021	5:05:51 PM	5:08:02 PM	0:02:11	6:07:17 PM	7TH AVE / LINCOLN ST
210625-CFA00824	Emergent	6/25/2021	2:35:15 AM	2:39:00 AM	0:03:45	3:25:10 AM	LINCOLN ST / 7TH AVE
210625-CFA00825	Emergent	6/25/2021	9:00:22 AM	9:01:57 AM	0:01:35	10:10:30 AM	LINCOLN ST / 7TH AVE
210625-CFA00829	Emergent	6/25/2021	4:12:26 PM	4:14:28 PM	0:02:02	4:56:42 PM	DOLORES ST / 5TH AVE
210626-CFA00836	Emergent	6/26/2021	12:43:38 PM	12:46:16 PM	0:02:38	1:40:50 PM	SAN CARLOS ST / 4TH AVE
210626-CFA00837	Non-Emerg	6/26/2021	1:40:54 PM	1:48:08 PM	0:07:14	2:08:15 PM	JUNIPERO AVE / 4TH AVE
210626-CFA00838	Emergent	6/26/2021	9:16:41 PM	9:18:34 PM	0:01:53	9:25:00 PM	6TH AVE / JUNIPERO AVE
210626-CFA00839	Emergent	6/26/2021	11:09:44 PM	11:14:09 PM	0:04:25	12:02:41 AM	CAMINO REAL ST / 8TH AVE
210627-CFA00840	Emergent	6/27/2021	10:31:16 PM	10:35:32 PM	0:04:16	11:28:00 PM	MONTE VERDE ST / 4TH AVE
210628-CFA00842	Emergent	6/28/2021	8:07:17 PM	8:11:02 PM	0:03:45	8:50:00 PM	12TH AVE / CASANOVA ST
210629-CFA00845	Emergent	6/29/2021	5:32:09 PM	5:35:04 PM	0:02:55	5:47:00 PM	SAN ANTONIO AVE / 7TH AVE

NUMBER OF EMS INCIDENT	32	AVERAGE RESPONSE	0:02:49
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FIRE RESPONSES CARMEL CITY

INCIDENT	PRIORITY	DATE	ALARM	ARRIVAL	RESPONSE	CALL CLEARED	STREET
210601-CFA00700	Emergent	6/1/2021	9:45:51 PM	9:48:20 PM	0:02:29	9:51:25 PM	7TH AVE / DOLORES ST
210602-CFA00703	Emergent	6/2/2021	9:03:09 AM	9:07:33 AM	0:04:24	9:10:46 AM	MISSION ST / VISTA AVE
210602-CFA00706	Emergent	6/2/2021	6:29:39 PM	6:31:51 PM	0:02:12	6:34:29 PM	9TH AVE / MONTE VERDE ST
210603-CFA00711	Emergent	6/3/2021	9:03:10 PM	9:11:32 PM	0:08:22	9:19:25 PM	LINCOLN ST / SANTA LUCIA A
210604-CFA00713	Emergent	6/4/2021	7:31:49 AM	7:34:33 AM	0:02:44	7:36:12 AM	LINCOLN ST / 7TH AVE
210606-CFA00722	Emergent	6/6/2021	11:31:03 AM	11:33:20 AM	0:02:17	12:26:12 PM	OCEAN AVE / LINCOLN ST
210608-CFA00731	Emergent	6/8/2021	9:27:25 PM	9:30:57 PM	0:03:32	9:35:45 PM	LINCOLN ST / SANTA LUCIA A
210609-CFA00733	Non-Emerg	6/9/2021	9:34:01 AM	9:37:24 AM	0:03:23	9:44:17 AM	SANTA FE ST / 1ST AVE
210610-CFA00737	Emergent	6/10/2021	8:59:06 AM	9:03:56 AM	0:04:50	9:15:47 AM	CASANOVA ST / 9TH AVE
210617-CFA00776	Emergent	6/17/2021	4:49:57 AM	4:52:43 AM	0:02:46	5:12:06 AM	DOLORES ST / 4TH AVE
210619-CFA00791	Emergent	6/19/2021	8:22:08 AM	8:24:56 AM	0:02:48	8:35:37 AM	TORRES ST / 1ST AVE
210619-CFA00794	Non-Emerg	6/19/2021	9:10:14 PM	9:12:57 PM	0:02:43	9:19:34 PM	LINCOLN ST / 7TH AVE
210621-CFA00800	Emergent	6/21/2021	7:46:22 PM	7:52:35 PM	0:06:13	8:15:05 PM	LINCOLN ST / 4TH AVE
210623-CFA00808	Emergent	6/23/2021	1:24:53 AM	1:29:16 AM	0:04:23	1:35:08 AM	CARMELO ST / OCEAN AVE
210624-CFA00816	Emergent	6/24/2021	1:30:02 AM	1:35:02 AM	0:05:00	1:38:24 AM	SANTA RITA ST / 1ST AVE
210624-CFA00820	Emergent	6/24/2021	1:17:35 PM	1:21:32 PM	0:03:57	1:21:58 PM	SCENIC RD / 8TH AVE
210626-CFA00835	Emergent	6/26/2021	8:55:16 AM	8:58:34 AM	0:03:18	9:03:35 AM	CAMINO REAL ST / 8TH AVE

NUMBER OF FIRE INCIDENT	17	AVERAGE RESPONSE	0:03:51
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TOTAL CARMEL CITY INCIDE	49	AL AVERAGE RESPONSE TIME	0:03:11
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RESPONSES BY DISTRICT

INCIDENT	PRIORITY	DATE	ALARM	ARRIVAL	RESPONSE	CALL CLEARED	STREET
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CARMEL HIGHLANDS

INCIDENT	PRIORITY	DATE	ALARM	ARRIVAL	RESPONSE	CALL CLEARED	STREET
210602-CFA00701	Emergent	6/2/2021	12:48:00 AM	12:57:50 AM	0:09:50	1:46:59 AM	98 CORONA RD
210604-CFA00718	Emergent	6/4/2021	6:48:54 PM	6:56:29 PM	0:07:35	7:57:18 PM	120 HIGHLAND DR
210615-CFA00767	Emergent	6/15/2021	10:08:28 AM	10:15:53 AM	0:07:25	11:03:48 AM	120 HIGHLAND DR
210616-CFA00771	Emergent	6/16/2021	12:40:02 PM	12:52:53 PM	0:12:51	1:45:00 PM	27720 HWY 1
210616-CFA00774	Emergent	6/16/2021	9:15:25 PM	9:24:11 PM	0:08:46	9:28:38 PM	120 HIGHLAND DR
210620-CFA00795	Emergent	6/20/2021	9:20:19 AM	9:28:28 AM	0:08:09	10:20:48 AM	27601 HWY 1
210630-CFA00847	Emergent	6/30/2021	11:42:19 AM	11:50:23 AM	0:08:04	12:40:49 PM	1 POINT LOBOS STATE RESE
Subtotal		7		Average Response Time	0:08:57		Carmel Highlands

CYPRESS FIRE

INCIDENT	PRIORITY	DATE	ALARM	ARRIVAL	RESPONSE	CALL CLEARED	STREET
210601-CFA00699	Emergent	6/1/2021	4:50:17 PM	4:57:00 PM	0:06:43	6:00:00 PM	
210603-CFA00708	Emergent	6/3/2021	10:50:32 AM	10:54:41 AM	0:04:09	10:55:44 AM	RIO RD / BIRCH PL
210604-CFA00715	Emergent	6/4/2021	11:01:58 AM	11:07:12 AM	0:05:14	11:12:00 AM	
210606-CFA00724	Emergent	6/6/2021	1:48:26 PM	1:51:08 PM	0:02:42	2:43:34 PM	
210606-CFA00725	Emergent	6/6/2021	6:56:54 PM	7:01:54 PM	0:05:00	7:05:47 PM	
210608-CFA00730	Emergent	6/8/2021	8:03:47 PM	8:10:38 PM	0:06:51	8:40:07 PM	

210609-CFA00732	Emergent	6/9/2021	8:58:14 AM	9:05:34 AM	0:07:20	9:29:50 AM	26245 CARMEL RANCHO BLVC
210609-CFA00734	Emergent	6/9/2021	10:29:38 AM	10:34:55 AM	0:05:17	11:28:22 AM	26245 CARMEL RANCHO BLVC
210609-CFA00736	Emergent	6/9/2021	7:37:06 PM	7:42:33 PM	0:05:27	9:09:13 PM	
210610-CFA00740	Emergent	6/10/2021	2:17:58 PM	2:24:59 PM	0:07:01	3:17:00 PM	3626 THE BARNYARD
210611-CFA00744	Emergent	6/11/2021	9:45:09 AM	9:50:43 AM	0:05:34	10:54:12 AM	26350 CARMEL RANCHO LN
210612-CFA00747	Emergent	6/12/2021	1:32:33 AM	1:42:00 AM	0:09:27	2:03:11 AM	2882 CUESTA WAY
210612-CFA00749	Emergent	6/12/2021	4:25:53 PM	4:30:13 PM	0:04:20	4:42:57 PM	6 CROSSROADS MALL
210612-CFA00750	Emergent	6/12/2021	7:22:39 PM	7:26:52 PM	0:04:13	7:40:01 PM	555 CARMEL RANCHO SHOPPI
210613-CFA00752	Emergent	6/13/2021	1:11:46 AM	1:18:01 AM	0:06:15	2:06:00 AM	26382 RIVERSIDE PL
210613-CFA00757	Emergent	6/13/2021	8:24:14 PM	8:28:37 PM	0:04:23	8:57:46 PM	26245 CARMEL RANCHO BLVC
210614-CFA00758	Emergent	6/14/2021	1:59:37 AM	2:04:32 AM	0:04:55	3:00:00 AM	26270 DOLORES ST
210614-CFA00761	Emergent	6/14/2021	1:50:21 PM	1:53:51 PM	0:03:30	2:02:38 PM	26245 CARMEL RANCHO BLVC
210614-CFA00762	Emergent	6/14/2021	3:23:57 PM	3:28:53 PM	0:04:56	4:07:47 PM	96 HIGH MEADOW LN
210615-CFA00766	Emergent	6/15/2021	9:33:08 AM	9:39:01 AM	0:05:53	10:00:37 AM	26135 CARMEL RANCHO BLVC
210616-CFA00773	Emergent	6/16/2021	7:08:21 PM	7:12:12 PM	0:03:51	7:52:00 PM	26135 CARMEL RANCHO BLVC
210617-CFA00779	Emergent	6/17/2021	3:08:00 PM	3:14:00 PM	0:06:00	3:36:00 PM	24449 SAN JUAN RD
210617-CFA00780	Emergent	6/17/2021	4:50:02 PM	4:55:24 PM	0:05:22	5:08:10 PM	26135 CARMEL RANCHO BLVC
210618-CFA00784	Emergent	6/18/2021	12:40:58 PM	12:48:23 PM	0:07:25	12:54:00 PM	25260 ARRIBA DEL MUNDO D
210618-CFA00785	Emergent	6/18/2021	2:23:53 PM	2:29:15 PM	0:05:22	3:20:00 PM	CARMELO ST / SCENIC RD
210618-CFA00787	Emergent	6/18/2021	7:49:39 PM	7:55:54 PM	0:06:15	9:00:00 PM	3601 THE BARNYARD
210619-CFA00789	Emergent	6/19/2021	4:16:15 AM	4:23:57 AM	0:07:42	4:30:07 AM	4000 RIO RD
210620-CFA00796	Emergent	6/20/2021	11:28:12 AM	11:33:49 AM	0:05:37	11:41:58 AM	3121 SERRA AVE
210620-CFA00797	Emergent	6/20/2021	1:28:09 PM	1:38:11 PM	0:10:02	3:00:19 PM	24940 OUTLOOK DR
210621-CFA00799	Emergent	6/21/2021	2:57:26 PM	3:02:57 PM	0:05:31	4:57:44 PM	3850 RIO RD
210621-CFA00801	Emergent	6/21/2021	10:45:13 PM	10:47:00 PM	0:01:47	11:43:34 PM	25300 OUTLOOK DR
210622-CFA00802	Emergent	6/22/2021	6:49:46 AM	6:55:06 AM	0:05:20	8:06:33 AM	DOLORES ST / VISTA AVE
210622-CFA00804	Emergent	6/22/2021	2:14:39 PM	2:18:20 PM	0:03:41	2:25:14 PM	26245 CARMEL RANCHO BLVC
210623-CFA00809	Emergent	6/23/2021	10:21:44 AM	10:26:01 AM	0:04:17	11:30:15 AM	ATHERTON DR / HWY 1
210623-CFA00810	Emergent	6/23/2021	12:43:21 PM	12:49:48 PM	0:06:27	12:50:31 PM	101 CROSSROADS BLVD
210623-CFA00811	Emergent	6/23/2021	2:36:34 PM	2:42:44 PM	0:06:10	2:54:56 PM	26135
210623-CFA00814	Emergent	6/23/2021	3:57:52 PM	4:07:33 PM	0:09:41	5:15:00 PM	555 CARMEL RANCHO SHOPPI
210624-CFA00817	Emergent	6/24/2021	2:43:27 AM	2:49:31 AM	0:06:04	3:00:00 AM	GUADALUPE ST / PICO AVE
210624-CFA00818	Emergent	6/24/2021	9:29:52 AM	9:36:14 AM	0:06:22	10:39:43 AM	4000 RIO RD
210624-CFA00821	Emergent	6/24/2021	1:43:42 PM	1:48:35 PM	0:04:53	2:02:52 PM	26408 MISSION FIELDS RD
210624-CFA00815	Emergent	6/24/2021	12:02:57 AM	12:11:40 AM	0:08:43	12:58:41 AM	5 LA PRADERA LN
210625-CFA00831	Emergent	6/25/2021	10:46:00 PM	10:50:58 PM	0:04:58	11:50:31 PM	3540 MESA CT
210626-CFA00832	Emergent	6/26/2021	2:25:56 AM	2:32:21 AM	0:06:25	3:19:30 AM	26245 CARMEL RANCHO BLVC
210628-CFA00841	Emergent	6/28/2021	11:57:07 AM	12:02:35 PM	0:05:28	1:15:00 PM	26245 CARMEL RANCHO BLVC
Subtotal		44	Average Response Time	0:05:44			CYPRESS FIRE

PEBBLE BEACH

INCIDENT							
210601-CFA00698	Emergent	6/1/2021	12:17:55 PM	12:29:06 PM	0:11:11	1:21:14 PM	SEVENTEEN MILE DR / SIGNA
210605-CFA00719	Emergent	6/5/2021	10:05:35 PM	10:12:23 PM	0:06:48	11:04:00 PM	1500 CYPRESS DR
210606-CFA00720	Emergent	6/6/2021	2:45:31 AM	2:55:52 AM	0:10:21	3:40:00 AM	3934 RONDA RD
210606-CFA00726	Emergent	6/6/2021	8:42:17 PM	8:48:11 PM	0:05:54	9:48:00 PM	1500 CYPRESS DR

210610-CFA00741	Emergent	6/10/2021	4:11:28 PM	4:23:03 PM	0:11:35	5:10:00 PM	1017 MATADOR RD
210615-CFA00768	Emergent	6/15/2021	1:34:18 PM	1:50:37 PM	0:16:19	2:22:46 PM	1049 SOMBRERO RD
210617-CFA00777	Emergent	6/17/2021	6:37:50 AM	6:46:48 AM	0:08:58	7:40:00 AM	4127 SUNRIDGE RD
210617-CFA00778	Emergent	6/17/2021	9:06:55 AM	9:14:07 AM	0:07:12	10:14:28 AM	1500 CYPRESS DR
210618-CFA00786	Emergent	6/18/2021	4:26:36 PM	4:35:57 PM	0:09:21	5:59:00 PM	1432 RIATA RD
210621-CFA00798	Emergent	6/21/2021	10:04:54 AM	10:17:55 AM	0:13:01	11:17:08 AM	3080 BIRD ROCK RD
Subtotal		10	Average Response Time		0:10:04		PEBBLE BEACH

CARMEL VALLEY

INCIDENT							
210624-CFA00819	Emergent	6/24/2021	11:20:47 AM	11:35:58 AM	0:15:11	1:10:00 PM	102 RANCHO RD
Subtotal		1	Average Response Time		0:15:11		CARMEL VALLEY

MID COAST

INCIDENT							
210619-CFA00792	Emergent	6/19/2021	9:50:06 AM	10:20:00 AM	0:29:54	10:40:00 AM	38618 PALO COLORADO RD
Subtotal		1	Average Response Time		0:29:54		MID COAST

SEASIDE/SAND CITY

INCIDENT							
210602-CFA00704	Emergent	6/2/2021	10:33:55 AM	10:41:54 AM	0:07:59	12:00:00 PM	HWY 1 / FREMONT SEASIDE S
210619-CFA00793	Emergent	6/19/2021	7:07:09 PM	7:15:45 PM	0:08:36	7:18:00 PM	1533 ALHAMBRA ST
210625-CFA00828	Emergent	6/25/2021	1:31:47 PM	1:36:46 PM	0:04:59	2:30:00 PM	
210629-CFA00846	Emergent	6/29/2021	6:00:30 PM	6:11:15 PM	0:10:45	7:31:17 PM	NOCHE BUENA ST / HARCOUR
Subtotal		4	Average Response Time		0:08:05		SEASIDE/SAND CITY

MONTEREY

INCIDENT							
210611-CFA00745	Emergent	6/11/2021	12:55:28 PM	1:03:48 PM	0:08:20	1:58:00 PM	2124 N FREMONT ST
210613-CFA00755	Emergent	6/13/2021	10:04:00 AM	10:07:38 AM	0:03:38	11:05:00 AM	32 CANNERY ROW
210615-CFA00764	Emergent	6/15/2021	9:05:09 AM	9:10:02 AM	0:04:53	9:19:37 AM	HWY 1 / HWY 68
210618-CFA00788	Emergent	6/18/2021	11:09:08 PM	11:20:07 PM	0:10:59	12:16:54 AM	1501 SKYLINE DR
210622-CFA00803	Emergent	6/22/2021	11:07:55 AM	11:16:25 AM	0:08:30	12:15:00 PM	1501 SKYLINE DR
210630-CFA00850	Emergent	6/30/2021	7:00:32 PM	7:08:49 PM	0:08:17	8:08:06 PM	200 GLENWOOD CIR
Subtotal		6	Average Response Time		0:07:26		MONTEREY

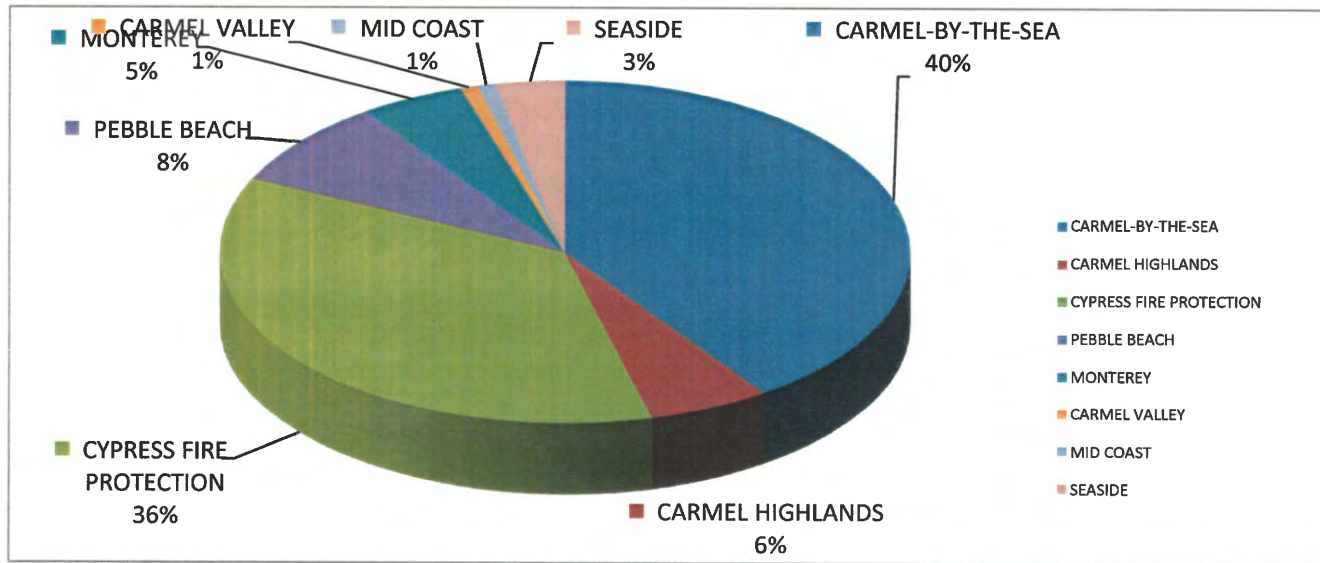
TOTAL ALL CALLS		122	4L AVERAGE RESPONSE TIME		0:05:29		
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CITY OF CARMEL - FIRE AMBULANCE DEPARTMENT
JUNE 2021

Response Summary Report by District Type

<u>District Response</u>	<u>Number</u>	<u>Average Response Time</u>
CARMEL-BY-THE-SEA	49	0:03:11
CARMEL HIGHLANDS	7	0:08:57
CYPRESS FIRE PROTECTION	44	0:05:44
PEBBLE BEACH	10	0:10:04
MONTEREY	6	0:07:26
CARMEL VALLEY	1	0:15:11
MID COAST	1	0:29:54
SEASIDE	4	0:08:05
Total Responses	122	0:05:29

Percent of code 3 medical responses < 5min 100.00%





RESPONSE SUMMARY REPORT BY INCIDENT TYPE
27060 CARMEL-BY-THE-SEA
 Alarm Date From: 6/1/2021 To: 6/30/2021



Incident	Alarm Date	Incident Number	Response Time	Combined Address	Cross Street	Priority
300-321 Series (EMS)						
Medical assist, assist EMS crew	6/6/2021 12:24 PM	210606-MNT03426	0:01:02	7TH AVE	SAN CARLOS ST	3
Medical assist, assist EMS crew	6/16/2021 10:13 PM	210616-MNT03660	0:03:19	MISSION ST	4TH AVE	3
Medical assist, assist EMS crew	6/25/2021 8:59 AM	210625-MNT03853	0:02:38	LINCOLN ST	7TH AVE	3
Medical assist, assist EMS crew	6/28/2021 8:06 PM	210628-MNT03948	0:03:06	12TH AVE	CASANOVA ST	3
EMS call, excluding vehicle accident with injury	6/2/2021 4:45 AM	210602-MNT03329	0:03:07	OCEAN AVE	LINCOLN ST	3
EMS call, excluding vehicle accident with injury	6/4/2021 3:35 PM	210604-MNT03380	0:03:12	OCEAN AVE	SCENIC RD	3
EMS call, excluding vehicle accident with injury	6/6/2021 11:49 AM	210606-MNT03425	0:03:27	3080 RIO RD		3
EMS call, excluding vehicle accident with injury	6/6/2021 12:34 PM	210606-MNT03428	0:00:18	LINCOLN ST	OCEAN AVE	3
EMS call, excluding vehicle accident with injury	6/6/2021 11:08 PM	210606-MNT03436	0:02:54	MISSION ST	8TH AVE	3
EMS call, excluding vehicle accident with injury	6/7/2021 11:45 AM	210607-MNT03443	0:04:58	MONTE VERDE ST	OCEAN AVE	3
EMS call, excluding vehicle accident with injury	6/7/2021 6:46 PM	210607-MNT03455	0:01:56	DOLORES ST	5TH AVE	3
EMS call, excluding vehicle accident with injury	6/10/2021 8:24 PM	210610-MNT03526	0:02:35	OCEAN AVE	LINCOLN ST	3
EMS call, excluding vehicle accident with injury	6/11/2021 3:26 AM	210611-MNT03530	0:04:30	CAMINO REAL	4TH AVE	3
EMS call, excluding vehicle accident with injury	6/11/2021 10:27 PM	210611-MNT03547	0:04:38	11TH AVE	SCENIC RD	3
EMS call, excluding vehicle accident with injury	6/12/2021 10:07 AM	210612-MNT03555	0:01:42	MISSION ST	5TH AVE	3
EMS call, excluding vehicle accident with injury	6/13/2021 5:45 PM	210613-MNT03598	0:01:46	SAN CARLOS ST	7TH AVE	3
EMS call, excluding vehicle accident with injury	6/14/2021 9:43 AM	210614-MNT03610	0:02:40	8TH AVE	CASANOVA ST	3
EMS call, excluding vehicle accident with injury	6/24/2021 5:05 PM	210624-MNT03839	0:01:49	7TH AVE	LINCOLN ST	3
EMS call, excluding vehicle accident with injury	6/25/2021 2:34 AM	210625-MNT03844	0:03:53	LINCOLN ST	7TH AVE	3
EMS call, excluding vehicle accident with injury	6/25/2021 1:40 PM	210625-MNT03857	0:02:21	GUADALUPE ST	5TH AVE	3
EMS call, excluding vehicle accident with injury	6/26/2021 12:43 PM	210626-MNT03886	0:03:09	SAN CARLOS ST	4TH AVE	3
EMS call, excluding vehicle accident with injury	6/26/2021 1:37 PM	210626-MNT03887	0:10:05	JUNIPERO	4TH AVE	2
EMS call, excluding vehicle accident with injury	6/26/2021 8:24 PM	210626-MNT03898	0:04:10	CAMINO REAL ST	8TH AVE	3
EMS call, excluding vehicle accident with injury	6/27/2021 10:30 PM	210627-MNT03925	0:03:54	MONTE VERDE ST	4TH AVE	3
EMS call, excluding vehicle accident with injury	6/29/2021 5:31 PM	210629-MNT03966	0:03:15	SAN ANTONIO	7TH AVE	3
		25	0:03:13			
400 Series (Hazardous Material)						
Hazardous condition, other	6/27/2021 9:58 PM	210627-MNT03924	0:05:20	SAN CARLOS ST	SANTA LUCIA AVE	3
Gas leak (natural gas or LPG)	6/1/2021 9:44 PM	210601-MNT03324	0:02:55	7TH AVE	DOLORES ST	3
Gas leak (natural gas or LPG)	6/4/2021 4:06 PM	210604-MNT03381	0:03:01	DOLORES ST	OCEAN AVE	3
Power line down	6/21/2021 7:45 PM	210621-MNT03762	0:05:00	LINCOLN ST	4TH AVE	3
Power line down	6/29/2021 11:58 AM	210629-MNT03959	0:05:49	MISSION	SANTA LUCIA AVE	3
Arcing, shorted electrical equipment	6/19/2021 8:21 AM	210619-MNT03717	0:03:02	TORRES ST	1ST AVE	3
Biological hazard, confirmed or suspected	6/6/2021 11:31 AM	210606-MNT03422	0:02:26	OCEAN AVE	LINCOLN ST	3
Accident, potential accident, other	6/2/2021 9:02 AM	210602-MNT03330	0:04:54	MISSION ST	VISTA AVE	3
		8	0:04:03			

Incident	Alarm Date	Incident Number	Response Time	Combined Address	Cross Street	Priority
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500 & 600 Series (Service Calls)

Lock-out	6/26/2021 6:03 AM	210626-MNT03881	0:06:41	SANTA LUCIA AVE	SCENIC RD	2
Water problem, other	6/30/2021 1:07 PM	210630-MNT03983	0:03:56	DOLORES ST	OCEAN AVE	2
Water or steam leak	6/6/2021 10:01 AM	210606-MNT03419	0:03:44	SAN ANTONIO AVE	8TH AVE	2
Water or steam leak	6/9/2021 9:32 AM	210609-MNT03493	0:04:43	SANTA FE ST	1ST AVE	2
Water or steam leak	6/26/2021 7:59 AM	210626-MNT03882	0:04:03	SANTA RITA ST	2ND AVE	2
Water or steam leak	6/29/2021 1:39 PM	210629-MNT03962	0:05:13	SCENIC	OCEAN AVE	2
Police matter	6/13/2021 1:52 AM	210613-MNT03577	0:02:48	SAN CARLOS ST	OCEAN AVE	3
Public service	6/5/2021 7:47 AM	210605-MNT03394	0:03:05	SAN CARLOS ST	12TH AVE	3
Public service	6/14/2021 8:33 AM	210614-MNT03609	0:04:35	PERRY NEWBERRY WAY	4TH AVE	2
Assist invalid	6/2/2021 11:49 AM	210602-MNT03335	0:03:56	LINCOLN ST	12TH AVE	2
Assist invalid	6/4/2021 7:31 AM	210604-MNT03366	0:05:11	LINCOLN ST	7TH AVE	2
Assist invalid	6/13/2021 4:12 AM	210613-MNT03579	0:05:02	JUNIPERO AVE	1ST AVE	2
Assist invalid	6/17/2021 4:48 AM	210617-MNT03663	0:03:14	DOLORES ST	4TH AVE	3
Assist invalid	6/22/2021 2:41 PM	210622-MNT03782	0:04:02	MONTE VERDE ST	4TH AVE	2
Dispatched & canceled en route	6/25/2021 4:11 PM	210625-MNT03862	0:02:02	DOLORES ST	5TH AVE	3
No incident found on arrival at dispatch address	6/2/2021 7:02 PM	210602-MNT03344	0:02:39	LINCOLN ST	2ND AVE	2
No incident found on arrival at dispatch address	6/9/2021 5:48 PM	210609-MNT03499	0:00:01	6TH AVE	MISSION ST	3
No incident found on arrival at dispatch address	6/10/2021 8:58 AM	210610-MNT03509	0:04:11	CASANOVA ST	8TH	3
No incident found on arrival at dispatch address	6/19/2021 9:09 PM	210619-MNT03727	0:02:58	LINCOLN ST	7TH AVE	2
No incident found on arrival at dispatch address	6/22/2021 5:42 PM	210622-MNT03789	0:02:46	CARPENTER ST	6TH AVE	3
No incident found on arrival at dispatch address	6/23/2021 3:29 PM	210623-MNT03809	0:13:44	SCENIC RD	OCEAN AVE	2
No incident found on arrival at dispatch address	6/26/2021 9:16 PM	210626-MNT03896	0:01:54	6TH AVE	JUNIPERO AVE	3
No incident found on arrival at dispatch address	6/29/2021 9:12 AM	210629-MNT03955	0:04:10	SANTA RITA	2ND AVE	3
Smoke scare, odor of smoke	6/27/2021 10:06 AM	210627-MNT03908	0:04:14	TORRES ST	3RD AVE	2

24

0:04:07

700 Series (False Alarms)

Smoke detector activation due to malfunction	6/11/2021 4:43 AM	210611-MNT03531	0:04:33	CASANOVA ST	13TH AVE	2
Smoke detector activation due to malfunction	6/18/2021 5:47 AM	210618-MNT03688	0:03:27	SAN CARLOS ST	5TH AVE	3
Alarm system sounded due to malfunction	6/17/2021 6:43 AM	210617-MNT03665	0:03:17	SAN CARLOS ST	6TH AVE	3
Alarm system sounded due to malfunction	6/23/2021 1:24 AM	210623-MNT03796	0:03:54	CARMELO ST	OCEAN AVE	3
Alarm system sounded due to malfunction	6/23/2021 3:33 PM	210623-MNT03810	0:05:24	CARPENTER ST	5TH AVE	2
Alarm system sounded due to malfunction	6/24/2021 1:29 AM	210624-MNT03823	0:04:31	SANTA RITA ST	1ST AVE	3
Smoke detector activation, no fire - unintentional	6/26/2021 8:54 AM	210626-MNT03883	0:05:50	CAMINO REAL ST	8TH AVE	3
Alarm system activation, no fire - unintentional	6/2/2021 10:34 AM	210602-MNT03332	0:02:46	CARMELO ST	OCEAN AVE	3
Alarm system activation, no fire - unintentional	6/7/2021 6:51 PM	210607-MNT03456	0:03:39	LINCOLN ST	SANTA LUCIA AVE	3
Alarm system activation, no fire - unintentional	6/8/2021 9:26 PM	210608-MNT03484	0:03:49	LINCOLN ST	SANTA LUCIA AVE	3
Alarm system activation, no fire - unintentional	6/12/2021 9:45 PM	210613-MNT03585	0:04:18	LINCOLN ST	SANTA LUCIA AVE	3
Alarm system activation, no fire - unintentional	6/18/2021 7:20 AM	210618-MNT03691	0:02:41	SAN CARLOS ST	5TH AVE	3
Alarm system activation, no fire - unintentional	6/24/2021 1:16 PM	210624-MNT03832	0:03:45	SCENIC RD	8TH AVE	3
Medical Alarm device activation, no medical	6/2/2021 6:28 PM	210602-MNT03343	0:02:50	9TH AVE	MONTE VERDE ST	3
Medical Alarm device activation, no medical	6/3/2021 9:01 PM	210603-MNT03360	0:03:22	LINCOLN ST	SANTA LUCIA AVE	3

15

0:03:52

Over 5 Minute Response Times Cause of Delay: Code 3 Responses

210627-MNT03924 delay due to distance

210629-MNT03959 delay due to traffic

210626-MNT03883 delay due to traffic

Code 2 Calls	18
Code 3 Calls	54
Total # of Incidents	72
% Under 5 Minute Response Time	94.4%



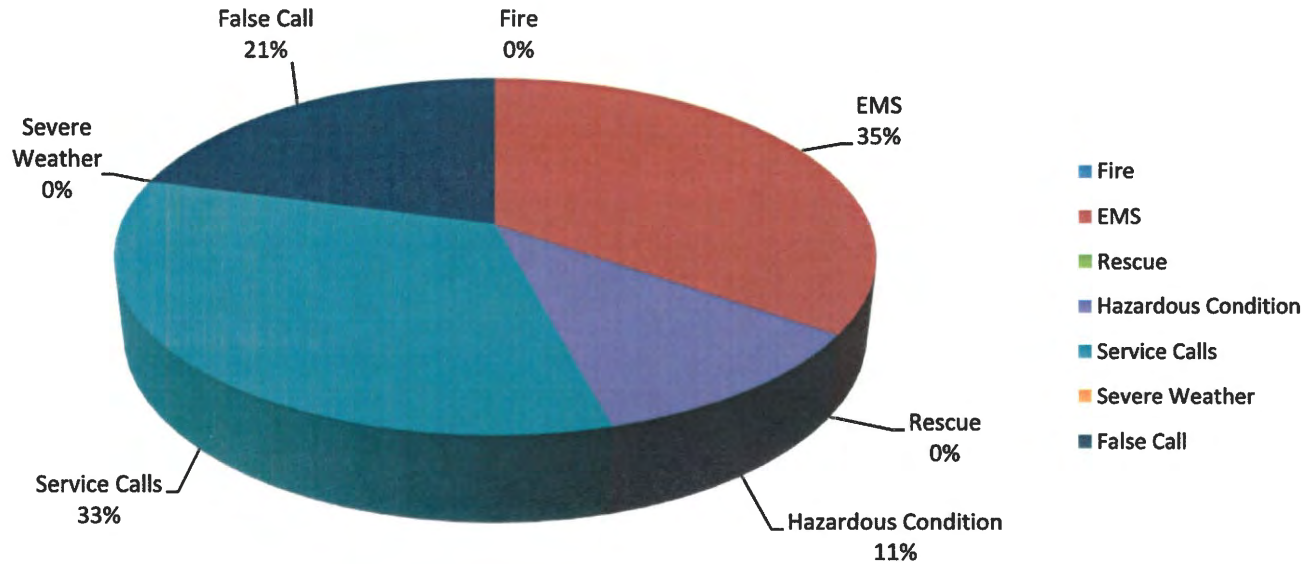
CARMEL-BY-THE-SEA
JUNE 2021



Response Summary Report by Incident Type

Type of Call	Number	Average Response Time
Fire	0	0:00
EMS	25	3:13
Rescue	0	0:00
Hazardous Condition	8	4:03
Service Calls	24	4:07
Severe Weather	0	0:00
False Call	15	3:52

Total Responses: 72 (Number) / 3:45 (Average Response Time)



Total Code 3 Calls: 54

Response Times for Code 3
Calls ≤ 5 minutes: 94.4%



CITY OF CARMEL-BY-THE-SEA Monthly Report

June 2021

City Clerk's Office

TO:	Honorable Mayor and City Council Members
SUBMITTED BY:	Britt Avrit, City Clerk
SUBMITTED ON:	July 19, 2021
APPROVED BY:	Chip Rerig, City Administrator

In the month of June, the City handled 23 requests for public records.

	This Month	Calendar YTD
City Clerk's Office	8	37
Police Department	15	71
TOTAL REQUESTS/RESPONSES	23	108

June 2021 PRA

request number	Date Requested	10-day response date	records requested	requestor	date completed	notes
2021-036	6/1/2021	6/11/2021	Any and all legal settlement agreements, dated or filed between the years of 2015 and 2020, in which the school district, township, county, or state was a party under the Individuals with Disabilities Education Act. * Any and all documents, dated or filed between the years of 2015 and 2020, including settlement agreements, containing the phrases "unilateral placement" or "emotional disability" or "behavioral disability."	Victor Feldman	6/3/2021	
2021-037	6/8/2021	6/18/2021	an electronic copy of all payment transactions for fiscal year 2020	Justin Kramer, American Transparency	6/9/2021	
2021-038	6/8/2021	6/18/2021	minutes for 6 December 2005 and 20 December 2005 meetings	Valerie Vogel, Esperanza Carmel	6/9/2021	
2021-039	6/9/2021	6/21/2021	16 December 2005 are from a <i>Historic Resources Board meeting (regular + expanded minutes</i> . Also, if possible, the <i>Historic Resource Board findings</i> from 23 January 2006	Valerie Vogel, Esperanza Carmel	6/16/2021	
2021-040	6/9/2021	6/21/2021	approved landscape plan for the Andrew Paul project at 10 Carmel Way (APN 010-321-037)	Kristie Campbell, Fenton & Keller	6/16/2021	CPB will coordinate copying
2021-041	6/15/2021	6/25/2021	bargaining unit contract documents: Contracts with bargaining units for police employees, Contracts with bargaining units for firefighter employees, Contracts with bargaining units for city employees, Contract with city manager, Duration: 1997 - 2021, please provide information on the first year the city had a collective bargaining agreement with any bargaining unit	Manita Rao	7/8/2021	
2021-042	6/18/2021	6/28/2021	all the information regarding the building permit # 210030 - Oak Tree Lodge, Mission between 5th & 6th, units #6 & #8 and its expiration date	David M	6/29/2021	sent email records available by 7/8/2021

June 2021 PRA

request number	Date Requested	10-day response date	records requested	requestor	date completed	notes
2021-043	6/15/2021	6/25/2021	name and email address of the auditor for the City of Carmel	Theresa Buccola	6/24/2021	

Request No.	Request Date & Received By	10-Day Due Date	14-Day Ext. Date	Date Completed by PSO	Requestor	Phone	Info Requested	Status	Date & PSO Mailed
2021-0001	06/01/21 mw	6/11		6/16	William Hood		several reports	redacted reports picked up	6/16/21 da
2021-0002	06/07/21 mw	6/17/2021		06/07 mw	Jordan Chronan		CG2100241	completed	06/07/21 pick up
2021-0003	06/07/21 mw	6/17/2021		6/16 DA	Ron Langford	831-521-8950	cg2100223	denied via city attorney	letter mailed by city attorney
2021-0004	6/7/21 cn	6/17/2021		6/16 da	Shawn Brian Hurley	669-258-8488	body worn footage	denied	letter mailed
2021-0005	6/7/21 cn	6/17/2021		6/16 da	morgenstern law group	818-587-9146	photos in CG2100122	completed	photos mailed
2021-0006	06/08/21 mw	6/18/2021		6/16 da	Thomas Nash - enclosed check	831-624-9197	526, CG2000405,CC190	completed	redacted reports mailed
2021-0007	06/15/21 mw	6/26/2021			James Coulter	831-595-8102	reports after dod		more info requested
2021-0008	6/4/2021	6/14/2021		6/17/2021	Mary Schley		CG2000204	denied	emailed denied
2021-0009	6/7/2021	6/17/2021			Ron Langford Investigations		CG21000223	be denied via City Attor	Pending denial
2021-0010	6/9/2021	6/19/2021		6/16 DA	Bernadette Alvarado		body worn footage	denied	email sent
2021-0011	6/4/2021	6/14/2021		6/18 DA	Sarah Dickson		CG1000120	completed	mailed by DA
2021-0012	6/22/2021	7/2/2021			Shawn Brian Hurley	669-258-8488	G2100259 & CQ2100279		under investigation
2021-0013	06/22 mw	7/2/2021		6/23 DA	lexis nexis		CA2100269	completed	mailed by DA
2021-0014	6/22 mw	7/2/2021		6/23 DA	lexis nexis		Accident Report	no report found	mailed by DA
2021-0015	6/23 DA	7/3/2021		6/23 DA	Joseph Sapaolo	831-251-6184	CC2100323	completed	picked up



CITY OF CARMEL-BY-THE-SEA

Monthly Report

Public Works Department Report – June 2021

TO: Honorable Mayor and City Council Members

SUBMITTED BY: Robert Harary, P.E., Director of Public Works

SUBMITTED ON: July 2, 2021

APPROVED BY: Chip Rerig, City Administrator

City Council Meeting of June 1, 2021

- Accepted donations from Carmel Cares and Carmel Gives, valued at \$29,977, plus 1,230 volunteer hours of community service, related to landscape maintenance and beautification.

Special City Council Meeting of June 8, 2021

- Adopted the FY 2021/22 Capital Budget including 14 capital improvement projects, plus six vehicle and equipment funded projects, with a combined total of \$2.3 million. Also approved eight special projects/initiatives funded within the applicable department's operating budgets.
- Approved the FY 2021/22 Public Works Operations Budget of \$2.94 million, an increase of 8% over the prior fiscal year, and re-established funding for 2.75 full time positions in PW.
- Approved a 2% trash collection rate adjustment increase in accordance with the Franchise Agreement with GreenWaste Recovery.

Forest and Beach Commission Meeting of June 10, 2021

- Commissioners addressed the need to inform the community at large about living in a forest, proper planting, watering, and caring for trees, etc. Commission established an ad hoc committee to develop branding, a social media platform, and educational components. Committee to be comprised of Ramie Allard, Friends of Carmel Forest, and Commissioners JC Myers and Sara Berling.

Climate Action Committee Meeting of June 17, 2021

- The meeting was cancelled. Next meeting is July 15, 2021.

Public Works Administration

- Participated in the Emergency Response and Wildfire Community Meeting at Forest Theater.
- Participated in Hazardous Mitigation Strategies with County's Office of Emergency Services.
- Negotiated a 6-month contract extension with Pureserve for janitorial services.
- Attended a workshop with Monterey Salinas Transit regarding modifying their bus routes.
- Attended the Transportation Agency of Monterey County (TAMC) TAC meeting, which included experimental "reverse angled parking," now in a pilot program for inland Monterey County agencies. Due to reduced collision/injury potential and reduction of space needed, we may consider this for possible parking lot optimization at Del Mar.
- Spoke with PG&E representative about phasing out of the Rule 20A funding program. Will consider seeking a Council resolution for a potential undergrounding project to ensure our nearly \$1M in Rule 20A credits are secure.

- Met with our engineering consultant, Sherman Low, to review the 90% paving project plans prepared before the Covid shutdown, include more sidewalk repairs/pavers, eliminate redundant ADA ramps, and add additive/alternate bid items due to an erratic bidding climate.
- Participated in the Traffic Safety Committee (TSC), where seven locations in the Village warranted curb paintings, adding arrow legends, adjusting no parking posts, or simply monitoring.
- Continued to hold weekly meetings with Carmel Cares to coordinate improvements to the Scenic Pathway, Devendorf Park, Forest Theater, median islands, and other initiatives.
- Participated in Planning's Design Review Committee meeting for the Carmel Hotel renovation.
- Met with Kaizen Infosource regarding Public Works records retention.
- Oriented with the Constant Contact software program.

Environmental Programs

- Passed the screening interview with Blue City, a new ocean conservation certification program demonstrating a public agency's commitment to healthy waters and the ocean.
- Submitted first round of Per Capita park grant funds for environmental permitting and design of up to three streambed stability projects along the Mission Trail Nature Preserve creek.
- Submitted a project work plan to the California Coastal Conservancy for our \$45k, recently-won grant for wildfire fuel reduction for the MTNP.
- Administered documents for the Used Oil Program with Monterey County.
- With the City Attorney, reviewed the draft MOU with the Monterey Regional Waste Management District, regarding shared expenses for regional organics recycling implementation to meet the regulatory requirements of SB 1383.
- Reviewed a new report documenting laboratory findings of contaminants, particularly high in copper and fecal bacteria, in the ocean's Area of Special Biological Significance.
- Prepared and issued a Request for Proposals for a Greenhouse Gas Emissions Forecast.
- Volunteers removed piles of weeds, ice plant, and invasive species from the North Dunes.
- Continued drafting the Vulnerability Study for the Climate Action Committee.

Facility Maintenance

- For the Sunset Center Emergency Fire Pump Replacement Project, completed 8 of 13 punch list items identified by the Fire Marshall when the system went into operation.
- Installed an ADA-compliant drinking fountain in front of the Harrison Memorial Library, thus completing Year 3 of the City's ongoing ADA program.
- Coordinated with the vendor, Always Under Pressure, to remove the unreliable and obsolete water filtration system at the Public Works Yard, and to install and test the new, much smaller, pre-engineered water filtration system, allowing the City to stay in compliance with state stormwater quality regulations for Public Works operations.
- Obtaining quotes to repair the Fire Station's sewer lateral, replace the air conditioner for the IT equipment room in the Harrison Memorial Library, and install a new gate arms motor at the Norton parking garage.

Street Maintenance

- Began the annual traffic striping, legends, and curb painting project. This project was cancelled last year due to Covid-19 social distancing requirements. All 270 gallons of paint and painting supplies were paid for using RSTP funds distributed via TAMC.
- Picked up large piles of ice plant clippings along the beach walls, generated by our partners of Carmel Cares, who removed all ice plant, exposing the beautiful stone walls.
- Coordinated with Carmel Cares to begin cleaning sidewalks in the downtown area.
- Removed more piles of fire fuels and invasive materials generated by the Friends of MTNP.
- Rented a bobcat and redistributed beach sand over the exposed sandstone surfaces, particularly near the Del Mar parking lot and west of the volleyball courts.
- Monitored CAWD’s contractor who re-lined eight sewer manholes in the northwest quadrant of the City. The success of this project and minimal impact to the community will allow CAWD to proceed with a similar process, but larger scale, manhole re-lining project.
- Inspected 56 driveways from driveway permits that were never closed out over the past few years. All but six permits were fine and permits closed as a result. The Planning and Building Department will follow-up with those permittees who still need to resolve corrective actions.
- Cleaned out five fire pits out on the beach, between Tenth and Twelfth Avenues, on a daily basis. These fire pits have been misused, and illegal fires have been noted on the beach. Only clean, dry wood should be burned in these fire pits, and fires extinguished only with water.
- Relocated a new Little Library near the entrance of Forest Theater, courtesy of Betty Maurutto.
- Installed a new crosswalk, across Ocean Avenue, at the west leg of the Ocean/San Antonio intersection, as requested by the TSC.
- Installed four “SLOW” signs, along Fourth Avenue and Santa Lucia, as requested by the TSC.

Forestry, Parks and Beach (Forester’s Report)

- Contractors ground out and removed 37 tree stumps in June.
- Carmel Cares introduced youth at the Carmel Youth Center to community service. Fourteen youth removed weeds and dead vegetation around the Police Plaza to prepare for a new garden.
- Carmel Cares continues to improve and maintain landscaping along the Scenic Pathway, in Devendorf Park, at the Forest Theater, and in numerous median islands.
- Three dead trees were removed from Devendorf Park.
- A large pine failed on Lincoln Street between Fourth and Fifth Avenues.
- The oak moth had its second hatching of the year, and can be seen flying around most oaks.
- Fixed an irrigation leak in front of City Hall.

Private and Development Activities

2021 Permitted Removals and Required Planting

	Removals	Plant Upper	Plant Lower	No Room for New Trees	Meets Density Recommendation	Total Number of Trees Required
January	6	3	2	0	0	5
February	38	4	3	2	4	7

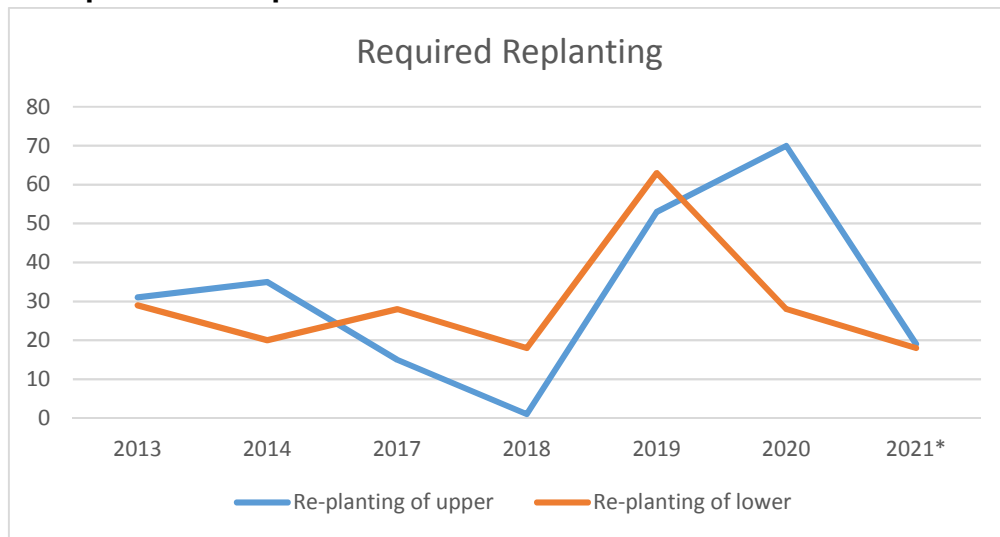
Public Works Department Report – June 2021

March	14	3	1	0	2	4
April	16	5	5	1	3	10
May	10	2	5	1	0	7
June	14	6	8	1	1	14
July						0
August						0
September						0
October						0
November						0
December						0
2021 Totals	98*	23	24	5	10	47*

❖ **Note:** There were a handful of permits that caused the required number of trees versus the number of removals to look unbalanced. Specifically, there were eight (8) permits that resulted in the removal of 38 lower canopy trees. Also, three (3) of those permits are for building projects that have not been assigned a final number of trees yet.

Historic Permitted Removals and Required Planting

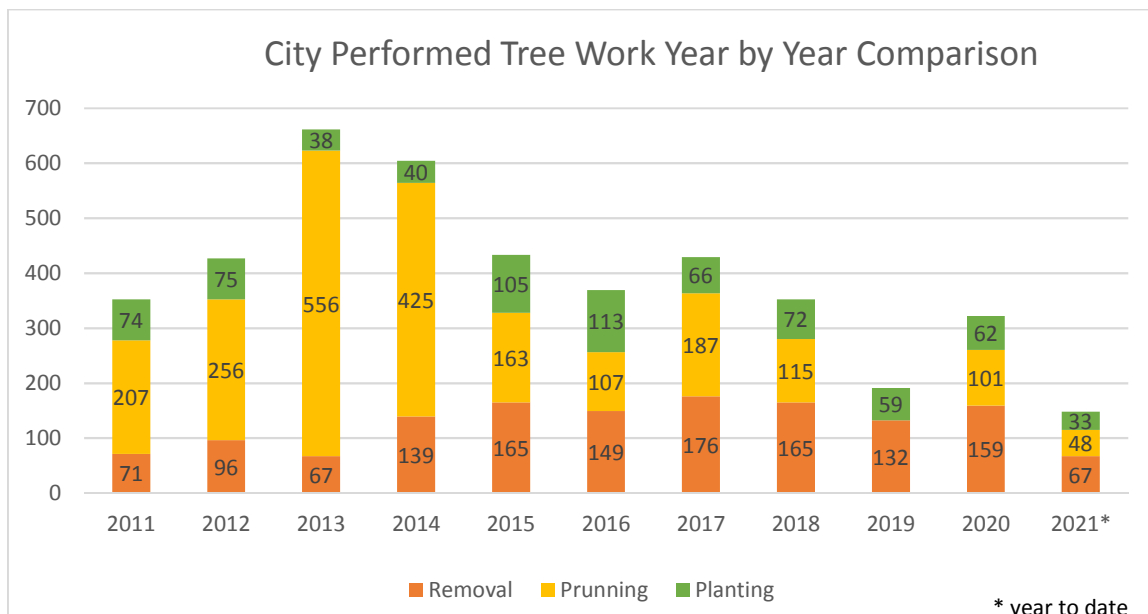
	Removal Permits	Removal of Upper	Removal of Lower	Replanting Required	Replanting of Upper	Replanting of Lower	Replanting %
2012	96			20			20.83%
2013	123	60	63	59	31	29	47.97%
2014	145	64	81	49	35	20	33.79%
2016	90			37			41.11%
2017	119	50	69	43	15	28	36.13%
2018	77	37	60	20	1	18	20.62%
2019	170	107	63	116	53	63	68.24%
2020	175	57	41	120	67	26	122.45%
2021*	100	35	65	37	19	18	37.00%



City Forestry, Parks, and Beach Activities

City Tasks - June 2021

Work Type	Count
Failure - limb	2
Failure - entire tree	3
Inspections	65
Prunings	9
Plantings	5
Removals	25
Stump Removals	37
Stop Work Orders	0





CITY OF CARMEL-BY-THE-SEA CITY COUNCIL Staff Report

August 2, 2021
CONSENT AGENDA

TO: Honorable Mayor and City Council Members

SUBMITTED BY: Robin Scattini, Finance Manager

APPROVED BY: Chip Rerig, City Administrator

SUBJECT: June 2021 Check Register Summary

RECOMMENDATION:

Approve the check register for June 2021.

BACKGROUND/SUMMARY:

The check register is produced from the City's financial system. The report groups the checks by the respective department or function. The check register includes the check number, the name of the vendor, a description of the purchase, the check issue date and the amount of the check. Per the California Supreme Court's decision in the case of Los Angeles County Board of Supervisors v. Superior Court (Dec. 29, 2016) (2016 WL 7473802), the check register excludes the specific invoice payments for legal services incurred for pending and active investigations, pending and active litigation, as well as recently concluded matters. The Supreme Court has ruled that these specific invoices are protected under attorney-client privilege and need not be disclosed under the Public Records Act.

On the last page of the report, staff have included the contract balance for the respective vendors that were paid in June.

FISCAL IMPACT:

The check register summary for June 2021 totals \$807,519.

PRIOR CITY COUNCIL ACTION:

Council ratified the May 2021 check register at its July 6 regular meeting.

ATTACHMENTS:

June 2021 check register

June 2021 Check Register

Check No.	Vendor/Employee	Transaction Description	Date	Amount
Department: 000 Marketing & Economic Development				
47111	Monterey County Convention & Visitors Bureau	Mar-Apr 2021 TID Remittance	06/14/2021	47,498.42
47127	Visit Carmel	Mar-Apr 2021 CHID remittance	06/14/2021	178,361.32
Total for Department: 000 Marketing & Economic Dvlpmnt				225,859.74
Department: 110 City Council				
47117	Peninsula Messenger LLC	Mail sorting and delivery	06/14/2021	6,519.00
47166	Coastal TPA, Inc	Dental and vision reimbursement claims	06/25/2021	46.20
Total for Department: 110 City Council				6,565.20
Department: 111 City Administration				
47093	Amazon Web Services Inc	Monthly data storage and cloud service fees	06/14/2021	1,056.74
47094	AT&T	Telephone service citywide	06/14/2021	371.52
47095	Brian H. Thompson	Software contractor: macros for Google	06/14/2021	2,000.00
47097	Carmel Pine Cone	Legal noticing	06/14/2021	1,102.50
47099	Coastal TPA, Inc	Dental and vision reimbursement claims	06/14/2021	312.40
47102	Digital Deployment	Maintenance and security updates for website	06/14/2021	700.00
47105	FedEx	Shipping fees	06/14/2021	109.35
47107	Iron Mountain	Records management and storage fees	06/14/2021	274.60
47108	Kaizen InfoSource, LLC	Consulting fees: retention schedule for documents	06/14/2021	2,000.00
47113	NEOGOVS	Recruitment subscription	06/14/2021	2,500.00
47119	Pitney Bowes Global Fin S	Postage meter lease	06/14/2021	676.42
47121	Sprint	Cell service, usage	06/14/2021	329.26
47124	T-Mobile	Monthly cell usage	06/14/2021	1,476.02
47128	Zoom Imaging Solutions, Inc.	Admin copier usage fees	06/14/2021	472.91
47148	Image Sales	Employee ID badges	06/25/2021	20.98
47158	Alhambra	Water service-City Hall	06/25/2021	59.86
47166	Coastal TPA, Inc	Dental and vision reimbursement claims	06/25/2021	1,564.57
47167	Code Publishing Company	Muni Code updates- paper and electronic	06/25/2021	1,605.90
47168	Comcast	Business cable services-City Hall	06/25/2021	73.17
47169	Comcast Business	NonCGEN internet and recurring charges	06/25/2021	644.82
47170	Corbin Willits System	MOM Software support	06/25/2021	720.79
47177	Office Depot, Inc.	Office supplies	06/25/2021	16.38
47180	Purchase Power	Postage metrer refill	06/25/2021	3,030.00
47182	Sloan Sakai Yeong & Wong	HR consulting services	06/25/2021	1,495.00
47183	Toshiba Financial Service	Copier contract Admin ESTUDIO 5506ACT	06/25/2021	373.06
47184	US Bank	IT subscription, HR conference fee, reopening costs	06/25/2021	4,748.86

47187	Wageworks, Inc	Healthcare monthly Admin and Compliance fee	06/25/2021	160.00
47192	Amazon Web Services Inc	Monthly data storage and cloud service fees	06/30/2021	1,199.87
47194	AT&T	Telephone service citywide	06/30/2021	371.32
47202	FedEx	Shipping fees	06/30/2021	62.34
47207	Iron Mountain	Records management and storage fees	06/30/2021	310.30
47209	Kaizen InfoSource, LLC	Phase 1: retention schedule	06/30/2021	6,000.00
47214	Office Depot, Inc.	Office supplies	06/30/2021	129.17
47216	Rachael Leticia Grewell	Mobile notary service	06/30/2021	80.00
47217	Ryan Ranch Printers	Window envelopes	06/30/2021	384.48
47222	T-Mobile	Monthly cell usage	06/30/2021	1,518.57
47226	US Bank	Laptop-PD	06/30/2021	819.33

Total for Department: 111 City Administration	38,770.49
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Department: 112 City Attorney

47096	Burke, Williams & Sorensen, LLP	March & April legal services	06/14/2021	42,012.00
47123	Telecom Law Firm PC	Legal services: wireless ordinance	06/14/2021	5,418.00
47195	Burke, Williams & Sorensen, LLP	May legal services	06/30/2021	33,332.00
47221	Telecom Law Firm PC	Legal services: wireless ordinance	06/30/2021	4,261.00

Total for Department: 112 City Attorney	85,023.00
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Department: 115 Community Planning & Building

47065	Carmel Towing & Garage	Fuel: CPB vehicle	06/11/2021	45.54
47071	Engineered Fire Systems	Plan review services for fire systems	06/11/2021	850.00
47072	FedEx	Shipping fees	06/11/2021	19.36
47099	Coastal TPA, Inc	Dental and vision reimbursement claims	06/14/2021	380.00
47143	De Lage Landen Financial	Front copier lease	06/25/2021	212.22
47157	US Bank	Security chips for login	06/25/2021	147.50
47166	Coastal TPA, Inc	Dental and vision reimbursement claims	06/25/2021	92.40
47171	CSG Consultants, Inc.	Building plan review services	06/25/2021	15,058.53
47173	Engineered Fire Systems	Plan review services for fire systems	06/25/2021	1,100.00

Total for Department: 115 Community Planning & Bu	17,905.55
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Department: 116 Police

47090	Alhambra	Bottle Water Service for PD	06/14/2021	206.27
47091	Allied Universal	Beach security patrols	06/14/2021	1,128.54
47092	Altius Medical	Medical waste disposal	06/14/2021	99.00
47099	Coastal TPA, Inc	Dental and vision reimbursement claims	06/14/2021	1,720.17
47103	Drawing Board Printing	Mailing labels	06/14/2021	146.44
47104	Enviro-Master of Northern California	PD Covid office spraying-SaniGard	06/14/2021	102.00
47109	Lemos Service Inc	PD vehicle repair services	06/14/2021	1,831.54

47112	Monterey County Information Technology	PD: Cellular access/telephone calling and access	06/14/2021	1,061.85
47114	Office Depot, Inc.	Office supplies	06/14/2021	79.87
47115	Pacific Gas & Electric	Video cameras citywide	06/14/2021	215.10
47120	Same Day Shred	Shredding services	06/14/2021	45.00
47122	Summit Uniforms	Uniform expense	06/14/2021	872.91
47124	T-Mobile	IPhone purchases: funded by donation	06/14/2021	14,007.36
47125	Transunion Risk & Alterna	Investigative searches	06/14/2021	75.00
47159	Allied Universal	Beach security patrols	06/25/2021	2,257.08
47160	American Messaging	Messaging services	06/25/2021	2.50
47162	California Department Of Justice	Fingerprinting services	06/25/2021	98.00
47163	Caltronics/J.J.R Enterprises. Inc	Copy machine usage fee per contract	06/25/2021	299.45
47164	Carmel Towing & Garage	Repairs: 2017 Chev Malibu for PD	06/25/2021	2,978.97
47166	Coastal TPA, Inc	Dental and vision reimbursement claims	06/25/2021	3,277.14
47168	Comcast	Cable TV/High Speed Internet for PD	06/25/2021	297.46
47172	De Lage Landen Financial	Police Dept Copier Lease	06/25/2021	161.69
47177	Office Depot, Inc.	Office supplies	06/25/2021	112.08
47181	Seaside Chrysler, Dodge, Jeep	Police Dept Vehicle Maintenance	06/25/2021	1,529.96
47185	US Bank Voyager Fleet	Fuel Police Dept	06/25/2021	79.41
47186	Verizon Wireless	Air Cards for PD Vehicles	06/25/2021	14.04
47190	Alhambra	Bottle Water Service for PD	06/30/2021	187.79
47191	Allied Universal	Beach security patrols	06/30/2021	752.36
47204	Gerald Maldonado	Reimbursement: FTO course travel expense	06/30/2021	305.00
47206	I.A.M.P	Sound system services: meeting at Forest Theater	06/30/2021	1,000.00
47226	US Bank	Supplies, meeting expenses, fuel, membership	06/30/2021	940.74

Total for Department: 116 Police

35,884.72

Department: 117 Fire

47100	County of Monterey IT Dept	Fire: Cellular access/telephone calling and access	06/14/2021	298.08
47106	Icon Health and Fitness	Physical fitness equipment	06/14/2021	2,284.00
47110	Mission Linen Service	Linen maintenance	06/14/2021	353.87
47158	Alhambra	Water service: Fire Dept	06/25/2021	181.53
47164	Carmel Towing & Garage	Fuel purchases for fire vehicles	06/25/2021	824.09
47175	Mission Linen Service	Linen maintenance	06/25/2021	142.56
47199	City Of Monterey	FY 20/21 Fire Contract Monthly Charges	06/30/2021	217,409.76

Total for Department: 117 Fire

221,493.89

Department: 118 Ambulance

47098	City Of Monterey	Ambulance repairs: parts and service	06/14/2021	9,613.71
47101	De Lage Landen Financial	Ambulance-Copier lease	06/14/2021	71.01
47118	Peninsula Welding & Medical Supply, inc.	Oxygen cylinder rentals	06/14/2021	140.74
47126	Verizon Wireless	Cell Phone Service for Ambulance	06/14/2021	258.53
47163	Caltronics/J.J.R Enterprises. Inc	Copy machine usage fee per contract	06/25/2021	17.76

47164	Carmel Towing & Garage	Fuel purchases for ambulance vehicles	06/25/2021	480.00
47165	City Of Monterey	City of Monterey OT Coverage for Ambulance Depart	06/25/2021	11,146.20
47166	Coastal TPA, Inc	Dental and vision reimbursement claims	06/25/2021	57.75
47176	Municipal Emergency Services	2 sets of Turn-Outs	06/25/2021	5,491.97
47179	Peninsula Welding & Medical Supply, inc.	Oxygen cylinder rentals	06/25/2021	31.20
47186	Verizon Wireless	Fire-Ambulance monthly charges	06/25/2021	380.16
47199	City Of Monterey	Ambulance repairs: parts and service	06/30/2021	1,936.26
Total for Department: 118 Ambulance				29,625.29

Department: 119 Public Works

47061	Alhambra	Water service Public Works	06/11/2021	139.29
47063	Caltronics/J.J.R Enterprises. Inc	Copy machine usage fee per contract	06/11/2021	27.56
47064	Carmel Area Wastewater District	Restaurant Inspection service	06/11/2021	857.76
47066	Cintas Corporation	Uniforms for PW crew	06/11/2021	281.08
47068	CSU Chico Research Foundation	GIS maintenance	06/11/2021	1,000.00
47069	Cypress Coast Ford/Lincoln	Gas cap for unit 6	06/11/2021	38.65
47070	De Lage Landen Financial	Copier lease and usage	06/11/2021	205.39
47073	Golden State Portables	Handicap unit Forest Theater	06/11/2021	1,142.63
47074	Granite Rock Company	Supplies for PW Dept	06/11/2021	727.51
47075	Greenwaste Recovery Inc	3 dumpsters for 3 beach locations	06/11/2021	1,011.59
47076	Jamestown Advanced Products Corp	41 Trash receptacles/labels	06/11/2021	4,643.13
47079	MJ Murphy Lumber and Hardware	Forest Hill Park rail repair	06/11/2021	499.53
47081	Poe's Plumbing & Backflow	Fire Station - repair shower leak	06/11/2021	325.57
47082	Pureserve Building Service	Janitorial Services	06/11/2021	15,695.75
47083	Regency Construction Co Inc.	HML balcony repair	06/11/2021	17.49
47084	Scarborough Lumber & Building	Supplies for PW Dept	06/11/2021	288.49
47088	Tope's Tree Service Inc.	Tree work citywide	06/11/2021	9,973.50
47099	Coastal TPA, Inc	Dental and vision reimbursement claims	06/14/2021	212.00
47104	Enviro-Master of Northern California	Covid 19 office spraying	06/14/2021	529.95
47138	Ailing House Pest Control	Pest control services	06/25/2021	644.00
47140	Carmel Towing & Garage	May 2021 fuel	06/25/2021	1,734.49
47141	Cintas Corporation	Uniforms for PW crew	06/25/2021	163.65
47142	Cypress Coast Ford/Lincoln	Auto supplies	06/25/2021	155.07
47144	Enviro-Master of Northern California	Covid 19 office spraying	06/25/2021	1,462.00
47145	FasTrak	Toll bridge charges	06/25/2021	31.00
47146	Golden State Portables	Handicap unit Forest Theater	06/25/2021	1,142.63
47147	Hana Gardens Del Rey Oaks	Plants	06/25/2021	178.61
47149	John Ley's Tree Service	Tree work citywide	06/25/2021	22,723.00
47151	Monterey Sanitary Supply	Hand sanitizer	06/25/2021	386.44
47152	Save The Whales	Recycling outreach	06/25/2021	3,070.17
47153	Scarborough Lumber & Building	Supplies for PW Dept	06/25/2021	68.09
47155	Tree Stuff Lockbox No 639707	Forestry equipment	06/25/2021	3,823.83
47156	Trucksis Enterprises, Inc.	City flags	06/25/2021	524.15
47157	US Bank	Plexiglass cleaning cloths and cleaner	06/25/2021	96.98

47166	Coastal TPA, Inc	Dental and vision reimbursement claims	06/25/2021	605.19
47174	Fashion Streaks	20 "Beach Fire Rules" signs	06/25/2021	1,070.65
47184	US Bank	Supplies	06/25/2021	12.89
47193	Applied Marine Sciences	Watershed sampling services	06/30/2021	4,121.00
47196	Carmel Area Wastewater District	Vactor service	06/30/2021	548.78
47197	Chemtek, Inc	10 gallons of pavepro asphalt release agent	06/30/2021	430.46
47198	Cintas Corporation	Uniforms for PW crew	06/30/2021	272.20
47200	CSC of Salinas	Backhoe hydraulic leak repair	06/30/2021	301.57
47201	Edges Electrical Group	Supplies for PW Dept	06/30/2021	87.15
47203	Ferguson Enterprises, Inc.	Restroom equipment replacement	06/30/2021	282.16
47208	John Ley's Tree Service	Tree work citywide	06/30/2021	6,654.00
47210	Martins Irrigation Supply, INC.	Supplies for PW Dept	06/30/2021	443.12
47211	Monterey Auto Supply Inc/Napa Auto Parts	Vehicle supplies for PW	06/30/2021	656.11
47212	Monterey County Health Department	Health permit fees	06/30/2021	1,149.00
47213	Monterey Sanitary Supply	Janitorial supplies	06/30/2021	270.06
47215	Ono Consulting	Arborist letter - failing Monterey Cypress - Scenic 3 N'	06/30/2021	450.00
47218	Sara Davis	Reimbursement: purchase of boots per MOU	06/30/2021	560.39
47219	Scarborough Lumber & Building	Supplies for PW Dept	06/30/2021	1,087.18
47220	Signworks Inc	Beach fire signs	06/30/2021	355.61
47223	Tope's Tree Service Inc.	Tree work citywide	06/30/2021	2,162.50
47224	Town and Country Gardening	Clearing at Mission Trail preserve	06/30/2021	3,000.00
47225	Uline Inc.	Safety supplies	06/30/2021	142.49
47226	US Bank	HML drinking fountain, forestry supplies, uniforms	06/30/2021	5,441.12
Total for Department: 119 Public Works				103,924.61

Department: 120 Library

47116	Pacific Grove Self Storage	Storage unit for city art	06/14/2021	279.00
47166	Coastal TPA, Inc	Dental and vision reimbursement claims	06/25/2021	80.85
Total for Department: 120 Library				359.85

Department: 121 Community Activities

47058	Flowers at the Sea Kaysea Cook	200 bouquets for Mother's Day giveaway	06/04/2021	1,000.00
47154	Tigerlilly Florist&Gifts	Memorial Day flowers	06/25/2021	316.83
47157	US Bank	COVID compliance for live events training webinar	06/25/2021	171.41
Total for Department: 121 Community Activities				1,488.24

Department: 130 Non-Departmental

47115	Pacific Gas & Electric	Gas & electric service citywide	06/14/2021	84.90
47161	Cal-Am Water Company	Water service citywide	06/25/2021	10,027.24
47178	Pacific Gas & Electric	Gas & electric service citywide	06/25/2021	10,072.28
Total for Department: 130 Non-Departmental				20,184.42

Department: 311 Capital Projects

47067	Coast Counties Glass, Inc.	Partitions for Devendorf Park restrooms	06/11/2021	6,825.00
Total for Department: 311 Capital Projects				6,825.00

Department: 513 Veh & Equip Replacement

47059	Gerecke Electrical LLC	Sunset Center fire pump electrical work	06/10/2021	4,800.00
47062	American Lock & Key	Padlocks for fire pump at Sunset Center	06/11/2021	19.12
47087	The Brown Company	Sunset Center fire pump	06/11/2021	4,742.15
47139	American Lock & Key	Knox box keys for fire pump at Sunset Center	06/25/2021	48.07
47205	Gerecke Electrical LLC	Sunset Center fire pump electrical work	06/30/2021	4,000.00
Total for Department: 513 Veh & Equip Replacement				13,609.34
Grand Total				807,519.34

June Contract Payments:

Vendor	Contract Amt	Paid through June	Contract Balance	
Pen Messenger	\$ 58,000.00	\$ 47,478.00	\$ 10,522.00	
Pureserve	\$ 198,349.00	\$ 188,349.00	\$ 10,000.00	
City of Monterey	\$2,608,917.00	\$ 2,608,917.12	\$ (0.12)	Fire admin services
Tope's Tree Svc	\$ 25,000.00	\$ 37,297.00	\$ (12,297.00)	Contract amendment forthcoming
Telecom Law Firm PC	\$ 24,999.00	\$ 22,870.00	\$ 2,129.00	
J. Ley's Tree Svc.	\$ 25,000.00	\$ 38,730.00	\$ (13,730.00)	Contract amendment forthcoming



CITY OF CARMEL-BY-THE-SEA CITY COUNCIL Staff Report

August 2, 2021
CONSENT AGENDA

TO:	Honorable Mayor and City Council Members
SUBMITTED BY:	Sharon Friedrichsen - Director, Contracts and Budgets
APPROVED BY:	Chip Rerig, City Administrator
SUBJECT:	Resolution 2021-039 authorizing the City Administrator to execute an agreement with the Monterey County Convention and Visitors Bureau for Destination Marketing for the term of July 1, 2021 to June 30, 2022 in an amount not to exceed \$160,007

RECOMMENDATION:

Adopt Resolution 2021-039 authorizing the City Administrator to execute an agreement with the Monterey County Convention and Visitors Bureau for Destination Marketing for the term of July 1, 2021 to June 30, 2022 in an amount not to exceed \$160,007.

BACKGROUND/SUMMARY:

The purpose of this agenda item is for Council to authorize the City Administrator to execute an agreement with the Monterey County Destination Marketing Organization Inc., dba Monterey County Convention and Visitors Bureau (MCCVB) for destination marketing for Fiscal Year 2021-2022. The City has historically collaborated with MCCVB to manage visitors, including promoting overnight stays within the Village during mid-week and off-season. MCCVB has specialized expertise and experience in destination marketing of the Monterey Peninsula, which includes the City of Carmel-by-the-Sea. The Carmel Municipal Code requires Council approve agreements with a value of \$25,000 or more. The proposed agreement with MCCVB is for an amount not to exceed \$160,007.

FISCAL IMPACT:

The Adopted Fiscal Year 2021-2022 Budget includes funding for MCCVB. The amount of the funding is based upon 3% of the City's Fiscal Year 2021-2022 budgeted transient occupancy tax revenue of \$5.3 million.

PRIOR CITY COUNCIL ACTION:

Council adopted a similar agreement with MCCVB in October 2020.

ATTACHMENTS:

Attachment #1 - Resolution 2021-039 Authorize MCCVB Agreement

**CITY OF CARMEL-BY-THE-SEA
CITY COUNCIL**

RESOLUTION NO. 2021-039

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CARMEL-BY-THE-SEA AUTHORIZING THE CITY ADMINISTRATOR TO EXECUTE AN AGREEMENT WITH THE MONTEREY COUNTY CONVENTION AND VISITORS BUREAU FOR DESTINATION MARKETING FOR THE TERM OF JULY 1, 2021 TO JUNE 30, 2022 IN AN AMOUNT NOT TO EXCEED \$160,007

WHEREAS, transient occupancy tax and sales and use tax contribute to the City of Carmel-by-the-Sea’s revenue sources and are heavily influenced by tourism; and

WHEREAS, the Monterey County Convention and Visitors Bureau possesses specialized knowledge and benefits from economy of scale in advertising and other marketing efforts in order to promote tourism within the Monterey Peninsula region and the City of Carmel-by-the-Sea; and

WHEREAS, in accordance with the Carmel Municipal Code, contracts of \$25,000 or more require Council approval.

NOW THEREFORE, BE IT RESOLVED THAT THE CITY COUNCIL OF THE CITY OF CARMEL-BY-THE-SEA DOES HEREBY:

Authorize the City Administrator to execute an agreement with the Monterey County Convention and Visitors Bureau for destination marketing for the term of July 1, 2021 through June 30, 2022 in an amount not to exceed \$160,007.

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF CARMEL-BY-THE-SEA this 2nd day of August, 2021, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Dave Potter
Mayor

Britt Avrit, MMC
City Clerk

PROFESSIONAL SERVICES AGREEMENT
Monterey County Convention and Visitors Bureau
Destination Marketing Services

THIS AGREEMENT is executed this ____ day of August 2021, by and between the City of Carmel-by-the-Sea, a municipal corporation, (hereinafter "City"), and Monterey County Destination Marketing Organization Inc., dba Monterey County Convention and Visitors Bureau, (hereinafter "Consultant"), collectively referred to herein as the "parties".

WHEREAS, the City wishes to engage the Monterey County Convention and Visitors Bureau (MCCVB) to perform the services required by this Agreement; and

WHEREAS, Consultant is willing to render such professional services, as hereinafter defined, on the following terms and conditions; and

WHEREAS, Consultant represents that it is trained, experienced and competent and holds all necessary licenses and certifications to perform the services required by this Agreement.

NOW, THEREFORE, in consideration of the terms and conditions herein contained, the parties hereby covenant and agree as follows:

1. SERVICES

- A. **Scope of Services.** Consultant agrees to provide to the City, as the scope of services ("Scope of Services") under this Agreement, the following: **to create interest, visitation and drive overnight stays within the City:**
- i. Stimulate interest in key feeder markets as mutually agreed to encourage visits to Carmel-by-the-Sea
 - ii. Marketing through advertising, promotions and social media to promote Carmel-by-the-Sea
 - iii. Promoting Carmel-by-the-Sea hotels, inns and lodging establishments on MCCVB's website
 - iv. Provide semi-annual reports highlighting MCCVB's web and digital activity and media relations as they pertain to Carmel-by-the-Sea and the economic impact of MCCVB's performance to the City.

Consultant agrees to all of the following:

- i. Consultant will furnish all of the labor, technical, administrative, professional and other personnel, all supplies and materials, equipment, printing, vehicles, transportation, office space and facilities, and all other means whatsoever, except as otherwise expressly specified in this Agreement, necessary to perform the services required of Consultant under this Agreement.
- ii. Consultant's designated representative(s) who are authorized to act on its behalf and to make all decisions in connection with the performance of services under

this Agreement is the President/CEO of the Monterey County Convention and Visitors Bureau.

- iii. Consultant represents that it has the qualifications, experience and facilities necessary to properly perform the services required under this Agreement in a thorough, competent and professional manner. Consultant will at all times faithfully, competently and to the best of its ability, experience and talent, perform all services described in this Agreement. In meeting its obligations under this Agreement, Consultant must employ, at a minimum, generally accepted standards and practices utilized by persons engaged in providing services similar to those required of Consultant under this Agreement.
- iv. City may inspect and accept or reject any of Consultant's work under this Agreement, either during performance or when completed. Acceptance of any of Consultant's work by City will not constitute a waiver of any of the provisions of this Agreement.

B. Change Orders.

- i. Agreements and Change Orders exceeding \$24,999 require City Council approval to be valid.
- ii. The City may order changes to the Scope of Services, consisting of additions, deletions, or other revisions, and the compensation to be paid Consultant will be adjusted accordingly. All such changes must be authorized in writing, and executed by Consultant and City. The cost or credit to City resulting from changes in the services will be determined by the written agreement between the parties. However, any increase in compensation beyond the compensation limit amount approved by the City Council must be authorized in advance by the City Council and any service provided by Consultant in the absence of such approval are at Consultant's sole risk.
- iii. Consultant will not be compensated for any services rendered in connection with its performance of this Agreement that are in addition to or outside of those set forth in the Scope of Services or otherwise required by this Agreement, unless such additional services are authorized in advance and in writing by City.
- iv. If Consultant believes that additional services are needed to complete the Scope of Services, Consultant will provide the City Administrator with written notification describing the proposed additional services, the reasons for such services, and a detailed proposal regarding cost.

C. Familiarity with Services and Site.

- i. By executing this Agreement, Consultant represents that Consultant:
 - a. has thoroughly investigated and considered the Scope of Services to be performed;
 - b. has carefully considered how the services should be performed;
 - c. understands the facilities, difficulties, and restrictions attending performance of the services under this Agreement; and

- d. possesses all licenses required under local, state or federal law to perform the services contemplated by this Agreement, and will maintain all required licenses during the performance of this Agreement.

2. COMPENSATION

- A. **Total Fee.** Subject to any limitations set forth in this Agreement, the City agrees to pay and Consultant agrees to accept as full and fair consideration for the performance of this Agreement a total amount not-to-exceed **One Hundred Sixty Thousand and Seven Dollars (\$160,007.00)**. Such compensation is the “Maximum Authorized Expenditure” under this Agreement. Payment of any compensation to Consultant is contingent upon performance of the terms and conditions of this Agreement to the satisfaction of the City. If the City determines that the Services set forth in the written invoice have not performed in accordance with the terms of this Agreement, the City is not responsible for payment until the Services have been satisfactorily performed.
- B. **Invoicing.** Consultant shall submit to the City quarterly written invoices to the City’s Project Representative, identified in Section 5 below. Consultant’s invoices must include, but are not limited to, the following information:
 - i. Invoice number and date;
 - ii. A brief description of services performed;
 - iii. The total amount due for the period covered by this invoice

The City will review each invoice submitted by Consultant to determine whether the work performed and expenses incurred are in compliance with this Agreement. In the event that no charges or expenses are disputed, the invoice will be approved and paid.

Except as to any charges for work performed or expenses incurred by Consultant that are disputed by City, the City will pay on each such invoice within thirty (30) days of receipt; provided, however, that if Consultant submits an invoice which is incorrect, incomplete, or not in accord with the provisions of this Agreement. If any charges or expenses are disputed by City, the invoice will be returned by City to Consultant for correction and resubmission, and the City will not be obligated to process any payment to Consultant until thirty (30) days after a correct and complying invoice has been submitted by Consultant. City reserves the right to withhold future payment to Consultant if any aspect of the Consultant’s work is found to be non-conforming to the terms of this Agreement.

Consultant agrees to remit and is responsible for all withholding taxes, income taxes, unemployment insurance deductions, and any other deductions required by applicable federal, state or local laws and regulations for Consultant, its employees, subconsultants and vendors of services or goods.

- C. **Adjustment of Maximum Authorized Expenditure.** The City may increase or decrease the Maximum Authorized Expenditure by issuing a Change Order to the Agreement in accordance with Section 1.B “Change Orders” above. Should Consultant consider that any request or instruction from the City’s Project Representative constitutes a change in the scope of services, Consultant will advise the City’s Project Representative, in writing,

within fourteen (14) calendar days of such request or instruction. Without said written advice within the time period specified, the City is not obligated to make any payment of additional compensation to Consultant.

D. Audit and Examination of Accounts:

- i. Consultant must keep and will cause any assignee or subconsultant under this Agreement to keep accurate books of records and accounts, in accordance with sound accounting principles, which pertain to services to be performed under this Agreement.
- ii. Any audit conducted of books of records and accounts must be kept in accordance with generally accepted professional standards and guidelines for auditing.
- iii. Consultant must disclose and make available any and all information, reports, books of records or accounts pertaining to this Agreement to the City.
- iv. Consultant must include the requirements of Section 2D, "Audit and Examination of Accounts", in all contracts with assignees or subconsultants under this Agreement.
- v. All records provided for in this Section are to be maintained and made available throughout the performance of this Agreement and for a period of not less than four (4) years after full completion of the Services. All records, which pertain to actual disputes, litigation, appeals or claims, must be maintained and made available for a period of not less than four (4) years after final resolution of such disputes, litigation, appeals or claims.

3. AGREEMENT TERM

- A. **Term**. The work under this Agreement will commence by July 1, 2021 and must be completed by June 30, 2022, unless sooner terminated or the City grants an extension of time in writing pursuant to the terms of this Agreement, except for provisions in this Agreement that will survive the termination or completion of this Agreement. Consultant will perform Change Order services as set out in Section 1.B, "Amendment of Services (Change Orders)", in a timely manner or in accordance with the agreed upon Change Order Project Schedule.
- B. **Timely Work**. Consultant will perform all Services in a timely fashion, as set forth more specifically in Section 3.A, "Term" of this Agreement. Failure to perform is deemed a material breach of this Agreement, and the City may terminate this Agreement with no further liability hereunder, or may authorize, in writing, an extension of time to the Agreement.

4. CONSULTANT'S EMPLOYEES AND SUBCONSULTANTS

- A. **Not an Agent of the City**. Nothing in this Agreement will be interpreted to render the City the agent, employer, or partner of Consultant, or the employer of anyone working for or subcontracted by Consultant, and Consultant must not do anything that would result in anyone working for or subcontracted by Consultant being considered an employee of the City. Consultant is not, and must not claim to be, an agent of the City.

B. **Independent Contractor:**

- i. Consultant is an independent contractor. This Agreement does not create the relationship of employer and employee, a partnership, or a joint venture. The City may not control or direct the details, means, methods or processes by which Consultant performs the Services. Consultant is responsible for performance of the Services and may not delegate or assign any Services to any other person except as provided for in this Agreement. Consultant is solely liable for the work quality and conditions of any partners, employees and subconsultants.
- ii. No offer or obligation of permanent employment with the City or particular City department or agency is intended in any manner, and Consultant may not become entitled by virtue of this Agreement to receive from the City any form of employee benefits including but not limited to sick leave, vacation, retirement benefits, workers' compensation coverage, insurance or disability benefits. Consultant will be solely liable for and obligated to pay directly all applicable taxes, including federal and state income taxes and social security, arising out of Consultant's performance of Services under this Agreement. Consultant will defend, indemnify and hold the City harmless from any and all liability, which the City may incur because of Consultant's failure to pay such taxes.

5. **REPRESENTATIVES AND COMMUNICATIONS**

- A. **City's Project Representative.** The City appoints the individual named below as the City's Project Representative for the purposes of this Agreement ("City's Project Representative"). The City may unilaterally change its project representative upon notice to Consultant.

Name: Chip Rerig
 Title: City Administrator
 Address: P.O. Box CC, Carmel-by-the-Sea, CA 93921
 Telephone: 831.620.2058
 Email: crrerig@ci.carmel.ca.us

- B. **Consultant's Project Manager.** Consultant appoints the person named below as its Project Manager for the purposes of this Agreement ("Consultant's Project Manager").

Name: Rob O'Keefe
 Title: President/CEO
 Company: Monterey County Convention and Visitors Bureau
 Address: P.O. Box 1770, Monterey, CA 93942
 Telephone: 831.657.6425
 Email: Rob@seemonterey.com

- C. **Meet and Confer**. Consultant agrees to meet and confer with the City's Project Representative, its agents or employees with regard to Services as may be required by the City to insure timely and adequate performance of this Agreement.
- D. **Communications and Notices**. All communications between the City and Consultant regarding this Agreement, including performance of Services, will be between the City's Project Representative and Consultant's Project Manager. Any notice, report, or other document that either party may be required or may wish to give to the other must be in writing and will be validly given to and received by the addressee, if delivered personally, on the date of such personal delivery, if delivered by email, on the date of transmission, or if by mail, seven (7) calendar days after posting.

6. **INDEMNIFICATION**

Consultant hereby agrees to the following indemnification clause:

To the fullest extent permitted by law (including, without limitation, California Civil Code Sections 2782 and 2782.6), Consultant will defend (with legal counsel reasonably acceptable to the City), indemnify and hold harmless the City and its officers, designated agents, departments, officials, representatives and employees (collectively "Indemnitees") from and against claims, loss, cost, damage, injury expense and liability (including incidental and consequential damages, Court costs, reasonable attorneys' fees as may be determined by the Court, litigation expenses and fees of expert consultants or expert witnesses incurred in connection therewith and costs of investigation) to the extent they arise out of, pertain to, or relate to, the negligence, recklessness, or willful misconduct of Consultant, any subconsultant or subcontractor, anyone directly or indirectly employed by them, or anyone that they control (collectively "Liabilities"). Such obligations to defend, hold harmless and indemnify any Indemnitee will not apply to the extent that such Liabilities are caused in part by the active negligence or willful misconduct of such Indemnitee.

Notwithstanding the provisions of the above paragraph, Consultant agrees to indemnify and hold harmless the City from and against all claims, demands, defense costs, liability, expense, or damages arising out of or in connection with damage to or loss of any property belonging to Consultant or Consultant's employees, subconsultants, representatives, patrons, guests or invitees.

In no event will the obligation of the Consultant exceed the limitations on the duty to defend and indemnify as set forth in Civil Code Sections 2782, 2782.6, and 2782.8.

7. **INSURANCE**

Consultant must submit and maintain in full force all insurance as described herein. Without altering or limiting Consultant's duty to indemnify, Consultant must maintain in effect throughout the term of this Agreement a policy or policies of insurance with the following minimum limits of liability:

- A. **Commercial General Liability Insurance** including but not limited to premises, personal injuries, bodily injuries, property damage, products, and completed operations, with a combined single limit of not less than \$1,000,000 per occurrence and \$2,000,000 in the aggregate.

- B. Professional Liability Insurance with limits of not less than \$1,000,000 per occurrence or claim and \$2,000,000 in the aggregate. Consultant will have a policy for professional liability coverage that provides coverage on an occurrence basis or obtain extended reporting (tail) coverage (with the same liability limits) for at least three years following the City's acceptance of the work.
- C. Automobile Liability Insurance covering all automobiles, including owned, leased, non-owned, and hired automobiles, used in providing Services under this Agreement, with a combined single limit of not less than \$1,000,000 per occurrence.
- D. Workers' Compensation Insurance. If Consultant employs others in the performance of this Agreement, Consultant must maintain Workers' Compensation insurance in accordance with California Labor Code section 3700 and with a minimum of \$1,000,000 per occurrence.
- E. Other Insurance Requirements:
- i. All insurance required under this Agreement must be written by an insurance company either:
 - a. admitted to do business in California with a current A.M. Best rating of no less than A:VI; or
 - b. an insurance company with a current A.M. Best rating of no less than A:VII. Exception may be made for the State Compensation Insurance Fund when not specifically rated.
 - ii. Each insurance policy required by this Agreement may not be canceled, except with prior written notice to the City.
 - iii. The general liability and auto policies must:
 - a. Provide an endorsement naming the City of Carmel-by-the-Sea, its officers, officials, employees, and volunteers as additional insureds. General liability coverage can be provided in the form of an endorsement to the Consultant's insurance (at least as broad as ISO Form CG 20 10 11 85 or both CG 20 10 and CG 23 37 forms if later revisions used).
 - b. Provide that such Consultant's insurance is primary as respects the City, its officers, officials, employees, and volunteers. Any insurance or self-insurance maintained by the City of Carmel-by-the-Sea is excess to the Consultant's insurance and will not contribute with it.
 - c. Contain a "Separation of Insureds" provision substantially equivalent to that used in the ISO form CG 00 01 10 01 or their equivalent.
 - d. Provide for a waiver of any subrogation rights against the City via an ISO CG 24 01 10 93 or its equivalent.
 - iv. Prior to the start of work under this Agreement, Consultant will file certificates of insurance and endorsements evidencing the coverage required by this Agreement with the City. Consultant will file a new or amended certificate of insurance

promptly after any change is made in any insurance policy that would alter the information on the certificate then on file.

- v. Neither the insurance requirements hereunder, nor acceptance or approval of Consultant's insurance, nor whether any claims are covered under any insurance, may in any way modify or change Consultant's obligations under the indemnification clause in this Agreement, which will continue in full force and effect. All coverage available to the Consultant as named insured will also be available and applicable to the additional insured. Notwithstanding these insurance requirements, Consultant is financially liable for its indemnity obligations under this Agreement.
- vi. All policies must be written on a first dollar coverage basis or contain a deductible provision. Any deductibles or self-insured retentions ("SIR") must be declared to and approved by the City. At the option of the City, either: the insured will reduce or eliminate such deductibles or SIR as respects the City, its officers, officials, employees and volunteers; or Consultant will provide a financial guarantee satisfactory to the City guaranteeing payment of losses and related investigations, claim administration, and defense expenses. In no event will any SIR or insurance policy contain language, whether added by endorsement or contained in the policy conditions, that prohibits satisfaction of any self-insured provision or requirement by anyone other than the named insured, or by any means including other insurance, or which is intended to defeat the intent or protection of an additional insured.
- vii. City reserves the right to modify these requirements, including limits, based on the nature of the risk, prior experience, insurer, coverage, or other special circumstances.
- viii. Consultant must require and verify that all subconsultants and subcontractors maintain insurance meeting all the requirements in this Agreement.
- ix. If Consultant, for any reason, fails to have in place at all times during the term of this Agreement all of the required insurance coverage, the City may, but is not obligated to, obtain such coverage at Consultant's expense and deduct the cost from the sums due Consultant. Alternatively, City may terminate the Agreement.
- x. The existence of the required insurance coverage under this Agreement will not be deemed to satisfy or limit Consultant's indemnity obligations under this Agreement. Consultant acknowledges that the insurance coverage and policy limits set forth in this Agreement constitute the minimum coverage and policy limits required. Should any coverage carried by the Consultant or any subcontractor of any tier have limits of liability that exceed the limits or have broader coverage than required in this Agreement, those higher limits and that broader coverage are deemed to apply for the benefit of any person or organization included as an additional insured and those limits and broader coverage will become the required minimum limits and insurance coverage in all sections of this Agreement. Any insurance proceeds available to City in excess of the limits and coverages required by this Agreement, and which is applicable to a given loss, must be made available to City to compensate it for such losses.

- xi. Consultant must give City prompt notice of claims made of lawsuits initiated that arise out of or result from Consultant's performance under this Agreement, and that involve or may involve coverage under any of the required liability insurance policies.
- xii. The Consultant hereby waives any right of subrogation that any of its insurers may have or that they may accrue out of the payment of any claim related to the Consultant's performance of this Agreement, regardless of whether any endorsements required by this section are obtained.

8. PERFORMANCE STANDARDS: Consultant agrees to the following performance standards for the term of the Agreement:

- i. MCCVB will collaborate with the City and Visit Carmel on the development and implementation of visitor marketing campaigns focused on safe, responsible and respectful travel, including the "Love Carmel Like a Local" campaign
- ii. MCCVB will work with Visit Carmel to cross-promote Carmel-by-the-Sea in at least one focused owned media post per quarter
- iii. MCCVB will include Carmel-by-the-Sea within its 2021-22 group marketing programs
- iv. MCCVB will include Carmel-by-the-Sea within its 2021-22 earned media programs
- v. MCCVB will attend Visit Carmel Board Meetings as requested and also hold up to four 30 minute "working sessions" as requested with Visit Carmel to gauge progress in meeting objectives and make adjustments in marketing strategies as needed
- vi. Visit Carmel Executive Director will hold a position on MCCVB Marketing committee
- vii. MCCVB will make a concerted effort to maintain up-to-date and accurate information about Carmel-by-the-Sea and its tourism-based businesses on MCCVB's website and in print and digital materials
- viii. MCCVB will highlight events at the Sunset Center upon its re-opening by supporting Sunset Center events in the online event calendar as information is available and include the Sunset Center as a venue for performances, meetings and conferences and wedding and special events on MCCVB's website and marketing materials

9. OWNERSHIP AND USE OF MATERIALS

- A. **No Patent or Copyright Infringement.** Consultant guarantees that in its creation of the Materials produced under this Agreement, no federal or state patent or copyright laws were violated. Consultant agrees that all copyrights, which arise from creation of the work or Services pursuant to this Agreement, will be vested in the City and waives and relinquishes all claims to copyright or intellectual property rights in favor of the City. Consultant covenants that it will defend, indemnify and hold City harmless from any claim or legal action brought against the City for alleged infringement of any patent or copyright related to City's use of Materials produced by Consultant and its employees, agents and subconsultants under this Agreement.

10. CONFIDENTIALITY

- A. **No Disclosure.** Consultant must keep confidential and may not disclose, publish or release any information, data, or confidential information of the City to any person other than representatives of the City duly designated for that purpose in writing by the City. Consultant may not use for Consultant's own purposes, or for any purpose other than those of the City, any information, data, or confidential information Consultant may acquire as a result of the performance of the Services under this Agreement. Consultant must promptly transmit to the City any and all requests for disclosure of any such confidential information or records. The obligations under this Section will survive the expiration or earlier termination of this Agreement.
- B. **California Public Records Act.** Consultant acknowledges that the City is subject to the California Public Records Act (Government Code Section 6250 et seq.), known as the "PRA", and agrees to any disclosure of information by the City as required by law. Consultant further acknowledges that it may have access to personal information as defined under the PRA, and Consultant will not use any such personal information for any purposes other than for the performance of Services under this Agreement without the advance written approval of the City.

All Scopes of Services and related documents received will be public records, with the exception of those elements, identified by the Consultant as business trade secrets and are plainly marked "Trade Secret", "Confidential" or "Proprietary". If disclosure is required under the PRA or otherwise by law, the City will not be liable or responsible for the disclosure of any such records and the Consultant will indemnify, defend, and hold the City harmless for any such disclosure.

11. CONFLICT OF INTEREST

Consultant covenants that neither Consultant, nor any officer, principal or employee of its firm, has or will acquire any interest, directly or indirectly, that would conflict in any manner with the interests of City relating to this Agreement or that would in any way hinder Consultant's performance of services under this Agreement. Consultant's attention is directed to the conflict of interest rules applicable to governmental decision-making contained in the Political Reform Act (California Government Code Section 87100 and following) and its implementing regulations (California Code of Regulations, Title 2, Section 18700 et seq.), and California Government Code section 1090.

Consultant is required to file a Form 700 in compliance with the City's Conflict of Interest Code unless a written determination by the City Administrator is made modifying or eliminating said requirement, or unless otherwise exempted by law.

In addition, Consultant, Consultant's employees, and subconsultants agree as follows:

- A. That they will conduct their duties related to this Agreement with impartiality, and must, if they exercise discretionary authority over others in the course of those duties, disqualify themselves from dealing with anyone with whom a relationship between them could bring the impartiality of Consultant or its employees into question;
- B. May not influence, seek to influence, or otherwise take part in a decision of the City knowing that the decision may further their private interests;

- C. May not accept any commission, discount, allowance, payment, gift, or other benefit connected, directly or indirectly, with the performance of Services related to this Agreement, that causes, or would appear to cause, a conflict of interest;
- D. May have no financial interest in the business of a third party that causes, or would appear to cause, a conflict of interest in connection with the performance of the Services related to this Agreement, and if such financial interest is acquired during the term of this Agreement, Consultant must promptly declare it to the City, and;
- E. May not, during the term of this Agreement, perform a service for, or provide advice to, any person, firm, or corporation, which gives rise to a conflict of interest between the obligations of Consultant under this Agreement and the obligations of Consultant to such other person, firm or corporation.

12. DISPUTE RESOLUTION

- A. **Dispute Resolution Procedures.** The parties will make reasonable efforts to promptly resolve any dispute, claim, or controversy arising out of or related to this Agreement (“Dispute”) using the Dispute Resolution Procedures set forth in this Section.
- B. **Negotiations.** First, the City’s Project Representative and Consultant’s Project Manager will make reasonable efforts to resolve any Dispute by amicable negotiations and will provide frank, candid, and timely disclosure of all relevant facts, information, and documents to facilitate negotiations. Should these negotiations be unsuccessful in resolving the Dispute, the matter will be promptly referred to the Mayor or Mayor Pro Tempore, and the Consultant’s Chair of the Board of Directors, who will meet and confer, in good faith, to resolve the Dispute to mutual satisfaction of the parties.
- C. **Mediation.** If all or any portion of a Dispute cannot be resolved by good faith negotiations as set forth above within thirty (30) days of the date that the matter was referred to the Mayor or Mayor Pro Tempore pursuant to subsection B above, either party may, by notice to the other party, submit the Dispute for formal mediation to a mediator selected mutually by the parties from the Monterey Superior Court’s Court-Directed Mediator Panel list. The duration of any such mediation may not exceed 2 hours unless otherwise agreed to by the parties. The cost of the mediation (including fees of mediators) will be borne equally by the parties, and each party will bear its own costs of participating in mediation. The mediation will take place within or in close proximity to the City of Carmel-by-the-Sea.

In any mediation conducted pursuant to this section, the provisions of California Evidence Code section 1152 will be applicable to limit the admissibility of evidence disclosed by the parties in the course of the mediation. In the event the parties are unsuccessful in resolving the dispute through the mediation process, then the parties agree that the dispute will be submitted to Binding Arbitration to a single Arbitrator in accordance with the existing Rules of Practice and Procedure of the Judicial Arbitration and Mediation Services, Inc. (JAMS) within thirty (30) days of the close of mediation as declared by the mediator.

- D. **Arbitration.** The submission to Mediation and Arbitration in accordance with the requirements of this section of any and all agreements, differences, or controversies that

may arise hereunder is made a condition precedent to the institution of any action or appeal at law or in equity with respect to the controversy involved. The award by the arbitrator will have the same force and effect and may be filed and entered, as a judgment of the Superior Court of the State of California and is subject to appellate review upon the same terms and conditions as the law permits for judgments of Superior Courts. A "Prevailing Party" will be determined in the Arbitration, and the prevailing party will be entitled to reasonable attorney's fees and costs incurred, and accrued interest on any unpaid balance that may be due. Costs will include the cost of any expert employed in the preparation or presentation of any evidence. All costs incurred and reasonable attorney fees will be considered costs recoverable in that proceeding, and be included in any award.

13. TERMINATION OF AGREEMENT

- A. **Termination for Cause or Default.** The City reserves the right to immediately terminate this Agreement, in whole or in part, if Consultant or any subconsultant defaults or fails to deliver the Services in accordance with the terms and conditions of this Agreement. Such termination must be in writing, setting forth the effective date of termination, and will not result in any penalty or other charges to the City, and may be issued without any prior notice. Without limitation, Consultant is in default of its obligations contained in this Agreement if Consultant, or any subconsultant:
- i. Fails to perform the required Services within the term and/or in the manner provided under this Agreement;
 - ii. Fails to supply sufficient, properly skilled workers or proper workmanship, products, material, tools and equipment to perform the Services;
 - iii. Fails to observe or comply with all laws, ordinances, including all requirements of governmental or quasi-governmental authorities, including federal, state, and local government enactments, bylaws, and other regulations now or, following the date of this Agreement, in force that pertain to;
 - iv. Fails to observe or comply with the City's reasonable instructions;
 - v. Breaches the Conflict of Interest provisions of this Agreement; or
 - vi. Otherwise violates any provision of this Agreement.
- B. **Termination for Convenience.** The City may, at its option and sole discretion, terminate this Agreement, in whole or in part, with or without cause, at any time during the Agreement Term for the convenience of the City, upon ten (10) days written notice to the Consultant.
- C. **Steps after Termination:**
- i. Upon termination of this Agreement by the City for any reason, the City will pay Consultant for satisfactorily performed Services and disbursements incurred by Consultant to the date of termination pursuant to this Agreement, less any amounts necessary to compensate the City for damages or costs incurred by the City arising

from Consultant's default. Termination will be without prejudice to any other rights or remedies the City may have.

- ii. Upon receipt of written notice of termination of this Agreement by the City for any reason, Consultant must promptly cease all Services, including Services provided by any subconsultant, unless otherwise directed by the City; and
- iii. If this Agreement is terminated by the City for any reason, the City is hereby expressly permitted to assume the projects and Services, and to complete them by any means including, but not limited to, an agreement with another party.

14. LEGAL ACTION / VENUE

- A. Should either party to this Agreement bring legal action against the other, the validity, interpretation and performance of this Agreement will be controlled by and construed under the laws of the State of California, excluding California's choice of law rules.
- B. Venue for any such action relating to this Agreement will be in Monterey County.
- C. If any legal action or proceeding, including action for declaratory relief, is brought for the enforcement of this Agreement or because of an alleged dispute, breach, default or misrepresentation in connection with this Agreement, the prevailing party may recover reasonable attorneys' fees as may be determined by the Arbitrator, experts' fees, and other costs, in addition to any other relief to which the party may be entitled.

15. MISCELLANEOUS PROVISIONS

- A. **Non-discrimination**. During the performance of this Agreement, Consultant, and its subconsultants, may not unlawfully discriminate on the basis of class of persons protected under California and federal law, either in Consultant's employment practices or in the furnishing of services to recipients. Consultant further acknowledges that harassment in the workplace is not permitted in any form, and will take all necessary actions to prevent such conduct.
- B. **Acceptance of Services Not a Release**. Acceptance by the City of the Services to be performed under this Agreement does not operate as a release of Consultant from professional responsibility for the Services performed.
- C. **Force Majeure**. Either party is absolved from its obligation under this Agreement when and to the extent that performance is delayed or prevented, and in the City's case, when and to the extent that its need for vehicles, materials, or Services to be supplied hereunder are reduced or eliminated by any course, except financial, for reasons beyond its control. Such reasons include, but are not limited to: earthquake, flood, epidemic, fire, explosion, war, civil disorder, act of God or of the public enemy, act of federal, state or local government, or delay in transportation to the extent that they are not caused by the party's willful or negligent acts or omissions, and to the extent that they are beyond the party's reasonable control.
- D. **Headings**. The headings do not govern, limit, modify, or in any manner affect the scope, meaning or intent of the provisions of this Agreement. The headings are for convenience only.

- E. **Entire Agreement.** This Agreement, including the Exhibits attached hereto, constitutes the entire agreement between the parties hereto with respect to the terms, conditions, and Services and supersedes any and all prior proposals, understandings, communications, representations and agreements, whether oral or written, relating to the subject matter thereof pursuant to Section 1B, "Change Order of Services". Any Change Order to this Agreement will be effective only if it is in writing signed by both parties hereto and will prevail over any other provision of this Agreement in the event of inconsistency between them.
- F. **Conflict between Agreement and Exhibits.** In the event of a conflict between a provision in this Agreement and a provision in an Exhibit attached to this Agreement, the provisions in this Agreement will take precedence.
- G. **Counterparts.** This Agreement may be executed in one or more counterparts, each of which will be deemed an original, and may be signed in counterparts, but all of which together will constitute one and the same Agreement.
- H. **Multiple Copies of Agreement.** Multiple copies of this Agreement may be executed, but the parties agree that the Agreement on file in the office of the City's City Clerk is the version of the Agreement that governs should any difference exist among counterparts of this Agreement.
- I. **Authority.** Any individual executing this Agreement on behalf of the City or Consultant represents and warrants hereby that he or she has the requisite authority to enter into this Agreement on behalf of such party and bind the party to the terms and conditions of this Agreement.
- J. **Severability.** If any of the provisions contained in this Agreement are held illegal, invalid or unenforceable, the enforceability of the remaining provisions will not be impaired thereby. Limitations of liability and indemnities will survive termination of the Agreement for any cause. If a part of the Agreement is valid, all valid parts that are severable from the invalid part remain in effect. If a part of this Agreement is invalid in one or more of its applications, the part remains in effect in all valid applications that are severable from the invalid applications.
- K. **Non-exclusive Agreement.** This Agreement is non-exclusive and both the City and Consultant expressly reserve the right to enter into agreements with other Consultants or Cities/Jurisdictions for the same or similar services, or may have its own employees perform the same or similar services.
- L. **Assignment of Interest.** The duties under this Agreement are not assignable, delegable, or transferable without the prior written consent of the City. Any such purported assignment, delegation, or transfer constitutes a material breach of this Agreement upon which the City may terminate this Agreement and be entitled to damages.
- M. **City Business License.** Prior to receiving a Notice to Proceed from the City, Consultant will obtain and maintain a valid City of Carmel-by-the-Sea Business License for the duration of the Agreement. Costs associated with the license are the responsibility of Consultant.

N. **Laws.** Consultant agrees that in the performance of this Agreement it will comply with all applicable federal, state and local laws and regulations. This Agreement will be governed by and construed in accordance with the laws of the State of California and the City of Carmel-by-the-Sea.

IN WITNESS WHEREOF, the parties enter into this Agreement hereto on the day and year first above written in Carmel-by-the-Sea, California.

CITY OF CARMEL-BY-THE-SEA

CONSULTANT

City Administrator Signature

Consultant Signature

Chip Rerig
Printed Name Date

Rob O'Keefe
Printed Name Date

City Administrator
Title

President/CEO
Title

Monterey County Destination Marketing
Organization Inc. dba Monterey County
Convention and Visitors Bureau
Consultant Legal Company Name

APPROVED AS TO FORM:

By: _____
Brian Pierik, City Attorney

Date: _____

ATTEST:

By: _____
Britt Avrit, MMC, City Clerk

Date: _____



CITY OF CARMEL-BY-THE-SEA CITY COUNCIL Staff Report

August 2, 2021
CONSENT AGENDA

TO: Honorable Mayor and City Council Members

SUBMITTED BY: Sharon Friedrichsen - Director, Contracts and Budgets

APPROVED BY: Chip Rerig, City Administrator

SUBJECT: Resolution 2021-040 adopting the Public Agency Retirement Services (PARS) Public Agencies Post-Employment Benefits Trust (the "Program"); Appoint the City Administrator or his/her designee as the City's Plan Administrator for the Program and Authorize the City's Plan Administrator to execute all necessary documents and to take whatever additional actions are necessary to establish and maintain the City's participation in the Program

RECOMMENDATION:

1. Adopt Resolution 2021-040 adopting the Public Agency Retirement Services (PARS) Public Agencies Post-Employment Benefits Trust (the "Program").
2. Appoint the City Administrator or his/her designee as the City's Plan Administrator for the Program.
3. Authorize the City's Plan Administrator to execute all necessary documents and to take whatever additional actions are necessary to establish and maintain the City's participation in the Program.

BACKGROUND/SUMMARY:

The City is a member agency of the California Public Employees' Retirement System ("CalPERS"), which is the largest pension fund in the country with investments for nearly 2 million members, including active, retirees and beneficiaries, and inactive members for state, school and other public agencies. Annually, the City makes a payment to CalPERS that consists of (1) the annual cost for current employees ("normal cost") and (2) the unfunded accrued liability ("UAL"). The UAL is the amount CalPERS needs to have to pay for retirement benefits less the actuarial value of the assets or the amount that CalPERS currently has on hand to pay the estimated costs of the retirement benefits. Similar to other public agencies, the City faces significant increases in pension costs. To address this fiscal challenge, the City has considered various strategies to mitigate its pension liability, including establishing a Section 115 Retirement Trust.

A Section 115 Trust is a tax-exempt investment vehicle authorized by the Internal Revenue Services to prefund government expenses such as retirement plan benefits. Assets held within the trust are designated as irrevocable, meaning that those assets must be used to fund the City's retirement plan obligations. Monies placed within a trust may be invested according to rules governing the trust, which are different from the investment rules pertaining to the City's pooled investments. In theory, the funds placed within a trust can earn a higher rate of return than if the City invested the funds. Funds placed within the trust can remain

within the trust until such time that the City chooses to draw on its assets to pay an annual benefit obligation (i.e. make an annual and/or additional payment to CalPERS) or seek reimbursement for a pension-related expense.

The City received two proposals in response to its Request for Proposals (RFP) for a third party to manage the Section 115 Trust. On July 6, 2021, Council concurred with staff's recommendation to select the Public Agency Retirement Services (PARS) as the preferred Section 115 Retirement Trust provider and directed staff to prepare the authorizing resolution and other necessary documents to establish a Section 115 Trust Administered by PARS.

Accordingly, the purpose of this agenda item is to adopt a resolution approving the City's participating within the Public Agencies Post-Employment Benefits Trust. The City is eligible to participate in the Public Agencies Post-Employment Benefits Trust (the "Program") for the purpose of pre-funding pension and/or other post-employment benefits (OPEB) obligations. In addition, staff recommends that Council appoint the City Administrator or his/her designee as the City's Plan Administrator. Further, staff recommends Council authorize the Plan Administrator to execute all necessary documents to establish the City's participating in the program including the administrative services agreement with PARS for trust administrative services (a draft copy of the agreement is attached to this staff report as reference) and documents with U.S. Bank., the Discretionary Trustee, and HighMark Capital, the Investment Manager.

Once the executed resolution and administrative services agreement is provided to PARS, PARS will prepare several documents so that the City may participate in the program. However, before PARS is able to provide the services under the proposed agreement, the City will need to execute several documents that require the City to decide on its investment strategy.

City staff are currently coordinating with PARS staff to discuss investment portfolio options. Staff will return to Council with recommendations regarding investment strategies and timing to transfer the \$1 million Council has allocated toward pension mitigation strategies to the trust before the City Administrator selects an investment option or before the disbursement of funds to the trust. In addition, staff will bring forth a document containing investment guidelines and procedures for Council's review and approval.

FISCAL IMPACT:

There are no fiscal impacts associated with adopting the resolution and proceeding with executing the documents required to establish a trust. The Fiscal Year 2021-2022 Adopted Budget includes an allocation of \$1 million toward pension mitigation strategies, such as funding for a Section 115 Trust. City staff will return to Council with recommendations regarding the funding amount(s) and timing to distribute toward a Section 115 Trust.

PRIOR CITY COUNCIL ACTION:

1. Council received presentations on the City's pension liability on April 8, 2018 and December 4, 2018 respectively.
2. Council adopted Resolution 2019-006 on January 8, 2019 to endorse the participation in a Pension Rate Stabilization Program to pre-fund pension obligations and authorized staff to issue a Request for Proposals for a Section 115 Trust
3. Council received presentations on the City's pension liability and potential cost management and alternative payment strategies on January 7, 2020, March 2, 2021, and April 6, 2021 respectively. Council provided direction regarding setting aside \$1 million annually for pension mitigation during its March 2, 2021 meeting.
4. Council approved the selection of PARS as the Section 115 Trust provider during its July 6, 2021 meeting and directed staff to prepare the authorizing resolution and other necessary documents to establish a Section 115 Trust Administered by the Public Agency Retirement Services.

ATTACHMENTS:

Attachment #1 - Resolution 2021-040 Approving Adoption of Public Agencies Post-Employment Benefits Trust

Attachment #2- Draft Copy PARS Administrative Services Agreement

**CITY OF CARMEL-BY-THE-SEA
CITY COUNCIL**

RESOLUTION NO. 2021-040

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CARMEL-BY-THE-SEA
APPROVING THE ADOPTION OF THE PUBLIC AGENCIES POST-EMPLOYMENT BENEFITS
TRUST ADMINISTERED BY PUBLIC AGENCY RETIREMENT SERVICES (PARS)**

WHEREAS, the Public Agency Retirement Services (PARS) has made available the PARS Public Agencies Post-Employment Benefits Trust (the "Program") for the purpose of pre-funding pension obligations and/or OPEB obligations; and

WHEREAS, the City of Carmel-by-the-Sea ("City") is eligible to participate in the Program, a tax-exempt trust performing an essential governmental function within the meaning of Section 115 of the Internal Revenue Code, as amended, and the Regulations issued there under, and is a tax-exempt trust under the relevant statutory provisions of the State of California; and

WHEREAS, the City's adoption and operation of the Program has no effect on any current or former employee's entitlement to post-employment benefits; and

WHEREAS, the terms and conditions of post-employment benefit entitlement, if any, are governed by contracts separate from and independent of the Program; and

WHEREAS, the City's funding of the Program does not, and is not intended to, create any new vested right to any benefit nor strengthen any existing vested right; and

**NOW THEREFORE, BE IT RESOLVED THAT THE CITY COUNCIL OF THE CITY OF
CARMEL-BY-THE-SEA DOES HEREBY:**

The City Council hereby adopts the PARS Public Agencies Post-Employment Benefits Trust, effective August 2, 2021.

The City Council hereby appoints the City Administrator or his/her designee as the City's Plan Administrator for the Program.

The City's Plan Administrator is hereby authorized to execute the PARS legal and administrative documents on behalf of the City and to take whatever additional actions are necessary to maintain the City's participation in the Program and to maintain compliance of any relevant regulation issued or as may be issued; therefore, authorizing him/her to take whatever additional actions are required to administer the City's Program.

**PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF CARMEL-BY-
THE-SEA this 2nd day of August, 2021, by the following vote:**

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Dave Potter
Mayor

Britt Avrit, MMC
City Clerk

AGREEMENT FOR ADMINISTRATIVE SERVICES

This agreement (“Agreement”) is made this ____ day of _____, 2021, between Phase II Systems, a corporation organized and existing under the laws of the State of California, doing business as Public Agency Retirement Services and PARS (hereinafter “PARS”) and the [Agency Name] (“Agency”).

WHEREAS, the Agency has adopted the PARS Public Agencies Post-Employment Benefits Trust for the purpose of pre-funding pension obligations and/or Other Post-Employment Benefits (“OPEB”) obligations (“Plan”) and is desirous of retaining PARS as Trust Administrator to the Trust, to provide administrative services.

NOW THEREFORE, the parties agree:

1. **Services.** PARS will provide the services pertaining to the Plan as described in the exhibit attached hereto as “Exhibit 1A” (“Services”) in a timely manner, subject to the further provisions of this Agreement.
2. **Fees for Services.** PARS will be compensated for performance of the Services as described in the exhibit attached hereto as “Exhibit 1B”.
3. **Payment Terms.** Payment for the Services will be remitted directly from Plan assets unless the Agency chooses to make payment directly to PARS. In the event that the Agency chooses to make payment directly to PARS, it shall be the responsibility of the Agency to remit payment directly to PARS based upon an invoice prepared by PARS and delivered to the Agency. If payment is not received by PARS within thirty (30) days of the invoice delivery date, the balance due shall bear interest at the rate of 1.5% per month. If payment is not received from the Agency within sixty (60) days of the invoice delivery date, payment plus accrued interest will be remitted directly from Plan assets, unless PARS has previously received written communication disputing the subject invoice that is signed by a duly authorized representative of the Agency.
4. **Fees for Services Beyond Scope.** Fees for services beyond those specified in this Agreement will be billed to the Agency at the rates indicated in the PARS’ standard fee schedule in effect at the time the services are provided and shall be payable as described in Section 3 of this Agreement. Before any such services are performed, PARS will provide the Agency with a detailed description of the services, terms, and applicable rates for such services. Such services, terms, and applicable rates shall be agreed upon in writing and executed by both parties.
5. **Information Furnished to PARS.** PARS will provide the Services contingent upon the Agency providing PARS the information specified in the exhibit attached hereto as “Exhibit 1C” (“Data”). It shall be the responsibility of the Agency to certify the accuracy, content and completeness of the Data so that PARS may rely on such information without further audit. It shall further be the responsibility of the Agency to deliver the Data to PARS in such a manner that allows for a reasonable amount of time for the Services to be performed. Unless specified in Exhibit 1A, PARS shall be under no duty to question Data received from the Agency, to compute contributions made to the

Plan, to determine or inquire whether contributions are adequate to meet and discharge liabilities under the Plan, or to determine or inquire whether contributions made to the Plan are in compliance with the Plan or applicable law. In addition, PARS shall not be liable for nonperformance of Services to the extent such nonperformance is caused by or results from erroneous and/or late delivery of Data from the Agency. In the event that the Agency fails to provide Data in a complete, accurate and timely manner and pursuant to the specifications in Exhibit 1C, PARS reserves the right, notwithstanding the further provisions of this Agreement, to terminate this Agreement upon no less than ninety (90) days written notice to the Agency.

6. **Records.** Throughout the duration of this Agreement, and for a period of five (5) years after termination of this Agreement, PARS shall provide duly authorized representatives of Agency access to all records and material relating to calculation of PARS' fees under this Agreement. Such access shall include the right to inspect, audit and reproduce such records and material and to verify reports furnished in compliance with the provisions of this Agreement. All information so obtained shall be accorded confidential treatment as provided under applicable law.
7. **Confidentiality.** Without the Agency's consent, PARS shall not disclose any information relating to the Plan except to duly authorized officials of the Agency, subject to applicable law, and to parties retained by PARS to perform specific services within this Agreement. The Agency shall not disclose any information relating to the Plan to individuals not employed by the Agency without the prior written consent of PARS, except as such disclosures may be required by applicable law.
8. **Independent Contractor.** PARS is and at all times hereunder shall be an independent contractor. As such, neither the Agency nor any of its officers, employees or agents shall have the power to control the conduct of PARS, its officers, employees, or agents, except as specifically set forth and provided for herein. PARS shall pay all wages, salaries, and other amounts due its employees in connection with this Agreement and shall be responsible for all reports and obligations respecting them, such as social security, income tax withholding, unemployment compensation, workers' compensation, and similar matters.
9. **Indemnification.** PARS and Agency hereby indemnify each other and hold the other harmless, including their respective officers, directors, and employees, from any claim, loss, demand, liability, or expense, including reasonable attorneys' fees and costs, incurred by the other as a consequence of, to the extent, PARS' or Agency's, as the case may be, negligent acts, errors or omissions with respect to the performance of their respective duties hereunder.
10. **Compliance with Applicable Law.** The Agency shall observe and comply with federal, state and local laws in effect when this Agreement is executed, or which may come into effect during the term of this Agreement, regarding the administration of the Plan. PARS shall observe and comply with federal, state, and local laws in effect when this Agreement is executed, or which may come into effect during the term of this Agreement, regarding Plan administrative services provided under this Agreement.

11. **Applicable Law.** This Agreement shall be governed by and construed in accordance with the laws of the State of California. In the event any party institutes legal proceedings to enforce or interpret this Agreement, venue and jurisdiction shall be in any state court of competent jurisdiction.
12. **Force Majeure.** When a party's nonperformance hereunder was beyond the control and not due to the fault of the party not performing, a party shall be excused from performing its obligations under this Agreement during the time and to the extent that its performance is prevented by such cause. Such cause shall include, but not be limited to: any incidence of fire, flood, acts of God or unanticipated communicable disease, acts of terrorism or war commandeering of material, products, plants or facilities by the federal, state or local government, a material act or omission by the other party or any law, ordinance, rule, guidance or recommendation by the federal, state or local government, or any agency thereof, which becomes effective after the date of this Agreement that delays or renders impractical either party's performance under the Agreement.
13. **Ownership of Reports and Documents.** The originals of all letters, documents, reports, and data produced for the purposes of this Agreement shall be delivered to and become the property of the Agency. Copies may be made for PARS but shall not be furnished to others without written authorization from Agency.
14. **Designees.** The Plan Administrator of the Agency, or their designee, shall have the authority to act for and exercise any of the rights of the Agency as set forth in this Agreement, subsequent to and in accordance with the written authority granted by the Governing Body of the Agency, a copy of which writing shall be delivered to PARS. Any officer of PARS, or his or her designees, shall have the authority to act for and exercise any of the rights of PARS as set forth in this Agreement.
15. **Notices.** All notices hereunder and communications regarding the interpretation of the terms of this Agreement, or changes thereto, shall be effected by delivery of the notices in person or by depositing the notices in the U.S. mail, registered or certified mail, return receipt requested, postage prepaid and addressed as follows:
- (A) To PARS: PARS; 4350 Von Karman Avenue, Suite 100, Newport Beach, CA 92660; Attention: President
 - (B) To Agency: [Agency]; [Agency Address]; Attention: [Plan Administrator Title]
- Notices shall be deemed given on the date received by the addressee.
16. **Term of Agreement.** This Agreement shall remain in effect for the period beginning _____, 2021 and ending _____, 2024 ("Term"). This Agreement may be terminated at any time by giving thirty (30) days written notice to the other party of the intent to terminate. Absent a thirty (30) day written notice to the other party of the intent to terminate, this Agreement will continue unchanged for successive twelve-month periods following the Term.
17. **Amendment.** This Agreement may not be amended orally, but only by a written instrument executed by the parties hereto.

- 18. **Entire Agreement.** This Agreement, including exhibits, contains the entire understanding of the parties with respect to the subject matter set forth in this Agreement. In the event a conflict arises between the parties with respect to any term, condition or provision of this Agreement, the remaining terms, conditions, and provisions shall remain in full force and legal effect. No waiver of any term or condition of this Agreement by any party shall be construed by the other as a continuing waiver of such term or condition.
- 19. **Attorneys Fees.** In the event any action is taken by a party hereto to enforce the terms of this Agreement the prevailing party herein shall be entitled to receive its reasonable attorney's fees.
- 20. **Counterparts.** This Agreement may be executed in any number of counterparts, and in that event, each counterpart shall be deemed a complete original and be enforceable without reference to any other counterpart.
- 21. **Headings.** Headings in this Agreement are for convenience only and shall not be used to interpret or construe its provisions.
- 22. **Effective Date.** This Agreement shall be effective on the date first above written, and also shall be the date the Agreement is executed.

AGENCY:

BY: _____
Plan Administrator Name

TITLE: _____

DATE: _____

PARS:

BY: _____
Tod Hammeras

TITLE: Chief Financial Officer

DATE: _____

EXHIBIT 1A
SERVICES

PARS will provide the following services for the [Agency Name] Public Agencies Post-Employment Benefits Trust:

1. Plan Installation Services:

- (A) Meeting with appropriate Agency personnel to discuss plan provisions, implementation timelines, actuarial valuation process, funding strategies, benefit communication strategies, data reporting, and submission requirements for contributions/reimbursements/distributions;
- (B) Providing the necessary analysis and advisory services to finalize these elements of the Plan;
- (C) Providing the documentation needed to establish the Plan to be reviewed and approved by Agency legal counsel. Resulting final Plan documentation must be approved by the Agency prior to the commencement of PARS Plan Administration Services outlined in Exhibit 1A, paragraph 2 below.

2. Plan Administration Services:

- (A) Monitoring the receipt of Plan contributions made by the Agency to the trustee of the PARS Public Agencies Post-Employment Benefits Trust (“Trustee”), based upon information received from the Agency and the Trustee;
- (B) Performing periodic accounting of Plan assets, reimbursements/distributions, and investment activity, based upon information received from the Agency and/or Trustee;
- (C) Coordinating the processing of distribution payments pursuant to authorized direction by the Agency, and the provisions of the Plan, and, to the extent possible, based upon Agency-provided Data;
- (D) Coordinating actions with the Trustee as directed by the Plan Administrator within the scope of this Agreement;
- (E) Preparing and submitting a monthly report of Plan activity to the Agency, unless directed by the Agency otherwise;
- (F) Preparing and submitting an annual report of Plan activity to the Agency;
- (G) Facilitating actuarial valuation updates and funding modifications for compliance with the applicable GASB pronouncements and/or statements, if prefunding OPEB obligations;
- (H) Coordinating periodic audits of the Trust;
- (I) Monitoring Plan and Trust compliance with federal and state laws.

3. PARS is not licensed to provide and does not offer tax, accounting, legal, investment or actuarial advice.

EXHIBIT 1B
FEES FOR SERVICES

PARS will be compensated for performance of Services, as described in Exhibit 1A based upon the following schedule:

An annual asset fee shall be paid from Plan assets based on the following schedule:

<u>For Plan Assets from:</u>			<u>Annual Rate:</u>
\$1	to	\$10,000,000	0.25%
\$10,000,001	to	\$15,000,000	0.20%
\$15,000,001	to	\$50,000,000	0.15%
\$50,000,001	and	above	0.10%

Annual rates are prorated and paid monthly. The annual asset fee shall be calculated by the following formula [Annual rate divided by 12 (months of the year) multiplied by the Plan asset balance at the end of the month]. Trustee and Investment Management Fees are not included.

EXHIBIT 1C
DATA REQUIREMENTS

PARS will provide the Services under this Agreement contingent upon receiving the following information. Agency is solely responsible for ensuring that all information and documentation provided to PARS is true, correct, and authorized:

1. Executed Legal Documents:
 - (A) Certified Resolution
 - (B) Adoption Agreement to the Public Agencies Post-Employment Benefits Trust
 - (C) Trustee Investment Forms

2. Contribution – completed Contribution Transmittal Form signed by the Plan Administrator (or authorized Designee) which contains the following information:
 - (A) Agency name
 - (B) Contribution amount
 - (C) Contribution date
 - (D) Contribution method (Check, ACH, Wire)

3. Distribution – completed Payment Reimbursement/Distribution Form signed by the Plan Administrator (or authorized Designee) which contains the following information:
 - (A) Agency name
 - (B) Payment reimbursement/distribution amount
 - (C) Applicable statement date
 - (D) Copy of applicable premium, claim, statement, warrant, and/or administrative expense evidencing payment
 - (E) Signed certification of reimbursement/distribution from the Plan Administrator (or authorized Designee)

4. Other information pertinent to the Services as reasonably requested by PARS and Actuarial Provider.



CITY OF CARMEL-BY-THE-SEA CITY COUNCIL Staff Report

August 2, 2021
CONSENT AGENDA

TO:	Honorable Mayor and City Council Members
SUBMITTED BY:	Marnie Waffle, AiCP, Senior Planner
APPROVED BY:	Chip Rerig, City Administrator
SUBJECT:	Resolution 2021-041 authorizing a refund of Design Review application fees of \$2,197.50 to Rich Pepe

RECOMMENDATION:

Adopt Resolution 2021-041 authorizing a refund of Design Review application fees of \$2,197.50 to Rich Pepe.

BACKGROUND/SUMMARY:

The applicant, Rich Pepe, submitted a Track 1 Major Design Review application fee of \$780 and a Planning Commission referral fee of \$1,075 to construct a permanent awning for the rooftop dining area at Vesuvio. Shortly thereafter, the applicant requested the application be placed on-hold and more recently requested the application be withdrawn. This item is on the Council's agenda to authorize a refund of 75% of the permit fee costs, \$2,197.50, in accordance with CMC Section 17.02.120 (Fees) which allows a partial refund of fees in the amount of 75% for applications that are withdrawn before a determination has been made as to whether the application is complete. The applicant submitted an application on August 28, 2020 and withdrew the application on July 21, 2021 prior to staff making a determination as to the completeness of the application.

CMC Section 3.06.060 (Return of Funds) requires refunds of \$1,000 or more to be approved by Council. Specifically, Section 3.06.060 states that "from time to time it becomes necessary to refund certain permit fees, taxes, licenses, etc., in the normal course of City business. Upon recommendation from the Assistant City Administrator, the City Administrator or his/her duly authorized representative is authorized to approve such refunds in an amount not to exceed \$1,000. All refunds over \$1,000 shall require approval by the City Council."

FISCAL IMPACT:

Other than the cost of processing the refund, there is no fiscal impact to the City for issuing the permit fee refund.

PRIOR CITY COUNCIL ACTION:

None.

ATTACHMENTS:

Attachment #1 - Resolution 2021-041 R Pepe Refund

**CITY OF CARMEL-BY-THE-SEA
CITY COUNCIL**

RESOLUTION NO. 2021-041

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CARMEL-BY-THE-SEA
AUTHORIZING A REFUND OF A DESIGN REVIEW PERMIT FEE IN THE AMOUNT OF
\$2,197.50 TO RICH PEPE**

WHEREAS, the applicant, Rich Pepe, submitted a Track 1 Major Design Review application on August 28, 2020; and

WHEREAS, the applicant was assessed an application fee of \$780 for the Design Review and \$1,075 for the Planning Commission referral; and

WHEREAS, on July 12, 2021 the applicant submitted a request to withdraw the application; and

WHEREAS, CMC Section 17.02.120 (Fees) allows a partial refund of permit fees in the amount of 75% for applications that are withdrawn before a determination has been made as to whether the application is complete; and

WHEREAS, the applicant submitted an application on August 28, 2020 and withdrew the application on July 12, 2021 prior to staff making a determination as to the completeness of the application; and

WHEREAS, the applicant is entitled to a 75% refund of the permit fee which amounts to \$2,197.50; and

WHEREAS, CMC Section 3.06.060 (Return of Funds) requires refunds of \$1,000 or more to be approved by the City Council.

**NOW THEREFORE, BE IT RESOLVED THAT THE CITY COUNCIL OF THE CITY OF
CARMEL-BY-THE-SEA DOES HEREBY:**

Authorize a refund of \$2,197.50 which is 75% of the application fees for a Track 1 Major Design Review and Planning Commission referral to Rich Pepe.

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF CARMEL-BY-THE-SEA this 2nd day of August, 2021 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Dave Potter
Mayor

Britt Avrit, MMC
City Clerk



CITY OF CARMEL-BY-THE-SEA CITY COUNCIL Staff Report

August 2, 2021
CONSENT AGENDA

TO:	Honorable Mayor and City Council Members
SUBMITTED BY:	Agnes Martelet, Manager, Environmental Compliance
APPROVED BY:	Chip Rerig, City Administrator
SUBJECT:	Receive the Climate Change Vulnerability Assessment that was developed by the Climate Committee as part of the Climate Adaptation and Action Plan Project

RECOMMENDATION:

Receive the Climate Change Vulnerability Assessment that was developed by the Climate Committee as part of the Climate Adaptation and Action Plan Project.

BACKGROUND/SUMMARY:

Climate Committee Progress to Date

Since September 2020, the Climate Committee has been holding a series of monthly presentations with technical experts and agency partners to better understand our community's vulnerability to the impacts of climate change. Based on the information gathered through these presentations, as well as a review of existing documents, the Climate Committee developed a Climate Change Vulnerability Assessment report. The report summarizes the hazards of most concern associated with climate change, the community assets' vulnerability to these hazards, and any work done to date that strengthens the community's resilience. The report is included in Attachment 1 and will be incorporated into the City's Climate Adaptation Plan.

Climate Committee Next Steps

The Climate Committee will begin evaluating strategies for climate adaptation based on the opportunities identified in the Vulnerability Assessment, as well as a review of adaptation measures in other California coastal towns. The Climate Committee anticipates holding a Community Workshop in the fall of 2021 to solicit the community's input on potential adaptation strategies for Carmel.

Additionally, the Climate Committee has sought proposals from environmental consultants to conduct Greenhouse Gas (GHG) forecasting and quantification of GHG reduction measures. The Climate Committee anticipates contracting with a consultant and starting this work shortly. The Committee also anticipates gathering community feedback on potential GHG reduction measures at the Community Workshop.

In early 2022, the Climate Committee representatives will provide a presentation to the City Council regarding the Vulnerability Assessment, GHG evaluation, and the results of the Community Workshop, and

will seek feedback from the City Council on draft Climate Action and Adaptation Strategies.

FISCAL IMPACT:

In April 2021, the City Council appropriated a \$20,000 budget for a consultant to conduct a GHG forecast and guide the committee's evaluation of various policies and projects to reduce GHG emissions. All other Committee support tasks are conducted by staff.

PRIOR CITY COUNCIL ACTION:

In April 2021, the City Council appropriated a \$20,000 budget for a consultant to conduct a GHG forecast. In March 2021, the City Council received an update on the Climate Committee and a discussion on the State requirements for climate action. In December 2020, the City Council received an update on the Climate Action and Adaptation Project.

ATTACHMENTS:

Attachment 1: Climate Change Vulnerability Assessment Report



City of Carmel-by-the-Sea
CLIMATE CHANGE VULNERABILITY ASSESSMENT

FINAL REPORT



July 2021

Acknowledgments

Climate Committee Members:

Councilmember Jeff Baron

Councilmember Carrie Theis

John Hill

Michael LePage

Scott Lonergan

LaNette Zimmerman

Evan Kort, Associate Planner

Agnes Martelet, Environmental Compliance Manager

TABLE OF CONTENTS

I.	Introduction.....	3
II.	Historical Hazards.....	3
III.	Changing Hazards with Climate Change.....	3
	Increased Temperatures.....	3
	Drought.....	5
	Fog Changes.....	5
	Ocean Warming.....	5
	Wildfires	6
	Stronger Storms.....	7
	Sea Level Rise	7
IV.	Hazard Ranking.....	11
V.	Vulnerable City Assets and Populations.....	11
VI.	Existing Strategies and Policies for Adaptation.....	13
	Natural Assets.....	13
	Community	20
	Utilities.....	24
	Infrastructure	30
VIII.	Vulnerability Scoring Matrix.....	40
IX.	Conclusion And Next Steps.....	41
X.	References.....	42

Appendix A: Historical Hazards

Appendix B: Climate Committee Presentation Summaries

I. Introduction

The purpose of this Vulnerability Assessment is to characterize climate hazards that will impact the community and City assets in Carmel-by-the-Sea, determine our community's major climate vulnerabilities, and identify work that has already been done to improve community resilience. The Vulnerability Assessment will help provide focus to the City's adaptation planning efforts.

II. Historical Hazards

Historical hazards provide information about hazards that may be exacerbated by climate change, as well as potential vulnerabilities of City assets to those hazards. A table of historical hazards assembled from the [Monterey County Multi-Jurisdictional Hazard Mitigation Plan](#) (MJHMP), the National Oceanic and Atmospheric Administration (NOAA) [Storm Events Database](#), and historic records at the Carmel Library, is included in **Appendix A**. Additionally, a map of historic wildland fires in Monterey County from the MJHMP is also included in **Appendix A**.

III. Changing Hazards with Climate Change

This Vulnerability Assessment uses information and modeling projections provided by the State of California to support climate adaptation efforts, including the [Cal-Adapt](#) modeling tool and the [Fourth California Climate Assessment](#). The Cal-Adapt modeling tool provides climate change projections based on two different future greenhouse emissions gas scenarios: a high-emissions scenario, Representative Concentration Pathway (RCP) 8.5, in which greenhouse gas emissions continue to rise over the 21st century, and a low-emissions scenario, RCP 4.5, in which greenhouse gas emissions level off around the middle of the 21st century, and, by the end of the century, are lower than 1990 levels.

Increased Temperatures

According to the State's Cal-Adapt modeling tool, overall temperatures are projected to rise in California during the 21st century. However, coastal areas will be less impacted due to the moderating effect of the Pacific Ocean. The current average annual maximum temperature (the average of all the hottest daily temperatures in a year) in Carmel-by-the-Sea is 65.6 degrees Fahrenheit (°F). According to the RCP 8.5 model, annual average maximum temperatures in Carmel-by-the-Sea could increase by 3.3°F by mid-century to 68.9°F, and by 6.3°F to 71.9°F by the end of the century.

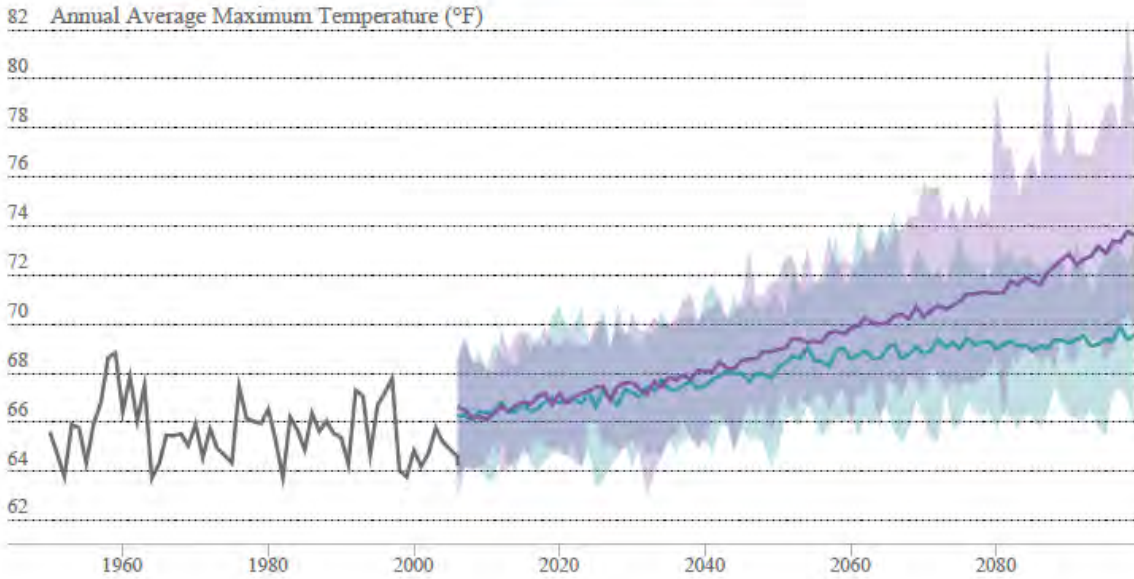
The number of extreme heat days, defined as days with daily maximum temperature above 87.9 °F, is also projected to increase from 3 days to an average of 6 days per year by mid-century, and to an average of 7 to 13 days per year by the end of the century, depending on the emissions scenario. It is important to note that these are modeled averages and that some years will have more extreme heat days, and others fewer.

While the community and essential facilities of Carmel-by-the-Sea may be able to adapt to these temperature changes, local ecosystems are likely to be adversely impacted by the increased heat.

Annual Average Maximum Temperature

Average of all the hottest daily temperatures in a year.

Observed Medium Emissions (RCP 4.5) High Emissions (RCP 8.5)



		30yr Average	30yr Range
Baseline (1961-1990)			
MODELED HISTORICAL	-	65.6 °F	65.3 - 65.8 °F
Mid-Century (2035-2064)			
MEDIUM EMISSIONS (RCP 4.5)	+2.6 °F	68.2 °F	66.7 - 69.6 °F
HIGH EMISSIONS (RCP 8.5)	+3.3 °F	68.9 °F	67.3 - 70.6 °F
End-Century (2070-2099)			
MEDIUM EMISSIONS (RCP 4.5)	+3.6 °F	69.2 °F	67.3 - 71.5 °F
HIGH EMISSIONS (RCP 8.5)	+6.3 °F	71.9 °F	69.2 - 76.0 °F

Source: Cal-Adapt Local Climate Change Snapshot for Carmel-by-the-Sea

Drought

In 2014, the State of California, including Monterey County, faced one of the most severe droughts on record. Governor Brown declared a drought State of Emergency in January 2014, and directed State officials to take all necessary actions to prepare for water shortages during what was considered an “unprecedented” drought.

Prior to the 2014 drought, the National Climatic Data Center has recorded no instances of severe drought conditions in the Monterey County forecast zone for the period of 1/1/1996 through 12/31/2013.

According to the Fourth California Climate Assessment, even minor fluctuations in rainfall patterns will increase pressure on Monterey County’s water resources, which are already over-stretched by the demands of a growing agriculture economy and population. Decreasing spring stream flows, coupled with increasing demand for water resulting from both a growing population and hotter climate, could lead to increasing water shortages.

According to the State’s Cal-Adapt modeling tool, research suggests that for much of the state, wet years will become wetter and dry years will become drier. Dry years are also likely to be followed by dry years, increasing the risk of drought. While California does not see the average annual precipitation changing significantly in the next 50-75 years, precipitation will likely be delivered in more intense storms and within a shorter wet season. We are already seeing some of the impacts from a shift towards larger year to year fluctuations.

Fog Changes

According to California’s Fourth Climate Assessment, the formation of coastal fog is very complex and involves highly dynamic ocean, air, and land processes. Ocean upwelling, once thought to drive the formation of coastal fog, is secondary to the global atmospheric circulation pattern that situates a North Pacific zone of atmospheric high-pressure. This air mass generates inversions under which coastal fog forms. The frequency and thickness of summertime fog depends on the location of the high-pressure zone, the strength of the inversion, and sea surface temperatures.

The future of coastal fog under climate change remains uncertain. Long term fog trends over the coastal ocean from ship observations since 1951 show an increase, while fog trends over land show a decrease. The effect of other land surface changes such as forest fires on fog is unknown.

Changes in coastal fog could have a significant impact on coastal ecosystems. Fog provides an important source of water for many coastal plant communities through fog drip, and it also acts to keep moisture in the ecosystem, preventing evaporation and maintaining cooler temperatures during the summer months. Ecosystems such as the coastal redwoods and maritime chaparral are dependent on fog for their survival. A decline in coastal fog could also lead to increased water use and an increased demand for water in the Central Coast Region due to warmer temperatures and increased evaporation during the summer months. This in turn could lead to increased agricultural and landscape water use.

Ocean Warming

According to information provided by the National Oceanic and Atmospheric Administration (NOAA), Office of National Marine Sanctuaries, water temperatures in the Monterey Bay Sanctuary have risen slightly over the past century and offshore waters could warm by 7 degrees Fahrenheit by 2100. In addition to rising average temperatures, marine heatwaves are expected to increase in frequency, duration, and intensity.

Monterey Bay is at an ecological transition zone that is the northern range edge of many warm-water species. Thus, warming of ocean waters may have a significant impact on marine communities by shifting warm-water species northward. Warming waters also hold less oxygen and may increase the mortality of a variety of local organisms, including mussels, oysters, sea stars, rockfish, kelp, and deep-water corals.

Many impacts of warming waters were observed during the 2014-2016 marine heatwave known as “The Blob”, during which water temperatures in the Sanctuary reached 7.2 degrees Fahrenheit above normal. That marine heatwave caused significant impacts in the Bay, including a large Harmful Algal Bloom, reduced numbers of zooplankton, and migration of southern species. These changes in turn caused mass mortalities of seabirds and marine mammals, and early closure and delayed opening of the Dungeness crab fishery. Effects of the heatwave also led to significant declines in kelp forests in the region.

The varied impacts of The Blob on the marine ecosystems of the Monterey Bay and the fisheries that rely on them demonstrated the potential significant impacts of climate change on local marine communities; however, marine systems are complex, impacted by not only water temperature, but also upwelling, sea level rise, storm patterns, and ocean acidification. Thus, the long-term effects of climate change on local marine ecosystems are still under study and are difficult to predict.

Wildfires

Wildfires occur frequently in the Central Coast region. In recent years, much of California, including the Central Coast, has seen an increased risk of wildfire, with a wildfire season that starts earlier, runs longer, and features more extreme fire events.

According to California’s Fourth Climate Assessment, annual climatic water deficit, which measures water availability relative to water demand, is generally a strong predictor of fire occurrence in semi-arid regions, largely due to the correlation between annual water deficit and fuel moisture. Warmer temperatures will increase water demand and climate water deficit, and thus fire risks.

A key factor affecting wildfires on the Central Coast will be precipitation patterns. Northern Central Coast areas typically have higher precipitation and may see fewer, more severe, wildfires; while areas to the south may see more frequent, less severe, wildfires as warming temperatures increase climatic water deficit there but also could reduce vegetation growth rates and fuel loads. Another important factor in wildfire severity will be wind; at this time, climate models have not determined yet how climate change will affect major wind patterns in the Central Coast.

Given the uncertainties in climate predictions of precipitation and wind for the Central Coast region and the sensitivity to precipitation and climatic water deficits of our local ecosystems, it is difficult to accurately predict the change in wildfire frequency and severity; however, there is little doubt that large, severe wildfires will continue to occur in this region. Thus, growing populations and expansion into the Wildland Urban Interface (WUI) will increase vulnerability to fires. Projected increases in precipitation intensity during storms may also increase post-fire impacts such as sediment flows, nutrient pulses in nearshore waters, and the spread of invasive grasses.

Stronger Storms

Projections of changes in precipitation in California are more nuanced than projected changes in temperature and have less separation between RCP4.5 and 8.5 scenarios. There is a projected increase of year-to-year variability with wetter days during periods of precipitation, but with fewer total days with precipitation. This means that storms will intensify and rainfall will come in more intense bursts; however, drought years may also be more common and the wet season will become shorter. When combined with higher temperatures, these changes will create significant challenges for the state's water supplies, potentially creating more serious flooding events as well as more frequent drought conditions.

According to California's Fourth Climate Assessment, extreme atmospheric river events, which are associated with strong winds and severe flooding, are expected to increase under projected climate change in California. Atmospheric rivers are the dominant drivers of locally-extreme rainfall events along the Central Coast. During the winter of 2016-2017, a large number of atmospheric rivers that struck the Central Coast caused tremendous flooding and damage throughout the Monterey Bay region. During the winter of 2018-19, a series of atmospheric rivers struck the Monterey Peninsula with significant wind and rainfall that caused widespread power outages and road closures due to fallen trees and broken branches (Appendix A).

Periodic El Niño events also can significantly impact the intensity of storm events on the Central Coast. El Niño events are associated with seasonally-elevated ocean water levels as high as 1 foot above normal, and, on average, 30 percent larger winter wave energy in California. Extreme El Niño events of 1982-83 and 1997-98 caused significant coastal erosion due to strong winter waves. The magnitude and frequency of El Niño events, which may increase with climate change, will have significant impacts on coastal resources and will exacerbate the impacts of sea level rise.

Sea Level Rise

Global sea level rise is driven primarily by thermal expansion caused by the warming of the oceans and the loss of land-based ice such as glaciers and polar ice caps due to increased melting. The Monterey County MJHMP (September 2014) estimates that Monterey County may experience an approximate 5-foot (150 cm) rise in sea level by the year 2100. Figure 1 below is a chart from the [Coast and Ocean Summary Report](#) of California's Fourth Climate Assessment (August 2018). The chart indicates potentially more extreme sea level rise than previously anticipated, particularly if greenhouse gas emissions are not controlled. The chart also illustrates the rapid and drastic sea level rise between 2050 and 2100, especially under an unmitigated greenhouse gas emission scenario.

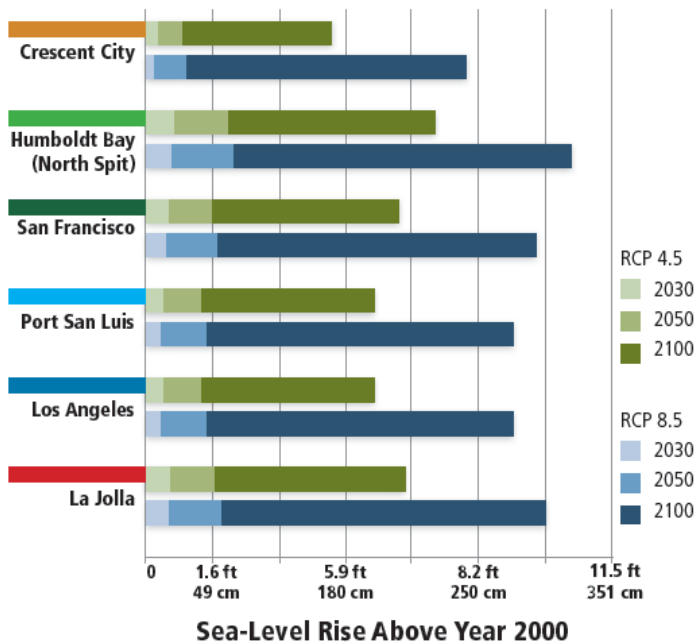
Figure 2 is from the USGS Coastal Storm Modeling System and shows a range of inundation zones, starting with 1) current conditions, 2) 1.6 feet (50 cm) of Sea Level Rise (SLR) by mid-century under normal conditions, 3) 1.6 feet of SLR during a 1-year storm, and 4) 5 feet of sea level rise by 2100 (no storm).

The figures indicate that the Carmel bluffs provide an important barrier against sea level rise impacts to property, which will be increasingly impacted by the rising tides. Particularly during storms, as the beach continues to narrow, the bluffs and seawalls will endure an increasing amount of the erosive force of ocean waves. Carmel Beach will continue to become narrower, particularly at the southern end of the bay, as well as the northern end, near Pescadero Canyon, and, by mid-century, will be inaccessible during and after storms. This phenomenon of beach loss is already happening after large winter storms in Carmel. With 5 feet of sea level rise

(near the end of the century under an RCP 4.5 scenario), the southern end of the beach will be gone, as well as the northern portions, even under normal conditions.

The loss of Carmel Beach will impact not only the recreational, environmental, and economic resources it provides but it also will amplify the impacts of hazard events such as storms, as well as coastal erosion. Coastal erosion analysis indicates that retreat rates for the Carmel bluffs average 2-4 inches per year. It is important to note that there are wide variations in coastal erosion from year to year and that, during El Nino years, which are characterized by stronger storms, the bluffs experience significantly more erosion. For example, during the winter of 1982-83, as much as 40 feet of bluff were lost in some areas of Carmel (Appendix A). Sea level rise, combined with amplified coastal erosion could cause considerable damage to the City’s coastal facilities, including sea walls, revetments, access stairs, the Scenic pathway, bathrooms, Scenic Road, and utilities including the sanitary sewer, water supply, and stormwater systems.

Figure 1: Chart of Sea Level Rise along the California Coast



Source: California’s Coast and Ocean Summary Report, California’s Fourth Climate Change Assessment

Figure 2: Comparison of Carmel Beach maximum wave run-up during: 1) current conditions, 2) with 1.6 ft of sea level rise (SLR) and no storm, 3) 1.6 ft of SLR and 1-year storm, and 4) 5 ft of SLR and no storm.



Source: Our Coast Our Future, <https://data.pointblue.org/apps/ocof/cms/>

IV. Hazard Ranking

Based on the information provided by historical hazards (Appendix A), as well as projected changes from climate change, several climate effects will significantly impact Carmel over the coming years. Climate hazards are ranked in the table below by the timeframe of their impacts, with hazards that are already causing observable impacts or representing a significant near-term risk in orange and those with potentially significant impacts into the future in yellow. Hazards in yellow have a longer planning time horizon. Hazards for which we do not have enough data yet are shown in grey.

- Orange: already causing observable impacts or a near-term significant risk
- Yellow: significant mid- to long-range impacts
- Grey: not enough data

Stronger Storms
Wildfires
Sea Level Rise
Drought
Increased Temperature
Fog Changes
Ocean Warming

V. Vulnerable City Assets and Populations

Climate change does not have the same effects in all parts of the community. Some people and physical assets will be affected more severely than others, and adaptation planning efforts should evaluate the full range of potential effects of climate change. Priority assets and populations at risk are organized in Table 1 below under the following main categories:

- Natural Assets
- Community
- Utilities
- Regional Infrastructure
- Local Infrastructure

Virtually all people and assets in our community will be affected by climate change in some way over the planning horizon; however, it is not feasible to assess the vulnerability of every group or every asset in our community. Thus, we have focused on those assets that face greater harm, require special consideration, or are critical to the community's well-being. They are listed below with potential hazards that may affect them.

Table 1: Vulnerable City Assets and Populations

Priority Assets at Risk	Priority Hazards						
	Stronger Storms	Wildfires	Sea Level Rise	More Droughts	Increased Temperature	Fog Changes	Ocean Warming
Natural Assets							
Mission Trail Nature Preserve	X	X	X	X	X	X	
North Dunes			X	X	X	X	
Urban forest	X	X		X	X	X	
Marine Sanctuary	X			X	X	X	X
Carmel Beach			X			X	X
Community							
Elderly population and people with disabilities	X	X		X	X		
Residents	X	X		X	X		
Visitors	X	X	X				X
Local businesses	X	X	X	X	X		X
Service industry workers	X	X	X		X		
Second homes	X	X	X		X		
Utilities							
Water supply		X	X	X	X		
Sanitary sewer system	X		X				
Power grid	X	X			X		
Overhead communication lines	X	X			X		
PG&E/communication underground lines (gas, cable)		X	X				
Regional Infrastructure							
Wastewater treatment facility	X		X		X		
Transportation infrastructure (Caltrans)	X	X	X				
Hospital and emergency medical care facilities	X	X			X		
Landfill & waste management	X						

Priority Assets at Risk	Priority Hazards						
	Stronger Storms	Wildfires	Sea Level Rise	More Droughts	Increased Temperature	Fog Changes	Ocean Warming
Local Infrastructure							
Shoreline access infrastructure: Scenic trail, public restrooms, beach stairs, coastal roadways, and parking	X	X	X		X (visitors)	X	
Seawalls and revetments	X		X				
Storm drainage system	X		X				
Other city streets	X						
Emergency response facilities (Fire station, EOC, PD, PW, City Hall, etc.)	X	X			X		

VI. Existing Strategies and Policies for Adaptation

The City has several existing documents that provide guiding policies and strategies that will help address elements of climate change adaptation. A summary of recommended projects in those documents that will help reduce the City's vulnerability to climate change is presented below, by asset category.

Natural Assets

a. Mission Trail Nature Preserve

Mission Trail Nature Preserve Master Plan

Adopted by the City Council: 1996

The Mission Trail Nature Preserve Master Plan has policies that will be beneficial to the short- and long-term health of the Preserve's ecosystems in the face of climate change. These policies can make the Preserve more resilient to increased heat, drought, and wildfires:

- O5-25: Preserve and enhance the vegetative diversity in Mission Trail Nature Preserve consisting of Monterey pine forest, central coast willow riparian forest, wet meadow, coast live oak woodland, redwood, box elder, cottonwood, coastal terrace prairie.
- O5-31: Maintain natural drainage patterns except where erosion or human safety problems may be created. Encourage/allow the channelized ditch to revert to a more natural channel in order to enhance the park's wetlands (riparian forest, wet meadow) and natural character.

- Prepare annual maintenance plans for habitats within the Preserve. Encourage native vegetation to reestablish on sites previously mowed, cut, or invaded by exotic species.

Implementation Status: *Initiated.* Many elements of the Mission Trail Nature Preserve Master Plan, including enhancing native habitats and site hydrology, have been initiated and are currently in progress. The City has been working with its private non-profit partners on invasive species and fire fuel removal throughout the Preserve for several years.

Mission Trail Nature Preserve Baseline Biological Assessment

Prepared by Nicole Nedeff: January 2016

The Mission Trail Nature Preserve Baseline Biological Assessment was completed in 2016 and includes an implementation plan for maintenance and enhancement of the various habitats of the Preserve. This is the primary guiding document for habitat restoration projects in the Preserve.

Implementation Status: *Initiated.* Many elements of the Mission Trail Nature Preserve Baseline Biological Assessment, including weed removal and improving the site's hydrology, have been initiated and are currently in progress. The City has been working with the Friends of Mission Trail Nature Preserve on invasive species and fire fuel removal throughout the Preserve.

Mission Trail Stream Stability Study

Prepared by Dudek and Waterways Consulting: February 2019

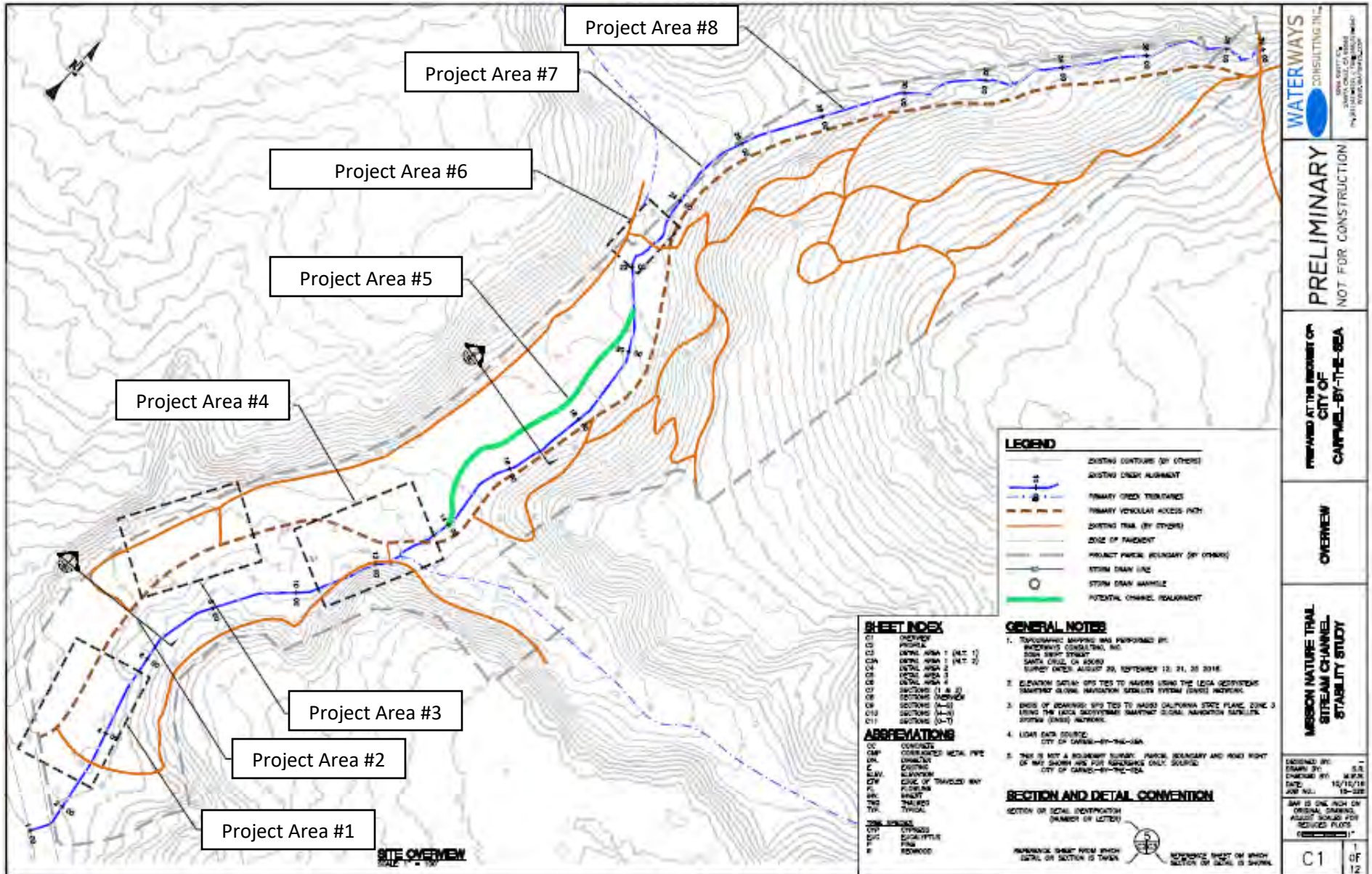
The Stream Stability Study was completed in 2019 to determine factors contributing to channel instability in Mission Trail Nature Preserve, to determine the stability of drainage improvements in the Preserve, and to recommend actions to restore the stream and habitat conditions in the riparian corridor. The study identified eight projects to restore natural hydrology and stream stability in the Preserve. The projects are shown on Figure 2 below and listed in Table 2.

Table 2: Mission Trail Stream Restoration Projects

PROJECT AREA	PROJECT COMPONENTS	APPROXIMATE COSTS	
		DESIGN	IMPLEMENTATION & ESTABLISHMENT
1 (Alt 1)	RAISE ENTRANCE ROAD, INSTALL NEW CULVERT BELOW ENTRANCE ROAD, CONSTRUCT OPEN SWALE TO CREEK	\$17,000	\$90,000
1 (Alt 2)	RAISE ENTRANCE ROAD, INSTALL NEW CULVERT BELOW ENTRANCE ROAD, CONSTRUCT PIPE TO CREEK	\$17,000	\$95,000
1 (Alt 3)	RAISE ENTRANCE ROAD, INSTALL NEW CULVERT BELOW ENTRANCE ROAD	\$15,000	\$75,000
2	CONSTRUCT APPROX. 100 LF PEDESTRIAN BOARDWALK	\$8,000	\$40,000
3	INSTALL CULVERT OR ROCKED FORD AND REALIGN TRIBUTARY DRAINAGE, INSTALL SMALL DITCH CULVERT AND PERFORM DITCH MAINTENANCE	\$7,500	\$22,500
4	DEMOLISH PORTION OF EXISTING FORD, RESTORE DOWNSTREAM REACH OF CHANNEL, REALIGN TRAIL, CONSTRUCT PEDESTRIAN BRIDGE, RESTORE OLD TRAIL ALIGNMENT	\$17,500	\$100,000
5	REALIGN APPROX. 700 LF OF CHANNEL. RESTORE OLD CHANNEL BED, REVEGETATE DISTURBED AREAS	\$27,500	\$300,000
6	REPLACE EXISTING UNDERSIZED BRIDGE, RESTORE DOWNSTREAM CHANNEL AND ARMOR REACH TO PREVENT FURTHER INCISION UPSTREAM	\$25,000	\$230,000
7	REMOVE EXISTING WEIR, LOWER CHANNEL, STABILIZE NEW CHANNEL BED AND BANKS	\$9,500	\$30,000
8	PERFORM BOUNDARY SURVEY, DETAILED TOPOGRAPHY, GEOLOGIC & GEOTECHNICAL INVESTIGATION. PRIORITIZE A PHASED REPAIR PLAN, AND PREPARE PRELIMINARY AND FINAL DESIGNS FOR GRADE CONTROL.	\$50,000	N/A

Implementation Status: *Initiated*. A successful grant application for \$178,000 for the design and construction of Projects 1-3 has been submitted to the Per Capital Grant Program and is awaiting contract.

Figure 2: Mission Trail Stream Stability Projects



b. North Dunes

Del Mar Master Plan and North Dunes and Del Mar Dunes Habitat Restoration Plan (2009)

Adopted by the City Council: September 2009

The Del Mar Master Plan provides a framework for improving parking, circulation, pedestrian flow, handicap accessibility, aesthetics and environmental resources in the Del Mar and North Dunes areas. At the time of the Master Plan development, the North Dunes were a 4 to 5 acre tract of substantially disturbed dunes with small pockets of remaining native species. The Master Plan has several policies that support the restoration of the native habitats in the North Dunes, which will improve sensitive habitat resilience in the face of climate change:

- P5-103: Identify and protect environmentally sensitive habitat areas against any significant disruption of habitat values. Only uses dependent upon those resources shall be allowed.
- P4-48: Discourage any further incursion of recreational activities into the North Dunes habitat. Sensitive resources in the North Dunes habitat area shall be protected.
- P5-28: Restore dune areas to improve habitat for Tidestrom's lupine and other native dune plants.
- O5-7: Protect the fragile dunes and sensitive plants in the Del Mar Dunes and North Dunes against any significant disruption of habitat values.
- P5-27: Maintain an attractive mix of plant material that favors native species and other, drought-tolerant, noninvasive species.
- P5-29: Control the spread, and prohibit planting of, invasive non-native plants.
- O5-40: Ensure that long-term management activities maintain the natural dune ecology of Carmel Beach in a manner consistent with public safety. Protect areas of the beach from the loss of habitat, where special status plant species are growing.
- P5-173: Retain a qualified botanist to monitor the population of Tidestrom's lupine and other special status species on the North Dunes of Carmel Beach. The population should be assessed annually (or based upon a schedule agreed upon by the Department of Fish and Game, Coastal Commission and U.S. Fish and Wildlife Service) to determine if the population is stable and if measures to protect the population should be instituted. If the population appears heavily affected by public use, the City should consider fencing or placing barriers around the lupine habitat on the beach.
- P5-176: Implement a Dune Restoration Plan.
- P4-34 : Post educational/interpretive signs where appropriate along Scenic Road and in the North Dunes area.
- P4-3: Improve and sign the vertical access at Fourth Avenue. Consider development of a pedestrian path from the foot of Jane Powers walkway to the Fourth Avenue beach access through Sand and Sea. Investigate and implement opportunities to establish or reestablish additional vertical access from North San Antonio to the beach to the extent feasible.

P4-18: Improve the pedestrian experience through the Del Mar Parking area for those arriving on foot and from parked vehicles to the beach. Consider construction of boardwalks or other improvements to aid beach circulation, protect tree roots and protect the sensitive vegetation in the North Dunes area.

A Habitat Restoration Plan for the North Dunes and Del Mar Dunes is included as an appendix to the Del Mar Master Plan, which guides the specific habitat restoration actions at the North Dunes. The Habitat Restoration Plan has the following success criteria:

- Aggressive non-native species shall have less than 1% of coverage in the project area.
- The dune scrub plant coverage should reach at least 70% coverage in the project area, with the other 30% occupied by bare sand or Monterey cypress within the cypress corridor.
- All planted species must be displaying evidence of reproduction.
- The dune scrub shall be comprised of all 22 native species listed in the report.
- Successful establishment of 10 locations of Tidestrom's lupine with at least 100 plants each.
- Successful establishment of the quantity and quality of available habitat for Black Legless Lizards, including the habitat corridor between Del Mar and North Dunes.
- Annual monitoring of the Tidestrom's lupine population is performed and results reported to the CA Department of Fish and Game's Data Base.
- The trail system has been established and is being used exclusively for visiting or traversing the dunes. No foot traffic impact is occurring within the Del Mar or North Dunes.
- Interpretive panels are increasing the visitors' experience and knowledge of the dune habitat.

Implementation Status: *substantial progress*. In 2010, the City installed a boardwalk connecting the 4th Avenue beach stairway to the dune access at the end of 4th Avenue, which reduces impacts on dune habitat and endangered Tidestrom's lupine. In 2016, the City obtained a CDP to conduct habitat restoration actions at the North Dunes. Significant strides have since been made in removing invasive weeds and restoring native dune vegetation throughout the North Dunes. The City retained a biologist who has been monitoring the progress of restoration activities. The latest preliminary results for the 2021 monitoring indicate that average percent cover of native species along 18 transects in the dunes is 65% and the average weed cover is 10%. The monitoring also indicated that 39 different native species were recorded in the North Dunes.

c. Urban Forest

Forest Management Plan (2000)

Prepared by: Michael Branson, City Forester, December 2000

Adopted by the City Council: March 2001

The Forest Management Plan establishes a broad set of goals and policies for management of the City's urbanized forest. Some policies of the Forest Management Plan are beneficial to drought and wildfire mitigation, and provide other adaptation benefits:

- Promote undergrounding of utilities where feasible and with minimum detriment to the root systems of trees.
- Monitor tree pest and disease problems and take appropriate measures to minimize their impact.
- Plant native Monterey pine seedlings of different genotypes to maximize resistance to diseases and make these seedlings available to the public.
- Establish and implement a procedure for removal of invasive vegetation.
- Maximize retention of surface water on each site through site design and use of best management practices.
- Where feasible, direct street runoff to open-space areas on public property for percolation into the soil.
- Implement development standards that minimize runoff and the amount of area paved with impervious surfaces.
- Require approval of landscape plans for drought tolerance and trees by the Forestry department on new construction.

Implementation Status: *Initiated.* Requirements for stormwater infiltration, drought tolerance, and trees on private property are in place in the municipal code and are enforced by City staff. The City Forester monitors tree pest and disease problems. Invasive vegetation removal is an on-going task.

d. Opportunities to build on Existing Adaptation Strategies for Natural Resources:

The following opportunities to build on existing adaptation strategies were identified based on technical expert presentations at Committee meetings (Appendix B) and from the review of previous reports:

- Update the Forest Management Plan to (1) address transitioning the urbanized forest to tree species that can withstand the projected temperatures of the second half of the century, and (2) include planting guidelines to improve tree health, (3) incorporate tree species that have greater drought and wildfire resistance, and (4) in addition to drought-tolerant landscaping, include landscaping guidelines that reduce wildfire hazard on private property.
- Encourage stormwater infiltration features as part of street CIP projects to reduce runoff volume and increase groundwater infiltration.
- When designing projects recommended in the Mission Trail Stream Stability Study, size improvements to handle larger storms.
- Earmark CIP funding for design, permitting, and implementation of stream stability study projects. Include strategies in 2021 MJHMP and Integrated Regional Watershed Management Program (IRWMP) for potential regional funding.
- Update the Mission Trail Nature Preserve Master Plan to consider the potential impacts of climate change and to reduce wildfire risk for neighboring private properties. Incorporate Best Practices into an annual maintenance plan, including cost estimates for implementation and revenue sources for implementation.
- Continue maintenance and monitoring at the North Dunes to determine how the changing climate will affect dune habitats.

Community

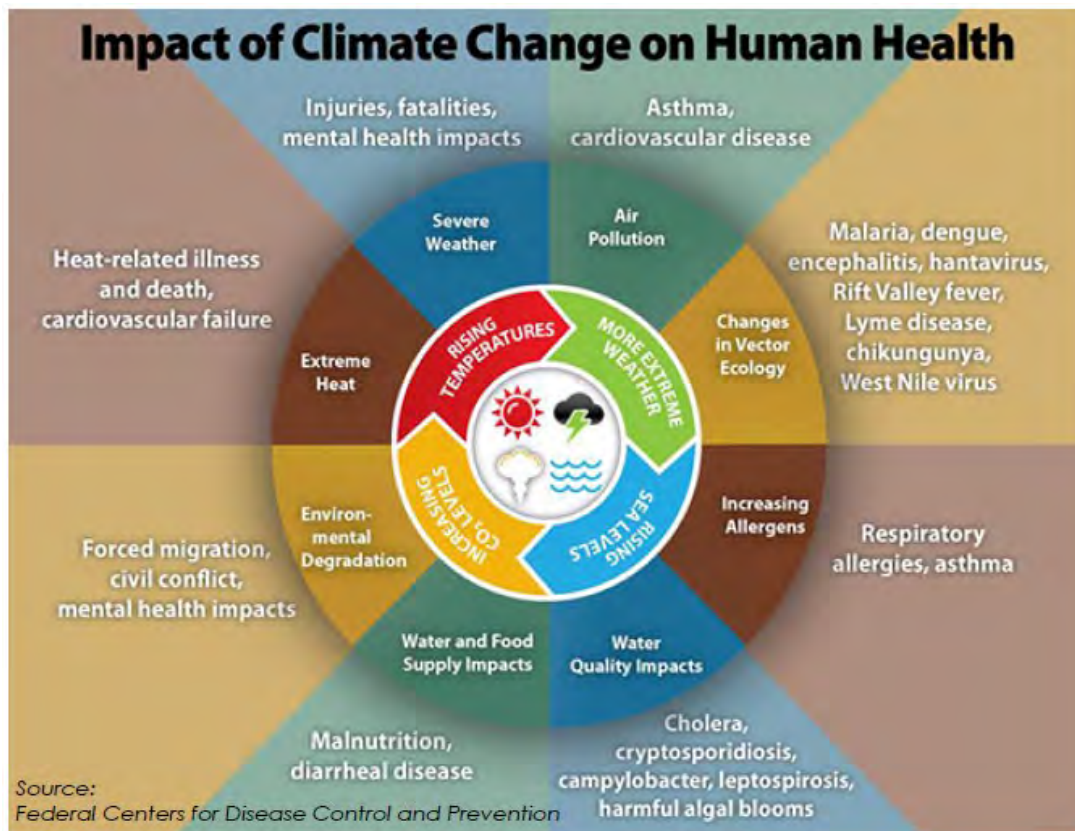
a. Elderly population and people with disabilities

Climate Change and Health Profile Report: Monterey County (2017)

Prepared by: California Department of Public Health, Office of Health Equity

Researchers have examined the pathways in which increased temperatures and hydrologic extremes can impact health and generally recognize three main pathways: direct exposures, indirect exposures, and socio-economic disruption. As shown in Figure 3 below, all Californians are vulnerable to the health impacts of climate change.

Figure 3: Impact of Climate Change on Human Health



Based on medical reviews of individuals who died during heat waves and other extreme weather events, those who are particularly vulnerable to the direct effects of climate change include the very old and very young, individuals who have chronic medical conditions and psychiatric illness, people taking multiple medications, people without means for evacuation (no access to public transit or private cars), people who are socially isolated, medically fragile, and those living in institutions.

A much larger part of the population is vulnerable to intermediate or socioeconomic factors such as preexisting physical and mental health conditions, cultural or physical isolation, occupations involving outdoor or high risk work, a precarious socioeconomic status, or lack of social cohesion and collective

efficacy. Collective efficacy and local community cohesion may be associated with effective action to plan and coordinate responses to climate threats.

The Health Profile Report provides the following useful health statistics for the County of Monterey:

- In 2012, nearly 46% of adults (149,059) reported one or more chronic health conditions including heart disease, diabetes, asthma, severe mental stress or high blood pressure.
- In 2009, approximately 86% of households were estimated to lack air conditioning.
- In 2010, Monterey County had approximately 28,971 outdoor workers whose occupation increased their risk of heat illness.
- In 2005-2010, there was an annual average of 27 heat-related emergency room visits in the County.
- In 2010, approximately 14% (58,314 residents) of the county's population lived in fire hazard zones of moderate to very high severity.

b. Residents and Private Properties

California Green Building Standards (CALGreen) (2019)

CALGreen is California's first green building code and first in the nation state-mandated green building code. It is formally known as the California Green Building Standards Code, Title 24, Part 11, of the California Code of Regulations. The purpose of CALGreen is to improve public health, safety, and general welfare through enhanced design and construction of buildings using concepts which reduce negative impacts and promote those principles which have a positive environmental impact and encourage sustainable construction practices. CALGreen applies to the planning, design, construction, use, and occupancy of every newly-constructed building or structure on a statewide basis unless exempt. Additions and alterations to existing buildings which increase the building's conditioned area, interior volume, or size are also covered by CALGreen.

The latest iteration of CALGreen standards was issued in 2019. CALGreen includes minimum requirements for water and energy efficiency, waste reduction and recycling, use of materials that are less polluting, and better indoor air quality.

Defensible Space Inspection Program

Community wildfire preparedness is supported by Monterey Fire's Defensible Space Inspection Program and coordination with surrounding fire prevention organizations to limit fire and wildfire risk through planning, prevention, and mitigation. CalFire's Fire & Resource Assessment Program (FRAP) and Fire Hazard Severity Zone (FHSZ) maps are available online with information on forest assessment, fire severity zones, and defensible space. Monterey Fire personnel have inspected and graded all Carmel parcels as pass, pending, or fail. Grading criteria are evolving as knowledge on fire spread is developed. Current criteria are based on dry fuel accumulation, spark arrestors, and overhanging tree limbs.

Multi-Jurisdictional Hazard Mitigation Plan (2015)

Prepared by: The Monterey County Hazard Mitigation Planning Team with Professional Planning Assistance from AECOM, June 2015

The Multi-Jurisdictional Hazard Mitigation Plan (MJHMP) provides a framework for regional collaboration on hazard mitigation and resilience. The goals of the plan are: (1) To protect life and property by reducing the potential for future damages and economic losses that result from known hazards; (2) To qualify for additional grant funding, in both the pre-disaster and post-disaster environment; (3) To speed recovery and redevelopment following future disaster events; (4) To sustain and enhance existing governmental coordination throughout Monterey County; and (4) To comply with federal and state requirements for local hazard mitigation plans. The MJHMP is currently in the process of being updated. The following City-specific community outreach projects that would improve community and private property resilience were included in the 2016 MJHMP:

Table 3: MJHMP City Community Resilience Actions

Action No.	Description	Priority	Admin. Dept	Potential Funding	Timeframe	Narrative Update/ Explanation
2	Develop a sustained public outreach program that encourages consistent hazard mitigation content. For example, consider publishing tsunami inundation maps in telephone books, wildland fire defensible space tips with summer water bills, and the safe handling and disposal of hazardous waste and chemicals with garbage bills.	High	City Clerk	General Funds, HMGP, and PDM Grants	0-1 years	The City has installed new tsunami warning signs along shoreline areas and beach access points. The City will be revamping its website in the next few years and can add information on hazard mitigation such as wildland fire prevention actions, evacuation routes, and hazardous waste disposal.
5	Develop and provide funding and/or incentives for defensible space measures (e.g., free chipping day, free collection day for tree limbs).	High	Fire	General Funds, HMGP, and PDM Grants	Ongoing	Due to staff and fund shortages, this item has not been implemented. The City has provided, and will continue to provide, inspection, information, and enforcement of fuel management on private property as appropriate.

General Plan Environmental Safety Element (2009)

Adopted by the City Council: 2009

The Environmental Safety Element focuses on reducing human injury, loss of life, property damage, and the economic and social dislocation caused by natural and human-caused hazards. The policies included in this element are intended to provide a framework to address natural and human induced hazards through prevention and emergency response. This element seeks to guide the continuous development of preventative measures that address existing and potential hazards, while also providing contingent emergency response procedures in the instance of a local or regional emergency.

The following issues were identified as relevant to the City of Carmel-by-the-Sea and are addressed in the Goals, Objectives, and Policies and Supporting Information sections.

- Earthquakes
- Landslides
- Drainage/Flooding
- Tsunami
- Fire
- Disaster Preparedness

The following policies from the safety element relate to storms, wildfire, sea level rise, drought, and increased temperatures:

- P8-14 Educate the public regarding seismic, geologic, flood, fire, tsunami, and other potential disasters, by preparing periodic news articles for local media outlets, such as Carmel Pine Cone.
- P8-16 Encourage property owners to retrofit older structures with fire detection and/or warning systems.
- P8-19 Encourage new development located in or adjacent to fire hazard areas to incorporate fire preventative site design, access, landscaping and building materials, and other fire suppression techniques.
- P8-20 Control excessive buildup of flammable vegetative material on vacant lots and within and adjacent to high severity fire hazard zones (such as Mission Trails and Pescadero Canyon), especially following wet springs.

c. Opportunities to build on Existing Community Adaptation Strategies:

The following opportunities to build on existing adaptation strategies were identified based on technical expert presentations at Committee meetings (Appendix B) and from the review of previous reports:

- Update City Planning guidelines to reflect and/or not conflict with current California codes (CBC Chapter 7 & CRC R337) in the Very High Fire Hazard Severity (VHFHS) Zone.
- Incorporate defensible space design in landscaping guidelines.

- Collaborate with Monterey Fire on its inspection and outreach efforts to reduce fire risks. Help spread information at critical times to increase resident awareness and knowledge of how to reduce wildfire risk and prepare for emergencies.
- Evaluate the feasibility of gaining Firewise Community Certification in Carmel-by-the-Sea.
- Consider updating the General Plan's Safety Element policy P8-17 to include "move or remedy existing" utilities in high severity fire hazard zones.
- Review and publicize the evacuation plan for the community in the event of a wildfire or other disaster.

Utilities

a. Water Supply

Integrated Regional Water Management Plan

The Monterey Peninsula, Carmel Bay, and South Monterey Bay Integrated Regional Water Management Plan (IRWMP) was updated in 2019. Integrated regional water management in California is established as a way to increase regional self-sufficiency by encouraging local water resource managers to take a proactive role in solving water management problems through collaboration with stakeholders to create innovative strategies and effective actions to achieve water management objectives. The Monterey Peninsula Regional Water Management Group (RWMG), the body responsible for the development and implementation of the IRWM Plan, includes 17 local agencies and organizations, including the City. The Monterey Peninsula IRWM Plan region is approximately 350 square miles and includes the coastal cities of Carmel-by-the-Sea, Del Rey Oaks, Monterey, Pacific Grove, Sand City, and Seaside. Also included are the unincorporated portions of Monterey County in Carmel Valley, Pebble Beach, the Carmel Highlands, the Laguna Seca area, and a portion of the Ord Community.

The IRWMP has the following prioritized regional objectives, which support climate change resilience:

- Improve regional water supply reliability through environmentally responsible solutions that promote water and energy conservation. Protect the community from drought and climate change effects with a focus on interagency cooperation and conjunctive use of regional water resources.
- Protect and improve water quality for beneficial uses consistent with regional community interests and the RWQCB Basin Plan through planning and implementation in cooperation with local and state agencies and regional stakeholders.
- Ensure that flood protection strategies are developed and implemented through a collaborative and watershed-wide approach and are designed to consider climate change effects and maximize opportunities for comprehensive management of water resources.
- Ensure that erosion management strategies are developed and implemented through a collaborative and watershed-wide approach and are designed to consider climate change effects.

- Develop watershed scale management strategies, considering climate change effects and maximizing opportunities for comprehensive management of water resources.
- Preserve the environmental health and well-being of the Region's streams, watersheds, and the ocean by taking advantage of opportunities to assess, restore and enhance these natural resources when developing water supply, water quality, and flood protection strategies. Seek opportunities to conserve water and energy, and adapt to the effects of climate change.
- Adapt the region's water management approach to deal with impacts of climate change using science-based approaches, and minimize the regional causal effects related to water resources.
- Identify an appropriate forum for regional communication, cooperation, and education. Develop protocols for encouraging integration and reducing inconsistencies in water management strategies between local, regional, State, and Federal entities.

The IRWMP identified the high priority adaptation strategies included in Table 3 below. Additionally, within the City of Carmel-by-the-Sea, the following three projects were submitted as concept proposals for inclusion in the IRWMP and potential future grant funding:

- **Carmel-by-the-Sea Pilot Wet-Dry Weather Diversion Program:** The goal of this project is to capture and treat runoff to substantially reduce the pollutants that enter the Carmel Bay Area of Special Biological Significance (ASBS). This project proposes to install a diversion facility at the City's 4th Avenue and Ocean Avenue storm drains, which capture most of the residential areas on the north side of the City and the downtown area. These diversion facilities would capture dry weather, first flush and small storm runoff from approximately 170 acres (approximately 50% of the City's watersheds that drain directly to the Pacific Ocean at Carmel Beach). Runoff captured would flow to the sanitary sewer collection system and ultimately to the Carmel Area Wastewater District's Wastewater Treatment Plant where the water would be treated and beneficially reused for irrigation of landscape at the Pebble Beach property.
- **Forest Hill Park Creek Restoration:** The goal of this project is to reduce erosion of the drainage channel that flows through Forest Hill Park on the north side of the City of Carmel-by-the-Sea and provide sediment capture to improve water quality flowing to the Carmel Bay ASBS from the City's largest watershed. The restoration would consist of rerouting and stabilizing the creek channel, which is eroding and impacting tree roots, slopes and nearby pedestrian walkways. Reducing sediment loads that flow into the storm drain system and to Carmel Bay from the City will also reduce heavy metals that bind to sediments such as lead and particulate copper.
- **Park Branch Library-Devendorf Rainwater Capture:** The goals of this project are to harvest and use dry weather flows and storm water from the Park Branch Library site for irrigation of neighboring Devendorf Park. This project also proposes to install permeable pavement at the Park Branch Library to allow storm water to infiltrate into the ground instead of running off in the street. This project could be integrated with the proposed Sixth Avenue / Devendorf Park Plaza.

Table 4: IRWMP High Priority Climate Adaptation Strategies

ADAPTATION RESPONSE STRATEGIES TO THE EFFECTS OF CLIMATE CHANGE		
Climate Change Effects	Adaptation and Response Strategies	Initial Actions
Rangelands are expected to be drier	Prepare fire reduction strategies to protect watershed lands using ecologically sustainable strategies. Implement adaptation strategies to conserve California's biodiversity.	N/A
Domestic landscaping water needs will be higher	Integrate land use and climate adaptation planning	Education Incentive programs Demonstration programs Grey water Xeriscaping Expand water supplies (purple pipe) and storage Aquifer management
Decrease in local rainfall	Promote community resilience to reduce vulnerabilities: Food sustainability Implement water conservation and supply management efforts Manage watersheds, habitat, and vulnerable species	Education Incentive programs Demonstration programs Grey water Xeriscaping
Sea level rise and higher groundwater extraction will lead to increased rates of seawater intrusion	Prepare a regional sea level rise adaptation strategy Promote working landscapes with ecosystem services Integrate land use and climate adaptation planning	Education Incentive programs Demonstration programs Grey water Xeriscaping Expand water supplies (purple pipe) and storage Aquifer management Expand agriculture water conservation programs

ADAPTATION RESPONSE STRATEGIES TO THE EFFECTS OF CLIMATE CHANGE

Climate Change Effects	Adaptation and Response Strategies	Initial Actions
Droughts will be more frequent and severe	Implement adaptation strategies to conserve California's biodiversity. Educate, empower, and engage citizens regarding risks and adaptation Integrate land use and climate adaptation planning Promote community resilience to reduce vulnerabilities	Human safety response Education Incentive programs Demonstration programs Grey water Xeriscaping Expand water supplies (purple pipe) and storage Aquifer management Expand agriculture and urban water conservation programs
Lower seasonal surface flows can lead to higher pollutant concentrations	Manage watersheds, habitat, and vulnerable species	Minimize non-point source pollution Buffers
Changes in storm intensity will increase sediment loading in many systems	Prepare fire reduction strategies to protect watershed lands using ecologically sustainable strategies	Erosion control on farms and creeks Buffers
Channel stability will be impacted from higher storm flows causing additional turbidity	Provide guidance on protecting critical creek/river ecosystems and development	Erosion control on creeks Wastewater and stormwater infrastructure vulnerability analysis
Sea level rise will impact current estuary brackish water interface towards more marine systems	Implement adaptation strategies to conserve California's biodiversity	Retain freshwater in watershed Habitat migration Buffers Erosion control
Regional levees will provide less protection during higher storm flow events	Support essential data collection and information sharing Manage watersheds, habitat, and vulnerable species Prepare a regional sea level rise adaptation strategy	Refurbish or expand levees or tide gates (upgrade priority infrastructure) Map/inventory infrastructure

ADAPTATION RESPONSE STRATEGIES TO THE EFFECTS OF CLIMATE CHANGE

Climate Change Effects	Adaptation and Response Strategies	Initial Actions
Natural creeks throughout the region and managed conveyance within the Carmel Valley will see higher flow rates leading to increased erosion and flooding	Manage watersheds, habitat, and vulnerable species	Refurbish or expand levees or tide gates(upgrade priority infrastructure) Map/inventory infrastructure
Coastal levees and control structures will be undersized to manage the combined influences of higher flow events and sea level rise	Support essential data collection and information sharing Prepare a regional sea level rise adaptation strategy	Refurbish or expand levees or tide gates(upgrade priority infrastructure) Map/inventory infrastructure/levee locations and WCS, ownership Phase II task 5 activity 3 - ecosystem services - be aware of services available Elevations of levees and sea walls - maybe with PWA-management strategies USGS elevation data
State recommendations suggest no new critical facilities be built within the 200-year flood plain(DWR 2008, DWR 2009b, CNRA2009)	Integrate land use and climate adaptation Planning	Work with Monterey County and cities, Coastal Commission (local jurisdiction)
Migration patterns and species distribution will change	Establish a system of sustainable habitat Reserves	Reduce migration impediments (dams, etc.) Compile data on species distribution Primary focus species - amphibians, waterfowl, salmonids, redwoods, tide water gobies Maintain habitat corridors - contiguous areas Fish and Game - wildlife adaptation plan - vulnerability for key species for each region
Invasive species populations will expand	Habitat/ecosystem monitoring and adaptive management	What are the invasive species and their ranges? Will they expand, be introduced? How are the habitats shifting (awareness)? Ecological adaptation investigation and strategy

ADAPTATION RESPONSE STRATEGIES TO THE EFFECTS OF CLIMATE CHANGE

Climate Change Effects	Adaptation and Response Strategies	Initial Actions
<p>Coastal wetland systems are especially vulnerable to the combined influences of climate change</p>	<p>Establish regional policies to protect critical habitats Provide guidance on protecting critical coastal ecosystems and development</p>	<p>Identify critical habitats and ecosystems Integrate ecosystem management Regulatory mechanisms dedicated to protecting future locations of these areas Inventory of wetlands currently</p>
<p>Some locally unique species such as coastal redwoods and giant kelp are susceptible to changes in certain locally favorable climate variables (fog duration, coastal upwelling)</p>	<p>Manage watersheds, habitat, and vulnerable species</p>	<p>Identify how they will be impacted - What are the changes? USGS study outcome - get a better handle on modeling fog changes in climate change</p>

b. Wastewater

Carmel Area Wastewater District Sea Level Rise Study

CAWD conducted a Sea Level Rise study for their wastewater treatment facility in 2018. According to CAWD's study, the sea level rise projections do not identify new hazards to the WWTP of greater concern than the 100-year flood risks that CAWD has previously planned for. However, increased storm intensities as well as higher sea levels may increase the base flood elevations. According to the study, increased storm intensity, as well as sea level rise, will not detrimentally effect the CAWD WWTP before the year 2062 under the "Extreme Risk Aversion" scenario. The study also identified facility retrofits needed to maintain operations of essential infrastructure. This will allow for 40 years of continued operation in the existing location while evaluating options of future improvements to increase flood resiliency vs. relocating the WWTP. Long term options for the facility seem to be:

- Retreat up Carmel Valley
- Pump to Monterey One Water

c. Opportunities to build on Existing Utilities Adaptation Strategies:

The following opportunities to build on existing adaptation strategies were identified based on technical expert presentations at Committee meetings (Appendix B) and from the review of previous reports:

- Provide information and incentives for residential water use reduction.
- Incorporate the Carmel projects included in the IRWMP into the City's 5-year CIP. Seek potential regional or State funding for projects.

Infrastructure

a. Local Infrastructure

General Plan Environmental Safety Element (2009)

Adopted by the City Council: 2009

The Environmental Safety Element focuses on reducing human injury, loss of life, property damage, and the economic and social dislocation caused by natural and human-made hazards. The following policies from the safety element relate to local utilities and infrastructure resilience to storms, wildfire, sea level rise, drought, and increased temperatures:

- P8-7 Ensure that water, gas, and sewage utilities serving critical facilities are in good condition and are engineered to withstand damage from disasters.
- P8-17 Avoid and discourage locating public structures and utilities in high severity fire hazard zone.
- P8-18 Ensure adequate water supply for fire emergencies.

P8-30 Reduce flooding hazards in areas with flooding potential by improving drainage and minimizing the alteration of natural drainage and natural protective barriers that accommodate or channel floodwaters.

Multi-Jurisdictional Hazard Mitigation Plan (2015)

Prepared by: The Monterey County Hazard Mitigation Planning Team with Professional Planning Assistance from AECOM, June 2015

The following City-specific infrastructure and utility projects were included in the 2016 Multi-Jurisdictional Hazard Mitigation Plan:

Table 5: MJHMP Infrastructure and Utility Resilience Actions

Action No.	Description	Priority	Admin. Dept	Potential Funding	Timeframe	Narrative Update/ Explanation
1	Identify hazard-prone critical facilities and infrastructure and carry out acquisition, relocation, and structural and nonstructural retrofitting measures as necessary.	High	Planning and Building	HMGP and PDM Grants	Ongoing	The City has retained an engineering firm to assist in project management of Public Services Department hazard evaluation. The City will also be retaining an engineering consultant to evaluate the City's revetments and other shoreline protection structures in the next year or two.
4	Continue to conduct current fuel management programs and investigate and apply new and emerging fuel management techniques.	High	Fire	General Funds and PDM Grant	Ongoing	The City has provided for fuel management on City owned lands and will provide that service annually. Staff will explore the use of goats as a new method to do this work to improve the fuel management in steeper terrain areas.
6	Work with the Utility Companies (especially PG&E) to build and strengthen relationships to improve communication regarding emergency situations and develop an emergency response plan that includes all emergency responders and 911 communications.	Priority / Moderate	Public Safety/PD	General Funds	Ongoing	New action for 2014-2019.

b. Storm Drainage System

Storm Drain Master Plan (2020)

Prepared by: Schaaf & Wheeler for the City

The Storm Drain Master Plan was completed in 2020. The master plan identifies current system capacity, condition, and maintenance issues. The master plan also identifies 17 projects to restore the system’s ability to handle a 10-year 24-hour storm without localized flooding in various locations in the City. The projects are shown on the map below (Figure 4) and listed, with cost estimates in Table 6. Modeling of a 16% increase in storm intensity that could be associated with Climate Change showed that, with the system upgrades outlined in the plan, most of the system could handle the increased storm intensity, with some localized flooding in Mission Trail Nature Preserve, the northeast part of the City, the 4th Avenue drainage, and the southwest near Santa Lucia Avenue. There is greater risk for flooding for larger storms as the city’s drainage system was only designed for 10-year, 24-hour storms.

Figure 4: Map of Storm Drain Master Plan Projects

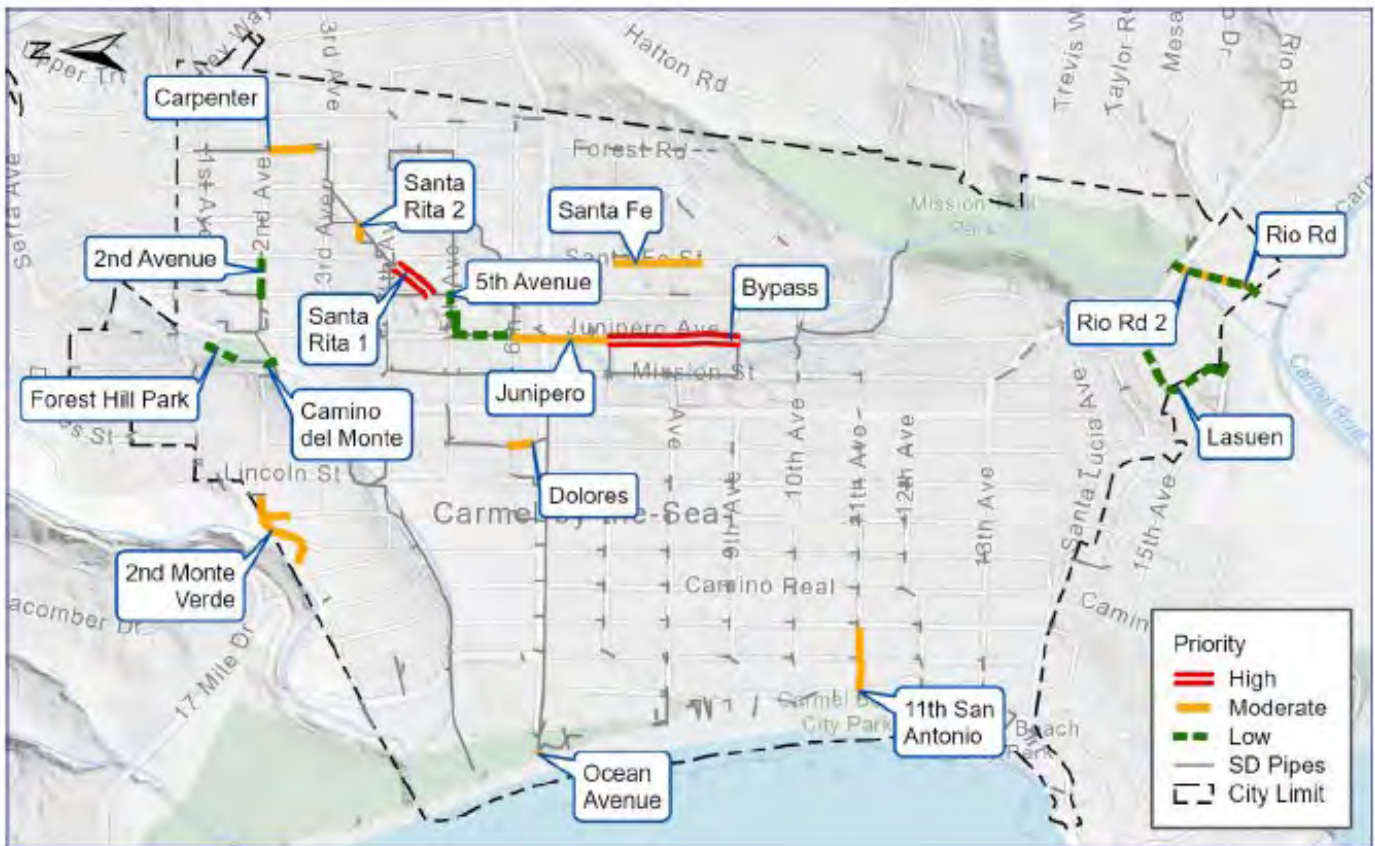


Table 6: Storm Drain Improvement Projects

Priority	Asset Name	Estimated Cost ¹
High Priority	Mission Street Bypass	\$820,000
	Forest Hill Park – Emergency Repair	\$130,000
	Santa Rita 1	\$220,000
High Priority Total		\$1,170,000
Medium Priority	Junipero	\$800,000
	Rio Road 1	\$2,420,000
	Santa Rita 2	\$170,000
	Ocean Ave	\$250,000
	Santa Fe	\$490,000
	Carpenter	\$270,000
	11 th and San Antonio	\$400,000
	2 nd and Monte Verde	\$830,000
	Forest Hills Park - Realignment	\$700,000
Medium Priority Total		\$6,330,000
Low Priority	2 nd Avenue	\$150,000
	5th and Junipero	\$660,000
	Mission Trail Preserve Projects	\$940,000
	Camino del Monte	\$30,000
	Dolores	\$20,000
	Rio Road 2	\$140,000
	Lasuen	\$460,000
Low Priority Total		\$2,400,000
Grand Total		\$9,900,000

¹Includes Contingencies (40%). 2020 Construction cost only. Construction cost includes mobilization, traffic control, trench, and surface restoration. Does not include costs associated with permitting, land acquisition, or other unforeseen special circumstances.

Implementation Status: *Initiated*. Staff is seeking funding to design and construct some priority repairs. Implementation included in the City's 5-year Capital Improvement Plan.

c. Shoreline Access and Protection Infrastructure

Shoreline Management Plan (2003)

Prepared by: David Shonman and Greg D'Ambrosio

Accepted by the City Council: September 2003

The Shoreline Management Plan provides an overview of the many resources of the Carmel coastline and management policies for long-term maintenance and enhancement of coastal resources. The Shoreline Management Plan includes information on erosion processes along the shoreline and the City's existing shoreline protection structures. A long-term coastal bluff erosion analysis was conducted by Johnson (1984), who analyzed aerial photographs from 1908 to 1983, and indicated that the coastal bluff was eroding at an average rate of 0.4 feet/year in the north and 0.3 to 0.7 feet/year in the southern portion. Aerial photograph analysis indicated some periods of extreme bluff erosion, including the loss of at least 20 feet of bluff near 13th Avenue and near Martin Way between 1968 and 1970.

Approximately 50% of the City's shoreline protection structures are seawalls. Most of Carmel's seawalls have held up well over the years. One seawall built in 1978 failed, apparently due to poor design. Since 1978, the City has used rock revetments to protect nearly one quarter of its shoreline.

Shoreline Management Plan Policies supporting sea level rise adaptation:

- Pursue scientific studies that document physical processes occurring at Carmel Beach (e.g. sediment transport, sand bar dynamics, influences from the Carmel Bay offshore canyon).
- Limit development along the Carmel shoreline to facilities that support passive and active recreational activities, beach access, bluff protection and protection of infrastructure. Bluff protection and protection of infrastructure shall be permitted only when required to protect existing structures that are in danger from erosion.
- Discourage any further incursion of recreational activities into the North Dunes habitat. Sensitive resources in the North Dunes habitat area shall be protected.
- Protect the fragile dunes and sensitive plants in the Del Mar Dunes and North Dunes against any significant disruption of habitat values.
- Maintain records of sand moved and the volumes needed to cover each revetment. When revetments fail or need to be substantially reconstructed, consider vertical seawalls as an alternative.
- Construct new shoreline armoring in areas previously unprotected only when required to protect existing structures in danger of erosion and when designed to eliminate or mitigate adverse impacts on local shoreline sand supply.
- Obtain and maintain an accurate digitized map of the Carmel shoreline to develop the City's beach management and maintenance policies. Analyze historic beach trends using aerial photo analysis and other available tools. Update topographic information at least every 5 years and analyze shoreline changes to facilitate early identification of erosion hot spots, sand losses/gains, migration of revetments, and other long-term impacts.
- Place a series of permanent surveyed benchmarks inland of the bluffs running the length of Carmel Beach for long-term monitoring.
- Protect public access, Scenic Road, and the aesthetic character of the coast by maintaining existing seawalls and engineered revetments. When any existing seawalls or revetments need to be replaced or substantially reconstructed, review other beach management strategies and

determine the best balance among objectives for access, aesthetics, and protection of coastal resources. Protect the natural character and features of the Del Mar and North Dunes by prohibiting the construction of any new shoreline protective structures unless required to protect existing structures in danger of erosion.

- Sand and bluff profiles shall be surveyed in 2003 and 2005 to establish a baseline. Thereafter, a set of sand profiles shall be taken at five-year intervals, beginning in 2010 to establish an on-going record of shoreline trends on Carmel's beaches and bluffs. For each set of profiles, measurements shall be taken at mid-winter (lowest sand level), at spring (prior to sand redistribution activities), at early summer (after sand redistribution), and in the early fall (before offshore retreat).
- After each 5-year period of monitoring beach sand elevations, review available data to make preliminary determinations on the effects of seawall structures and sand redistribution activities.
- If data indicate that the beach has been losing sand over time, investigate options for beach nourishment using offshore deposits or other sources matching Carmel Beach sand.

Geotechnical Inspection of Carmel Beach Shoreline Improvements (2016) and 2016 Shoreline Assessment Update

Inspections of the City's shoreline infrastructure were conducted in the winters of 2015 and 2016 by Easton Engineers. The inspection noted that the shoreline improvements were in acceptable condition with relatively minor repairs required. The Inspection results included the recommendations shown below in Table 7. Additional recommendations were included in the 2016 Shoreline Assessment Update and are included in Table 8.

Table 7: Recommendations from the Geotechnical Inspection of Carmel Beach Shoreline Improvements (2016)

Location	Recommendation
4 th Avenue Outfall	Replacement of the outfall structure should be considered in the next few years, with a focus on how drainage can be appropriately released in a non-erosive manner. Additional recommendations: Prevent public access atop the structure and inspect the outfall structure when the beach is scoured and the structure's base is exposed.
10 th Avenue Stairs Retaining Wall and Revetment	Settled portions of revetment should be restacked. Stairs, walls, and and revetments should be inspected when the beach is scoured.
10 th Avenue Retaining Wall	Wall footing appears in good condition. Inspect when the beach is scoured.
Revetment south of 11 th Avenue Stairs	Downcoast third of the revetment should be monitored. Additional large rip rap should be added to the downcoast third of the revetment and this portion keyed into bedrock and restacked to a more stable configuration.

Unprotected bedrock at 12 th Avenue outfall	Inspect location when the beach is scoured so the base of the bluff is exposed. To protect the base of the bluff from undercutting, rip-rap revetment may be extended downcoast to a point just beyond the storm drain outfall.
Cove North of 13 th Avenue Point	The wall's footing and repaired areas should be monitored and infilled with concrete as needed to help prevent further undermining. Remaining undercuts should be filled. Where constructed on potentially unstable material, the footing of the retaining wall should be underpinned. Restack fugitive rip-rap.
Retaining wall just north of 13 th Avenue Point	Footing is significantly undermined and should be protected from further erosion by restacking the seaward revetment or constructing a deepened footing.
Rip-rap at Santa Lucia Stairs	The blufftop should be monitored for continued signs of erosion. The toe of the revetment should be monitored when the sand is scoured.
Seawalls between Santa Lucia & Martin Way	Wall segment A footing should be protected from further undermining by constructing a deepened footing or a rip-rap revetment across the areas of concern. The undercut, exposed portions of the footing should at a minimum be infilled with structural concrete to prevent further undermining. A deepened footing along the entire A through F wall segments will improve the stability and longevity of the walls. Alternatively, a rip-rap revetment along the base of the walls will help prevent continued undermining.
Martin Way Stairway	A concrete pedestal or piers should be constructed at the base of the stairs to support the stairs.

Table 8: Recommendations from the 2016 Carmel Shoreline Assessment Update

Location	Recommendation
Revetments: Unstable Rip Rap	Carmel's shoreline revetments should be regularly monitored (especially after the end of the storm season); perched riprap should be re-stacked and exposed revetments covered with redistributed sand whenever feasible.
Revetments: Migrated Riprap (12th & 13th Ave. Coves)	The re-stacking of migrated riprap should be conducted the next time conditions allow. This will best be accomplished if conducted during low sand conditions. Such work has been conducted in the past, but usually during periods of significant sand scour, a condition that is often accompanied by strong waves and a narrowing of Carmel Beach. This operation should be conducted with the advice of a qualified geotechnical specialist. It should be planned in advance so that all necessary preliminary steps (including funding, permits, and contracts) can be in-place of ahead of time, increasing the chances that it will be completed before the high sand level returns.
Stairways: general	The extensive list of stairway repairs recommended in the Graebe report (dated March 2, 2015) should be addressed as soon possible.
Shoreline Landscape Barriers (SLBs)	The Shoreline Landscape Barriers should be redesigned during FY 2016/2017, and rebuilt as soon as feasible. Their design should

Location	Recommendation
	conform with Carmel’s design traditions, and the new barriers should be able to be maintained, repaired and replaced by staff. The installation and locations of the new SLBs should be coordinated with the re-surfacing of the Pathway and re-vitalization of the Carmel bluff-top landscape. Because people often trampled landscape vegetation to walk over to the SLBs, it has been suggested that new barriers be placed within 12-18” of the Pathway.
Monitoring Program	An effective monitoring program should be developed to be conducted by City staff as they work along the shoreline. This program would take advantage of the skills of staff as well as their familiarity with the Carmel shoreline. If done correctly, it will encourage staff to report conditions that are not necessarily in their direct area of responsibility. Asking staff to be alert for conditions of concern as they work along the shore would serve as a “force multiplier,” greatly expanding the City’s ability to address conditions at an early, more manageable, stage.
Stairway Closures	To protect the safety of those who use Carmel’s shoreline stairways, the City should employ effective methods for closing these access ways when conditions warrant. Such methods should involve physical barriers, clearly worded signage and enforcement. City staff should also focus on re-opening the stairways to public use, once safer conditions return.

Implementation Status: *Partially initiated.* Public Works closes stairways to the public when hazardous conditions exist. Essential repairs to the stairs have been made. A landscape design was created and approved by the Planning Commission that incorporated restoration of the shoreline landscape barriers.

d. Regional Infrastructure

Climate Change Vulnerability Assessment Summary Report: Caltrans District 5 (2019)

Prepared by: Caltrans

Caltrans’ District 5 incorporates the Counties of Monterey, Santa Cruz, San Benito, San Luis Obispo, and Santa Barbara. The Summary Report presents information on potential vulnerabilities to the Caltrans District 5 portion of the State Highway System (SHS), including climate stressors and their potential effects on how highways are planned, designed, built, operated, and maintained. Identified vulnerabilities are summarized below:

- Higher temperatures:
 - Higher temperatures could cause expansion that deteriorates bridge joint seals, which could accelerate replacement schedules, and even affect bridge superstructure.
 - Extreme heat could affect employee health and safety, especially for those working long hours outside.

- High temperatures for extended periods could increase the need for protected transit facilities along roadways.
- Right-of-way landscaping and vegetation must be able to survive longer periods of high temperatures.
- Pavement quality will be affected by long-term temperature changes
- Wildfires:
 - Much of the SHS lies within high fire hazard zones.
 - Maintenance issues associated with wildfires for the SHS include: increased erosion and runoff, increased landslide potential, debris blocking culverts and bridges during rain events, destruction of signs and guardrails, damage to culverts and bridges
- Sea Level Rise:
 - SHS impacts from sea level rise are expected to be significant in Monterey County. Significant impacts of combined sea level rise and storm surges to Highway 1 are expected in the low-lying areas between Moss Landing and Castroville, and south of Carmel-by-the-Sea where the highway crosses the mouth of the Carmel River. Additionally, cliff erosion is expected to impact Highway 1 in Big Sur.

Additionally, Caltrans will need to consider the role of the SHS during a disaster when planning for climate change. The SHS is the backbone of most county-level evacuation plans and often provides the only high-capacity evacuation routes from rural communities. State highways also serve as the main access routes for emergency responders, and may serve as a physical line of defense such as a firebreak, an embankment against floodwaters, etc. As climate-related disasters become more frequent and more severe, this aspect of SHS usage will assume a greater importance that should be reflected in highway design.

e. Opportunities to build on Existing Infrastructure Adaptation Strategies:

The following opportunities to build on existing adaptation strategies were identified based on technical expert presentations at Committee meetings (Appendix B) and from the review of previous reports:

- Determine the feasibility of undergrounding power lines in Mission Trail Nature Preserve and in priority transportation corridors in the VHFHZ
- Upsize SDMP improvements, especially when making repairs in the lower reaches of watersheds, to handle larger storms.
- Consider incorporating green infrastructure in street and sidewalk projects to reduce runoff volumes into the City's storm drain system.
- Earmark CIP funding for design, permitting, and implementation of storm drain repairs. Include strategies in 2021 MJHMP for potential regional funding.
- Reinstate beach sand monitoring program described in the Shoreline Management Plan.
- Implement bluff structural monitoring program and do follow-up monitoring post-storm to identify additional footing stability issues.

- Earmark CIP funding for design, permitting, and implementation of repairs. Include strategies in 2021 MJHMP for potential regional funding.
- Reach out to local researchers (e.g. CSUMB) or other sources to conduct Carmel Cove sand supply dynamics analysis.
- Hire a coastal engineer with experience in planning for climate change to conduct:
 - Further assessment of the risks to our coastal assets, including sea walls, revetments, bluffs, stairs and access, public bathrooms, parking areas, drainage infrastructure, and utilities.
 - Determine adaptation measures and LCP policy options.
 - Prioritize adaptations and projects that protect and maintain public resources and beach access, and the viability of the community and tourism.
 - Determine how the options and strategies along the coast are different for the:
 - Mostly natural, unarmored North Dunes area
 - Mostly armored bluffs along Scenic Road south of 8th Avenue
 - Unarmored dunes along private property between 8th Avenue and Del Mar Parking Lot
 - Armored private properties on the bluffs at the north end of the City (Pescadero Canyon area).
 - Evaluate feasibility and phasing, the use of thresholds for when different elements of these strategies are implemented. For example, maintaining armory or other defenses up to a point, but then if a threshold is reached, embracing a new bluff line and different adaptive measure.
- Update Shoreline Management Plan and LCP based on results of coastal engineering analysis.
- The City has an opportunity in 2021 to provide an updated list of projects to include in the MJHMP Update. The City should include a comprehensive list of projects based on its existing plans, as well as identified gaps in this Vulnerability Assessment.

VIII. Vulnerability Scoring Matrix

The vulnerability scoring matrix incorporates the potential threat of a climate hazard with the existence of current policies to mitigate hazards to vulnerable assets and populations. The matrix provides information to identify and prioritize vulnerable assets and populations that have not yet been addressed by City policies or projects.

Color coding: Already causing observable impacts or a near-term significant risk
 Mid- to long-range impacts
 Not enough data

YES Some policy/action initiated
NO No policy/action initiated

Priority Assets at Risk	Priority Hazards						
	Stronger Storms	Wildfires	Sea Level Rise	More Droughts	Increased Temperature	Fog changes	Ocean Warming
Natural Assets							
Mission Trail Nature Preserve	YES	YES	X	YES	YES	X	
North Dunes			NO	YES	YES	X	
Urban Forest	YES	NO		YES	NO	X	
Marine Sanctuary	X			X	X	X	X
Carmel Beach	YES		YES			X	X
Community							
Elderly population and people with disabilities	NO	NO		NO	NO		
Residents	YES	YES		YES	NO		
Visitors	NO	NO					X
Local Businesses	NO	NO	NO	YES	NO		X
Service industry workers	NO	NO	NO		NO		
Second homes	YES	YES	NO				
Utilities							
Water Supply		YES	YES	YES	YES		
Sanitary Sewer System	X		YES				
Power Grid	NO	NO			NO		
Overhead communication	NO	NO			X		

Priority Assets at Risk	Priority Hazards						
	Stronger Storms	Wildfires	Sea Level Rise	More Droughts	Increased Temperature	Fog changes	Ocean Warming
PG&E/communication underground lines (gas, cable)		NO	NO				
Regional Infrastructure							
Wastewater Treatment Facility	YES		YES		X		
Transportation Infrastructure (Caltrans)	YES	YES	YES				
Hospital and emergency medical care facilities	X	X			X		
Landfill & Waste Management	YES		X				
Local Infrastructure							
Shoreline Access Infrastructure: Scenic trail, public restrooms, beach stairs, coastal roadways, and parking	YES		YES		X (visitors)	X	
Seawalls and revetments	YES		YES				
Storm drainage system	YES		YES				
Emergency response facilities (Fire station, EOC, PD, PW, City Hall, etc.)	YES	YES			NO		

IX. Conclusion And Next Steps

The Climate Change Vulnerability Assessment provides the basis for the City to develop a Climate Adaptation Plan by identifying existing hazards, assets and communities at risk, as well as actions that have already been taken that enhance climate change resilience. The Climate Committee should utilize the Vulnerability Scoring Matrix and the list of opportunities to build on existing strategies as a starting point to identify and prioritize potential climate change adaptation strategies.

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APPENDIX A

APPENDIX A - Historical Hazards

Data sources for historical hazards include: Monterey County Multi-Jurisdictional Hazard Mitigation Plan (MJHMP), the National Oceanic and Atmospheric Administration (NOAA) Storm Events Database, and historic records at the Carmel Library

Disaster Type (Storm, drought, wildfire, heat event)	Date	Location	Local Impact
Storm	Winter of 1982/83	Monterey Peninsula	<p>El Niño winter. During this period, severe winter storms struck Carmel every 10 days. More sand was removed from the beach than at any previous time in the memory of long-term residents or documented history. Additionally, heavy rains overwhelmed the City's storm drain system. Uncontrolled stormwater flows washed away portions of the City's coastal bluffs and undermined beach access stairways. Between 1983 and 1988, the entire Scenic Road storm drain system was rebuilt with larger drain pipes and catch basins, and moving outfalls to less erosive locations.</p> <p>Johnson (1984) recorded several areas of significant erosion during the 1982/83 winter:</p> <ul style="list-style-type: none"> - Loss of 20 feet of bluff north of 8th Avenue, - Loss of 25 feet of bluff between 10th and 11th Avenues, - Loss of 30 feet of bluff between 8th and 9th Avenues, - Loss of 30 feet of bluff near Santa Lucia Avenue, - Loss of 40 feet of bluff between 9th and 10th Avenues.
Wildfire	July 1987	Pebble Beach/Carmel	<p>The fire that rushed up a canyon and destroyed 32 homes in Pebble Beach on May 31 was fueled by acres of dead underbrush and thick stands of trees, according to a forester who toured the area Thursday. Bill Ruskin, a vegetative management coordinator with the California Department of Forestry and Fire Protection in Felton, said after the tour: "It was a situation that was waiting to happen." Ruskin described the devastated residential area as one located in a "perilous" position, on top of a box canyon containing an "incredible number of stems per acre — about 200 to 300 per acre." Fanned by strong winds and funneled by steep terrain, the fire raced up the canyon as it burned dense underbrush and released gases that ignited above the tree crowns, creating a "crown fire" effect, Ruskin said. Ruskin collected fuel data in Del Monte Forest to simulate the path of the fire in a computer model. He said results would not be available until later this summer. "It may or may not verify whether the response should have been different," Ruskin said. In the computer model, Ruskin said, he will be able to use fuel data, topography and weather conditions to determine ways to manage the forest and devise ways to fight further fires in the area. As for the disastrous Sunday afternoon when heat from an illegal campfire ignited pine needles and set off the tragic chain of events,</p>

leaving 49 people homeless, Ruskin said the heat was so intense from the fire that houses began burning just from the radiated heat instead of flames. "The point is that you had so much heat going up that canyon," said Ruskin, 36, who has been a forester with CDF for five years and received a forestry management degree from the University of California at Berkeley. The point of origin of the fire has been determined as being on forested property owned by Pebble Beach Co. and adjacent to the Morse Botanical Reserve.

Notified of Results The property was surveyed Tuesday by Pebble Beach Co., which notified the Del Monte Forest Foundation, owner of the botanical reserve, of the results in a letter this week. Ruskin said that dead materials, including fallen limbs and pine needles, burned the thickly packed Monterey pine trees and sent gases above the ground smoke to be fanned by oxygen and winds. The intense gaseous fire created "radiated and convected" heat that spared few of the homes." Only the houses made of stucco and not having wood on the outside and one with double-pane windows were able to withstand the heat," Ruskin said. "It was not a crown fire in those trees," Ruskin said. "... Flames shooting up and over the trees could very well have been gases going up to meet oxygen in the wind. That's where they were being ignited." In the wake of the fire, Ruskin said, the bad news is that many of the trees in the 160-acre swath cut by the four-day blaze did not survive. However, he said, seeds released by exploding pine cones will regenerate the forest.

Alternative Vegetation Ruskin said that as equipment is used to clear trees and brush, now is a good time to consider alternative vegetation — coastal and coyote brush — that would stay succulent throughout a fire season and be less likely to add fuel to a fire. Ruskin added that selective hand-cutting of trees could also be done in forest management. Controlled burns, Ruskin said, can be effective but "it may not be aesthetically desirable from what we learned at Point Lobos." Foresters learned that a controlled burn last October at Point Lobos led to "an unexpectedly high amount of tree mortality." "The Monterey pine is a shallow-rooted tree," Ruskin said. "Even in a controlled burn, you are killing a lot of roots." In addition, Ruskin said, the controlled burn at Point Lobos created "burning pitch pockets," which also weaken trees. "I'm not sure that a prescribed burn is an acceptable management alternative," Ruskin said.

Ruskin observed after the tour that the fire appeared to have fed on pine trees 60 to 80 years old and "petered out" in younger trees. Mission Trail Park Ruskin also toured Camel's Mission Trail Park to assess the amount of fuel there that could lead to fire. Ruskin recommended to Gary Kelly, Carmel city forester, that some clearing of brush and fallen trees should take place and that a "pre-suppression plan" should be devised for the park area. Ruskin said that "fire-retardant vegetation" should be planted at the park rather than pine trees. Ruskin said the Mission Trail Park area did not have as much stored fuels as the Pebble Beach area. "He didn't seem to find any major concerns other than cleanup and a pre-fire plan," Kelly said. Ruskin was invited to tour the area by Kelly and Roy Perkins, CDF district fire chief.

Heat Event	April 1988	Monterey Region	<p>Hot temperatures Sunday in the mid-80s in Monterey and into the low-90s in Carmel Valley set weather records for April 10. Monterey's high temperature of 86 degrees at 2 p.m. topped the record of 80 degrees in 1968 for the date, according to Robert J. Renard, observer in Monterey for the National Weather Service. It also marked only the seventh time in 37 years of recordkeeping that the temperature reached 86 or higher during a day in April, he said. There has never been an 86-degree reading recorded in Monterey for January, February and March, he said, and Sunday's high temperature was the third earliest recording of an 86 or higher in a calendar year. Twice in previous years on April 2, the temperature climbed to 86 or above, with 88 and 87, respectively. Sunday's low temperature in Monterey also was a record. The 57 degrees was the highest minimum not only for April 10 but also for this early in the calendar year, Renard said. Meanwhile, in Carmel Valley, where temperatures on hot days are typically up to 10 degrees warmer than Monterey, the high temperature got up to 93 after an early morning low of 51, according to Graham Matthews, who keeps weather records for Carmel Valley. The 93 reading, which set a record for the date, topped the previous mark of 85 degrees set in 1968, Matthews said.</p> <p>Source: Monterey Herald, April 1988</p>
Storm	January 1995	Monterey Region	<p>In January 1995, sustained precipitation fell throughout the region and over 125 residential properties in the Carmel Valley sustained damage. Two months later, Monterey County experienced a second significant winter storm, which resulted in further sustained precipitation falling on already saturated watersheds. Devastating flooding occurred throughout Monterey County, particularly in the unincorporated communities of Castroville, Mission Fields, Carmel Valley, Cachagua, Carmel Highlands, Spreckels, and Big Sur. Over 1,500 residences and 100 businesses were damaged.</p>
Storm	January 10, 1995	Carmel Area	<p>A Monterey County Sheriff's deputy evacuates two elderly residents from their flooded Mission Fields neighborhood home in Carmel on January 10, 1995. According to a new study, extreme weather swings — a historic drought followed by drenching winter storms that cause flooding — will become the norm over coming generations.</p> <p>Source: Monterey Herald, April 2, 2018</p>
Wildfire	Oct – Nov 1996	Northern Big Sur	<p>This fire known as the Big Sur fire began Oct 18 near Ventana Camp Park. Much of the fire occurred in the Ventana wilderness area. 2500 Fire fighter participated. 4400 acres were burned. Light rain helped control fire. The cost of fighting the fire is estimated 12.3 million. 180 fire engines were used. 13 helicopters and 3 air tankers were used.</p>
Storm	December 21, 1996	Monterey Peninsula	<p>2.96" of rain in 11 hours at Monterey, Seaside had 2.5" and Marina had 2.12". Streets and intersections were flooded in Monterey, Del Rey Oaks, Pacific Grove, Carmel Highlands, and Carmel. HWY 101 N of Salinas was flooded.</p>

Wildfire	September 1999	Carmel Valley	<p>A surface low off the CA Coast brought tropical moisture and mild instability over the coastal CA are and lightning continued through the night over the entire Central Coast and San Francisco Bay area.</p> <p>Kirk Complex (consisted of Tassajara, Five, Big Pine, Elephant, Lone Pine, Freed, 7, Torre, Devil, Kirk and Hare Fires) Complex was divided into the North and South Components).</p> <p>Cause: Lightning strikes</p> <p>Location: In the Ventana Wilderness approximately 20 miles Southeast of Carmel, CA. Monterey Co.</p> <p>Size: 85,634 acres (as of 10/19/99)</p> <p>Containment: October</p> <p>Fatalities: none</p> <p>Structures Lost: none</p> <p>Cost: \$66.9 million (as of 10/19/99)</p>
Storm	January 2008	Monterey Peninsula	<p>Strong coastal storm brought flooding rains, high winds, record high surf and coastal flooding to Monterey County and resulted in nearly \$1 million in property damages. Approximately 30 homes in the Carmel Lagoon area were affected by some degree of flooding.</p>
Wildfire	December 2013	Northern Big Sur	<p>The Pfeiffer Fire started on December 17th 2013 around midnight in the vicinity of Pfeiffer Ridge in the Monterey Ranger District of Los Padres National Forest. The fire burned 917 acres. Thirty four (34) residence and 4 outbuildings were damaged/destroyed. The fire was declared contained on December 20 2013 at 6:00 p.m.</p>
Storm	January 8, 2017	Monterey Peninsula	<p>Potent atmospheric river bringing heavy rain, strong southerly winds, and storm surge issues. This AR is following a normal to slightly above normal 3 month period, meaning the grounds were saturated. Three to four feet of standing water at Casa Verde Road and SR 1N.</p>
Storm	February 9, 2017	Monterey Peninsula	<p>A cold front passed over the area Thursday Feb 9. There were strong winds ahead of the front and heavy rains associated with the frontal passage that produced roadway flooding and debris flows.</p>
Storm	February 20, 2017	Monterey Peninsula	<p>Potent AR brought copious amounts of rain to the region causing widespread flooding, debris flow, accidents, and over topping of reservoir spillways.</p> <p>Roadway flooding on Quail Meadows Dr in Carmel Valley. Large section of roadway flooded, vehicles sliding.</p>
Lightning / Wildfire	September 11, 2017	Central Coast/Monterey County	<p>A disturbance rotating around an upper level low west of San Diego brought thunderstorm activity to the Bay Area on September 11. Widespread reports of lightning were received along with a few small hail reports and strong wind gusts. It has been reported that there were over 40,000 lightning strikes across the Central Coast of California during this event. Several brush fires were also ignited due to lightning strikes.</p>

			Various lightning strikes sparked 15 fires in Monterey County that were contained on the same day http://www.mercurynews.com/2017/09/13/crews-contain-15-fires-started-by-lightning-in-monterey-county/ . Timing has been estimated.
Storm	November 29, 2018	Monterey Peninsula	A mid/upper level low moved through the region at the end of November. A cool unstable air mass allowed for the development of scattered thunderstorms across the region that produced lightning and small hail. An associated surface low approached the coast during this time causing high surf and gusty winds. Some locations saw wave heights above 25 feet. This system caused roadway flooding, minor debris flows, and downed trees along with damage from gusty winds. Flooding at Hwy1 and Hwy 68.
Storm	January 2019	Carmel/Monterey Peninsula	After a strong cold front brought severe weather to the Central Coast on Wednesday night, the cleanup process began Thursday. Pacific Gas & Electric Co. crews worked to restore power after more than 10,000 Monterey Peninsula customers lost power due to the storm. Power was restored to about half of those without power by early afternoon Thursday and spokeswoman Mayra Tostado said PG&E was aiming to restore power by the evening to customers without any access issues caused by mudslides, flooding or blocked roads.... According to Carmel City Administrator Chip Rerig, a significant trunk line transformer just outside the city blew up, causing a citywide power outage. In Carmel, 12 streets were closed due to trees that fell on electrified wires. City crews began cleaning up the streets after PG&E removed trees touching or adjacent to live wires. "The storm last night hit us hard," Rerig wrote in a post to Carmel's website. "Fortunately there have been no reported injuries to residents, guests, staff, or contractors." The city opened the Carmel Youth Center as a warming center, welcoming residents to stop by and charge their mobile devices and get a cup of coffee or water. Speaking by phone Thursday afternoon, Rerig said city staff worked with PG&E to open up many of the streets that had been closed and explained the city came together overnight into Thursday to respond to the storm damage. "We really had a great concerted effort last night with our police department, our public works, who are fantastic, Monterey Fire (Department), which is our contracted fire services, responded to 1 think 32 calls, we had a series of volunteers, our Community Emergency Response Team and a litany of other staff members," he said. People from Senior Helping Seniors checked in on some of the city's elderly population to make sure they were OK during the outage. The Carmel Unified School District canceled classes and activities at all of its schools for Thursday due to the road closures and power outages but planned on opening its schools Friday. Source: Monterey Herald, Jan 18, 2019
Storm	February 4, 2019	Monterey Peninsula	A mid/upper low with a very cold air mass moved through in early February bringing snow to lower elevation peaks across the region prompting a rare Winter Weather Advisory. Junipero Serra Peak received around a foot of snow. Rainfall just ahead of this

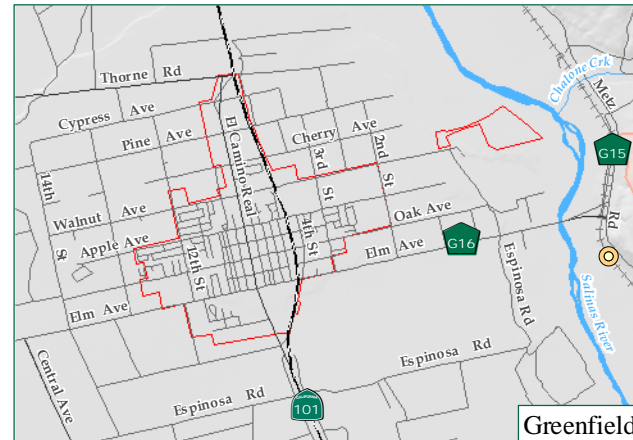
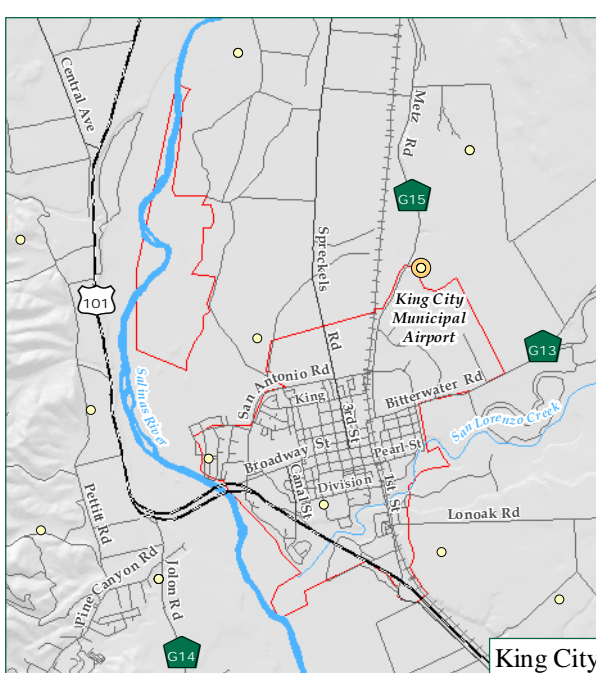
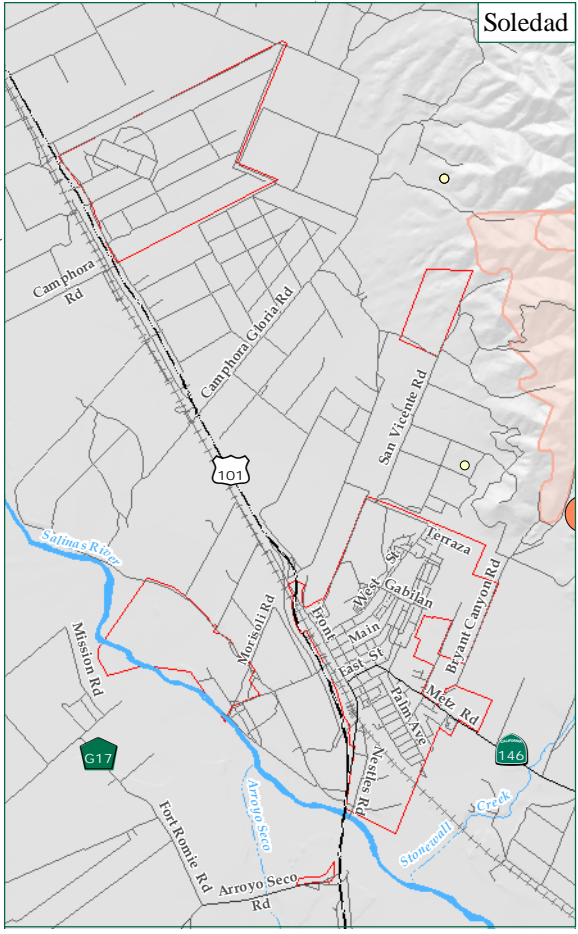
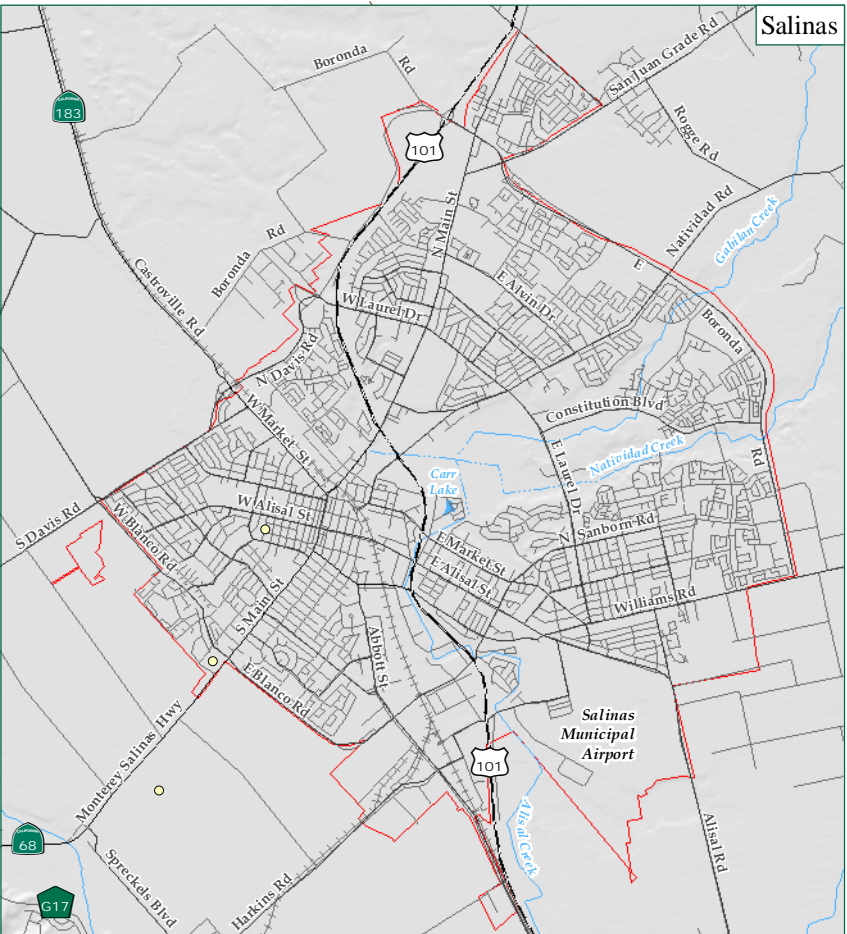
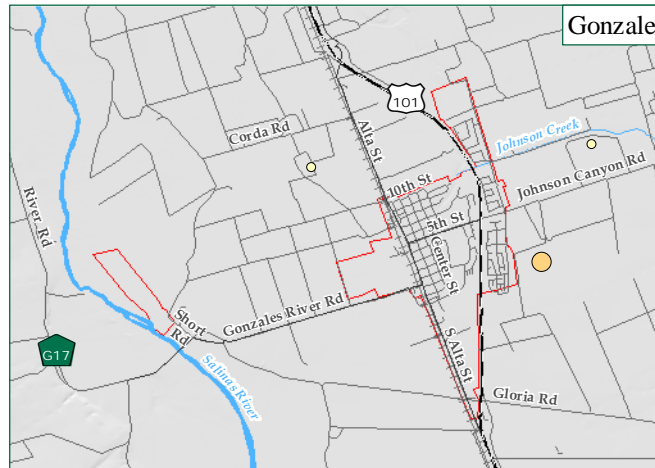
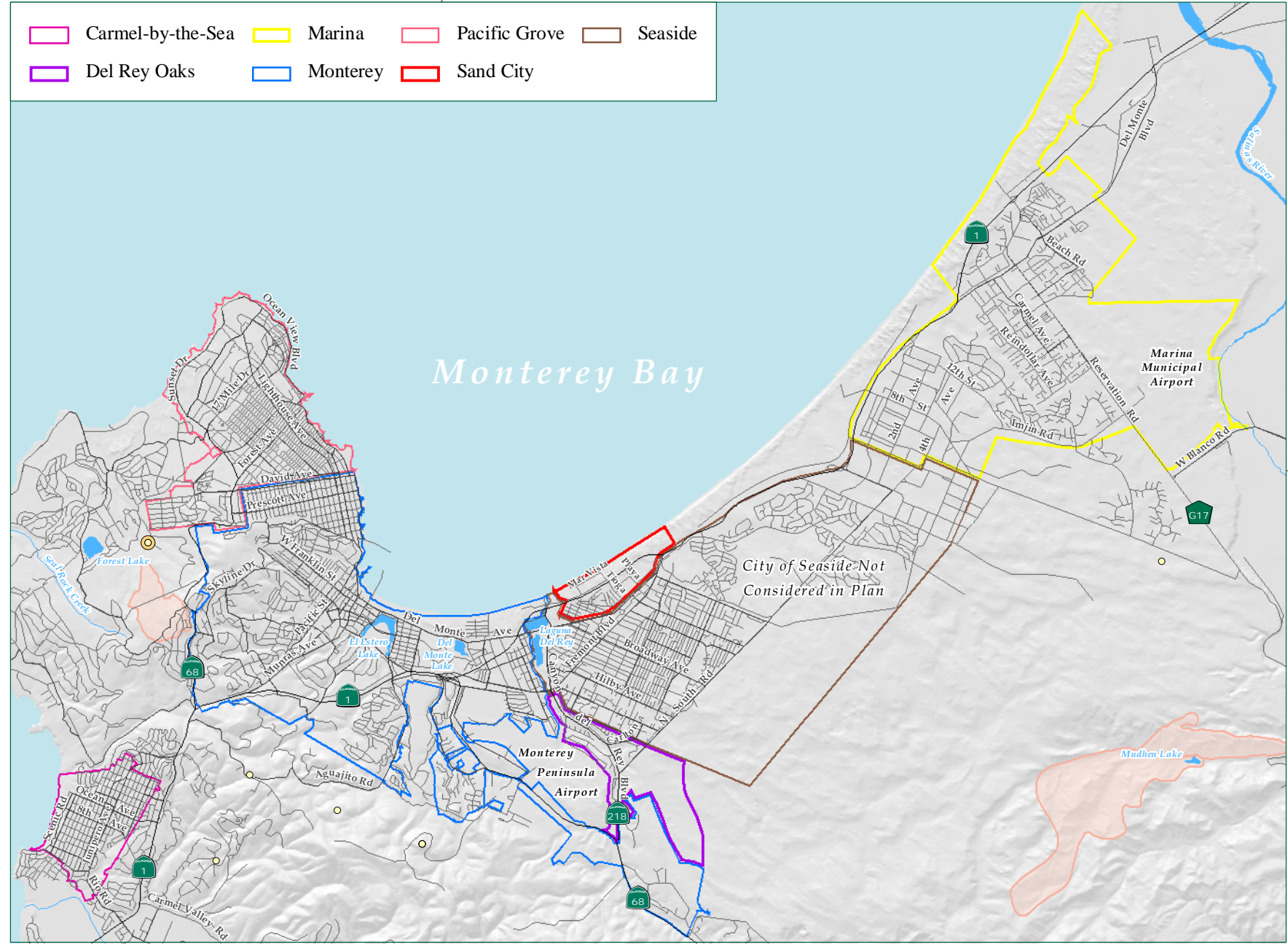
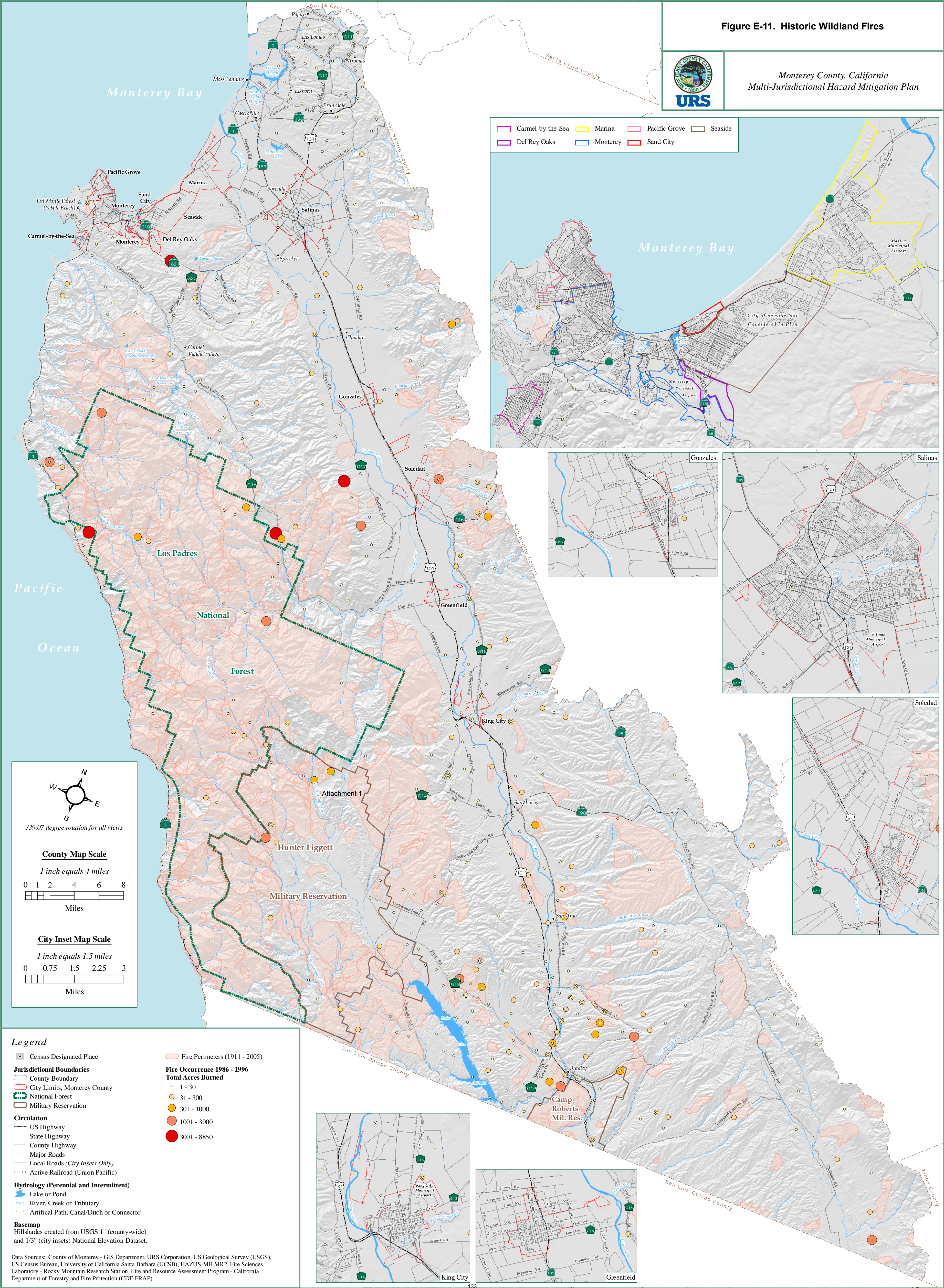
			system also brought roadway flooding and minor debris flows. Carmel River flooding near Mid Valley. SR 1 at Rio Rod culvert is flooding, water going over the roadway.
Storm	November 30, 2019	Carmel	A low pressure system moving in from the Gulf of Alaska and drawing in moisture from the tropics combined to bring the first atmospheric river event of the winter season to the Greater Bay Area. This system brought widespread heavy rainfall, roadway flooding, and strong winds to the region. Rare Storm Warnings were issued over the coastal waters where buoys reported wind gusts in excess of 50 mph. Bay Area peaks recorded wind gusts between 60 to 70 mph with gusts along the Monterey Peninsula and Big Sur Coast at 50 to 60 mph. These winds caused downed trees and power outages across the area. Street at 3438 Martin Rd in Carmel, CA is flooding along with potential flooding at residence as water is being diverted down reporting party's driveway.
Storm	December 3, 2019	Carmel	A low pressure system moving in from the Gulf of Alaska and drawing in moisture from the tropics combined to bring the first atmospheric river event of the winter season to the Greater Bay Area. This system brought widespread heavy rainfall, roadway flooding, and strong winds to the region. Rare Storm Warnings were issued over the coastal waters where buoys reported wind gusts in excess of 50 mph. Bay Area peaks recorded wind gusts between 60 to 70 mph with gusts along the Monterey Peninsula and Big Sur Coast at 50 to 60 mph. These winds caused downed trees and power outages across the area. Carmel River Lagoon rose significantly overnight after 3 to 5 inches of rain fell over the Carmel River Basin. The Monterey OES phoned to say Public Works tried to breach the Lagoon and was unable to do so in time so the surrounding area had to be evacuated due to flooding. Minor Street flooding was observed along 15th, 16th, 17th Ave as well as Carmelo St and Scenic Rd. The unofficial flood stage of the Carmel River Lagoon is 10 ft. The gauge exceeded 10 ft during this time period before the Lagoon was breached and the water level fell dramatically just after 1 am.
Wildfire	August - September 2020	Central Coast, Carmel Valley	A prolonged and oppressive heat wave swept the Central Coast and Bay Area for almost a week from August 14th to August 19th with widespread record breaking temperatures observed across the region. This was caused by a strong high pressure system over the Desert Southwest that expanded westward into California. This dome of heat brought hot temperatures to the area for several days. Multiple days of triple digit afternoon highs were recorded inland with some coastal locations even reaching the mid-90s. Several days of hot and dry weather further dried fuels over the area increasing fire danger. During this event, a surge of monsoonal and tropical moisture from a former Tropical Storm advected northward with sufficient instability to generate multiple high based and dry thunderstorms that produced several thousand lightning strikes over the Greater Bay Area. Many locations saw wind gusts of 40-50 mph with isolated areas seeing gusts of 60-75 mph. This prompted the San Francisco Bay Area forecast office to issue a rare severe thunderstorm warning. These lightning strikes in combination with gusty and erratic outflow winds sparked hundreds of wildfires across the state of California. Several smaller

			<p>fires combined to form complexes some of which are now among the largest wildfires in state history. Most of which were still actively burning at the end of August. Hundreds of thousands of acres have been burned with several hundred structures destroyed as well as a handful of deaths and injuries. Tens of thousands of residents were also forced to evacuate. Additionally, all of these wildfires burning simultaneously across the state gave the Bay Area the worst air quality in the world at one point.</p> <p>Lightning sparked the River Fire in Monterey County on the afternoon of the 16th. Several evacuation orders were issued throughout the month and four people including fire personnel and civilians were injured. Both the River and Carmel Fires caused smoke and ash to rain down on surrounding cities. The River Fire continued to burn through early September. A total of 48,088 acres burned with 30 structures destroyed, 13 damaged, and 4 injuries https://www.fire.ca.gov/incidents/2020/8/16/river-fire/.</p>
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Figure E-11. Historic Wildland Fires



Monterey County, California
Multi-Jurisdictional Hazard Mitigation Plan



County Map Scale
1 inch equals 4 miles

City Inset Map Scale
1 inch equals 1.5 miles

339.07 degree rotation for all views

Legend

- Census Designated Place
- County Boundary
- City Limits, Monterey County
- National Forest
- Military Reservation
- US Highway
- State Highway
- County Highway
- Major Roads
- Local Roads (City Insets Only)
- Active Railroad (Union Pacific)
- Hydrology (Perennial and Intermittent)
- Lake or Pond
- River, Creek or Tributary
- Artificial Path, Canal/Ditch or Connector
- Basemap
- Hillshades created from USGS 1" (county-wide) and 1/3" (city insets) National Elevation Dataset.
- Fire Perimeters (1911 - 2005)
- Fire Occurrence 1986 - 1996 Total Acres Burned
 - 1 - 30
 - 31 - 300
 - 301 - 1000
 - 1001 - 3000
 - 3001 - 8850

Data Sources: County of Monterey - GIS Department, URS Corporation, US Geological Survey (USGS), US Census Bureau, University of California Santa Barbara (UCSB), HAZUS-MH MR2, Fire Sciences Laboratory - Rocky Mountain Research Station, Fire and Resource Assessment Program - California Department of Forestry and Fire Protection (CDF-FRAP)

APPENDIX B



CITY OF CARMEL-BY-THE-SEA

Hazard and Asset Summary Sheet for Wastewater Treatment Facility and Associated Underground Infrastructure

September 17, 2020

TO:	Climate Committee Members
SUBMITTED BY:	Jeff Baron, Councilmember

SUMMARY

Asset: Wastewater treatment facility and associated underground infrastructure (CAWD)

Hazards: Sea level rise, Stronger Storms, More variable rainfall

Version: 2

General Comments and Outlook: The Carmel Area Wastewater District treatment facility (and underground infrastructure) will be under increasing environmental pressure as sea level rises and storms (and hence rainfall drainage down the Carmel River watershed) increase in intensity. CAWD's prediction is that the facility will need to be relocated by 2062, which is approximately 40 years in the future. The long term options for the facility seem to be

1. Retreat up the valley
2. Pump to Monterey One Water

Identified Issues:

- Both long term projects are said to be expensive, in the neighborhood of \$100,000,000.
- It will take a significant amount of time to make the decision as to which path to take.
- The value (cost) of the current facility (which may have to be abandoned) is approximately \$200,000,000
- The lagoon situation will become increasingly precarious as time passes.

Outstanding Issues:

- Do not understand (yet) an overrun scenario if the move is not completed in time. What are the consequences and/or costs if the plant is flooded during an extreme weather event?
- Of lesser visibility but still important are possible mitigation measures required for the CAWD underground and pumping infrastructures, particularly along the coastline.

Possible Committee Comments or Actions for Final Report

- The committee could/should recommend that the Carmel City Council pass a resolution on this topic, ensuring that the city monitors the transition towards a relocated plant, and perhaps has formal, written input into this process. The resolution might:
 - Document the asset and the various hazards
 - Assign staff/council personnel as liaisons to CAWD, with an eye towards resolution of this asset's vulnerability
 - Urge CAWD to take specific actions

REFERENCES

Attachment 1

- The CAWD Sea Level Rise Study can found at <https://www.cawd.org/2018-sea-level-rise-study>
- The CAWD presentation to the Committee: https://ci.carmel.ca.us/sites/main/files/file-attachments/ccc_presentation_v3.pptx?1600365293
- Recording of the September 17, 2020 Meeting at which CAWD presented: https://drive.google.com/file/d/1PZK0tP8b2jB_XoTtBJLPcXmLVEI9kY1Z/view

HISTORY

- Version 1 presented at Committee meeting on 10/15/2020
- Version 2 presented at Committee meeting on 11/19/2020.



CITY OF CARMEL-BY-THE-SEA

Hazard and Asset Summary Sheet for the Urban Forest

October 15, 2020

TO:	Climate Committee Members
SUBMITTED BY:	Scott Lonergan, Committee Member

SUMMARY

Asset: Urban Forest

Hazards: Stronger Storms & Wind, More Variable Rainfall, Increased Temperature, Wildfires

Version: 1

General Comments and Outlook:

- Carmel-by-the-Sea's upper canopy trees impart a distinctive ambiance and identify to the City, and provide several climate adaptation benefits including reducing urban heat island effect, capturing stormwater runoff, improved air quality, and sequestering carbon
- Increased transpiration and water demand, coupled with less consistent water availability as a result of fewer, larger storms, and reduced fog, is increasing tree stress
- Tree species selection and density is a 50 to 100-year decision with implications for 1) tree resilience and ecology, 2) aesthetics, and 3) safety and maintenance cost

Identified Issues:

- Our urban forest lacks age and species diversity and is currently showing signs of stress.

Remaining Issues to be Understood:

- Urban forest consideration as part of Action Plan e.g. carbon capture, walkability and desirability of the environment

Possible actions to be recommended in the committee's Final Report

- Update the CBTS Forest Management Plan, including a public process to determine tree canopy species and density objectives, and a process for ongoing monitoring and plan review.

REFERENCES

- CBTS Forest Management Plan: https://ci.carmel.ca.us/sites/main/files/file-attachments/forest_management_plan_0.pdf?1510272614
- Sara Davis, City Forester 15-Oct-2020 Climate Change Committee presentation video: <https://carmel.novusagenda.com/agendapublic/VODPreview.aspx?meetingVideoID=898ec714-3a25-42a8-ae8f-2441cf4c1440&index=329>
- Canopy.org including the 16-Jul-2020 Resilient Trees for a New Climate webinar, including presentations from Igor Lacan, and Dave Muffly: <https://canopy.org/more-trees-please/>

History

- Version 1 presented at committee meeting on 11/19/2020
- Sent for comments to Sara Davis (City Forester) on 11/10/2020



CITY OF CARMEL-BY-THE-SEA

Hazard and Asset Summary Sheet – Community Wildfire Preparedness

October 15, 2020

TO: Climate Committee Members

SUBMITTED BY: John Hill, Committee Member

SUMMARY

Asset: Public and Private Property, Public Safety

Hazards: Local Fires and Wildfire damage due to accumulated dry fuel & increasing wind and weather events.

Version: 1

General Comments and Outlook: The severity of fires and wildfires in California continues to increase in intensity and occurrence. California had low intensity fires until the logging of old growth forests, the introduction of grazing and invasive grasses, indigenous burning was replaced by fire suppression, and urban sprawl invaded the wildland areas. Community wildfire preparedness is supported by Monterey Fire's Defensible Space Inspection Program and coordination with surrounding fire prevention organizations to limit fire and wildfire risk through planning, prevention, and mitigation. Monterey Fire and the Carmel Public Works Department have working relationships with the Pebble Beach Services District for fire mitigation in Pescadero Canyon, and partner with the Friends of Mission Trail Nature Preserve for fuel reduction in Mission Trail Nature Preserve. CalFire's Fire & Resource Assessment Program (FRAP) and Fire Hazard Severity Zone (FHSZ) maps are available on line with information on forest assessment, fire severity zones, and defensible space. Monterey Fire personnel have inspected and graded all Carmel parcels as pass, pending, or fail. Grading criteria is evolving as knowledge on fire spread is developed. Current criteria is based on dry fuel accumulation, spark arrestors, overhanging tree limbs, etc.

Identified Issues:

- Some northern and eastern areas within City limits are within the Very High Fire Hazard Severity and Wildland Urban Interface (WUI) Zones.
- Some areas within the City limits and adjacent communities have accumulated fuel levels as well as overhead infrastructure (i.e. Mission Trail Park) that present fire and wildfire risks.
- An integrated approach to fire resilience in the landscape along with hardening structures against fire are ways to mitigate fire impact on lives and property.
- Fire resiliency can be controlled by creating defensible space with Fire Defense Zones around structures, an ignition zone (5 feet), a defense zone (30 feet) and reduced fuel zone (100 feet)
- Fuel is affected by the height and placement of plants & their chemical content. Pine forests and Oak woodlands are resilient but dead material and limbed branches in the understory must be maintained.
- Fire retardant plants, trees, and ground covers can absorb heat and fire without burning, trap embers, reduce wind speed, and slow the travel of a fire.
- 9 out of 10 structures lost are due to low intensity ground fire and embers in the 5-foot zone around them. Combustible materials such as decks, wood chips, and plant material should not be located within 5 feet of nor attached to the structure.

- Vents and windows are the most vulnerable areas in a house, gaps in vent screening should be no more than 1/8” maximum and plants should not be located near or below windows. Attachment 1
- The City’s Building Department has adopted the California Building Code requirements in the Very High Fire Hazard Zone but the City’s planning guidelines currently do not address them or may be in conflict with them.

Possible actions to be recommended in the committee’s Final Report

- Carmel City Council consider fire hazard severity and evacuation plans in the safety elements of the General Plan and monitor the level of fire hazards within and surrounding the community. Resolutions and/or Ordinances could include:
 - Documenting the various existing hazards.
 - Assigning staff/council personnel as liaisons to CalFire (Cypress Fire District), and adjacent communities which could threaten Carmel in a wildfire.
 - Assist Monterey Fire in its current efforts in inspecting and identifying fire risks.
 - City Forester consider fire retardant trees and plants in City controlled areas and for tree replacement requirements for private property.
 - Update City Planning guidelines to reflect or not conflict with current California codes (CBC Chapter 7 & CRC R337) in the Very High Fire Hazard Severity (VHFHS) Zone.

REFERENCES

- Fire and Resource Assessment Program (FRAP) ResilientCA.org
- Monterey Fire Defensible Space Inspection Program mry.maps.arcgis.com , monterey.org/fire
- CalFire Defensible Space/Home Hardening readyforwildfire.org
- CalFire Fire Severity Zone Viewer gis.data.ca.gov
- Wildland Urban Interface (WUI) frap.fire.ca.gov
- Every Building’s Wildfire Risk in Monterey County defensibleapp.com
- The A.I.A. Designing for Fire Presentation <http://youtu.be/MWslhXidZnc>

History

- Version 2 presented at committee meeting on 12/17/2020



CITY OF CARMEL-BY-THE-SEA

Hazard and Asset Summary Sheet for the Multi-Jurisdictional Hazard Mitigation Plan

November 19, 2020

TO:	Climate Committee Members
SUBMITTED BY:	Agnes Martelet, Environmental Compliance Manager

SUMMARY

Asset: multiple
Hazards: multiple
Version: 1

General Comments and Outlook:

- The Multi-jurisdictional Hazard Mitigation Plan (HMP) was presented by Kelsey Scanlon of the Monterey County Office of Emergency Services. The HMP establishes a broad local vision and guiding principles for reducing hazard risk, and proposes specific mitigation actions to reduce identified vulnerabilities. The plan is due for renewal in 2021.
- This plan helps local jurisdictions comply with the climate change planning requirements of SB 379, and also allows them to be eligible for pre- and post-disaster mitigation project grant funding from the Federal Emergency Management Agency (FEMA).
- Objectives of the HMP include:
 - Protect life and property
 - Minimize economic losses
 - Enhance community resilience
 - Reduce burden on local government and taxpayers
 - Break the cycle of repetitive disaster damages
 - Speed disaster recovery
 - Integrate hazard mitigation planning with other local planning and decision-making
- The HMP addresses the impacts of Climate Change and shares many objectives with Climate Adaptation Plans. Identified hazards that will be exacerbated by Climate Change in Monterey County include: wildfires, flooding, coastal erosion, landslides and debris flows, extreme heat and drought, human health hazards, and mass migration.

Identified Issues / To-do:

- Each of the 12 cities in the County will provide mitigation strategies and projects to include into the HMP. By including projects into the HMP, jurisdictions may be eligible for FEMA grant funding.

Possible Committee Actions

- The Committee could provide feedback and recommendations for hazard mitigation projects to include in the HMP. The Monterey County Office of Emergency Services anticipates soliciting comments and projects in the Spring of 2021.

- Monterey County Hazard Mitigation webpage: <http://www.co.monterey.ca.us/government/departments-a-h/administrative-office/office-of-emergency-services/hazard-mitigation>

History

- Version 1 presented at committee meeting on 12/17/2020



CITY OF CARMEL-BY-THE-SEA

Hazard and Asset Summary Sheet – Storm Drain Master Plan

December 17, 2020

TO:	Climate Committee Members
SUBMITTED BY:	Agnes Martelet, Environmental Compliance Manager

SUMMARY

Asset: Public and Private Property, Public Safety

Hazards: Flooding due to stronger storms

Version: 1

General Comments and Outlook: The Director of Public Works presented the City's first Storm Drain Master Plan (SDMP), which was completed in 2020. The plan includes an evaluation of the physical condition of the existing storm drain system, a hydrologic and hydraulic analysis, and a prioritization of improvements to fix deficiencies and capacity issues. With the proposed improvements outlined in the SDMP at an estimated cost of \$9.9 million, the drainage system could handle a 10-year storm (3 inches in 24 hours) without flooding.

Identified Issues:

- The City's storm drain system was built to handle only a 10-year storm; it was less costly to construct over the years but incurs the potential for more frequent flooding due to reduced capacity. Most agencies have storm drainage systems that accommodate 20-year storms.
- Repairs are needed for the system to currently be able to handle a 10-year storm.
- Climate change may cause storm intensities to increase by 12 to 20%. Models indicate that, with larger storms, some flooding may occur in the northeast part of the City, the southwest corner near Santa Lucia, and in Mission Trail Nature Preserve, even with improvements.

Possible actions to be recommended in the committee's Final Report

- Funding of the SDMP projects as part of the City's CIP and including them in the Multi-jurisdictional Hazard Mitigation Plan for potential FEMA funding.
- Upsizing pipes as repair projects are conducted so that critical components of the system can eventually handle larger storms

REFERENCES

- Carmel-by-the-Sea Storm Drain Master Plan: https://ci.carmel.ca.us/sites/main/files/file-attachments/complete_final_sdmp_report_september_2020_small.pdf?1602098761

History

- Version 1 presented at committee meeting on 2/18/2021



CITY OF CARMEL-BY-THE-SEA

Hazard and Asset Summary Sheet for the Beach, Bluff, Coastal Armoring, Public Infrastructure, and Private Property

February 18, 2021

TO:	Climate Committee Members
SUBMITTED BY:	Scott Lonergan, Committee Member

SUMMARY

Asset: Beach, Bluff, Coastal Armoring, Public Infrastructure, and Private Property

Hazards: Sea Level Rise, Stronger Storms and Waves, More Variable Rainfall

Version: 8-Feb-2021

General Comments and Outlook:

- It is not widely understood that the climate change threat to coastal infrastructure, private property, the beach, along with the associated impacts on tourism and Carmel's economy, is so substantial, and that the potential solutions so complex.
- Nearly the entire coastline south of 8th Avenue has been armored by a combination of seawalls, vertical or stepped retaining walls, or engineered rock revetments. Secondary impacts to armoring often include escalating maintenance costs, and the loss of beach, aesthetics, and ecology.
- Coastal erosion and storm events already pose a threat, and climate change driven sea level rise and storm intensity will dramatically increase that threat.
- Longer term, the degree to which the City should, or can, forestall the natural processes driven by climate change is not fully understood.

Identified Issues:

- The frequency and duration of beach inundation and wave attack on armoring and natural barriers is increasing. The impacts of armoring on beach sand loss, as well as the seasonal migration of sand on and off shore, has not been investigated.
- The natural erosion processes along the mostly unarmored North Dunes area will accelerate bluff retreat and potentially create space for the beach to migrate inland. North Dune habitat at the retreating bluff would be reduced in this case.
- Seawall integrity is being compromised by ongoing erosion of the relatively soft sandstone base of some seawalls. Equipment access to areas on the beach required for completing repairs and maintenance is increasingly limited.
- Public infrastructure at risk along the coast including Scenic Road and the bluff walkway, beach access stairways, bathrooms, armoring, Del Mar Avenue beach parking, and some utilities.
- Private property at risk along the coast including: 1) that along Scenic Road, 2) that between 8th Avenue and Del Mar Avenue, and 3) that at the north end of the City (Pescadero Canyon area).
- The need to educate the community about the climate change threat to coastal infrastructure, private property, the beach, and the associated impacts on tourism and Carmel's economy, along with the potential solutions.

Remaining Issues to be Understood (in Preparation for the Committee's Final Report):

- Engagement of a coastal engineer with experience in planning for climate change in an LCP context.
 - Further assessment of the risks to our coastal assets.

- Determine adaptation measures and LCP policy options. Draft updated or new LCP for certification with the Coastal Commission.
 - Prioritize adaptations and projects that protect and maintain public resources and beach access, and the viability of the community and tourism.
 - Coordinate with regional partners (e.g. County, Pebble Beach) and align with the Coastal Commission on acceptable plans.
 - Determine how the options and strategies along the coast are different for the:
 - Mostly natural, unarmored North Dunes area
 - Mostly armored bluffs along Scenic Road south of 8th Avenue
 - Unarmored dunes along private property between 8th Avenue and Del Mar Avenue
 - Armored private properties on the bluffs at the north end of the City (Pescadero Canyon area).
 - Evaluate feasibility and phasing, the use of thresholds for when different elements of these strategies are implemented. For example, maintaining armory or other defenses up to a point, but then if a threshold is reached, embracing a new bluff line and different adaptive measure.
 - Consider legal liabilities, coastal armoring and building regulations, real estate disclosures, and fiscal impacts.
 - Community-wide outreach and education, including that focused on exposed property owners.
- Actions independent of engaging a coastal engineer including:
 - Characterize erosion hot spot areas of particular concern along the City's coastline based on maintenance records, historical knowledge, and further assessment.
 - Research Carmel Cove sand supply dynamics through the engagement of local experts (e.g. CSUMB, NPS) or other resources.
 - Assess risks with the USGS Coastal Storm Modeling System (CoSMoS).
 - Investigate and, if appropriate, apply for pre-disaster planning and mitigation funding from the State or other sources.
 - Amend City documents, if appropriate, to enable the request of FEMA disaster relief post-disaster.

Possible Actions to be Recommended in the Committee's Final Report

- Update the CBTS Shoreline Management Plan and the General Plan / LUP.
- Proactive sourcing or contracting for repair resources prior to episodic events.

REFERENCES

- Coastal Resource Management Element of the Carmel-by-the-Sea General Plan: <https://ci.carmel.ca.us/post/general-plan>
- Carmel-by-the-Sea / Shoreline Management Plan: <https://ci.carmel.ca.us/post/additional-forestry-division-resources>
- David Shonman and Greg D'Ambrosio 19-Nov-2020 Climate Change Committee presentation slides: https://ci.carmel.ca.us/sites/main/files/file-attachments/shonman_-_ccc_presentation_-_final_nov_19_2020.pdf?1605903015
- USGS representative, Andrea O'Neill, 17-Dec-2020 Climate Change Committee presentation video: <https://carmel.novusagenda.com/agendapublic/MeetingView.aspx?MeetingID=922&MinutesMeetingID=510&doctype=Agenda>
- California Coastal Commission and Local Government Public Workshop on 17-Dec-2020 to discuss sea level rise planning in an LCP context: <https://documents.coastal.ca.gov/reports/2020/12/SM-Th3/th3-12-2020-report.pdf>

History

- Version 8-Feb-2021



CITY OF CARMEL-BY-THE-SEA

Water Supply Summary

January 21, 2021 Meeting

TO:	Climate Committee Members
SUBMITTED BY:	Michael LePage, Committee Member

SUMMARY

Asset:

Monterey Peninsula water supply

Hazards:

Seasonal drought, climate warming, sea level rise

General Comments and Outlook:

California is located in a drought-prone area of the United States. Even though there are yearly seasonal variations in rainfall, the average temperature in California is trending up. This is the result of climate change. A warming climate leads to the increase of drought frequency and duration.

Additionally, climate change is predicted to increase local sea level rise by 1.5 meters by the century's end. Storm surges along with high tides and extreme weather events will result in much higher levels of sea level rise. This will have an impact on the local water delivery infrastructure which is located in the areas of projected sea level rise.

The Monterey Peninsula's water supply has historically been provided by the Carmel River, local reservoirs and ground water. The State Water Resources Control Board has issued a Cease and Desist Order, 95-10, that requires California American Water Company (CalAm) to reduce its unlawful pumping of water from the Carmel River. The original pumping deadline has been extended to 2021. In response to the Cease and Desist Order, CalAm is pursuing a permit for a desalinization water treatment plant located in Marina that would utilize slant wells to source seawater for desalinization.

Simultaneously with this project, the Monterey Peninsula Water Management District (MPWMD) has worked in collaboration with 9 local agencies to create the Pure Water Monterey Project. The project sources water from four sources, domestic waste water, agriculture produce water, agriculture waste water and storm water. By the use of advanced water recycling technology, all these water sources are purified to provide potable water for domestic and agricultural use. Additionally, the project injects seasonal water flows into the Seaside aquifer to provide ground water replenishment. The project potentially will provide one third of the water demand for the area it serves.

Identified Issues:

- California is located in a drought-prone area of United States.
- Average temperatures are trending upward because of climate change
- Global warming is causing dryer weather patterns resulting in more frequent droughts.

- The State Water Resources Control Board has issued a Cease and Desist Order (95-10) to reduce unlawful pumping from the Carmel River. Attachment 1
- The proposed desalinization plant requires a cumbersome permitting process resulting in an expensive water source.
- Climate change is causing sea level rise that will impact water related infrastructure, both delivery and waste treatment

Possible actions to be recommended in the committee's Final Report

- Keep informed regarding the Carmel Lagoon Ecosystem Protective Barrier and the Scenic Road Protective Barrier System.
- Provide maps of predicted sea level rise for the required shore line assessment reports
- Review city infrastructure opportunities for implementing additional water conservation measures

REFERENCES

- Monterey Peninsula Water Management website, <https://www.mpwmd.net/>
- Pure Water Monterey Project, <https://purewatermonterey.org/>
- Monterey Peninsula Integrated Regional Water Plan, <https://www.mpwmd.net/environmental-stewardship/irwm-program/final-draft-monterey-peninsula-integrated-regional-water-management-plan-update/>
- Carmel Lagoon Ecosystem Protective Barrier and Scenic Road Protective Barrier System, <https://www.co.monterey.ca.us/government/departments-i-z/resource-management-agency-rma-/planning/current-major-projects/carmel-lagoon-ecosystem-protective-barrier-and-scenic-road->

History

- Version 1 presented at committee meeting on 4/15/21



CITY OF CARMEL-BY-THE-SEA

2018 Draft Greenhouse Gas Inventory Summary

February 18, 2021 Meeting

TO:	Climate Committee Members
SUBMITTED BY:	Evan Kort, Associate Planner

SUMMARY

Asset:

2018 Draft Greenhouse Gas (GHG) Inventory

Hazards:

N/A

Key Terms:

- **Baseline Year:** A specific year against which emissions are tracked over time.
- **Greenhouse gases (GHG):** Carbon dioxide (CO₂), methane (CH₄), and nitrous oxide (N₂O). Emissions are expressed in equivalents of carbon dioxide (CO₂e).
- **Community Greenhouse Gas Inventory:** A calculation of GHG emissions generated as a result of activities within a community.

General Comments and Outlook:

The Association of Monterey Bay Area Governments (AMBAG) has prepared GHG Inventories for member agencies for 2005, 2010, 2015. Starting 2018, in partnership with Central Coast Community Energy (3CE), AMBAG is preparing GHG Inventories for 3CE member jurisdictions for 2018, 2019, and 2020 –this 2018 GHG Inventory was prepared as part of the MOU between AMBAG and 3CE.

The state of California has adopted a baseline year of 1990 for statewide targets. The 2020 target (AB 32) was to return to 1990 emission levels, and the 2030 target (SB 32) is a 40% reduction from 1990 levels with the 2050 target (executive order: S-3-05) being an 80% reduction from 1990 levels. In 2018, the Governor signed an executive order (B-55-18) with the goal of achieving carbon neutrality by 2045. Most cities do not have 1990 inventories and it is not possible to go back and establish a 1990 baseline. Therefore, in order to quantify targets, most cities use 2005 inventories and assume emissions increased by approximately 15% between 1990 and 2005.

The emission inventory is broken into 5 sectors: Residential, Commercial/Industrial, Transportation, Solid Waste, Wastewater. Residential and commercial/industrial sectors inventory electricity and natural gas emissions. The transportation sector is an inventory of emissions resulting from travel on local roads in the City of Carmel-by-the-Sea. Solid waste is an inventory of emissions from the waste that is generated by the community and sent to the landfill, and wastewater is an inventory of emissions from the treatment of wastewater.

AMBAG gathered data directly from PG&E and 3CE for electricity and natural gas consumption. Transportation data is gathered from an annual report prepared by the California Department of Transportation (CalTrans) that looks at the amount of Vehicle Miles Traveled on local roads as well as the CARB's EMFAC model, which is used to estimate emissions based on on-road travel. Solid waste data is obtained from CalRecycle's annual

report as well as characteristic studies that study the composition of materials in the landfill. Lastly, wastewater data is gathered from a population-based method that uses the population to estimate the emission.

2018 Inventory Findings:

- Electricity between 2005 to 2018 has become cleaner. Electricity use has remained stable; however, the carbon intensity of the electricity has been drastically reduced (likely due to the local energy procurement being taken over by 3CE).
- Data sources have reported less and less travel on local roads over time resulting in a reduction in GHG for the transportation sector.
- Solid waste being sent to the landfill from the city has decreased significantly (46% emission reduction) and the composition of the solid waste being sent to the landfill is less impactful in 2018 than it was in 2005.
- Wastewater: not discussed.

Identified Issues:

- The California Air Resources Board (CARB) is required to update their Scoping Plan every 5 years. The scoping plan was last updated in 2017, prior to the executive order establishing a goal of carbon neutrality by 2045 so the carbon neutrality target has yet to be included in the Scoping Plan (80% reduction by 2050 is still the official target). When the scoping plan is updated in 2022, the 2045 carbon neutrality target will likely be included in the Scoping Plan and is expected to be the main target moving forward. There is still uncertainty regarding 2045 vs 2050 goal.
- The significant decrease in GHG emissions in the transportation sector may be the result of a change in methodology by CalTrans in preparing their annual report, which may account for some or most of the reduction in GHG emissions. The report provided to AMBAG from CalTrans is a finished product that does not provide the opportunity to evaluate the methodology used.
- CalRecycle reports the solid waste data and the reason for the significant decrease in emissions is unclear.

Possible actions to be recommended in the committee's Final Report

- Maintain the 2030 goal outlined in SB 32. Although there is still uncertainty regarding the 2045 vs 2050 goals, the Committee is interest in using the more rigorous 2045 carbon neutrality target as its goal for emissions reductions.
- Re-evaluation of emissions may be required as a result of possible changes in methodology that may have impacted the outcomes of the inventory. Consultant assistance will be required in making a determination regarding the accuracy of the inventory and methodology.

REFERENCES

- [City of Carmel Draft 2018 Greenhouse Gas Inventory](#)
- EMFAC Model: <https://ww2.arb.ca.gov/our-work/programs/mobile-source-emissions-inventory/msei-modeling-tools>

History

- Version 2 presented at committee meeting on 7/15/21



CITY OF CARMEL-BY-THE-SEA

Central Coast Community Energy

February 18, 2021 Meeting

TO:	Climate Committee Members
SUBMITTED BY:	Agnes Martelet, Environmental Compliance Manager

SUMMARY

Asset:
Power Supply

Hazards:
Greenhouse gas emissions

General Comments and Outlook:

Central Coast Community Energy (3CE, formerly Monterey Bay Community Power) is a Joint Powers Authority with 33 municipal members to deliver energy throughout the Central Coast. 3CE delivers the energy to the power grid that is operated by PG&E locally. 3CE has a goal to reach 100% clean and renewable energy by 2030, although they have clarified that there will be times of the day when there will be natural gas on the grid for reliability when renewables are not available.

Regionally, 3CE is investing in technology to increase supply and storage capacity for reliable and clean power. Locally, 3CE is investing in programs to increase the pace of electrification, including in the transportation and construction sectors, and in the agricultural industry. 3CE also provides an incentive for local municipalities to adopt reach codes for energy conservation and electrification to reduce the use of natural gas in the built environment. Reach codes are more advanced or enhanced building codes that go above and beyond the State's building code requirements.

Identified Issues:

- Providing 100% clean energy power supply is challenging due to the times of energy use that do not always match the times of peak power supply from renewable sources. Thus, natural gas will remain a source of energy on the power grid.

Possible actions to be recommended in the committee's Final Report

- Consider taking advantage of 3CE's reach code incentive to amend the City's municipal code to increase the pace of energy conservation and electrification in local construction projects.

REFERENCES

- 3CE Presentation at the Climate Committee meeting: <https://carmel.novusagenda.com/agendapublic/VODPreview.aspx?meetingVideoID=5ddd8ae3-bf7f-456c-8c9f-38f55eeb55a6&index=3004> Attachment 1
- 3CE Energy Programs: <https://3cenergy.org/energy-programs/>

History

- Version 1 presented at committee meeting on 5/20/21



CITY OF CARMEL-BY-THE-SEA

Hazard and Asset Summary Sheet for Electrical Grid Resilience

May 20, 2021

TO:	Climate Committee Members
SUBMITTED BY:	Jeff Baron, Councilmember

SUMMARY

Asset: Electrical Grid

Hazards: Stronger Storms, Increasing temperatures

Version: 1

General Comments and Outlook: The electrical grid in Carmel has been historically somewhat unreliable during weather events, with outages affecting from half a block to the entire community. In the future, we could see causes of disruptions (related to climate change) include:

1. Larger weather events (storm damage to power line infrastructure.)
2. Public safety power shutoffs (related to the threat of wildfire during wind events along transmission lines.)
3. Supply shortages (related to grid shortages, as seen during the summer of 2020.)

Identified Issues:

Grid failure can lead to numerous effects, including:

- Residential – spoiled food, cold and dark homes
- Commercial – essential businesses shuttered
- Tourism – loss of income of reputation
- Government services impacts (police and fire, public works)

Outstanding Issues:

- Would be good to have access to PG&E Grid map to better understand power grid
- Ask PG&E for historical outage map (or list) with causes
- Work with PG&E to understand possible PSPS transmission lines. Which lines are subject to these? How does this effect Carmel?
- PG&E: Microgrids
 - Power sources within the power grid?
 - Could we get power from somewhere else, some dedicated “outside line” not subject to power outages?
- Community business survey to determine which businesses are grid resilient

Possible Committee Comments or Actions for Final Report

Explore and make recommendations on possible mitigation measures:

- Prevention
 - Tree planning and maintenance - Work with PG&E to prioritize tree trimming
 - Explore the possibility of undergrounding select or all utility lines (via with property assessments)
- Personal resiliency
 - Require new homes to be “ready” for home power storage
 - Require homes to be “EV ready” (also helps with GHG metrics.)

- Explore new home requirements for home power generation (solar, fuel cells, generators)
- Carmel resiliency
 - Explore areas in which Carmel should or could provide resiliency services to local residents and business, beyond the simple continuation of essential government services. For example:
 - Warming or cooling areas
 - Electrical phone and other small appliance charging facilities
 - Food and other supplies (for visitors)
 - Communication infrastructure
- Regional resiliency
 - Explore possible peninsula microgrid

Attachment 1

REFERENCES

- [Click here to enter text.](#)

HISTORY

- Version 1 presented at Committee meeting on 5/20/2021



CITY OF CARMEL-BY-THE-SEA

2018 Draft Greenhouse Gas Inventory Summary

January 21, 2021 Meeting

TO:	Climate Committee Members
SUBMITTED BY:	Carrie Theis, Committee Member

SUMMARY

Asset:

Regional recycling, waste processing and disposal facility

Hazards:

Methane gas emissions

General Comments and Outlook:

The Monterey Regional Waste Management District is located north of Marina and has been operating since 1951 to handle the waste processing and disposal along with recycling for the Monterey Peninsula. Over the years they have added programs to their facility producing an integrated approach to reduce, reuse and recycle the waste produced on the Monterey Peninsula.

The decomposing of waste materials and organics creates methane gas. Extraction of methane from the landfill creates renewable power for the use by the District and Monterey 1 Water (M1W) to help produce recycled water. Soon the District will be converting landfill gas to Compressed Natural Gas (CNG) to provide fuel for the trash trucks. CNG is a carbon negative fuel. The extraction of methane gas from the landfill produces 5 megawatts of power and the CO₂ offset is about 22,000 tons per year.

Windrow Composting is used to manage organics processing to produce compost for nearby organic farms. This process keeps the yard trimmings and organics out of the landfill and creates a nutrient rich compost. It has been shown that applying ¼" of compost (California Carbon Project) to grasslands will improve the soil environment for over a 100 years. Plants thrive more by pulling CO₂ out of the air to help offset greenhouse gas emissions. A more widespread application of compost could work to reverse climate change by becoming a carbon bank.

Food recovery and organics processing has become a priority for the State of California with the implementation of AB1826 in 2014 for the mandatory commercial organics recycling and SB1383 in 2016 to mitigate climate change with the Short-Lived Climate Pollutant Reduction Strategy.

The goal of SB1383 is to divert 75% of organic material from the landfill and 20% of edible food for recovery by 2025. To try to obtain the goal of 75% diversion of organic food waste, the waste haulers will be implementing the collection of residential food waste sometime this year. To handle the increased tonnage of organic materials, the Waste Management District will need to implement a larger anaerobic digesting system to prevent the methane gas from being released into the environment. The edible food recovery part of this bill will be accomplished by having the restaurants partner with the Monterey County Food Bank.

Identified Issues:

Attachment 1

- The challenges will be to meet the diversion goals set by the State by continuing to educate the public about recycling and introduce the concept of organics waste diversion. The program logistics of diverting edible food from the restaurants to the Monterey Food Bank program is yet to be determined.

REFERENCES

- Monterey Regional Waste Management District website – www.mrwmd.org.
- Monterey Regional Waste Management District presentation to the Climate Committee: <https://www.youtube.com/channel/UCAu0eILwM1JCDkzD7Js86mA>

History

- Version 1 presented at committee meeting on 8/19/21



CITY OF CARMEL-BY-THE-SEA PUBLIC IMPROVEMENT AUTHORITY AGENDA

Mayor Dave Potter, Council Members Jeff Baron,
Karen Ferlito, Bobby Richards, and Carrie Theis
Contact: 831.620.2000 www.ci.carmel.ca.us

All meetings are held in the City Council Chambers
East Side of Monte Verde Street
Between Ocean and 7th Avenues

PUBLIC IMPROVEMENT AUTHORITY SPECIAL MEETING Monday, August 2, 2021 4:30 PM

Governor Newsom's Executive Order N-29-20 has allowed local legislative bodies to hold public meetings via teleconference and to make public meetings accessible telephonically or otherwise electronically to all members of the public seeking to observe and to address the local legislative body. Also, see the Order by the Monterey County Public Health Officer issued March 17, 2020. The health and well-being of our residents is the top priority for the City of Carmel-by-the-Sea. To that end, this meeting will be held via teleconference and web-streamed on the City's website ONLY.

Click the following link to attend via Zoom (or copy and paste the link into your browser); <https://ci-carmel-ca-us.zoom.us/j/96210728499?> Meeting ID (if needed): 962 1072 8499; Passcode (if needed): 923512; or to attend via telephone, dial 1-669-900-9128

The public can also email comments to cityclerk@ci.carmel.ca.us. Comments must be received 2 hours before the meeting in order to be provided to the legislative body. Comments received after that time and up to the beginning of the meeting will be added to the agenda and made part of the record.

CONSENT AGENDA

Items on the consent agenda are routine in nature and do not require discussion or independent action. Members of the Council, Authority, Board or Commission or the public may ask that any items be considered individually for purposes of Council, Authority, Board or Commission discussion and/ or for public comment. Unless that is done, one motion may be used to adopt all recommended actions.

e used to adopt all recommended actions.

1. September 1, 2020 Special Meeting Minutes and September 3, 2020 Adjourned Meeting Minutes
2. Resolution No. PIA 2021-001 superseding Resolution No. 92-01 and establishing a regular meeting time and date

ORDERS OF BUSINESS

Orders of Business are agenda items that require City Council, Authority, Board or Commission discussion, debate, direction to staff, and/or action.

ADJOURNMENT

This agenda was posted at City Hall, Monte Verde Street between Ocean Avenue and 7th Avenue, outside the Park Branch Library, NE corner of Mission Street and 6th Avenue, the Carmel-by-the-Sea Post Office, 5th Avenue between Dolores Street and San Carlos Street, and the City's webpage <http://www.ci.carmel.ca.us> in accordance with applicable legal requirements.

SUPPLEMENTAL MATERIAL RECEIVED AFTER THE POSTING OF THE AGENDA

Any supplemental writings or documents distributed to a majority of the City Council regarding any item on this agenda, received after the posting of the agenda will be available for public review at City Hall located on Monte Verde Street between Ocean and Seventh Avenues during regular business hours.

SPECIAL NOTICES TO PUBLIC

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at 831-620-2000 at least 48 hours prior to the meeting to ensure that reasonable arrangements can be made to provide accessibility to the meeting (28CFR 35.102-35.104 ADA Title II).



CITY OF CARMEL-BY-THE-SEA PUBLIC IMPROVEMENT AUTHORITY Staff Report

August 2, 2021
CONSENT AGENDA

TO: Honorable Chair and Public Improvement Authority Directors

SUBMITTED BY: Chip Rerig, City Administrator

APPROVED BY: Chip Rerig, City Administrator

SUBJECT: September 1, 2020 Special Meeting Minutes and September 3, 2020 Adjourned Meeting Minutes

RECOMMENDATION:

Approve the September 1, 2020 Special Meeting Minutes and September 3, 2020 Adjourned Meeting Minutes as presented.

BACKGROUND/SUMMARY:

The Public Improvement Authority routinely approves the Minutes of its meetings.

FISCAL IMPACT:

None for this action.

PRIOR CITY COUNCIL ACTION:

None for this action.

ATTACHMENTS:

- Attachment #1, 9-1-2020 Public Improvement Authority Special Meeting Minutes
- Attachment #2, 9-3-2020 Public Improvement Authority Adjourned Meeting Minutes

PUBLIC IMPROVEMENT AUTHORITY SPECIAL MEETING
Tuesday, September 1, 2020
4:30 PM

This meeting was held via teleconference due to the Shelter in Place Order issued by Monterey County and Governor Newsom’s Executive Order N-29-20

CALL TO ORDER AND ROLL CALL

Chair Potter called the Carmel-by-the-Sea Public Improvement Authority Special Meeting to order at 6:38 p.m.

Present: Board Members Reimers, Baron, Theis, Richards, Chair Potter

PUBLIC APPEARANCES

None

ORDERS OF BUSINESS

Item 1: Adopt Resolution PIA 2020-001 authorizing the issuance and sale of Refunding Lease Revenue Bonds to refund outstanding 2010 bonds related to the Sunset Center Theater and approving related documents and actions and provide direction on savings option

On a motion by Board Member Reimers and seconded by Board Member Theis, the Public Improvement Authority Board of Directors adjourned this item to September 3, 2020 at 5:00 p.m., by the following roll call vote:

AYES: BARON, REIMERS, THEIS, RICHARDS, POTTER
NOES: NONE
ABSENT: NONE
ABSTAIN: NONE

APPROVED:

ATTEST:

Dave Potter, Chair

Britt Avrit, MMC
Board Secretary

**PUBLIC IMPROVEMENT AUTHORITY
Thursday, September 3, 2020
5:00 PM**

ADJOURNED REGULAR MEETING - ADJOURNED FROM SEPTEMBER 1, 2020

This meeting was held via teleconference due to the Shelter in Place Order issued by Monterey County and Governor Newsom’s Executive Order N-29-20

CALL TO ORDER AND ROLL CALL

Chair Potter called the Carmel-by-the-Sea Public Improvement Authority Special Meeting to order at 5:00 p.m.

Present: Board Members Reimers, Baron, Theis, Richards, Chair Potter

PUBLIC APPEARANCES

None

ORDERS OF BUSINESS

Item 1: Adopt Resolution PIA 2020-001 authorizing the issuance and sale of Refunding Lease Revenue Bonds to refund outstanding 2010 bonds related to the Sunset Center Theater and approving related documents and actions and provide direction on savings option

This item was discussed jointly with the Carmel-by-the-Sea Public Improvement Authority.

The Director of Budgets and Contracts provided the staff report for this item.

The City Council/Public Improvement Authority requested clarification regarding the impact to the City if additional payments are made in the early years.

Discussion among the City Council/Public Improvement Authority and staff included discussion of pushing the payments out a few years to provide the City with a stable payment stream, taking advantage of the low interest rate and discussion of reducing the amount the City will have to pay if Option 1 is chosen. Additional discussion took place regarding not knowing what the future holds with regard to revenues due to the impacts of COVID-19; retail and Transient Occupancy Tax may suffer for several years. The City Council also discussed the importance of paying off the City’s debt, and using Fund Balance for debt service either for this issue or for CalPERS.

On a motion by Mayor Potter and seconded by Council Member Baron, the City Council adopted Resolution 2020-059 approving the issuance and sale of Refunding Lease Revenue Bonds by the City of Carmel-by-the-Sea Public Improvement Authority to refinance outstanding bonds related to the Sunset Center Theater and approving related documents and actions and provided direction on savings option, by the following roll call vote:

AYES: BARON, REIMERS, THEIS, POTTER
NOES: RICHARDS
ABSENT: NONE
ABSTAIN: NONE

ADJOURNMENT

Chair Potter adjourned the meeting at 5:44 p.m.

APPROVED:

ATTEST:

Dave Potter, Chair

Britt Avrit, MMC
Board Secretary



CITY OF CARMEL-BY-THE-SEA PUBLIC IMPROVEMENT AUTHORITY Staff Report

August 2, 2021
CONSENT AGENDA

TO: Honorable Chair and Public Improvement Authority Directors

SUBMITTED BY: Sharon Friedrichsen - Director, Contracts and Budgets

APPROVED BY: Chip Rerig, City Administrator

SUBJECT: Resolution No. PIA 2021-001 superseding Resolution No. 92-01 and establishing a regular meeting time and date

RECOMMENDATION:

Adopt Resolution No. PIA 2021-001 superseding Resolution No. 92-01 and establishing a regular meeting time and date.

BACKGROUND/SUMMARY:

On December 8, 1988, the City of Carmel-by-the-Sea and the City of Carmel-by-the-Sea Parking Authority entered into a Joint Exercise of Powers Agreement ("Agreement") to establish the Carmel-by-the-Sea Public Improvement Authority ("Authority"). The purpose of the Agreement, as specified within Article II, Section 2.0.1, is to provide for the financing of Public Capital Improvements for any of the Members through the acquisition by the Authority of such Public Capital Improvements, the purchase by the Authority of Obligations of any of the Members, or the loan of funds to any of the Members.

According to Article II, Section 2.04 (a) of the Agreement, the Board of Directors of the Authority ("Board") shall hold at least one regular meeting each year. On July 7, 1992, the Board adopted resolution No. 92-01 on July 7, 1992, which established the regular meeting date as the date and hour immediately preceding the regular meeting of the Carmel-by-the-Sea City Council in the month of July. Staff recommends changing the regular meeting schedule of the Authority to occur concurrently as a joint meeting with a regular scheduled meeting of the Carmel-by-the-Sea City Council on a meeting date to be determined by the City Council at the time the meeting dates for the regular meetings of the City Council are set. This action would require that when the City Council adopts an annual resolution establishing the City Council meeting dates for the upcoming calendar year, it also sets the date for the Authority meeting as well. Changing the Authority meeting date and time improves the efficiency of coordinating and conducting the annual Authority meeting.

FISCAL IMPACT:

There are no fiscal impacts associated with this action.

PRIOR CITY COUNCIL ACTION:

The Board of Directors adopted Resolution No. 92-01 on July 7, 1992, which established the Public Improvement Authority's regular meeting date as the date and hour immediately preceding the regular meeting of the Carmel-by-the-Sea City Council in the month of July.

ATTACHMENTS:

Attachment #1 - Resolution PIA 2021-001 Establishing Meeting Time and Day

**CITY OF CARMEL-BY-THE-SEA
PUBLIC IMPROVEMENT AUTHORITY**

RESOLUTION NO. PIA 2021-001

**A RESOLUTION OF THE CARMEL-BY-THE-SEA PUBLIC IMPROVEMENT AUTHORITY
SUPERSECEDED RESOLUTION NO. 92-01 AND ESTABLISHING A REGULAR MEETING
TIME AND DATE**

WHEREAS, on December 8, 1988, the City of Carmel-by-the-Sea and the City of Carmel-by-the-Sea Parking Authority entered into a Joint Exercise of Powers Agreement ("Agreement") to establish the Carmel-by-the-Sea Public Improvement Authority ("Authority"); and

WHEREAS, in accordance with Article II, Section 2.04 (a) of the Agreement, the Board of Directors of the Authority ("Board") shall provide for its regular meetings; provided however that at least one regular meeting be held each year; and

WHEREAS, on July 7, 1992, the Board adopted Resolution No. 92-01 to establish the annual meeting of the Authority as the date and hour immediately preceding the regular meeting of the Carmel-by-the-Sea City Council in the month of July; and

WHEREAS, changing the Authority meeting date and time is a business necessity and, improves the efficiency in coordinating and conducting the Authority meeting.

**NOW THEREFORE, BE IT RESOLVED THAT THE CARMEL-BY-THE-SEA PUBLIC
IMPROVEMENT AUTHORITY DOES HEREBY:**

Establish the annual meeting of the Carmel-by-the-Sea Public Improvement Authority to occur concurrently as a joint meeting with a regular scheduled meeting of the Carmel-by-the-Sea City Council on a meeting date to be determined by the City Council at the time the meeting dates for the regular meetings of the City Council are set.

Direct the Secretary of the Authority to send a copy of the executed resolution to each member of the Board of Directors of the Carmel-by-the-Sea Public Improvement Authority.

PASSED AND ADOPTED BY THE BOARD OF DIRECTORS OF THE CARMEL-BY-THE-SEA PUBLIC IMPROVEMENT AUTHORITY this 2nd day of August, 2021, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Dave Potter
Chair

Britt Avrit, MMC
Authority Secretary



CITY OF CARMEL-BY-THE-SEA CITY COUNCIL AGENDA

Mayor Dave Potter, Council Members Jeff Baron,
Karen Ferlito, Bobby Richards, and Carrie Theis
Contact: 831.620.2000 www.ci.carmel.ca.us

All meetings are held in the City Council Chambers
East Side of Monte Verde Street
Between Ocean and 7th Avenues

REGULAR MEETING Tuesday, August 3, 2021

Governor Newsom's Executive Order N-29-20 has allowed local legislative bodies to hold public meetings via teleconference and to make public meetings accessible telephonically or otherwise electronically to all members of the public seeking to observe and to address the local legislative body. Also, see the Order by the Monterey County Public Health Officer issued March 17, 2020. The health and well-being of our residents is the top priority for the City of Carmel-by-the-Sea. To that end, this meeting will be held via teleconference and web-streamed on the City's website ONLY.

Click the following link to attend via Zoom (or copy and paste the link into your browser); <https://zoom.us/j/95806441379?>; Meeting ID (if needed): 958 0644 1379; Passcode (if needed): 173007; or to attend via telephone, dial 1-669-900-9128

The public can also email comments to cityclerk@ci.carmel.ca.us. Comments must be received 2 hours before the meeting in order to be provided to the legislative body. Comments received after that time and up to the beginning of the meeting will be added to the agenda and made part of the record.

OPEN SESSION 4:30 PM

CALL TO ORDER AND ROLL CALL

PUBLIC APPEARANCES

Members of the public are entitled to speak on matters of municipal concern not on the agenda during Public Appearances. Each person's comments shall be limited to 3 minutes, or as otherwise established by the Chair. Matters not appearing on the agenda will not receive action at this meeting and may be referred to staff. Persons are not required to provide their names, and it is helpful for speakers to state their names so they may be identified in the minutes of the meeting.

ORDERS OF BUSINESS

Orders of Business are agenda items that require City Council, Board or Commission discussion, debate, direction to staff, and/or action.

1. Receive a report and provide direction to staff on generating a request for proposals (RFP) for a public/private partnership to build a parking structure and mixed-use

development at the north lot of the Sunset Center

2. Receive a report and provide direction to staff on whether to pursue creation of a contractor parking fee program in the residential zoning districts
3. Consideration of a resolution confirming the existence of a Local Emergency related to increased risks associated with Covid-19 variant infection rates

PUBLIC HEARINGS

4. Consideration of an Appeal by Christopher Mitchell (APP 21-197), on behalf of Esperanza Carmel Commercial LLC, of the Historic Resources Board decision to issue a Finding of Noncompliance with the Secretary of the Interior's Standards for the demolition of the Palo Alto Savings and Loan Bank Community Room located at Dolores 2 southeast of 7th Avenue, in the Service Commercial (SC) Zoning District

ADJOURNMENT

This agenda was posted at City Hall, Monte Verde Street between Ocean Avenue and 7th Avenue, outside the Park Branch Library, NE corner of Mission Street and 6th Avenue, the Carmel-by-the-Sea Post Office, 5th Avenue between Dolores Street and San Carlos Street, and the City's webpage <http://www.ci.carmel.ca.us> in accordance with applicable legal requirements.

SUPPLEMENTAL MATERIAL RECEIVED AFTER THE POSTING OF THE AGENDA

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SPECIAL NOTICES TO PUBLIC

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CITY OF CARMEL-BY-THE-SEA CITY COUNCIL Staff Report

August 3, 2021
ORDERS OF BUSINESS

TO:	Honorable Mayor and City Council Members
SUBMITTED BY:	Brandon Swanson, Community Planning & Building Director
APPROVED BY:	Chip Rerig, City Administrator
SUBJECT:	Receive a report and provide direction to staff on generating a request for proposals (RFP) for a public/private partnership to build a parking structure and mixed-use development at the north lot of the Sunset Center

RECOMMENDATION:

Receive a report and provide direction to staff on generating a request for proposals (RFP) for a public/private partnership to build a parking structure and mixed-use development at the north lot of the Sunset Center.

BACKGROUND/SUMMARY:

Executive Summary:

Recently, the City has again begun to explore ways to improve parking throughout town. This effort has included conversations about the construction of a two-level parking structure at the north lot of the Sunset Center, with mixed-use development on top. If the City is interested in pursuing this construction project right now, the first step in the process would be to craft a request for proposals (RFP) to find a private developer to partner with. This report is intended to provide a brief overview of what a project could look like, potential benefits and challenges, and most importantly facilitate a “yes” or “no” direction from Council as to whether staff should further pursue developing an RFP for a parking structure at the north lot of the Sunset Center at this time.

Discussion:

The number of visitors to Carmel-by-the-Sea increases each year, and will likely continue to do so as the world emerges from the global pandemic. Although these guests are vital to the prosperity of the village, there are also impacts which come during peak times like weekends and holidays. One of the most notable impacts is parking availability in the commercial districts of the City, which in turn impacts parking in the adjacent residential neighborhoods. Recently, the City Council directed staff to once again begin exploring a paid parking program as a means to help manage transportation and parking in and around town, and also as a way to generate additional revenue for the City. As part of early conversations regarding this program, the idea of a parking structure at the north lot of the Sunset Center was re-introduced as part of the overall solution. The concept discussed briefly by Council included two levels of parking, with a portion of the construction sunk into the ground. The top level of the structure would provide an opportunity for a mixed-

use building(s) that would include commercial spaces at the street level and residences on the second story. Given the scope of a project like this, a public/private partnership could provide an efficient and effective way to maximize the potential of the site. If the City Council is inclined to pursue the concept of a parking structure at this time, the next step in the process would be to prepare and release an RFP to find a private partner.

At this point in time, staff is only seeking a “yes” or “no” direction from the City Council as to whether to draft and launch a request for proposals. Although very early in the process, there are still several things for the Council to consider when deciding whether to begin the RFP process for a parking structure. These considerations include, but are not limited to:

- Scope of project – Early conversations with City Council yielded the scope that was outlined earlier in the report (2-level, mixed use). If the Council chooses to pursue an RFP, and also wishes to modify the parameters of the project, specific direction should be given to staff at this point so that the RFP can be appropriately crafted.
- Increased parking capacity – Currently, the north lot at the Sunset Center contains approximately 135 parking spaces. Therefore, a two-story structure could double that to 270, or possibly even more. This increased capacity would not only help relieve parking stress on the surrounding residential neighborhoods during large events at the Sunset Center, but could also play a role in the City’s paid parking program. The additional spaces could be utilized for things like daytime employee-only parking to free up prime commercial spaces for downtown patrons. This additional parking resource could play a key role in a successful paid parking program, where other attempts have failed in the past due to no solution for downtown employees.
- Increased housing – A mixed use development at the north lot could provide badly needed apartment-style housing on the second floor of the development. Although these units may not be able to be required to be “affordable” depending on the size/density of the project, they could still help to increase the overall housing stock in the village. Apartments by nature are typically more affordable than single family residences just given their size and configuration, or what is known as “affordable by design.”
- Public/private partnership – Development of a multi-level parking structure with a mixed-use element on top would be a major project in the City of Carmel-by-the-Sea. If the council wishes to move forward with an RFP, it could be crafted to seek out a public/private partnership for construction of the project. These types of partnerships include advantages like: reduced financial and legal risk to the City, direct contractual control over project delivery, and expanded access to private capital and resources/technology. It is worth noting though, that partnering with a private entity does require diligent oversight of contract obligations, managing cost-overruns, and careful consideration during the award process since the pool of qualified candidates can sometimes be very small.
- Staff time/Council priorities – Although still a somewhat involved process, the writing and release of an RFP for this project would be a relatively simple endeavor. However, once responses were received, and the process for selecting a developer and finalizing contracts began, the staff workload associated with this project would increase significantly. In addition, processing permits through public outreach meetings/hearings and coordinating the actual construction project itself would also be a large undertaking. At the May 12, 2021 strategic planning retreat, the City Council discussed the five (5) major priority areas (financial stability, community engagement, etc.) as well as a number of “added priorities” (outdoor dining, forest management plan, affordable housing plan, paid parking program, etc.). As part of considering whether to proceed with an RFP at this point, the Council should weigh this project along with these other previously discussed priorities, which are currently slated to be reported on at the September 7 City Council Agenda.
- CEQA/environmental review - At this stage, since a project scope has not been defined, it is not possible to know the level of environmental review and the type of CEQA documentation that will need to be prepared (Exemption, Initial Study, EIR, etc.). However, given the potential for new residential and commercial development where there previously was none, it is likely that there will need to be a

higher level of environmental analysis.

- Construction impacts to surrounding area - Although entirely controllable through a construction management plan, the Council should be aware that a project of this scope would have construction impacts to the surrounding area including displacement of cars deeper into residential neighborhoods from events at the Sunset Center, noise, dust, and traffic flow. These impacts are inherent with any project, but they are worth noting given the scale of this project and with other major development projects planned around town in the near future.

Direction:

Staff is seeking the following direction:

1. Is the City Council interested (Yes/No) in producing an RFP for a public/private partnership to construct a parking structure and mixed use development at the north lot of the Sunset Center?
2. If “yes”, does the Council have any guidance related to the content of the RFP based on the information presented in this staff report?

Environmental Review:

Not Applicable. As a report and request for direction only, this action will not result in a direct or indirect physical change in the environment. Nothing is being approved by the City Council at this point. Therefore, the action does not qualify as a “project” as defined in section 15378 of the CEQA Guidelines, and is not subject to environmental review.

FISCAL IMPACT:

Direction from Council on whether to produce an RFP for a public/private partnership to construct a parking structure and mixed use development at the north lot of the Sunset Center at this time has no fiscal impacts on the City. Any staff time associated with this work would be part of the adopted City Budget. Once a recommended private partner was identified through the RFP process, a draft contract would be presented to the City Council for approval. Any fiscal impacts associated with this agreement would be discussed in future reports when a contract was being considered for approval.

PRIOR CITY COUNCIL ACTION:

ATTACHMENTS:



CITY OF CARMEL-BY-THE-SEA CITY COUNCIL Staff Report

August 3, 2021
ORDERS OF BUSINESS

TO:	Honorable Mayor and City Council Members
SUBMITTED BY:	Brandon Swanson, Community Planning & Building Director
APPROVED BY:	Chip Rerig, City Administrator
SUBJECT:	Receive a report and provide direction to staff on whether to pursue creation of a contractor parking fee program in the residential zoning districts

RECOMMENDATION:

Receive a report and provide direction to staff on whether to pursue creation of a contractor parking fee program in the residential zoning districts.

BACKGROUND/SUMMARY:

Executive Summary:

Recently, the City has again begun to explore ways to improve parking in both the commercial and residential zoning districts of the village. This has included conversations about implementing a fee for contractor parking in the residential areas. This report is intended to provide a brief overview of what a contractor parking fee program could look like, potential benefits and challenges, and most importantly facilitate a “yes” or “no” direction from Council as to whether staff should further pursue developing a program and fee at this time.

Discussion:

New construction and the remodel of existing homes has continued to increase over the past few years. Despite the pandemic in 2020, approximately 450 building permits were issued, with approximately 280 being issued by mid-year of 2021. This puts the city ahead of last year’s number and on track to issue approximately 560 building permits in 2021. While not all of these building permits are for work that requires multiple contractors to park at a jobsite, many still do, which can cause several potentially serious issues in the City’s residential neighborhoods. During conversations with City Council regarding a larger paid parking program, the concept of a parking fee for contractor vehicles in the residential zone was discussed. The goal of a contractor parking fee would be to incentivize fewer vehicles on project sites, thereby reducing the impact of construction projects on parking in neighborhoods. Specifics of a contractor parking fee were not discussed by the Council, but general concept was that at some point early in the process, contractors would be responsible for paying a fee to obtain a parking permit for one or more vehicles that would be on site during construction.

At this point in time, staff is only seeking a formal “yes” or “no” direction from the City Council as to whether to develop a parking permit program for contractors and determine a fee which would need to be approved by Council. Although very early in the process, there are still several things for the Council to consider when

deciding whether to create a contractor parking fee program. These considerations include, but are not limited to:

- Impacts – The largest and most obvious impact of multiple contractor vehicles being parked in residential zones is associated with village’s very narrow streets. Multiple jobsite vehicles can block the roadway, preventing access for emergency vehicles, creating unsafe passing conditions for general motorists, and taking parking away from residents in the affected neighborhood. A fee program could encourage contractors to require more carpooling from workers to avoid the cost associated with parking multiple vehicles at a site. Secondary impacts from multiple large vehicles driving to a single site each day include things like greenhouse gas emissions, and additional traffic on city streets which create congestion during peak hours and also contribute to the degradation of asphalt. It should be noted that an unintended consequence of a program like this could be to displace contractor vehicles somewhere else in the city, which will need to be analyzed by staff if the Council chooses to move forward.
- Compliance – The success of any program like this relies heavily on a city’s ability to gain compliance and ultimately enforce permit requirements if needed. With limited compliance resources, it may be a challenge to continue all other compliance efforts at the same level if a new program is created. If the Council wishes to pursue a parking fee, consideration should be given to the city’s ability to actively monitor and enforce contractor parking. If a program is developed, staff will analyze and present options for the Council to consider such as which department(s) should lead the effort, and the possibility of using contract support to ensure compliance.
- Program structure – As previously mentioned, specifics of a contractor parking fee program were not discussed by the Council, only the general concept. If the Council wishes to move forward, staff will work to develop more specifics including but not limited to: 1) When in the process a parking permit fee will be charged, 2) How permits will be displayed, 3) Permit costs, 4) Total number of permits allowed per site, and 5) How long permits are valid for. Council may choose to provide additional considerations to staff for crafting the parameters of a contractor parking fee program.
- Staff time/Council priorities – Although a relatively focused exercise, development of a contractor parking fee will still require staff time and resources. If the Council chooses to move forward, a program will need to be developed and brought back to the Council for discussion at a future meeting along with adoption of a fee by ordinance which would become effective 30 days later. In addition, implementation of the program will include tasks such as outreach to contractors, creation of application forms, updating the city’s website and online permit portal, sourcing and printing the physical parking passes/stickers, and ultimately compliance efforts as previously discussed in this report. At the May 12th, 2021 strategic retreat, the City Council discussed the city’s five (5) major priority areas (financial stability, community engagement, etc.) as well as a number of “added priorities” (outdoor dining, forest management plan, affordable housing plan, paid parking program, etc.). As part of considering whether to proceed with development of a contractor parking fee program, the Council should weigh this project along with these other previously discussed priorities, which are currently slated to be reported on at the September 7th City Council Agenda.

Direction:

Staff is seeking the following direction:

1. Is the City Council interested (Yes/No) in pursuing creation of a contractor parking fee program in the residential zoning districts?
2. If “yes”, does the Council have any guidance related to development of the program based on the information presented in this staff report?

ENVIRONMENTAL REVIEW:

Not Applicable. As a report and request for direction only, this action will not result in a direct or indirect physical change in the environment. Nothing is being approved by the City Council at this point. Therefore, the action does not qualify as a “project” as defined in section 15378 of the CEQA Guidelines, and is not

subject to environmental review.

FISCAL IMPACT:

Direction from Council on whether to pursue creation of a contractor parking fee program in the residential zoning districts has no fiscal impacts on the City. Any staff time associated with this work would be part of the adopted City Budget. Once a program is developed, staff will return to Council for adoption of an associated fee. Any fiscal impacts associated with this new fee would be discussed in future reports.

PRIOR CITY COUNCIL ACTION:

None for this action.

ATTACHMENTS:



CITY OF CARMEL-BY-THE-SEA CITY COUNCIL Staff Report

August 3, 2021
ORDERS OF BUSINESS

TO:	Honorable Mayor and City Council Members
SUBMITTED BY:	Brandon Swanson, Community Planning & Building Director
APPROVED BY:	Chip Rerig, City Administrator
SUBJECT:	Consideration of a resolution confirming the existence of a Local Emergency related to increased risks associated with Covid-19 variant infection rates

RECOMMENDATION:

Consider draft Resolution 2021-042 confirming the existence of a Local Emergency due to the recent increased spread of the Coronavirus (COVID-19) and COVID-19 variants and/or provide direction to staff.

BACKGROUND/SUMMARY:

At the request of the Mayor and Vice Mayor, this item has been brought before the City Council for consideration. Recently, there has been an increased spread of more infections Covid-19 variants such as the “Delta” strain. In addition, updated guidance has been received from the County of Monterey Health Department regarding indoor mask usage for vaccinated individuals. Council is being asked to consider adoption of a resolution to confirm the existence of a local emergency, in line with Resolution No. 2020-021 that was adopted on March 13th, 2020 (**Attachment 2**). This resolution would not replace Resolution No. 2020-021. It would affirm that the local emergency remains in place, and has increased in severity over recent weeks, which could warrant additional measures to protect the life, health, safety, and welfare of residents of Carmel-by-the-Sea.

Pursuant to CMC Section 2.64.060, this resolution, as with Resolution No. 2020-0021, would continue to give the City Administrator (Emergency Services Director) the following authority for the duration of the proclamation:

1. To make and issue rules and regulations on matters reasonably related to the protection of life and property as affected by such emergency; provided, however, such rules and regulations must be confirmed at the earliest practicable time by the City Council;
2. To obtain vital supplies, equipment, and such other properties found lacking and needed for the protection of life and property and to bind the City for the fair value thereof and, if required immediately, to commandeer the same for public use;
3. To require emergency services of any City officer or employee and, in the event of the proclamation of a state of emergency in the County in which this City is located or the existence of a state of war emergency, to command the aid of as many citizens of this community as s/he deems necessary in the execution of the Director’s duties; such persons shall be entitled to all privileges, benefits, and

- immunities as are provided by State law for registered disaster service workers;
4. To requisition necessary personnel or material of any City department or agency; and
 5. To execute all the ordinary power as the Director of Emergency Services, all of the special powers conferred upon the Director by this chapter or by resolutions or emergency plan pursuant hereto adopted by the City Council, all powers conferred by any statute, by any agreement approved by the City Council, and by other lawful authority.

On June 15, 2021, the Governor’s Declaration of a State of Emergency was withdrawn, and restrictions related to the Blueprint for a Safer Economy was removed. Around the same time, the City Council acted to return the City to “business as usual” and in effect lifted most restrictions associated with the local proclamation made by Resolution No. 2002-021. However, this original local proclamation was not officially terminated. Ultimately, at the time when City Council wishes to formally remove the proclamation of a local state of emergency enacted by Resolution No. 2020-021, a new resolution will need to be adopted proclaiming its termination pursuant to California Government Code section 8630. The attached draft resolution (Attachment 1) would only confirm the existence of a local emergency, and affirm that the City should continue to make and issue rules for the protection of the life, health, safety, and welfare of residents of Carmel-by-the-Sea. This new resolution would not supersede, terminate, modify or replace Resolution No. 2020-21 in any way.

Staff will be prepared at the August 3rd meeting to respond to any City Council questions regarding the implications of this resolution including, but not limited to: local mask requirements, in-person public meetings, new outdoor seating allowances for wine tasting and restaurants, impacts to beach usage, and upcoming public events.

FISCAL IMPACT:

None for this action.

PRIOR CITY COUNCIL ACTION:

None for this action.

ATTACHMENTS:

Attachment #1 - Draft Resolution 2021-042 Confirming Local Emergency

Attachment #2 - Previously adopted City Council Resolution Declaring Local Emergency

**CITY OF CARMEL-BY-THE-SEA
CITY COUNCIL**

RESOLUTION NO. 2021-042

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CARMEL-BY-THE-SEA
CONFIRMING THE EXISTENCE OF A LOCAL EMERGENCY DUE TO THE RECENT
INCREASED SPREAD OF THE CORONAVIRUS (“COVID-19”) AND COVID-19 VARIANTS**

WHEREAS, the California Emergency Services Act (California Government Code sections 8639, 8550, et. seq.) defines a local emergency as the existence of conditions of disaster or of extreme peril to the safety of persons and property within the territorial limits of a city, caused by conditions such as an epidemic, which are or are likely to be beyond the control of the services, personnel, equipment, and facilities of a city, and require the combined forces of other political subdivisions to combat; and

WHEREAS, Chapter 2, section 2.64.020 of the City of Carmel-by-the-Sea (“City”) Municipal Code defines emergency as the actual or threatened existence of conditions of disaster or of extreme peril to the safety of persons and property within this City, including conditions such as an epidemic, which are or are likely to be beyond the control of the services, personnel, equipment, and facilities of this City, requiring the combined forces of other political subdivisions to combat; and

WHEREAS, Chapter 2, section 2.64.060 empowers the City Council, to proclaim the existence or threatened existence of a local emergency when the City Council is in session; and

WHEREAS, Chapter 2, section 2.64.050 of the City Municipal Code designates the City Administrator as the Director of Emergency Services (“Director”) for the City; and

WHEREAS, The Director is empowered with certain duties outlined in Chapter section 2.64.060 of the City Municipal Code when the City Council proclaims a local emergency; and

WHEREAS, since December 2019, a flu-like virus has been spreading worldwide that is more deadly than the flu generally, known as the Coronavirus (“COVID-19”); and

WHEREAS, on March 12, 2020, the City Administrator signed a proclamation declaring a local emergency, which was transmitted to the City Council for ratification, and

WHEREAS, on March 13, 2020, the City Council adopted Resolution 2020-021 ratifying the City Administrator’s Proclamation of the existence of a local emergency, and

WHEREAS, between March and June, 2021, cases of new Covid-19 infections significantly decreased around the State of California; and

WHEREAS, on June 15, 2021, Governor Gavin Newsom removed his declaration of a State of Emergency, and associated restrictions on social distancing under the State’s Blueprint for a Safer Economy; and

WHEREAS, in the month of June, 2021, the number of new Covid-19 infections around the State has sharply increased based on Monterey County Health Department data due to more contagious variants such as the “Delta” strain; and

WHEREAS, on July 19, 2021, The Monterey County Health Department announced that Health Officer Edward Moreno joined the health officers of Napa, San Benito and Santa Cruz counties in recommending that people wear a mask inside public settings and in crowded outdoor situations, even for those who are fully vaccinated;

NOW, THEREFORE, BE IT RESOLVED THAT THE CITY COUNCIL OF THE CITY OF CARMEL-BY-THE-SEA DOES HEREBY, confirm the Existence of a Local Emergency due to the recent increased spread of the Coronavirus (“COVID-19”) and COVID-19 Variants; and

BE IT FURTHER RESOLVED, that said local emergency shall be deemed to continue to exist until its termination is proclaimed by the City Council of the City of Carmel-by-the-Sea per California Government Code section 8630; and

BE IT FURTHER RESOLVED, that the City Administrator or his designee is authorized to take whatever other action is authorized under the Carmel-by-the-Sea Municipal Code and state and federal law, subject to any required authorization from the City Council, consistent with this Resolution and its basic purposes.

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF CARMEL-BY-THE-SEA this 3rd day of August 2021, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Dave Potter
Mayor

Britt Avrit, MMC
City Clerk

**CITY OF CARMEL-BY-THE-SEA
CITY COUNCIL**

RESOLUTION NO. 2020-021

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CARMEL-BY-THE-SEA RATIFYING THE CITY ADMINISTRATOR'S PROCLAMATION OF THE EXISTENCE OF A LOCAL EMERGENCY DUE TO THE WORLDWIDE SPREAD OF THE CORONAVIRUS ("COVID-19")

WHEREAS, the California Emergency Services Act (California Government Code sections 8639, 8550, et. seq.) defines a local emergency as the existence of conditions of disaster or of extreme peril to the safety of persons and property within the territorial limits of a city, caused by conditions such as an epidemic, which are or are likely to be beyond the control of the services, personnel, equipment, and facilities of a city, and require the combined forces of other political subdivisions to combat; and

WHEREAS, Chapter 2, section 2.64.020 of the City of Carmel-by-the-Sea ("City") Municipal Code defines emergency as the actual or threatened existence of conditions of disaster or of extreme peril to the safety of persons and property within this City, including conditions such as an epidemic, which are or are likely to be beyond the control of the services, personnel, equipment, and facilities of this City, requiring the combined forces of other political subdivisions to combat; and

WHEREAS, Chapter 2, section 2.64.050 of the City of Carmel-by-the-Sea ("City") Municipal Code designates the City Administrator as the Director of Emergency Services for the City; and

WHEREAS, Chapter 2, section 2.64.060 empowers the City Administrator, as the Director of Emergency Services, to proclaim the existence or threatened existence of a local emergency when the City Council is not in session so long as such proclamation is ratified by the City Council within seven (7) days; and

WHEREAS, in December 2019 and January 2020, reports began spreading worldwide of a flu-like virus first found in China, that was more deadly than the flu generally, with the virus becoming known as the Coronavirus ("COVID-19"); and

WHEREAS, from January 2020 to March 2020, COVID-19 spread throughout the world, with over 114,000 confirmed cases of individuals contracting COVID-19, and over 4,000 confirmed cases of individuals dying from COVID-19; and

WHEREAS, on or about March 4, 2020, as part of the State of California's response to address the global COVID-19 outbreak, Governor Gavin Newsom declared a State of Emergency to make additional resources available, formalize emergency actions already underway across multiple state agencies and departments, and help the state prepare for broader spread of COVID-19 following one official COVID-19 death;

WHEREAS, on March 6, 2020, the County Administrative Officer of Monterey County ("County CAO") proclaimed a Local Emergency due to the threat of COVID-19 in the County; and

WHEREAS, on March 10, 2020, the Governor's Office of Emergency Services quarantined in Monterey County up to 24 cruise ship passengers who recently disembarked from the Grand Princess cruise ship in Oakland, California, which had over 20 confirmed cases of COVID-19 onboard; and

WHEREAS, as of March 11, 2020, the Centers for Disease Control and Prevention ("CDC") has confirmed 938 cases of COVID-19 in the United States, with 29 cases resulting in death, with thirty-nine (39) jurisdictions reporting cases, including California; and

WHEREAS, on March 11, 2020, the World Health Organization ("WHO") classified the spread of COVID-19 internationally as a global pandemic; and

WHEREAS, based on said events, the City Administrator of the City of Carmel-by-the-Sea declared the existence of a local emergency within the City at 10:26 am on Thursday, March 12, 2020.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COOUNCIL FO THE CITY OF CARMEL-BY-THE-SEA, that the Proclamation of the Existence of a Local Emergency issued by the City Administrator acting as the Director of Emergency Services is hereby confirmed and ratified by the City Council of the City of Carmel-by-the-Sea; and

BE IT FURTHER RESOLVED, that said local emergency shall be deemed to continue to exist and shall be reviewed at least once every 60 days until its termination is proclaimed by the City Council of the City of Carmel-by-the-Sea per California Government Code section 8630; and

BE IT FURTHER RESOLVED, that the City Administrator or his designee is authorized to take whatever other action is authorized under the Carmel-by-the-Sea Municipal Code and state and federal law, subject to any required authorization from the City Council, consistent with this Resolution and its basic purposes.

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF CARMEL-BY-THE-SEA this 13th day of March 2020, by the following vote:

AYES: COUNCIL MEMBERS BARON, THEIS; MAYOR PRO TEM RICHARDS; MAYOR POTTER


NOES: NONE

ABSENT: COUNCIL MEMBER REIMERS

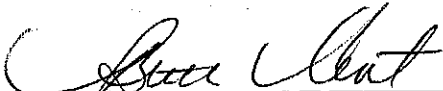
ABSTAIN: NONE

APPROVED:

ATTEST:



Dave Potter
Mayor



Britt Avrit, MMC
City Clerk



CITY OF CARMEL-BY-THE-SEA CITY COUNCIL Staff Report

August 3, 2021
PUBLIC HEARINGS

TO: Honorable Mayor and City Council Members

SUBMITTED BY: Evan Kort, Associate Planner

APPROVED BY: Chip Rerig, City Administrator

SUBJECT: Consideration of an Appeal by Christopher Mitchell (APP 21-197), on behalf of Esperanza Carmel Commercial LLC, of the Historic Resources Board decision to issue a Finding of Noncompliance with the Secretary of the Interior's Standards for the demolition of the Palo Alto Savings and Loan Bank Community Room located at Dolores 2 southeast of 7th Avenue, in the Service Commercial (SC) Zoning District

RECOMMENDATION:

Adopt Resolution 2021-043 denying the appeal by Christopher Mitchell (APP 21-197) and upholding the Historic Resources Board's decision to issue a Finding of Noncompliance with the Secretary of the Interior's Standards for the demolition of the Palo Alto Savings and Loan Bank Community Room located at Dolores 2 southeast of 7th Avenue, in the Service Commercial (SC) Zoning District, APN: 010-101-017.

BACKGROUND/SUMMARY:

EXECUTIVE SUMMARY

The applicant, Christopher Mitchell, has appealed the Historic Resources Board (HRB) decision to issue a Finding of Noncompliance with the Secretary of the Interior's Standards for a project to demolish a building on the Palo Alto Savings and Loan Bank Complex. While the site is not eligible for listing on the national or local inventory because it is less than 50 years old, it was determined in 2001 by Architectural Historian, Richard Janick, that the site is eligible for listing on the California Register of Historic Resources (CRHR) under Criterion 3 (architecture), "as a significant example of Second Bay Region Style by local architect Will Shaw and Associates with design assistance by former partner Walter Burde" and the complex, as a whole, is a historic resource for the purposes of the California Environmental Quality Act (CEQA) (the CRHR does not have a 50 year old requirement). Therefore any associated project is subject to review by the HRB for a determination of "consistency" or "inconsistency" with State standards. Staff initially presented a recommendation of project consistency to the HRB based on technical reports prepared for the City. After consideration, the HRB found the proposed demolition of the Community Room to be inconsistent with the Secretary of the Interior's Standards and thus issued a Finding of Noncompliance.

BACKGROUND/ PROJECT DESCRIPTION

The project site is located on Dolores 2 southeast of 7th on a 12,000 square foot lot comprised of three lots of record (Block: 91, Lots: 6, 8, 10). The applicant is proposing to demolish all improvements across

the three lots and construct a 16,898 square foot two-story mixed-use development with an 11,371 square foot basement garage. Two-thirds of the project site (lots 6 & 8) are located on part of the Palo Alto Savings and Loan Bank complex which currently occupies Lots 2, 4, 6, and 8 of Block 91.

The Palo Alto Savings and Loan Bank complex, consisting of a bank building (currently the 7th and Dolores Restaurant) and detached community room building, was constructed in 1972 and was designed by noted architects, Walter Burde and William Shaw, both of whom are listed in the City's Historic Context Statement. While the Palo Alto Savings and Loan buildings are characteristic of the Second Bay Region Tradition of architecture, and designed by noted architects, the complex was deemed ineligible for listing on the City's Historic Inventory as well as the National Register by the City Council in 2019. This determination of Ineligibility was issued for the property following an appeal of the HRB decision at the time to add the property to the City's Historic Inventory; the current Determination of Ineligibility will expire on October 26, 2022. This original determination did not distinguish between the bank building and the community room, but rather analyzed the complex as a whole. While the complex is not eligible for listing on the nation or local inventory, it was previously determined that the site is eligible for listing on the California Register of Historic Resources (CRHR) and the complex, as a whole, is a historic resource for the purposes of the California Environmental Quality Act (CEQA).

On January 8, 2021, an application for a Design Review Application was submitted to the Community Planning and Building Department that proposed the demolition of the community room as part of the subject Esperanza Carmel project. As part of the project review, a Phase II Report was prepared by historian Margaret Clovis, one of the City's historic consultants, evaluating the project's consistency with the Secretary of the Interior's Standards and Guidelines based on the preliminary project plans. The Phase II Report concludes the project, consisting of the demolition of the community room, would not have a significant impact on the bank building (which would remain) provided the project meets the applicable Secretary's Standards for Rehabilitation and that the recommended conditions identified in the report are followed.

Staff recommended the HRB approve a determination of consistency based on the technical report prepared by Margaret Clovis. A Resolution was prepared for the issuance of a Determination of Consistency for the project which was considered at the April 19, 2021 HRB meeting. In accordance with CMC 17.32.160.B.1, *"If the Board concurs with the evaluation [prepared by the qualified professional], the Board shall issue a determination of consistency and adopt any appropriate conditions of approval. Any finding of compliance by the Board shall be supported by substantial evidence. If the Board does not concur, the Board may request additional information prior to issuance of a determination of consistency, or may issue a finding of noncompliance with the Secretary's Standards. Any finding of noncompliance by the Board shall be supported by substantial evidence."*

After consideration of the materials provided and public testimony, the Board voted 2-1 (with 1 member absent, 1 vacant seat) to continue the application to the following hearing with direction to staff to return with a revised resolution for adoption with a Finding of Noncompliance. Staff returned at the following hearing with an amended resolution for adoption based on the findings made by the HRB. The Board voted 3-1 (1 vacant seat) to adopt a resolution with amended findings made at the hearing and issued a Finding of Noncompliance with the Secretary of the Interior's Standards (Attachment 5).

On May 19, 2021, the appellant, Christopher Mitchell, submitted a timely appeal of the HRB's decision. The applicant's appeal documents have been included as Attachment 2.

Of important note: the scope of the HRB review (as is the scope of this appeal) was to determine whether the proposed demolition of the community room is consistent with the Secretary of the Interior's Standards

and to determine if the proposed demolition would have an adverse impact to the overall resource, which includes the Bank Building that would remain. The preliminary project plans were included in the HRB staff report as the Phase II Evaluation made specific recommendations regarding setbacks from the Bank Building to maintain an important spatial relationship, as well as to show the protection plan as required by the Phase II Evaluation (refer to Attachment 3). The merits of the proposed development are not part of this review –the scope of this review is limited to the evaluating whether the demolition of the community room is consistent with the Secretary of the Interior’s Standards.

STAFF ANALYSIS

The applicant has filed an appeal of the Historic Resources Board’s decision to issue a Finding of Noncompliance with the Secretary of the Interior’s Standards for the demolition of the Palo Alto Savings and Loan Bank Community Room. As part of the appeal documents, the applicant submitted the April 19, 2021 staff report, an addendum to a historic evaluation (prepared by Margret Clovis for the City) and the Phase II Historic Evaluation (prepared by Margret Clovis) as the grounds for the appeal (Attachment 2); the original staff report recommended the HRB adopt a Determination of Consistency and the Phase II Evaluation concluded the proposed demolition was consistent with the Secretary’s Standards on the condition that the recommendations in the Phase II evaluation were carried out.

CMC 17.32.160 sets out the process for evaluating alterations to historic resources as follows:

B. Determinations of consistency for major alterations shall be prepared by a qualified professional and shall be supported by written documentation that (1) identifies which of the Secretary’s Standards are applicable to the project, (2) reviews the proposed project, and (3) explains the basis of the determination.

1. If a proposed major alteration is found by the qualified professional to be consistent with the Secretary’s Standards, the project shall be presumed to be consistent for purposes of making a preliminary determination regarding any required environmental documentation and staff shall forward the application and evaluation to the Board for action.

a. If the Board concurs with the evaluation, the Board shall issue a determination of consistency and adopt any appropriate conditions of approval. Any finding of compliance by the Board shall be supported by substantial evidence.

b. If the Board does not concur, the Board may request additional information prior to issuance of a determination of consistency, or may issue a finding of noncompliance with the Secretary’s Standards. Any finding of noncompliance by the Board shall be supported by substantial evidence.

As required by CMC 17.32.160.B.1, a qualified professional (Margaret Clovis) prepared a Phase II Historic Evaluation and found that Standards 1, 2, 5, 6, 8, 9, and 10 of the Secretary of the Interior’s Standards are applicable to the proposed demolition of the community room and concluded that the project meets said standards provided the recommendations outlined in the Phase II report are carried out. As such, staff prepared a Resolution for the adoption of a Determination of Consistency which included conditions of approval to ensure recommendations from the Phase II report were implemented pursuant to CMC 17.32.160.B.1 (refer to Attachment 3).

The Phase II Evaluation concluded that: *“The primary building within the complex is the bank, and the property’s architectural significance is predicated on the bank, not the community room which is simply*

an ancillary structure. The community room has been evaluated for eligibility for listing in the California Register based on its merits alone and it does not meet the criteria for listing as an individual resource.” As the report concluded that the primary building within the complex is the bank building, it was found that demolition of the ancillary community room would not have a significant impact on the historic resource provided the recommendations of the Phase II evaluation were carried out.

The HRB deliberated the findings of the Phase II evaluation, and ultimately did not concur with the conclusion of the report. The HRB determined the proposed demolition of the Community Room would have an adverse impact on the overall historic resource and made the finding that, *“The Bank building and the Community Room are a historically related unit [and though the community] room is subordinate to the Bank, it has retained its historic integrity and is an integral component of the original design as approved by the architects’ client, the owners of the Palo Alto Savings and Loan Bank. The HRB also found that: 1) “despite being an auxiliary use it was still part of the original concept of the building from the beginning,” and 2) “Simply because an element of a building is smaller or “subordinate” to other parts does not make them less important to the whole as a piece of architecture.”* The HRB continued to make an additional 15 findings to support their position that the community room is an equally important portion of the fabric of the historic resource and the demolition of the Community Room would have an adverse impact to the resource and therefore is not compliance with the Secretary’s Standards (refer to Attachment 5).

As such, the project was continued to the following hearing with direction to staff to prepare a resolution for adoption of a Finding of Noncompliance based on the verbal findings made by the HRB members, as well as written comments provided by the Board to staff following the hearing. The Finding of Noncompliance was adopted by the HRB at the following hearing (Attachments 4 & 5).

Based on the findings made by the Historic Resources Board, Staff recommends the City Council adopt a Resolution (Attachment 1) denying the appeal by Christopher Mitchell and uphold the Historic Resources Board’s decision to issue a Finding of Noncompliance with the Secretary of the Interior’s Standards for the demolition of the Palo Alto Savings and Loan Bank Community Room as adopted in Planning Commission Resolution 2021-03-HRB.

In accordance with CMC 17.32.170, Projects that Adversely Impact Historic Resources: *“No permit authorizing significant adverse impacts to an historic resource inconsistent with the Secretary’s Standards shall be issued unless necessary to address a public health and safety emergency as provided in CMC 17.30.010 or until completion of the environmental impact report (EIR) process and adoption of one or more of the findings in CMC 17.64.050. Preparation of an EIR for such projects shall include a review of project alternatives and/or mitigation measures that would achieve consistency with the Secretary’s Standards, including consideration of the “no project” alternative. The EIR also shall include an analysis of the feasibility of each alternative.”*

Alternatives: Should the City Council determine that the proposed project would not adversely impact a historic resource, and wish grant the appeal and issue a Determination of Consistency, staff recommends the Council adopt a resolution containing the original Findings and Conditions of Approval prepared by Staff and presented at the April 19, 2021 Historic Resources Board hearing (Attachment 3).

Since the hearing on this matter is de novo, the Council could also provide direction to staff to prepare a resolution with additional Recommended Conditions of Approval and/or findings which the Council deems more appropriate.

FISCAL IMPACT:

None for this action.

PRIOR CITY COUNCIL ACTION:

In 2019, the City Council made the determination that that a property does not qualify for the Carmel Inventory and issued a "Determination of Ineligibility" for the property. The item was brought before the City Council following the appeal of the Historic Resources Board's decision to add the property to the City's Historic Inventory. When the associated Determination of Ineligibility expires on October 26, 2022 and the property will be eligible to revaluation for listing on the local inventory.

ATTACHMENTS:

Attachment #1 - Resolution 2021-043 Esperanza Carmel Appeal

Attachment #2 - Appeal Documents

Attachment #3a - Historic Resources Board Staff Report and Attachments 1-3 (April 19, 2021)

Attachment #3b - Historic Resources Board Attachments 4-9 (April 19, 2021)

Attachment #4 - Historic Resourced Board Staff Report and Attachments (May 17, 2021)

Attachment #5 - Adopted Historic Resources Board Resolution (Reso. 2021-03-HRB)

**CITY OF CARMEL-BY-THE-SEA
CITY COUNCIL**

RESOLUTION NO. 2021-043

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CARMEL-BY-THE-SEA DENYING THE APPEAL BY CHRISTOPHER MITCHELL (APP 21-197) AND UPHOLDING THE HISTORIC RESOURCES BOARD'S DECISION TO ISSUE A FINDING OF NONCOMPLIANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE DEMOLITION OF THE PALO ALTO SAVINGS AND LOAN BANK COMMUNITY ROOM LOCATED AT DOLORES 2 SOUTHEAST OF 7TH AVENUE, IN THE SERVICE COMMERCIAL (SC) ZONING DISTRICT, APN: 010-101-017.

WHEREAS, the owner of the subject property is Esperanza Carmel Commercial, LLC ("Owner"); and

WHEREAS, Alem Dermicek of International Design Group, submitted an application on behalf of the owner requesting the approval of a Design Review "DR 20-395" ("project"); and

WHEREAS, the project is proposed to be located on a 12,000 square foot site located at Dolores 2 SE 7th , in the Service Commercial (SC) Zoning District (Block 91, Lot 6, 8, 10); and

WHEREAS, the project consists of the demolition of all improvements across the three lots and construction of a 16,898 square foot two story mixed-use development with a 11,371 square foot basement garage. Two-thirds of the project site (lots 6 & 8) are located on part of the Palo Alto Savings and Loan Bank complex (comprised of a bank building and a community room) which currently occupies Lots 2, 4, 6, and 8 of Block 91; and

WHEREAS, on April 19, 2021, the Historic Resources Board held a duly noticed public hearing to receive public testimony regarding the project, including without limitation, information provided to the Historic Resources Board by City staff and through public testimony on the proposed use; and

WHEREAS, the complex is not eligible for listing on the nation or local inventory as it fails to meet the 50-year old age requirement, however, the complex is eligible for listing on the California Register of Historic Resources (CRHR); and

WHEREAS, in 2019, a Determination of Ineligibility for listing on the City's Historic Inventory was issued for the complex and will expire on October 26, 2022; and

WHEREAS, in accordance with the California Environmental Quality Act (CEQA) Guideline §15064.5(a)(1), a structure must be treated as a historic resource if it is listed in, or determined to be eligible for listing in, the California Register of Historic Resources; and

WHEREAS, the project qualifies as a Major Alteration to a Historic Resource pursuant to CMC 17.32.160; and

WHEREAS, pursuant to CMC 17.32.120 (Alteration of Historic Resources), a determination of consistency with the Secretary's Standards shall be obtained prior to altering, remodeling, demolishing, grading, relocating, reconstructing or restoring any historic resource; and

WHEREAS, pursuant to CMC 17.32.160.B, determinations of consistency for major alterations shall be prepared by a qualified professional and shall be supported by written documentation that (1) identifies which of the Secretary of the Interior's Standards for Rehabilitation are applicable to the project, (2) reviews the proposed project, and (3) explains the basis of the determination; and

WHEREAS, pursuant to CMC 17.32.160.B.1.b, if the Board does not concur, the Board may request additional information prior to issuance of a determination of consistency, or may issue a finding of noncompliance with the Secretary's Standards. Any finding of noncompliance by the Board shall be supported by substantial evidence; and

WHEREAS, the project was considered by the Historic Resources Board at the April 19, 2021 hearing and the board voted to continue the item with direction to Staff to prepare a resolution for adoption for the issuance of a Finding on Noncompliance; and

WHEREAS, on May 17, 2021, the Historic Resources Board adopted Resolution 2021-03-HRB, issuing a Finding of Noncompliance; and

WHEREAS, on May 19, 2021, a timely appeal (APP 21-179) of the Finding of Noncompliance of DR 20-395 was filed with the City Clerk by Christopher Mitchell ("Applicant"); and

WHEREAS, on August 3, 2021, the City Council held a duly noticed public hearing to receive public testimony regarding the appeal, including without limitation, information provided to the City Council by City staff and through public testimony on the proposed project; and

WHEREAS, on August 3, 2021, the City Council held a de novo hearing to consider the appeal; and

WHEREAS, this Resolution and its findings are made based upon evidence presented to the Council at the August 3, 2021 hearing including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, notice of the public hearing was published on July 23, 2021, in compliance with State law (California Government Code 65090) indicating the date and time of the public hearing; and

WHEREAS, the City Council did hear and consider all said reports, attachments, recommendations and testimony herein above set forth and used their independent judgement to evaluate the project; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

NOW THEREFORE, BE IT RESOLVED THAT THE CITY COUNCIL OF THE CITY OF CARMEL-BY-THE-SEA DOES HEREBY:

Deny the appeal by Christopher Mitchell, on behalf of Esperanza Carmel Commercial, LLC, (APP 21-184) and uphold the Historic Resources Board's decision to issue a Finding of Noncompliance with the Secretary of the Interior's Standards for the demolition of the Palo Alto Savings and Loan Bank Community Room located at Dolores 2 southeast of 7th Avenue, in the Service Commercial (SC) Zoning District, APN: 010-101-017, as found in Historic Resources Board Resolution: Resolution 2021-03-HRB adopted on May 17, 2021.

Findings for Denial of Appeal	
No.	
1.	The purposes of historic preservation and the city's historic preservation ordinance is to preserve the best pieces of the historic development of a place/city through its significant architecture to preserve these buildings which represent important periods in a City's heritage. The Palo Alto Savings and Loan building can be considered one of the most exceptional and significant buildings to be constructed in the commercial district of Carmel during the entire decade of the 1970's.
2.	The City's Historic Context Statement identifies the Bay Region style and/or Second Bay Region Style as important substyle within the larger theme of Modern architecture -the building is "representative of at least one theme" in the existing Historic Context Statement.
3.	The building is acknowledged as exceptionally significant and is 49 years old. In less than one year, it will only need to be of normal significance for inclusion on the inventory.
4.	Together, the bank building and community room creates a spatial relationships on the property which are in themselves character defining, uses the same character defining elements of construction and detail, are built at the same time, designed and built by the same master architects.
5.	Pertinent testimony from a number of respected architects who opined that the former Palo Alto Savings and Loan Bank was an exceptional example of its architectural style, the work of master architects, retained a high level of integrity and embodied the distinctive characteristics of its type and period. Their professional opinions confirmed that sufficient time had elapsed since the construction of the Bank complex to allow for a scholarly perspective on its significance and its place in Carmel's architectural history.
6.	Following the Bank president's mandate, bank staff in each city where a branch was to be located, were directed to become more involved in local improvement projects and to provide meeting space for the community as part of the Bank's public relations strategy. Burde and Shaw, the architects of the Bank complex, were tasked to design a small building separated from the Bank that would be used for this express purpose. The view contained in the Phase II Report for this project that the Community Room was simply "a postscript to the architects' intentions" is false.
7.	The Community Room is not required to become significant in its own right. There are no historic preservation rules that would force it to stand on its individual merit in order to qualify for historic status. The Community Room remains a vital part of the architects' original design. While it is subordinate to the former Bank building, it continues to have an important spatial relationship to it.
8.	The Bank building and the Community Room are a historically related unit. Though the room is subordinate to the Bank, it has retained its historic integrity and is an integral component of the original design as approved by the architects' client, the owners of the Palo Alto Savings and Loan Bank.
9.	In the case of the Community Room, despite being an auxiliary use it was still part of the original concept of the building from the beginning.
10.	Simply because an element of a building is smaller or "subordinate" to other parts does not make them less important to the whole as a piece of architecture.

11.	The Bank complex is eligible for listing on the California Register of Historic Resources for purposes of the California Environmental Quality Act (CEQA).
12.	Both buildings are the work of two master architects, Walter Burde and Will Shaw, who are listed in the Carmel Historic Context Statement, whose office was located in downtown Carmel, and whose other individual works include the Christian Science Church in Carmel, the original Monterey Airport Terminal and Tower, the Custom House renovation in Monterey and the Highlands Inn reconstruction. Shaw also collaborated with renowned photographer, Ansel Adams, to create the Foundation for Environmental Design, a group that supported worthy projects that blended into the natural environment.
13.	A new construction project on the site of a demolished Community Room would constitute an adverse effect on the Bank complex and destroy the original concept as designed by two of Monterey County’s most respected master architects.
14.	The community room section of the building was designed right along with the rest of the building and contains all the character defining features of the main bank building: shed roof and copper roofing, angular forms and irregular massing, plate glass window walls, traditional materials used within a Modern architecture vocabulary, Integration of the building with its setting, Integration of the outdoors with interior spaces, Redwood siding and beams.
15.	The community room was constructed at the same time by the same builder. It’s materials, detailing, composition are all at the same level of quality as the main bank building.
16.	The Community Room element of the building adds to the complexity and richness of the overall resource which, if taken away, would significantly negatively impact the quality of architecture of the bank building.
17.	The structural connection in the design of this building was very intentional and strong, and is all part of one piece of significant architecture—one historic resource.
18.	By removing the community room the south elevation of the resource is completely changed and is not the intended design from the public right-of-way on the south side.

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF CARMEL-BY-THE-SEA this 3rd day of August, 2021, by the following vote:

AYES:

NOES: NONE

ABSENT: NONE

ABSTAIN: NONE

APPROVED:

ATTEST:

Dave Potter
Mayor

Britt Avrit, MMC
City Clerk



CITY OF CARMEL-BY-THE-SEA HISTORIC RESOURCES BOARD Staff Report

April 19, 2021
ORDERS OF BUSINESS

TO:	Historic Resources Board Commissioners
SUBMITTED BY:	Evan Kort, Associate Planner
SUBJECT:	Consideration of a Determination of Consistency for a Design Review Application (DR 20-395) for demolition of the Palo Alto Saving and Loan Community Room (Block: 91; Lot 6) and construction of a 16,898 square foot two story mixed-use development with a 11,371 square foot basement garage (Block 91; Lots 6, 8, & 10) in the Service Commercial (SC) Zoning District at Dolores 2 SE 7th; APN: 010-145-012.

RECOMMENDATION

Staff recommends that the Historic Resources Board adopt a resolution issuing a Determination of Consistency with the Secretary of the Interior's Standards for the demolition of the Palo Alto Savings and Loan Bank Community Room. APN: 010-101-017 (Attachment 1)

BACKGROUND/SUMMARY

The project site is located on Dolores 2 southeast of 7th on a 12,000 square foot lot comprised of three lots of record (Block: 91, Lots: 6, 8, 10). The applicant is proposing to demolish all improvements across the three lots and construct a 16,898 square foot two story mixed-use development with a 11,371 square foot basement garage. Two-thirds of the project site (lots 6 & 8) are located on part of the Palo Alto Savings and Loan Bank complex which currently occupies Lots 2, 4, 6, and 8 of Block 91.

The Palo Alto Savings and Loan Bank complex, consisting of a bank building and detached community room building, was constructed in 1972 and was designed by noted architects, Walter Burde and William Shaw, both of whom are listed in the City's Historic Context Statement. While the Palo Alto Savings and Loan buildings are characteristic of the Second Bay Region Tradition of architecture, and designed by noted architects, the complex was deemed ineligible for listing on the City's Historic Inventory as well as the National Register. In 2019, a Determination of Ineligibility (Attachment 3) was issued for the property by the City Council following the appeal of the Historic Resources Board's decision to add the property to the City's Historic Inventory; the Determination of Ineligibility will expire on October 26, 2022. The associated Determination of Ineligibility (Attachment 3) included a Phase II Report for an unrelated project that was previously submitted and withdrawn on May 1, 2020, although the report does provide background and history relevant to the project site. This original determination did not distinguish between the bank building and the community room, but rather analyzed the complex as a whole. While the complex is not eligible for listing on the nation or local inventory, it was previously determined that the site is eligible for listing on the California Register of Historic Resources (CRHR) and the complex, as a whole, is a historic resource for the purposes of the California Environmental Quality Act (CEQA).

According to the Phase II Evaluation attached to the Determination of Ineligibility for the site (Attachment 3), "In November 2001 Richard Janick assessed the building again using California Office of Historic Preservation DPR 523a and b forms. This second evaluation was no doubt initiated by a proposal filed in September 2001 to demolish the Palo Alto Savings and Loan complex and construct a new commercial property. Janick's evaluation of the building concluded that it was eligible for listing on the California Register under Criterion 3 (architecture), "as a significant example of Second Bay Region Style by local architect Will Shaw and Associates with design assistance by former partner Walter Burde." In accordance with CEQA Guideline §15064.5(a)(1), a structure must be treated as a historic resource if it is listed in, or determined to be eligible for listing in, the California Register of Historic Resources.

While the complex is eligible for listing on the CRHR, an Addendum to the Evaluation of Historical Significance for Palo Alto-Salinas Savings and Loan Complex was prepared by a Qualified Professional Historian, Margaret Clovis, evaluating the significance of the community room as an individual resource (Attachment 4). The evaluation concluded:

The Palo Alto-Salinas Savings and Loan complex consists of two buildings, a bank building and a community room. By definition they are a historically related unit and as a unit they have been determined eligible for listing on the California Register of Historic Resources. The primary building within the complex is the bank, and the property's historical significance is predicated on the bank. The community room is an ancillary structure that does not contribute to the overall significance of the complex. In addition, the community room was evaluated for eligibility for listing in the California Register of Historic Resources based on its merits alone. The community room does not meet the criteria for listing as an individual resource.

In other words, while the bank building and the community room are historically related, the bank building is the primary significant structure on site, and the community room is an ancillary structure that on its own is not historically significant. An illustrative

ATTACHMENT A
 comparison may be, for example, a historic home with a detached garage. While the site may be historically significant, the primary residence would typically be the historically significant structure on site and the garage would be a related accessory building that on its own would not be historically significant. Attachment 2

On January 8, 2021, an application for a Design Review was submitted to the Community Planning and Building Department that proposed the demolition of the community room as part of the subject Esperanza Carmel project. As part of the project review, a Phase II Report (Attachment 4) was prepared by Margaret Clovis evaluating the project's consistency with the Secretary of the Interior's Standards and Guidelines based on preliminary plans. The Phase II Report concludes the project will not have a significant impact on the historic bank building provided the project meets the applicable Secretary's Standards for Rehabilitation and that the recommended conditions identified in the report are followed (discussed below).

In accordance with CMC 17.32.160.B.1, "If the Board concurs with the evaluation [prepared by the qualified professional], the Board shall issue a determination of consistency and adopt any appropriate conditions of approval. Any finding of compliance by the Board shall be supported by substantial evidence. If the Board does not concur, the Board may request additional information prior to issuance of a determination of consistency, or may issue a finding of noncompliance with the Secretary's Standards. Any finding of noncompliance by the Board shall be supported by substantial evidence."

The scope of this review shall be limited to the discussion regarding the proposed demolition of the community room and determining whether the demolition is consistent with the applicable Secretary of the Interior's Standards.

STAFF ANALYSIS

Secretary of the Interior's Standards: The Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards) provides the framework for evaluating the impacts of additions and alterations to historic buildings. The Standards describe four treatment approaches: preservation, rehabilitation, restoration and reconstruction. The Standards require that the treatment approach be determined first, as a different set of standards apply to each approach. For the proposed project, the treatment approach is rehabilitation.

Margaret Clovis evaluated the project for consistency with the Secretary of the Interior's Ten Standards for Rehabilitation (Attachment 4). Ms. Clovis found that Standards #1, 2, 5, 6, 8, 9 and 10 are applicable to the project. The evaluation concluded that the project as proposed is consistent with the applicable standards on the condition that recommendations in this report are carried out.

Standard 1: *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

Phase II Response: "The bank building has been used as a bank, retail store and most recently as a restaurant. These different uses have required minimal change to its distinctive materials, features, spaces, and spatial relationships. The community room is separated from the main bank building by a walkway. Sheet A1.0 indicates that the proposed adjacent construction will be separated from the bank building by a new walkway. The new walkway will help to maintain spatial relationships between the buildings however that spatial relationship should be maintained from the ground level to the roof by a setback of the north elevation from the bank building. It is also recommended that the proposed walkway be the same width as the current walkway."

Staff Response: Following completion of the Phase II Report, Staff met with Ms. Clovis, and the applicant to discuss the spatial relationship between the bank building and proposed development. It was discussed at the meeting that the proposed development may be located closer to the adjacent bank building than initially outlined in the report provided the spatial relationship be maintained. While the recommendation outlined in the Phase II report states the northern wall of the community room should be used as the setback line, Staff is in agreement that a lesser setback could be considered provided adequate separation between the buildings is maintained.

The existing separation between the bank building and community room is 8'4" at the nearest point, as dimensioned in the field by staff. As shown on the preliminary project plans (Attachment 8, Sheet A1.0), the proposed closest setback between the buildings is 7'. While Staff is supportive of allowing for some relief from the initially recommended setback line (northern building wall of the community room), Staff recommends the proposed building not be permitted to extend more than one foot beyond the existing northern wall of the community room.

In the same meeting referenced above with the applicant and Ms. Clovis, the applicant has requested a small portion of the of the building to further encroach into this setback area to accommodate a staircase –in its current configuration, this project would be setback 5 feet from the bank building. Staff is supportive of this projection as it is relatively minor and setback approximately 51'7" from the property line fronting Dolores Street, therefore does not impact the feeling of separation when viewed from the street.

Staff has included Recommended Condition of Approval #1 stating, "to maintain the spatial relationship between buildings, the proposed building shall not extend more than one foot beyond the existing northern wall of the community room with the exception of a stairway project which shall be located no closer than 5' from the bank building."

Standard 2: *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided.*

Phase II Response: "The historic character of the bank building will not be altered. No distinctive materials will be removed. Features, and spaces will not be altered. The spatial relationship between the bank and the community room which has been established by the walkway separating the two should be maintained as part of the new construction."

ATTACHMENT A

The Secretary of the Interior's Guidelines for Rehabilitation recommend that any new construction adjacent to a historic structure should be placed away from or at the side or rear of a historic building and must avoid obscuring, damaging, or destroying character-defining features of the building. It appears from the Site Plan that the bulk of the new building will be located behind the bank and set back from Seventh Street. The proposed work appears to be consistent with Standard Two."

Staff Response: See Staff Response under Standard 1 for discussion regarding maintaining the separation between the two buildings. In the Service Commercial (SC) Zoning District, buildings are required to be constructed to within 2'6" of the front property line for at least 70% of the street frontage (CMC 17.14.130). As viewed from Dolores Street, the project would be constructed to the required "build-to" line however would be slightly setback from the bank building along Dolores. As viewed from 7th Avenue, the building would be setback over 80' from the 7th Avenue sidewalk. Staff concurs that the proposed work appears to be consistent with Standard 2.

Standard 5: *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

Phase II Response: "The community room will be demolished as part of this project. It is connected to the main bank building at the second-floor level by an elevated walkway. When the community room is demolished a gap will be created in the exterior wall of the bank building. The wall should be repaired by matching the original wall in design, color, texture, and if possible, materials. If this is clearly indicated on the construction plans, then the work will be consistent with Standard Five.

It is important that a historic structure be protected during adjacent construction. Demolition activities and construction on neighboring sites can cause immediate harm to the physical integrity of a historic building through concentrations of dust, fire, vibration, and more. The National Park Service provides guidance for the temporary protection of historic structures in Preservation Tech Note Number 35 [Refer to Attachment 5]. Providing adequate protection involves the following steps:

1. Consultation between the historic building owner and development team to identify potential risks, negotiate changes and agree upon protective measures.
2. Documentation of the condition of the historic building prior to adjacent work.
3. Implementation of protective measures at both the construction site and the historic site.
4. Regular monitoring during construction to identify damage, to evaluate the efficacy of protective measures already in place, and to identify and implement additional corrective steps.

Work will be consistent with Standard Five if a protection plan is submitted to the HRB for review and approval prior to the commencement of any work on the proposed project."

Staff Response: The applicant has submitted a written Protection and Monitoring Plan (Attachment 6) outlining the steps proposed to be taken to protect the adjacent bank building during the proposed demolition of the community room and during the proposed construction of the subject project. In addition to the written plan, the applicant has also provided a protection plan included in the preliminary project plans (Attachment 8, Sheet A1.1) that identify the proposed protection measures during construction, and are outlined in the "Historic Building Protection Plan Key Notes."

Staff has included Recommended Condition of Approval #2 stating, "The written Protection and Monitoring Plan and Historic Building Protection Plan indicated in the project plans, collectively known as the "Protection Plan," (Attachment 6) shall be adhered to prior to and during construction. Protective measures installed on-site or on the adjacent site shall be inspected by the Planning Department and Building Inspector prior to the issuance of a demolition or building permit. Modifications to the Protection Plan shall require approval by the Historic Resources Board."

Standard 6: *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

Phase II Response: "No work will be done on the historic bank building except for the repair of the wall juncture between the community room and bank. As stated in Standard Five, the repair of the bank wall should match the original wall in design, color, texture, and where possible, materials. Construction plans should clearly indicate how the wall will be repaired in order to be consistent with Standards Five and Six."

Staff Response: An application for repairs to the bank building necessitated as a result of the portion of wall being removed by the proposed project is forthcoming. To ensure the associated repairs to the bank building are addressed, Staff has included Recommended Condition of Approval #3 stating, "Prior to the issuance of a demolition or building permit, an application for repairs to the bank building necessitated by the removal of the wall juncture between the community room and bank shall be submitted to the Community Planning and Building Department."

Standard 8: *Archeological resources will be protected and preserved in place.*

Phase II Response: The current parking lot will be demolished, and a [11,371] square foot basement area will be excavated which will serve as a parking garage, gym, and support services for the new building. Because there will be major ground disturbance, an archeological report should be prepared to evaluate whether any resources are present. If resources are discovered, appropriate mitigation measures should be implemented. The proposed work will be consistent with Standard Eight once an archaeological report is completed.

ATTACHMENT A

Staff Response: An Archaeological Report was previously prepared for Lot 10 in 2019 and an additional Archaeological Report was prepared for Lots 6 and 8 in 2021 following the submittal of the subject application (refer to Attachment 7); both reports were prepared by Susan Morley, M.A. Attachment 2

Both reports maintain the same conclusion that state, "Archaeological reconnaissance did not reveal any of the indicators expected of a prehistoric archaeological or historical resource in this region; there are no culturally modified soils present; no shell fragments, bone fragments, or culturally modified lithic materials were noted in the soils of the project parcel. No granitic or other bedrock outcrops were present that may possibly have contained bedrock mortars or cupules... Based upon these negative findings, there is no reason to delay the project parcel due to archaeological concerns."

However, staff included Recommended Condition of Approval #4 and #5 stating, "In the event that unexpected traces of historic or prehistoric materials, i.e., human remains, concentrations of shell or heat altered rock or historic trash pits are encountered during grading or other future development all construction activity shall immediately cease, and the applicant shall notified the Community Planning and Building Department within 24 hours and a qualified archaeologist shall be retained for appropriate archaeological mitigation," and "If any human remains are exposed, the Health and Safety Code § 7050.5 requires that no further excavation or disturbance occurs in the area and that the county coroner is called so that the coroner can verify that the remains are not subject to medical jurisprudence. Within 24 hours of notification, the coroner calls the Native American Heritage Commission if the remains are known or thought to be Native American."

Standard 9: *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

Phase II Response: The new construction will demolish the parking lot, community room, and garden wall which are part of the bank complex however they are not significant in their own right. These features supported the bank's former function but do not support its eligibility under Criterion Three (Architecture). They are not considered character-defining features. The pathway separating the community room and the bank creates an important spatial relationship that should be preserved, as discussed under Standards One and Two. The proposed work appears to be consistent with Standard Nine.

Staff Response: Staff concurs with the Phase II Response, above.

Standard 10: *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Phase II Response: If removed in the future, the proposed new construction adjacent to the historic bank building will not impair the historic property and environment only if care is taken to remove the building following the guidance provided in Preservation Tech Note Number 3 and described under Standard Five.

Staff Response: Staff concurs with the Phase II Response, above.

Historic Evaluation Summary: The California Environmental Quality Act (CEQA) requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior's Standards. The proposed demolition of the Palo Alto Savings and Loan Community Room was reviewed by the City's Historic Preservation Consultant and a Phase II Historic Assessment was prepared for the project (refer to Attachment 4). The Assessment includes an analysis of the proposed changes based on the Secretary of the Interior's Standards for the Treatment of Historic Properties. The Assessment concludes that the project meets the Secretary of the Interior's Standards for rehabilitation. The proposed demolition of the Palo Alto Savings and Loan Community Room does not impact the remaining character-defining features or overall historic integrity of the Palo Alto Savings and Loan Bank Building.

FISCAL IMPACT

N/A

ATTACHMENTS:

[Attachment 1 - Resolution](#)

[Attachment 2 - Site Photographs](#)

[Attachment 3 - Determination of Ineligibility](#)

[Attachment 4 - Historic Evaluation Addendum](#)

[Attachment 5 - Phase II Evaluation](#)

[Attachment 6 - Preservation Tech Note Number 35](#)

[Attachment 7 - Protection Plan](#)

[Attachment 8 - Archeological Reports](#)

[Attachment 9 - Preliminary Project Plans](#)

June 17, 2020

**Addendum to Evaluation of Historical Significance for 7th & Dolores
(formerly the Palo Alto-Salinas Savings and Loan Complex)
APN 010-145-020, Carmel-by-the-Sea, CA.**

Executive Summary

Constructed in 1972, the buildings historically known as the Palo Alto-Salinas Savings and Loan complex are located on the southeast corner of Seventh and Dolores Streets in downtown Carmel. The complex consists of two buildings; the former bank and a separate community room.

An evaluation of significance dated October 3, 2019 determined that the complex was not eligible for listing on the National Register of Historic Places due to Criterion G which requires that buildings less than 50 years old be exceptionally important to be listed. In addition, the report concluded that the building did not meet all the eligibility requirements for inclusion in the Carmel Inventory. Specifically, it does not currently represent a theme in the Historic Context Statement¹ and it is not 50 years old. It was determined however, that the building complex is eligible for the California Register of Historic Resources because there is no listing requirement regarding exceptional importance for a building that is less than 50 years old.

This report serves as an addendum to the previous report and specifically focuses on the eligibility for the individual listing of the community room on the California Register of Historic Resources and on its importance within the Palo Alto-Salinas Savings and Loan complex.

Building Description

The community room fronts Dolores Street and is located directly to the south of the former bank building. Measuring just over 600 square feet, the one-room building utilizes the same materials used in the main building, most notably the copper roofing and vertical heart redwood siding. Identical design elements include a shed roof and large plate glass windows on each elevation. Like the main building, the overall effect is a design of clean simplicity. A pergola-covered walkway separates the two buildings while an elevated walkway connects them.

A 1971 article in the *Pine Cone* describes plans for the community room: "In addition to the main building facility, plans call for a separate community room for public use which will be enclosed by a walled garden including trees and plants."² The walled garden area is still extant, featuring potted plants and a couple of trees at the rear of the property.

¹ At this time Carmel's Context Statement only includes themes up to 1965. The City is in the process of updating the Context Statement to reflect themes between 1966 – 1990.

² *The Carmel Pine Cone*. September 30, 1971, p. 19.



Front Elevation Facing Dolores Street, 2020



Looking towards Dolores Street, 2020

The first remodel of the building took place in 1978³ and included the removal of the interior chair rails to accommodate plantation blinds. Eventually the exterior rails were removed from the upper and lower windows on the west and south elevations. Single panes of plate glass replaced the original windows. The wall surrounding the community room obscured much of the building but in 2013 a portion of the wall on the south elevation was removed and the entire wall was shortened by twelve inches. That same year new pergolas were added to the front and rear of the walkway.

Building History

Plans got underway for the construction of a new Palo Alto-Salinas Savings and Loan Company building in 1971. The bank was occupying a 1950s building on the corner of 7th and Dolores. By the time the bank opened in November, 1972, Palo Alto-Salinas Savings and Loan had acquired Carmel Savings Bank, changed their name to Northern California Savings and Loan, and were operating 23 branches throughout northern California. The company was rapidly expanding in 1972. The new Carmel branch was the third of four new branches planned for that year.

Company President Firmin A. Gryp insisted “that the Northern California Savings staff in each community becomes involved in community improvement projects.”⁴ Providing a community

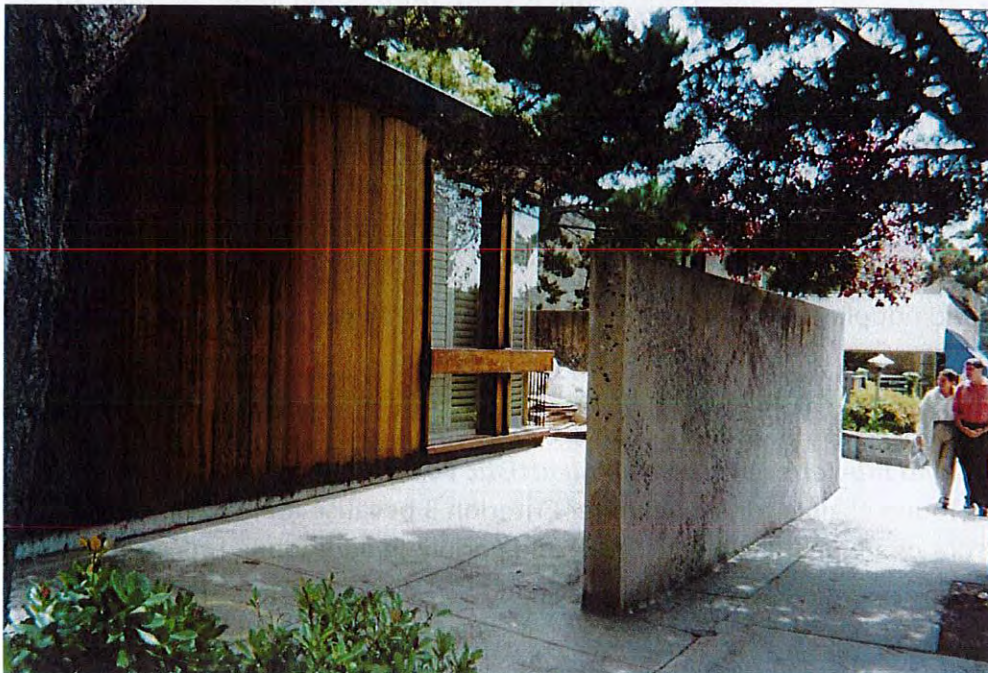
³ 7th & Dolores Building Files. Carmel-by-the-Sea Planning Department.

⁴ *The Carmel Pine Cone*. November 8, 1972.

room at each branch was part of the bank's public relations strategy. The company sent their Community Relations Director to Carmel to work with bank manager Charles Lunt to make sure he got off on the right foot with residents. The bank opened with a full week of festivities, drawing on the popular local themes of dogs and trees.



Views showing original window design, 1999.



During the 1970s a variety of lectures, benefits, and meetings were hosted at the community room, ranging from the Carmel River Steelhead Association's monthly meetings to transcendental meditation classes. The community room's proposed use as a gallery never came to pass, and during that decade only one photography exhibit was featured.

Although the 1970s started off as an optimistic period of growth for the bank, storm clouds were on the horizon. On the national front, slow economic growth and high interest rates created a recession by 1980. Fewer families were applying for home loans, leaving the Savings and Loan banks with dwindling portfolios of low interest mortgages as their only source of income. By 1989 more than 1000 of the nation's Savings and Loans had failed. The crisis is now recognized as the most significant bank collapse since the Great Depression. The Northern California Savings and Loan bank was one of the first to fail. In 1982 it was merged into Great Western Bank. The former focus on community relations dropped by the wayside as well. Use of the community room slowed dramatically and by the mid-1980s there is no mention of its use by local groups.

Analysis of Significance

As previously stated, the Palo Alto-Salinas Savings and Loan complex does not meet the criteria for listing in the National Register of Historic Places and in Carmel's Inventory of Historic Resources.

The complex was determined eligible under Criterion 3 (Architecture) in the California Register of Historic Resources (CRHR).⁵ Following is an analysis of the community room's individual eligibility based on the CRHR designation criteria.

▪ ***Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States (Criterion 1)***

None of the events that took place at the community room made a significant contribution to the broad patterns of local and regional history or the cultural heritage of California or the United States, therefore it does not meet Criterion 1.

▪ ***Associated with the lives of persons important to local, California or national history (Criterion 2)***

The community room did not play a significant role in the lives of any people important to local, California, or national history and does not meet Criterion 2.

▪ ***Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values (Criterion 3)***

The bank complex was found eligible for listing under Criterion 3 because it embodies the distinctive characteristics of a type (Bay Region Style) and period. In addition, it represents the

⁵ The applicability of the 50-Year Rule was explained in the previous report.

work of two masters, Will Shaw and Walter Burde, who combined their creative energies to create a unified vision.

Several testimonies supporting the architectural significance of the bank building were cited in the previous report⁶. The community room is not included in any of these statements. The bank building was always the design team's focal point and they took great care to make the new building compatible with the character of Carmel.⁷ The community room was simply a postscript to their design intentions, tacked on primarily to satisfy the bank's commitment to forging community connections. The remodel of the windows to single-pane plate glass diminished the Bay Region character of the community room, reducing its design to a watered-down version of the bank building. The Community Room features the same materials, nods to the Bay Region design vocabulary, but does not rise to the same level of design acumen reflected in the bank building. It does not contain enough distinctive characteristics to be considered a true representative of the Bay Region style and therefore does not meet this section of Criterion 3.

The bank complex was designed and executed by two master architects and the community room was incorporated into their plans. A property is not eligible as the work of a master simply because it was designed and executed by a prominent architect, and in this case, two prominent architects. Rather, it must exemplify the master's work. The bank building is a vastly superior example of both architect's work on many different levels. They created the illusion of spaciousness through a variety of design techniques and fine materials. They utilized the tenants of the Bay Region Style by successfully blending exterior with interior spaces and the bank building reflects Burde's interest in Japanese design as well. The community room was a minor part of the overall project, and as a stand-alone building, does not realize any of the same intentions reflected in the bank building's design. The community room does not meet this section of Criterion 3.

The third section of Criterion 3, high artistic values, is applicable if a property so fully articulates a particular concept of design that it expresses an aesthetic ideal. Typically, high artistic values relate to community design and planning, engineering, or sculpture. It is not applicable in this case.

- Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation (Criterion 4)

Criterion 4 is typically associated with archeological resources and is not applicable to this evaluation.

⁶ Clovis, Margaret. *Evaluation of Significance and Phase Two Report for Seventh & Dolores (formerly the Palo Alto Savings and Loan Complex) (APN 010 145 020) Carmel-by-the-Sea, CA*. October 3, 2019.

⁷ *The Carmel Pine Cone*. September 30, 1971. p. 19.

Definitions

The California Register of Historic Resources provides definitions of terms in the California Code of Regulations (Title 14, Chapter 11.5, Appendix A). A **Building** is defined as follows:

A resource such as a house, barn, church, factory, hotel, or similar structure, created principally to shelter or assist in carrying out any form of human activity. Also, used to refer to an historically and functionally related unit, such as a courthouse and jail or a house and barn.

Based on this definition, the bank building and community room are a historically related unit but clearly the community room is the subordinate building in the complex. The community room is not an essential component of the bank design; it is not physically integrated into the bank building; it does not add to the bank's integrity; and it does not amplify the bank's architectural qualities. The bank retains its significance with or without the community room, yet the community room, without the bank, would not retain significance.

Summary

The Palo Alto-Salinas Savings and Loan complex consists of two buildings, a bank building and a community room. By definition they are a historically related unit and as a unit they have been determined eligible for listing on the California Register of Historic Resources. The primary building within the complex is the bank, and the property's historical significance is predicated on the bank. The community room is an ancillary structure that does not contribute to the overall significance of the complex. In addition, the community room was evaluated for eligibility for listing in the California Register of Historic Resources based on its merits alone. The community room does not meet the criteria for listing as an individual resource.

Respectfully submitted,



Margaret Clovis

March 1, 2021

Preliminary Phase Two Report for the Palo Alto - Salinas Savings and Loan Bank, Community Room, Parking Lot, and Garden Wall (APN 010-145-020), Carmel-by-the-Sea, CA.

Executive Summary

The Palo Alto-Salinas Savings and Loan community room, parking lot, and garden wall are part of a larger complex that features the original main bank building as its focal point. All elements in the complex are located on the corner of Dolores and Seventh Streets in downtown Carmel. The bank building has been evaluated for historical significance multiple times. In October 2019¹ the bank building was found eligible for listing in the California Register for Historic Resources (CRHR) under Criterion Three (Architecture) but is currently not eligible for listing on the Carmel Historic Resources Inventory or the National Register of Historic Places due to the Fifty-Year Rule. Nonetheless, it is considered a significant resource for the purposes of CEQA with a period of significance of 1972.

In June 2020² the bank's companion community room was evaluated for historical significance under the California Register for Historic Resources criteria and was found ineligible for listing as an individual resource. The garden wall and parking lot have not been evaluated for their individual merit within the complex, however their history and a determination of eligibility will be included as part of this report.

An application has been submitted to the Carmel Planning Department proposing the demolition of the community room, parking lot and garden wall to allow for the construction of an underground parking garage and a two-story building with a combined use of second floor residential apartments and ground floor commercial space. This Phase Two report examines the project's consistency with the *Secretary of the Interior's Standards and Guidelines*³ based on preliminary plans and makes recommendations which will help guide final plans.

Parking Lot & Garden Wall: Historical Background and Significance

The Palo Alto-Salinas Savings and Loan complex was constructed in 1972 on the corner of Dolores and 7th streets in the same location as it's former building. The former building (originally the telephone company) fronted on Seventh Street. An eighteen-space parking lot was located behind the building and was entered and exited via Dolores Street. Plans for the new bank building reconfigured the space, so most of the bank's facade and the community room fronted on Dolores Street. The parking lot, again with eighteen spaces, wrapped around the rear of the new building and was entered on Dolores Street and exited on Seventh. An article in the *Carmel Pine Cone* stated that, "parking facilities are less visually

¹ Clovis, Meg. *Evaluation of Significance and Phase Two Report for Seventh & Dolores (formerly the Palo Alto Savings and Loan complex)*, October 3, 2019.

² Clovis, Meg. *Addendum to Evaluation of Historical Significance for Seventh & Dolores (formerly the Palo Alto Savings and Loan Complex)*, June 17, 2020.

³ *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings*. U.S. Department of the Interior. National Park Service. Technical Preservation Services, Washington D.C., 2017.

obtrusive than they are now, stretching around behind the buildings".⁴ A drive-up teller window could be accessed from the Seventh Street side of the parking lot and was included in the original construction.

The same *Pine Cone* article that described the future parking facilities also described the garden wall that would partially surround the community room. Originally, a small sculpture garden was planned for the walled space but it never came to fruition. In 2013 a portion of the wall on the south elevation was removed and the entire wall was shortened by twelve inches.

When it was constructed in 1972, the Palo Alto-Salinas Savings and Loan complex included a bank building, a community room, a parking lot, and a wall which surrounded the community room. Historical evaluations have concluded that the bank building is eligible for listing on the California Register of Historic Resources on the local level under Criterion Three (Architecture) because it embodies the distinctive characteristics of a type and period, and it represents the work of two Masters. The community room is not eligible for individual listing on the California Register on its own merit because it does not meet Criterion One (Events), Criterion Two (People), or Criterion Three (Architecture).

Like the Community Room, the parking lot and garden wall are not individually eligible for listing in the California Register. Following is an analysis of their eligibility based on CRHR designation criteria:

- ***Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States (Criterion One)***

There were no events in the parking lot or in the space enclosed by the garden wall that made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States. The parking lot and garden wall are not eligible for listing under Criterion One.

- ***Associated with the lives of persons important to local, California or national history (Criterion Two)***

The parking lot and garden wall did not play a significant role in the lives of any people important to local, California, or national history and they are not eligible for listing under Criterion Two.

- ***Embodies the distinctive characteristics of a type, period, region, or method of construction or represents the work of a master or possesses high artistic values (Criterion Three)***

The parking lot and garden wall are generic in design and do not exhibit the distinctive characteristics of a type, period, region, or method of construction. The parking lot in particular was designed to be unobtrusive and not to detract from the main bank building. Although the parking lot and community room were included in the Shaw and Burde plans for the complex, their creative energies were focused on the main bank building. The parking lot supported the bank's functions by offering customers convenient access. The garden wall never enclosed a sculpture court and in 2013 a portion of the wall was removed plus the entire wall was lowered by a foot, thus diminishing its original design and purpose. At one time, both the parking lot and

⁴ *Carmel Pine Cone*. September 30, 1971, p. 19.

wall supported the bank's function but they do not contribute to the bank's distinction as a significant local representative of the Bay Region style of architecture. Neither can be considered a historic resource on their own merit and they are not eligible for listing under Criterion Three.

The Secretary of the Interior's Standards for Rehabilitation

Compliance Evaluation

As a historical resource, the Palo Alto-Salinas Savings and Loan Bank building is subject to review under the California Environmental Quality Act (CEQA). The parking lot, community room, and wall are not historic resources and are not individually subject to CEQA, however the impact of their proposed demolition on the historic resource is relevant under several of the Standards. Generally, under CEQA, a project that follows the *Standards for Rehabilitation* contained within *The Secretary of the Interior's Standards for the Treatment of Historic Properties* is considered to have mitigated impacts to a historical resource to a less-than-significant level (CEQA Guidelines 15064.5).

The impact of the proposed demolition of site features within the Palo Alto-Salinas Savings and Loan Bank complex are reviewed below with respect to the *Rehabilitation Standards*. The Standards are indicated in italics, followed by a discussion regarding the project's consistency or inconsistency with each Standard.

Standard One

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The bank building has been used as a bank, retail store and most recently as a restaurant. These different uses have required minimal change to its distinctive materials, features, spaces, and spatial relationships. The community room is separated from the main bank building by a walkway. Sheet A1.0 indicates that the proposed adjacent construction will be separated from the bank building by a new walkway. The new walkway will help to maintain spatial relationships between the buildings however that spatial relationship should be maintained from the ground level to the roof by a setback of the north elevation from the bank building. It is also recommended that the proposed walkway be the same width as the current walkway.

Standard Two

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided.

The historic character of the bank building will not be altered. No distinctive materials will be removed. Features, and spaces will not be altered. The spatial relationship between the bank and the community room which has been established by the walkway separating the two should be maintained as part of the new construction. *The Secretary of the Interior's Guidelines for Rehabilitation* recommend that any new construction adjacent to a historic structure should be placed away from or at the side or rear of a historic building and must avoid obscuring, damaging, or destroying character-defining features of the building. It appears from the Site Plan that the bulk of the new building will be located behind the bank and set back from Seventh Street. The proposed work appears to be consistent with Standard Two.

Standard Three

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historical properties, will not be undertaken.

No conjectural features or architectural elements that would create a false sense of history will be added to the historic resource. This Standard is not applicable.

Standard Four

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

The bank building has changed very little over time and there are no features that have achieved significance in their own right. This Standard is not applicable.

Standard Five

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.



The community room will be demolished as part of this project. It is connected to the main bank building at the second-floor level by an elevated walkway. When the community room is demolished a gap will be created in the exterior wall of the bank building. The wall should be repaired by matching the original wall in design, color, texture, and if possible, materials. If this is clearly indicated on the construction plans, then the work will be consistent with Standard Five.

It is important that a historic structure be protected during adjacent construction. Demolition activities and construction on neighboring sites can cause immediate harm to the physical integrity of a historic building through concentrations of dust, fire, vibration, and more. The National Park Service provides guidance for the temporary protection of historic structures in Preservation Tech Note Number 3⁵ (attached to this report).

Providing adequate protection involves the following steps:

1. Consultation between the historic building owner and development team to identify potential risks, negotiate changes and agree upon protective measures.

⁵ Preservation Tech Notes, *Protecting a Historic Structure during Adjacent Construction*. Technical Preservation Services, National Park Service, 2001.

2. Documentation of the condition of the historic building prior to adjacent work.
3. Implementation of protective measures at both the construction site and the historic site.
4. Regular monitoring during construction to identify damage, to evaluate the efficacy of protective measures already in place, and to identify and implement additional corrective steps.

Work will be consistent with Standard Five if a protection plan is submitted to the HRB for review and approval prior to the commencement of any work on the proposed project.

Standard Six

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

No work will be done on the historic bank building except for the repair of the wall juncture between the community room and bank. As stated in Standard Five, the repair of the bank wall should match the original wall in design, color, texture, and where possible, materials. Construction plans should clearly indicate how the wall will be repaired in order to be consistent with Standards Five and Six.

Standard Seven

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Surface cleaning is not proposed for the historic resource. This Standard is not applicable.

Standard Eight

Archeological resources will be protected and preserved in place.

The current parking lot will be demolished, and a 10,746 square foot basement area will be excavated which will serve as a parking garage, gym, and support services for the new building. Because there will be major ground disturbance, an archeological report should be prepared to evaluate whether any resources are present. If resources are discovered, appropriate mitigation measures should be implemented. The proposed work will be consistent with Standard Eight once an archaeological report is completed.

Standard Nine

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

The new construction will demolish the parking lot, community room, and garden wall which are part of the bank complex however they are not significant in their own right. These features supported the bank's former function but do not support its eligibility under Criterion Three (Architecture). They are

not considered character-defining features. The pathway separating the community room and the bank creates an important spatial relationship that should be preserved, as discussed under Standards One and Two. The proposed work appears to be consistent with Standard Nine.

Standard Ten

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

If removed in the future, the proposed new construction adjacent to the historic bank building will not impair the historic property and environment only if care is taken to remove the building following the guidance provided in Preservation Tech Note Number 3 and described under Standard Five.

Conclusion

The former Palo Alto-Salinas Savings and Loan complex consists of the historic bank building, a community room, a parking lot and garden wall. The primary building within the complex is the bank, and the property's architectural significance is predicated on the bank, not the community room which is simply an ancillary structure. The community room has been evaluated for eligibility for listing in the California Register based on its merits alone and it does not meet the criteria for listing as an individual resource.

The proposed project will meet Standards One, Two, Five, Six, Eight, Nine, and Ten of the Secretary of the Interior's Standards and Guidelines for Rehabilitation on the condition that recommendations in this report are carried out. Standards Three, Four, and Seven are not applicable to this project. If the proposed project meets the aforementioned Standards then the project will not have a significant impact on the historic bank building.

Respectfully Submitted,



Margaret Clovis



CITY OF CARMEL-BY-THE-SEA HISTORIC RESOURCES BOARD Staff Report

April 19, 2021
ORDERS OF BUSINESS

TO: Historic Resources Board Commissioners

SUBMITTED BY: Evan Kort, Associate Planner

SUBJECT: Consideration of a Determination of Consistency for a Design Review Application (DR 20-395) for demolition of the Palo Alto Saving and Loan Community Room (Block: 91; Lot 6) and construction of a 16,898 square foot two story mixed-use development with a 11,371 square foot basement garage (Block 91; Lots 6, 8, & 10) in the Service Commercial (SC) Zoning District at Dolores 2 SE 7th; APN: 010-145-012.

RECOMMENDATION:

Staff recommends that the Historic Resources Board adopt a resolution issuing a Determination of Consistency with the Secretary of the Interior's Standards for the demolition of the Palo Alto Savings and Loan Bank Community Room. APN: 010-101-017 (Attachment 1)

BACKGROUND/SUMMARY:

The project site is located on Dolores 2 southeast of 7th on a 12,000 square foot lot comprised of three lots of record (Block: 91, Lots: 6, 8, 10). The applicant is proposing to demolish all improvements across the three lots and construct a 16,898 square foot two story mixed-use development with a 11,371 square foot basement garage. Two-thirds of the project site (lots 6 & 8) are located on part of the Palo Alto Savings and Loan Bank complex which currently occupies Lots 2, 4, 6, and 8 of Block 91.

The Palo Alto Savings and Loan Bank complex, consisting of a bank building and detached community room building, was constructed in 1972 and was designed by noted architects, Walter Burde and William Shaw, both of whom are listed in the City's Historic Context Statement. While the Palo Alto Savings and Loan buildings are characteristic of the Second Bay Region Tradition of architecture, and designed by noted architects, the complex was deemed ineligible for listing on the City's Historic Inventory as well as the National Register. In 2019, a Determination of Ineligibility (Attachment 3) was issued for the property by the City Council following the appeal of the Historic Resources Board's decision to add the property to the City's Historic Inventory; the Determination of Ineligibility will expire on October 26, 2022. The associated Determination of Ineligibility (Attachment 3) included a Phase II Report for an unrelated project that was previously submitted and withdrawn on May 1, 2020, although the report does provide background and history relevant to the project site. This original determination did not distinguish between the bank building and the community room, but rather analyzed the complex as a whole. While the complex is not eligible for listing on the nation or local inventory, it was previously determined that the site is eligible for listing on the California Register of Historic Resources (CRHR) and the complex, as a whole, is a historic resource for the purposes of the California Environmental Quality Act (CEQA).

According to the Phase II Evaluation attached to the Determination of Ineligibility for the site (Attachment 3), "In November 2001 Richard Janick assessed the building again using California Office of Historic Preservation DPR 523a and b forms. This second evaluation was no doubt initiated by a proposal filed in September 2001 to demolish the Palo Alto Savings and Loan complex and construct a new commercial property. Janick's evaluation of the building concluded that it was eligible for listing on the California Register under Criterion 3 (architecture), "as a significant example of Second Bay Region Style by local architect Will Shaw and Associates with design assistance by former partner Walter Burde." In accordance with CEQA Guideline §15064.5(a)(1), a structure must be treated as a historic resource if it is listed in, or determined to be eligible for listing in, the California Register of Historic Resources.

While the complex is eligible for listing on the CRHR, an Addendum to the Evaluation of Historical Significance for Palo Alto-Salinas Savings and Loan Complex was prepared by a Qualified Professional Historian, Margaret Clovis, evaluating the significance of the community room as an individual resource (Attachment 4). The evaluation concluded:

The Palo Alto-Salinas Savings and Loan complex consists of two buildings, a bank building and a community room. By definition they are a historically related unit and as a unit they have been determined eligible for listing on the California Register of Historic Resources. The primary building within the complex is the bank, and the property's historical significance is predicated on the bank. The community room is an ancillary structure that does not contribute to the overall significance of the complex. In addition, the community room was evaluated for eligibility for listing in the California Register of Historic Resources based on its merits alone. The community room does not meet the criteria for listing as an individual resource.

In other words, while the bank building and the community room are historically related, the bank building is the primary significant structure on site, and the community room is an ancillary structure that on its own is not historically significant. An illustrative comparison may be, for example, a historic home with a detached garage. While the site may be historically significant, the primary residence would typically be the historically significant structure on site and the garage would be a related accessory building that on its own would not be historically significant.

On January 8, 2021, an application for a Design Review was submitted to the Community Planning and Building Department that proposed the demolition of the community room as part of the subject Esperanza Carmel project. As part of the project review, a Phase II Report (Attachment 4) was prepared by Margaret Clovis evaluating the project's consistency with the Secretary of the Interior's Standards and Guidelines based on preliminary plans. The Phase II Report concludes the project will not have a significant impact on the historic bank building provided the project meets the applicable Secretary's Standards for Rehabilitation and that the recommended conditions identified in the report are followed (discussed below).

In accordance with CMC 17.32.160.B.1, "If the Board concurs with the evaluation [prepared by the qualified professional], the Board shall issue a determination of consistency and adopt any appropriate conditions of approval. Any finding of compliance by the Board shall be supported by substantial evidence. If the Board does not concur, the Board may request additional information prior to issuance of a determination of consistency, or may issue a finding of noncompliance with the Secretary's Standards. Any finding of noncompliance by the Board shall be supported by substantial evidence."

The scope of this review shall be limited to the discussion regarding the proposed demolition of the

community room and determining whether the demolition is consistent with the applicable Secretary of the Interior's Standards.

STAFF ANALYSIS

Secretary of the Interior's Standards: The Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards) provides the framework for evaluating the impacts of additions and alterations to historic buildings. The Standards describe four treatment approaches: preservation, rehabilitation, restoration and reconstruction. The Standards require that the treatment approach be determined first, as a different set of standards apply to each approach. For the proposed project, the treatment approach is rehabilitation.

Margaret Clovis evaluated the project for consistency with the Secretary of the Interior's Ten Standards for Rehabilitation (Attachment 4). Ms. Clovis found that Standards #1, 2, 5, 6, 8, 9 and 10 are applicable to the project. The evaluation concluded that the project as proposed is consistent with the applicable standards on the condition that recommendations in this report are carried out.

Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

Phase II Response: "The bank building has been used as a bank, retail store and most recently as a restaurant. These different uses have required minimal change to its distinctive materials, features, spaces, and spatial relationships. The community room is separated from the main bank building by a walkway. Sheet A1.0 indicates that the proposed adjacent construction will be separated from the bank building by a new walkway. The new walkway will help to maintain spatial relationships between the buildings however that spatial relationship should be maintained from the ground level to the roof by a setback of the north elevation from the bank building. It is also recommended that the proposed walkway be the same width as the current walkway."

Staff Response: Following completion of the Phase II Report, Staff met with Ms. Clovis, and the applicant to discuss the spatial relationship between the bank building and proposed development. It was discussed at the meeting that the proposed development may be located closer to the adjacent bank building than initially outlined in the report provided the spatial relationship be maintained. While the recommendation outlined in the Phase II report states the northern wall of the community room should be used as the setback line, Staff is in agreement that a lesser setback could be considered provided adequate separation between the buildings is maintained.

The existing separation between the bank building and community room is 8'4" at the nearest point, as dimensioned in the field by staff. As shown on the preliminary project plans (Attachment 8, Sheet A1.0), the proposed closest setback between the buildings is 7'. While Staff is supportive of allowing for some relief from the initially recommended setback line (northern building wall of the community room), Staff recommends the proposed building not be permitted to extend more than one foot beyond the existing northern wall of the community room.

In the same meeting referenced above with the applicant and Ms. Clovis, the applicant has requested a small portion of the of the building to further encroach into this setback area to accommodate a staircase –in its current configuration, this project would be setback 5 feet from the bank building. Staff is supportive of this projection as it is relatively minor and

setback approximately 51'7" from the property line fronting Dolores Street, therefore does not impact the feeling of separation when viewed from the street.

Staff has included Recommended Condition of Approval #1 stating, "to maintain the spatial relationship between buildings, the proposed building shall not extend more than one foot beyond the existing northern wall of the community room with the exception of a stairway project which shall be located no closer than 5' from the bank building."

Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided.

Phase II Response: "The historic character of the bank building will not be altered. No distinctive materials will be removed. Features, and spaces will not be altered. The spatial relationship between the bank and the community room which has been established by the walkway separating the two should be maintained as part of the new construction. The Secretary of the Interior's Guidelines for Rehabilitation recommend that any new construction adjacent to a historic structure should be placed away from or at the side or rear of a historic building and must avoid obscuring, damaging, or destroying character-defining features of the building. It appears from the Site Plan that the bulk of the new building will be located behind the bank and set back from Seventh Street. The proposed work appears to be consistent with Standard Two."

Staff Response: See Staff Response under Standard 1 for discussion regarding maintaining the separation between the two buildings. In the Service Commercial (SC) Zoning District, buildings are required to be constructed to within 2'6" of the front property line for at least 70% of the street frontage (CMC 17.14.130). As viewed from Dolores Street, the project would be constructed to the required "build-to" line however would be slightly setback from the bank building along Dolores. As viewed from 7th Avenue, the building would be setback over 80' from the 7th Avenue sidewalk. Staff concurs that the proposed work appears to be consistent with Standard 2.

Standard 5: Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Phase II Response: "The community room will be demolished as part of this project. It is connected to the main bank building at the second-floor level by an elevated walkway. When the community room is demolished a gap will be created in the exterior wall of the bank building. The wall should be repaired by matching the original wall in design, color, texture, and if possible, materials. If this is clearly indicated on the construction plans, then the work will be consistent with Standard Five.

It is important that a historic structure be protected during adjacent construction. Demolition activities and construction on neighboring sites can cause immediate harm to the physical integrity of a historic building through concentrations of dust, fire, vibration, and more. The National Park Service provides guidance for the temporary protection of historic structures in Preservation Tech Note Number 35 [Refer to Attachment 5]. Providing adequate protection involves the following steps:

1. Consultation between the historic building owner and development team to identify potential risks, negotiate changes and agree upon protective measures.

2. Documentation of the condition of the historic building prior to adjacent work.
3. Implementation of protective measures at both the construction site and the historic site.
4. Regular monitoring during construction to identify damage, to evaluate the efficacy of protective measures already in place, and to identify and implement additional corrective steps.

Work will be consistent with Standard Five if a protection plan is submitted to the HRB for review and approval prior to the commencement of any work on the proposed project.”

Staff Response: The applicant has submitted a written Protection and Monitoring Plan (Attachment 6) outlining the steps proposed to be taken to protect the adjacent bank building during the proposed demolition of the community room and during the proposed construction of the subject project. In addition to the written plan, the applicant has also provided a protection plan included in the preliminary project plans (Attachment 8, Sheet A1.1) that identify the proposed protection measures during construction, and are outlined in the “Historic Building Protection Plan Key Notes.”

Staff has included Recommended Condition of Approval #2 stating, “The written Protection and Monitoring Plan and Historic Building Protection Plan indicated in the project plans, collectively known as the “Protection Plan,” (Attachment 6) shall be adhered to prior to and during construction. Protective measures installed on-site or on the adjacent site shall be inspected by the Planning Department and Building Inspector prior to the issuance of a demolition or building permit. Modifications to the Protection Plan shall require approval by the Historic Resources Board.”

Standard 6: *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

Phase II Response: “No work will be done on the historic bank building except for the repair of the wall juncture between the community room and bank. As stated in Standard Five, the repair of the bank wall should match the original wall in design, color, texture, and where possible, materials. Construction plans should clearly indicate how the wall will be repaired in order to be consistent with Standards Five and Six.”

Staff Response: An application for repairs to the bank building necessitated as a result of the portion of wall being removed by the proposed project is forthcoming. To ensure the associated repairs to the bank building are addressed, Staff has included Recommended Condition of Approval #3 stating, “Prior to the issuance of a demolition or building permit, an application for repairs to the bank building necessitated by the removal of the wall juncture between the community room and bank shall be submitted to the Community Planning and Building Department.”

Standard 8: *Archeological resources will be protected and preserved in place.*

Phase II Response: The current parking lot will be demolished, and a [11,371] square foot basement area will be excavated which will serve as a parking garage, gym, and support services for the new building. Because there will be major ground disturbance, an archeological report should be prepared to evaluate whether any resources are present. If

resources are discovered, appropriate mitigation measures should be implemented. The proposed work will be consistent with Standard Eight once an archaeological report is completed.

Staff Response: An Archaeological Report was previously prepared for Lot 10 in 2019 and an additional Archaeological Report was prepared for Lots 6 and 8 in 2021 following the submittal of the subject application (refer to Attachment 7); both reports were prepared by Susan Morley, M.A.

Both reports maintain the same conclusion that state, “Archaeological reconnaissance did not reveal any of the indicators expected of a prehistoric archaeological or historical resource in this region; there are no culturally modified soils present; no shell fragments, bone fragments, or culturally modified lithic materials were noted in the soils of the project parcel. No granitic or other bedrock outcrops were present that may possibly have contained bedrock mortars or cupules... Based upon these negative findings, there is no reason to delay the project parcel due to archaeological concerns.”

However, staff included Recommended Condition of Approval #4 and #5 stating, “In the event that unexpected traces of historic or prehistoric materials, i.e., human remains, concentrations of shell or heat altered rock or historic trash pits are encountered during grading or other future development all construction activity shall immediately cease, and the applicant shall notified the Community Planning and Building Department within 24 hours and a qualified archaeologist shall be retained for appropriate archaeological mitigation,” and “If any human remains are exposed, the Health and Safety Code § 7050.5 requires that no further excavation or disturbance occurs in the area and that the county coroner is called so that the coroner can verify that the remains are not subject to medical jurisprudence. Within 24 hours of notification, the coroner calls the Native American Heritage Commission if the remains are known or thought to be Native American.”

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Phase II Response: The new construction will demolish the parking lot, community room, and garden wall which are part of the bank complex however they are not significant in their own right. These features supported the bank’s former function but do not support its eligibility under Criterion Three (Architecture). They are not considered character-defining features. The pathway separating the community room and the bank creates an important spatial relationship that should be preserved, as discussed under Standards One and Two. The proposed work appears to be consistent with Standard Nine.

Staff Response: Staff concurs with the Phase II Response, above.

Standard 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Phase II Response: If removed in the future, the proposed new construction adjacent to the

historic bank building will not impair the historic property and environment only if care is taken to remove the building following the guidance provided in Preservation Tech Note Number 3 and described under Standard Five.

Staff Response: Staff concurs with the Phase II Response, above.

Historic Evaluation Summary: The California Environmental Quality Act (CEQA) requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior's Standards. The proposed demolition of the Palo Alto Savings and Loan Community Room was reviewed by the City's Historic Preservation Consultant and a Phase II Historic Assessment was prepared for the project (refer to Attachment 4). The Assessment includes an analysis of the proposed changes based on the Secretary of the Interior's Standards for the Treatment of Historic Properties. The Assessment concludes that the project meets the Secretary of the Interior's Standards for rehabilitation. The proposed demolition of the Palo Alto Savings and Loan Community Room does not impact the remaining character-defining features or overall historic integrity of the Palo Alto Savings and Loan Bank Building.

FISCAL IMPACT:

N/A

ATTACHMENTS:

- Attachment 1 - Resolution
- Attachment 2 - Site Photographs
- Attachment 3 - Determination of Ineligibility
- Attachment 4 - Historic Evaluation Addendum
- Attachment 5 - Phase II Evaluation
- Attachment 6 - Preservation Tech Note Number 35
- Attachment 7 - Protection Plan
- Attachment 8 - Archeological Reports
- Attachment 9 - Preliminary Project Plans

Historic Resources Board

April 19, 2021

Attachment 1

Resolution

**CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD**

HISTORIC RESOURCES BOARD RESOLUTION NO. 2021-XXX-HRB

A RESOLUTION OF THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA ISSUING A DETERMINATION OF CONSISTENCY WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE DEMOLITION OF THE PALO ALTO SAVINGS AND LOAN BANK COMMUNITY ROOM. APN: 010-101-017

WHEREAS, Alem Dermicek, on behalf of International Design Group, ("Applicant") submitted an application requesting the approval of a Design Review "DR 20-395" described herein ("Application"); and

WHEREAS, the application has been submitted for the 12,000 square foot property located at Dolores 2 SE 7th, in the Service Commercial (SC) Zoning District (Block 91, Lot 6, 8, 10); and

WHEREAS, the applicant is proposing to demolish all improvements across the three lots and construct a 16,898 square foot two story mixed-use development with a 11,371 square foot basement garage. Two-thirds of the project site (lots 6 & 8) are located on part of the Palo Alto Savings and Loan Bank complex (comprised of a bank building and a community room) which currently occupies Lots 2, 4, 6, and 8 of Block 91; and

WHEREAS, the complex is not eligible for listing on the nation or local inventory as it fails to meet the 50-year old age requirement, however, the complex is eligible for listing on the California Register of Historic Resources (CRHR); and

WHEREAS, in 2019, a Determination of Ineligibility for listing on the City's Historic Inventory was issued for the complex and will expire on October 26, 2022; and

WHEREAS, in accordance with the California Environmental Quality Act (CEQA) Guideline §15064.5(a)(1), a structure must be treated as a historic resource if it is listed in, or determined to be eligible for listing in, the California Register of Historic Resources; and

WHEREAS, the project qualifies as a Major Alteration to a Historic Resource pursuant to CMC 17.32.160; and

WHEREAS, pursuant to CMC 17.32.120 (Alteration of Historic Resources), a determination of consistency with the Secretary's Standards shall be obtained prior to altering, remodeling, demolishing, grading, relocating, reconstructing or restoring any historic resource; and

WHEREAS, pursuant to CMC 17.32.120.B, determinations of consistency for major alterations shall be prepared by a qualified professional and shall be supported by written documentation that (1) identifies which of the Secretary of the Interior's Standards for Rehabilitation are applicable to the project, (2) reviews the proposed project, and (3) explains the basis of the determination; and

WHEREAS, a Phase II report was prepared by a qualified professional, Margaret Clovis, dated March 1, 2021, and found the proposed amendments to be consistent with the Secretary of the Interior's Standards for Rehabilitation provided the recommendations outlined in the report were carried out; and

WHEREAS, notice of the public hearing was published in compliance with State law (California Government Code 54954.2.); and

WHEREAS, on April 19, 2021, the Historic Resources Board held a public hearing to receive public testimony regarding the Application, including without limitation, information provided to the Historic Resources Board by City staff and public testimony on the project; and

WHEREAS, this Resolution and its findings are made based upon evidence presented to the Historic Resources Board at its April 19, 2021 hearing including but not limited to, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Historic Resources Board did hear and consider all said reports, attachments, recommendations and testimony herein above set forth and used their independent judgement to evaluate the project; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference; and

WHEREAS the Historic Resources Board of the City of Carmel-by-the-Sea finds that pursuant to Carmel Municipal Code (CMC) Section 17.32.140, the following required findings for issuance of a Determination of Consistency with the Secretary of the Interior Standards can be made in this case:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided;
3. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved;
4. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence;*
5. *Archeological resources will be protected and preserved in place;*
6. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment; and*
7. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

NOW THEREFORE, BE IT RESOLVED, based on the above findings and evidence, that the Historic Resources Board of the City of Carmel-By-The-Sea does hereby **issue a Determination of Consistency with the Secretary of the Interior's Standards** for the demolition of the Palo Alto Savings and Loan Bank Community Room, in general conformance with the attached sketches and plans, all being attached hereto and incorporated herein by reference. This Determination of Consistency is further predicated on

the following Recommended Condition(s) of Approval being accepted and approved by the City of Carmel-by-the-sea Planning Commission as part of the discretionary permit for this project:

Recommended Conditions of Approval		
No.		
1.	Spatial Relationship. To maintain the spatial relationship between buildings, the proposed building shall not extend more than one foot beyond the existing northern wall of the community room with the exception of a stairway project which shall be located no closer than 5' from the bank building.	✓
2.	Protection Plan. The written Protection and Monitoring Plan and Historic Building Protection Plan indicated in the project plans, collectively known as the "Protection Plan," (Attachment 7) shall be adhered to prior to and during construction. Protective measures installed on-site or on the adjacent site shall be inspected by the Planning Department and Building Inspector prior to the issuance of a demolition or building permit. Modifications to the Protection Plan shall require approval by the Historic Resources Board.	✓
3.	Bank Building Repairs. Prior to the issuance of a demolition or building permit, an application for repairs to the bank building necessitated by the removal of the wall juncture between the community room and bank shall be submitted to the Community Planning and Building Department.	✓
4.	Cultural Resources. In the event that unexpected traces of historic or prehistoric materials, i.e., human remains, concentrations of shell or heat altered rock or historic trash pits are encountered during grading or other future development all construction activity shall immediately cease, and the applicant shall notified the Community Planning and Building Department within 24 hours and a qualified archaeologist shall be retained for appropriate archaeological mitigation	✓
6.	Human Remains. If any human remains are exposed, the Health and Safety Code § 7050.5 requires that no further excavation or disturbance occurs in the area and that the county coroner is called so that the coroner can verify that the remains are not subject to medical jurisprudence. Within 24 hours of notification, the coroner calls the Native American Heritage Commission if the remains are known or thought to be Native American.	✓
6.	Conditions of Approval. The Conditions of Approval listed above (HRB Conditions of Approval) shall be incorporated into the Design Review Conditions of Approval and any action taken by the Planning Department or Planning Commission, as necessary.	✓

PASSED AND ADOPTED BY THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA this 19th day of April, 2021, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Thomas Hood
Chair

Margi Perotti
Historic Resources Board Secretary

Historic Resources Board

April 19, 2021

Attachment 2

Site Photographs













Historic Resources Board

April 19, 2021

Attachment 3

Determination of

Ineligibility



CARMEL-BY-THE-SEA

NOTICE OF INELIGIBILITY

For the Carmel Historic Resources Inventory

On February 4, 2020 the City Council determined that the property identified below does not constitute an historic resource.

Assessor's Parcel Number:	010-145-020
Current Owner:	CPines 7, LLC c/o Jeff Peterson
Block/Lot:	91/2, 4, 6, 8
Street Location:	SE Corner Dolores & 7th
Lot size:	16,000 square feet
Original Date of Construction:	1972

The basis for this determination is:

- The property lacks sufficient age to be considered historic.
- The property has substantially lost its historic integrity through alterations, additions, deterioration, changes in the surrounding environment or other causes.
- The property does not relate to historic themes or property types established in the Historic Context Statement for Carmel-by-the-Sea.
- The property has no association with important events, people or architecture that are identified in the Historic Context Statement or that represent the historical/cultural evolution of Carmel-by-the-Sea.
- There are other better examples of the builder's work in the city.

Pursuant to CMC Section 17.32.060.D.4, properties developed less than 50 years prior to the issuance of a determination of ineligibility, but more than 45 years prior to the determination, shall only be valid until the building, structure or objects reaches the age of 50 years. Therefore, this determination shall expire on October 26, 2022.

Marnie R Waffle

Marnie R. Waffle, AICP
Acting Community Planning & Building Director

October 3, 2019

Evaluation of Significance and Phase Two Report for Seventh & Dolores (formerly the Palo Alto Savings and Loan complex) (APN 010-145-020), Carmel-by-the-Sea, CA.

Executive Summary

The building historically known as the Palo Alto Savings and Loan, located on the corner of Seventh and Dolores Streets in downtown Carmel, was constructed in 1972. Architectural historian, Richard Janick described the building just six years after its construction for Carmel's Historic Resources Inventory. He noted that the building was designed by Will Shaw and Associates and it was "indicative of the continuous evolution of the Bay Area Tradition that began at the turn-of-the-century in the San Francisco bay area." He did not formally assess the building for significance for the local, state or national registers.

In November 2001 Richard Janick assessed the building again using California Office of Historic Preservation DPR 523a and b forms. This second evaluation was no doubt initiated by a proposal filed in September 2001 to demolish the Palo Alto Savings and Loan complex and construct a new commercial property. Janick's evaluation of the building concluded that it was eligible for listing on the California Register under Criterion 3 (architecture), "as a significant example of Second Bay Region Style by local architect Will Shaw and Associates with design assistance by former partner Walter Burde."

The Palo Alto Savings and Loan complex has been included in publications and one exhibit, including:

- *Architecture of the Monterey Peninsula*, Monterey Peninsula Museum of Art, 1976
- *Documentation and Conservation of the Modern Movement*, Monterey, 2003
- *Carmel, A History in Architecture* by Kent Seavey, 2007
- *Carmel Modernism: A Retrospective*, Photography Exhibit at the Carl Cherry Center, 2016

An EIR was prepared for the proposed new building that would replace the Palo Alto Savings and Loan complex and architectural historian Sheila McElroy concluded that the Palo Alto Savings and Loan complex was not historic. The historic status of the Palo Alto Savings and Loan complex was appealed. Carmel's Historic Resources Board found that the Palo Alto Savings and Loan complex was an exceptional example of the Second Bay Region Style in Carmel and was significant under Criterion 3 of the California Register. The HRB upheld the appeal and voted to place the Palo Alto Savings and Loan complex on the local inventory.

The HRB's decision was appealed to the City Council. The Council determined that the Palo Alto Savings and Loan complex was not significant for its association with a person (Criterion 2) or architecturally significant (Criterion 3), and therefore would not be listed on the Carmel Inventory of Historic Resources. During the Council's deliberations, there was no mention of Will Shaw's association with the building, rather only Walter Burde was credited with the design of the building.

The current owners of the building have applied to build a small addition to the rear of the community building, a small structure that was built at the same time as the Palo Alto Savings and Loan's main building. This 608 square foot building is adjacent to the bank building and faces Dolores Street. It was

designed by Burde and Shaw using the same design vocabulary as the main bank building. In addition, the community building will be deconstructed and stored during the construction of an underground parking lot, and then reconstructed in the same location. This request has once again triggered an inquiry into the significance of the bank building and associated community room, now that 47 years have passed since construction and the fifty-year threshold for historic resources is looming.

This report evaluates previous reports and findings regarding the historical significance of the property, which will be referred to as the Palo Alto Savings and Loan complex. In addition, proposed changes to the community room are evaluated for consistency with the Secretary of the Interior's Standards for Rehabilitation.

Historical Background

The Palo Alto Savings and Loan complex, located at Seventh and Dolores, was constructed in 1972. Overtime other businesses have occupied the site including Northern California Savings and Loan, a furniture design store, and currently a restaurant. The building was a cooperative venture between former partners Walter Burde and Will Shaw. Burde designed the building while Will Shaw Associates executed the building. Burde and Shaw met while working for Carmel architect Robert Jones. Both men were proponents of Second Bay Area Regionalism, and the Palo Alto Savings and Loan complex reflects this interest.

The *Carmel Pine Cone* followed the construction of the building, starting with a hearing before the Planning Commission in November, 1971, where the plans for the building were presented. During the presentation Burde described their goals of integrating the building into its environment, including preserving the view of the distant Fish Ranch by "sloping the roof back to form a trough for the view down the street." Burde's plans called for painting the building's beams orange, a nod to his interest in Japanese design.

The demolition of the first Palo Alto Savings and Loan building, located on the same lot, commenced in March, 1971. The bank's former offices were known as "Barney's Golden Castle", a reference to Barnet Segal. The building was described as "a hulking building, which, back in 1957, created rage and outcry among the Carmel citizenry." It was often compared to a shower stall as it was built entirely of yellow tile. After the building was torn down, the *Carmel Pine Cone* noted that the proposed new building would be a "much more Carmelish style."¹ Groundbreaking took place in May, 1972 and construction was completed in September.

The building has changed very little over time. There were interior remodels in 1978, 2013 and 2018. There was a structural repair to a roof beam in 1986 and in 1999 Burde's signature orange beams were painted brown.

The Architects

Will Shaw (1924 – 1997) was born in Los Angeles. He attended UCLA and took graduate courses at UC Berkeley. While at Berkeley he was influenced by William Wurster and his non-doctrinaire approach to architecture. In Shaw's own designs he emphasized a building's compatibility with the natural environment and structural expressiveness. In 1955 he partnered with Walter Burde and Glenn Kearns

¹ *Carmel Pine Cone*, March 23, 1972, p. 24.

in their own architectural firm, located on Monte Verde, between Ocean and Seventh. In 1969 they opened a second office in Monterey.

Shaw designed a number of homes and businesses on the Monterey Peninsula, including the Buddhist Temple in Seaside. He also designed the school of architecture at Cal Poly in San Luis Obispo, reconstructed the Highlands Inn, and was the project architect for the Custom House urban renewal area in the 1970s.

In 1964 Shaw co-founded with Ansel Adams the Foundation for Environmental Design, an organization that promoted architectural design that blended with the environment. He was a fellow in the American Institute of Architects and American Academy in Rome. He was awarded the Prix de Rome in 1967 for environmental design.

Walter Burde (1912 – 1997) was born in Toledo, Ohio and entered Miami University in Oxford, Ohio, in 1934. He was inspired by Wright, Neutra, and west coast architecture designed to fit into natural environments. After graduation he joined an architectural firm in Toledo but in 1947 made the move to Pasadena, California, where he worked for the Lockheed Aircraft Corporation. The following year he moved to Carmel, joining Robert Jones’ architectural firm as Chief Designer. It was here that he met Will Shaw. In 1972 Burde opened a new firm, partnering with Eugene W. Bayol. Burde became an American Institute of Architects Fellow in 1969, received the Monterey Bay Chapter AIA Award of Merit in 1959 and 1973, and received the Governor’s design award in 1966 for the Shell Gas Station located on the corner of San Carlos and Fifth. He is known for several buildings in Monterey County most notably the Christian Science Church in Carmel, the original Monterey Airport Terminal and Tower, and Saint Paul’s Episcopal Church in Salinas.

Both Will Shaw and Walter Burde are listed in the Carmel Context Statement as prominent architects.

Building Description

The Palo Alto Savings and Loan complex is described as follows in *The Architecture of the Monterey Peninsula*:

“The Northern California Savings and Loan building, on Dolores and Seventh Avenue, illustrates Shaw’s ability to artistically fit this building into its environment and effectively and functionally use space. Shaw had a small lot to work with, but he used the space to its best advantage, by putting the rectangular building on the front corner of the lot and wrapping the parking area around the rear of the building. He effectively created the illusion of spaciousness with the building by using a steep, high, shed-type roof, redwood, mosaic stones, and glass gives the building a natural feeling compatible with the environment.”

The description in *Carmel, A History in Architecture* reiterates these observations:

“The Northern California Savings and Loan building is an excellent example of Second Bay Area Regionalist design by Walter Burde and Will Shaw. It exhibits the use of natural materials, exposed roof framing, dramatic structural innovation, and the simple open plan characteristic of the style. Burde’s work combines tradition and the elements of industry seeking to unite formal, technical, and social ideas.”

In a letter dated April 26, 2006, State Historic Preservation Officer Milford Wayne Donaldson stated that the Palo Alto Savings and Loan complex represents an important period in the City's architectural heritage, writing:

"The Palo Alto Savings Building is one of a handful of buildings built in the Carmel commercial district in the latter half of the 20th century of architectural merit.

It is also of special architectural importance as an example of the Bay Area Style, which only a few examples can be found in Carmel. Among the style's prominent features, rooted in Craftsman Style, were the expressive use of natural woods color, the blending of the exterior with the interior, and structural modularity. This building not only exemplifies the Bay Area Style, but also shows Burde's interest in Japanese design, evident in much of the architect's work."

Following is a final description from an unknown publication²:

"Walter Burde, the architect of the Palo Alto Savings and Loan building, has melded definitive conceptual styles to form a significant building which admirably expresses the essence of Carmel architecture at mid-century. It sets back from the street just enough to make a welcoming gesture to those walking by. The building is beautifully detailed and composed of fine materials of great quality. There is clean simplicity in the vertical heart redwood on the walls which contrasts admirably with the large beams and rafters which give the interior a feeling of soaring space. These beams, painted orange, have been likened to similar beams in the Maybeck designed Carmel library, by Burde himself. Large portions of all four walls are glass from floor to ceiling and relate the building significantly to the environment. Its verticality connects the building effectively with the modern movement, which is then modified by Craftsman-like, medium pitched, end gable roof with generous overhangs. The rear roof plane is pierced with a ribbon of windows in a high dormer, then descends over a low exterior wall, forming a long porch."

Today the Palo Alto Savings and Loan complex retains a high level of integrity.

The Historic Context

The *Carmel Historic Context Statement* identifies the Bay Region style as important substyle within the larger theme of Modern architecture, stating:

"The Bay Region style became somewhat formalized when this loosely-knit group of architects in California's San Francisco Bay Area redefined Modern designs to include natural, local materials. The plentiful stock of redwood in Northern California made this an obvious choice for structural and aesthetic elements. The result was a softer expression of Modernism that was sensitive to California's unique setting, yet still incorporated key principles of the Modern movement, such as clean lines, strong horizontals, and open and airy designs. For proponents of Bay Regionalism, the site – topography, vegetation, viewshed – drove both the form and materials of the building. A Bay Region building was viewed as an organic extension of nature. Large expanses of glass window walls, sliding doors and partitions, and lofty ceilings allowed the outdoors to flow flawlessly into interior living spaces. In a place like Carmel where the natural environment reigned supreme, the Bay Region was a perfect fit."

² This unreferenced description was found in the 7th and Dolores building file at the Carmel Planning Department.

The Palo Alto Savings and Loan complex is clearly an example of the Bay Region style and includes the following **Character Defining Features**:

- Shed roof and copper roofing
- Angular forms and irregular massing
- Plate glass window walls
- Traditional materials used within a Modern architecture vocabulary
- Integration of the building within its setting
- Integration of the outdoors with interior spaces
- Redwood siding and beams

Historical Evaluation

National Register Criterion C, California Register Criterion 3 and Carmel Register Criterion 3 state that properties eligible under these criteria must meet at least one of the following requirements:

- They embody the distinctive characteristics of a type, period, or method of construction, or
- They represent the work of a Master, or
- They possess high artistic values

The Palo Alto Savings and Loan complex, embodies the distinctive characteristics of a type and period, as evidenced by the building descriptions. In addition, the building represents the work of two Masters, who combined their creative energies to create a unified vision. The Palo Alto Savings and Loan complex is eligible for listing under National Register Criterion C and California Register Criterion 3.

Eligibility for the Carmel Inventory prescribes additional requirements, specifically that a potential resource:

- Represents at least one theme in the Historic Context Statement
Carmel's Context Statement includes the theme of architectural development through 1965 and the bank building postdates this theme and therefore is not a representative.
- Shall retain substantial integrity
The building retains substantial integrity.
- Should be a minimum of 50 years of age
The building is 47 years old.
- Shall meet at least one of the four criteria for listing in the California Register
The building meets Criterion 3 of the California Register.

The Palo Alto Savings and Loan complex meets some of the Carmel Inventory requirements but does not meet all of them, therefore it is not eligible for listing in the Carmel Inventory.

The Fifty-Year Rule

The Palo Alto Savings and Loan complex is 47 years old. National Register Criterion G states that, "A property achieving significance within the last fifty years is eligible if it is of exceptional importance."

National Register Bulletin 15 and National Register Bulletin 22³ do not define “exceptional importance”, however both emphasize that a context must be established in order to evaluate a potential resource. Bulletin 22 states:

“A thorough understanding of historic contexts for resources that have achieved significance in the past 50 years is essential for their evaluation. In evaluating and justifying exceptional importance, it is especially critical to identify the properties in a geographical area that portray the same values or associations and determine those that best illustrate or represent the architectural, cultural, or historical values being considered. Thus, the first step in evaluating properties of recent significance is to establish and describe the historic context applicable to the resource.”

Carmel’s Historic Preservation Ordinance was modeled on the National Register Criteria and states that to be eligible for the Carmel Inventory, a historic resource should be a minimum of 50 years of age. The current Carmel Context Statement covers the decades from Carmel’s earliest development through 1965. The theme of the Bay Region Style is mentioned but not expanded upon. The Context Statement does not identify the buildings that best exemplify this type of architecture in Carmel nor does it establish the necessary perspective to evaluate buildings from subsequent decades. The City of Carmel is in the process of updating the current Context Statement to include resources dating between 1966 – 1990, and undoubtedly the Palo Alto Savings and Loan complex will be found to be a strong representative of its context within the theme of architectural development.

The California Register does not require a resource to be “exceptionally important” to be eligible for listing. Rather, if it can be demonstrated that sufficient time has passed to obtain a scholarly perspective about the resource, it can be considered for listing. In addition, it does not need to be exceptionally important [CCR 4852 (d)(2)].⁴

In the case of the Palo Alto Savings and Loan complex, sufficient time has passed to understand its historical importance. This is demonstrated by the descriptions of the building in scholarly publications, a letter from a recognized expert, and its inclusion in a museum respective on modern architecture in Carmel.

Due to National Register Criterion G and regulations in the Carmel Historic Preservation Ordinance, the Palo Alto Savings and Loan complex is currently **not** eligible for the National Register or Carmel Inventory. Nonetheless, the building **is eligible for the California Register**. The Palo Alto Savings and Loan complex is a historic resource for the purposes of CEQA.

³ *Guidelines for Evaluating and Nominating Properties that Have Achieved Significance within the Past 50 Years*. National Park Service, 1998.

⁴ CEQA Case Studies. *CEQA and the California Register: Understanding the 50-Year Threshold*. California Office of Historic Preservation. September, 2015.

The Secretary of the Interior's Standards for Rehabilitation

Compliance Evaluation

Historic resources are subject to review under the California Environmental Quality Act (CEQA). Generally, under CEQA, a project that follows the *Standards for Rehabilitation* contained within *The Secretary of the Interior's Standards for the Treatment of Historic Properties* is considered to have mitigated impacts to a historical resource to a less-than-significant level (CEQA Guidelines §15064.5).

The compliance of the proposed work at the Palo Alto Savings and Loan complex is reviewed below with respect to the *Rehabilitation Standards*. The Standards are listed in italics, with a response providing a discussion regarding the project's consistency or inconsistency with each Standard, and recommended changes if necessary.

Rehabilitation is defined as "the process of returning a building or buildings to a state of utility through repair or alteration, which makes possible an efficient use while preserving those portions of the building and its site and environment which are significant to its historic, architectural, or cultural values." (§36 CFR 67.2(b)).

The Project

The proposed project includes the construction of a new, two story apartment building on the adjacent lot which is currently a vacant parking lot. A 452 square foot addition would be constructed at the rear of the former Palo Alto Savings and Loan community room, which is considered a secondary building within the complex. The shed-roof building was constructed at the same time as the Seventh and Dolores bank building using the same copper roofing and redwood siding found in the main building. When constructed, the *Carmel Pine Cone* reported that the community room "would be open as a daytime reading room, with free coffee, cookies, magazines and the *Wall Street Journal*."⁵ The room was available in the evenings for the use of community groups free of charge. It currently is used in conjunction with the restaurant in the main building.

The proposal includes the construction of a parking garage under the new apartment building, necessitating the deconstruction of the community room. Existing exterior finishes and all structural elements of the building's walls and roof will be deconstructed and then reconstructed in the same location. Code required changes during the reconstruction will include additional tie-downs, the addition of structural steel, a new fire sprinkler system, and the use of dual glazed windows for energy efficiency.

Standard One

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The community room is now part of the Seventh and Dolores restaurant. When the apartment complex is completed, it will be converted into a grocery store. There will be no change to the copper roof and

⁵ *The Carmel Pine Cone*. August 10, 1972.

redwood siding, both distinctive materials. The rear addition will not change features, spaces, or spatial relationships. The proposed work is consistent with Standard One.

Standard Two

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided.

The proposed addition to the community room will retain and preserve the historic character of both the main bank building and community room. Distinctive materials will not be removed. No features, spaces, or spatial relationships will be affected by the new addition. The proposed work is consistent with Standard Two.

Standard Three

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historical properties, will not be undertaken.

No changes will be made to the community room that will create a false sense of historical development. The proposed work is consistent with Standard Three.

Standard Four

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

There have been no changes over time to the community room, therefore Standard four is not applicable.

Standard Five

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The community room will be deconstructed by hand, photographed, categorized, and numbered to track exact placement and location of building elements. These elements will be transferred to a local storage area, cleaned, and protected for the duration of the parking garage construction. Once the parking garage is complete, the community room will be reassembled in its entirety on-site to meet current building and seismic code requirements. The exterior materials, including the redwood siding and trim, and the copper roofing – all character defining features – will be re-used.

The addition will be constructed on the rear elevation of the community room which is a non-character-defining elevation. The proposed work is consistent with Standard Five.

Standard Six

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

The community room does not have any deteriorated features that require repair or replacement. The proposed work is consistent with Standard Six.

Standard Seven

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

The plans do not call for any chemical or physical treatments. The proposed work is consistent with Standard Seven.

Standard Eight

Archeological resources will be protected and preserved in place.

No archeological resources have been located on the site. Standard Eight is not applicable.

Standard Nine

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Preservation Brief 14⁶ provides guidance for the application of Standard Nine with the following points:

- *A new addition should be simple and unobtrusive in design, and should be distinguished from the historic building.*
The proposed addition is simple and unobtrusive in design. It is distinguished from the community room through the use of formed in place concrete walls.
- *A new addition should not be highly visible from the public right of way; a rear or secondary elevation is usually the best location for a new addition.*
The new addition is not visible from Dolores Street, as it is located at the rear of the community room.
- *The construction materials and the color of the new addition should be harmonious with the historic building materials.*
Contemporary design and materials are not precluded from an addition to a historic building. Although the new addition is sided with concrete, the walls are not visible from the public right of way and do not detract from the primary elevation.
- *The new addition should be smaller than the historic building – it should be subordinate in both size and design to the historic building.*
The new addition is subordinate to the community room.

⁶ Preservation Brief 14. *New Exterior Additions to Historic Buildings: Preservation Concerns*. National Park Service. 2010.

- *The new addition should preserve significant historic materials, features, and form.*
The proposed work includes changing the facade fenestration. The fenestration is currently located to one side of the facade and consists of one plate glass window flanked by a sidelight. Plans call for centering the windows which will be changed to two plate glass windows. Unlike the main bank building, the community room windows are not character defining features as they do not fulfill the design function of integrating the outdoors with interior spaces.

The proposed work is consistent with Standard Nine.

Standard Ten

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The new addition acts as a “hyphen” connection between the community room and the proposed new apartment building. If removed in the future the essential form and integrity of the historic property would be unimpaired. The proposed work is consistent with Standard Ten.

Summary

The Palo Alto Savings and Loan complex is currently eligible for listing on the California Register of Historic Resources and is a historic resource for the purposes of CEQA. In 2022, the complex will be eligible for listing in the Carmel Inventory.

The proposed project meets the Secretary of the Interior’s Standards for Rehabilitation. As a result, the project can be considered as having less than a significant level of impact on the historic resource.

Respectfully Submitted,

Margaret E. Clovis

Margaret Clovis

Historic Resources Board

April 19, 2021

Attachment 4

Historic Evaluation

Addendum

June 17, 2020

**Addendum to Evaluation of Historical Significance for 7th & Dolores
(formerly the Palo Alto-Salinas Savings and Loan Complex)
APN 010-145-020, Carmel-by-the-Sea, CA.**

Executive Summary

Constructed in 1972, the buildings historically known as the Palo Alto-Salinas Savings and Loan complex are located on the southeast corner of Seventh and Dolores Streets in downtown Carmel. The complex consists of two buildings; the former bank and a separate community room.

An evaluation of significance dated October 3, 2019 determined that the complex was not eligible for listing on the National Register of Historic Places due to Criterion G which requires that buildings less than 50 years old be exceptionally important to be listed. In addition, the report concluded that the building did not meet all the eligibility requirements for inclusion in the Carmel Inventory. Specifically, it does not currently represent a theme in the Historic Context Statement¹ and it is not 50 years old. It was determined however, that the building complex is eligible for the California Register of Historic Resources because there is no listing requirement regarding exceptional importance for a building that is less than 50 years old.

This report serves as an addendum to the previous report and specifically focuses on the eligibility for the individual listing of the community room on the California Register of Historic Resources and on its importance within the Palo Alto-Salinas Savings and Loan complex.

Building Description

The community room fronts Dolores Street and is located directly to the south of the former bank building. Measuring just over 600 square feet, the one-room building utilizes the same materials used in the main building, most notably the copper roofing and vertical heart redwood siding. Identical design elements include a shed roof and large plate glass windows on each elevation. Like the main building, the overall effect is a design of clean simplicity. A pergola-covered walkway separates the two buildings while an elevated walkway connects them.

A 1971 article in the *Pine Cone* describes plans for the community room:

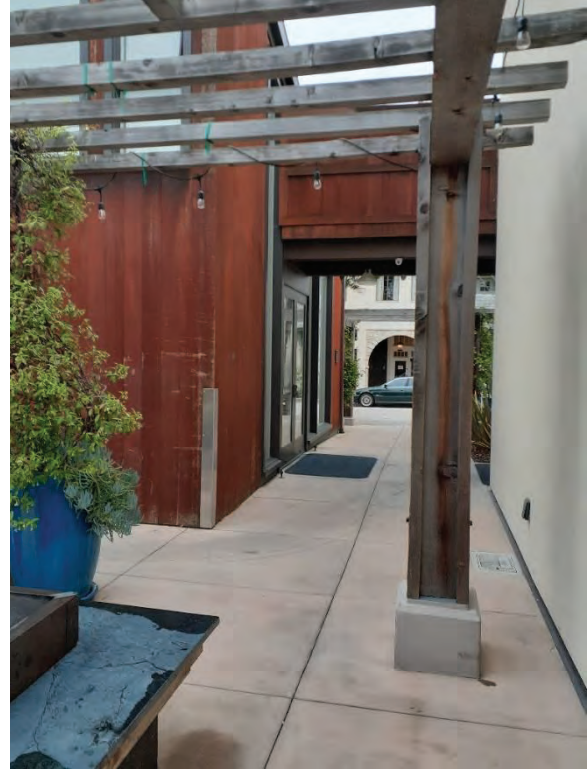
“In addition to the main building facility, plans call for a separate community room for public use which will be enclosed by a walled garden including trees and plants.”² The walled garden area is still extant, featuring potted plants and a couple of trees at the rear of the property.

¹ At this time Carmel’s Context Statement only includes themes up to 1965. The City is in the process of updating the Context Statement to reflect themes between 1966 – 1990.

² *The Carmel Pine Cone*. September 30, 1971, p. 19.



Front Elevation Facing Dolores Street, 2020



Looking towards Dolores Street, 2020

The first remodel of the building took place in 1978³ and included the removal of the interior chair rails to accommodate plantation blinds. Eventually the exterior rails were removed from the upper and lower windows on the west and south elevations. Single panes of plate glass replaced the original windows. The wall surrounding the community room obscured much of the building but in 2013 a portion of the wall on the south elevation was removed and the entire wall was shortened by twelve inches. That same year new pergolas were added to the front and rear of the walkway.

Building History

Plans got underway for the construction of a new Palo Alto-Salinas Savings and Loan Company building in 1971. The bank was occupying a 1950s building on the corner of 7th and Dolores. By the time the bank opened in November, 1972, Palo Alto-Salinas Savings and Loan had acquired Carmel Savings Bank, changed their name to Northern California Savings and Loan, and were operating 23 branches throughout northern California. The company was rapidly expanding in 1972. The new Carmel branch was third of four new branches planned for that year.

Company President Firmin A. Gryp insisted “that the Northern California Savings staff in each community becomes involved in community improvement projects.”⁴ Providing a community

³ 7th & Dolores Building Files. Carmel-by-the-Sea Planning Department.

⁴ *The Carmel Pine Cone*. November 8, 1972.

room at each branch was part of the bank's public relations strategy. The company sent their Community Relations Director to Carmel to work with bank manager Charles Lunt to make sure he got off on the right foot with residents. The bank opened with a full week of festivities, drawing on the popular local themes of dogs and trees.



Views showing original window design, 1999.



During the 1970s a variety of lectures, benefits, and meetings were hosted at the community room, ranging from the Carmel River Steelhead Association's monthly meetings to transcendental meditation classes. The community room's proposed use as a gallery never came to pass, and during that decade only one photography exhibit was featured.

Although the 1970s started off as an optimistic period of growth for the bank, storm clouds were on the horizon. On the national front, slow economic growth and high interest rates created a recession by 1980. Fewer families were applying for home loans, leaving the Savings and Loan banks with dwindling portfolios of low interest mortgages as their only source of income. By 1989 more than 1000 of the nation's Savings and Loans had failed. The crisis is now recognized as the most significant bank collapse since the Great Depression. The Northern California Savings and Loan bank was one of the first to fail. In 1982 it was merged into Great Western Bank. The former focus on community relations dropped by the wayside as well. Use of the community room slowed dramatically and by the mid-1980s there is no mention of its use by local groups.

Analysis of Significance

As previously stated, the Palo Alto-Salinas Savings and Loan complex does not meet the criteria for listing in the National Register of Historic Places and in Carmel's Inventory of Historic Resources.

The complex was determined eligible under Criterion 3 (Architecture) in the California Register of Historic Resources (CRHR).⁵ Following is an analysis of the community room's individual eligibility based on the CRHR designation criteria.

▪ ***Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States (Criterion 1)***

None of the events that took place at the community room made a significant contribution to the broad patterns of local and regional history or the cultural heritage of California or the United States, therefore it does not meet Criterion 1.

▪ ***Associated with the lives of persons important to local, California or national history (Criterion 2)***

The community room did not play a significant role in the lives of any people important to local, California, or national history and does not meet Criterion 2.

▪ ***Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values (Criterion 3)***

The bank complex was found eligible for listing under Criterion 3 because it embodies the distinctive characteristics of a type (Bay Region Style) and period. In addition, it represents the

⁵ The applicability of the 50-Year Rule was explained in the previous report.

work of two masters, Will Shaw and Walter Burde, who combined their creative energies to create a unified vision.

Several testimonies supporting the architectural significance of the bank building were cited in the previous report. The community room is not included in any of these statements. The bank building was always the design team's focal point and they took great care to make the new building compatible with the character of Carmel.⁶ The community room was simply a postscript to their design intentions, tacked on primarily to satisfy the bank's commitment to forging community connections. The remodel of the windows to single-pane plate glass diminished the Bay Region character of the community room, reducing its design to a watered-down version of the bank building. The Community Room features the same materials, nods to the Bay Region design vocabulary, but does not rise to the same level of design acumen reflected in the bank building. It does not contain enough distinctive characteristics to be considered a true representative of the Bay Region style and therefore does not meet this section of Criterion 3.

The bank complex was designed and executed by two master architects and the community room was incorporated into their plans. A property is not eligible as the work of a master simply because it was designed and executed by a prominent architect, and in this case, two prominent architects. Rather, it must exemplify the master's work. The bank building is a vastly superior example of both architect's work on many different levels. They created the illusion of spaciousness through a variety of design techniques and fine materials. They utilized the tenants of the Bay Region Style by successfully blending exterior with interior spaces and the bank building reflects Burde's interest in Japanese design as well. The community room was a minor part of the overall project, and as a stand-alone building, does not realize any of the same intentions reflected in the bank building's design. The community room does not meet this section of Criterion 3.

The third section of Criterion 3, high artistic values, is applicable if a property so fully articulates a particular concept of design that it expresses an aesthetic ideal. Typically, high artistic values relate to community design and planning, engineering, or sculpture. It is not applicable in this case.

▪ ***Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation (Criterion 4)***

Criterion 4 is typically associated with archeological resources and is not applicable to this evaluation.

Definitions

The California Register of Historic Resources provides definitions of terms in the California Code of Regulations (Title 14, Chapter 11.5, Appendix A). A **Building** is defined as follows:

⁶ *The Carmel Pine Cone*. September 30, 1971. p. 19.

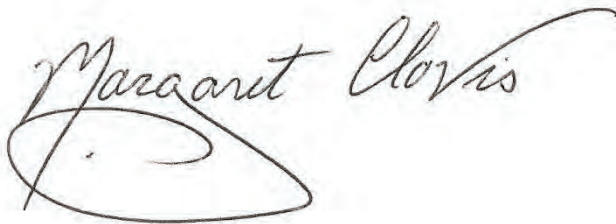
A resource such as a house, barn, church, factory, hotel, or similar structure, created principally to shelter or assist in carrying out any form of human activity. Also, used to refer to an historically and functionally related unit, such as a courthouse and jail or a house and barn.

Based on this definition, the bank building and community room are a historically related unit but clearly the community room is the subordinate building in the complex. The community room is not an essential component of the bank design; it is not physically integrated into the bank building; it does not add to the bank's integrity; and it does not amplify the bank's architectural qualities. The bank retains its significance with or without the community room, yet the community room, without the bank, would not retain significance.

Summary

The Palo Alto-Salinas Savings and Loan complex consists of two buildings, a bank building and a community room. By definition they are a historically related unit and as a unit they have been determined eligible for listing on the California Register of Historic Resources. The primary building within the complex is the bank, and the property's historical significance is predicated on the bank. The community room is an ancillary structure that does not contribute to the overall significance of the complex. In addition, the community room was evaluated for eligibility for listing in the California Register of Historic Resources based on its merits alone. The community room does not meet the criteria for listing as an individual resource.

Respectfully submitted,

A handwritten signature in cursive script that reads "Margaret Clovis". The signature is written in black ink and features a large, sweeping loop at the bottom left.

Margaret Clovis

Historic Resources Board

April 19, 2021

Attachment 5

Phase II Evaluation

March 1, 2021

Preliminary Phase Two Report for the Palo Alto - Salinas Savings and Loan Bank, Community Room, Parking Lot, and Garden Wall (APN 010-145-020), Carmel-by-the-Sea, CA.

Executive Summary

The Palo Alto-Salinas Savings and Loan community room, parking lot, and garden wall are part of a larger complex that features the original main bank building as its focal point. All elements in the complex are located on the corner of Dolores and Seventh Streets in downtown Carmel. The bank building has been evaluated for historical significance multiple times. In October 2019¹ the bank building was found eligible for listing in the California Register for Historic Resources (CRHR) under Criterion Three (Architecture) but is currently not eligible for listing on the Carmel Historic Resources Inventory or the National Register of Historic Places due to the Fifty-Year Rule. Nonetheless, it is considered a significant resource for the purposes of CEQA with a period of significance of 1972.

In June 2020² the bank's companion community room was evaluated for historical significance under the California Register for Historic Resources criteria and was found ineligible for listing as an individual resource. The garden wall and parking lot have not been evaluated for their individual merit within the complex, however their history and a determination of eligibility will be included as part of this report.

An application has been submitted to the Carmel Planning Department proposing the demolition of the community room, parking lot and garden wall to allow for the construction of an underground parking garage and a two-story building with a combined use of second floor residential apartments and ground floor commercial space. This Phase Two report examines the project's consistency with the *Secretary of the Interior's Standards and Guidelines*³ based on preliminary plans and makes recommendations which will help guide final plans.

Parking Lot & Garden Wall: Historical Background and Significance

The Palo Alto-Salinas Savings and Loan complex was constructed in 1972 on the corner of Dolores and 7th streets in the same location as it's former building. The former building (originally the telephone company) fronted on Seventh Street. An eighteen-space parking lot was located behind the building and was entered and exited via Dolores Street. Plans for the new bank building reconfigured the space, so most of the bank's facade and the community room fronted on Dolores Street. The parking lot, again with eighteen spaces, wrapped around the rear of the new building and was entered on Dolores Street and exited on Seventh. An article in the *Carmel Pine Cone* stated that, "parking facilities are less visually

¹ Clovis, Meg. *Evaluation of Significance and Phase Two Report for Seventh & Dolores (formerly the Palo Alto Savings and Loan complex)*, October 3, 2019.

² Clovis, Meg. *Addendum to Evaluation of Historical Significance for Seventh & Dolores (formerly the Palo Alto Savings and Loan Complex)*, June 17, 2020.

³ *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings*. U.S. Department of the Interior. National Park Service. Technical Preservation Services, Washington D.C., 2017.

obtrusive than they are now, stretching around behind the buildings”.⁴ A drive-up teller window could be accessed from the Seventh Street side of the parking lot and was included in the original construction.

The same *Pine Cone* article that described the future parking facilities also described the garden wall that would partially surround the community room. Originally, a small sculpture garden was planned for the walled space but it never came to fruition. In 2013 a portion of the wall on the south elevation was removed and the entire wall was shortened by twelve inches.

When it was constructed in 1972, the Palo Alto-Salinas Savings and Loan complex included a bank building, a community room, a parking lot, and a wall which surrounded the community room. Historical evaluations have concluded that the bank building is eligible for listing on the California Register of Historic Resources on the local level under Criterion Three (Architecture) because it embodies the distinctive characteristics of a type and period, and it represents the work of two Masters. The community room is not eligible for individual listing on the California Register on its own merit because it does not meet Criterion One (Events), Criterion Two (People), or Criterion Three (Architecture).

Like the Community Room, the parking lot and garden wall are not individually eligible for listing in the California Register. Following is an analysis of their eligibility based on CRHR designation criteria:

- ***Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States (Criterion One)***

There were no events in the parking lot or in the space enclosed by the garden wall that made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States. The parking lot and garden wall are not eligible for listing under Criterion One.

- ***Associated with the lives of persons important to local, California or national history (Criterion Two)***

The parking lot and garden wall did not play a significant role in the lives of any people important to local, California, or national history and they are not eligible for listing under Criterion Two.

- ***Embodies the distinctive characteristics of a type, period, region, or method of construction or represents the work of a master or possesses high artistic values (Criterion Three)***

The parking lot and garden wall are generic in design and do not exhibit the distinctive characteristics of a type, period, region, or method of construction. The parking lot in particular was designed to be unobtrusive and not to detract from the main bank building. Although the parking lot and community room were included in the Shaw and Burde plans for the complex, their creative energies were focused on the main bank building. The parking lot supported the bank's functions by offering customers convenient access. The garden wall never enclosed a sculpture court and in 2013 a portion of the wall was removed plus the entire wall was lowered by a foot, thus diminishing its original design and purpose. At one time, both the parking lot and

⁴ *Carmel Pine Cone*. September 30, 1971, p. 19.

wall supported the bank's function but they do not contribute to the bank's distinction as a significant local representative of the Bay Region style of architecture. Neither can be considered a historic resource on their own merit and they are not eligible for listing under Criterion Three.

The Secretary of the Interior's Standards for Rehabilitation

Compliance Evaluation

As a historical resource, the Palo Alto-Salinas Savings and Loan Bank building is subject to review under the California Environmental Quality Act (CEQA). The parking lot, community room, and wall are not historic resources and are not individually subject to CEQA, however the impact of their proposed demolition on the historic resource is relevant under several of the Standards. Generally, under CEQA, a project that follows the *Standards for Rehabilitation* contained within *The Secretary of the Interior's Standards for the Treatment of Historic Properties* is considered to have mitigated impacts to a historical resource to a less-than-significant level (CEQA Guidelines 15064.5).

The impact of the proposed demolition of site features within the Palo Alto-Salinas Savings and Loan Bank complex are reviewed below with respect to the *Rehabilitation Standards*. The Standards are indicated in italics, followed by a discussion regarding the project's consistency or inconsistency with each Standard.

Standard One

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The bank building has been used as a bank, retail store and most recently as a restaurant. These different uses have required minimal change to its distinctive materials, features, spaces, and spatial relationships. The community room is separated from the main bank building by a walkway. Sheet A1.0 indicates that the proposed adjacent construction will be separated from the bank building by a new walkway. The new walkway will help to maintain spatial relationships between the buildings however that spatial relationship should be maintained from the ground level to the roof by a setback of the north elevation from the bank building. It is also recommended that the proposed walkway be the same width as the current walkway.

Standard Two

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided.

The historic character of the bank building will not be altered. No distinctive materials will be removed. Features, and spaces will not be altered. The spatial relationship between the bank and the community room which has been established by the walkway separating the two should be maintained as part of the new construction. *The Secretary of the Interior's Guidelines for Rehabilitation* recommend that any new construction adjacent to a historic structure should be placed away from or at the side or rear of a historic building and must avoid obscuring, damaging, or destroying character-defining features of the building. It appears from the Site Plan that the bulk of the new building will be located behind the bank and set back from Seventh Street. The proposed work appears to be consistent with Standard Two.

Standard Three

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historical properties, will not be undertaken.

No conjectural features or architectural elements that would create a false sense of history will be added to the historic resource. This Standard is not applicable.

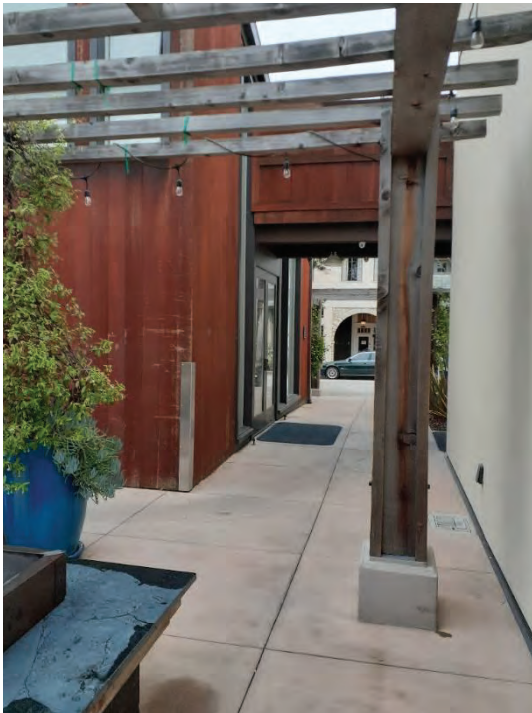
Standard Four

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

The bank building has changed very little over time and there are no features that have achieved significance in their own right. This Standard is not applicable.

Standard Five

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.



The community room will be demolished as part of this project. It is connected to the main bank building at the second-floor level by an elevated walkway. When the community room is demolished a gap will be created in the exterior wall of the bank building. The wall should be repaired by matching the original wall in design, color, texture, and if possible, materials. If this is clearly indicated on the construction plans, then the work will be consistent with Standard Five.

It is important that a historic structure be protected during adjacent construction. Demolition activities and construction on neighboring sites can cause immediate harm to the physical integrity of a historic building through concentrations of dust, fire, vibration, and more. The National Park Service provides guidance for the temporary protection of historic structures in Preservation Tech Note Number 3⁵ (attached to this report).

Providing adequate protection involves the following steps:

1. Consultation between the historic building owner and development team to identify potential risks, negotiate changes and agree upon protective measures.

⁵ Preservation Tech Notes, *Protecting a Historic Structure during Adjacent Construction*. Technical Preservation Services, National Park Service, 2001.

2. Documentation of the condition of the historic building prior to adjacent work.
3. Implementation of protective measures at both the construction site and the historic site.
4. Regular monitoring during construction to identify damage, to evaluate the efficacy of protective measures already in place, and to identify and implement additional corrective steps.

Work will be consistent with Standard Five if a protection plan is submitted to the HRB for review and approval prior to the commencement of any work on the proposed project.

Standard Six

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

No work will be done on the historic bank building except for the repair of the wall juncture between the community room and bank. As stated in Standard Five, the repair of the bank wall should match the original wall in design, color, texture, and where possible, materials. Construction plans should clearly indicate how the wall will be repaired in order to be consistent with Standards Five and Six.

Standard Seven

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Surface cleaning is not proposed for the historic resource. This Standard is not applicable.

Standard Eight

Archeological resources will be protected and preserved in place.

The current parking lot will be demolished, and a 10,746 square foot basement area will be excavated which will serve as a parking garage, gym, and support services for the new building. Because there will be major ground disturbance, an archeological report should be prepared to evaluate whether any resources are present. If resources are discovered, appropriate mitigation measures should be implemented. The proposed work will be consistent with Standard Eight once an archaeological report is completed.

Standard Nine

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

The new construction will demolish the parking lot, community room, and garden wall which are part of the bank complex however they are not significant in their own right. These features supported the bank's former function but do not support its eligibility under Criterion Three (Architecture). They are

not considered character-defining features. The pathway separating the community room and the bank creates an important spatial relationship that should be preserved, as discussed under Standards One and Two. The proposed work appears to be consistent with Standard Nine.

Standard Ten

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

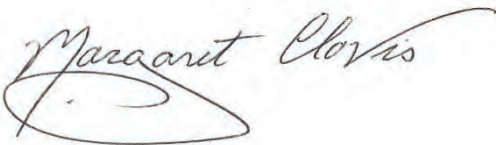
If removed in the future, the proposed new construction adjacent to the historic bank building will not impair the historic property and environment only if care is taken to remove the building following the guidance provided in Preservation Tech Note Number 3 and described under Standard Five.

Conclusion

The former Palo Alto-Salinas Savings and Loan complex consists of the historic bank building, a community room, a parking lot and garden wall. The primary building within the complex is the bank, and the property's architectural significance is predicated on the bank, not the community room which is simply an ancillary structure. The community room has been evaluated for eligibility for listing in the California Register based on its merits alone and it does not meet the criteria for listing as an individual resource.

The proposed project will meet Standards One, Two, Five, Six, Eight, Nine, and Ten of the Secretary of the Interior's Standards and Guidelines for Rehabilitation on the condition that recommendations in this report are carried out. Standards Three, Four, and Seven are not applicable to this project. If the proposed project meets the aforementioned Standards then the project will not have a significant impact on the historic bank building.

Respectfully Submitted,



Margaret Clovis

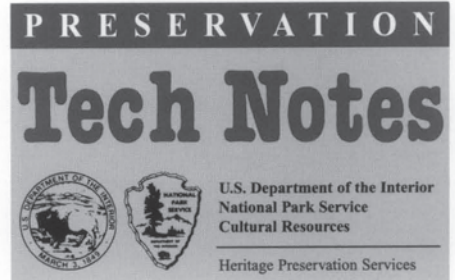
Historic Resources Board

April 19, 2021

Attachment 6

Preservation Tech

Note Number 35



TEMPORARY PROTECTION

NUMBER 3

Protecting a Historic Structure during Adjacent Construction

Chad Randl

Technical Preservation Services
National Park Service



IDENTIFYING AND AVOIDING RISKS FROM ADJACENT CONSTRUCTION

Valued for their ability to convey the past through existing materials and features, historic buildings must also survive in an ever-changing present. That change is often characterized by new building construction and demolition activities on neighboring sites. Whether it is the modest renovation of an existing building or the demolition of an existing structure and construction of a new high rise, physical damage to an adjacent historic building may occur. It is important for both the historic property owner and those responsible for the neighboring work to give careful consideration to the potential risks. Early planning offers the opportunity to identify these risks and to determine successful ways to avoid them.

Problem

The forces that contribute to the deterioration of a historic building, from atmospheric pollutants to the footsteps of visitors, often take decades and even centuries to exact their toll. Demolition activities and new construction on neighboring sites, however, can cause immediate harm to the physical integrity of a historic structure. In the instant it takes an improperly planned excavation blast to crack the foundation of an adjacent historic structure, or for a

steel beam to be dropped from a construction crane onto its roof, significant damage may occur. Additionally, adjacent construction work can expose the neighboring historic building to concentrations of dust, vibration and fire hazards that would normally be experienced only over the course of many years.

These concerns are often overlooked when a project is undertaken next to historic resources. In some situations, the historic property manager may be unaware of the nature and extent of work at an neighboring site. In other cases, the new construction team is not familiar with the particularly fragile character of the neighboring historic structure or decides to repair any damage after the fact rather than avoiding it from the beginning.

Solution

Effective planning and protective measures initiated before construction takes place can prevent most of the damage that may occur to adjacent historic buildings. Depending upon the nature of the project, protective measures may be limited to documenting and monitoring the historic structure or may encompass a broader plan that includes encasing windows, indepen-

When historic structures are exposed to adjacent construction or demolition work, a protective plan including documentation, monitoring and specific safeguards should be implemented to prevent damage and loss of historic fabric.

dent review of excavation procedures and a range of other precautions. Cooperation between all parties can help to ensure that construction activity continues without interruption and that the neighboring historic building is preserved unharmed.

The information provided in this *Tech Note* can serve as a basis for discussions between the historic property manager and the developer of the adjacent site aimed at ensuring the protection of the historic building in a cost-effective manner. This guidance is also applicable where new construction is undertaken on the same site as the historic structure.

Although adjacent construction work often poses a more immediate threat than the incremental impacts of weather or pollution, the best defense for both situations is that buildings be in good condition. A well maintained structure with tight mortar joints, strong connections between interior and exterior walls, solid foundations and sound plaster is at less risk from neighboring activity than a neglected structure.

Providing adequate protection involves the following steps: 1. consultation between the historic building owner and development team to identify potential risks, negotiate changes and agree upon protective measures; 2. documentation of the condition of the historic building prior to adjacent work; 3. implementation of protective measures at both the construction site and the historic site; and 4. regular monitoring during construction to identify damage, to evaluate the efficacy of protective measures already in place, and to identify and implement additional corrective steps.

Consultation

Early consultation between the historic property owner and the developer of the neighboring construction site is the first and often most important step. Establishing such contact has many advantages. Consultation provides the foundation for a mutually beneficial relationship that is cooperative rather than adversarial. The process gives the historic site owner an opportunity to become familiar with the scope of the impending project and for the development team to understand the historic structure's vulnerabilities. Consultation permits all parties a chance to propose, discuss, and negotiate changes to the construction plan that reduce the risk of damaging adjacent historic

resources. The ultimate goal is to draft a protection plan acceptable to both parties.

Resolving concerns before construction is underway can save time and money, as well as the need to repair damaged historic fabric. It is crucial that such discussions take place during the paper stage of the project, before final decisions are made. If not, the developer may conclude that changes would be cost prohibitive and that it is preferable to repair damage after it takes place. Early consultation also provides information that can be used to assess whether the level of insurance coverage is sufficient to meet the specific project risks.

The owner of a historic property cannot in most cases compel the support and cooperation of the development team. If, after consultation has been attempted, the level of protection provided is not sufficient, the aid of local building officials should be sought. Local building officials, through the permitting process, can often insist that changes be made to development plans to ensure that adjacent properties are protected. Local building codes may also provide safeguards by establishing certain conditions such as maximum vibration levels.

Other parties can also participate in and contribute to the consultation

process. The support of neighborhood committees, local non-profit preservation organizations, independent engineers and the historic district commission (if applicable) may be enlisted to ensure that protection concerns are fully addressed. The developer will benefit from the assembly of a team, including or representing the general contractor, architect, structural engineer, construction manager, and subcontractors, who can be present at consultation meetings and play a continuing role in balancing protection efforts with development interests.

Preconstruction meetings should address several issues. Most important, the parties should reach an understanding about what steps will be taken to protect the historic structure (*see figure 1*). Responsibility for implementing the agreed upon protections should be established among the developer, the general contractor and relevant subcontractors, and the historic property owner. Such decisions should be listed in performance specifications that accompany agreements between the contractor and the developer. A walk-through of the historic building by the development team is also advisable. Finally, schedules for major work such as excavation, and requirements for materials delivery, site storage, and other use of the premises by the con-

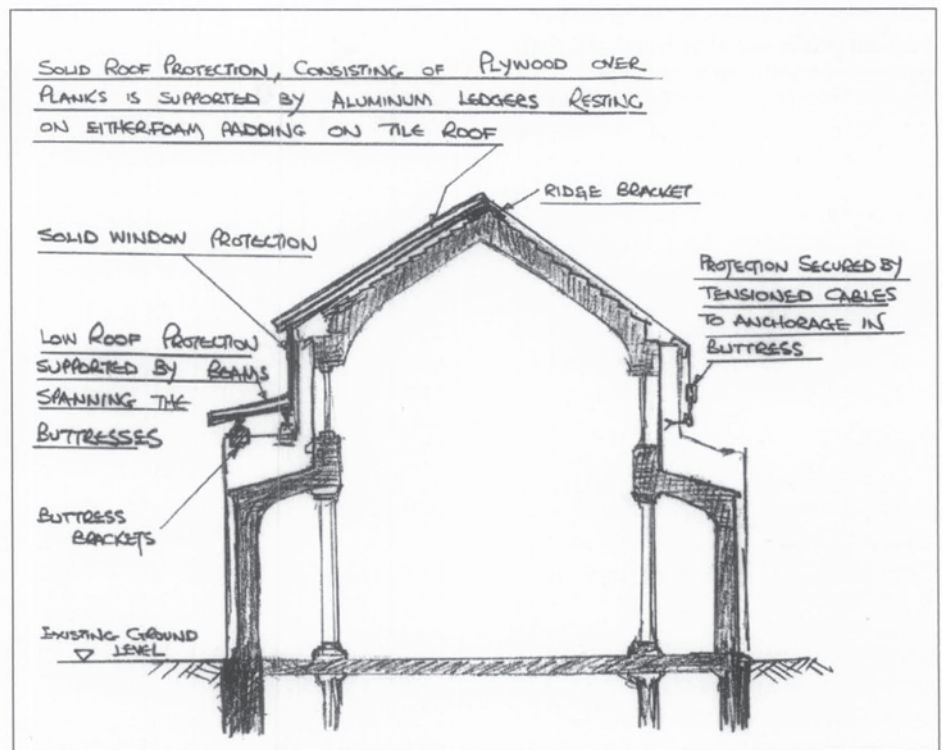


Figure 1. Before new construction was undertaken to the left of this church, a subcontractor was hired to design a protective system for the tile roof and clerestory windows. Drawing: Alan Shalders, Universal Builders Supply, Inc.

tractor should be discussed and arranged to minimize disruptions to the historic site.

Documentation

A crucial step following consultation with the developer is to document the existing condition of the historic structure. Such an investigation provides a "baseline" from which changes to the building during the adjacent construction can be identified, monitored and assessed. Like the consultation process, thorough documentation benefits both the historic property owner and the developer. For the former, it may be used to substantiate claims that damage occurred as a result of the neighboring construction work by illustrating the previously sound condition of the historic building. If the damage existed prior to construction work, the record can show that it was not caused by the developer's negligence. In the case of future litigation, the documentation record can serve as evidence along with the testimony of the professional who undertook the assessment.

Both parties should ensure that the documentation is objective and accurate. Joint surveys, in which both the developer and the historic property owner participate or sign off on noted conditions, are most likely to ensure that the resulting data are not in dispute. When the developer pays for the assessment, it is advisable that an independent professional be hired and that the survey results be accessible.

Information obtained through documentation can also be used in formulating a protection plan for the historic building. By characterizing existing damage and exposing potential weaknesses, the documentation process identifies areas of the structure that may require additional protection as well as appropriate locations for monitoring equipment. Features that should receive particular attention during visual inspections would also be highlighted. Although a formal building condition survey including analysis, repair proposals and cost estimates is not necessary, the property owner may find that the disruptive period during adjacent work provides an opportune time for a thorough survey program.

Documentation of existing conditions should take the form of written descriptions, 35mm color photographs and/or a videotape recording. Photographs should show both the interior and exterior of the building, with

close-up images of cracks, staining, indications of settlement or other fragile conditions. A complete interior and exterior crack survey should be undertaken to identify and characterize existing cracks (see figure 2). Their locations can then be plotted on a drawing of each wall or ceiling surface. While identifying every hairline crack may be impractical in a large building or one that exhibits a great deal of preexisting damage, the more thorough the documented record, the better. The condition of features such as arches, chimney stacks and parapet walls determined by the engineer to be particularly susceptible to distress should also be recorded even when no damage is apparent.

Common Risks and Protective Measures

Each instance of new construction or demolition next to an existing historic structure will involve varying risks to that structure. The proximity of the historic site to the project and the scope of the project are two of the most significant variables. Construction of a high rise building with deep foundations is more likely to affect a neighboring structure than the rehabilitation of a nearby rowhouse. However, the converse may be true if the rowhouse is

directly adjacent to and sharing a wall with the historic structure. Other factors influencing the degree of likely impact include the age, construction type and structural integrity of the historic building, as well as the depth and makeup of its foundation and its surrounding soil types.

Owners should also anticipate the effect increased dust, vibration and fire risk will have upon interior architectural features and furnishings. For the most sensitive objects, such as chandeliers, paintings and glassware, temporary removal to an off-site location may be the safest course. Those features that cannot be easily removed, including plaster ceiling medallions and cornices, can be cushioned and buttressed by padded wood supports. Additional information concerning the safeguarding of interior features can be found in the preceding *Tech Note* in this series, "Temporary Protection, Number 2. Specifying Temporary Protection of Historic Interiors During Construction and Repair."

The remainder of this section addresses some of the more common dangers to historic structures when new construction or demolition activities occur nearby. The description of each potential impact is accompanied by suggested approaches for reducing or eliminating those risks.

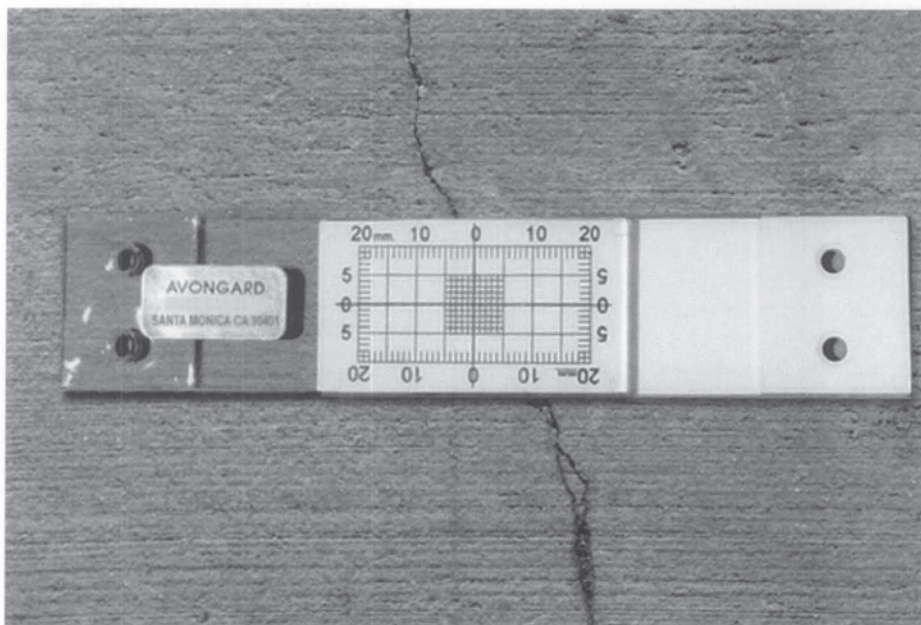


Figure 2. With advanced notice of adjacent construction activity, a crack monitor can be used to determine whether existing cracks in the historic building are stable or still experiencing movement. Compared with measurements taken during the monitoring phase, such information can help determine if subsequent movement resulted from work on the neighboring site. Photo: Avongard Products U.S.A., Ltd.

Vibration

Demolition and new foundation work are common sources of vibrations that can affect adjacent structures. The tools and methods used in demolition, such as impact hammers, wrecking balls, pavement breakers and implosion blasting, produce vibrations that may be transmitted to the historic structure. Similarly, techniques used to prepare new foundations (pile driving and blasting) create potentially dangerous vibrations. Vibrations may also be caused by increased truck traffic accompanying new construction or demolition work. In all cases, the force of the vibrations reaching the adjacent historic structure depends upon the activity generating the vibrations, the distance between the source and the existing structure, and the type of soil or pavement found between the two.

Historic structures may be particularly vulnerable to the effects of vibrations generated at an adjacent site. Deferred maintenance and past alterations may have produced structural weak points that are susceptible to damage. Historic finishes, such as plaster walls and ceilings, lack the flexibility to accommodate abnormal movement, while shallow foundations (common in historic buildings) may lack the rigidity to resist vibration induced movement.

Mitigating the effects of vibrations should begin during the consultation process when acceptable levels can be set and alternative processes explored. Hand demolition is an appropriate substitute when conventional demolition activities may cause excessive vibrations. If pile driving is likely to damage adjacent structures, the contractor may be able to employ non-displacement piles that are inserted in bored holes rather than driven. Lower vibration levels can also be achieved by “jacking-in” or pressing the piles into the ground. Locating delivery entry and exit points farther from the historic site may reduce vibrations caused by increased vehicular traffic. Once construction is under way, continual crack and vibration monitoring provides an effective warning system, indicating that established safe thresholds have been crossed.

Movement

Excavation and foundation work can also cause ground displacement and movement of an adjacent historic

building. New construction almost invariably calls for digging a foundation that is much deeper than the foundations of neighboring historic buildings. This is especially true for projects that include underground parking facilities. A historic structure, with a shallow masonry or stone foundation and wall footings, may experience corresponding displacement that can result in major structural damage.

Efforts to control movement should begin during the consultation phase. Whether the developer’s engineer selects underpinning or strengthened excavation walls with tie backs as the means to resist movement of the adjacent structure, the historic building team should retain its own engineer to review the plans (*see figure 3*). The consulting engineer should ensure that the selected approach addresses the unique characteristics and vulnerabilities of the historic structure and that even incidental movement is restricted.

Water

A well functioning water drainage system is essential to the protection of any historic structure. This system can easily be rendered ineffective by neighboring construction or demolition work. Debris originating at the construction site often finds its way to the gutters, downspouts and drains of an

adjacent building. Drainage mechanisms may also become inoperable when excavation workers inadvertently seal off or collapse old pipes running from neighboring buildings. If blocked pipes cannot remove water from both above and below the surface of an historic site, excessive moisture levels or flooding may result.

Regular visual inspections (part of the monitoring program described later) are one of the best means of thwarting increased moisture levels. The inspection procedure should include checking gutters, valleys and exposed drains for any obstructions. Also, indications of dampness or water damage in the basement and where gutters and downspouts meet other building surfaces should be noted.

Construction site runoff from cement mixing and cleaning and dust suppression activities should not flow toward the historic property. Although placing screens and wire cages over exposed areas of the drainage system may provide some protection from obstructions, such installations need to be inspected just as frequently. Low-pressure water washes can occasionally be used to flush the system of dirt and debris. To reduce the possibility that drainpipes will be blocked at the adjacent construction site, all concealed pipes should be traced from their origins at the historic structure and the



Figure 3. Concrete pier underpinning to an existing building may be necessary when adjacent construction occurs. In this example, pits are hand dug beneath the foundation of the historic building to provide space for wood forms. After concrete is poured into the forms, the space between the top of the pier and the bottom of the original foundation is packed with a quicksetting grout. The historic building owner should retain an independent engineer to ensure that the underpinning plan adequately protects the historic structure. Photo: Professor Arpad Horvath, Department of Civil and Environmental Engineering, University of California, Berkeley.

information passed on to the appropriate contractors. Final landscaping and grading patterns on adjacent construction sites should be examined to ensure that rainwater is not routed towards the historic building.

In some cases, the lack of water beneath an historic structure can lead to damage. Buildings located in areas with a high water table were often constructed upon timber piles. When groundwater or storm water is removed from a neighboring site during foundation excavations (a process known as “dewatering”), the groundwater level beneath the historic site may also drop. Previously submerged timber piles that are exposed to air can quickly begin to undergo dryrot. If there is reason to suspect that the structure was built on such a foundation, the property manager should work with the neighboring construction team to maintain the existing water table. This can be done using watertight excavation support systems such as slurry walls which ensure that most of the water pumped out of the construction site does not come from adjacent properties. Dewatering of soft clay ground may also result in settlement of a neighboring building, as ground water pressure is reduced and the soil consolidates.

Fire and Security Concerns

The heightened possibility of fire accompanies many demolition and new construction activities. Temporary heating devices, torches, sparks, molten metal and undersized electrical utility panels are some of the most common sources of fire at construction sites. Additionally, the improper storage of fuels, cloth rags and brushes also presents opportunities for fire to ignite and spread. The *Tech Note*, “Specifying Temporary Protection of Historic Interiors during Construction and Repair,” provides detailed information on reducing the likelihood of fire in situations involving work near historic structures.

The security of a historic building can be threatened when adjacent construction provides opportunities for illegal entry. Newly constructed floor levels at the building site may make the neighboring historic structure’s ledges, windows and rooftops accessible to trespassers. Window openings on the historic building should be fastened and all doors from the roof to the interior should be locked. Where a historic structure is protected by an intruder

alarm system, that system should be upgraded to protect rooms that are rendered accessible from the outside. In cases where the historic structure does not directly abut new construction or demolition activity, attention should still be paid to the possibility that incidents of vandalism and theft will carry over to the historic site.

Physical Impact

Construction or demolition can cause direct physical damage to neighboring historic features and materials. Cranes, hoists and workers on upper floors of a construction site can drop building supplies and tools onto an adjacent historic structure. Misdirected debris chutes and backing vehicles may also leave their mark.

Generally, to counter these occurrences, protective barriers are placed over any area of the historic structure deemed at risk. If the new construction will rise above the historic building, plywood sheets should be placed over the roof to distribute the force of dropped materials (see figure 4). Plywood covers should also be placed over decorative roof embellishments such as finials and balustrades. Alternately, horizontal netting can be rigged to shield vulnerable rooftop features.

Facades that are directly exposed to adjacent construction sites should receive close attention. To avoid dam-

age, windows should be covered with plywood. Layers of cushioning materials can be placed between the plywood covering and particularly fragile windows, such as stained glass. If entire wall surfaces are vulnerable, scaffolding should be erected against the facade and debris netting placed on the outside of the scaffolding. Plastic sheeting can provide added protection in areas where acidic cleaning solutions may splash onto historic facades, windows and other surfaces.

The best means of protecting a historic structure from physical impact, however, is often to have adequate horizontal and vertical netting and barriers in place at the construction site. When adjacent buildings are adequately considered in the construction site netting and scaffolding plans, protective measures at the historic site can be less intrusive, and the likelihood of damage reduced even further.

Additional Dangers

Other byproducts of new construction and demolition, such as dirt and dust, can also pose threats to an adjacent historic structure. Dust suppression measures including the installation of fabric enclosure systems should first be employed at the building site (see figure 5). Despite these efforts, historic building owners will undoubtedly have to deal with raised levels of dust infiltration. Accordingly, vulnerable interi-

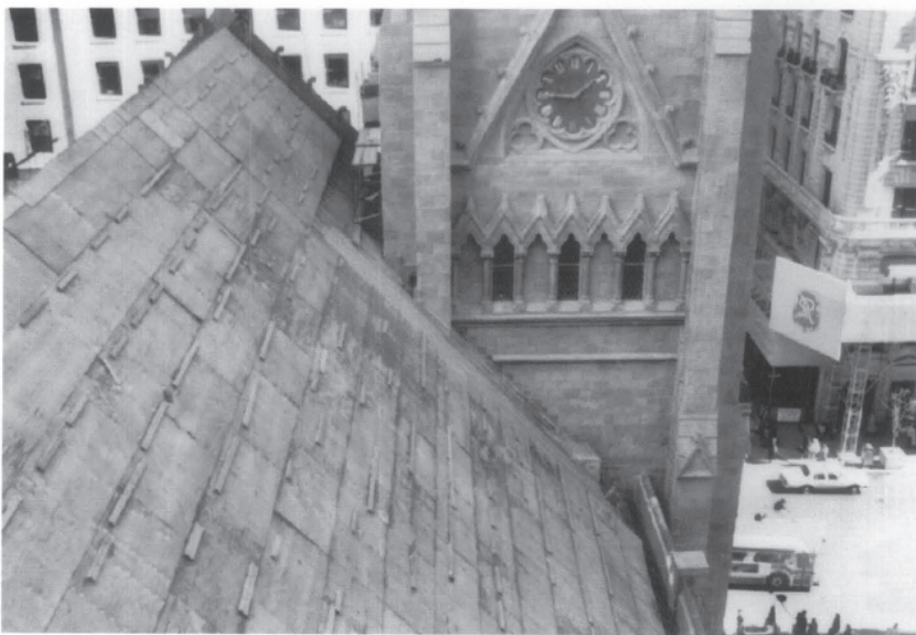


Figure 4. Dropped equipment, tools, and materials all present risks when new construction rises above neighboring historic structures. In this case, the historic slate roof was completely covered with sheets of exterior grade plywood. Photo: National Park Service files.

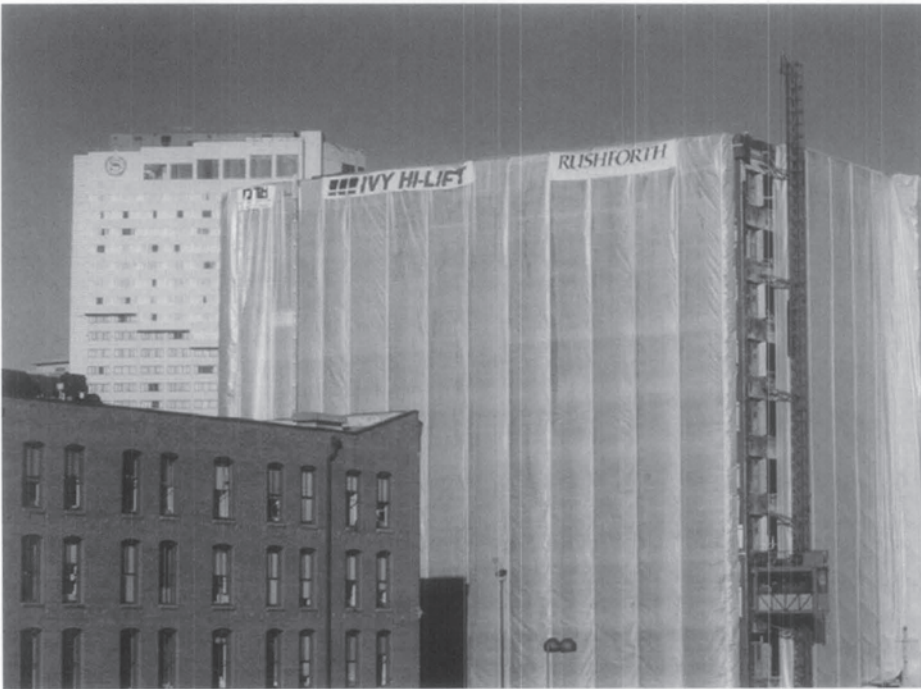


Figure 5. The historic building on the left is partially protected from debris and dust generated by the renovation of the structure to the right. Such temporary enclosure systems consist of a polyethylene or other fabric shell stretched between an aluminum frame. Photo: Walton Technology, Inc.

or objects and artifacts should be covered or temporarily moved to another location. Windows can be taped shut or temporarily sealed with clear polyethylene sheets. Additional mats or carpets near entrances can help reduce the amount of dirt tracked inside. An accelerated maintenance program that includes thorough and frequent cleaning and HVAC filter replacement, is an effective means of addressing the degraded environment surrounding a construction site. To lessen the chance of airborne asbestos infiltration, the exhaust from sealed work areas must be properly filtered and vented away from historic buildings.

The owner of a historic property should anticipate the increased rodent and pest presence that accompanies major demolition activity. Newly opened holes in old foundations are easy escape routes that should be promptly sealed. The construction or demolition site rodent control plan should include provisions for protecting adjacent historic resources. Concurrently, the historic property owner should consider securing a contract with an independent extermination company. Plans should include both preventive measures to reduce conditions favorable to infestation as well as a system of eradication such as rodenticide and traps.

Monitoring

A monitoring program should be established during the consultation and documentation phases and continued until adjacent work is finished. It is undertaken to detect, gauge, record and interpret structural movement, the effects of vibration and other changes to the historic building that result from neighboring construction or demolition work. Data collected during the monitoring program can serve as a baseline for any subsequent movement or changes to site drainage patterns that arise within the first years after construction is completed. Ultimately, monitoring shows the degree to which steps taken to protect an historic structure from adjacent construction are sufficient and successful.

Because of liability concerns, those responsible for a new development will often arrange to monitor an adjacent structure. As with a documentation program, the historic property owner may want to hire an independent engineer to review both the monitoring process and the measurements that result.

The extent of the monitoring program and the tools used will depend upon the scope of the adjacent activity. A basic plan to address concerns over vibration levels may include a single seismograph placed on the structure's

basement floor. More comprehensive measurements can be obtained by locating sensors at several points throughout the structure and the ground immediately adjacent to the historic building foundation (*see figure 6*).

Whether acceptable vibration levels are mandated by law or left to the discretion of a project engineer, thresholds should take into account surrounding soils, the makeup and condition of the adjacent foundation and the particular vulnerabilities of the historic resource. Construction projects that involve major excavation work next to historic structures should include a program of test blasting before work begins. Testing various charges, delays and blast design configurations will aid in developing a controlled program that limits blast induced damage to a neighboring property.

Structural movement as described in the preceding section is detected and recorded using a number of different tools. Electronic monitors that feed precise movement measurements to laptop computers can be placed across existing cracks (*see figure 7*). When budgets are tight or a large number of cracks are involved, inexpensive tell-tales made from two sheets of overlaid plastic with a grid can be used to track changes.

Optical survey instruments provide another means of detecting vertical and lateral movement within a historic building. Control points are established and marked by targets or reflectors on the historic structure facade and interior walls before adjacent construction begins. The location of each of these markers is precisely measured at regular intervals. Engineers then use the resulting information to determine whether the markers have shifted from their original positions and, if so, the rate and direction of movement.

A program of visual inspections undertaken by a qualified conservator or engineer is an important adjunct to technical monitoring procedures. Inspectors should look for newly opened cracks, other signs of settlement and movement, and evidence of increased dampness or water infiltration. Additionally, visual inspections should ensure that temporary protective coverings are secure, that dust and dirt are not accumulating in the historic building, and that fire and hazardous material protection provisions are being upheld. A checklist can be drawn up during the consulting and documentation phases for use during

each visual inspection. Such a systematic written record may also prove useful if disputes arise over the timing of and responsibility for damage.

Conclusion

Protecting a historic building from adjacent construction or demolition activity requires thoughtful planning and cooperation between the developer and the historic property owner. Thorough pre-construction documentation of the historic structure ensures a common understanding of present conditions and suggests appropriate damage prevention measures that can be taken at both the historic site and the construction site. A routine program of visual inspection and vibration and movement monitoring helps insure early detection of the effects neighboring construction work is having on the historic building. Early consideration of these issues, before damage takes place or worsens, can allow for the adoption of safeguards that protect the developer's schedule and budget and the physical integrity of the historic structure.

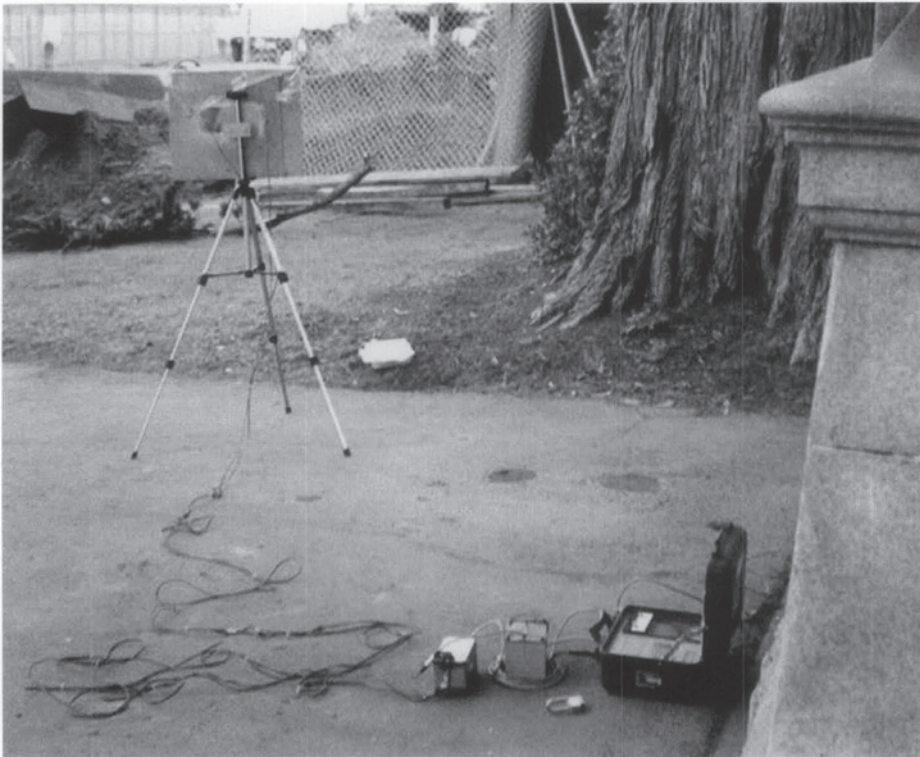


Figure 6. A seismograph records vibrations transmitted at the ground level of an historic building. The instrument is wired to a light and siren designed to warn the excavation crew that vibration levels are approaching preset limits. Additional sensors are often installed in the basement and on sensitive features such as stained glass windows. Photo: Wilson, Ihrig & Associates, Inc.

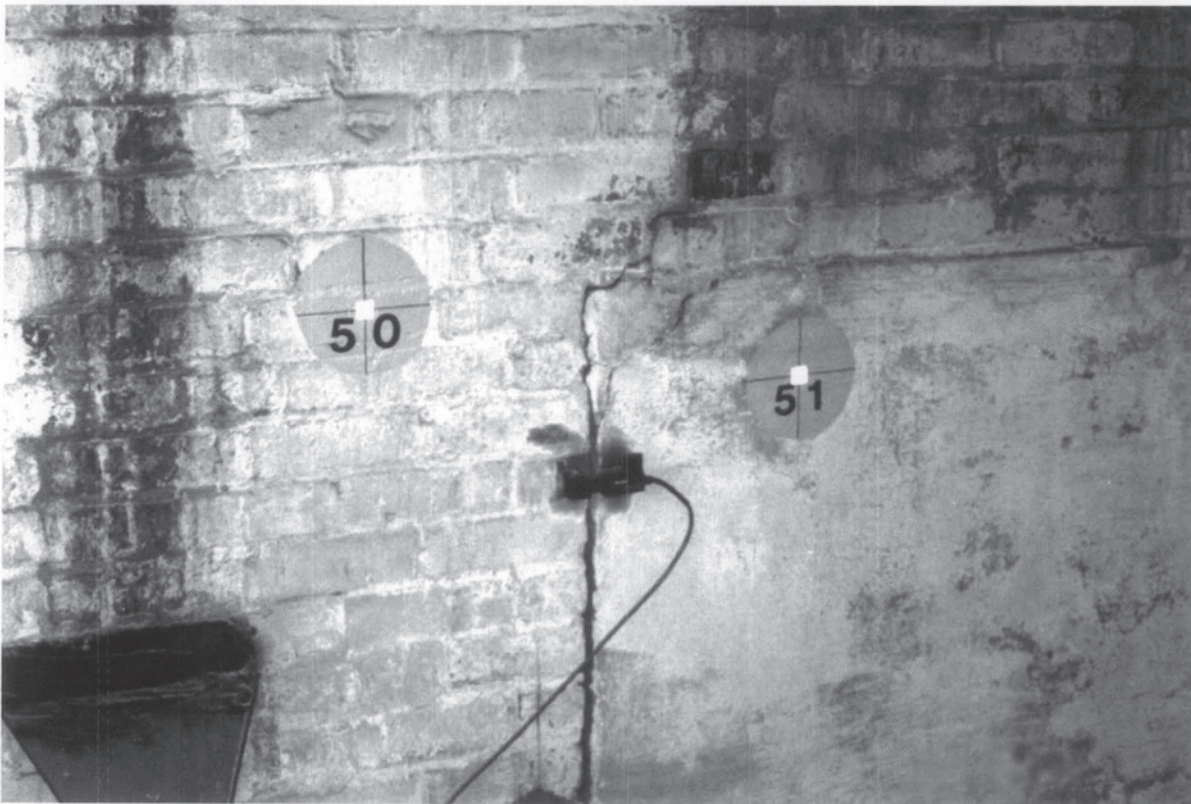


Figure 7. Electronic crack monitor and survey targets are shown installed on an existing wall. The crack monitor feeds movement data to a laptop computer. The targets are aligned and measured with optical survey equipment to determine the degree and direction of movement. Photo: McMullan and Associates, Inc.

Checklist for Historic Property Owner and Historic Site

- Consult with developer, and other parties to determine extent of work and identify necessary protective measures
- Conduct survey of existing conditions, including 35 mm photographs, crack inventory and description of other damage
- Include historic building in construction site fire plan
- Secure windows and rooftop doors that are made accessible by new construction
- Remove particularly fragile interior objects and furnishings from site
- Install temporary supports beneath fragile features that are not moved
- Place plywood coverings on openings that face construction area
- If adjacent construction rises above historic site, protect roof with plywood covering, encase rooftop embellishments
- If construction is directly adjacent, cover historic facade to protect against mortar and acidic cleaning solution
- Install temporary floor coverings at entrance and seal windows facing construction site to limit dust infiltration
- Remove dust from interior surfaces on accelerated schedule
- Clean HVAC system & filters on accelerated schedule
- Clear obstructions from gutters and drainage system regularly
- Establish monitoring program, including:
 - 1) Seismographs to ensure that effects of blasting, pile driving and other work are at acceptable levels
 - 2) Crack monitors and optical survey methods to detect movement
 - 3) Schedule of regular visual inspection

Checklist for Development Team and Construction Site

- Consult with historic property owner and other relevant parties to identify necessary protective measures
- Review and sign off on pre-construction condition survey of adjacent property
- Arrange delivery locations and times to limit disruption and possible damage to neighboring historic structure
- Explore excavation and demolition methods that produce low vibration levels
- Limit movement of adjacent building with sufficient underpinning or reinforced excavation walls
- Reduce changes to adjacent ground water level during dewatering
- Ensure water runoff is not directed toward historic structure
- Install appropriate debris nets to prevent dropped materials from impacting historic building
- Direct debris chutes away from historic structure
- Install fabric enclosure system to reduce spread of construction dust
- Include adjacent historic building fire plan and ensure fuels, rags and brushes are stored appropriately and not directly adjacent to historic site
- If asbestos or lead remediation is involved, ensure exhaust from sealed building is filtered and vented away from historic site and that lead chips are gathered and removed
- Include adjacent historic structure in rodent control program and seal openings in demolished foundation
- Participate in monitoring program at historic site to ensure that vibration levels or indications of movement are within established thresholds

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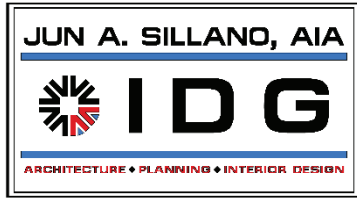
PRESERVATION TECH NOTES are designed to provide practical information on traditional practices and innovative techniques for successfully maintaining and preserving cultural resources. All techniques and practices described herein conform to established National Park Service policies, procedures and standards. This Tech Note was prepared pursuant to the National Historic Preservation Act which direct the Secretary of the Interior to develop and make available to government agencies and individuals information concerning professional methods and techniques for the preservation of historic properties.

Comments on the usefulness of this information are welcomed and should be addressed to PRESERVATION TECH NOTES, Technical Preservation Services NC200, National Center for Cultural Resources, National Park Service, 1849 C Street, NW, Washington, DC 20240.

Historic Resources Board

April 19, 2021

Attachment 7 Protection Plan



J.B. PASTOR BUILDING-DOLORES HISTORIC BUILDING PROTECTION & MONITORING PLAN

March 26, 2001

This plan shall satisfy the recommendation of the Preliminary Phase Two Report by Meg Clovis dated March 1, 2021 and Preservation Tech Notes by Chad Randl, see drawing pages A1.3 and A1.4.

Refer to page A1.1 for the Protection Key Notes on the site Demolition & Historic Building Protection Plan.

The last page of the Tech Notes (see attached) includes Checklists for the historic property owner and the development team. All check marks are noted for the items that apply to this project.

PROPOSED MONITORING PLAN

1. Monthly meetings with historic property owner and development team prior to construction start. The purpose is to discuss and develop all details for the protection plan to satisfaction of the owner. Also included shall be coordination of construction hours of operation and the historic building functions.
2. Developer shall create detailed photographic record of the exterior walls facing construction site. Any damage to these walls prior to construction shall be noted in this record. The report shall be reviewed and approved by the owner.
3. Weekly monitoring schedule of the construction impact to historic building by the owner's and developer's representative, which shall identify any damage, evaluate efficacy of protective measures already in place and to identify and implement additional corrective steps.

4. Development, owner and City approvals and construction of the repairs to historic building due to demolition work of the community building. This shall include the following:
 - a) New fire exit plan from the historic building due to demolition of bridge-walkway.
 - b) Proposed repair of any exterior finishes due to demolition using finishes matching existing ones.
 - c) Proposed replacement of bridge-walk removal by new wall or window which shall match the existing ones.
5. Schedule of historic building HVAC system filter cleaning or replacements.

The following check lists shall be used to finalize the Historic Building Protection Plan:

Checklist for Historic Property Owner and Historic Site

- Consult with developer, and other parties to determine extent of work and identify necessary proactive measures
- Conduct survey of existing conditions, including photographs, crack inventory, and description of other damage
- Include historic building in construction site fire plan
- Place plywood coverings on openings that face construction area
- If construction is directly adjacent, cover historic façade to protect against mortar and acidic cleaning solution
- Install temporary floor coverings at entrance and seal windows facing construction site to limit dust infiltration
- Clean HVAC system & filters on accelerated schedule
- Establish monitoring program, including:
 - 1) Seismograph to ensure that effects of blasting, pile driving, and other work are at acceptable levels
 - 2) Crack monitors and optical survey methods to detect movement
 - 3) Schedule of regular visual inspection

Checklist for Development Team and Construction Site

- Consult with historic property owner and other relevant parties to identify necessary proactive measures
- Review and sign off on pre-construction condition survey of adjacent property
- Arrange delivery locations and times to limit disruption and possible damage to neighboring historic structure
- Explore excavation and demolition methods that produce low vibration levels
- Limit movement of adjacent building with sufficient underpinning or reinforced excavation walls
- Reduce changes to adjacent ground water level during dewatering
- Ensure water runoff is not directed towards historic structure
- Install fabric encloser system to reduce spread of construction dust
- Include adjacent historic building fire plan and ensure fuels, rags, and brushes are stored appropriately and not directly adjacent to historic site
- If asbestos or lead remediation is involved, ensure exhaust from sealed building is filtered and vented away from historic site and lead chips are gathered and removed
- Participate in monitoring program at historic site to ensure that vibration levels or indications of movement are within established thresholds

Attachments: HBC application architectural plans dated 3/26/21
 Email copy of meeting request with historic building owner

Alem Dermicek

From: Christopher Mitchell <christopher.mitchell@pastor-realestate.com>
Sent: Friday, March 26, 2021 11:08 AM
To: Jeffrey Peterson
Subject: JB Pastor Project, Carmel
Attachments: Tech-notes-protection03.pdf; Seventh & Dolores_PhaseTwo (Community Room)[3025].pdf

Jeff

I hope you are well?

We are now progressing with our planning process for the JB Pastor Project. Next to your building.

For the historic review board we are obliged to develop a plan with you to make sure that we protect your building. Which will include provisions monitoring during construction to ensure the building is not damaged. Please find attached the two documents which outline the requirements for the protection plan.

We would like to set up a meeting with you in the near future to review and agreed this plan with you.

Our architects are currently drafting the plan. Which should be ready early next week. I will send this to you in advance of any meeting.

Would you be available for a Zoom call next week with myself and our project team so we can explain everything?

Have good weekend.

Kind regards

Chris

Christopher Mitchell
 BSc (Hons) MRICS

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[Zoom link](#)



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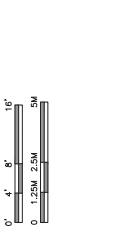
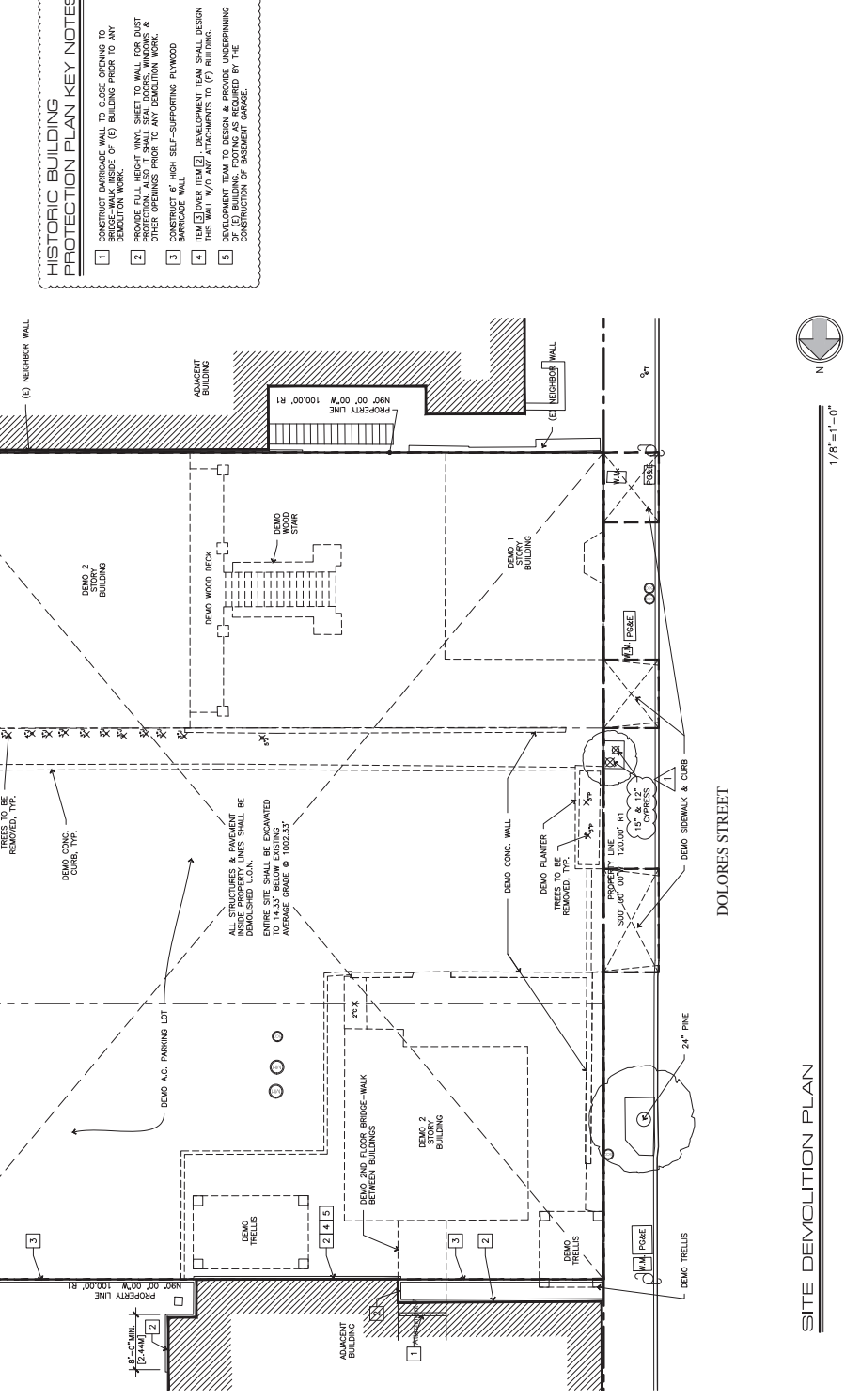
TREE REMOVAL

TREE	SIZE	QUANTITY
JUNIPER	5"ø	2
JUNIPER	4"ø	1
JUNIPER	3"ø	17
PINE	6"ø	2
PINE	3"ø	2
CELEBRY	2"ø	2

TOTAL TO BE REMOVED: 26 - PRIVATE PROPERTY
 TOTAL TO BE REMOVED: 2 - PUBLIC PROPERTY
 26 PRIVATE + 2 PUBLIC
 TOTAL TO BE REMOVED: 28

HISTORIC BUILDING PROTECTION PLAN KEY NOTES

- CONSTRUCT BARRICADE WALL TO CLOSE OPENING TO BRIDGE-WALK INSIDE OF (E) BUILDING PRIOR TO ANY DEMOLITION WORK.
- INSTALL 6" HIGH SELF-SUPPORTING PLYWOOD PROTECTION, ALSO IT SHALL SEAL DOORS, WINDOWS & OTHER OPENINGS PRIOR TO ANY DEMOLITION WORK.
- CONSTRUCT 6" HIGH SELF-SUPPORTING PLYWOOD BARRICADE WALL.
- REMOVE WALLS AND CEILING FROM MAIN DESIGN OF (E) BUILDING TO EXPOSE STRUCTURE TO (E) BUILDING.
- DEVELOPMENT TEAM TO DESIGN AND PROVIDE UNDERPINNING OF (E) BUILDING, FOOTING AS REQUIRED BY THE CONSTRUCTION OF BASEMENT GARAGE.



SITE DEMOLITION PLAN

March 4, 2021

Final Phase Two Report for the Palo Alto - Salinas Savings and Loan Bank, Community Room, Parking Lot, and Garden Wall (APN 010-445-020), Carmel-by-the-Sea, CA.

Executive Summary

The Palo Alto Salinas Savings and Loan community room, parking lot, and garden wall are part of a larger historic building complex located on the corner of Dolores and Seventh Streets in downtown Carmel. The bank building has been evaluated for historical significance multiple times. In October 2013 the bank building was found eligible for listing in the California Register for Historic Resources (CRHR) under Criterion Three (Architecture) and the National Register of Historic Places due to the Fifty Year Rule. Nevertheless, it is considered a significant resource for the purposes of CEQA with a period of significance of 1972.

In June 2020 the bank's companion community room was evaluated for historical significance under the California Register for Historic Resources criteria and was found ineligible for listing as an individual historic resource. The project consists of the construction of a new community room, parking lot, and garden wall. An application has been submitted to the Carmel Planning Commission proposing the demolition of the existing community room, parking lot and garden wall to allow for the construction of an underground parking garage and a two-story building with a combined use of second floor residential apartments and ground floor community room. This Phase Two report examines the project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation, and the Secretary of the Interior's Standards for the Treatment of Historic Properties to determine if the project will help guide final plans.

Parking Lot & Garden Wall: Historical Background and Significance

The Palo Alto Salinas Savings and Loan complex was constructed in 1972 on the corner of Dolores and Seventh Streets in the same location as its former building. The former building (originally the Palo Alto Savings and Loan Company) housed on Seventh Street. An engine-space parking lot was located behind the building and was part of the building's original design. Plans for the new building were designed to be consistent with the existing building's architectural style. The new building was designed to be consistent with the existing building's architectural style and existing on Seventh. An article in the Carmel Pine Cone stated that, "parking facilities are less visibly

¹ Chuck, May, Evaluation of Significance of Phase Two Report for Seventh & Dolores (formerly the Palo Alto Savings and Loan Company), October 3, 2013.
² "Carmel Pine Cone article that described the future parking facilities also described the garden wall that would partially surround the community room. Originally, a small sculpture garden was planned for the wall space but it never came to fruition. In 2013 a portion of the wall on the south elevation was removed and the entire wall was shortened by twelve inches."
³ When it was constructed in 1972, the Palo Alto Salinas Savings and Loan complex included a bank building, a parking lot, and a garden wall. The bank building is eligible for listing on the California Register of Historic Resources on the local level under Criterion Three (Architecture) because it embodies the distinctive characteristics of a type and period, and it represents the work of two Masters. The building is also eligible for listing on the National Register of Historic Places because it does not meet Criterion One (Events), Criterion Two (People), or Criterion Three (Architecture).
⁴ Like the Community Room, the parking lot and garden wall are not individually eligible for listing in the California Register. Following is an analysis of their eligibility based on CHRR designation criteria:
• Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States. The parking lot and garden wall are not eligible for listing under Criterion One.
• Associated with the lives of persons important to local, California or national history
• Associated with the lives of persons important to local, California or national history
The parking lot and garden wall did not play a significant role in the lives of any people important to local, California, or national history and they are not eligible for listing under Criterion Two.
• Embodies the distinctive characteristics of a type, period, region, or method of construction or represents the work of a master or possesses high artistic value (Criterion Three)
The parking lot and garden wall are not eligible for listing under Criterion Three because they do not embody the distinctive characteristics of a type, period, region, or method of construction. The parking lot in particular was designed to be unobtrusive and not to detract from the main bank building. Although the parking lot and community room were included in the show and theme plans for the complex, the parking lot was not included in the final plans. The garden wall never enclosed a sculpture court and in 2013 a portion of the wall was removed plus the entire wall was lowered by a foot. Thus, diminishing its original design and purpose. At one time, both the parking lot and garden wall were visible from the street.
⁵ Carmel Pine Cone, September 30, 1971, p. 15.

5 | Page

obtrusive than they are now, stretching around behind the buildings". A drive-up teller window could be seen from the Seventh Street side of the parking lot and was included in the original architectural plan.

The Carmel Pine Cone article that described the future parking facilities also described the garden wall that would partially surround the community room. Originally, a small sculpture garden was planned for the wall space but it never came to fruition. In 2013 a portion of the wall on the south elevation was removed and the entire wall was shortened by twelve inches.

When it was constructed in 1972, the Palo Alto Salinas Savings and Loan complex included a bank building, a parking lot, and a garden wall. The bank building is eligible for listing on the California Register of Historic Resources on the local level under Criterion Three (Architecture) because it embodies the distinctive characteristics of a type and period, and it represents the work of two Masters. The building is also eligible for listing on the National Register of Historic Places because it does not meet Criterion One (Events), Criterion Two (People), or Criterion Three (Architecture).
Like the Community Room, the parking lot and garden wall are not individually eligible for listing in the California Register. Following is an analysis of their eligibility based on CHRR designation criteria:

- **Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States**
(Criterion One)
The parking lot and garden wall are not eligible for listing in the California Register because they do not make a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States. The parking lot and garden wall are not eligible for listing under Criterion One.
- **Associated with the lives of persons important to local, California or national history**
(Criterion Two)
The parking lot and garden wall did not play a significant role in the lives of any people important to local, California, or national history and they are not eligible for listing under Criterion Two.
- **Embodies the distinctive characteristics of a type, period, region, or method of construction or represents the work of a master or possesses high artistic value (Criterion Three)**
The parking lot and garden wall are not eligible for listing under Criterion Three because they do not embody the distinctive characteristics of a type, period, region, or method of construction. The parking lot in particular was designed to be unobtrusive and not to detract from the main bank building. Although the parking lot and community room were included in the show and theme plans for the complex, the parking lot was not included in the final plans. The garden wall never enclosed a sculpture court and in 2013 a portion of the wall was removed plus the entire wall was lowered by a foot. Thus, diminishing its original design and purpose. At one time, both the parking lot and garden wall were visible from the street.

6 | Page

will represent the bank's functions but they do not contribute to the bank's distinctive as a significant local representative of the Bay Region style of architecture. Neither can be considered a historic resource on their own merit and they are not eligible for listing under Criterion Three.

The Secretary of the Interior's Standards for Rehabilitation

Compliance Evaluation

An historical resource, the Palo Alto Salinas Savings and Loan Bank building is subject to review under the California Environmental Quality Act (CEQA). The parking lot, community room, and wall are not historic resources and are not individually subject to CEQA. However, the impact of their proposed demolition and reconstruction on the historic resource is subject to CEQA. The Secretary of the Interior's Standards for the Treatment of Historic Properties to determine if the project will help guide final plans. The Secretary of the Interior's Standards for the Treatment of Historic Properties to determine if the project will help guide final plans. The Secretary of the Interior's Standards for the Treatment of Historic Properties to determine if the project will help guide final plans.

The impact of the proposed demolition of the features within the Palo Alto Salinas Savings and Loan building is subject to CEQA. The project consists of the construction of a new community room, parking lot, and garden wall. An application has been submitted to the Carmel Planning Commission proposing the demolition of the existing community room, parking lot and garden wall to allow for the construction of an underground parking garage and a two-story building with a combined use of second floor residential apartments and ground floor community room. This Phase Two report examines the project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation, and the Secretary of the Interior's Standards for the Treatment of Historic Properties to determine if the project will help guide final plans.

Standard One

A property will be used as it was historically or it gives a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
The bank building has been used as a bank, retail store and most recently as a restaurant. These different uses have required minimal change to its distinctive materials, features, spaces, and spatial relationships. The community room is separated from the main bank building by a walkway. Sheet ALD indicates that the community room is separated from the main bank building by a walkway. The new walkway will help to maintain spatial relationships between the buildings however that spatial relationship should be maintained from the ground level to the roof by a setback of the walkway with relation to the bank building. It is also recommended that the proposed walkway be the same width as the current walkway.

Standard Two

The historic character of a property will be retained or preserved. The removal of distinctive materials and features will not be allowed.
The historic character of the bank building will be retained. The distinctive materials, features, spaces, and spatial relationships will not be altered. The spatial relationships between the bank and the community room which has been established by the walkway separating the two should be maintained as part of the new construction. The new construction should be placed away from or at the side or rear of a historic building and must avoid obscuring, damaging, or destroying character-defining features of the historic building. The new construction should be placed away from or at the side or rear of a historic building and must avoid obscuring, damaging, or destroying character-defining features of the historic building. The new construction should be placed away from or at the side or rear of a historic building and must avoid obscuring, damaging, or destroying character-defining features of the historic building.

Standard Three

Each property will be recognized as a physical record of its time, place, and use. Changes that preserve a property's historic architectural significance will be encouraged.
After review of historical development, such as existing exterior features or elements from other historic resources, we are not recommending any changes to the historic character.

Standard Four

Changes to a property that are not required by historic significance or their own right will be retained and preserved.
The bank building has been used as a bank, retail store and most recently as a restaurant. These different uses have required minimal change to its distinctive materials, features, spaces, and spatial relationships. The community room is separated from the main bank building by a walkway. Sheet ALD indicates that the community room is separated from the main bank building by a walkway. The new walkway will help to maintain spatial relationships between the buildings however that spatial relationship should be maintained from the ground level to the roof by a setback of the walkway with relation to the bank building. It is also recommended that the proposed walkway be the same width as the current walkway.

Standard Five

Changes to a property that are not required by historic significance or their own right will be retained and preserved.
The bank building has been used as a bank, retail store and most recently as a restaurant. These different uses have required minimal change to its distinctive materials, features, spaces, and spatial relationships. The community room is separated from the main bank building by a walkway. Sheet ALD indicates that the community room is separated from the main bank building by a walkway. The new walkway will help to maintain spatial relationships between the buildings however that spatial relationship should be maintained from the ground level to the roof by a setback of the walkway with relation to the bank building. It is also recommended that the proposed walkway be the same width as the current walkway.

Standard Six

Changes to a property that are not required by historic significance or their own right will be retained and preserved.
The bank building has been used as a bank, retail store and most recently as a restaurant. These different uses have required minimal change to its distinctive materials, features, spaces, and spatial relationships. The community room is separated from the main bank building by a walkway. Sheet ALD indicates that the community room is separated from the main bank building by a walkway. The new walkway will help to maintain spatial relationships between the buildings however that spatial relationship should be maintained from the ground level to the roof by a setback of the walkway with relation to the bank building. It is also recommended that the proposed walkway be the same width as the current walkway.

The community room will be demolished as part of the project. It is located on the main bank building at the second floor level by an adjacent walkway. When the community room is demolished an open wall will be created in the main bank building. The new construction should be prepared by matching the original wall in terms of color, texture, and if possible, materials. If this is clearly indicated on the construction plans, then the work will be consistent with the historic character of the building.

The proposed project will meet Standards One, Two, Three, Six, Eight, Nine, and Ten of the Secretary of the Interior's Standards for Historic Rehabilitation. The proposed project will meet Standards One, Two, Three, Six, Eight, Nine, and Ten of the Secretary of the Interior's Standards for Historic Rehabilitation. The proposed project will meet Standards One, Two, Three, Six, Eight, Nine, and Ten of the Secretary of the Interior's Standards for Historic Rehabilitation.

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8 | Page

2. Documentation of the condition of the historic building prior to adjacent work.
3. Implementation of protective measures to both the construction site and the historic site.
4. Regular monitoring during construction to identify damage, to evaluate the efficacy of protective measures already in place, and to identify and implement additional corrective steps.

Work will be consistent with Standard Five if a protection plan is submitted to the HRR for review and approval prior to the commencement of any work on the proposed project.

Standard Six

Demolition of historic features will be restricted to those that are not eligible for listing in the California Register for Historic Resources. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
The work will be done on the historic bank building except for the repair of the wall structure between the community room and the main bank building. The new construction should be prepared by matching the original wall in terms of color, texture, and where possible, materials. Construction plans should clearly indicate how the wall will be repaired in order to be consistent with Standards Five and Six.

Standard Seven

Chemical or physical treatments, if appropriate, will be undertaken only if the project's historic resources. Treatments that cause damage to historic resources will not be used.
Surface cleaning is not proposed for the historic resource. This Standard is not applicable.

Standard Eight

Archaeological resources will be protected and preserved in place.
The parking lot is to be demolished and a 110,145 square foot community room will be constructed which will be consistent with the historic character of the building. The new construction should be prepared by matching the original wall in terms of color, texture, and where possible, materials. Construction plans should clearly indicate how the wall will be repaired in order to be consistent with Standards Five and Six.

Standard Nine

New additions, exterior alterations, or related new construction will not destroy historic architectural features or materials.
The new construction will be consistent with the historic character of the building. The new construction should be prepared by matching the original wall in terms of color, texture, and where possible, materials. Construction plans should clearly indicate how the wall will be repaired in order to be consistent with Standards Five and Six.

Standard Ten

The new construction will be compatible with the historic materials, features, site, scale, and proportion, and will not detract from the integrity of the property and its environment.
The new construction will be consistent with the historic character of the building. The new construction should be prepared by matching the original wall in terms of color, texture, and where possible, materials. Construction plans should clearly indicate how the wall will be repaired in order to be consistent with Standards Five and Six.

The proposed project will meet Standards One, Two, Three, Six, Eight, Nine, and Ten of the Secretary of the Interior's Standards for Historic Rehabilitation. The proposed project will meet Standards One, Two, Three, Six, Eight, Nine, and Ten of the Secretary of the Interior's Standards for Historic Rehabilitation. The proposed project will meet Standards One, Two, Three, Six, Eight, Nine, and Ten of the Secretary of the Interior's Standards for Historic Rehabilitation.

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9 | Page

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PROJECT/CLIENT:
JB PASTOR
BUILDING
DOLORES, 2ND SE
OF 7TH
CARMEL, CA
93921
APN: 010-145-012
022, & 023


PROJECT ADDRESS:
DOLORES, 2ND SE
OF 7TH
CARMEL, CA
93921

DATE: DECEMBER 18, 2020
TRACK--2: SUBMITTAL

REVISIONS:
MARCH 4, 2021
EFFECTS & BEACH COMMISSION
HISTORIC BOARD

HISTORIC PRESERVATION CONDITIONS

SHEET NO. A13

Respectfully Submitted,

Margaret Clow

6 | Page

Historic Resources Board

April 19, 2021

Attachment 8

Archaeological Reports

Preliminary Cultural Resources Reconnaissance
of Assessor's Parcel Numbers 010-145-023 & 010-145-024 in the City of Carmel-By-the-Sea
County of Monterey, California

Prepared for
Esperanza Carmel Commercial, LLC
Magasinn & Feldman
4640 Admiralty Way, STE 402
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By
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achasta@gmail.com

February 2021

Evidence of Native American Remains on Site?	Yes__ <u>No</u> <u>x</u>
Evidence of Anything of Archaeological Significance?	Yes__ <u>No</u> <u>x</u>
Positive Findings of Historical Significance?	Yes__ <u>No</u> <u>x</u>

TABLE OF CONTENTS

Introduction	3
Project Location and Description.....	3
Figure 1: Regional Location Map for City of Carmel-By-The-Sea, (Erlandson and Jones 2002).	4
Figure 2: The project parcel is located on a portion of the United States Geological Survey Monterey Quadrangle (1983).....	5
Figure 3: Monterey County Assessor’s Parcel map for the project parcels, APNs 010-145-023 & 010-145-024.....	6
Figure 4: Monterey County Assessor’s aerial map for the project parcels, APNs 010-145-023 & 010-145-024.....	6
Figure 5: Project site plans	7
Regional Studies.....	8
Ethnographic Background.....	9
Figure 6: Map of districts and villages of Rumsen (Costanoan) and Esselen (after Breschini 2004).....	10
Spanish Mission Period (1770-1834).....	11
Methodology.....	12
Results of Site Record Search.....	12
Field Survey.....	12
Project soils.....	12
Figure 7: Soils along the eastern perimeter of the parking lot are sandy loam with no cultural materials observed.....	13
Figure 8: Soils near the eastern margins of the project parcels are exposed. The photo on the left is the northern parcel APN 010-145-023. The photo on the right is the southern of the two parcels, APN 010-145-023.	13
Figure 9: Soils exposed on the south side of the project parcel.....	14
Conclusion and Recommendations	14
Health and Safety Code § 7050.5	14
References	15

Introduction

In February 2021 Mr. Alem Dermicek authorized me to conduct a preliminary cultural resources reconnaissance for two parcels in downtown Carmel-By-The-Sea, Assessor's Parcel Numbers (APNs) 010-145-023 & 010-145-024 in Carmel-By-The-Sea (**Figure 3**), County of Monterey, California (**Figure 2**). Plans are proposed to demolish the existing structures on these parcels and to construct a new commercial building. Because these plans include subsurface disturbance of soils, and because the project parcel is located in an area of archaeological sensitivity, the Carmel-By-The-Sea Community Development Department has required an archaeological survey for the permitting process.

In 2019 the author conducted a preliminary archaeological survey for the parcel, APN 010-145-012, to the south of the two project parcels surveyed for this report (Morley 2019). No cultural resources were observed during that survey.

In accordance with the California Environmental Quality Act (1970), site record searches have been conducted through the Northwest Information Center at Sonoma State University in Rohnert Park (File numbers 18-1641, F/X-127, 03-568, 02-344, 03-442). A subsequent archaeological reconnaissance was conducted on February 25, 2021. This report presents the results of the archaeological site record searches, subsequent archaeological reconnaissance, and professional recommendations.

Project Location and Description

The project parcels are both 4,000 square feet in area located on, Dolores Street, 2 SE of 7th, south of Ocean Avenue, north of 8th Avenue, between San Carlos Street and Dolores Street. The parcels may also be located on the Monterey United States Geological Survey 7.5 minute series [1997] Quadrangle, Zone 10 (**Figure 2**). The Universal Transmercator Grid coordinates calculated for the center of these parcels are approximately 596482.1metersE/4045866metersN. The project parcels are approximately one-half mile east of Carmel Bay. Elevation of the parcels is approximately 200 feet above mean. The nearest reliable source of fresh water is the Carmel River, about one third mile to the south.

These two project parcels surveyed for this report are APN 010-145-023 and APN 010-145-024. APN 010-145-023 has existing structures as two-story community room building and two trellises. APN 010-145-024 is an asphalt parking area. As mentioned above the author conducted a preliminary archaeological survey for APN 010-145-012, which adjoins the two parcels (the subject APNS of this report) on the south of APN 010-145-024. Therefore, the project includes a lot merger of three lots, APNs 010-145-012, 010-145-023 and 010-145-024. By this merger the total project lot size would be 12,000 square feet. Existing development on all three APNS are proposed.

Plans proposed for the project parcels include a new commercial building with an underground garage and storage area with mechanical equipment serving the upper two floors (**Figure 5**). The proposed garage ceiling/floor structure are planned to be post tensioned concrete slab. The proposed

upper two floors are planned to be wood structure. The proposed ground floor would house eleven (11) commercial tenants and the second-floor proposal is for eight (8) apartments. The sizes for each floor are as follows: basement is proposed to be 11,371 square feet in area; the ground floor is proposed to be 8,614 square feet in area, and second floor is proposed to be 8,521 square feet in area for total of 28,506 square feet of developed interior spaces. The proposed project also includes yards, courtyards, second floor balconies and roof top terraces for four apartments with landscape and trees in raised planters.

There is little vegetation on the project parcels surveyed for this report. There is a large Monterey Pine (*Pinus radiata*) on the west (street) side of APN 010-145-023 and a small cypress on the west corner of 010-145-024. Although visual inspection of the soils on the project parcel is obscured by the structures and the asphalt, soils are adequately exposed along three sides of these parcel (Figures 7, & 8).

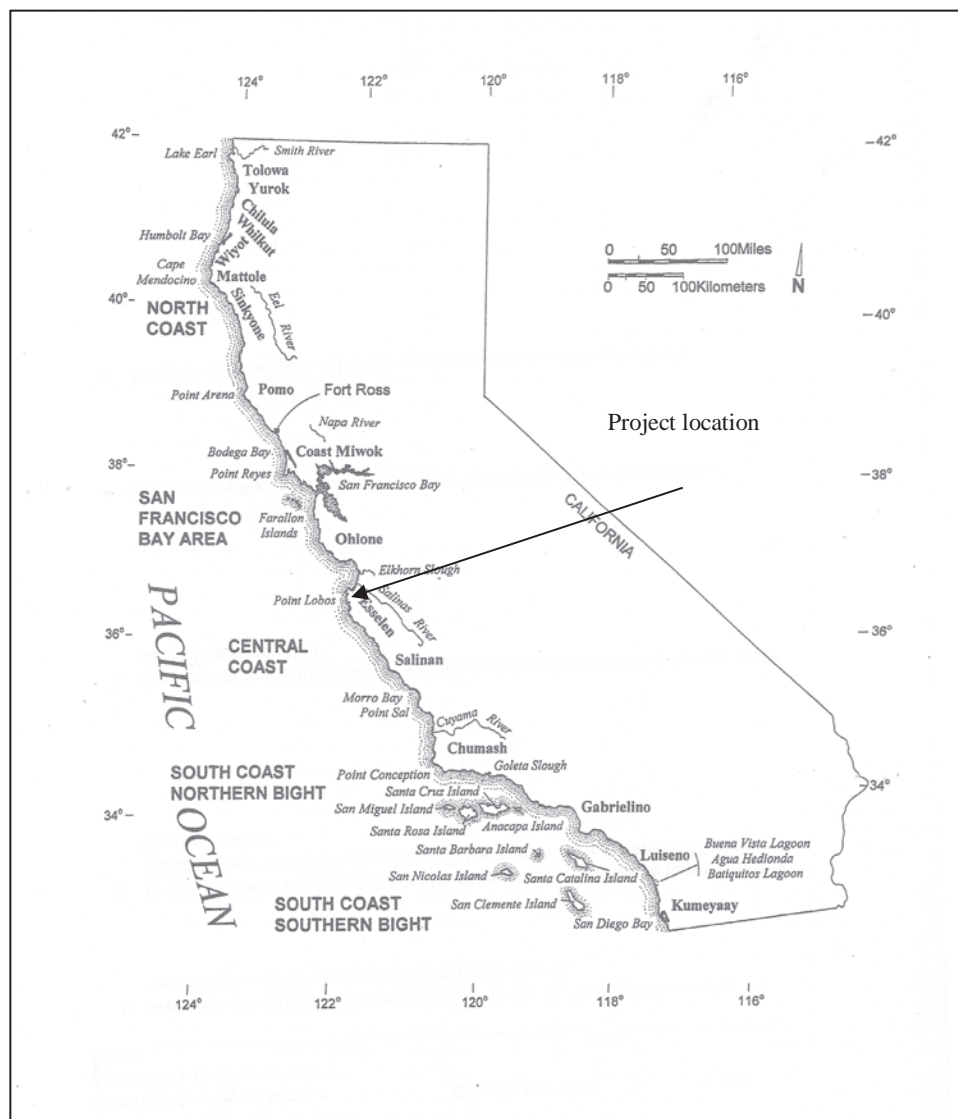


Figure 1: Regional Location Map for City of Carmel-By-The-Sea, (Erlandson and Jones 2002).

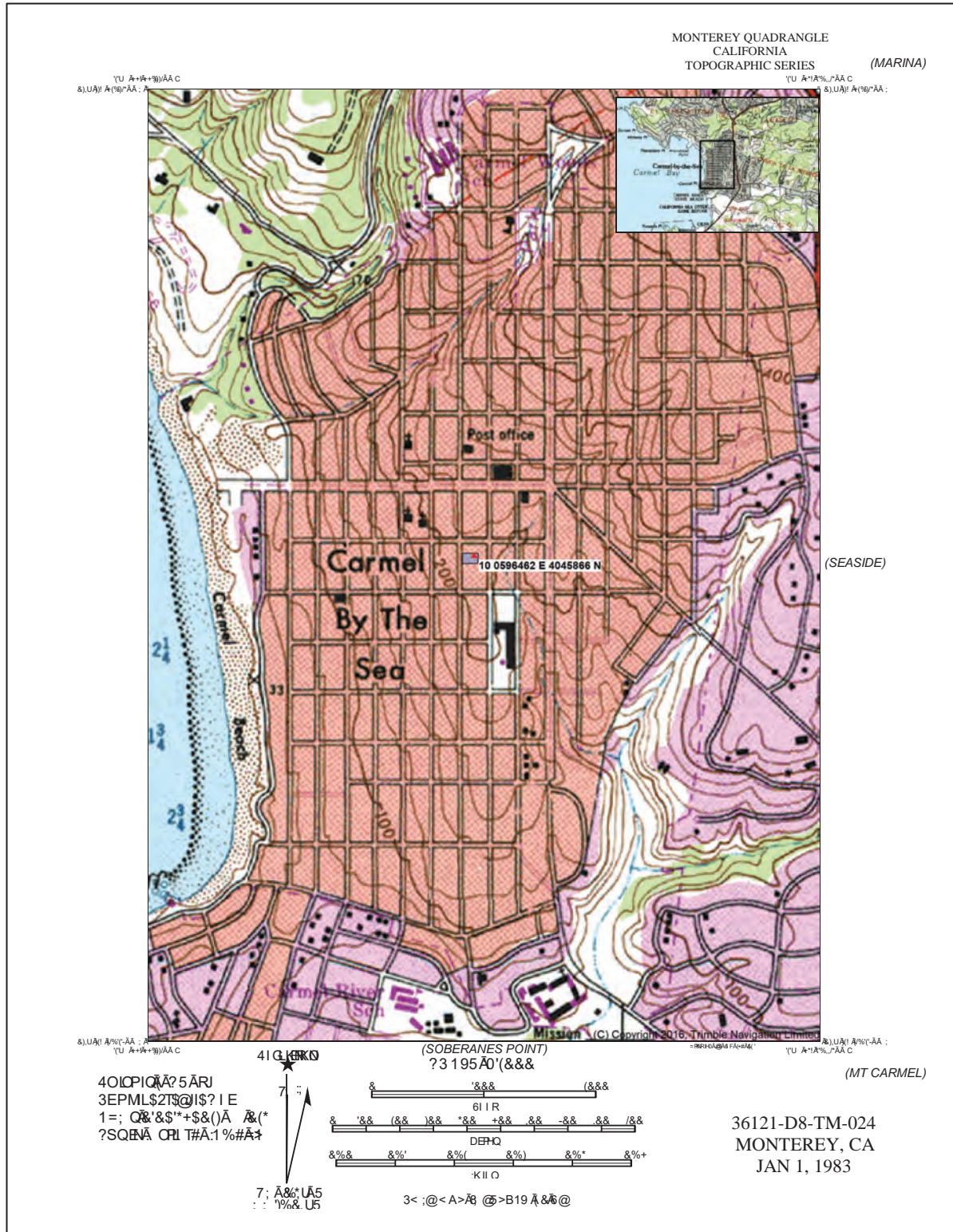


Figure 2: The project parcel is located on a portion of the United States Geological Survey Monterey Quadrangle (1983).

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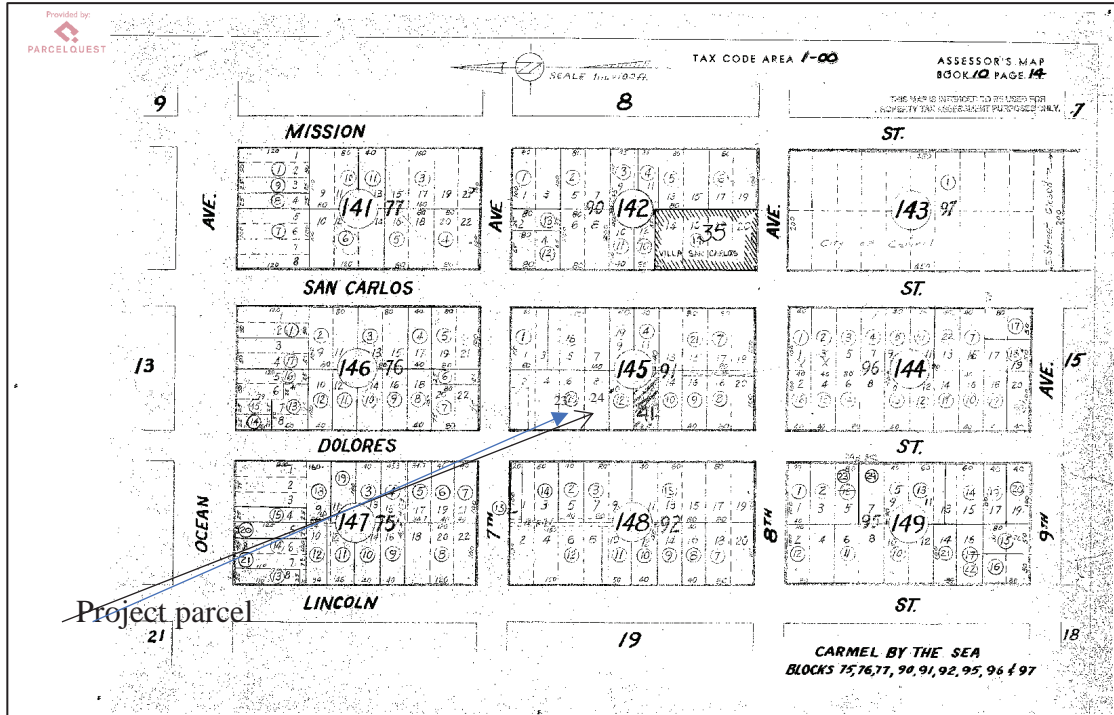


Figure 3: Monterey County Assessor's Parcel map for the project parcels, APNs 010-145-023 & 010-145-024.



Figure 4: Monterey County Assessor's aerial map for the project parcels, APNs 010-145-023 & 010-145-024.

Regional Studies

There are thousands of archaeological sites in Monterey County that are categorized most often as historic or prehistoric. Recently Panich and Schneider, focusing on sites from Marin County, suggested that the use of a “triad”—the conventional use of prehistoric, protohistoric, and historic, is no longer useful. “Not only do recording systems that rely on the prehistoric, protohistoric, and historic triads perpetuate outdated assumptions about the disappearance of Indigenous societies, but they also obscure the realities of lived experience and the element of power inherent in the process of colonialism (Panich & Schneider 2019, 664).

As of this date CA-MNT-17C on Carmel Point has yielded the earliest date for a habitation site on the central coast. The late Dr. Gary Breschini, and Lynn Mounday, obtained a radiocarbon date of 9,400 YBP (Breschini, 2012) for CA-MNT-17C, the most studied archaeology site on Carmel Point. Earlier archaeologists documented an early occupation site along the central coast of California dating to 8,350 BC, the Cross Creek site, in San Luis Obispo County (Jones *et. al.* 2002), evidence for human occupation on the California coast to the terminal Pleistocene. These studies provide evidence that a separate migration of people may have initially populated the central coast. Today early inhabitants are considered as having practiced a different subsistence technology from the inland groups. This has been determined by the recovery of milling stones and crude core and flake lithic technologies that do not appear in association with inland sites.

When the Spanish arrived in Monterey the Esselen and Costanoan societies subsisted as hunter-gatherers. They crafted mortars and pestles, and manos and metates from local granite, mudstone, and sandstone with which they processed vegetable foods. They cultivated and utilized tobacco (Eerkens *et al.* 2018) and that is perhaps the only plant they did cultivate. They also practiced controlled burning to manage the land (Lewis 1978). Amah Mutsun Tribal Band of San Juan Bautista (Costanoan) are reviving such practices at Quiroste near Año Nuevo.

Costanoan and Esselen societies are considered to have been semisedentary with a partial dependence on acorn crops. Their habitation sites are most often found at the confluence of streams or along streams, and in the vicinity of natural springs and seeps; however, the original location of these drainages may have been altered. Esselen sites are found on the north and south banks of almost every drainage that empties into the Pacific Ocean. Gathering and processing sites are found on the shoreline.

In the early 1900s California’s first anthropologist, Alfred Kroeber, conducted what he called salvage anthropology on tribes whose culture had been seriously disrupted by missionization. Kroeber formulated his idea of ‘tribelets’ from groups that were already missionized. Bean with Lawton (1973) and Bean with Blackburn (1976) understood that the prehistoric societies of the region we now call California were more connected and complex than Kroeber had initially made them out to be. Bean wrote that the people living in villages of close proximity intermarried and were thus related families. Milliken’s ethnographies of the regions prehistoric tribes provided evidence that elite people from the various villages of the Monterey Bay region intermarried to form political alliances (1995 & 1987).

Studies based upon mission records have provided the names and locations of the many villages of the Monterey region (**Figure 5**). Groups of Esselen speakers and those now referred to as Southern Costanoan or “rumsien”-speakers intermarried before missionization, at the missions where they were forced to convert to Catholicism (that is the San Carlos, Soledad, and San Antonio Missions) and after missionization. Beginning in 1770, Esselen and Costanoan converts and other Native American people were taken into the mission system and called “neophytes”, from the Spanish, *neofitas*, derived from the Latin for “newly planted”.

Ethnographic Background

The people indigenous to the Monterey Bay Region were known as *Rumsen, Esselen, Guacharonnes, Ecclemachs, Sakhones, Sureños, and Carmeleños*. “*The Indian clans were known as Ensenes, Excelenes, Achistas, Runsenes, Sakhones, and were considered as belonging to one nation*” (Salvador Mucjai quoted in Taylor 1856: 5).

When the Spanish missionaries arrived in the late 18th century, they immediately began to evangelize the indigenous people, taking them into the missions where they labored for the Spanish padres who called them *Costaños*, or coast dwellers. This name was anglicized to Costanoan, for all of the tribes already inhabiting the region between the San Francisco and Monterey Bays, even though the aboriginal people of the present day region comprised many more distinct language groups and tribes (Milliken 1995) and were multilingual peoples.

The indigenous peoples of the central coast today are identified according to linguistic groups, Esselen and Costanoan, aka Rumsen, aka Ohlone speakers. It is theorized by Breschini (2004) and others that the Esselen societies were the first to occupy the region of the Central Coast, for close to or more than 10,000 years BP. The root language of Esselen is Hokan (*Hulele*) the same as for the Pomo to the north. Dr. Breschini hypothesized that circa 3,000 years ago the Penutian speakers, or the Costanoan, intruded into the Esselen homelands and pushed Hokan speakers south and north. Several modern day tribes are composed of both Costanoan/Rumsien/Ohlone and Esselen lineages, and their membership is derived from the mission records.

The Southern Costanoan (*Rumsen, Rumsien, or Ohlone*) aboriginal territory extended from the Pajaro River south to either Palo Colorado Canyon (according to Breschini) or Big Sur (the Little Sur River according to Milliken) and east into the lower Carmel Valley. More commonly, people refer to them as Ohlone, though this would be incorrect technically for Monterey (Escobar *et al.*, 1998). Only those taken into Mission San Jose referred to themselves as Ohlone in the 1906 and 1928 census records.

Breschini also theorized that upper eastern Carmel Valley and Cachagua were a refuge for Costanoan and Esselen people seeking to escape the missions. Historically, the Costanoan speakers occupied the Monterey Peninsula and the Santa Lucia Mountains from Carmel Valley to the somewhere between Palo Colorado Canyon or Point Sur and inland to Salinas, Spreckles, and south to Soledad (**Figure 5**). There is a considerable body of data suggesting the Esselen or an Esselen-like language was spoken as far north as the San Francisco Bay area, and that gradually that area was lost to intruding Penutian (Costanoan or Ohlone) speakers (Breschini 2004, 58).

“The Esselen lived in the rugged and densely-forested Santa Lucia Mountains. Much of this land is now part of the Los Padres National Forest. In addition to the high mountains, they

also occupied the upper Carmel Valley. The coastal plain in the Little Sur and Big Sur river areas, and an unknown area of the Salinas Valley around Soledad. The heartland of the Esselen appears to have been the upper Carmel River and adjacent areas, including the drainages of Cachagua and Tularcitos Creeks and the adjacent areas of the lower Arroyo Seco River drainage. Much of Esselen territory is now included within the Ventana Wilderness Area (Breschini and Haversat 2004, 17).

Both Esselen speakers and Costanoan (Ohlone or Rumsen) speakers were taken into the mission by the Spanish Padres where they lived together at the Carmel Mission, Soledad Mission, and San Antonio Mission. Some of these *rancherías* have come to be known by several different names, due to variability in the transcription of these village and district locations by different priests as recorded in the Mission records. Some of the important *rancherías*/districts are shown in the **Figure 6** map.



Figure 6: Map of districts and villages of Rumsen (Costanoan) and Esselen (after Breschini 2004)

Wacharon (*Guachirron*)/*Calendaruc* (Moss Landing, Castroville, Watsonville area)
Ensen (interior side of Fort Ord and Salinas Valley)
Achasta (near Monterey)
Tucutnut/Capanay (middle reaches Carmel River drainage)
Soccoronda/Jummis/Sepponet (upper Carmel River drainage)
Echilat/Ixchenta/Tebityilat (upper San Jose and Las Garzas Creek drainages)

Excelen/Excelemach (Santa Lucia Mountains/Ventana Wilderness)
Sargentaruc/Jojoban/Pixchi (Carmel River south to Sur)
Eslanajan/Imunahan/Aspasniahan (Soledad/Arroyo Seco)

Spanish Mission Period (1770-1834)

The Carmel/Monterey region has a distinguished history. Don Sebastian Vizcaino bestowed the place name Carmel in 1602. Vizcaino is thought to be the first European to set foot on the Monterey Peninsula. Carmelite friars were aboard ship on that expedition intending to establish a mission in the area that would be backed by the Spanish military. On June 3, 1770 Junipero Serra founded the mission San Carlos de Borromeo de Monterey. A year later Serra wrote for permission to move the mission to the banks of the Carmel River. Mission San Carlos De Borromeo de Carmelo was founded in 1771.

When the Spanish missionaries arrived in the late 18th century, they applied the name *Costaños* to all of the tribes already inhabiting the region between the San Francisco and Monterey Bays, even though the aboriginal people of the present-day region comprised many more distinct language groups and tribes (Milliken 1995) and were multilingual peoples. *Costaños* was anglicized to *Costanoan*. The Esselen village of Achasta may have been located on the Monterey Peninsula near the Presidio, though Milliken suggests Carmel Point (1987).

The Mission San Carlos Borromeo was founded at Monterey in May 1770. Shortly after, Costanoan and Esselen people were taken into the mission. As the Spanish padres and military men were establishing a foothold for the northernmost frontier of the Spanish Empire, the baptized and converted Esselen Indians, working as indentured laborers, built and supported several of the northern Franciscan missions (San Carlos and Soledad), military posts and settlements. Many fled the missions to the interior while others died under harsh and restrictive treatment by the missionaries and settlers.

The American Flag was raised in Monterey in 1846 by U.S. forces, which claimed formal possession of California. Admiral Sloat gave a speech on the "Color of Right" about legal entitlements to be honored by the US Government. In 1848, the Treaty of Hildalgo, ending the Mexican War, also guaranteed protection of Indian rights (Escobar et al. 1998).

After California statehood in 1850, Congress and the President of the United States authorized Special Agents McKee, Barbour and Wozencraft to treat with California Indians in 1851. Eighteen treaties were negotiated between the California tribes and these special agents. These treaties were established to accomplish two basic goals: 1) to cede the majority of aboriginal lands of California to the United States Government; and 2) to reserve 8.5 million acres of land in the interior of the state to be used by the California tribes as reservation lands. These 18 treaties were never ratified, but suppressed by the United States Senate until their rediscovery in 1905. These treaties remain unhonored by the Federal Government Indian lands due to the refusal of the Senate in ratifying the 18 treaties (Lipps, 1932).

Methodology

Results of Site Record Search

There are thousands of archaeology sites in Monterey County and hundreds of sites on the coastline of the Monterey Peninsula. According to the Northwest Information Center there are no prehistoric or historic sites within the boundaries of the project parcel. There are two historic sites, P-2156, the Pacific Telephone Building at San Carlos between Seventh and Eighth Avenues and P-2575 another historic site on Junipero between Seventh and Eighth Avenues.

P-27-002156 is an historic site known as the Hitchcock House recorded by Susan Lassell, working for Jones and Stokes (NWIC 1998). This historic site is approximately 1,600 feet from the project parcel. It is a Craftsman style house built in 1907. This site is about 650 feet from the project parcel.

P-27-002575 is the historic two-story, wood frame 1951 Spanish colonial building once occupied by Pacific Telephone and Telegraph. It was recorded by Ward Hill (NWIC 2002). P-27-002175 is on the parcel adjacent to the east of the project parcel on San Carlos.

The nearest prehistoric site is CA-MNT-1035 (P-001088), which is approximately 1,900 feet west of the project parcel.

Field Survey

In Central California, archaeologists are alerted to prehistoric sites by the presence of midden soils darkened from accumulation of organic remains. In addition, the presence of various shell remnants from either the bay or littoral may indicate a site. Archaeologists also look for flaked stone artifacts and ground stone that is either complete or in fragments representing mortars and pestles or manos and metates. Sites are usually located near a source of fresh water. Some prehistoric sites are occupational sites while others may be quarries, workstations, milling stations, hunting stations, or ideological sites that exhibit rock art or petroglyphs.

Archaeological reconnaissance followed standard methods of procedure. The entire project parcel was physically and methodically inspected for indicators of cultural resources on November 29, 2019 utilizing standard methods of a pedestrian survey for evidence of historic and prehistoric cultural materials.

Project soils

The soils of the project parcel are exposed in numerous locations around the parcel. **Figure 7** is a close up of a handful of soils from the northern parcel, APN 010-145-023. The USDA Web Soil Survey classifies soils in this neighborhood as OaD--Oceano loamy sand, 2 to 15 percent slopes. Oceano loamy sands are stabilized eolian soils (<https://websoilsurvey.sc.egov.usda.gov>). These soils are found on marine terraces. The soil of the project parcel is dark brown to dark yellowish brown, 10YR 3/3 to 3/4, sandy loam, darkened by recent rains. There are no marine shell fragments, there are no cobbles or cobble fragments (burnt or unburnt), bone or flaked stone on the project parcel that would indicate a prehistoric site, nor are there traces of these materials. There are no fragments of old glass, or ceramics, or metal that would represent an historic site.



Figure 7: Soils along the eastern perimeter of the parking lot are sandy loam with no cultural materials observed.



Figure 8: Soils near the eastern margins of the project parcels are exposed. The photo on the left is the northern parcel APN 010-145-023. The photo on the right is the southern of the two parcels, APN 010-145-023.

Figure 8 shows the eastern margin of the both parcels. On all three sides of these two parcels the soils are clearly exposed and more than adequate for determining the presence of cultural materials. **Figure 9** shows the soils exposed along the south margin of APN 010-145-024.



Figure 9: Soils exposed on the south side of the project parcel APN 010-145-024.

Conclusion and Recommendations

The project parcel was methodically inspected for evidence of prehistoric or historic material remains. Archaeological reconnaissance did not reveal any of the indicators expected of a prehistoric archaeological or historical resource in this region; there are no culturally modified soils present; no shell fragments, bone fragments, or culturally modified lithic materials were noted in the soils of the project parcel. No granitic or other bedrock outcrops were present that may possibly have contained bedrock mortars or cupules.

No evidence of historic or prehistoric cultural activity was observed during the archaeological reconnaissance. The nearest cultural resource, P-27-002575, is an historic building adjacent to the project parcel on the east. The nearest prehistoric site is over 1,900 feet to the west. It is the professional opinion of this writer that this parcel does not contain cultural resources, either historic or prehistoric in nature. Based upon these negative findings, there is no reason to delay the project parcel due to archaeological concerns.

However, it must be recommended that in the event that unexpected traces of historic or prehistoric materials, i.e., human remains, concentrations of shell or heat altered rock or historic trash pits are encountered during grading or other future development, a qualified archaeologist should be retained for appropriate archaeological mitigation.

Health and Safety Code § 7050.5

If any human remains are exposed, the Health and Safety Code § 7050.5 requires that no further excavation or disturbance occurs in the area and that the county coroner is called so that the coroner can verify that the remains are not subject to medical jurisprudence. Within 24 hours of notification, the coroner calls the Native American Heritage Commission if the remains are known or thought to be Native American.

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Preliminary Cultural Resources Reconnaissance
of Assessor's Parcel Number 010-145-012, the City of Carmel-By-the-Sea
County of Monterey, California

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December 2019

Evidence of Sacred/Religious Site?	Yes__ No <u>x</u>
Evidence of Native American Remains on Site?	Yes__ No <u>x</u>
Evidence of Anything of Archaeological Significance?	Yes__ No <u>x</u>
Positive Findings of Historical Significance?	Yes__ No <u>x</u>

TABLE OF CONTENTS

Introduction	3
Project Location and Description.....	3
Figure 1: Regional Location Map for City of Carmel-By-The-Sea, County of Monterey (after Erlandson and Jones 2002).....	4
Figure 2: The project parcel is located on a portion of the United States Geological Survey Monterey Quadrangle (1997).....	5
Figure 3: Monterey County Assessor’s Parcel map for the project parcel, APN 010-145-012. .	6
Figure 4: Monterey County Assessor’s aerial map for the project parcel, APN 010-145-012. ..	6
Regional Studies.....	6
Ethnographic Background.....	7
Figure 5: Map of districts and villages of Rumsen (Costanoan) and Esselen (after Breschini 2004).....	9
Methodology.....	10
Results of Site Record Search.....	10
Field Survey.....	10
Project soils.....	10
Figure 6: Soils of the central courtyard are exposed.....	11
Figure 7: Soils near the west edge of the project parcel on Dolores are exposed and contain no cultural resources.	12
Figure 8: Soils exposed on the northwest corner of the project parcel.	12
Conclusion and Recommendations	13
Health and Safety Code § 7050.5	13
References.....	13

Introduction

In November 2019 Mr. Justin Velasquez authorized me to conduct a preliminary cultural resources reconnaissance for Assessor's Parcel Number 010-145-012 in Carmel-By-The-Sea (Figure 1, p.4), County of Monterey. Plans are proposed to demolish the existing structures on the parcel and to construct a new commercial building. Because these plans include subsurface disturbance of soils, and because the project parcel is located in an area of archaeological sensitivity, the Carmel-By-The-Sea Community Development Department has required an archaeological survey for the permitting process.

In accordance with the California Environmental Quality Act (1970), site record searches have been conducted through the Northwest Information Center at Sonoma State University in Rohnert Park (File numbers 18-1641, F/X-127, 03-568, 02-344, 03-442). A subsequent archaeological reconnaissance was conducted on November 29, 2019. This report presents the results of the archaeological site record searches, subsequent archaeological reconnaissance, and professional recommendations.

Project Location and Description

The project parcel is 0.92 acres, or 4000 square feet in area located on, Dolores St, 2 SE of 7th in downtown Carmel-By-The-Sea. The parcel may also be located on the Monterey United States Geological Survey 7.5 minute series [1997] Quadrangle, Zone 10 (Figure 2, p.5). The Universal Transmercator Grid coordinates calculated for the parcel are approximately 596826.1metersE/4055407metersN. The project parcel is approximately one-half mile east of Carmel Bay. Elevation of the parcel is approximately 200 feet above mean. The nearest reliable source of fresh water is the Carmel River, about one third mile to the south.

There are two existing structures on the project parcel constructed in 1972. One structure is a single story that abuts Dolores St. and the other is a two-story mixed use structure located at the rear of lot. The proposed project is to demolish these two structures. Everything on the project parcel would be demolished to build a new three-story mixed use commercial and residential building with underground parking. The excavation for the structure would be around 11feet deep and include the entire perimeter of the property. The underground garage portion would have a footprint of 2544 square feet and would be built as a post tension concrete structure. The ground floor would be erected on the post tension ceiling of the garage below with traditional wood framed construction. The ground level would have a footprint of 2,544 square feet of commercial space and a 2nd floor with two residential units at 2628.8 square feet with a third floor garden deck.

There is little vegetation on the project parcel other than a few ornamentals. Although visual inspection of the soils on the project parcel is obscured by the structures and the brick patio, soils are adequately exposed at the margins of the parcel and in the center of the courtyard (**Figures 6, 7, & 8**).

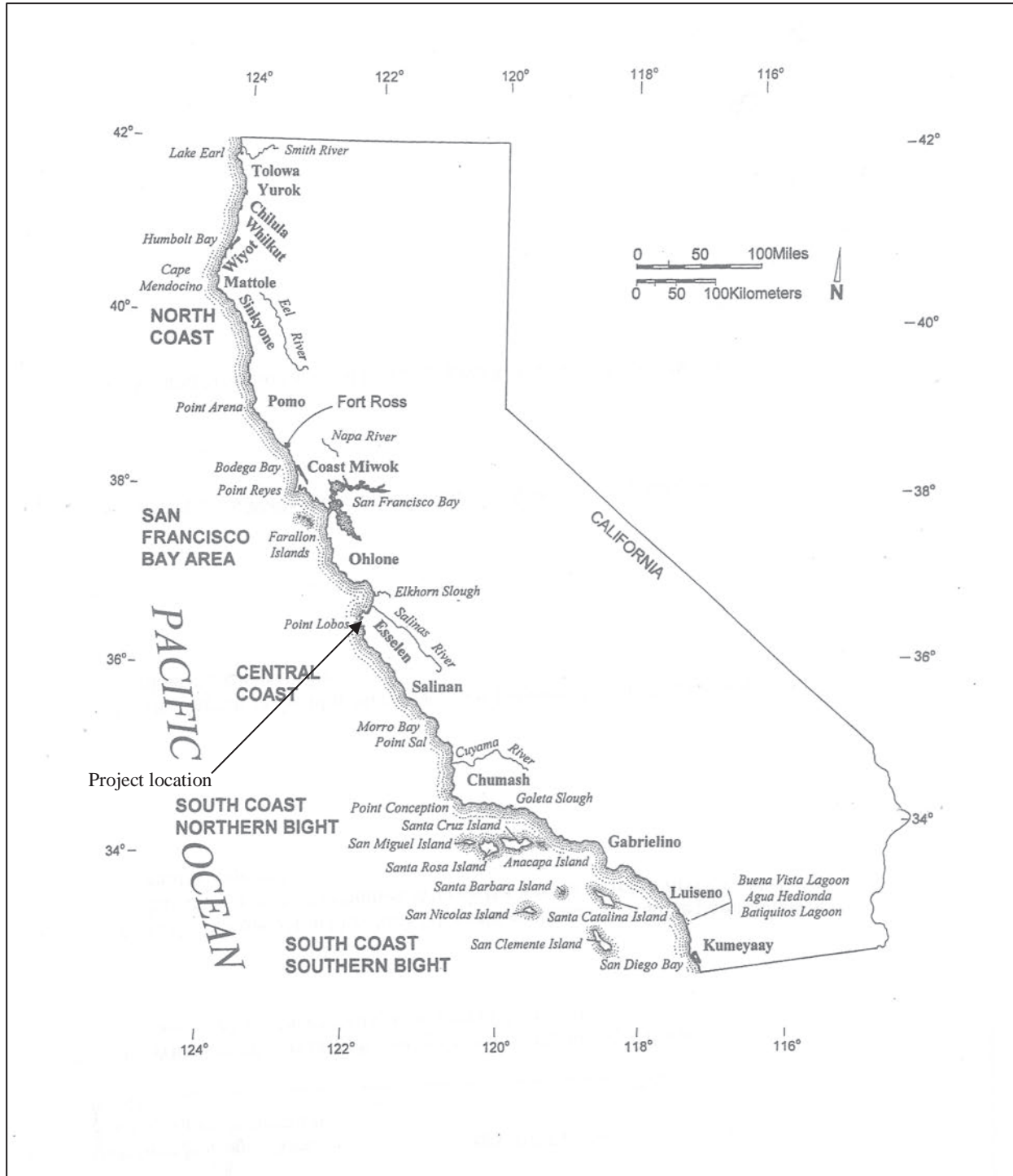


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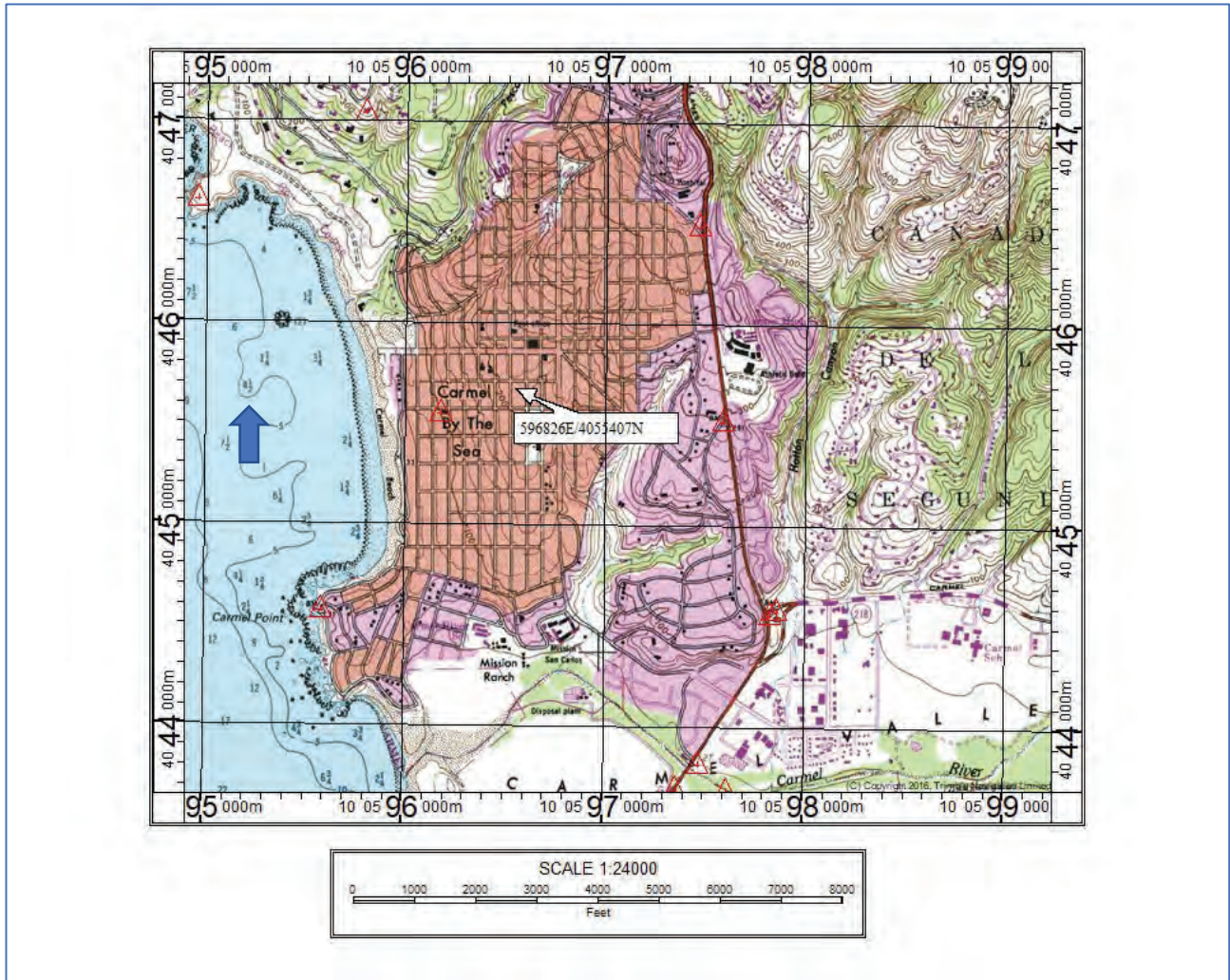


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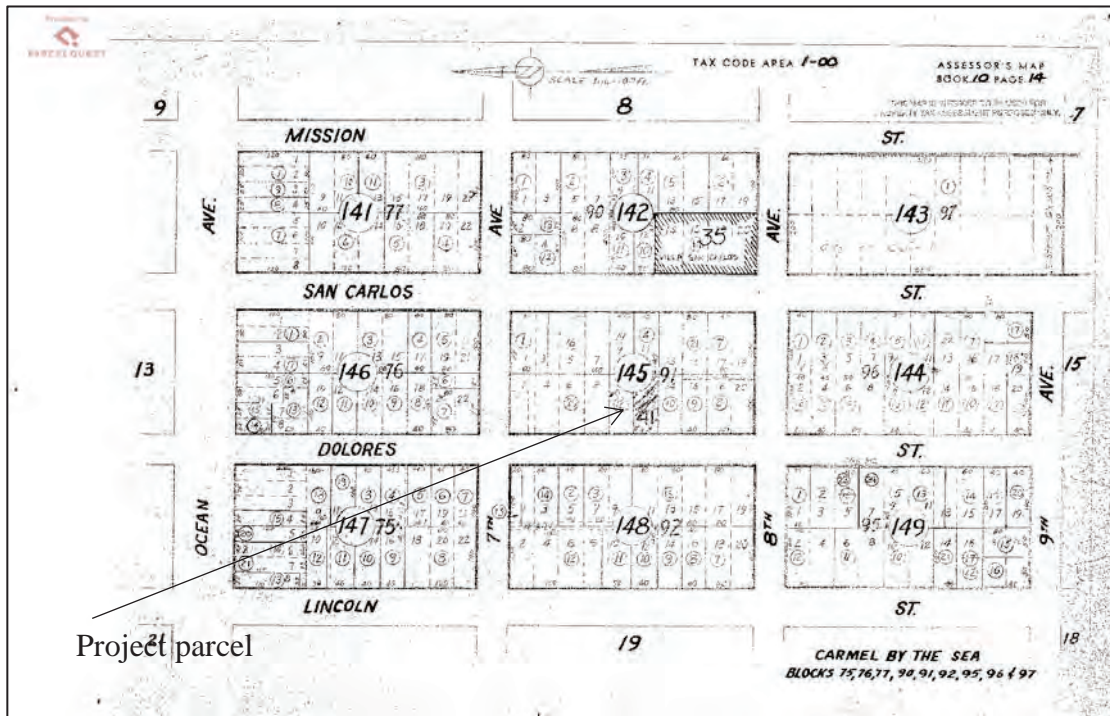


Figure 3: Monterey County Assessor's Parcel map for the project parcel, APN 010-145-012.

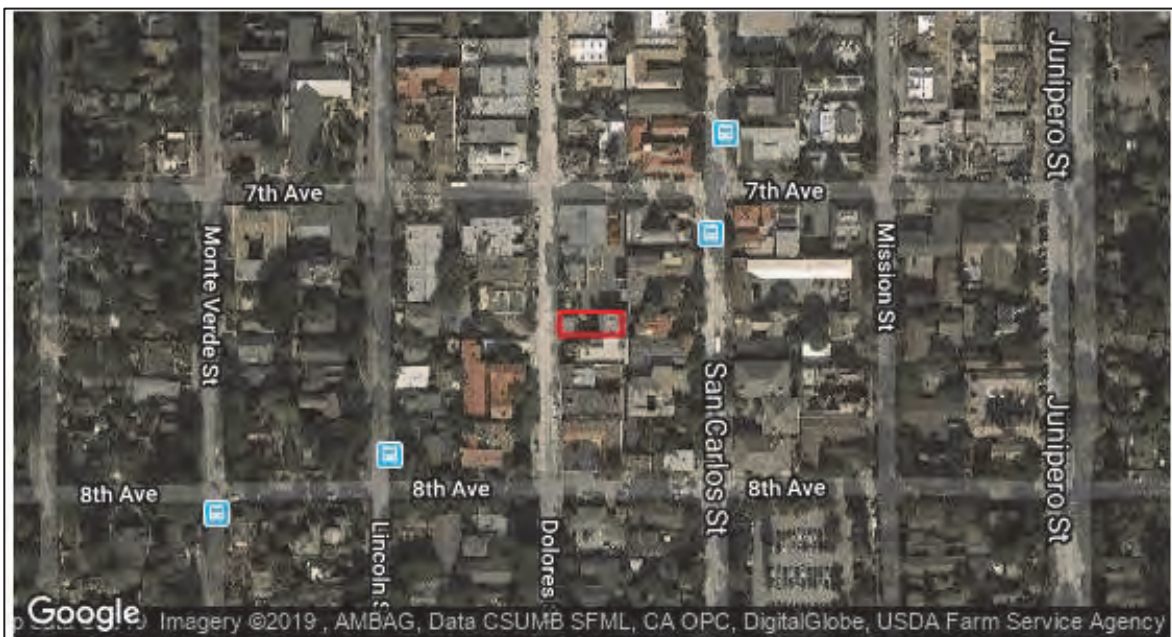


Figure 4: Monterey County Assessor's aerial map for the project parcel, APN 010-145-012.

Regional Studies

There are thousands of archaeological sites in Monterey County, both historic and prehistoric. As of this date CA-MNT-17C on Carmel Point has yielded the earliest date of habitation on the central coast. The late Dr. Gary Breschini, working with Lynn Mounday, obtained a carbon date of 9,300 YBP (Breschini, 2012) for CA-MNT-17C, the most studied archaeology site on Carmel Point. Earlier archaeologists documented an early occupation site along the central coast of California

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At the time of Contact the Esselen and Costanoan societies subsisted as hunter-gatherers with intimate knowledge of the land. They crafted mortars and pestles, and manos and metates from local granite and sandstone with which they processed vegetable foods. They cultivated and utilized tobacco (Eerkens *et al.* 2018) and that is perhaps the only plant they did cultivate. They also practiced controlled burning to manage the land (Lewis 1978). Amah Mutsun Tribal Band of San Juan Bautista (Costanoan) are reviving such practices at Quiroste near Anõ Nuevo.

Precontact Costanoan and Esselen societies are considered to have been semisedentary with a partial dependence on acorn crops. Their habitation sites are most often found at the confluence of streams or along streams, and in the vicinity of natural springs; however, the original location of these drainages may have been altered. Esselen sites are found on the north and south banks of almost every drainage that empties into the Pacific Ocean. Gathering and processing sites are found near the shoreline.

In the early 1900s California's first anthropologist, Alfred Kroeber, conducted what he called salvage anthropology on tribes whose culture had been seriously disrupted by missionization. Kroeber formulated his idea of 'tribelets' from groups that were already missionized. Bean with Lawton (1973) and Bean with Blackburn (1976) understood that the prehistoric societies of the region we now call California were more connected and complex than Kroeber had initially made them out to be. Bean wrote that the people living in villages of close proximity intermarried and were thus related families. Milliken's ethnographies of the regions prehistoric tribes provided evidence that elite people from the various villages of the Monterey Bay region intermarried to form political alliances (1995 & 1987).

Studies based upon mission records have provided the names and locations of the many villages of the Monterey region. Groups of Esselen speakers and those now referred to as Southern Costanoan or "rumsien"-speakers intermarried before missionization, at the missions where they were forced to convert to Catholicism (that is the San Carlos, Soledad, and San Antonio Missions) and after missionization. Beginning in 1770, these Esselen converts and other Native American people taken into the mission system as converts were called "neophytes", from the Spanish, *neofitas*, derived from the Latin for "newly planted".

Ethnographic Background

The people indigenous to the Monterey Bay Region were known as *Rumisen, Esselen, Guacharonnes, Ecclemachs, Sakhones, Sureños, and Carmeleños*. When the Spanish missionaries arrived in the late 18th century, they immediately began to evangelize the indigenous people, taking them into the missions where they labored for the Spanish Padres who called them *Costaños*, or coast dwellers. This name was anglicized to Costanoan, for all of the tribes already inhabiting the region between the San Francisco and Monterey Bays, even though the aboriginal people of the present day region comprised many more distinct language groups and tribes (Milliken 1995) and were multilingual peoples.

The indigenous peoples of the central coast today are identified according to linguistic groups, Esselen and Costanoan aka Rumsen aka Ohlone speakers. It is theorized by Breschini (2004) and others that the Esselen societies were the first to occupy the region of the Central Coast. The root language of Esselen is Hokan (*Hulele*) and the same for the Pomo to the north. Dr. Breschini hypothesized that circa 2,000 years ago the Penutian speakers, or the Costanoan intruded into the Esselen homelands and pushed them south and north. Several modern day tribes are composed of both Costanoan/Rumsien/Ohlone and Esselen lineages, as derived from the mission records.

The Southern Costanoan (*Rumsen, Rumsien, or Ohlone*) aboriginal territory extended from the Pajaro River south to either Palo Colorado Canyon (according to Breschini) or Big Sur (the Little Sur River according to Milliken) and east into the lower Carmel Valley. More commonly, people refer to them as Ohlone, though this would be incorrect technically for Monterey (Escobar *et al.*, 1998). Only those taken into Mission San Jose referred to themselves as Ohlone in the 1906 and 1928 census records.

Breschini also theorized that upper eastern Carmel Valley and Cachagua were a refuge for Costanoan and Esselen people seeking to escape the missions. Historically, the Costanoan speakers occupied the Monterey Peninsula and the Santa Lucia Mountains from Carmel Valley to the somewhere between Palo Colorado Canyon or Point Sur and inland to Salinas, Spreckles, and south to Soledad (**Figure 5**). There is a considerable body of data suggesting the Esselen or an Esselen-like language was spoken as far north as the San Francisco Bay area, and that gradually that area was lost to intruding Penutian Speakers (Breschini 2004, p. 58).

“The Esselen lived in the rugged and densely-forested Santa Lucia Mountains. Much of this land is now part of the Los Padres National Forest. In addition to the high mountains, they also occupied the upper Carmel Valley. The coastal plain in the Little Sur and Big Sur river areas, and an unknown area of the Salinas Valley around Soledad. The heartland of the Esselen appears to have been the upper Carmel River and adjacent areas, including the drainages of Cachagua and Tularcitos Creeks and the adjacent areas of the lower Arroyo Seco River drainage. Much of Esselen territory is now included within the Ventana Wilderness Area (Breschini and Haversat 2004, 17).

Both Esselen speakers and Costanoan (Ohlone or Rumsen) speakers were taken into the mission by the Spanish Padres where they lived together at the Carmel Mission, Soledad Mission, and San Antonio Mission. Some of these *rancherias, or villages*, have come to be known by different names, due to variability in the transcription of these village and district locations by different priests as recorded in the Mission records. Some of the important *rancherias*/districts are shown in the **Figure 5** map.



Figure 5: Map of districts and villages of Rumsen (Costanoan) and Esselen (after Breschini 2004)

Wacharon (Guachirron)/Calendaruc (Moss Landing, Castroville, Watsonville area)

Ensen (interior side of Fort Ord and Salinas Valley)

Achasta (near Monterey)

Tucutnut/Capanay (middle reaches Carmel River drainage)

Soccoronda/Jummis/Sepponet (upper Carmel River drainage)

Echilat/Ixchenta/Tebityilat (upper San Jose and Las Garzas Creek drainages)

Excelen/Excelemach (Santa Lucia Mountains/Ventana Wilderness)

Sargentaruc/Jojoapan/Pixchi (Carmel River south to Sur)

Eslenajan/Imunahan/Aspasniahan (Soledad/Arroyo Seco)

After California statehood in 1850, Congress and the President of the United States authorized Special Agents McKee, Barbour and Wozencraft to treat with California Indians in 1851. Eighteen treaties were negotiated between the California tribes and these special agents. These treaties were established to accomplish two basic goals: 1) to cede the majority of aboriginal lands of California to the United States Government; and 2) to reserve 8.5 million acres of land in the interior of the state to be used by the California tribes as reservation lands. These 18 treaties were never ratified but were suppressed in secrecy by the United States Senate until their rediscovery in 1905 (Lipps, 1932).

Methodology

Results of Site Record Search

There are hundreds of archaeology sites on the coastline of the Monterey Peninsula. According to the Northwest Information Center there are no prehistoric or historic sites within the boundaries of the project parcel. There are two historic sites, P-2156, the Pacific Telephone Building at San Carlos between Seventh and Eighth Avenues and P-2575 another historic site on Junipero between Seventh and Eighth Avenues.

P-27-002156 is an historic site known as the Hitchcock House recorded by Susan Lassell (Jones and Stokes, NWIC 1998). This historic site is approximately 1,600 feet from the project parcel. It is a Craftsman style house built in 1907. This site is about 650 feet from the project parcel.

P-27-002575 is the historic two-story, wood frame 1951 Spanish colonial building once occupied by Pacific Telephone and Telegraph. It was recorded by Ward Hill (NWIC 2002). P-27-002175 is on the parcel adjacent to the east of the project parcel on San Carlos.

The nearest prehistoric site is CA-MNT-1035 (P-001088), which is approximately 1,900 feet west of the project parcel.

Field Survey

In Central California, archaeologists are alerted to prehistoric sites by the presence of midden soils darkened from accumulation of organic remains. In addition, the presence of various shell remnants from either the bay or littoral may indicate a site. Archaeologists also look for flaked stone artifacts and ground stone that is either complete or in fragments representing mortars and pestles or manos and metates. Sites are usually located near a source of fresh water. Some prehistoric sites are occupational sites while others may be quarries, workstations, milling stations, hunting stations, or ideological sites that exhibit rock art or petroglyphs.

Archaeological reconnaissance followed standard methods of procedure. The entire project parcel was physically and methodically inspected for indicators of cultural resources on November 29, 2019 utilizing standard methods of a pedestrian survey for evidence of historic and prehistoric cultural materials.

Project soils

The soils of the project parcel are exposed in numerous locations around the parcel. **Figure 6** is a photo of the central courtyard, **Figure 7** is the west, or street side. The USDA Web Soil Survey classifies soils in this neighborhood as OaD--Oceano loamy sand, 2 to 15 percent slopes. Oceano loamy sands are stabilized eolian soils

(<https://websoilsurvey.sc.egov.usda.gov/App/WebSoilSurvey.aspx>). These soils are found on marine terraces. The soil of the project parcel is dark brown to dark yellowish brown, 10YR 3/3 to 3/4, sandy loam, darkened by recent rains. There are no marine shell fragments, there are no cobbles or cobble fragments (burnt or unburnt), there is no bone or flaked stone on the project parcel that would indicate a prehistoric site, nor are there traces of these materials. There are no fragments of old glass, or ceramics, or metal that would represent an historic site.



Figure 6: Soils of the central courtyard are exposed.



Figure 7: Soils near the west edge of the project parcel on Dolores are exposed and contain no cultural resources.



Figure 8: Soils exposed on the northwest corner of the project parcel.

Conclusion and Recommendations

The project parcel was methodically inspected for evidence of prehistoric or historic material remains. Archaeological reconnaissance did not reveal any of the indicators expected of a prehistoric archaeological or historical resource in this region; there are no culturally modified soils present; no shell fragments, bone fragments, or culturally modified lithic materials were noted in the soils of the project parcel. No granitic or other bedrock outcrops were present that may possibly have contained bedrock mortars or cupules.

No evidence of historic or prehistoric cultural activity was observed during the archaeological reconnaissance. The nearest cultural resource, P-27-002575, is an historic building adjacent to the project parcel on the east. The nearest prehistoric site is over 1,900 feet to the west. It is the professional opinion of this writer that this parcel does not contain cultural resources, either historic or prehistoric in nature. Based upon these negative findings, there is no reason to delay the project parcel due to archaeological concerns.

However, it must be recommended that in the event that unexpected traces of historic or prehistoric materials, i.e., human remains, concentrations of shell or heat altered rock or historic trash pits are encountered during grading or other future development, a qualified archaeologist should be retained for appropriate archaeological mitigation.

Health and Safety Code § 7050.5

If any human remains are exposed, the Health and Safety Code § 7050.5 requires that no further excavation or disturbance occurs in the area and that the county coroner is called so that the coroner can verify that the remains are not subject to medical jurisprudence. Within 24 hours of notification, the coroner calls the Native American Heritage Commission if the remains are known or thought to be Native American.

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NWIC

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Historic Resources Board

April 19, 2021

Attachment 9

Preliminary Project Plans

PLANNING INFO.

PROPERTY OWNER:
 ESPERANZA CARMEL COMMERCIAL, LLC
 ATTN: CHRISTOPHER MITCHELL
 270 LINDENWOOD AVENUE
 PACIFIC GROVE, CA 93950

ARCHITECT
 INTERNATIONAL DESIGN GROUP LLC
 7501 INTERNATIONAL AVE
 PACIFIC GROVE, CA 93950
 PHONE: (831) 646-1261 #209

PROJECT ADDRESS:
 2 SE OF 7TH AVE.
 CARMEL-PT-HE-SEA, CA 93921

PROJECTIONS OF EXISTING BUILDINGS.
 NEW CONSTRUCTION FOR PARKING GARAGE, COMMERCIAL SPACES
 ON GROUND FLOOR, & 8 RESIDENTIAL APARTMENTS ON 2ND
 FLOOR.

OCCUPANCY: A-2, B, M, R-2, S-2

CONST. TYPE: V-B, TYPE I-GARAGE

A.P.N. 010-145-012, 023, & 024

LEGAL DESC: LOTS: 6, 8, & 10 BLOCK: 91

ZONE: SC (SERVICE COMMERCIAL)

STORIES: 2 + UNDERGROUND GARAGE

MAX BLDG. HT: 30 FT ALLOWED

CUT/FILL: 6,269 C.Y. CUT / 0 C.Y. FILL

CUT / FILL CALCULATIONS
 1022.33' = AVERAGE GRADE
 988' = B.O. GARAGE SLAB & SUBSTRATE (SAND, ROCK)
 1022.33' - 988' = 14.33 X 12,000 = 171,960 C.F. = 6,269 C.Y.

TREE REMOVAL: SEE A1.1

TOPOGRAPHY: SEE TOPOGRAPHIC MAP, SHEET 1 OF 1

PROJECT CODE COMPLIANCE: CCS, CALIFORNIA GREEN BUILDING CODE
 & 2019 CALIFORNIA ENERGY CODE ALTERNATIVES.

LOT AREA: 12,000 S.F. (0.276 AC.)

BUILDING COVERAGE ALLOWED:
 7.14 EXCEPTIONS MAY BE GRANTED UP TO A MAXIMUM BUILDING
 COVERAGE OF 95 PERCENT = 95% (11,400 SF)

BUILDING COVERAGE CALCULATIONS

EXISTING TO BE REMOVED	2,862 S.F.	PROPOSED	10,100 S.F.
EXISTING TO REMAIN	24,688 S.F.	PROPOSED	84,176 S.F.
TOTAL	27,550 S.F.	TOTAL	94,276 S.F.

FLOOR AREA RATIO (FAR) ALLOWED:
 FOR 8 STORIES = 135% (16,200 S.F.)
 + INTRABLOCK ACCESS = 1.0% (1,200 S.F.)
 TOTAL = 145% (17,400 S.F.)

FAR CALCULATIONS

GROUND FLOOR	2,862 S.F.	PROPOSED	8,531 S.F.
SECOND FLOOR	1,997 S.F.	PROPOSED	8,360 S.F.
TOTAL	4,859 S.F.	PROPOSED	16,891 S.F. (140,763)

NOT INCLUDED IN FAR CALCULATIONS
 BASEMENT (GARAGE) 0 11,371 S.F.

PARKING REQUIREMENTS
 COMMERCIAL RETAIL BLD. 1 PER 600 SQ. FT.
 7718 / 600 S.F. = 12.86 = 13 SPACES
 RESIDENTIAL REQUIRES 1 PER UNIT
 8 UNITS = 8 SPACES
 TOTAL REQ. = 21 SPACES

ACCESSIBILITY REQ.
 VAN PARKING REQ. = 1 PER 25 SPACES
 10 COMPACT PARKING SPACES
 10 STANDARD PARKING SPACES
 ACCESSIBLE VAN PARKING SPACES
 21 SPACES
 TOTAL PROVIDED = 10 COMPACT PARKING SPACES
 10 STANDARD PARKING SPACES
 1 ACCESSIBLE VAN PARKING SPACES
 21 SPACES

SHEET INDEX

- ARCHITECTURAL
- A1.0 SITE PLAN
- A1.1 SITE DEMO & HISTORIC BLDG. PROTECTION PLAN
- A1.2 EXISTING & PROPOSED BUILDING COVERAGE DIAGRAMS
- A1.3 HISTORIC PRESERVATION CONDITIONS
- A1.4 HISTORIC PRESERVATION CONDITIONS
- A1.5 GROUND FLOOR PLAN
- A1.6 2ND FLOOR PLAN
- A6.0 ELEVATIONS
- A6.1 ELEVATIONS & SECTIONS
- A6.2 ELEVATIONS & SECTIONS
- A6.3 ELEVATIONS & SECTIONS
- A6.4 ELEVATIONS & SECTIONS
- A6.5 ELEVATIONS & SECTIONS
- A6.6 TERRACE DETAILS
- A6.7 GATE DETAILS
- A6.8 GATE DETAILS
- A6.9 GATE DETAILS
- A8.1 JB-PASTOR STREETSCAPIES
- A8.2 JB-PASTOR STREETSCAPIES
- A8.3 JB-PASTOR STREETSCAPIES
- A8.4 JB-PASTOR STREETSCAPIES
- A8.5 JB-PASTOR STREETSCAPIES
- A8.6 JB-PASTOR STREETSCAPIES
- A8.7 JB-PASTOR STREETSCAPIES
- A8.8 JB-PASTOR STREETSCAPIES
- A8.9 JB-PASTOR STREETSCAPIES
- A8.10 JB-PASTOR STREETSCAPIES
- A8.11 JB-PASTOR STREETSCAPIES
- CIVIL
- C3.1 OFFSITE IMPROVEMENT PLAN
- LANDSCAPE
- L1.0 SHEET LEVEL LANDSCAPE PLAN
- L1.1 ROOF LANDSCAPE PLAN
- L1.2 LANDSCAPE DETAILS & PLANT PICTURES
- L1.3 LANDSCAPE DETAILS & PLANT PICTURES

FOREST & BEACH COMMISSION NOTES

TOTAL SIZE OF OPEN SPACE:
 AREA: 1,920 S.F.
 LANDSCAPING AREA REQUIRED:
 1,920 / 2 = 960 S.F.

PLANT ALTERNATIVES ALLOWED:
 960 X 0.25 = 240 S.F.

LANDSCAPE AREA REQUIRED: 1/2 24% PLANT
 720 S.F.

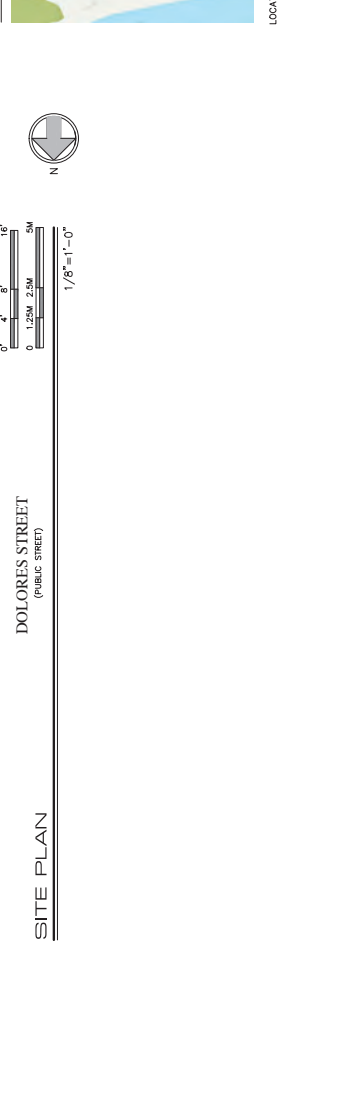
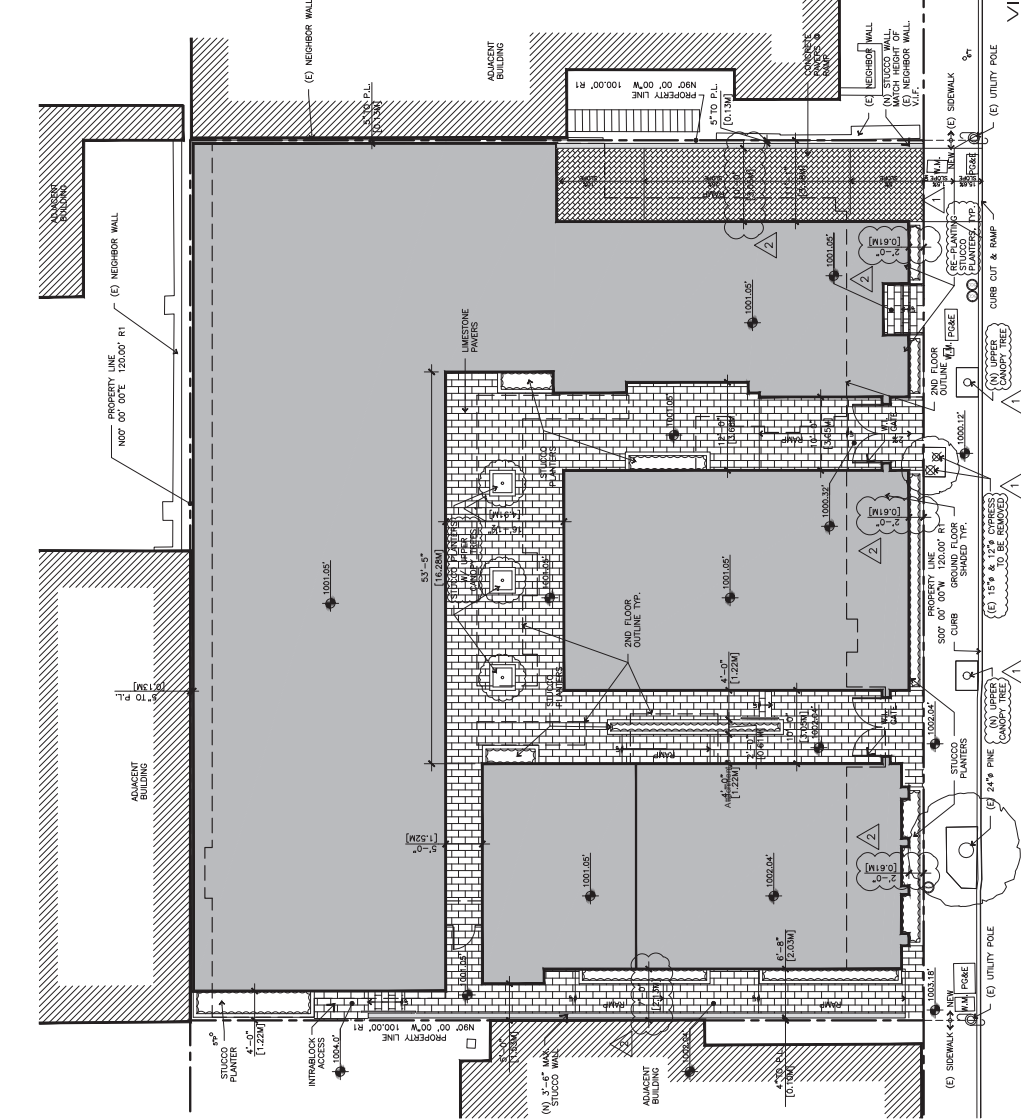
LANDSCAPE AREAS PROVIDED:
 GROUND FLOOR: 484 S.F.
 TOTAL: 2,421 S.F.

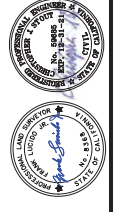
NEW TREE SUMMARY:
 UPPER CANOPY ON PRIVATE PROPERTY: 3
 TOTAL CANOPY ON PUBLIC PROPERTY: 6
 LOWER CANOPY TREES ON ROOF: 4
 (SEE SHEET A5.0)

NOTES:
 SEE SECTION D/A6.3 FOR TYPICAL EXCAVATION CUT

VICINITY MAP

LOCATION OF PROJECT





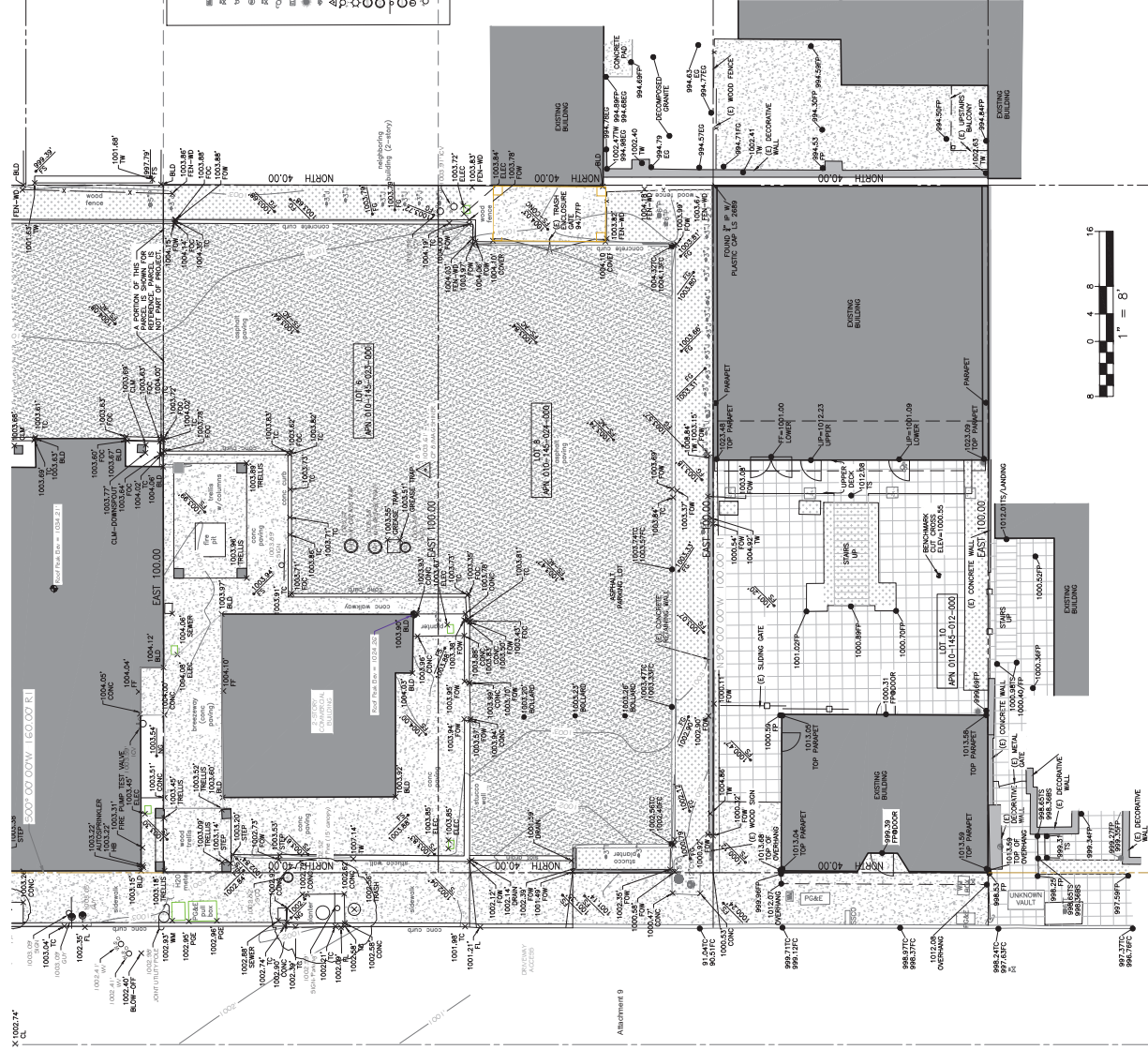
LEGEND

PROPERTY BOUNDARY LINE
BUILDING FOOTPRINT
METAL FENCE
CONCRETE CURB
PAVERS
PLASTER
ASPHALT

WATER METER
ROSE BAY
WATER VALVE
BURNING CONNECTION
SHRINKAGE CONTROL WAFFLE
ELECTRICAL METER
DOWNSPOUT
CLEANOUT
CONTROL POINT
FIRE HYDRANT
FIRE HYDRANT
MANHOLE
SEWER CLEAN OUT
SOUNDHOLE
TELEPHONE MANHOLE
WATER SHUTOFF

ABBREVIATIONS
EXISTING GRADE
FINISH GRADE
FINISH FLOOR
FINISH CEILING
TOP OF STAIR
TOP OF WALL

- NOTES:**
- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORD.
 - THIS TOPOGRAPHIC SURVEY HAS BEEN CONDUCTED WITH A SURVEYING INSTRUMENT AND PROCEDURE THAT MEETS THE REQUIREMENTS OF THE SURVEYING AND MAPPING ACT AND THE REGULATIONS THEREOF. THE ACCURACY OF THIS SURVEY IS GUARANTEED TO BE WITHIN THE TOLERANCES SET FORTH IN THE SURVEYING AND MAPPING ACT AND THE REGULATIONS THEREOF.
 - DIMENSIONS SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 - ENCUMBRANCES ARE INDICATED BY SHADINGS AS THEY ARE SHOWN IN RECORDS AND ARE APPROXIMATE ONLY. TO BE VERIFIED BY OTHERS. NECESSARILY SHOWING DIRECTION OF SOUTH AND BOUNDARY TO BE VERIFIED BY OTHERS.
 - BACKSIGHTS, LEVINGS AND FORESIGHTS ARE INDICATED BY PLANTERS AS SHOWN ABOVE ELEVATIONS.
 - STRAIGHTENING AND OTHER STRUCTURES ARE SHOWN WHERE APPROPRIATE ONLY DUE TO THE LIMITED AREA OF THIS SURVEY.
 - ENTRANCES OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.



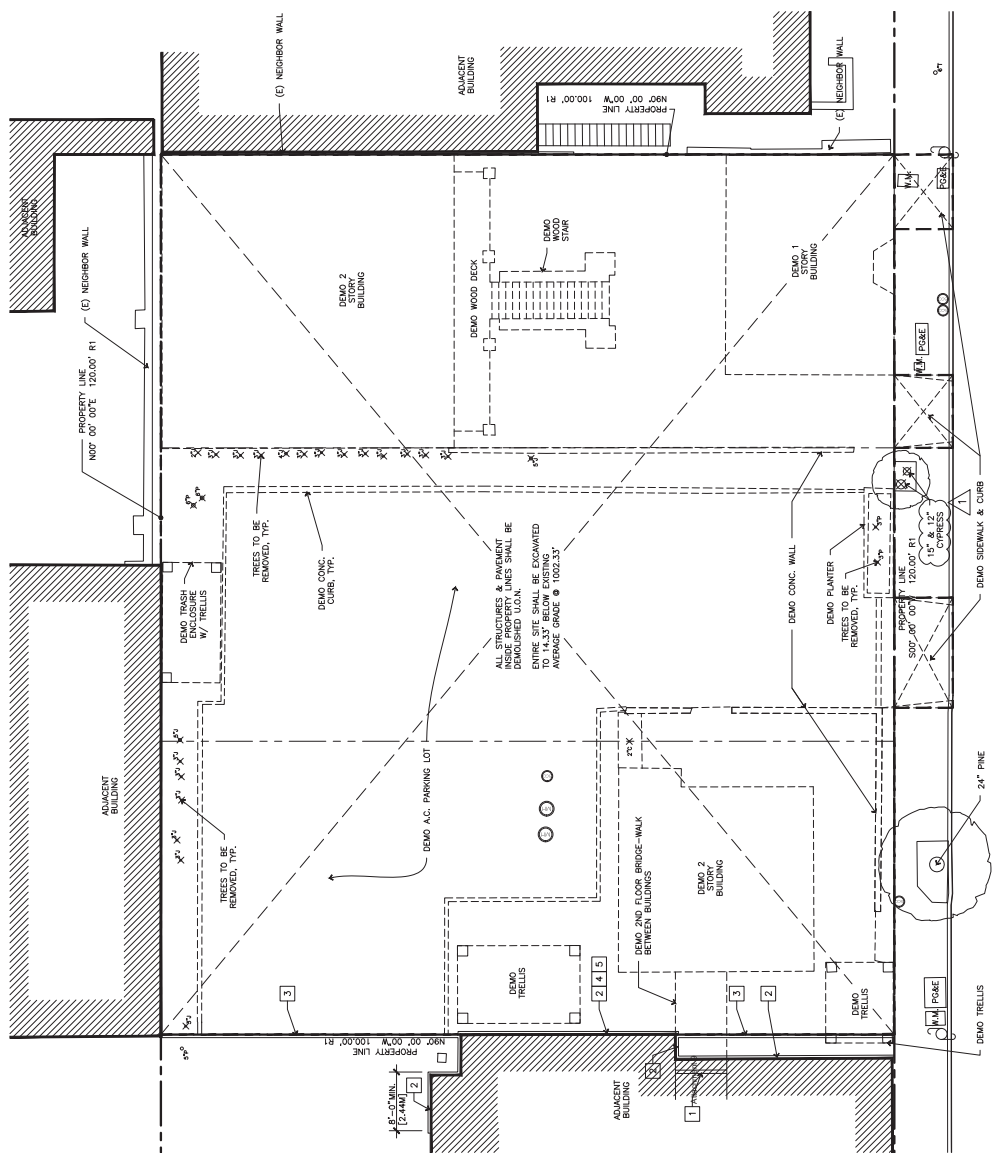
TREE REMOVAL

TREE	SIZE	QUANTITY
JUNIPER	5"	2
JUNIPER	4"	1
JUNIPER	3"	17
PINE	6"	2
PINE	3"	2
CEBERRY	2"	2

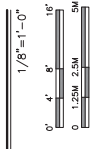
TOTAL TO BE REMOVED: 26 - PRIVATE PROPERTY
 TOTAL TO BE REMOVED: 2 - PUBLIC PROPERTY
 26 PRIVATE + 2 PUBLIC
 TOTAL TO BE REMOVED: 28

HISTORIC BUILDING PROTECTION PLAN KEY NOTES

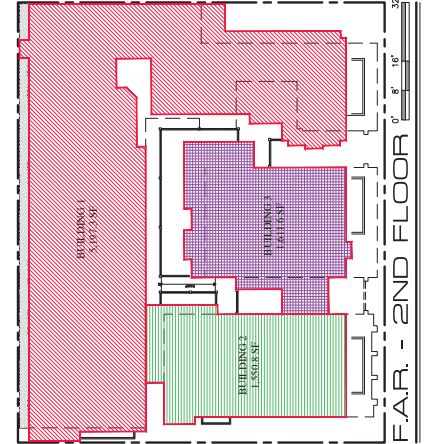
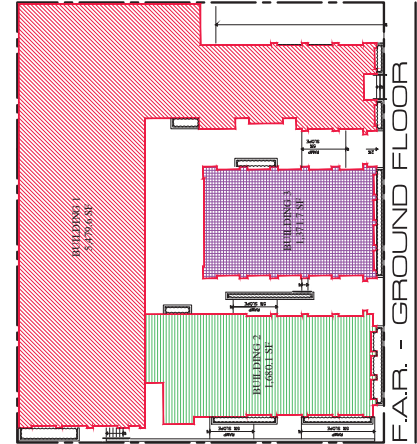
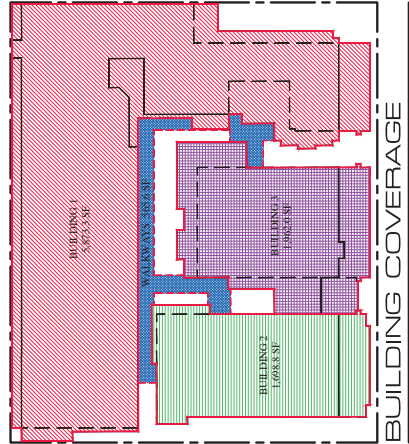
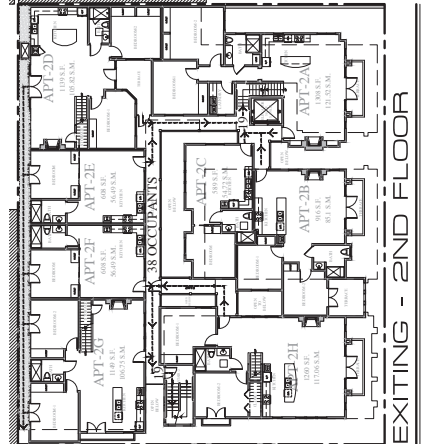
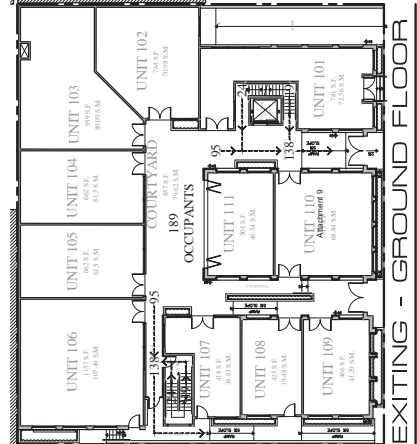
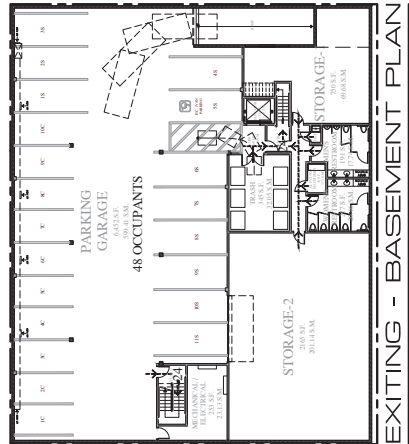
- 1] CONSTRUCT BARRICADE WALL TO CLOSE OPENINGS TO BRIDGE-WALK INSIDE OF (E) BUILDING PRIOR TO ANY DEMOLITION WORK.
- 2] PROVIDE A 6" HIGH SELF-SUPPORTING PLANK DESIGN PROTECTION, ALSO IT SHALL SEAL DOORS, WINDOWS & OTHER OPENINGS PRIOR TO ANY DEMOLITION WORK.
- 3] CONSTRUCT 6" HIGH SELF-SUPPORTING PLANK BARRICADE WALL.
- 4] DEMO WALL TO BE SUPPORTED FROM FINAL DESIGN FROM (E) TO (W) ADJACENT TO (E) BUILDING.
- 5] DEVELOPMENT TEAM TO DESIGN & PROVIDE UNDERPINNING OF (E) BUILDING, FOOTING AS REQUIRED BY THE CONSTRUCTION OF BASEMENT GARAGE.



DOLORES STREET



SITE DEMOLITION PLAN



EXIT ANALYSIS

BASEMENT

TYPE S-2 OCCUPANCY	= 6,452/200 GROSS = 32.26 = 33 OCCUPANTS
PARKING GARAGE	
TYPE S-1 OCCUPANCY	= 750 SF
STORAGE-1	= 2,165 SF
STORAGE-2	= 203 SF
MECHANICAL/ELECTRICAL	= 63 SF
STAIR-1	= 124 SF
STAIR-2	= 58 SF
ELEVATOR	= 58 SF
LOBBY	= 48 SF
WOMEN'S RESTROOM	= 21 SF
ELEVATOR MECHANICAL	= 40 SF
TOTAL	= 4,288 SF/500 GROSS = 14.29 = 15 OCCUPANTS

S-2, & S-3 OCCUPANT LOAD = 48 OCCUPANTS > 2 EXITS REQUIRED > 24 OCCUPANTS EACH

EXIT WIDTH REQUIRED: DOOR > 72" PROVIDED

48 X 0.3" = 14.4' @ STAIR > 86" PROVIDED

GROUND FLOOR

TYPE A-2 OCCUPANCY (ASSEMBLY)

UNIT-110	= 741 SF/15 NET = 49.4 = 50 OCCUPANTS
UNIT-111	= 501 SF/15 NET = 33.4 = 34 OCCUPANTS
TYPE B OCCUPANCY (BUSINESS)	100 SF GROSS = OCCUPANTS
TYPE M OCCUPANCY (MERCANTILE)	60 SF GROSS = OCCUPANTS

CALCULATED FOR TYPE M

UNIT-102	= 784 SF
UNIT-103	= 859 SF
UNIT-105	= 662 SF
UNIT-106	= 419 SF
UNIT-107	= 419 SF
UNIT-108	= 428 SF
UNIT-109	= 428 SF
TOTAL	= 6,288 SF/60 GROSS = 104.9 = 105 OCCUPANTS

A-2 + M(9) OCCUPANT LOAD = 189 OCCUPANTS > 2 EXITS REQUIRED > 95 OCCUPANTS EACH

EXIT WIDTH REQUIRED: DOOR > 72" PROVIDED

189 X 0.3" = 56.7' @ STAIR > 86" PROVIDED

2ND FLOOR

TYPE B-2 OCCUPANCY

APARTMENT-2A	= 1,359 SF
APARTMENT-2B	= 916 SF
APARTMENT-2C	= 590 SF
APARTMENT-2D	= 608 SF
APARTMENT-2E	= 608 SF
APARTMENT-2F	= 608 SF
APARTMENT-2G	= 1,260 SF
TOTAL	= 7,577 SF/200 GROSS = 37.89 = 38 OCCUPANTS

R-2 OCCUPANT LOAD = 38 OCCUPANTS > 2 EXITS REQUIRED > 19 OCCUPANTS EACH

EXIT WIDTH REQUIRED: DOOR > 72" PROVIDED

19 X 0.3" = 5.7' @ STAIR > 86" PROVIDED

F.A.R. CALCULATIONS

GROUND FLOOR	= 6,452 SF
BUILDING 1	= 3,673.3 SF
BUILDING 2	= 1,098.5 SF
BUILDING 3	= 1,942.5 SF
TOTAL	= 6,514.3 SF

2ND FLOOR	= 6,197.3 SF
BUILDING 1	= 1,550.8 SF
BUILDING 2	= 1,011.6 SF
BUILDING 3	= 6,354.9 SF
TOTAL	= 6,354.9 SF

GROUND FLOOR + 2ND FLOOR (6,514.3 + 6,354.9) = 12,869.2 SF

16,891 / 12,000 = 140.76%

BUILDING COVERAGE SUMMARY

BUILDING COVERAGE	= 6,514.3 SF
BUILDING 1	= 3,673.3 SF
BUILDING 2	= 1,098.5 SF
BUILDING 3	= 1,942.5 SF
TOTAL	= 10,029.7 SF

10,100 / 12,000 = 84.17%

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STAMPS

PROJECT/CLIENT:
JB PASTOR BUILDING

PROJECT ADDRESS:
DOLORES, 2ND SE OF 7TH CARMEL, CA 93921

APN: 010-145-012
022, & 023

DATE: DECEMBER 18, 2020
TRACK-2 SUBMITAL

REVISIONS:

- MARCH 4, 2021 FOREST & BEACH COMMISSION HISTORIC BOARD COMMISSION
- APRIL 15, 2021 REISED TRACK-2 APPLICATION

EXITING, F.A.R. & BUILDING COVERAGE DIAGRAMS

SHEET NO. **A112**

Attachment 4

March 4, 2021

Final Phase Two Report for the Palo Alto - Salinas Savings and Loan Bank, Community Room, Parking Lot, and Garden Wall (APN 010-445-020), Carmel-by-the-Sea, CA.

Executive Summary

The Palo Alto Salinas Savings and Loan community room, parking lot, and garden wall are part of a larger historic building complex located on the corner of Dolores and Seventh Streets in downtown Carmel. The bank building has been evaluated for historic significance multiple times. In October 2013 the bank building was found eligible for listing in the California Register for Historic Resources (CRHR) under Criterion Three (Cultural Landmark) and the National Register of Historic Places due to the Fifty Year Rule. Nevertheless, it is considered a significant resource for the purposes of CEQA with a period of significance of 1972.

In June 2020 the bank's companion community room was evaluated for historical significance under the California Register for Historic Resources criteria and was found ineligible for listing as an individual historic resource. The project consists of the construction of a new community room, parking lot, and garden wall. A preliminary determination of eligibility will be included as part of this report. An application has been submitted to the Carmel Planning Commission proposing the demolition of the community room, parking lot and garden wall to allow for the construction of an underground parking garage and a two-story building with a combined use of second floor residential apartments and ground floor community space. This Phase Two report examines the project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report.

Parking Lot & Garden Wall: Historical Background and Significance

The Palo Alto Salinas Savings and Loan complex was constructed in 1972 on the corner of Dolores and Seventh Streets in the same location as its former building. The former building (originally the Palo Alto Savings and Loan Company) housed on Seventh Street. An eighteen-space parking lot was located behind the building and was part of the building's original design. Plans for the new building were designed to be consistent with the existing building's architectural style. The new building was designed to be consistent with the existing building's architectural style. The new building was designed to be consistent with the existing building's architectural style. The new building was designed to be consistent with the existing building's architectural style.

¹ Chuck, May, Evaluation of Significance of Phase Two Report for Seventh & Dolores (formerly the Palo Alto Savings and Loan Company), October 3, 2013.
² California Register for Historic Resources (CRHR) Evaluation of Significance for Seventh & Dolores (formerly the Palo Alto Savings and Loan Company) June 17, 2020.
³ The Secretary of the Interior's Standards for Historic Rehabilitation: A National Historic Preservation Act Guideline for Practicing Historic Preservation, National Historic Preservation Act, U.S. Department of the Interior, National Historic Preservation Service, Technical Preservation Services, Washington D.C., 2017.

obscure than they are now, stretching around behind the building". A drive-up teller window could have been located on the Seventh Street side of the parking lot and was included in the original design.

The same Phase One report also described the future parking facilities also described the garden wall that would partially surround the community room. Originally, a small sculpture garden was planned for the parking lot but it never came to fruition. In 2013 a portion of the wall on the south elevation was removed and the entire wall was shortened by twelve inches.

When it was constructed in 1972, the Palo Alto Salinas Savings and Loan complex included a bank building, community room, parking lot, and garden wall. The bank building is a two-story building with a historic character. The community room is a single-story building with a historic character. The parking lot is a paved area with a historic character. The garden wall is a masonry wall with a historic character. The project consists of the construction of a new community room, parking lot, and garden wall. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report.

- Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States. The parking lot and garden wall are not eligible for listing under Criterion One.
- Associated with the lives of persons important to local, California or national history (Criterion Two)
- Embodies the distinctive characteristics of a type, period, region, or method of construction or represents the work of a master or possesses artistic significance (Criterion Three)
- Embodies the distinctive characteristics of a type, period, region, or method of construction or represents the work of a master or possesses artistic significance (Criterion Three)

The parking lot and garden wall did not play a significant role in the lives of any people important to local, California, or national history and they are not eligible for listing under Criterion Two.

The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report.

⁴ Carmel Plan. Cov. 19, Submitting 10, 1971, p. 15.

will demonstrate the bank's function but they do not contribute to the bank's distinctive as a significant local representative of the Bay Region style of architecture. Neither can be considered a historic resource on their own merit and they are not eligible for listing under Criterion Three.

The Secretary of the Interior's Standards for Rehabilitation

Compliance Evaluation

An historical resource, the Palo Alto Salinas Savings and Loan Bank building is subject to review under the California Environmental Quality Act (CEQA). The parking lot, community room, and wall are not historic resources and are not individually subject to CEQA. However, the impact of their proposed demolition on the historic resource is subject to CEQA. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report.

The impact of the proposed demolition of the features within the Palo Alto Salinas Savings and Loan building is subject to CEQA. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report.

Standard One

A property will be used as it was historically or it gives a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships. The bank building has been used as a bank, retail store and most recently as a restaurant. These different uses have required minimal change to its distinctive materials, features, spaces, and spatial relationships. The community room is separated from the main bank building by a walkway. Sheet ALD indicates the location of the walkway. The new walkway will help to maintain spatial relationships between the buildings however that spatial relationship should be maintained from the ground level to the roof by a setback of the walkway with relation to the bank building. It is also recommended that the proposed walkway be the same width as the current walkway.

Standard Two

The historic character of a property will be retained or preserved. The removal of distinctive outside features and spaces will not be altered. The spatial relationships between the bank and the community room which has been established by the walkway separating the two should be maintained as part of the project. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report.

Standard Three

Each property will be recognized as a physical record of its time, place, and use. Changes that preserve a property's historic architectural features, materials, and spaces will not be altered. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report.

Standard Four

Changes to a property that are not required by historic significance or their own right will be retained and preserved. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report.

Standard Five

Historic architectural features, materials, and construction techniques or examples of craftsmanship that are distinctive to a property will be retained or preserved. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report.



Figure 1: The historic building at the intersection of Dolores and Seventh Streets, Carmel-by-the-Sea, California. Photo by the author, 2020.

Standard Six

Proposing adequate protection involves the following steps: 1. Consultation between the Historic Building Owner and Development Team to identify potential risks, register design and programmatic priorities.

⁵ Secretary of the Interior's Standards for Historic Rehabilitation: A National Historic Preservation Act Guideline for Practicing Historic Preservation, National Historic Preservation Service, Washington D.C., 2017.

2. Documentation of the condition of the historic building prior to adjacent work.

3. Implementation of protective measures to both the construction site and the historic site.

4. Regular monitoring during construction to identify damage, to evaluate the efficacy of protective measures already in place, and to identify and implement additional corrective steps.

Work will be consistent with Standard Five if a protection plan is submitted to the HBB for review and approval prior to the commencement of any work on the proposed project.

Standard Six

Demolition of historic features will be required unless they are of historic significance. Where the integrity of a historic resource is threatened, the Secretary of the Interior's Standards for Historic Rehabilitation require replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substituted by documentary and physical evidence. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report.

Standard Seven

Chemical or physical treatments, if appropriate, will be undertaken only if the project's historic resources are threatened. Treatments that cause damage to historic resources will not be used. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report.

Standard Eight

Surface cleaning is not proposed for the historic resource. This Standard is not applicable. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report.

Standard Nine

Architectural resources will be protected and preserved in place. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report.

Standard Ten

New additions, exterior alterations, or related new construction will not destroy historic architectural features or materials. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report.

Standard Eleven

From the old and will be compatible with the historic materials, features, site, scale, and proportion, and will not detract from the integrity of the property and its environment. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report.

The new construction will demolish the parking lot, community room, and garden wall which are part of the bank complex however they are not significant in their own right. These features supported the bank's former function but do not represent the eligibility under Criterion Three (Architectural). They are not considered character-defining features. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report.

new additions and exterior alterations or related new construction will be undertaken in such a manner that, if removed in the future, the proposed new construction adjacent to the historic bank building will not impact the historic property and environment only if care is taken to remove the building following the guidance provided in Preservation Tech Memo Number 3 and described under Standard Five.

Conclusion

The former Palo Alto Salinas Savings and Loan complex consists of the historic bank building, a community room, a parking lot and garden wall. The primary building within the complex is the bank building, which is a historic resource. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report.

California Register based on its merits alone and it does not meet the criteria for listing as an individual historic resource. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report. The project's consistency with the Secretary of the Interior's Standards for Historic Rehabilitation will be included as part of this report.

respectfully submitted,

Margaret Crows

Margaret Crows

DATE: DECEMBER 18, 2020
TRACK--2 SUBMITAL

REVISIONS:

- △ MARCH 4, 2021
△ FOREST & BEACH COMMISSION
△ HISTORIC BOARD COMMISSION
△ APRIL 15, 2021
△ REVISION TRACK--2 APPLICATION

HISTORIC PRESERVATION CONDITIONS

SHEET NO. A13

Attachment 4

6 | Page

TECH NOTES
PRESERVATION
TEMPORARY PROTECTION
NUMBER 3
Protecting a Historic
Adjacent Construction



When historic structures are exposed to adjacent construction work, a protective structure should be installed to maintain the historic fabric and prevent damage to the building.



When historic structures are exposed to adjacent construction work, a protective structure should be installed to maintain the historic fabric and prevent damage to the building.

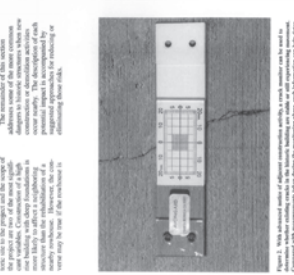
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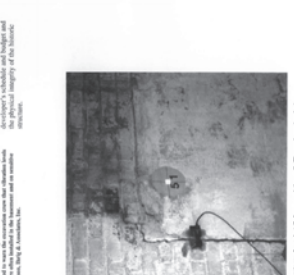
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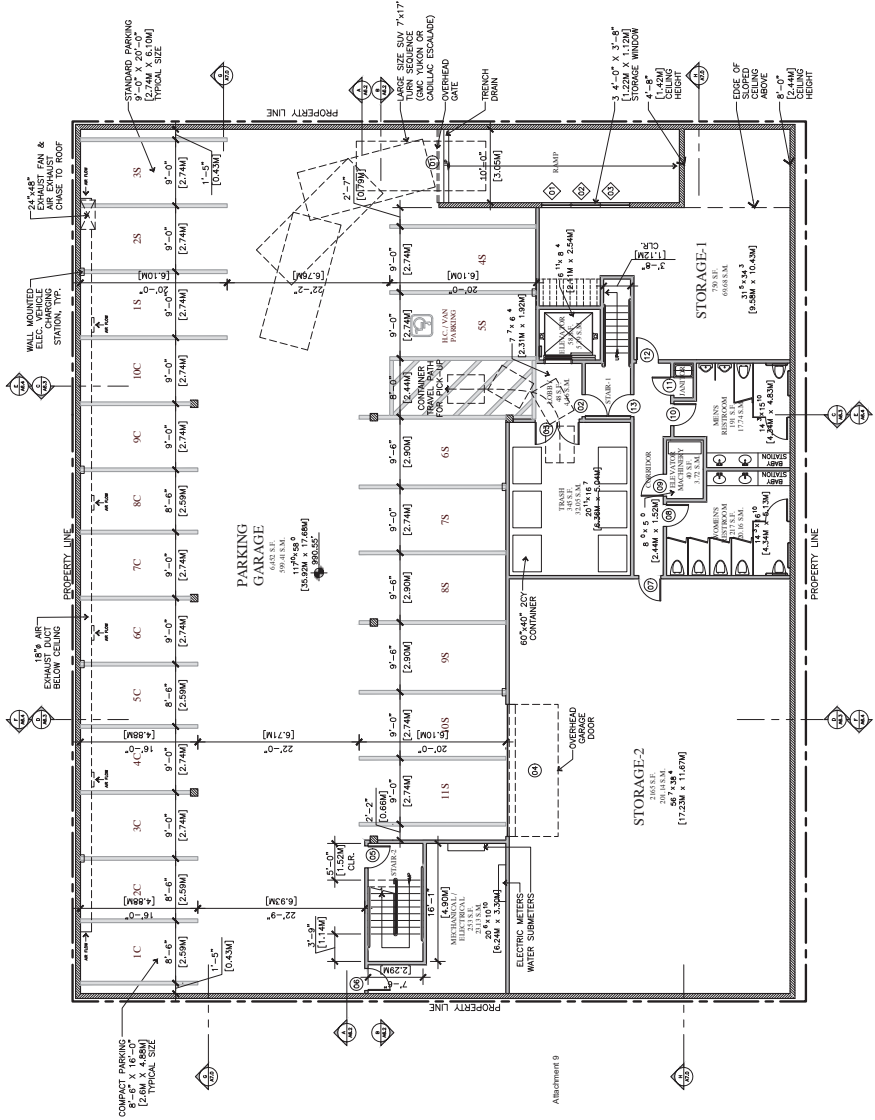
JIN A. MILLER, AIA
IDG
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PACIFIC GROVE, CA
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PROJECT/CLIENT:
JB PASTOR
BUILDING
PROJECT ADDRESS:
DOLORES, 2ND SE
OF 7TH
CARMEL, CA
93921
APN: 010-145-012
022, & 023

DATE: DECEMBER 18, 2020
TRACK-2 SUBMITTAL
REVISIONS:
MARCH 4, 2021
FRESH & BEACH COMMISSION
HISTORIC BOARD COMMISSION
APRIL 15, 2021
REISED TRACK-2 APPLICATION

HISTORIC PRESERVATION CONDITIONS
SHEET NO. A11-4



PARKING LEGEND

- 11 STANDARD
- 10 COMPACT
- 9C - STANDARD PARKING STALL
- 9C - COMPACT PARKING STALL

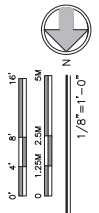
DOOR/WINDOW LEGEND

- ⬠ DENOTES A WINDOW
- ⊗ DENOTES A DOOR

NOTE: SEE DOOR & WINDOW SCHEDULE FOR CORRESPONDING DOOR & WINDOW INFORMATION

WALL LEGEND

- ▬ 206 EXTERIOR STUD FRAMED WALL
- ▬ 204 INTERIOR STUD FRAMED WALL U.O.N.
- ▬ 204 INTERIOR STUD FRAMED WALL U.O.A.



BASEMENT PLAN
 11,406 SQUARE FEET / 1,059.65 SQUARE METERS

7571 EAST BAYVIEW AVENUE
 PACIFIC GROVE, CALIFORNIA 93950

PH (831) 648-1281
 FAX (831) 648-1080
 WWW.JASILLMAN.COM
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STAMPS

PROJECT/CLIENT:

**JB PASTOR
 BUILDING**

PROJECT ADDRESS:

**DOLORES, 2ND SE
 OF 7TH
 CARMEL, CA
 93921**

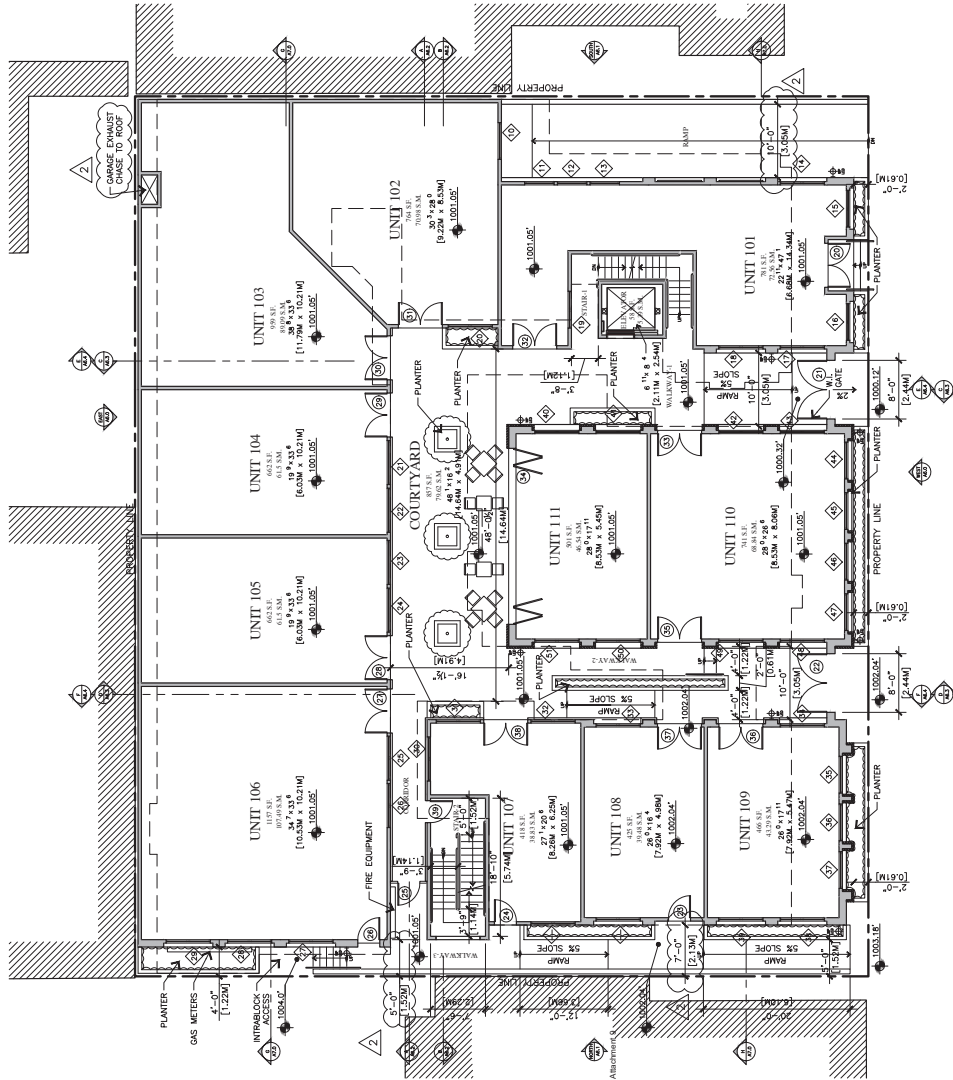
APN: 010-145-012
 022. & 023

DATE: DECEMBER 18, 2020
 TRACK-2 SUBMITTAL

REVISIONS:

- ▲ MARCH 4, 2021
- ▲ FOREST & BEACH COMMISSION
- ▲ HISTORIC ARCHITECTURE COMMISSION
- ▲ HISTORIC BOARD COMMISSION
- ▲ APRIL 15, 2021
- ▲ BEISD TRACK-2 APPLICATION

Attachment
FLOOR PLAN
 SHEET NO. **A334**



DOOR/WINDOW LEGEND

◊ DENOTES A WINDOW
 ⊗ DENOTES A DOOR

NOTE: SEE DOOR & WINDOW SCHEDULE FOR CORRESPONDING DOOR & WINDOW INFORMATION

WALL LEGEND

- ▬ 2X6 EXTERIOR STUD FRAMED WALL
- ▬ 2X4 INTERIOR STUD FRAMED WALL U.O.N.
- ▬ 2X4 INTERIOR STUD FRAMED WALL U.O.N.

GROUND FLOOR PLAN
 8544 SQUARE FEET / 793.76 SQUARE METERS

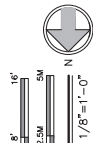
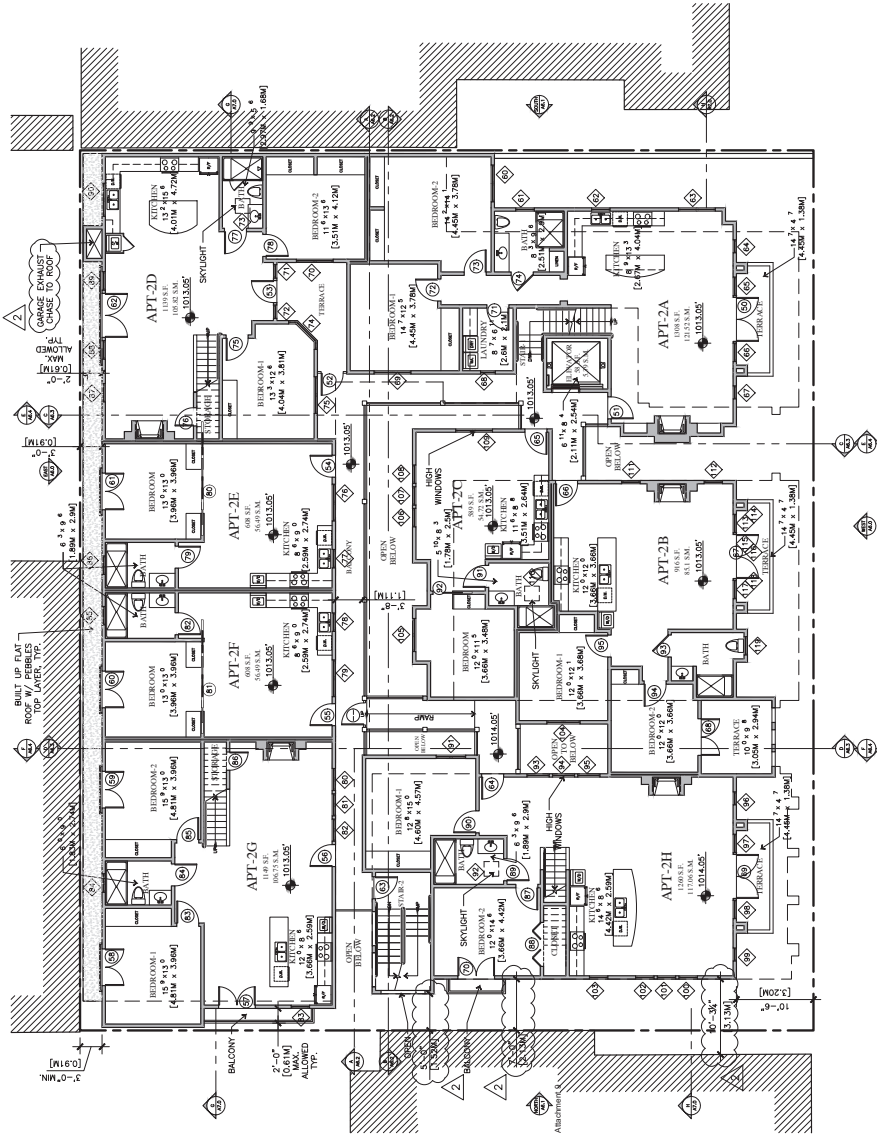
DOOR/WINDOW LEGEND

◊ DENOTES A WINDOW
 ⊗ DENOTES A DOOR

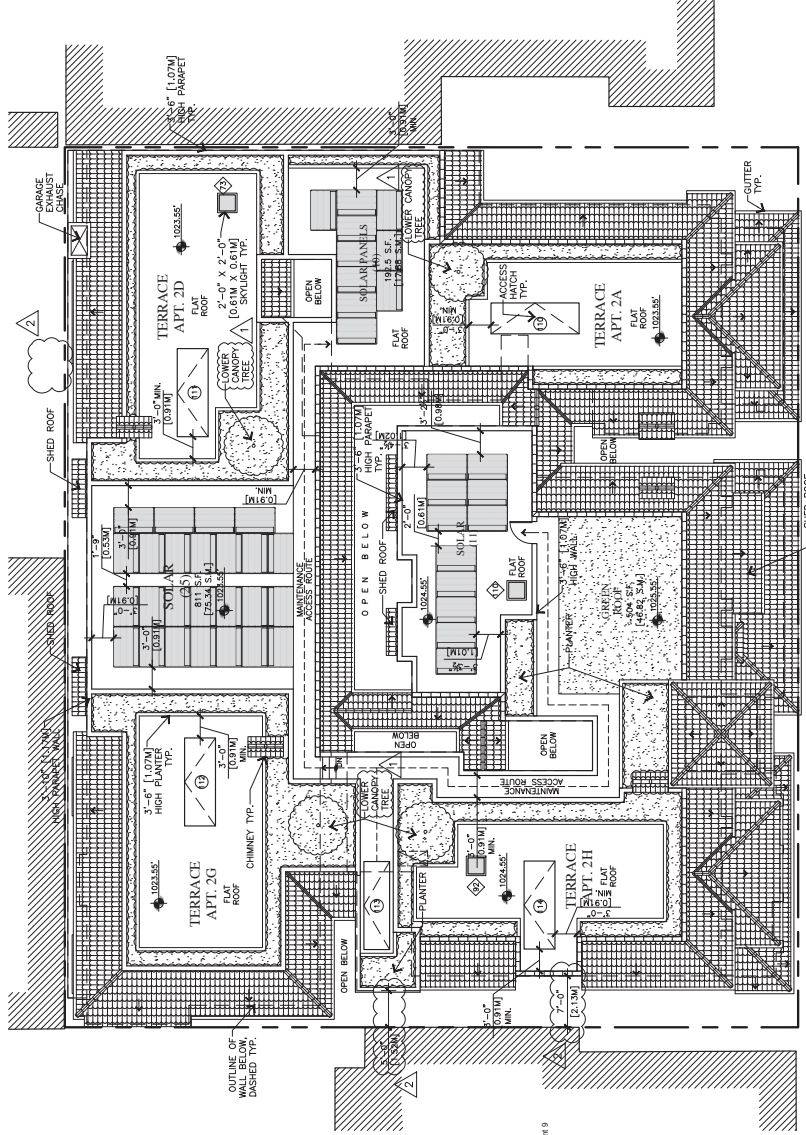
NOTE:
 2X6 EXTERIOR STUD FRAMED WALL
 2X4 INTERIOR STUD FRAMED WALL, U.O.N.
 & WINDOW INFORMATION

WALL LEGEND

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 ▬ 2X4 INTERIOR STUD FRAMED WALL, U.O.N.
 ▬ 2X4 INTERIOR STUD FRAMED WALL, U.O.N.



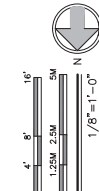
SECOND FLOOR PLAN
 8354 SQUARE FEET / 776.11 SQUARE METERS



DOOR/WINDOW LEGEND

	DENOTES A WINDOW
	DENOTES A DOOR

NOTE: DOORS & WINDOW SCHEDULE FOR CORRESPONDING DOOR & WINDOW INFORMATION



ROOF PLAN

7501 S. INTERNATIONAL AVE
 PACIFIC UNION CITY, CA
 94620

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STAMPS

PROJECT/CLIENT:
 JB PASTOR
 BUILDING

PROJECT ADDRESS:
 DOLORES, 2ND SE
 OF 7TH
 CARMEL, CA
 93921

APN: 010-145-012
 022. & 023

DATE: DECEMBER 18, 2020
 TRACK-2 SUBMITTAL

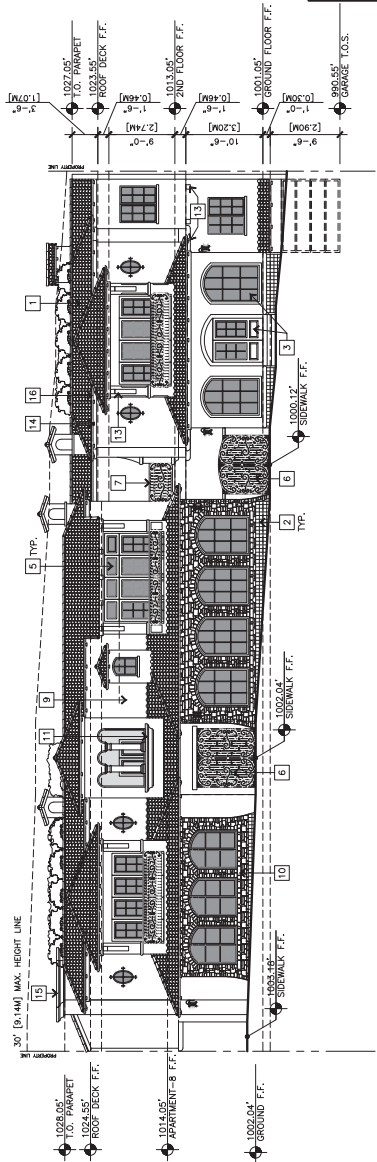
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 APRIL 15, 2021
 REVISION TRACK-2 APPLICATION

ELEVATIONS

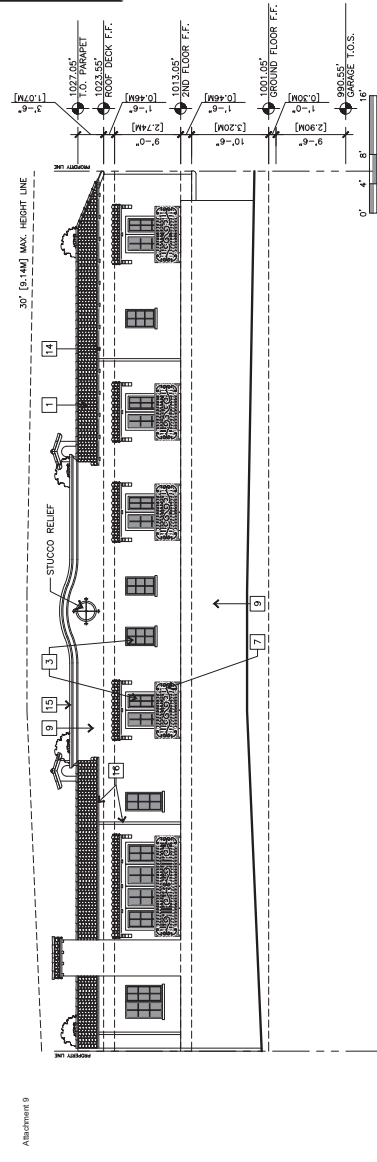
SHEET NO. **A60**

EXTERIOR FINISH LEGEND

- 1 MISSION STYLE CLAY TILE ROOF
- 2 DECORATIVE CERAMIC TILE
- 3 ALUMINUM CLAD DOORS & WINDOWS
- 4 PAINTED WOOD DOORS & WINDOWS
- 5 TRANSOM WINDOW
- 6 WROUGHT IRON GATE
- 7 WROUGHT IRON RAILING
- 8 STUCCO FINISH
- 9 RANDOM EXTERIOR STONE
- 10 SHAPED STUCCO SILL
- 11 REDWOOD POST
- 12 REDWOOD BEAMS & CORBELS
- 13 REDWOOD RAFTER TAILS
- 14 PRECAST CONCRETE PARAPET CAP
- 15 COPPER GUTTERS & DOWNSPOUT



WEST ELEVATION



EAST ELEVATION

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STAMPS:

PROJECT/CLIENT:
JB PASTOR BUILDING

PROJECT ADDRESS:
DOLORES, 2ND SE OF 7TH CARMEL, CA 93921

APN: 010-145-012 022. & 023

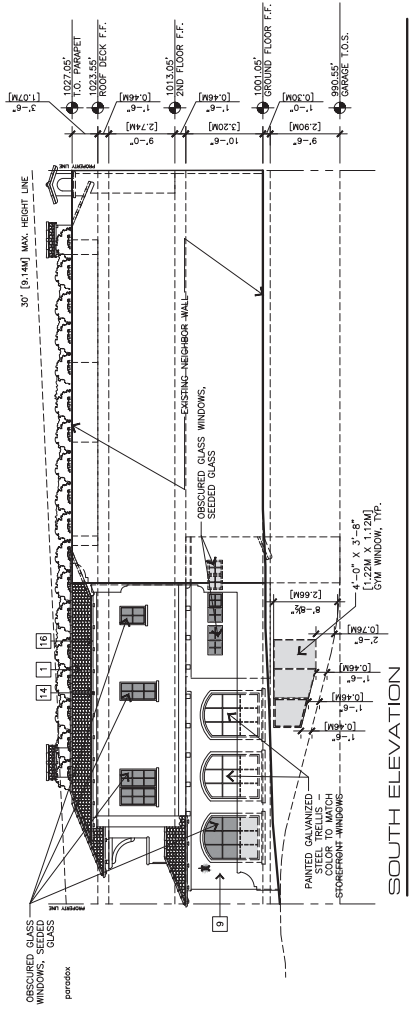
DATE: DECEMBER 18, 2020
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REVISIONS:
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 HISTORIC BOARD COMMISSION
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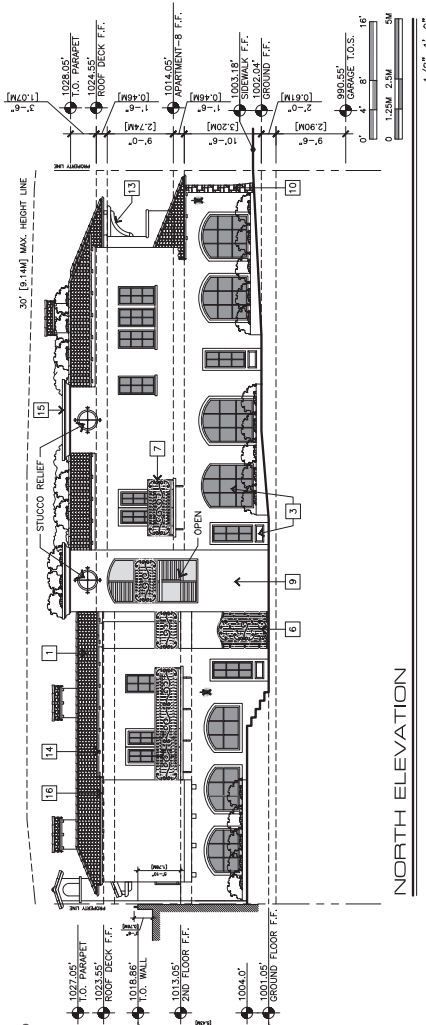
ELEVATIONS
 SHEET NO. **A61**

EXTERIOR FINISH LEGEND

- 1 MISSION STYLE CLAY TILE ROOF
- 2 DECORATIVE CERAMIC TILE
- 3 ALUMINUM CLAD DOORS & WINDOWS
- 4 PAINTED WOOD DOORS & WINDOWS
- 5 TRANSOM WINDOW
- 6 WROUGHT IRON GATE
- 7 WROUGHT IRON RAILING
- 8 STUCCO FINISH
- 9 RANDOM EXTERIOR STONE
- 10 SHAPED STUCCO SILL
- 11 REDWOOD POST
- 12 REDWOOD BEAMS & CORBELS
- 13 REDWOOD RAFTER TAILS
- 14 PRECAST CONCRETE PARAPET CAP
- 15 COPPER GUTTERS & DOWNSPOUT



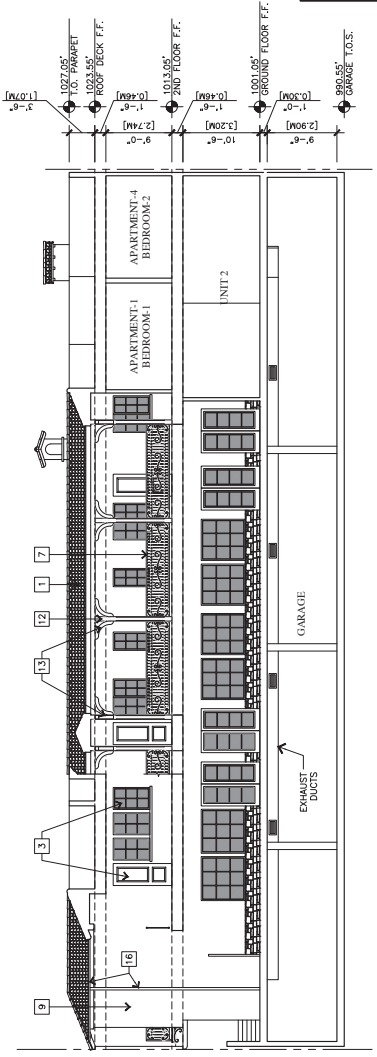
SOUTH ELEVATION



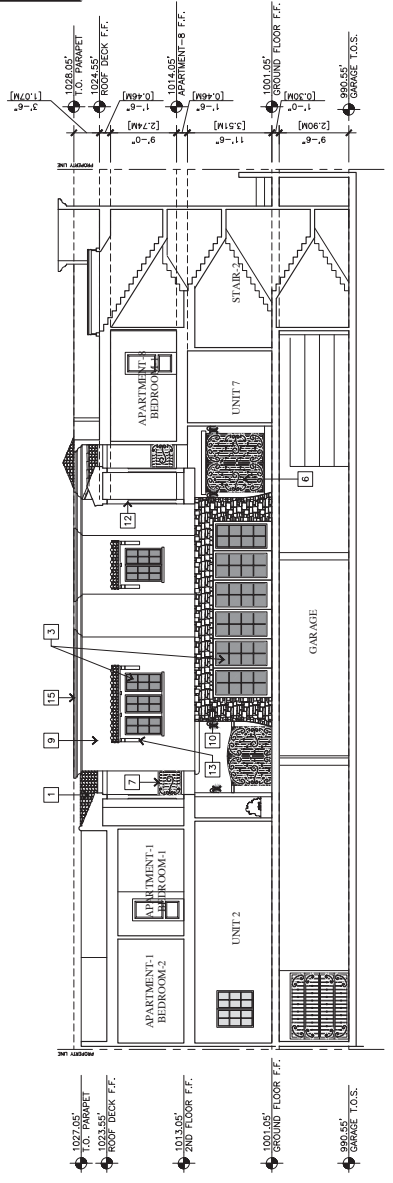
NORTH ELEVATION

EXTERIOR FINISH LEGEND

- 1 MISSION STYLE CLAY TILE ROOF
- 2 DECORATIVE CERAMIC TILE
- 3 ALUMINUM CLAD DOORS & WINDOWS
- 4 PAINTED WOOD DOORS & WINDOWS
- 5 TRANSOM WINDOW
- 6 WROUGHT IRON GATE
- 7 WROUGHT IRON RAILING
- 8 STUCCO FINISH
- 9 RANDOM EXTERIOR STONE
- 10 SHAPED STUCCO SILL
- 11 REDWOOD POST
- 12 REDWOOD BEAMS & CORBELS
- 13 REDWOOD RAFTER TAILS
- 14 PRECAST CONCRETE PARAPET CAP
- 15 COPPER GUTTERS & DOWNSPOUT
- 16



EAST COURTYARD / SECTION A
 1/8" = 1'-0"



WEST COURTYARD / SECTION B
 1/8" = 1'-0"

7571 BENTLEY AVENUE
 PACIFIC GROVE, CA
 93950

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STAMPS

PROJECT/CLIENT:
 JB PASTOR
 BUILDING

PROJECT ADDRESS:
 DOLORES, 2ND SE
 OF 7TH
 CARMEL, CA
 93921

APN: 010-145-012
 022. & 023

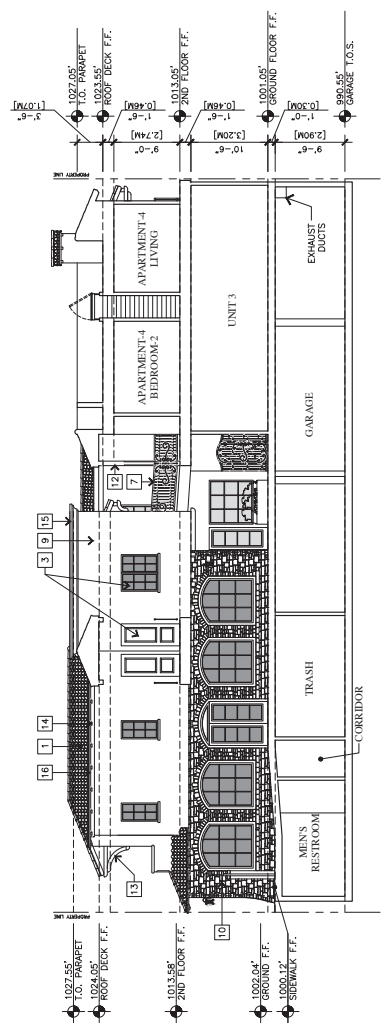
DATE: DECEMBER 18, 2020
TRACK-2 SUBMITTAL

REVISIONS:
 MARCH 4, 2021
 FOREST & BEACH COMMISSION
 HISTORIC BOARD COMMISSION
 APRIL 15, 2021
 REVISION TRACK-2 APPLICATION

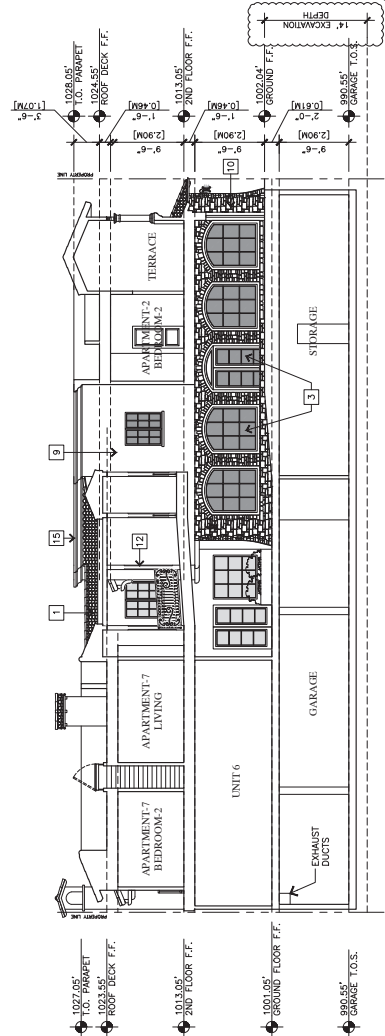
ELEVATIONS & SECTIONS
 SHEET NO. **A63**

EXTERIOR FINISH LEGEND

- 1 MISSION STYLE CLAY TILE ROOF
- 2 DECORATIVE CERAMIC TILE
- 3 ALUMINUM CLAD DOORS & WINDOWS
- 4 PAINTED WOOD DOORS & WINDOWS
- 5 TRANSOM WINDOW
- 6 WROUGHT IRON GATE
- 7 WROUGHT IRON RAILING
- 8 STUCCO FINISH
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- 11 REDWOOD POST
- 12 REDWOOD BEAMS & CORBELS
- 13 REDWOOD RAFTER TAILS
- 14 PRECAST CONCRETE PARAPET CAP
- 15 COPPER GUTTERS & DOWNSPOUT



SOUTH COURTYARD / SECTION C
 1/8" = 1'-0"

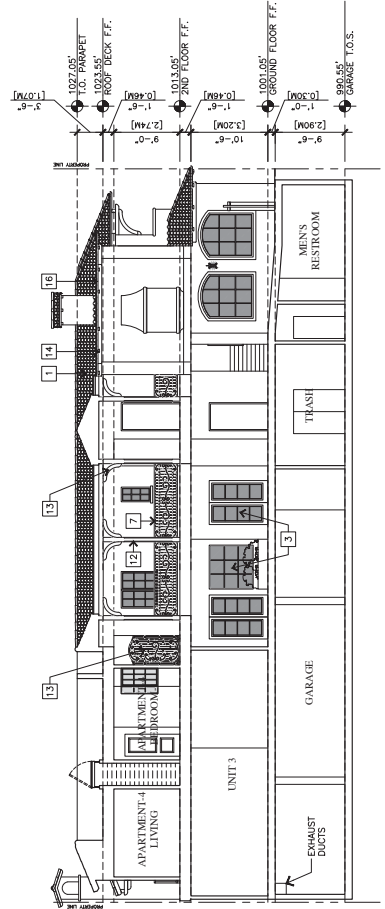


NORTH COURTYARD / SECTION D
 1/8" = 1'-0"

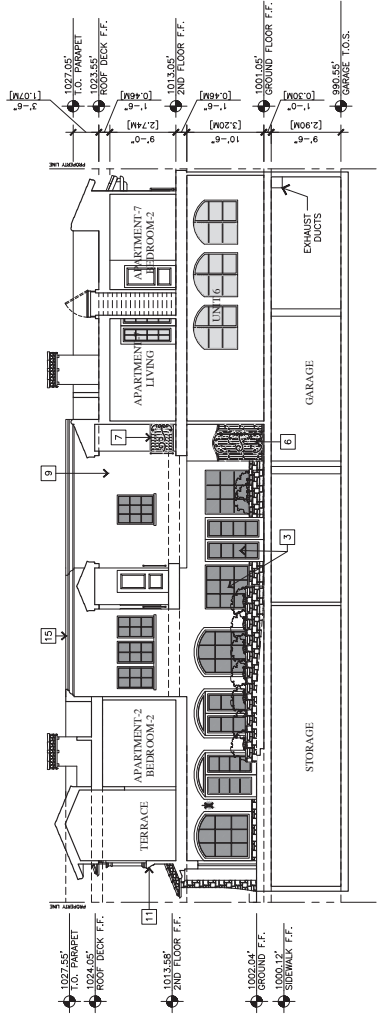
Attachment 9

EXTERIOR FINISH LEGEND

- 1 MISSION STYLE CLAY TILE ROOF
- 2 DECORATIVE CERAMIC TILE
- 3 ALUMINUM CLAD DOORS & WINDOWS
- 4 PAINTED WOOD DOORS & WINDOWS
- 5 TRANSOM WINDOW
- 6 WROUGHT IRON GATE
- 7 WROUGHT IRON RAILING
- 8 STUCCO FINISH
- 9 RANDOM EXTERIOR STONE
- 10 SHAPED STUCCO SILL
- 11 REDWOOD POST
- 12 REDWOOD BEAMS & CORBELS
- 13 REDWOOD RAFTER TAILS
- 14 PRECAST CONCRETE PARAPET CAP
- 15 COPPER GUTTERS & DOWNSPOUT
- 16



SOUTH COURTYARD / SECTION E
 1/8" = 1'-0"



NORTH COURTYARD / SECTION F
 1/8" = 1'-0"

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 WWW: JUNBILLANG.COM
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STAMPS

PROJECT/CLIENT:
JB PASTOR BUILDING

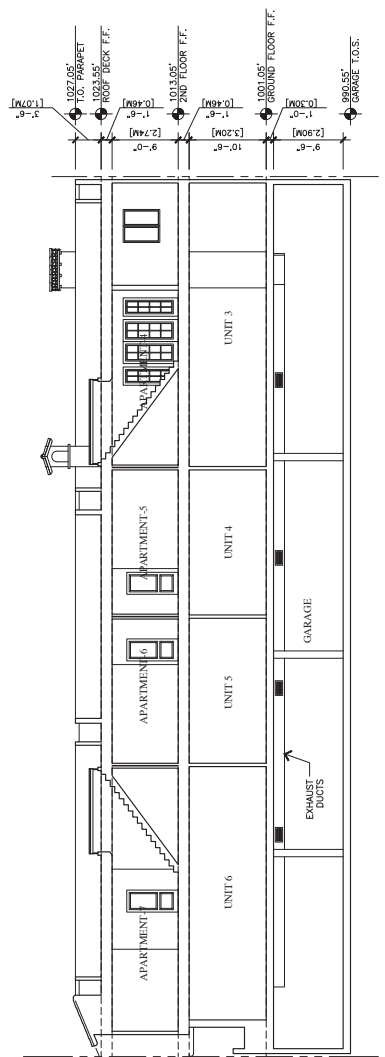
PROJECT ADDRESS:
DOLORES, 2ND SE OF 7TH CARMEL, CA 93921

APN: 010-145-012
 022, & 023

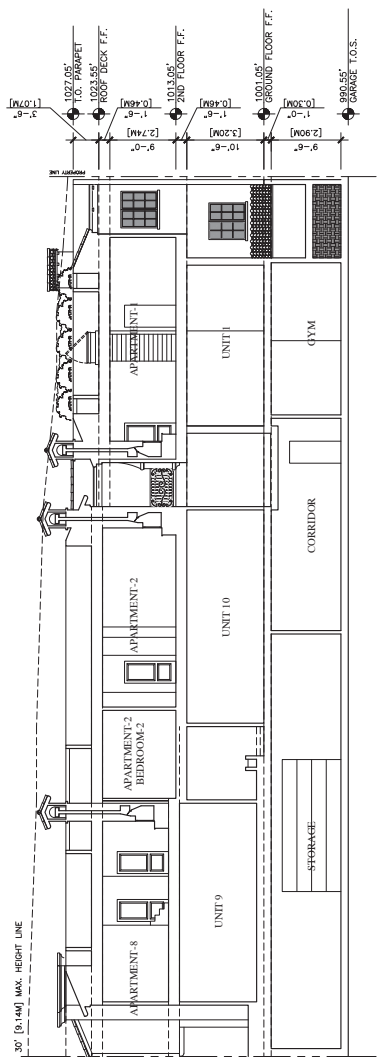
DATE: DECEMBER 18, 2020
 TRACK-2 SUBMITTAL

REVISIONS:
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 △ EGRESS & BEACH COMMISSION
 △ HISTORIC BOARD COMMISSION
 △ APRIL 15, 2021
 △ BESSD TRACK-2 APPLICATION

Attachments
 SECTIONS
 SHEET NO. **A65**

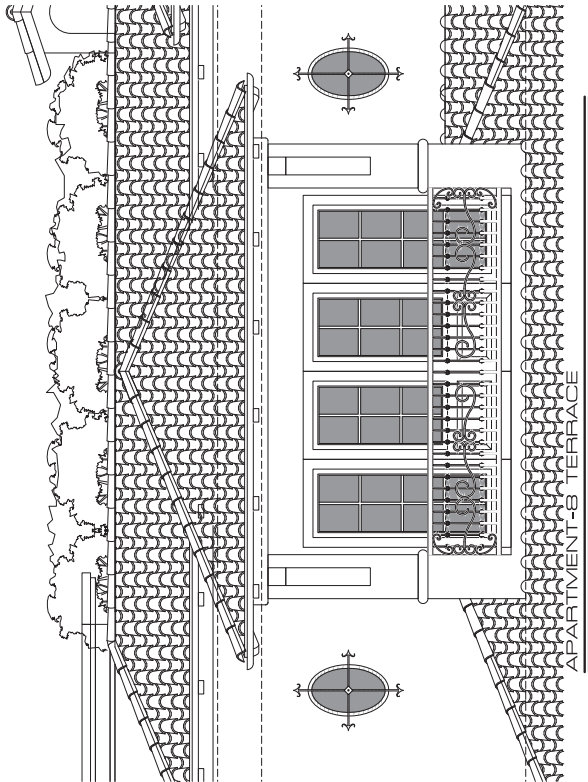


SECTION G
 1/8" = 1'-0"

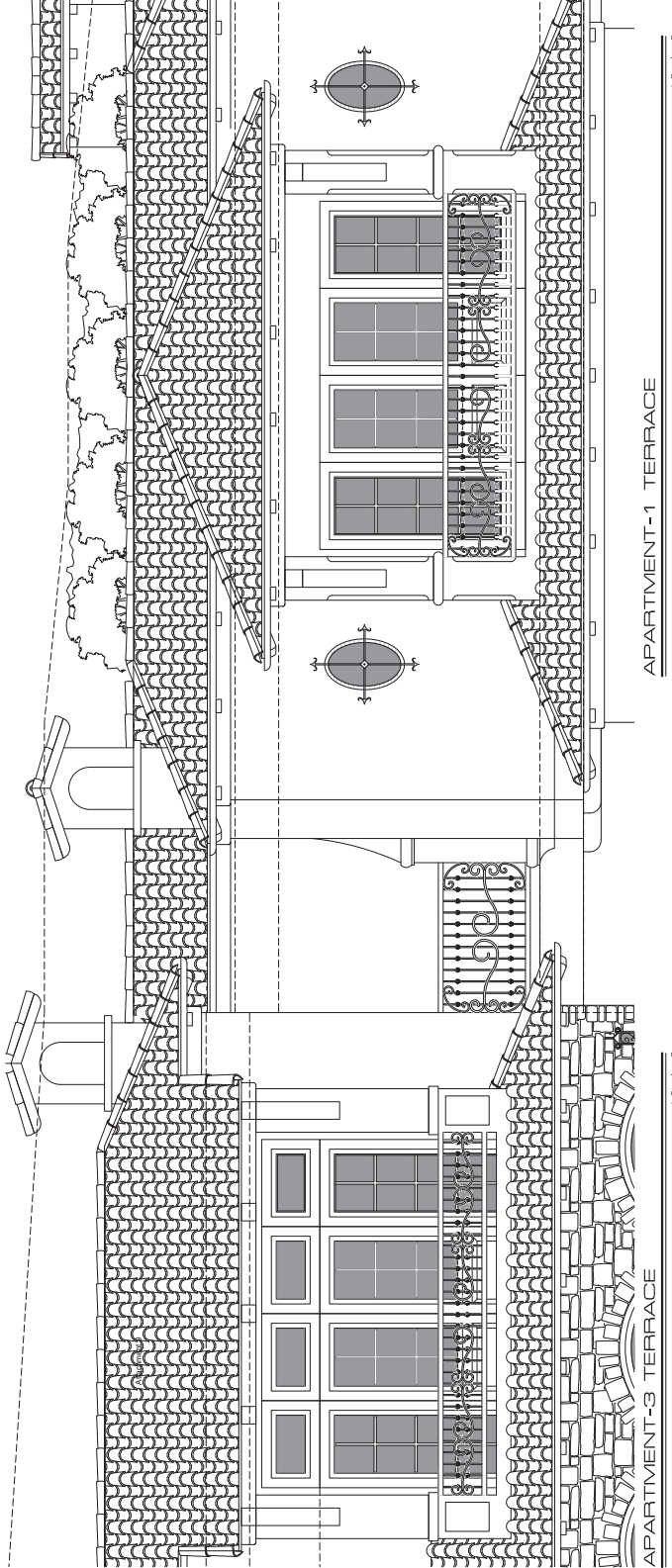


SECTION F
 1/8" = 1'-0"

Attachment 9



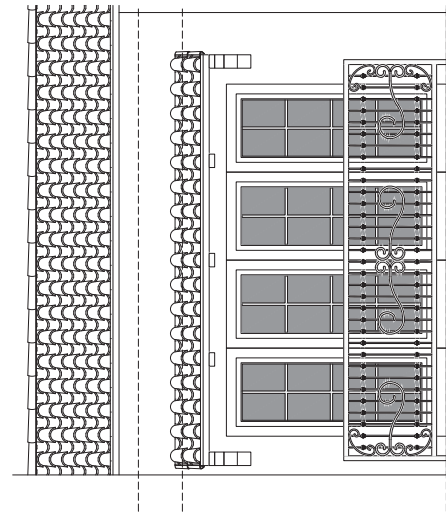
1/2"=1'-0"



APARTMENT-1 TERRACE

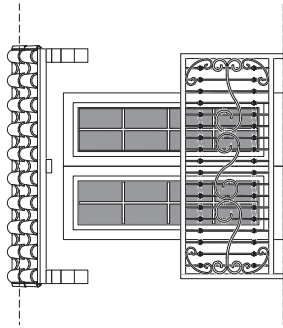
1/2"=1'-0"

1/2"=1'-0"



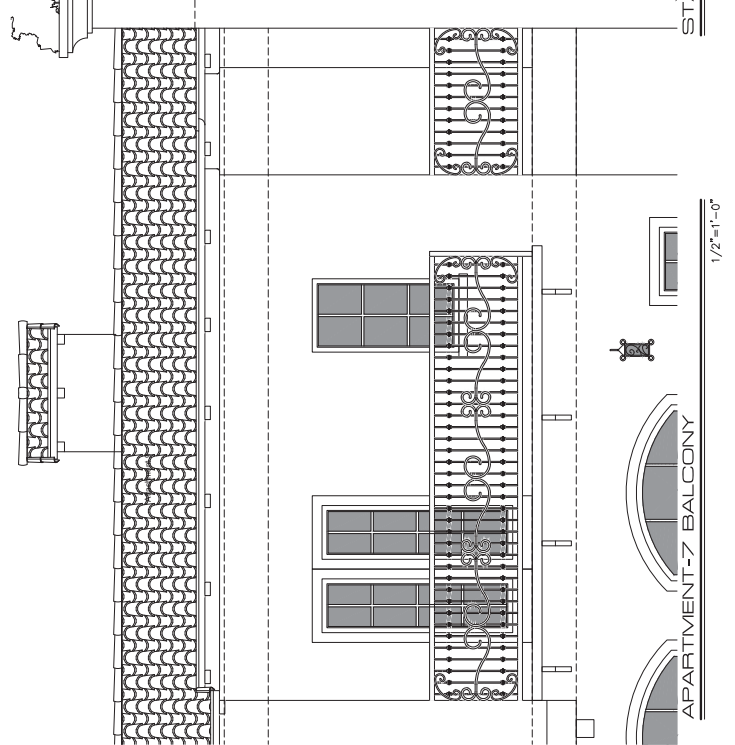
APARTMENT-4 BALCONY

1/2"=1'-0"



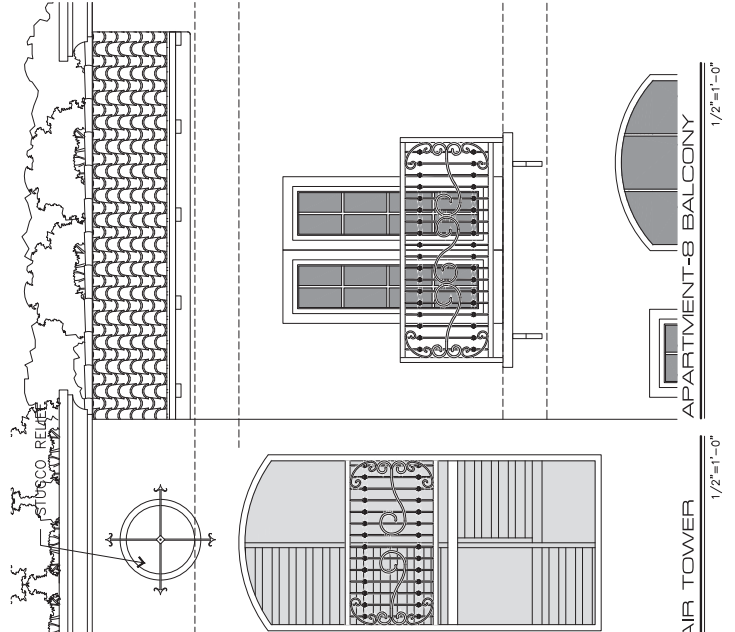
TYP. BALCONY (APT. 56.7)

1/2"=1'-0"



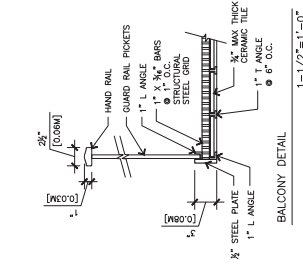
APARTMENT-7 BALCONY

1/2"=1'-0"



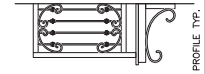
APARTMENT-8 BALCONY

1/2"=1'-0"



BALCONY DETAIL

1-1/2"=1'-0"



BALCONY PROFILE TYP. 1/2"=1'-0"

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STAMPS

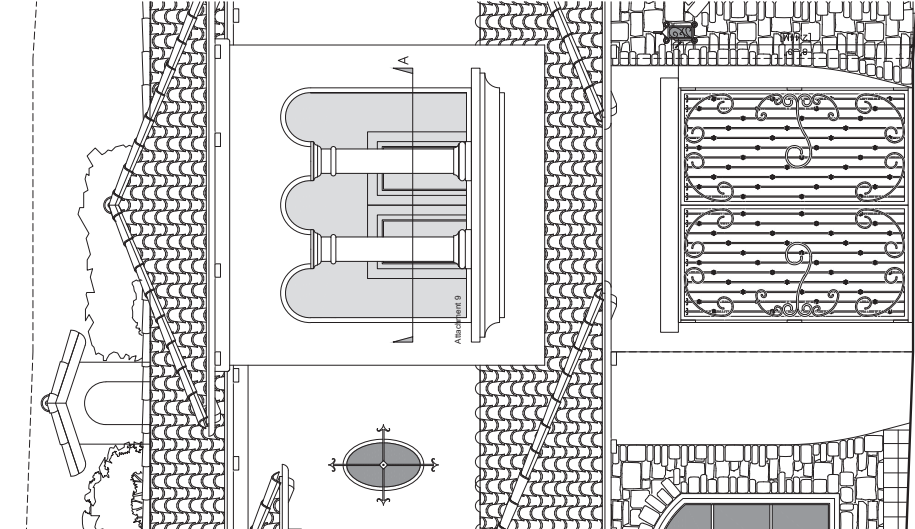
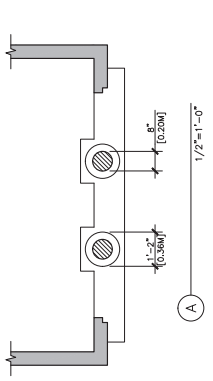
PROJECT/CLIENT:
 JB PASTOR BUILDING

PROJECT ADDRESS:
 DOLORES, 2ND SE OF 7TH
 CARMEL, CA 93921

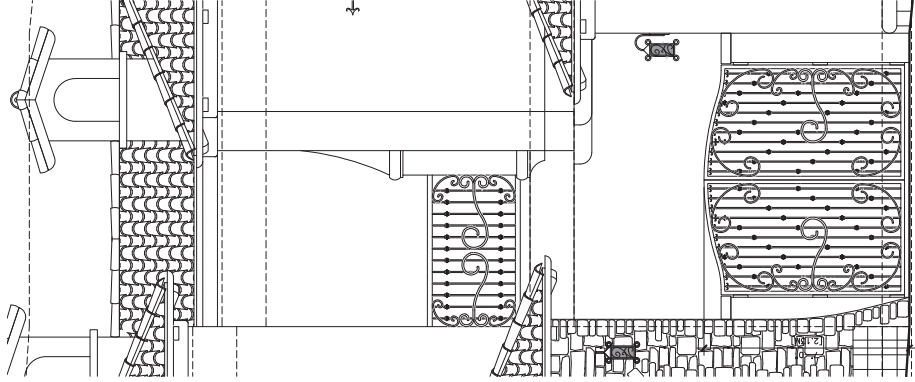
APN: 010-145-012
 022. & 023

DATE: DECEMBER 18, 2020
 TRACK-2 SUBMITTAL

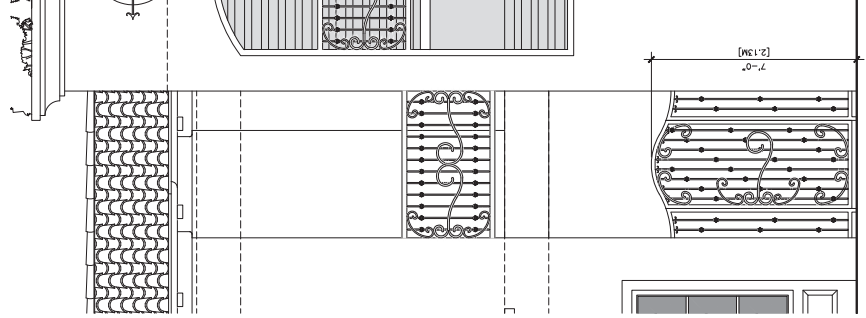
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 - △ HISTORIC BOARD COMMISSION
 - △ APRIL 15, 2021
 - △ BEISD TRACK-2 APPLICATION



NORTHWEST GATE & TOWER
 1/2" = 1'-0"



SOUTHWEST GATE
 1/2" = 1'-0"



NORTH ACCESS GATE
 1/2" = 1'-0"

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**ESPERANZA
 CARMEL
 COMMERCIAL LLC**

PROJECT ADDRESS:
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 2 SE of 7th Ave,
 CARMEL, CA 93921**

PHONE: 831-646-1261



DATE: DECEMBER 18, 2020
 TRACK II SUBMITTAL

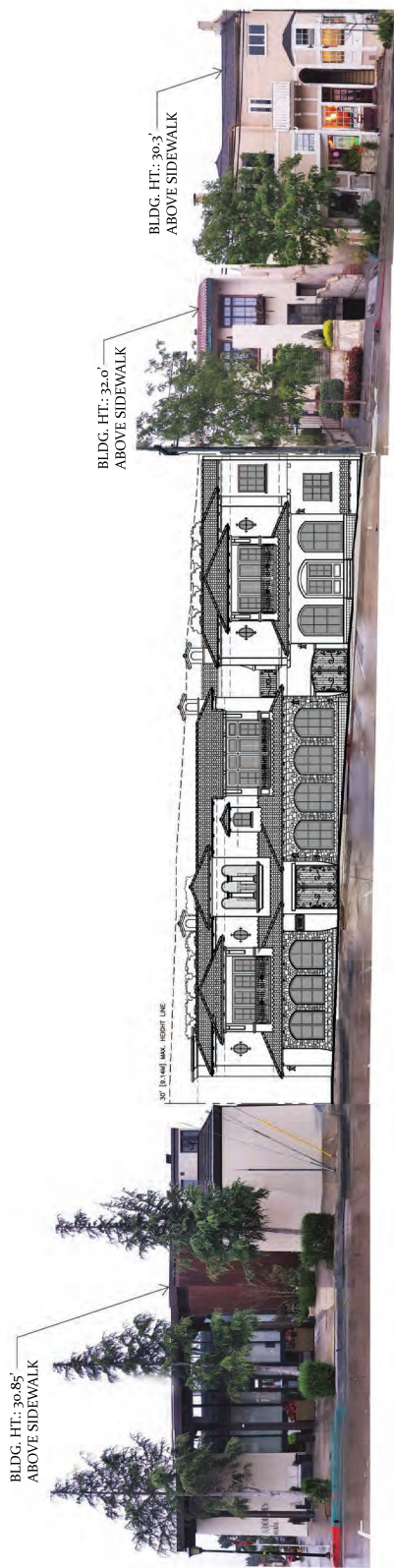
REVISIONS:

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- ▲ APRIL 14, 2021 HISTORIC BOARD COMMISSION
- ▲ APRIL 14, 2021 HISTORIC BOARD COMMISSION
- ▲ APRIL 14, 2021 HISTORIC BOARD COMMISSION
- ▲ APRIL 14, 2021 HISTORIC BOARD COMMISSION
- ▲ APRIL 14, 2021 HISTORIC BOARD COMMISSION
- ▲ APRIL 14, 2021 HISTORIC BOARD COMMISSION
- ▲ APRIL 14, 2021 HISTORIC BOARD COMMISSION

Attachment 4
A81

JB-PASADOK
 STREETSCAPES

SHEET NO.



DOLORES STREETScape - EAST SIDE



DOLORES STREETScape - WEST SIDE



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STAMPS



ADJACENT BUILDING
 N.T.S.

ADJACENT BUILDING
 N.T.S.

PROJECT/CLIENT:
JB PASTOR BUILDING

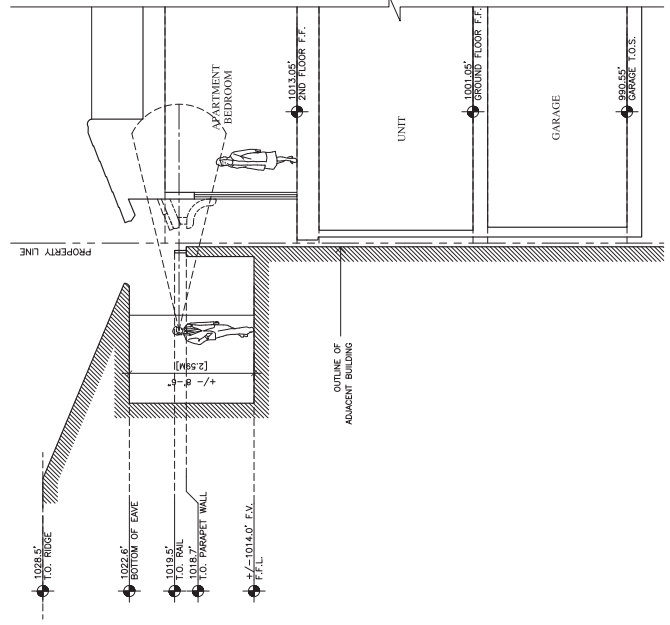
PROJECT ADDRESS:
DOLORES, 2ND SE OF 7TH CARMEL, CA 93921

APN: 010-145-012 022, & 023

DATE: DECEMBER 18, 2020
 TRACK-2 SUBMITTAL

REVISIONS:
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 APRIL 15, 2021
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ADJACENT BUILDING ELEVATIONS
 SHEET NO. **A801**

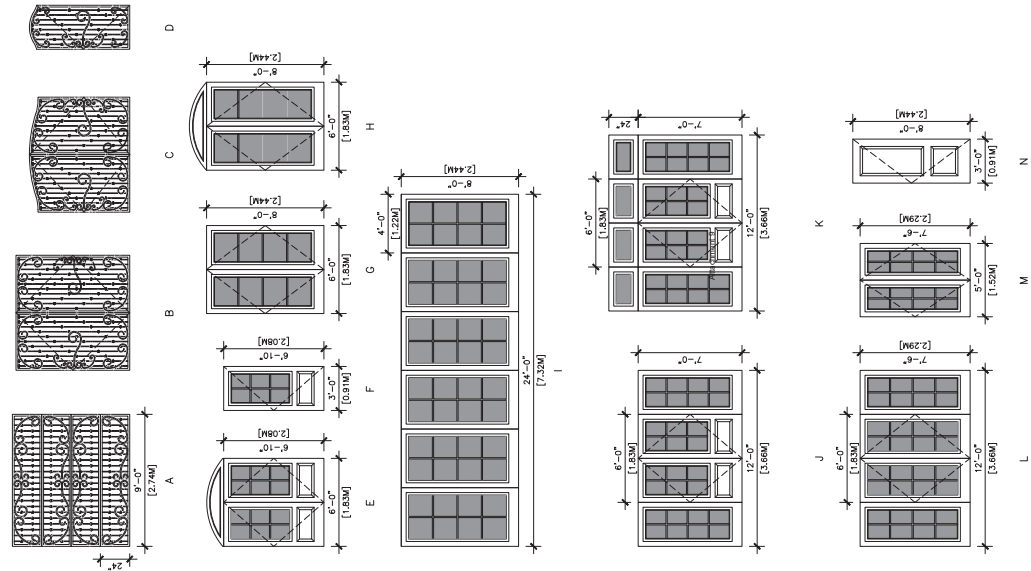


SECTION THRU ADJACENT BUILDING
 1/4" = 1'-0"



ADJACENT BUILDING
 N.T.S.

DOOR TYPES
SCALE: 1/4" = 1'-0"



EXTERIOR DOOR SCHEDULE

Door No.	Door Size (Finished)		Style	Material	Core	Glass		Temp	Finish		Remarks
	Width	Height				Type	Thickness		Interior	Exterior	
BASEMENT											
1	8'-0"	7'-0"	A	MR. IRON	---	---	---	---	---	---	ROLL-UP
2	3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING
3	PAIR 3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING
4	18'-0"	8'-0"	1-3/4"	---	---	---	---	---	---	---	ROLL-UP
5	3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING
6	3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING
7	3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING
8	3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING
9	3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING
10	3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING
11	3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING
12	3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING
13	3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING
GROUND FLOOR											
20	PAIR 3'-0"	7'-0"	1-3/4"	E	DBL-PANE	---	---	---	---	---	SWING
21	PAIR 4'-0"	7'-0"	1-3/4"	B	MR. IRON	---	---	---	---	---	SWING
22	PAIR 4'-0"	8'-0"	1-3/4"	C	MR. IRON	---	---	---	---	---	SWING
23	3'-0"	8'-0"	1-3/4"	F	---	---	---	---	---	---	SWING
24	3'-0"	8'-0"	1-3/4"	F	---	---	---	---	---	---	SWING
25	3'-0"	8'-0"	1-3/4"	D	MR. IRON	---	---	---	---	---	SWING
26	3'-0"	8'-0"	1-3/4"	F	---	---	---	---	---	---	SWING
27	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	---	---	---	---	SWING
28	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	---	---	---	---	SWING
29	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	---	---	---	---	SWING
30	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	---	---	---	---	SWING
31	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	---	---	---	---	SWING
32	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	---	---	---	---	SWING
33	PAIR 3'-0"	8'-0"	1-3/4"	H	---	---	---	---	---	---	SWING
34	SIX 4'-0"	8'-0"	1-3/4"	I	---	---	---	---	---	---	BI-FOLD
35	PAIR 3'-0"	8'-0"	1-3/4"	H	---	---	---	---	---	---	SWING
36	PAIR 3'-0"	8'-0"	1-3/4"	H	---	---	---	---	---	---	SWING
37	PAIR 3'-0"	8'-0"	1-3/4"	H	---	---	---	---	---	---	SWING
38	PAIR 3'-0"	8'-0"	1-3/4"	H	---	---	---	---	---	---	SWING
39	3'-0"	8'-0"	1-3/4"	G	---	---	---	---	---	---	SWING
2ND FLOOR											
50	PAIR 3'-0"	7'-8"	1-3/4"	J	---	---	---	---	---	---	SWING
51	PAIR 3'-0"	7'-8"	1-3/4"	N	---	---	---	---	---	---	SWING
52	3'-0"	7'-0"	1-3/4"	D	MR. IRON	---	---	---	---	---	GATE
53	3'-0"	7'-0"	1-3/4"	N	---	---	---	---	---	---	SWING
54	3'-0"	7'-8"	1-3/4"	N	---	---	---	---	---	---	SWING
55	3'-0"	7'-8"	1-3/4"	N	---	---	---	---	---	---	SWING
56	3'-0"	7'-8"	1-3/4"	N	---	---	---	---	---	---	SWING
57	PAIR 2'-6"	7'-6"	1-3/4"	M	---	---	---	---	---	---	SWING
58	PAIR 2'-6"	7'-6"	1-3/4"	M	---	---	---	---	---	---	SWING
59	PAIR 2'-6"	7'-6"	1-3/4"	M	---	---	---	---	---	---	SWING
60	PAIR 2'-6"	7'-6"	1-3/4"	M	---	---	---	---	---	---	SWING
61	PAIR 2'-6"	7'-6"	1-3/4"	M	---	---	---	---	---	---	SWING
62	PAIR 3'-0"	7'-8"	1-3/4"	L	---	---	---	---	---	---	SWING
63	3'-0"	7'-8"	1-3/4"	N	---	---	---	---	---	---	SWING
64	3'-0"	7'-8"	1-3/4"	N	---	---	---	---	---	---	SWING
65	3'-0"	7'-8"	1-3/4"	N	---	---	---	---	---	---	SWING
66	3'-0"	7'-8"	1-3/4"	N	---	---	---	---	---	---	SWING
67	PAIR 3'-0"	7'-6"	1-3/4"	K	---	---	---	---	---	---	SWING
68	PAIR 3'-0"	7'-6"	1-3/4"	M	---	---	---	---	---	---	SWING
69	PAIR 3'-0"	7'-6"	1-3/4"	J	---	---	---	---	---	---	SWING
70	PAIR 2'-6"	7'-6"	1-3/4"	M	---	---	---	---	---	---	SWING
ROOF											
110	4'-3"	12'-0"	1-3/4"	---	METAL	---	---	---	---	---	SWING-UP
111	4'-3"	12'-0"	1-3/4"	---	METAL	---	---	---	---	---	SWING-UP
112	4'-3"	12'-0"	1-3/4"	---	METAL	---	---	---	---	---	SWING-UP
113	3'-6"	12'-0"	1-3/4"	---	METAL	---	---	---	---	---	SWING-UP
114	4'-3"	12'-0"	1-3/4"	---	METAL	---	---	---	---	---	SWING-UP

DOOR NOTES:

ALL GLAZING IN DOORS SHALL BE TEMP. GLASS.
 DOOR SIZES SHOWN ARE PROPOSED DOOR LEAF SIZES. GENERAL CONTRACTOR TO VERIFY MANUFACTURER'S NEAREST STOCK SIZES FOR DESIGNER/OWNER TO REVIEW AND APPROVE.
 SPECIALLY DOORS SHALL BE COORDINATED WITH GENERAL CONTRACTOR FOR SITE VERIFICATION AND INSTALLATION.
 ALL EXTERIOR DOORS SHALL HAVE A COPPER PAN, 3/4" MAX THRESHOLD, & BRASS HINGES. OUTSWING DOORS SHALL HAVE A 1-1/2" MAX CHANGE IN ELEVATION TO THE EXTERIOR.
 ALL EXPOSED EDGES TO BE SEALED TO PREVENT MOISTURE PENETRATION AND WARPING.
 ALL FRENCH DOORS ARE TO HAVE DEAD BOLTS.
 CONTRACTOR TO VERIFY ALL ASPECTS OF DOORS WITH OWNER PRIOR TO ORDERING
 EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITION-RESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8" INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1-1/4" INCHES THICK. SHALL HAVE A FIRE-RESISTANCE RATING OF SW-7A-1. [BR27&3]
 ALL EXTERIOR GLAZED DOORS ARE TO BE DOUBLE GLAZED, WITH A MINIMUM OF ONE TEMPERED PANE, GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SW 12-7A-2. [BR27&2.1]

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 PACIFIC, UTAH 84650
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DISCLAIMER: THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE DESIGN SERVICES TO THE CLIENT. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE RESULTS OF THE DESIGN SERVICES. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN SERVICES PROVIDED AND DOES NOT EXTEND TO THE CONSTRUCTION OF THE PROJECT.

PROJECT/CLIENT:
JB PASTOR
BUILDING
DOLORIS, 2ND SE
OF 7TH
CARMEL, CA
93921
 APN: 010-145-012
 022. & 023

PROJECT ADDRESS:
DOLORIS, 2ND SE
OF 7TH
CARMEL, CA
93921

DATE: DECEMBER 18, 2020
 TRACK-2 SUBMITTAL

REVISIONS:
 MARCH 4, 2021
 FOREST & BEACH COMMISSION
 HISTORIC BOARD COMMISSION
 APRIL 15, 2021
 BESSIE TRACK-2 APPLICATION

Attache
SCHIELE
A92
 SHEET NO.

WINDOW SCHEDULE

Window No	Window No	Window Size (Finished)		Style	Type	Material	Gloss Type	Finish		Remarks
		Width	Height					Exterior	Interior	
1	2ND FLOOR	5'-0"	7'-6"	Q	WOOD	DBL-PANE	---	METAL-CLAD	---	
61	2'-6"	5'-0"	7'-6"	K	WOOD	DBL-PANE	---	METAL-CLAD	---	
62	2'-6"	5'-0"	7'-6"	J	WOOD	DBL-PANE	---	METAL-CLAD	---	
63	5'-0"	5'-0"	7'-6"	M	WOOD	DBL-PANE	---	METAL-CLAD	---	
64	1'-9"	2'-9"	7'-6"	M	WOOD	DBL-PANE	---	METAL-CLAD	---	
66	2'-6"	7'-6"	7'-6"	G	WOOD	DBL-PANE	---	METAL-CLAD	---	
67	1'-9"	2'-9"	7'-6"	G	WOOD	DBL-PANE	---	METAL-CLAD	---	
68	2'-0"	5'-0"	7'-6"	J	WOOD	DBL-PANE	---	METAL-CLAD	---	
69	5'-0"	5'-0"	7'-6"	J	WOOD	DBL-PANE	---	METAL-CLAD	---	
70	1'-0"	2'-0"	7'-6"	G	WOOD	DBL-PANE	---	METAL-CLAD	---	
71	1'-0"	2'-0"	7'-6"	G	WOOD	DBL-PANE	---	METAL-CLAD	---	
73	2'-0"	4'-0"	7'-6"	---	WOOD	DBL-PANE	---	METAL-CLAD	---	
74	4'-0"	7'-6"	7'-6"	---	WOOD	DBL-PANE	---	METAL-CLAD	---	
75	5'-0"	5'-0"	7'-6"	0	WOOD	DBL-PANE	---	METAL-CLAD	---	
77	2'-6"	5'-0"	7'-6"	0	WOOD	DBL-PANE	---	METAL-CLAD	---	
78	2'-6"	5'-0"	7'-6"	J	WOOD	DBL-PANE	---	METAL-CLAD	---	
79	5'-0"	5'-0"	7'-6"	Q	WOOD	DBL-PANE	---	METAL-CLAD	---	
80	2'-6"	5'-0"	7'-6"	P	WOOD	DBL-PANE	---	METAL-CLAD	---	
81	2'-6"	5'-0"	7'-6"	P	WOOD	DBL-PANE	---	METAL-CLAD	---	
82	2'-6"	5'-0"	7'-6"	P	WOOD	DBL-PANE	---	METAL-CLAD	---	
84	2'-6"	4'-0"	7'-6"	J	WOOD	DBL-PANE	---	METAL-CLAD	---	
85	2'-6"	4'-0"	7'-6"	J	WOOD	DBL-PANE	---	METAL-CLAD	---	
86	2'-6"	4'-0"	7'-6"	J	WOOD	DBL-PANE	---	METAL-CLAD	---	
87	2'-6"	5'-0"	7'-6"	J	WOOD	DBL-PANE	---	METAL-CLAD	---	
88	2'-6"	7'-6"	7'-6"	G	WOOD	DBL-PANE	---	METAL-CLAD	---	
89	2'-6"	7'-6"	7'-6"	G	WOOD	DBL-PANE	---	METAL-CLAD	---	
90	5'-0"	5'-0"	7'-6"	Q	WOOD	DBL-PANE	---	METAL-CLAD	---	
91	5'-0"	5'-0"	7'-6"	Q	WOOD	DBL-PANE	---	METAL-CLAD	---	
92	2'-0"	2'-0"	7'-6"	---	WOOD	DBL-PANE	---	METAL-CLAD	---	
93	3'-0"	5'-0"	7'-6"	P	WOOD	DBL-PANE	---	METAL-CLAD	---	
94	3'-0"	5'-0"	7'-6"	P	WOOD	DBL-PANE	---	METAL-CLAD	---	
96	1'-9"	2'-9"	7'-6"	M	WOOD	DBL-PANE	---	METAL-CLAD	---	
97	2'-6"	7'-6"	7'-6"	G	WOOD	DBL-PANE	---	METAL-CLAD	---	
98	2'-6"	7'-6"	7'-6"	G	WOOD	DBL-PANE	---	METAL-CLAD	---	
99	1'-9"	2'-9"	7'-6"	M	WOOD	DBL-PANE	---	METAL-CLAD	---	
100	2'-6"	5'-0"	7'-6"	P	WOOD	DBL-PANE	---	METAL-CLAD	---	
101	2'-6"	5'-0"	7'-6"	P	WOOD	DBL-PANE	---	METAL-CLAD	---	
102	2'-6"	5'-0"	7'-6"	P	WOOD	DBL-PANE	---	METAL-CLAD	---	
103	4'-6"	5'-0"	7'-6"	J	WOOD	DBL-PANE	---	METAL-CLAD	---	
104	4'-6"	5'-0"	7'-6"	J	WOOD	DBL-PANE	---	METAL-CLAD	---	
105	4'-6"	5'-0"	7'-6"	J	WOOD	DBL-PANE	---	METAL-CLAD	---	
106	2'-6"	5'-0"	7'-6"	P	WOOD	DBL-PANE	---	METAL-CLAD	---	
107	2'-6"	5'-0"	7'-6"	P	WOOD	DBL-PANE	---	METAL-CLAD	---	
108	2'-6"	5'-0"	7'-6"	J	WOOD	DBL-PANE	---	METAL-CLAD	---	
110	2'-0"	5'-0"	7'-6"	---	WOOD	DBL-PANE	---	METAL-CLAD	---	
111	2'-6"	5'-0"	7'-6"	J	WOOD	DBL-PANE	---	METAL-CLAD	---	
112	2'-6"	5'-0"	7'-6"	J	WOOD	DBL-PANE	---	METAL-CLAD	---	
113	2'-6"	7'-6"	7'-6"	H	WOOD	DBL-PANE	---	METAL-CLAD	---	
114	2'-6"	2'-0"	9'-6"	H	WOOD	DBL-PANE	---	METAL-CLAD	---	
115	2'-6"	2'-0"	9'-6"	H	WOOD	DBL-PANE	---	METAL-CLAD	---	
116	2'-6"	2'-0"	9'-6"	H	WOOD	DBL-PANE	---	METAL-CLAD	---	
117	2'-6"	7'-6"	7'-6"	H	WOOD	DBL-PANE	---	METAL-CLAD	---	
118	2'-6"	2'-0"	9'-6"	H	WOOD	DBL-PANE	---	METAL-CLAD	---	
119	2'-6"	4'-0"	9'-6"	I	WOOD	DBL-PANE	---	METAL-CLAD	---	

WINDOW NOTES:

ALL CASEMENT WINDOWS USED IN BEDROOMS AS EMERGENCY EGRESS MUST BE "BREAK AWAY" TYPE TO ENSURE COMPLETE OPERABLE AREA FOR ACCESS.

WINDOW DIMENSIONS ARE PROPOSED FINISHED OPENING SIZES. GENERAL CONTRACTOR IS TO VERIFY MANUFACTURER'S NEAREST STOCK SIZES. ALL WINDOW SIZES, SHARES, COLORS, HARDWARE, SCREENS, GLAZING, ETC. MUST BE APPROVED BY OWNER PRIOR TO ORDERING.

SPECIALTY WINDOWS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR FOR SITE VERIFICATION AND INSTALLATION.

ALL WINDOWS ARE TO BE DOUBLE GLAZED WITH A MINIMUM OF ONE TEMPERED PANE GLASS BLOCK UNITS. HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 253, OR MEET THE REQUIREMENTS OF SEM 12-74-2. (863278.2.1)

OWNERS TO SPECIFY WHICH WINDOW ARE TO BE LOW "E".

FOR WINDOWS THAT SERVE AS EMERGENCY EGRESS FROM SLEEPING AREAS:

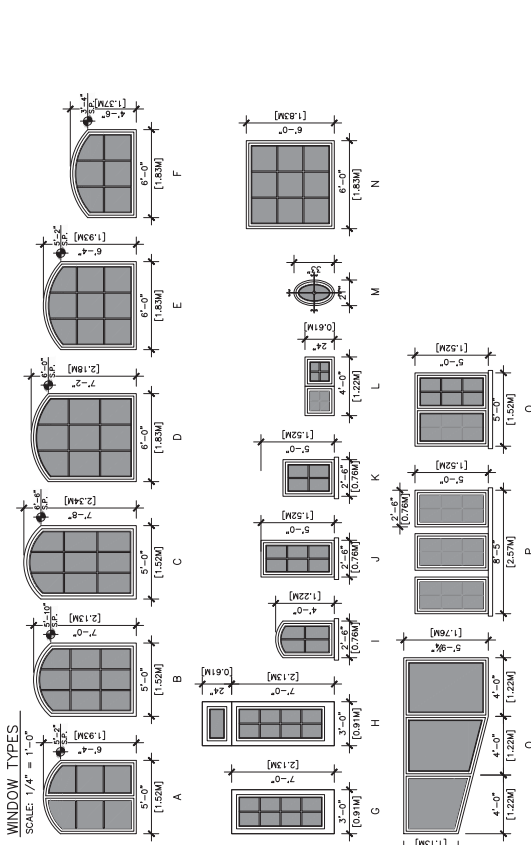
- MINIMUM NET CLEAR OPERABLE DIMENSION OF 20 INCHES IN WIDTH.
- MINIMUM NET CLEAR OPERABLE DIMENSION OF 5.7 SQUARE FEET IN AREA.
- SILL HEIGHTS OF SUCH OPENINGS SHALL NOT EXCEED 44 INCHES ABOVE FLOOR

ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED TO COMPLY WITH HUMAN IMPACT LOADS PER IRC SECTIONS R308.3 & R308.4 AND LISTED BELOW:

- FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARCH OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - GLAZING IS ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM BATHS, BATHUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

WINDOW SCHEDULE

Window No	Window No	Window Size (Finished)		Style	Type	Material	Gloss Type	Finish		Remarks
		Width	Height					Exterior	Interior	
1	BASEMENT	4'-0"	9'-0"	0	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
2	2'-0"	V.I.F.	9'-0"	0	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
3	4'-0"	V.I.F.	9'-0"	0	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
GROUND FLOOR										
10	5'-0"	5'-0"	7'-6"	Q	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
11	4'-0"	2'-0"	7'-6"	L	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
12	4'-0"	2'-0"	7'-6"	L	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
13	4'-0"	2'-0"	7'-6"	L	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
14	5'-0"	7'-6"	7'-6"	C	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
16	5'-0"	7'-6"	7'-6"	C	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
17	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
18	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
19	5'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
20	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
21	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
22	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
23	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
24	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
25	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
26	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
28	6'-0"	4'-6"	8'-6"	F	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
29	6'-0"	4'-6"	8'-6"	F	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
30	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
31	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
32	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
33	6'-0"	7'-2"	8'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
34	6'-0"	7'-2"	8'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
35	5'-0"	6'-4"	8'-7"	A	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
36	5'-0"	6'-4"	8'-7"	A	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
37	5'-0"	6'-4"	8'-7"	A	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
38	6'-0"	6'-4"	8'-7"	E	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
39	6'-0"	6'-4"	8'-7"	E	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
40	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
41	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
42	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
43	4'-0"	7'-0"	9'-0"	B	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
44	5'-0"	7'-0"	9'-0"	B	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
45	5'-0"	7'-0"	9'-0"	B	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
46	5'-0"	7'-0"	9'-0"	B	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
47	5'-0"	7'-0"	9'-0"	B	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
48	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
49	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
50	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---
51	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---





CITY OF CARMEL-BY-THE-SEA HISTORIC RESOURCES BOARD Staff Report

May 17, 2021
ORDERS OF BUSINESS

TO:	Historic Resources Board Commissioners
SUBMITTED BY:	Evan Kort, Associate Planner
SUBJECT:	Consideration of a Finding of Noncompliance with the Secretary of the Interior's Standards for the demolition of the Palo Alto Savings and Loan Bank Community Room. APN: 010-101-017

RECOMMENDATION:

Adopt a Resolution (Attachment 1) issuing a Finding of Noncompliance with the Secretary of the Interior's Standards for the demolition of the Palo Alto Savings and Loan Bank Community Room.

BACKGROUND/SUMMARY:

The project site is located on Dolores 2 southeast of 7th on a 12,000 square foot lot comprised of three lots of record (Block: 91, Lots: 6, 8, 10). The applicant is proposing to demolish all improvements across the three lots and construct a 16,898 square foot two story mixed-use development with a 11,371 square foot basement garage. Two-thirds of the project site (lots 6 & 8) are located on part of the Palo Alto Savings and Loan Bank complex which currently occupies Lots 2, 4, 6, and 8 of Block 91.

The Palo Alto Savings and Loan Bank complex, consisting of a bank building and detached community room building, was constructed in 1972 and was designed by noted architects, Walter Burde and William Shaw, both of whom are listed in the City's Historic Context Statement. While the Palo Alto Savings and Loan buildings are characteristic of the Second Bay Region Tradition of architecture, and designed by noted architects, the complex was deemed ineligible for listing on the City's Historic Inventory as well as the National Register. In 2019, a Determination of Ineligibility was issued for the property by the City Council following the appeal of the Historic Resources Board's decision to add the property to the City's Historic Inventory; the Determination of Ineligibility will expire on October 26, 2022. While the complex is not eligible for listing on the nation or local inventory, it was previously determined that the site is eligible for listing on the California Register of Historic Resources (CRHR) and the complex, as a whole, is a historic resource for the purposes of the California Environmental Quality Act (CEQA).

At the April 19, 2021 Historic Resources Board Meeting, the Board considered a Determination of Consistency for the demolition of the Palo Alto Saving and Loan Community Room. At the April 19th hearing, Staff had prepared a Resolution (Attachment 2) issuing a Determination of Consistency with the Secretary's Standards for the demolition of the Community Room, however, the Board voted 2-1 (2 members absent) to continue the item with direction to Staff to prepare a Resolution issuing a Finding of Noncompliance for the proposed demolition of the Community Room.

Staff has prepared a Resolution issuing a Finding of Noncompliance for consideration and adoption by the Historic Resources Board as directed at the April 19th hearing (Attachment 1).

FISCAL IMPACT:

N/A

ATTACHMENTS:

- Attachment 1 - Resolution - Finding of Noncompliance
- Attachment 2 - Resolution from April 19th hearing - Not Adopted
- Attachment 3 - HRB Comments and Findings
- Attachment 4 - Preliminary Project Plans

Historic Resources Board

May 17, 2021

Attachment 1

Resolution - Finding of Noncompliance

**CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD**

HISTORIC RESOURCES BOARD RESOLUTION NO. 2021-XXX-HRB

A RESOLUTION OF THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA ISSUING A FINDING OF NONCOMPLIANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE DEMOLITION OF THE PALO ALTO SAVINGS AND LOAN BANK COMMUNITY ROOM. APN: 010-101-017

WHEREAS, Alem Dermicek, on behalf of International Design Group, ("Applicant") submitted an application requesting the approval of a Design Review "DR 20-395" described herein ("Application"); and

WHEREAS, the application has been submitted for the 12,000 square foot property located at Dolores 2 southeast of 7th Avenue, in the Service Commercial (SC) Zoning District (Block 91, Lot 6, 8, 10, APN 010-101-017-000); and

WHEREAS, the applicant is proposing to demolish all improvements across the three lots and construct a 16,898 square foot two story mixed-use development with a 11,371 square foot basement garage. Two-thirds of the project site (lots 6 & 8) are located on part of the Palo Alto Savings and Loan Bank complex (comprised of a bank building and a community room) which currently occupies Lots 2, 4, 6, and 8 of Block 91; and

WHEREAS, the complex is not eligible for listing on the national or local inventory as it fails to meet the 50-year old age requirement, however, the complex is eligible for listing on the California Register of Historic Resources (CRHR); and

WHEREAS, in 2019, a Determination of Ineligibility for listing on the City's Historic Inventory was issued for the complex and will expire on October 26, 2022; and

WHEREAS, on April 19, 2021, the Historic Resources Board reviewed the project, DR 20-395, and considered the issuance a Determination of Consistency with the Secretary of the Interior's Standards for the demolition of the Palo Alto Savings and Loan Bank Community Room; and

WHEREAS, pursuant to CMC 17.32.160.B, determinations of consistency for major alterations shall be prepared by a qualified professional and shall be supported by written documentation that (1) identifies which of the Secretary of the Interior's Standards for Rehabilitation are applicable to the project, (2) reviews the proposed project, and (3) explains the basis of the determination; and

WHEREAS, a Phase II report was prepared by a qualified professional, Margaret Clovis, dated March 1, 2021, and found the proposed amendments to be consistent with the Secretary of the Interior's Standards for Rehabilitation provided the recommendations outlined in the report were carried out; and

WHEREAS, pursuant to CMC 17.32.160.B.1.a, if the Board concurs with the evaluation, the Board shall issue a determination of consistency and adopt any appropriate conditions of approval. Any finding of compliance by the Board shall be supported by substantial evidence.; and

WHEREAS, pursuant to CMC 17.32.160.B.1.b, if the Board does not concur, the Board may request additional information prior to issuance of a determination of consistency, or may issue a finding of

noncompliance with the Secretary’s Standards. Any finding of noncompliance by the Board shall be supported by substantial evidence; and

WHEREAS, at the April 19, 2021 hearing, the Historic Resources Board voted 2-1 (2 board members absent) to continue the application with direction to staff to return with a resolution issuing a Finding of Noncompliance with the Secretary of the Interior’s Standards; and

WHEREAS, notice of the public hearing was published in compliance with State law (California Government Code 54954.2.); and

WHEREAS, on May 17, 2021, the Historic Resources Board held a public hearing to receive public testimony regarding the Application, including without limitation, information provided to the Historic Resources Board by City staff and public testimony on the project; and

WHEREAS, this Resolution and its findings are made based upon evidence presented to the Historic Resources Board at its May 17, 2021 hearing including but not limited to, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Historic Resources Board did hear and consider all said reports, attachments, recommendations and testimony herein above set forth and used their independent judgement to evaluate the project; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference; and

NOW THEREFORE, BE IT RESOLVED, based on the findings and evidence contained in this resolution, that the Historic Resources Board of the City of Carmel-By-The-Sea does hereby issue a **Finding of Noncompliance with the Secretary of the Interior’s Standards** for the proposed demolition of the Palo Alto Savings and Loan Bank Community Room (Design Review DR 20-395) located at Dolores 2 southeast of 7th Avenue, in the Service Commercial (SC) Zoning District (Block 91, Lot 6, 8, 10, APN 010-101-017-000).

Findings of Noncompliance	
No.	
1.	The purposes of historic preservation and the city’s historic preservation ordinance is to preserve the best pieces of the historic development of a place/city through its significant architecture to preserve these buildings which represent important periods in a City's heritage. The Palo Alto Savings and Loan building can be considered one of the most exceptional and significant buildings to be constructed in the commercial district of Carmel during the entire decade of the 1970's.
2.	The City’s Historic Context Statement identifies the Bay Region style and/or Second Bay Region Style as important substyle within the larger theme of Modern architecture -the building is "representative of at least one theme" in the existing Historic Context Statement.
3.	The building is acknowledged as exceptionally significant and is 49 years old. In less than one year, it will only need to be of normal significance for inclusion on the inventory.

4.	Together, the bank building and community room creates a spatial relationships on the property which are in themselves character defining, uses the same character defining elements of construction and detail, are built at the same time, designed and built by the same master architects.
5.	Pertinent testimony from a number of respected architects who opined that the former Palo Alto Savings and Loan Bank was an exceptional example of its architectural style, the work of master architects, retained a high level of integrity and embodied the distinctive characteristics of its type and period. Their professional opinions confirmed that sufficient time had elapsed since the construction of the Bank complex to allow for a scholarly perspective on its significance and its place in Carmel's architectural history.
6.	Following the Bank president's mandate, bank staff in each city where a branch was to be located, were directed to become more involved in local improvement projects and to provide meeting space for the community as part of the Bank's public relations strategy. Burde and Shaw, the architects of the Bank complex, were tasked to design a small building separated from the Bank that would be used for this express purpose. The view contained in the Phase II Report for this project that the Community Room was simply "a postscript to the architects' intentions" is false.
7.	The Community Room is not required to become significant in its own right. There are no historic preservation rules that would force it to stand on its individual merit in order to qualify for historic status. The Community Room remains a vital part of the architects' original design. While it is subordinate to the former Bank building, it continues to have an important spatial relationship to it.
8.	The Bank building and the Community Room are a historically related unit. Though the room is subordinate to the Bank, it has retained its historic integrity and is an integral component of the original design as approved by the architects' client, the owners of the Palo Alto Savings and Loan Bank.
9.	In the case of the Community Room, despite being an auxiliary use it was still part of the original concept of the building from the beginning.
10.	Simply because an element of a building is smaller or "subordinate" to other parts does not make them less important to the whole as a piece of architecture.
11.	The Bank complex is eligible for listing on the California Register of Historic Resources for purposes of the California Environmental Quality Act (CEQA).
12.	Both buildings are the work of two master architects, Walter Burde and Will Shaw, who are listed in the Carmel Historic Context Statement, whose office was located in downtown Carmel, and whose other individual works include the Christian Science Church in Carmel, the original Monterey Airport Terminal and Tower, the Custom House renovation in Monterey and the Highlands Inn reconstruction. Shaw also collaborated with renowned photographer, Ansel Adams, to create the Foundation for Environmental Design, a group that supported worthy projects that blended into the natural environment.
13.	A new construction project on the site of a demolished Community Room would constitute an adverse effect on the Bank complex and destroy the original concept as designed by two of Monterey County's most respected master architects.
14.	The community room section of the building was designed right along with the rest of the building and contains all the character defining features of the main bank building: shed roof and copper roofing, angular forms and irregular massing, plate glass window walls, traditional

	materials used within a Modern architecture vocabulary, Integration of the building with its setting, Integration of the outdoors with interior spaces, Redwood siding and beams.
15.	The community room was constructed at the same time by the same builder. It's materials, detailing, composition are all at the same level of quality as the main bank building.
16.	The Community Room element of the building adds to the complexity and richness of the overall resource which, if taken away, would significantly negatively impact the quality of architecture of the bank building.
17.	The structural connection in the design of this building was very intentional and strong, and is all part of one piece of significant architecture—one historic resource.

PASSED AND ADOPTED BY THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA this 17th day of May, 2021, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Erik Dyar
Vice-Chair

Margi Perotti
Historic Resources Board Secretary

Historic Resources Board

May 17, 2021

Attachment 2

**Resolution from April 19th
hearing - Not Adopted**

**CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD**

HISTORIC RESOURCES BOARD RESOLUTION NO. 2021-XXX-HRB

A RESOLUTION OF THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA ISSUING A DETERMINATION OF CONSISTENCY WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE DEMOLITION OF THE PALO ALTO SAVINGS AND LOAN BANK COMMUNITY ROOM. APN: 010-101-017

WHEREAS, Alem Dermicek, on behalf of International Design Group, ("Applicant") submitted an application requesting the approval of a Design Review "DR 20-395" described herein ("Application"); and

WHEREAS, the application has been submitted for the 12,000 square foot property located at Dolores 2 SE 7th, in the Service Commercial (SC) Zoning District (Block 91, Lot 6, 8, 10); and

WHEREAS, the applicant is proposing to demolish all improvements across the three lots and construct a 16,898 square foot two story mixed-use development with a 11,371 square foot basement garage. Two-thirds of the project site (lots 6 & 8) are located on part of the Palo Alto Savings and Loan Bank complex (comprised of a bank building and a community room) which currently occupies Lots 2, 4, 6, and 8 of Block 91; and

WHEREAS, the complex is not eligible for listing on the nation or local inventory as it fails to meet the 50-year old age requirement, however, the complex is eligible for listing on the California Register of Historic Resources (CRHR); and

WHEREAS, in 2019, a Determination of Ineligibility for listing on the City's Historic Inventory was issued for the complex and will expire on October 26, 2022; and

WHEREAS, in accordance with the California Environmental Quality Act (CEQA) Guideline §15064.5(a)(1), a structure must be treated as a historic resource if it is listed in, or determined to be eligible for listing in, the California Register of Historic Resources; and

WHEREAS, the project qualifies as a Major Alteration to a Historic Resource pursuant to CMC 17.32.160; and

WHEREAS, pursuant to CMC 17.32.120 (Alteration of Historic Resources), a determination of consistency with the Secretary's Standards shall be obtained prior to altering, remodeling, demolishing, grading, relocating, reconstructing or restoring any historic resource; and

WHEREAS, pursuant to CMC 17.32.120.B, determinations of consistency for major alterations shall be prepared by a qualified professional and shall be supported by written documentation that (1) identifies which of the Secretary of the Interior's Standards for Rehabilitation are applicable to the project, (2) reviews the proposed project, and (3) explains the basis of the determination; and

WHEREAS, a Phase II report was prepared by a qualified professional, Margaret Clovis, dated March 1, 2021, and found the proposed amendments to be consistent with the Secretary of the Interior's Standards for Rehabilitation provided the recommendations outlined in the report were carried out; and

WHEREAS, notice of the public hearing was published in compliance with State law (California Government Code 54954.2.); and

WHEREAS, on April 19, 2021, the Historic Resources Board held a public hearing to receive public testimony regarding the Application, including without limitation, information provided to the Historic Resources Board by City staff and public testimony on the project; and

WHEREAS, this Resolution and its findings are made based upon evidence presented to the Historic Resources Board at its April 19, 2021 hearing including but not limited to, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Historic Resources Board did hear and consider all said reports, attachments, recommendations and testimony herein above set forth and used their independent judgement to evaluate the project; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference; and

WHEREAS the Historic Resources Board of the City of Carmel-by-the-Sea finds that pursuant to Carmel Municipal Code (CMC) Section 17.32.140, the following required findings for issuance of a Determination of Consistency with the Secretary of the Interior Standards can be made in this case:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided;
3. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved;
4. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence;*
5. *Archeological resources will be protected and preserved in place;*
6. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment; and*
7. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

NOW THEREFORE, BE IT RESOLVED, based on the above findings and evidence, that the Historic Resources Board of the City of Carmel-By-The-Sea does hereby **issue a Determination of Consistency with the Secretary of the Interior's Standards** for the demolition of the Palo Alto Savings and Loan Bank Community Room, in general conformance with the attached sketches and plans, all being attached hereto and incorporated herein by reference. This Determination of Consistency is further predicated on

the following Recommended Condition(s) of Approval being accepted and approved by the City of Carmel-by-the-sea Planning Commission as part of the discretionary permit for this project:

Recommended Conditions of Approval		
No.		
1.	Spatial Relationship. To maintain the spatial relationship between buildings, the proposed building shall not extend more than one foot beyond the existing northern wall of the community room with the exception of a stairway project which shall be located no closer than 5’ from the bank building.	✓
2.	Protection Plan. The written Protection and Monitoring Plan and Historic Building Protection Plan indicated in the project plans, collectively known as the “Protection Plan,” (Attachment 7) shall be adhered to prior to and during construction. Protective measures installed on-site or on the adjacent site shall be inspected by the Planning Department and Building Inspector prior to the issuance of a demolition or building permit. Modifications to the Protection Plan shall require approval by the Historic Resources Board.	✓
3.	Bank Building Repairs. Prior to the issuance of a demolition or building permit, an application for repairs to the bank building necessitated by the removal of the wall juncture between the community room and bank shall be submitted to the Community Planning and Building Department.	✓
4.	Cultural Resources. In the event that unexpected traces of historic or prehistoric materials, i.e., human remains, concentrations of shell or heat altered rock or historic trash pits are encountered during grading or other future development all construction activity shall immediately cease, and the applicant shall notified the Community Planning and Building Department within 24 hours and a qualified archaeologist shall be retained for appropriate archaeological mitigation	✓
6.	Human Remains. If any human remains are exposed, the Health and Safety Code § 7050.5 requires that no further excavation or disturbance occurs in the area and that the county coroner is called so that the coroner can verify that the remains are not subject to medical jurisprudence. Within 24 hours of notification, the coroner calls the Native American Heritage Commission if the remains are known or thought to be Native American.	✓
6.	Conditions of Approval. The Conditions of Approval listed above (HRB Conditions of Approval) shall be incorporated into the Design Review Conditions of Approval and any action taken by the Planning Department or Planning Commission, as necessary.	✓

PASSED AND ADOPTED BY THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA this 19th day of April, 2021, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Thomas Hood
Chair

Margi Perotti
Historic Resources Board Secretary

Historic Resources Board

May 17, 2021

Attachment 3

HRB Comments & Findings

My Comments on 7th and Dolores Building for HRB resolution

Erik Dyar <erik@dyararchitecture.com>

Mon, Apr 26, 2021 at 7:01 PM

To: Evan Kort <ekort@ci.carmel.ca.us>, Brandon Swanson <bswanson@ci.carmel.ca.us>

Hi Evan and Brandon,

Redacted due to confidential employee information

I promised some comments to help Staff prepare a resolution of non-compliance for the next HRB meeting on the 7th and Dolores building (Palo Alto Savings and Loan) and its component, the Community Room, so here they are below:

The argument for significance includes two major points: 1. The significance of the Palo Alto Savings and Loan Building, and 2. Whether its component, the Community Room can be correctly evaluated apart from the attached Main bank building.

1. Building's Significance

Meg Clovis in all her historic evaluations of the bank property has always considered the bank as eligible for listing in the California Register for Historic Resources under Criterion Three Architecture. The only disagreement with the previous decisions by the HRB seems to be whether the building has "Exceptional" significance per City of Carmel Municipal Code Section 17.32.040.H and the National Criterion G. allowing listing for buildings under 50 years of age. She basically acknowledges that the building would meet the exceptional level under National Criteria G (which emphasizes the understanding the historic contexts of an area to determine exceptional significance) by writing, "...undoubtedly the Palo Alto Savings and Loan complex will be found to be a strong representative of its context within the theme of architectural development." Ms. Clovis only disagreement seems to be in how the Historic Context Statement is written in that it has a period of significance on the document through 1965. Yet she acknowledges, the Context Statement DOES identify the Bay Region style and/or Second Bay Region Style as important substyle within the larger THEME of Modern architecture. So Carmel's existing Historic Context Statement DOES include this theme of architectural development in Carmel and therefore, the building is "representative of at least one theme" in the existing Historic Context Statement. Ms. Clovis seems to just want the theme to be more thoroughly discussed and additionally acknowledges that it most certainly would be in the Historic Context Statement update currently underway. In fact, I believe it certainly is the case in the draft Historic Context Statement update which also mentions the Palo Alto Savings and Loan as an exceptional example of the masters Will Shaw and Walter Burde.

I would like to add that one of the prime purposes of historic preservation and our historic preservation ordinance is to preserve the best pieces of the historic development of a place/city through its significant architecture--to preserve these buildings which represent important periods in a City's heritage. The Palo Alto Savings and Loan building can be considered the most exceptional and significant building to be constructed in the commercial district of Carmel during the entire decade of the 1970's, perhaps (as the Ms. Clovis quotes the State Historic Preservation Officer) in the latter half of the 20th century.

As a member of the HRB, I believe it is our responsibility to make determinations which sometimes fall into this sort of grey area, although the grey area here is virtually non-existent. The building is acknowledged as exceptionally significant and is 49 years -- in less than one year, it will only need to be of normal significance for inclusion on the inventory.

Furthermore, the "exceptional significance" clause for inclusion of resources under 50 years old on the Historic Inventory (17.32.040.H) simply states this: "A resource less than 50 years old may be eligible if it is of exceptional importance to the City... based on its unusually strong contribution to history, architecture, engineering or culture..." I would argue the intent of this section is not to quibble with technicalities, but if there is manifest evidence of exceptional significance then that is enough--not whether the City hasn't updated its Context Statement as it was required to. In fact, if the 1965 date on the existing Context Statement is the only argument for not including the building on Carmel's inventory, and Carmel was required to update it every 5 years, then this non-compliance with Carmel's LCP I would think could trigger a valid standing for appeal to the Coastal Commission.

So, I wanted to express the above to have staff understand why the HRB (or at least this voting member) consistently has ruled the building should be added to the Carmel Historic Inventory. I want to make sure the City Council understands our position.

All this being said I do have a basic question of Staff, which is if the building is significant per CEQA vs. being on the inventory, is there a difference between how we deal with it in terms of the Secretary's standards? I assume it is at least protected against demolition.

2. The Community Room: A part not separate from the Historic Resource

The second main topic is how the Community Room can be viewed as somehow not a part of the historic resource. Let's first take the example used in the staff report of the detached garage. Yes, sometimes a detached garage can be deemed not significant while the main house is considered significant. This can be the case when (as is not unusual) the detached structure is built at a different time than the main structure, not part of the original design or designer's conception for the property, not contained in the original design documents, not designed or constructed by the same significant designer or builder, or not having similar character defining elements done with the same quality of the main house. But if a garage is part of the original design, creates spatial relationships on the property which are in themselves character defining, uses the same character defining elements of construction and detail as the main house, are built at the same time, designed and built by the same Masters---then YES, of course, a detached garage would be historically significant. I certainly know of Comstock's and a Thodos where this would be undeniably the case. So, I find the garage analogy not appropriate.

In the case of the Community Room, despite being an auxiliary use it was still part of the original concept of the building from the beginning. There's main and auxiliary uses in almost every building. This doesn't make the architecture enveloping one use less significant than the other. It is included and part of the original design/construction documents for the building, including importantly the West street elevation, which shows how it is integral to the design composition of this facade of the building. The community room section of the building was designed right along with the rest of the building and contains **ALL** the character defining features called out in Ms. Clovis Oct. 3, 2019 evaluation:

shed roof and copper roofing
angular forms and irregular massing
plate glass window walls
traditional materials used within a Modern architecture vocabulary
Integration of the building with its setting
Integration of the outdoors with interior spaces
Redwood siding and beams

Therefore, Ms. Clovis' statement that the Community room section "does not contain enough distinctive characteristics to be considered a true representative of the Bay Region style and therefore does not meet this section of Criterion 3" is wrong on its face. The Community Room is built with the same character defining features as the rest of the building with the same quality.

The community room was constructed at the same time by the same builder. It's materials, detailing, composition are ALL at the same level of quality as the rest of the building. I would additionally argue that the South Elevation of the Community Room is an exceptional composition itself which deserves to be given some space to be seen from the new construction to be built. Especially when approaching the building from the South, the Community Room form is the passersby' introduction to the historic resource and is an obvious part of it. I would strongly argue that the Community Room element of the building adds to the complexity and richness of the resource which, if taken away, would significantly negatively impact the quality of architecture of the building. Additionally, I don't think you could argue that the two master architects, Will Shaw and Walter Burde, did not consider the South Elevation of the Community Room as the South Elevation of their building--it was and is. If taken away it presents a part of the building that was not meant to be the first thing you look at on the South side.

It seems to me a very specious argument to say the Community Room was a "postscript" and was "tacked on". The manifest design intention of how this section of the building is integrated with the rest is powerful. Whatever quote she seems to be referring to in the Pine Cone is irrelevant compared to the master architects' obvious care and taken and evidenced in its design, the design documents and the built work.

I can really not think of any historically significant piece of architecture where an element so integrally a part of the design and built work, if removed, would not negatively impact the resource or would be questioned as not being part of the resource. Simply because an element of a building is smaller or "subordinate" to other parts does NOT make them less important to the whole as a piece of architecture.

I would also like to address this common refrain that the Community is a separate building I guess because there is no interior circulation. As Brandon is aware, other jurisdictions view a structural connection between building sections as evidence that they are one building and are treated as such. For example, in Monterey County, if there is a structural

connection, like a covered walkway, the two sections that are connected by it are considered the Main structure, with main structure height limits and setback regulations. Attachment 5

This structural connection in the design of this building was very intentional and strong--not to mention the very intentional and strong spatial connection that the two elements create. This is all part of one piece of significant architecture--one historic resource.

Please let me know if you have any questions, comments, clarifications...

Thanks to you both,

Erik.

Historic Resources Board (HRB) Meeting, April 19, 2021

Subject: Design Review Application DR 20-395

Demolition of Palo Alto Savings and Loan Community Room

Comments Made by HRB Member, historian Kathryn Gualtieri

Numerous reports and evaluations from a city consultant and staff were received by the Board in preparation for the meeting.

#1) **October 3, 2019 Report** was prepared for a proposed demolition of the Community Room that was subsequently withdrawn. The Report referred to pertinent testimony from a number of respected architects who opined that the former Palo Alto Savings and Loan Bank was an exceptional example of its architectural style, the work of master architects, retained a high level of integrity and embodied the distinctive characteristics of its type and period. Their professional opinions confirmed that sufficient time had elapsed since the construction of the Bank complex to allow for a scholarly perspective on its significance and its place in Carmel's architectural history.

#2) **June 2020 Evaluation** provided the specific reason for the existence of the Community Room. Following the Bank president's mandate, staff in each city where a branch was to be located, was directed to become more involved in local improvement projects and to provide meeting space for the community as part of the Bank's public relations strategy. Burde and Shaw, the architects of the Bank complex, were tasked to design a small building separated from the Bank that would be used for this express purpose. The consultant's view that the Community Room was simply "a postscript to the architects' intentions" is in error. There is additional proof from *The Carmel Pine Cone* that the room was requested by the client to help the Bank forge good community relations. Equally important, the Community Room's design mirrors the Bank building's character defining features: a shed roof covered with copper, vertical heart redwood siding, large plate glass window walls, and a walkway connecting the room to the main structure.

#3) **Mar. 1, 2021 Report** reviewed a second demolition proposal and evaluated the Community Room solely on its individual merit. This approach does not conform to historic preservation principles. The consultant's view

that the architects' creative energies were solely focused on the main Bank building and nothing else is questionable. The Community Room is not required to become significant in its own right. There are no historic preservation rules that would force it to stand on its individual merit in order to qualify for historic status. The Community Room remains a vital part of the architects' original design. While it is subordinate to the former Bank building, it continues to have an important spatial relationship to it.

#4) **April 19, 2021 Staff Report** examined the consultant's opinion and agreed that an ancillary structure might be evaluated on its individual merit. Using the example of a historic home with a detached garage, staff reasoned that if a garage were removed, it wouldn't damage the house's historic integrity. On the contrary, a garage is a related feature of a house, is part of an architect's design, and is included in the plans for the site. Some years ago, the HRB considered a homeowner's request to demolish a historic garage designed by renowned Carmel master builder, Hugh Comstock. The owner of the Birthday House at the SW corner of Sixth and Santa Rita expressed a desire to demolish a dilapidated detached garage, but the HRB voiced its strong concerns about destroying an important part of Comstock's original design. The Board voted to repair and renovate the garage, which exists on the site today. As with the Comstock house, the Bank building and the Community Room are a historically related unit. Though the room is subordinate to the Bank, it has retained its historic integrity and is an integral component of the original design as approved by the architects' client, the owners of the Palo Alto Savings and Loan Bank.

The four Reports agree that the Bank complex is eligible for listing on the California Register of Historic Resources for purposes of CEQA. Both buildings are the work of two master architects, Walter Burde and Will Shaw, who are listed in the Carmel Historic Context Statement, whose office was located in downtown Carmel, and whose other individual works include the Christian Science Church in Carmel, the original Monterey Airport Terminal and Tower, the Custom House renovation in Monterey and the Highlands Inn reconstruction. Shaw also collaborated with renowned photographer, Ansel Adams, to create the Foundation for Environmental Design, a group that supported worthy projects that blended into the natural environment.

Earlier, when the Carmel City Council considered the HRB's decision to add the Bank complex to the city's historic inventory, the argument centered on

the issue that the Bank wasn't 50 years old, despite the fact that many architects and other respected professionals provided expert evidence that the Bank complex was of exceptional significance and was eligible for listing.

There is sufficient substantial evidence that would allow the HRB and the City Council to make the finding of non-compliance with the Secretary of the Interior's Standards for the proposed demolition project. A new construction project on the site of a demolished Community Room would constitute an adverse effect on the Bank complex and destroy the original concept as designed by two of Monterey County's most respected master architects.

Carmel is a Certified Local Government and recognized as such by the State of California. The City is a partner with the State in historic preservation matters. Why would the City choose to disregard historic preservation principles, while at the same time, apply for a state grant to fund a desired preservation project? That seems an unnecessary risk for the City to take.

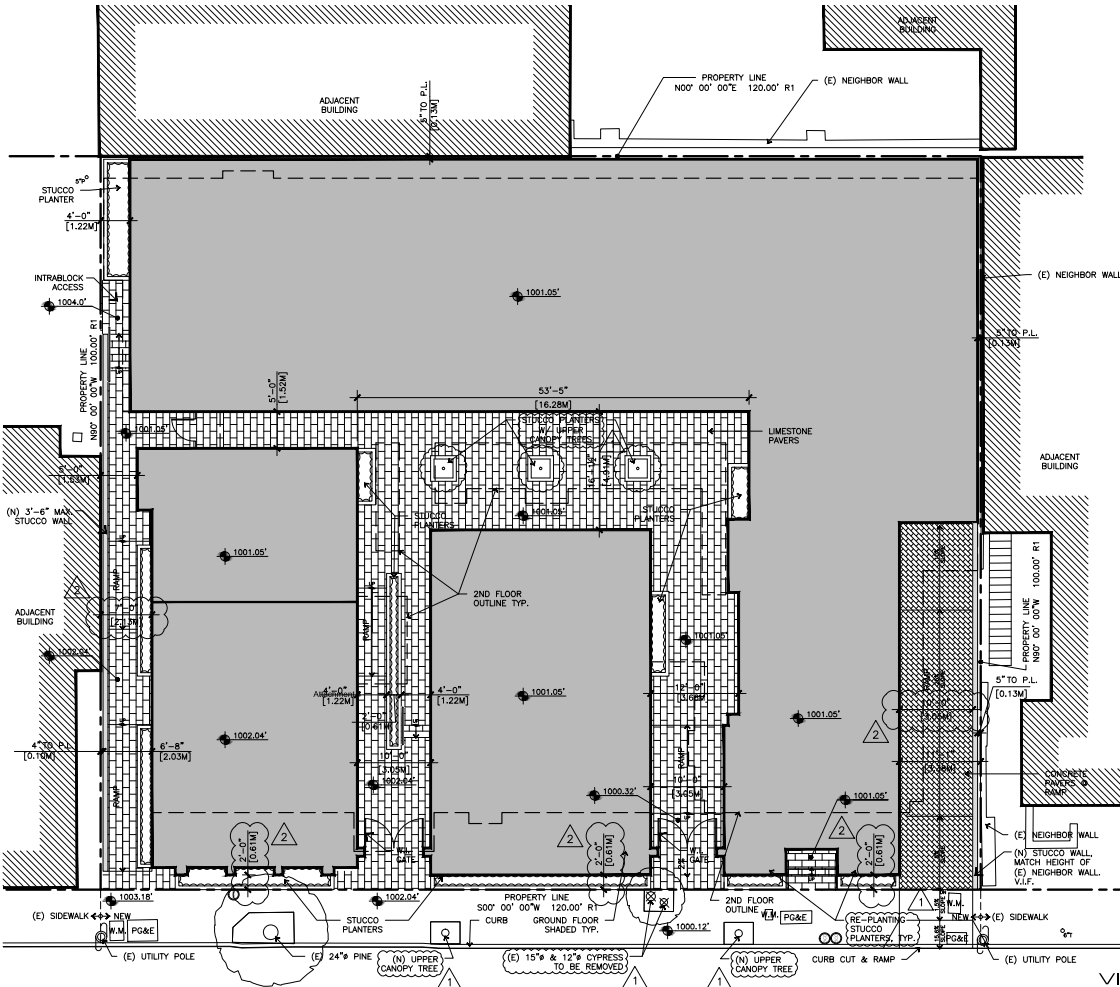
Historic Resources Board

May 17, 2021

Attachment 4

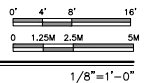
Preliminary Project Plans

4/14/2021 1:40:56 PM



SITE PLAN

DOLORIS STREET
(PUBLIC STREET)



SHEET INDEX

- ARCHITECTURAL
 - A1.0 SITE PLAN
 - A1.1 TOPOGRAPHICAL SURVEY
 - (A1.1) SITE DEMO & HISTORIC BLDG. PROTECTION PLAN
 - A1.2 EXISTING 7'-6\"/>
- (A1.3 HISTORIC PRESERVATION CONDITIONS)
- (A1.4 HISTORIC PRESERVATION CONDITIONS)
- A2.0 BASEMENT PLAN
- A3.0 GROUND FLOOR PLAN
- A4.0 2ND FLOOR PLAN
- A5.0 ROOF PLAN
- A6.0 ELEVATIONS
- A6.1 ELEVATIONS & SECTIONS
- A6.2 ELEVATIONS & SECTIONS
- A6.3 ELEVATIONS & SECTIONS
- A6.4 ELEVATIONS & SECTIONS
- A6.5 SECTIONS
- A6.6 TERRACE DETAILS
- A6.7 TERRACE DETAILS
- A6.8 TERRACE DETAILS
- A6.9 GATE DETAILS
- A8.1 JB--PASTOR STREETSCAPES
- A8.2 ADJACENT BUILDING ELEVATIONS
- A9.0 DOOR SCHEDULE
- A9.1 WINDOW SCHEDULE
- CIVIL
 - C3.1 OFFSITE IMPROVEMENT PLAN
- LANDSCAPE
 - L1.0 STREET LEVEL LANDSCAPE PLAN
 - L1.1 ROOF LANDSCAPE PLAN
 - L1.2 LANDSCAPE DETAILS & PLANT PICTURES
 - L1.3 LANDSCAPE DETAILS & PLANT PICTURES

FOREST & BEACH COMMISSION NOTES:

TOTAL SIZE OF OPEN SPACE:
AREA: 1,920 S.F.

LANDSCAPING AREA REQUIRED:
1,920 / 2 = 960 S.F.

PLANT ALTERNATIVES ALLOWED:
960 X 0.25 = 240 S.F.

LANDSCAPE AREA REQUIRED W/ 25% PLANT ALTERNATIVES:
720 S.F.

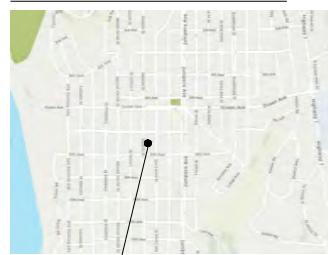
LANDSCAPE AREAS PROVIDED:
GROUND FLOOR: 494 S.F.
GREEN ROOF: 1,927 S.F.
TOTAL: 2,421 S.F.

NEW TREE SUMMARY:
UPPER CANOPY ON PRIVATE PROPERTY: 3
UPPER CANOPY ON PUBLIC PROPERTY: 2
TOTAL: 5

LOWER CANOPY TREES ON ROOF:
(SEE SHEET A5.0) 4

NOTE:
SEE SECTION D/A6.3 FOR TYPICAL EXCAVATION CUT

VICINITY MAP



LOCATION OF PROJECT

PLANNING INFO.

- PROPERTY OWNER:
 - ESPERANZA CARMEL COMMERCIAL, LLC
 - ATTN: CHRISTOPHER MITCHELL
 - C/O INTERNATIONAL DESIGN GROUP, INC.
 - 721 LIGHTHOUSE AVENUE
 - PACIFIC GROVE, CA 93950
- ARCHITECT:
 - INTERNATIONAL DESIGN GROUP LLC
 - PROJECT MANAGER: ALEM DERMICEK, AIA
 - ALEM@IDG-INC.NET
 - PHONE: (831) 846-1261 #209
- PROJECT ADDRESS:
 - DOLORIS ST.
 - 2 SE OF 7TH AVE.
 - CARMEL-BY-THE-SEA, CA 93921
- PROJECT SCOPE:
 - DEMOLITION OF EXISTING BUILDINGS.
 - NEW CONSTRUCTION FOR PARKING GARAGE, COMMERCIAL SPACES ON GROUND FLOOR, & 8 RESIDENTIAL APARTMENTS ON 2ND FLOOR.
- OCCUPANCY: A-2, B, M, R-2, S-2
- CONST. TYPE: V-B, TYPE I-GARAGE
- A.P.N.: 010-145-012, 023, & 024
- LEGAL DESC.: LOTS: 6, 8, & 10 BLOCK: 91
- ZONE: SC (SERVICE COMMERCIAL)
- STORIES: 2 + UNDERGROUND GARAGE
- MAX BLDG. HT: 30 FT ALLOWED
- CUT/FILL: 6,369 C.Y. CUT / 0 C.Y. FILL
- CUT / FILL CALCULATIONS
 - 1002.33' = AVERAGE GRADE
 - 988' = B.O. GARAGE SLAB & SUBSTRATE (SAND, ROCK)
 - 1002.33' - 988' = 14.33 X 12,000 = 171,960 C.F. = 6,369 C.Y.
- TREE REMOVAL: SEE A1.1
- TOPOGRAPHY: SEE TOPOGRAPHIC MAP, SHEET 1 OF 1
- PROJECT CODE COMPLIANCE:
 - 2019 CBC, CMC, CPC, CFC, CEC, CALIFORNIA GREEN BUILDING CODE & 2019 CALIFORNIA ENERGY CODE
- LOT AREA: 12,000 S.F. (0.276 AC.)
- BUILDING COVERAGE ALLOWED:
 - 17,141 SQ. FT.
 - A. EXCEPTIONS MAY BE GRANTED UP TO A MAXIMUM BUILDING COVERAGE OF 95 PERCENT = 95% (11,400 SF)
- BUILDING COVERAGE CALCULATIONS

	EXISTING TO BE REMOVED	PROPOSED
TOTAL	2,962 S.F.	10,100 S.F.
TOTAL	24.68%	84.17%
- FLOOR AREA RATIO (FAR) ALLOWED:
 - FOR 2 STORES = 135% (16,200 S.F.)
 - + INTRABLOCK ACCESS = 10% (1,200 S.F.)
 - TOTAL = 145% (17,400 S.F.)
- FAR CALCULATIONS

	EXISTING TO BE REMOVED	PROPOSED
GROUND FLOOR	2,962 S.F.	8,531 S.F.
SECOND FLOOR	1,597 S.F.	8,360 S.F.
TOTAL	4,559 S.F.	16,891 S.F. (140.76%)
- NOT INCLUDED IN FAR CALCULATIONS

BASEMENT (GARAGE)	0	11,371 S.F.
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- PARKING REQUIREMENTS
 - COMMERCIAL RETAIL REQ. 1 PER 600 SQ. FT.
 - 7718 / 600 S.F. = 12.86 = 13 SPACES
 - RESIDENTIAL REQUIRES 1 PER UNIT
 - 8 UNITS = 8 SPACES
 - TOTAL REQ. = 21 SPACES
- ACCESSIBILITY REQ.
 - VAN PARKING REQ. = 1 PER 25 SPACES
 - TOTAL REQ. = 10 COMPACT PARKING SPACES
 - 10 STANDARD PARKING SPACES
 - 1 ACCESSIBLE VAN PARKING SPACES
 - 21 SPACES
- TOTAL PROVIDED = 10 COMPACT PARKING SPACES
- 10 STANDARD PARKING SPACES
- 1 ACCESSIBLE VAN PARKING SPACES
- 21 SPACES



721 LIGHTHOUSE AVE
PACIFIC GROVE, CA
93950

PH: (831) 846-1261
FAX: (831) 846-1260
EMAIL: info@idginc.net
WEB: idginc.net

DISCLAIMER:
ALL WORK SHOWN REPRESENTS THE PLAN SUBJECT TO THE PERMITS AND ORDINANCES OF THE CITY AND COUNTY OF PACIFIC GROVE, CALIFORNIA. THE CLIENT HAS BEEN ADVISED THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND COUNTY OF PACIFIC GROVE, CALIFORNIA. THE CLIENT HAS BEEN ADVISED THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND COUNTY OF PACIFIC GROVE, CALIFORNIA. THE CLIENT HAS BEEN ADVISED THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND COUNTY OF PACIFIC GROVE, CALIFORNIA.

STAMPS:

PROJECT/CLIENT:
JB PASTOR BUILDING

PROJECT ADDRESS:
DOLORIS, 2ND SE OF 7TH CARMEL, CA 93921

APN: 010-145-012 022, & 023

DATE: DECEMBER 18, 2020

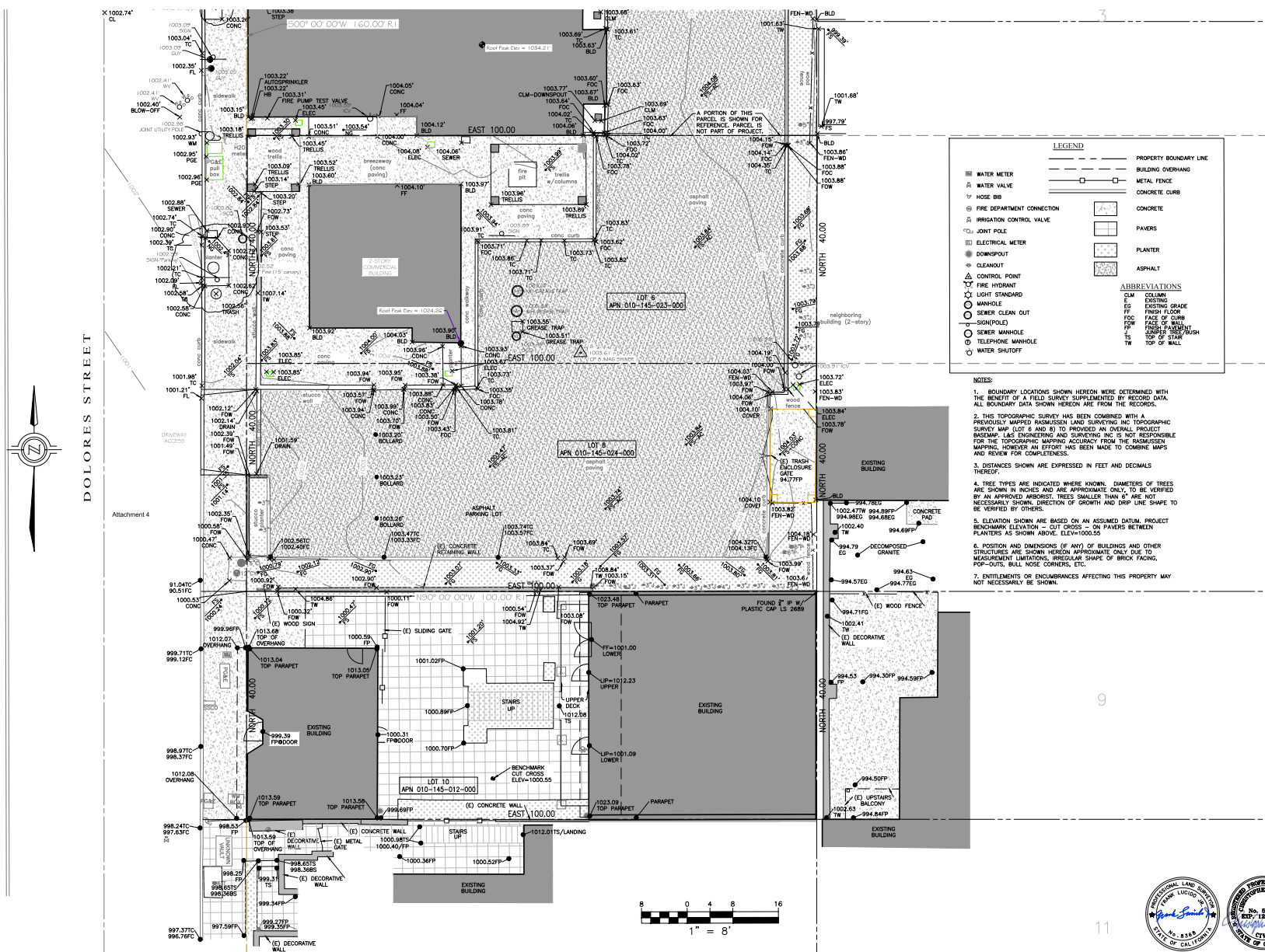
TRACK-2 SUBMITTAL

- REVISIONS:
- ▲ MARCH 4, 2021
 - ▲ FOREST & BEACH COMMISSION
 - ▲ MARCH 26, 2021
 - ▲ HISTORIC BOARD COMMISSION
 - ▲ APRIL 14, 2021
 - ▲ REVISED TRACK-2 APPLICATION

SITE PLAN

SHEET NO.

A1.0



LEGEND

---	PROPERTY BOUNDARY LINE
---	BUILDING OVERHANG
---	METAL FENCE
---	CONCRETE CURB
---	CONCRETE
---	PAVERS
---	PLANTER
---	ASPHALT

ABBREVIATIONS

CM	COLUMN
EG	EXISTING GRADE
FF	FINISH FLOOR
FOC	FACE OF CURB
FW	FACE OF WALL
FW	FACE OF WALL
TS	TOP OF STAIR
TS	TOP OF WALL

- NOTES:**
- BOUNDARY LOCATIONS SHOWN HEREIN WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREIN ARE FROM THE RECORDS.
 - THIS TOPOGRAPHIC SURVEY HAS BEEN COMBINED WITH A PREVIOUSLY MAPPED RASMUSSEN LAND SURVEYING INC TOPOGRAPHIC SURVEY MAP (LOT 8 AND 9) TO PROVIDE AN OVERALL PROJECT BASEMAP. L&S ENGINEERING AND SURVEYING INC IS NOT RESPONSIBLE FOR THE TOPOGRAPHIC MAPPING ACCURACY FROM THE RASMUSSEN MAPPING, HOWEVER AN EFFORT HAS BEEN MADE TO COMBINE MAPS AND REVIEW FOR COMPLETENESS.
 - DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 - TREE TYPES ARE INDICATED WHERE SHOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY TO BE VERIFIED BY AN APPROVED ARBORIST. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
 - ELEVATION SHOWN ARE BASED ON AN ASSUMED DATUM PROJECT BENCHMARK ELEVATION = CUT CROSS - ON PAVERS BETWEEN PLANTERS AS SHOWN ABOVE. ELEV=1000.55
 - POSITION AND DIMENSIONS OF ANY OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS, IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
 - ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.

L&S ENGINEERING AND SURVEYING, INC
 2600 Colton Road, Suite C, Mar Vista, California 90406
 P: 818.655.7223 F: 818.655.9429
 LandSurveying@earthlink.net

DRAWN BY: N/A
DESIGNED BY: 12/1/18
DATE: 12/1/18
SCHUBERT: H/L/P
LAST REVISED: 7/27/20
REVISOR: JCS

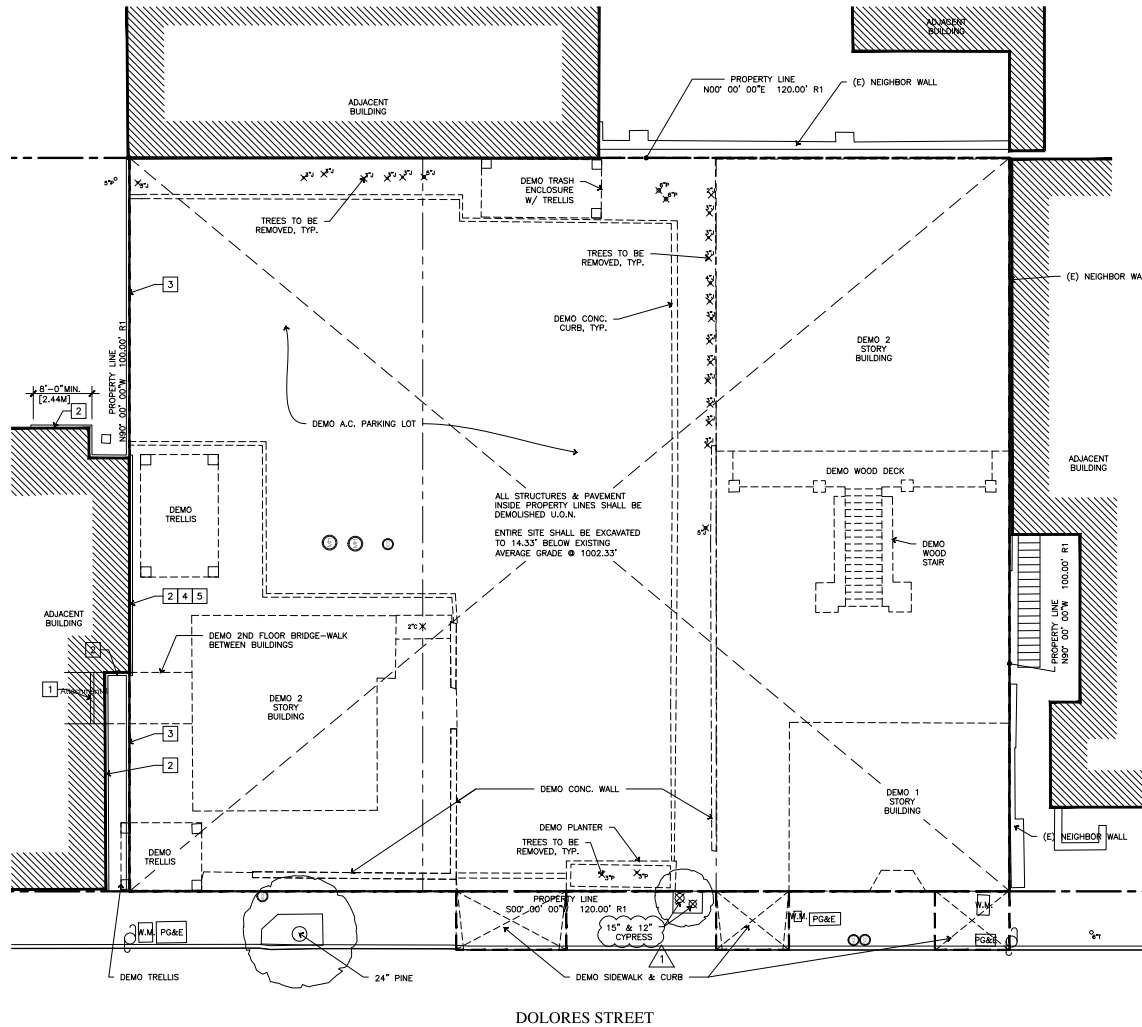
PREPARED FOR:
 INTERNATIONAL DESIGN GROUP, INC.
 721 LIGHTHOUSE AVE
 CARMEL-BY-THE-SEA

TOPOGRAPHIC SURVEY
 DOLORES, 25E OF 7TH
 LOTS 6, 8, & 10
 CARMEL-BY-THE-SEA

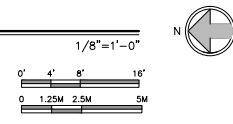
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SITE DEMOLITION PLAN



TREE REMOVAL

TREE	SIZE	QUANTITY
JUNIPER	5"φ	2
JUNIPER	4"φ	1
JUNIPER	3"φ	17
JUNIPER	2"φ	1
PINE	6"φ	2
PINE	3"φ	2
CHERRY	2"φ	1

TOTAL TO BE REMOVED: 28 - PRIVATE PROPERTY
 CYPRESS 15"φ 1
 CYPRESS 12"φ 1
 TOTAL TO BE REMOVED: 2 - PUBLIC PROPERTY
 26 PRIVATE + 2 PUBLIC
 TOTAL TO BE REMOVED: 28

HISTORIC BUILDING PROTECTION PLAN KEY NOTES

- 1] CONSTRUCT BARRICADE WALL TO CLOSE OPENING TO BRIDGE-WALK INSIDE OF (E) BUILDING PRIOR TO ANY DEMOLITION WORK.
- 2] PROVIDE FULL HEIGHT VINYL SHEET TO WALL FOR DUST PROTECTION. ALSO IT SHALL SEAL DOORS, WINDOWS & OTHER OPENINGS PRIOR TO ANY DEMOLITION WORK.
- 3] CONSTRUCT 6" HIGH SELF-SUPPORTING PLYWOOD BARRICADE WALL.
- 4] ITEM [3] OVER ITEM [2]. DEVELOPMENT TEAM SHALL DESIGN THIS WALL W/O ANY ATTACHMENTS TO (E) BUILDING.
- 5] DEVELOPMENT TEAM TO DESIGN & PROVIDE UNDERPINNING OF (E) BUILDING. FOOTING AS REQUIRED BY THE CONSTRUCTION OF BASEMENT GARAGE.



728 1 LIGHTHOUSE AVE
 PACIFIC GROVE, CA
 93950

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 WEB: idg.org

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STAMPS:

PROJECT/CLIENT:

JB PASTOR BUILDING

PROJECT ADDRESS:
DOLORES, 2ND SE OF 7TH CARMEL, CA 93921

APN: 010-145-012 022, & 023

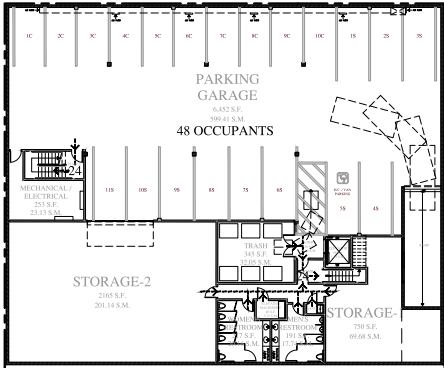
DATE: DECEMBER 18, 2020
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SITE DEMO & HISTORIC BLDG. PROTECTION PLAN

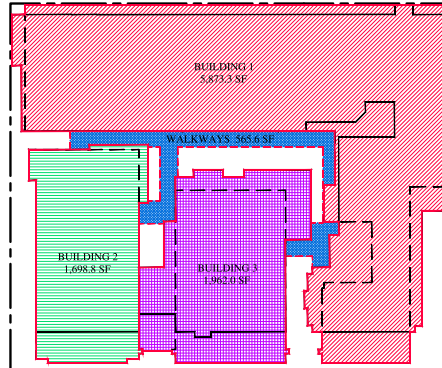
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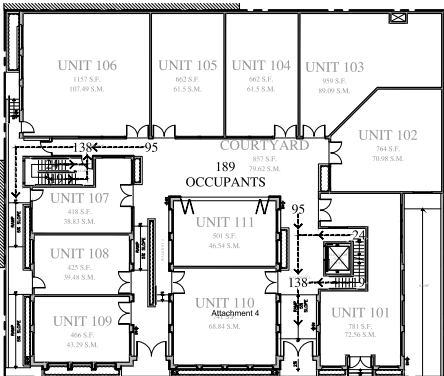
EXITING - BASEMENT PLAN

1/16"=1'-0"



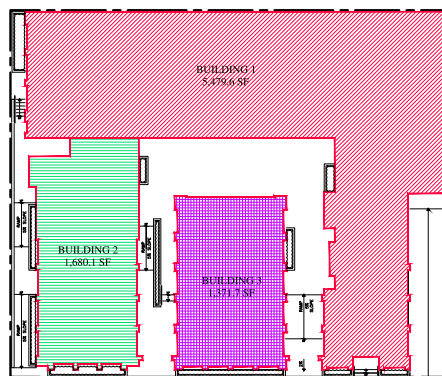
BUILDING COVERAGE

1/16"=1'-0"



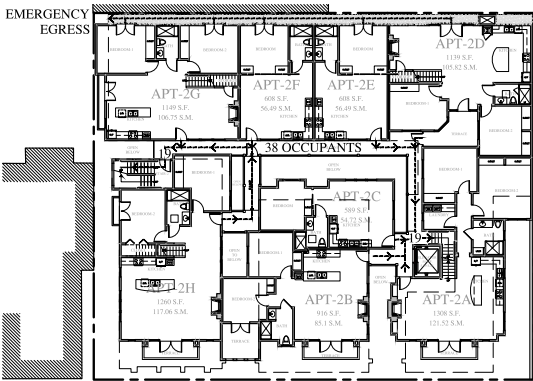
EXITING - GROUND FLOOR

1/16"=1'-0"



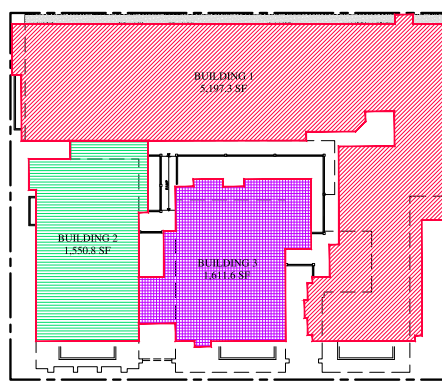
F.A.R. - GROUND FLOOR

1/16"=1'-0"



EXITING - 2ND FLOOR

1/16"=1'-0"



F.A.R. - 2ND FLOOR

1/16"=1'-0"

EXIT ANALYSIS

BASEMENT

TYPE S-2 OCCUPANCY
 PARKING GARAGE = 6,452/200 GROSS = 32.26 = 33 OCCUPANTS

TYPE S-3 OCCUPANCY
 STORAGE-1 = 750 SF
 STORAGE-2 = 2,165 SF
 MECHANICAL/ELECTRICAL = 253 SF
 STAIR-1 = 89 SF
 STAIR-2 = 121 SF
 TRASH = 345 SF
 ELEVATOR = 58 SF
 LOBBY = 48 SF
 MEN'S RESTROOM = 191 SF
 WOMEN'S RESTROOM = 217 SF
 ELEVATOR MECHANICAL = 40 SF
 JANITOR = 12 SF
 TOTAL = 4,289 SF/300 GROSS = 14.29 = 15 OCCUPANTS

S-2, & S-3 OCCUPANT LOAD = 48 OCCUPANTS > 2 EXITS REQUIRED > 24 OCCUPANTS EACH

EXIT WIDTH REQUIRED:
 48 X 0.2" = 9.6" @ DOOR > 72" PROVIDED
 48 X 0.3" = 14.4" @ STAIR > 88" PROVIDED

GROUND FLOOR

TYPE A-2 OCCUPANCY (ASSEMBLY)
 UNIT-110 = 741 SF/15 NET = 49.4 = 50 OCCUPANTS
 UNIT-111 = 501 SF/15 NET = 33.4 = 34 OCCUPANTS

TYPE B OCCUPANCY (BUSINESS) 100 SF GROSS = OCCUPANTS
 TYPE M OCCUPANCY (MERCANTILE) 60 SF GROSS = OCCUPANTS

CALCULATED FOR TYPE M
 UNIT-101 = 781 SF
 UNIT-102 = 764 SF
 UNIT-103 = 959 SF
 UNIT-104 = 662 SF
 UNIT-105 = 662 SF
 UNIT-106 = 1,157 SF
 UNIT-107 = 418 SF
 UNIT-108 = 425 SF
 UNIT-109 = 466 SF
 TOTAL = 6,294 SF/60 GROSS = 104.9 = 105 OCCUPANTS

A-2 + M(B) OCCUPANT LOAD = 189 OCCUPANTS > 2 EXITS REQUIRED > 95 OCCUPANTS EACH

EXIT WIDTH REQUIRED:
 96 X 0.2" = 19" @ DOOR > 72" PROVIDED
 96 X 0.3" = 28.8" @ STAIR > 88" PROVIDED

2ND FLOOR

TYPE R-2 OCCUPANCY
 APARTMENT-2A = 1,308 SF
 APARTMENT-2B = 916 SF
 APARTMENT-2C = 589 SF
 APARTMENT-2D = 1,139 SF
 APARTMENT-2E = 608 SF
 APARTMENT-2F = 608 SF
 APARTMENT-2G = 1,149 SF
 APARTMENT-2H = 1,260 SF
 TOTAL = 7,577 SF/200 GROSS = 37.89 = 38 OCCUPANTS

R-2 OCCUPANT LOAD = 38 OCCUPANTS > 2 EXITS REQUIRED > 19 OCCUPANTS EACH

EXIT WIDTH REQUIRED:
 19 X 0.2" = 3.8" @ DOOR > 72" PROVIDED
 19 X 0.3" = 5.7" @ STAIR > 88" PROVIDED

F.A.R. CALCULATIONS

GROUND FLOOR
 BUILDING 1 = 5,479.6 SF
 BUILDING 2 = 1,680.1 SF
 BUILDING 3 = 1,371.7 SF
 TOTAL = 8,531.4 SF

2ND FLOOR
 BUILDING 1 = 5,197.3 SF
 BUILDING 2 = 1,550.8 SF
 BUILDING 3 = 1,611.6 SF
 TOTAL = 8,359.7 SF

GROUND FLOOR + 2ND FLOOR (8,531.4 + 8,359.7) = 16,891.1 SF
 16,891 / 12,000 = 140.76%

BUILDING COVERAGE SUMMARY

BUILDING COVERAGE
 BUILDING 1 = 5,873.3 SF
 BUILDING 2 = 1,698.8 SF
 BUILDING 3 = 1,962.0 SF
 WALKWAYS = 565.6 SF
 TOTAL = 10,099.7 SF

10,100 / 12,000 = 84.17%



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JB PASTOR
 BUILDING

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 OF 7TH
 CARMEL, CA
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APN: 010-145-012
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EXITING, F.A.R. &
 BUILDING COVERAGE
 DIAGRAMS

SHEET NO.

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HISTORIC PRESERVATION CONDITIONS

March 1, 2021

Preliminary Phase Two Report for the Palo Alto - Salinas Savings and Loan Bank, Community Room, Parking Lot, and Garden Wall (APN 010-145-020), Carmel-by-the-Sea, CA.

Executive Summary

The Palo Alto-Salinas Savings and Loan community room, parking lot, and garden wall are part of a larger complex that features the original main bank building as its focal point. All elements in the complex are located on the corner of Dolores and Seventh Streets in downtown Carmel. The bank building has been evaluated for historical significance multiple times. In October 2019¹ the bank building was found eligible for listing in the California Register for Historic Resources (CRHR) under Criterion Three (Architecture) but is currently not eligible for listing on the Carmel Historic Resources Inventory or the National Register of Historic Places due to the Fifty-Year Rule. Nonetheless, it is considered a significant resource for the purposes of CEQA with a period of significance of 1972.

In June 2020² the bank's companion community room was evaluated for historical significance under the California Register for Historic Resources criteria and was found ineligible for listing as an individual resource. The garden wall and parking lot have not been evaluated for their individual merit within the complex, however their history and a determination of eligibility will be included as part of this report.

An application has been submitted to the Carmel Planning Department proposing the demolition of the community room, parking lot and garden wall to allow for the construction of an underground parking garage and a two-story building with a combined use of second floor residential apartments and ground floor commercial space. This Phase Two report examines the project's consistency with the Secretary of the Interior's Standards and Guidelines³ based on preliminary plans and makes recommendations which will help guide final plans.

Parking Lot & Garden Wall: Historical Background and Significance

The Palo Alto-Salinas Savings and Loan complex was constructed in 1972 on the corner of Dolores and 7th streets in the same location as its former building. The former building (originally the telephone company) fronted on Seventh Street. An eighteen-space parking lot was located behind the building and was entered and exited via Dolores Street. Plans for the new bank building reconfigured the space, so most of the bank's facade and the community room fronted on Dolores Street. The parking lot, again with eighteen spaces, wrapped around the rear of the new building and was entered on Dolores Street and exited on Seventh. An article in the Carmel Pine Cone stated that, "parking facilities are less visually

¹ Civil, Map, Evaluation of Significance and Phase Two Report for Seventh & Dolores (Formerly the Palo Alto Savings and Loan complex), October 1, 2019.
² Civil, Map, Addition to Evaluation of Historical Significance for Seventh & Dolores (Formerly the Palo Alto Savings and Loan complex), June 17, 2020.
³ The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings, U.S. Department of the Interior, National Park Service, Technical Preservation Services, Washington D.C., 2017.

1 | Page

obtrusive than they are now, stretching around behind the buildings." A drive-up teller window could be accessed from the Seventh Street side of the parking lot and was included in the original Architectural Review.

The same Pine Cone article that described the future parking facilities also described the garden wall that would partially surround the community room. Originally, a small sculpture garden was planned for the walled space but it never came to fruition. In 2013 a portion of the wall on the south elevation was removed and the entire wall was shortened by twelve inches.

When it was constructed in 1972, the Palo Alto-Salinas Savings and Loan complex included a bank building, a community room, a parking lot, and a wall which surrounded the community room. Historical evaluations have concluded that the bank building is eligible for listing on the California Register of Historic Resources on the local level under Criterion Three (Architecture) because it embodies the distinctive characteristics of a type and period, and it represents the work of two Masters. The community room is not eligible for individual listing on the California Register on its own merit because it does not meet Criterion One (Events), Criterion Two (People), or Criterion Three (Architecture).

Like the Community Room, the parking lot and garden wall are not individually eligible for listing in the California Register. Following is an analysis of their eligibility based on CRHR designation criteria:

- **Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States (Criterion One)**
There were no events in the parking lot or in the space enclosed by the garden wall that made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States. The parking lot and garden wall are not eligible for listing under Criterion One.

- **Associated with the lives of persons important to local, California or national history (Criterion Two)**
The parking lot and garden wall did not play a significant role in the lives of any people important to local, California, or national history and they are not eligible for listing under Criterion Two.

- **Embodies the distinctive characteristics of a type, period, region, or method of construction or represents the work of a master or possesses high artistic values (Criterion Three)**

The parking lot and garden wall are generic in design and do not exhibit the distinctive characteristics of a type, period, region, or method of construction. The parking lot in particular was designed to be unobtrusive and not to detract from the main bank building. Although the parking lot and community room were included in the Shaw and Burke plans for the complex, their creative energies were focused on the main bank building. The parking lot supported the bank's functions by offering customers convenient access. The garden wall never enclosed a sculpture court and in 2013 a portion of the wall was removed plus the entire wall was lowered by a foot, thus diminishing its original design and purpose. At one time, both the parking lot and

⁴ Carmel Pine Cone, September 30, 1971, p. 19.

2 | Page

wall supported the bank's function but they do not contribute to the bank's distinction as a significant local representative of the Bay Region style of architecture. Neither can be considered a historic resource on their own merit and they are not eligible for listing under Criterion Three.

The Secretary of the Interior's Standards for Rehabilitation

Compliance Evaluation

As a historical resource, the Palo Alto-Salinas Savings and Loan bank building is subject to review under the California Environmental Quality Act (CEQA). The parking lot, community room, and wall are not historic resources and are not individually subject to CEQA, however the impact of their proposed demolition on the historic resource is relevant under several of the Standards. Generally, under CEQA, a project that follows the Standards for Rehabilitation contained within The Secretary of the Interior's Standards for the Treatment of Historic Properties is considered to have mitigated impacts to a historical resource to a less-than-significant level (CEQA Guidelines 15064.5).

The impact of the proposed demolition of site features within the Palo Alto-Salinas Savings and Loan Bank complex are reviewed below with respect to the Rehabilitation Standards. The Standards are indicated in italics, followed by a discussion regarding the project's consistency or inconsistency with each Standard.

Standard One

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The bank building has been used as a bank, retail store and most recently as a restaurant. These different uses have required minimal change to its distinctive materials, features, spaces, and spatial relationships. The community room is separated from the main bank building by a walkway. Street A1.0 indicates that the proposed adjacent construction will be separated from the bank building by a new walkway. The new walkway will help to maintain spatial relationships between the buildings however that spatial relationship should be maintained from the ground level to the roof by a setback of the north elevation from the bank building. It is also recommended that the proposed walkway be the same width as the current walkway.

Standard Two

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided.

The historic character of the bank building will not be altered. No distinctive materials will be removed. Features, and spaces will not be altered. The spatial relationship between the bank and the community room which has been established by the walkway separating the two should be maintained as part of the new construction. The Secretary of the Interior's Guidelines for Rehabilitation recommend that any new construction adjacent to a historic structure should be placed away from or at the side or rear of a historic building and must avoid obscuring, damaging, or destroying character-defining features of the building. It appears from the Site Plan that the bulk of the new building will be located behind the bank and set back from Seventh Street. The proposed work appears to be consistent with Standard Two.

Standard Three

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historical properties, will not be undertaken.

No conjectural features or architectural elements that would create a false sense of history will be added to the historic resource. This Standard is not applicable.

Standard Four

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

The bank building has changed over time and there are no features that have achieved significance in their own right. This Standard is not applicable.

Standard Five

Distictive materials, finishes, fixtures, and construction techniques or expression of craftsmanship that characterize a property will be preserved.



Providing adequate protection involves the following steps:

1. Consultation between the historic building owner and development team to identify potential risks, negotiate changes and agree upon protective measures.

⁵ Preservation Tech Note, Preserving a Historic Structure during Adjacent Construction, Technical Preservation Services, National Park Service, 2017.

3 | Page

2. Documentation of the condition of the historic building prior to adjacent work.
3. Implementation of protective measures at both the construction site and the historic site.

4. Regular monitoring during construction to identify damage, to evaluate the efficacy of protective measures already in place, and to identify and implement additional corrective steps.

Work will be consistent with Standard Five if a protection plan is submitted to the HRB for review and approval prior to the commencement of any work on the proposed project.

Standard Six

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

No work will be done on the historic bank building except for the repair of the wall junction between the community room and bank. As stated in Standard Five, the repair of the bank wall should match the original wall in design, color, texture, and where possible, materials. Construction plans should clearly indicate how the wall will be repaired in order to be consistent with Standard Five and Six.

Standard Seven

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Surface cleaning is not proposed for the historic resource. This Standard is not applicable.

Standard Eight

Archaeological resources will be protected and preserved in place.

The current parking lot will be demolished, and a 10,746 square foot basement area will be excavated which will serve as a parking garage, gym, and support services for the new building. Because there will be major ground disturbance, an archeological report should be prepared to evaluate whether any resources are present. If resources are discovered, appropriate mitigation measures should be implemented. The proposed work will be consistent with Standard Eight once an archeological report is completed.

Standard Nine

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and shall be compatible with the historic materials, features, size, scale, and proportions, and massing to protect the integrity of the property and its environment.

The new construction will demolish the parking lot, community room, and garden wall which are part of the bank complex however they are not significant in their own right. These features supported the bank's former function but do not support its eligibility under Criterion Three (Architecture). They are

not considered character-defining features. The pathway separating the community room and the bank creates an important spatial relationship that should be preserved, as discussed under Standard One and Two. The proposed work appears to be consistent with Standard Nine.

Standard Ten

New additions and exterior or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

If removed in the future, the proposed new construction adjacent to the historic bank building will not impair the historic property and environment only if care is taken to remove the building following the guidance provided in Preservation Tech Note Number 3 and described under Standard Five.

Conclusion

The former Palo Alto-Salinas Savings and Loan complex consists of the historic bank building, a community room, a parking lot and garden wall. The primary building within the complex is the bank, and the property's architectural significance is predicated on the bank, not the community room which is simply an auxiliary structure. The community room has been evaluated for eligibility for listing in the California Register based on its merits alone and it does not meet the criteria for listing as an individual resource.

The proposed project will meet Standards One, Two, Five, Six, Eight, Nine, and Ten of the Secretary of the Interior's Standards and Guidelines for Rehabilitation on the condition that recommendations in this report are carried out. Standards Three, Four, and Seven are not applicable to this project. If the proposed project meets the aforementioned Standards then the project will not have a significant impact on the historic bank building.

Respectfully Submitted,

Margaret Clavis

4 | Page



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STAMPS:

PROJECT/CLIENT:

JB PASTOR BUILDING

PROJECT ADDRESS:

DOLORES, 2ND SE
OF 7TH
CARMEL, CA
93921

APN: 010-145-012
022, & 023

DATE: DECEMBER 18, 2020

TRACK-2 SUBMITTAL

REVIEWS:

- △ MARCH 4, 2021
FOREST & BEACH COMMISSION
- △ MARCH 26, 2021
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- △ APRIL 14, 2021
REVISED TRACK-2 APPLICATION
- △
- △
- △

HISTORIC PRESERVATION CONDITIONS

SHEET NO.

A1.3





TECH NOTES
TEMPORARY PROTECTION
NUMBER 3
Protecting a Historic Structure during Adjunct Construction

IDENTIFYING AND AVOIDING RISKS FROM ADJUNCT ACTIVITIES

Validated for the ability to carry the load through existing materials and foundations. Historic buildings may also be subject to an over-changing process. That change is not always planned for. Historic buildings constructed and existing conditions are identified, documented and assessed. It is the most important of existing conditions to be identified, documented and assessed.

Each location of a historic building from the record can show that it was not created by the developer's project. It is the responsibility of the developer to identify the location of the historic building from the record can show that it was not created by the developer's project. It is the responsibility of the developer to identify the location of the historic building from the record can show that it was not created by the developer's project.

Problem The forces that contribute to the deterioration of a historic building, from atmospheric pollution to the history of violence, often take decades and even centuries to exact their toll. Deterioration activities and new construction activities are not always planned for.

Solutions Effective planning and protective measures can prevent the loss of historic buildings. Historic buildings are not always planned for. Deterioration activities and new construction activities are not always planned for.

When historic structures are exposed to adjacent construction or demolition work, a protective plan including documentation, monitoring and specific safeguards should be implemented to prevent damage and loss of historic value.

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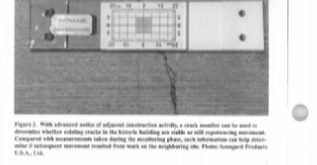


Figure 2: With external noise of adjacent construction activity, a rock masonry wall can be damaged by adjacent construction activity. Historic buildings are not always planned for.

Information passed on to the appropriate. Contract. Field. Historic buildings are not always planned for. Deterioration activities and new construction activities are not always planned for.

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Figure 3: A damaged historic building structure is shown in the ground level of a historic building. Historic buildings are not always planned for.

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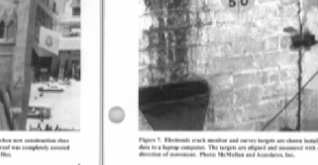


Figure 4: A damaged historic building structure is shown in the ground level of a historic building. Historic buildings are not always planned for.

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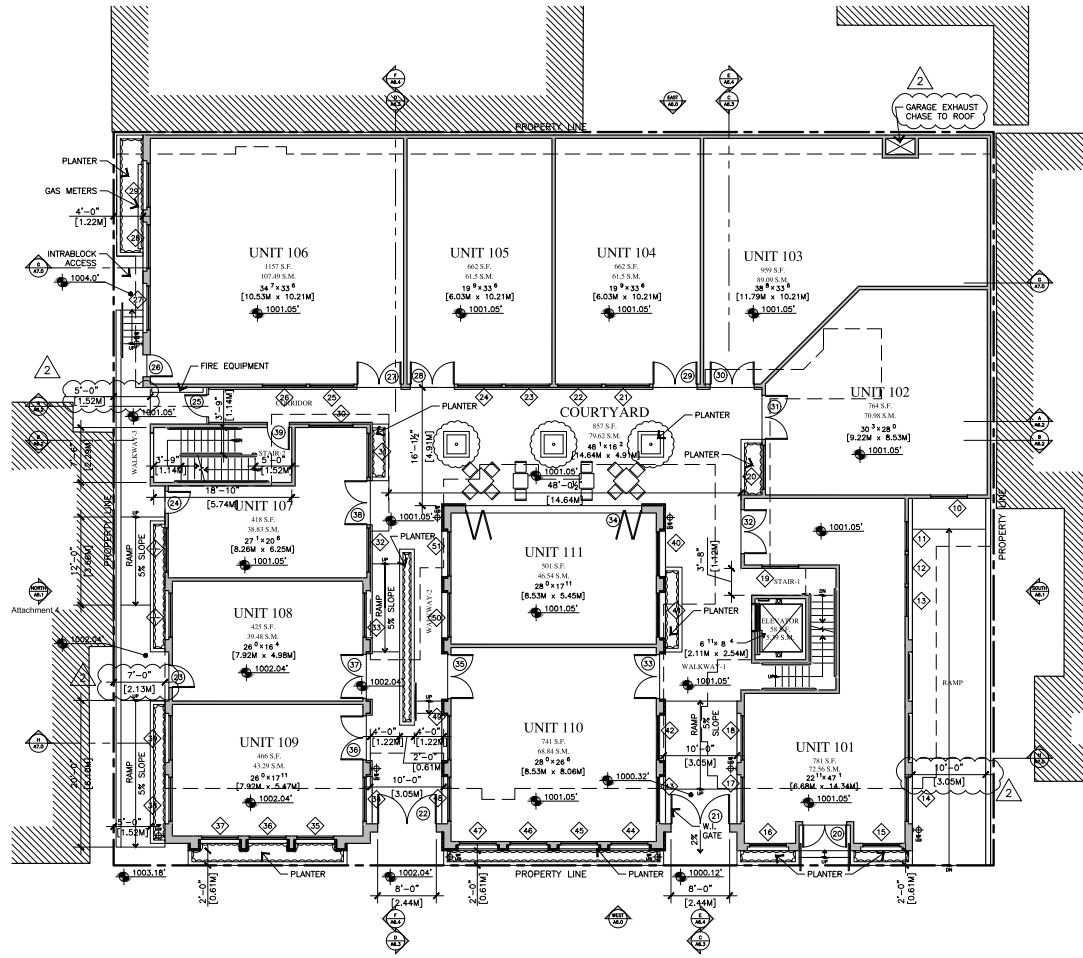
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JB PASTOR BUILDING
PROJECT ADDRESS:
DOLORES, 2ND SE OF 7TH CARMEL, CA 93921
APN: 010-145-012 022, & 023
DATE: DECEMBER 18, 2020
TRACK-2 SUBMITTAL
REVISIONS:
MARCH 4, 2021
FOREST & BEACH COMMISSION
MARCH 26, 2021
HISTORIC BOARD COMMISSION
APRIL 14, 2021
REVISED TRACK-2 APPLICATION

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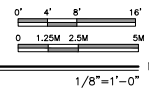
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HISTORIC PRESERVATION CONDITIONS
SHEET NO.
A1.4

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GROUND FLOOR PLAN
8,544 SQUARE FEET / 793.76 SQUARE METERS



DOOR/WINDOW LEGEND

	DENOTES A WINDOW
	DENOTES A DOOR

NOTE:
SEE DOOR & WINDOW SCHEDULE FOR CORRESPONDING DOOR & WINDOW INFORMATION

WALL LEGEND

	2X6 EXTERIOR STUD FRAMED WALL
	2X4 INTERIOR STUD FRAMED WALL, U.O.N.
	2X4 INTERIOR STUD FRAMED WALL, U.O.N.



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CARMEL, CA 93921

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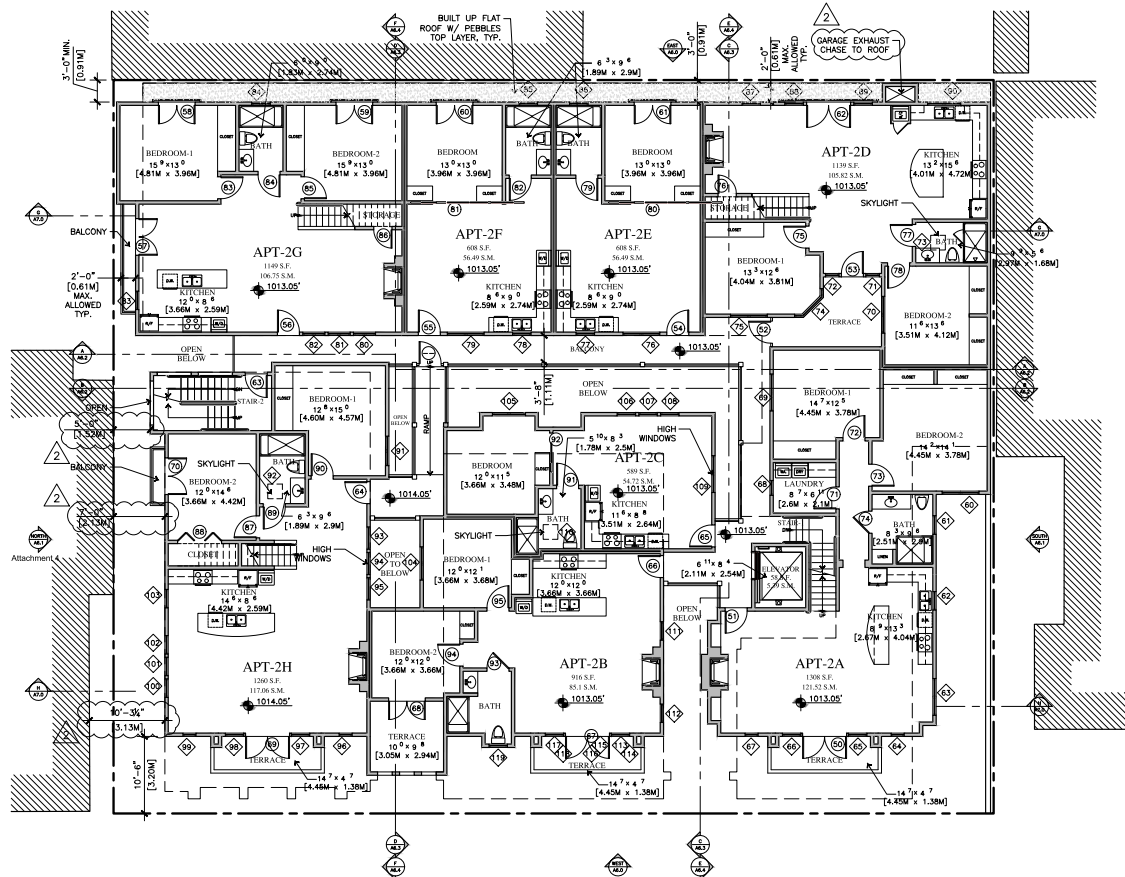
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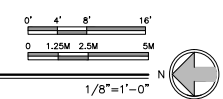
GROUND FLOOR PLAN

SHEET NO.
A3.0

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SECOND FLOOR PLAN
8,354 SQUARE FEET / 776.11 SQUARE METERS



DOOR/WINDOW LEGEND

	DENOTES A WINDOW
	DENOTES A DOOR

NOTE:
SEE DOOR & WINDOW SCHEDULE FOR CORRESPONDING DOOR & WINDOW INFORMATION

WALL LEGEND

	2X6 EXTERIOR STUD FRAMED WALL
	2X4 INTERIOR STUD FRAMED WALL, U.O.N.
	2X4 INTERIOR STUD FRAMED WALL, U.O.N.

728 1 LIGHTHOUSE AVE
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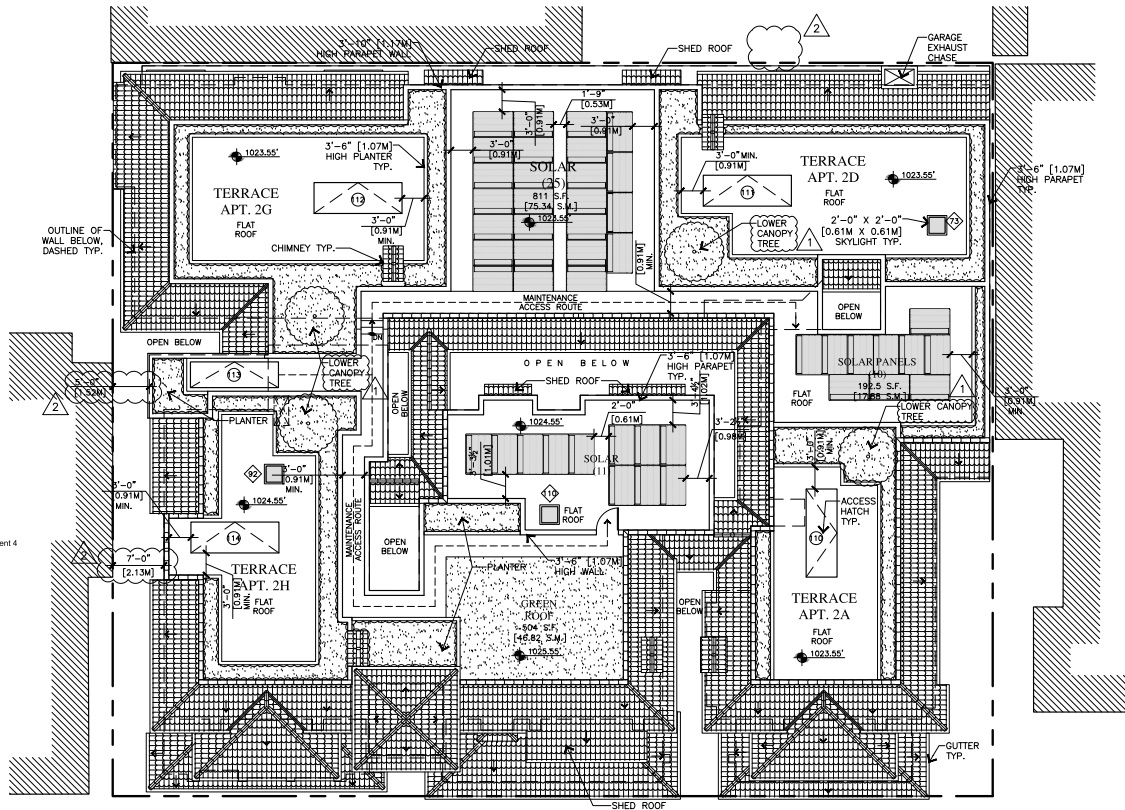
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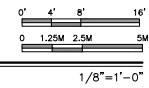
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SECOND FLOOR PLAN

SHEET NO.
A4.0



ROOF PLAN



DOOR/WINDOW LEGEND

- DENOTES A WINDOW
- DENOTES A DOOR

NOTE:
SEE DOOR & WINDOW SCHEDULE FOR CORRESPONDING DOOR & WINDOW INFORMATION

721 LIGHTHOUSE AVE
PACIFIC GROVE, CA
93950

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ROOF
PLAN

SHEET NO.

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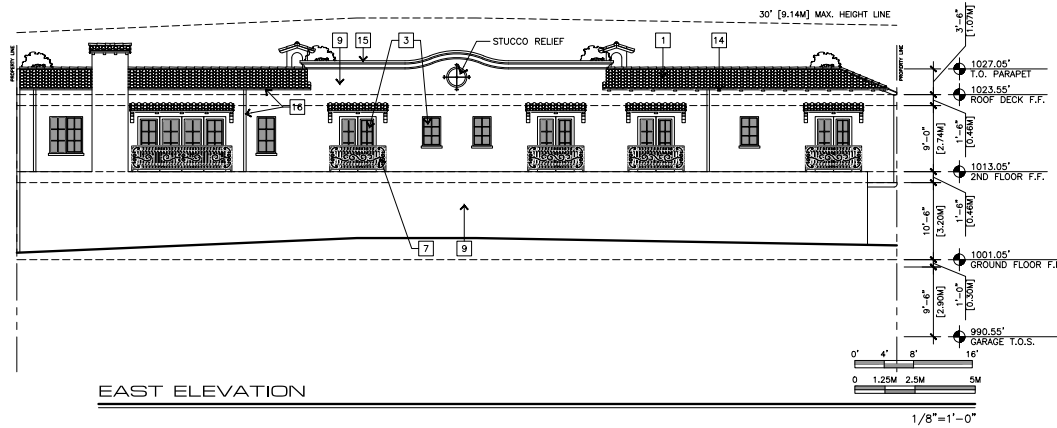
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WEST ELEVATION

1/8"=1'-0"

Attachment 4



EAST ELEVATION

1/8"=1'-0"

EXTERIOR FINISH LEGEND

- 1 MISSION STYLE CLAY TILE ROOF
- 2 DECORATIVE CERAMIC TILE
- 3 ALUMINUM CLAD DOORS & WINDOWS
- 4 PAINTED WOOD DOORS & WINDOWS
- 5 TRANSOM WINDOW
- 6 WROUGHT IRON GATE
- 7 WROUGHT IRON RAILING
- 9 STUCCO FINISH
- 10 RANDOM EXTERIOR STONE
- 11 SHAPED STUCCO SILL
- 12 REDWOOD POST
- 13 REDWOOD BEAMS & CORBELS
- 14 REDWOOD RAFTER TAILS
- 15 PRECAST CONCRETE PARAPET CAP
- 16 COPPER GUTTERS & DOWNSPOUT

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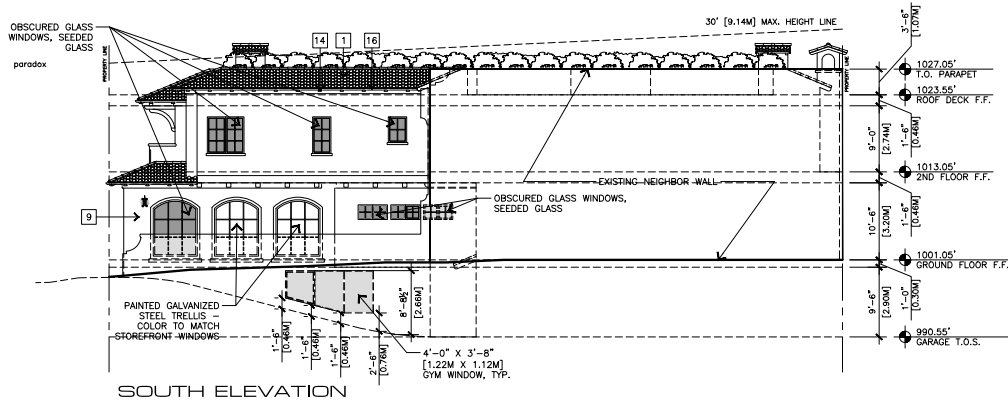
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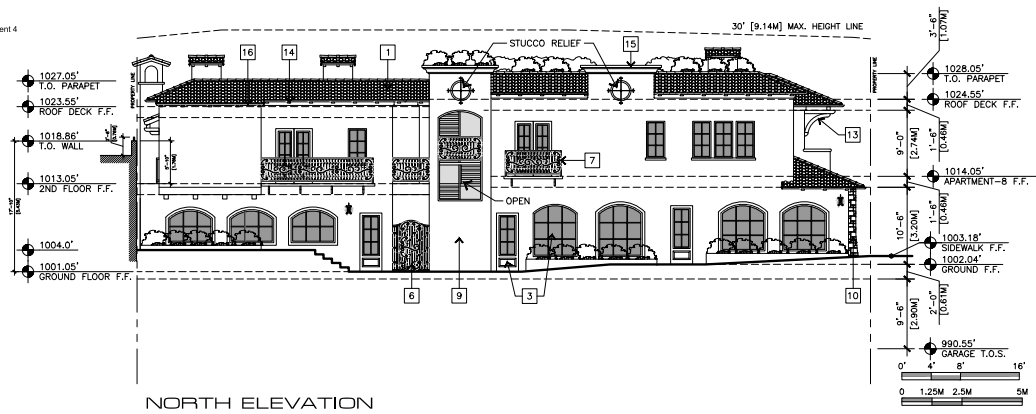
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 - ▲
 - ▲
 - ▲



SOUTH ELEVATION

1/8"=1'-0"

Attachment 4



NORTH ELEVATION

1/8"=1'-0"

EXTERIOR FINISH LEGEND

- 1 MISSION STYLE CLAY TILE ROOF
- 2 DECORATIVE CERAMIC TILE
- 3 ALUMINUM CLAD DOORS & WINDOWS
- 4 PAINTED WOOD DOORS & WINDOWS
- 5 TRANSOM WINDOW
- 6 WROUGHT IRON GATE
- 7 WROUGHT IRON RAILING
- 9 STUCCO FINISH
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- 14 REDWOOD RAFTER TAILS
- 15 PRECAST CONCRETE PARAPET CAP
- 16 COPPER GUTTERS & DOWNSPOUT



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BUILDING

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93921

APN: 010-145-012
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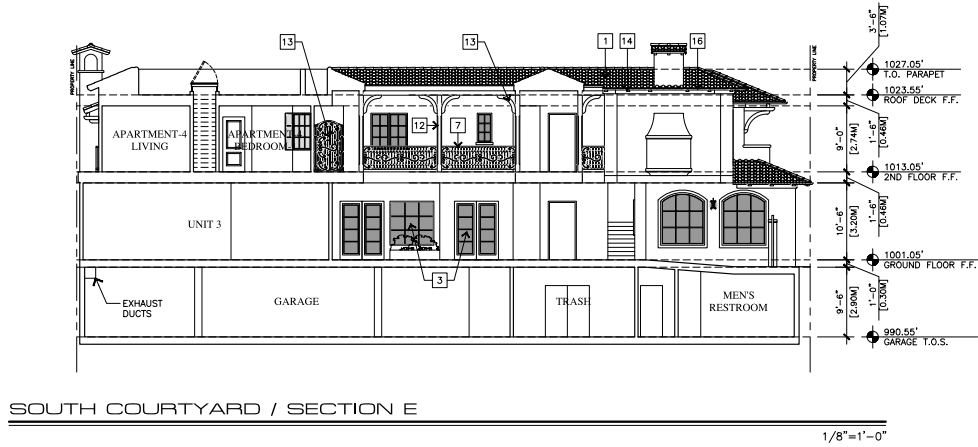
ELEVATIONS

SHEET NO.

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Attachment 4

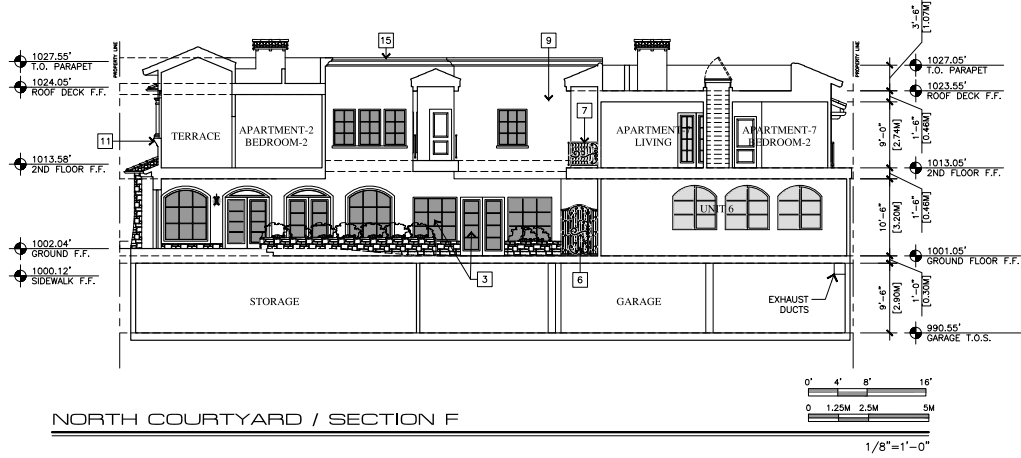


SOUTH COURTYARD / SECTION E

1/8"=1'-0"

EXTERIOR FINISH LEGEND

- 1 MISSION STYLE CLAY TILE ROOF
- 2 DECORATIVE CERAMIC TILE
- 3 ALUMINUM CLAD DOORS & WINDOWS
- 4 PAINTED WOOD DOORS & WINDOWS
- 5 TRANSOM WINDOW
- 6 WROUGHT IRON GATE
- 7 WROUGHT IRON RAILING
- 9 STUCCO FINISH
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- 11 SHAPED STUCCO SILL
- 12 REDWOOD POST
- 13 REDWOOD BEAMS & CORBELS
- 14 REDWOOD RAFTER TAILS
- 15 PRECAST CONCRETE PARAPET CAP
- 16 COPPER GUTTERS & DOWNSPOUT



NORTH COURTYARD / SECTION F

1/8"=1'-0"

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PROJECT/CLIENT:
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PROJECT ADDRESS:
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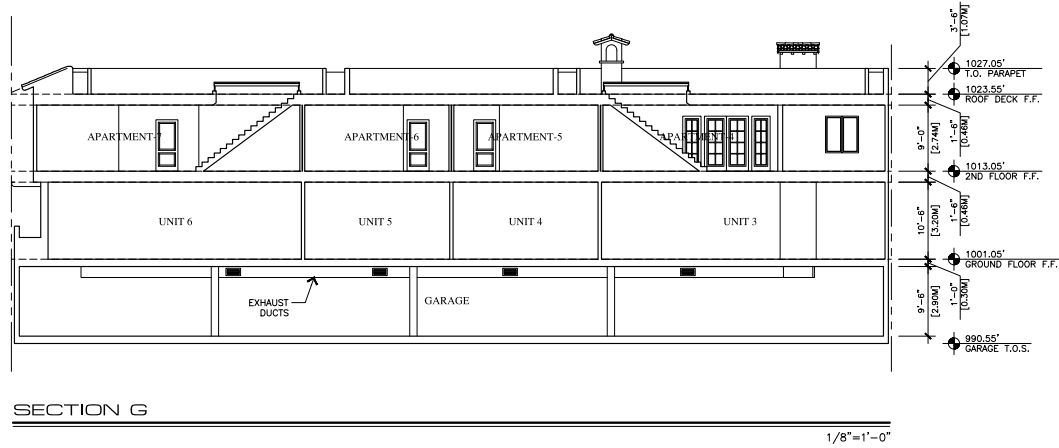
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 - ▲ MARCH 26, 2021 HISTORIC BOARD COMMISSION
 - ▲ APRIL 14, 2021 REVISD TRACK-2 APPLICATION

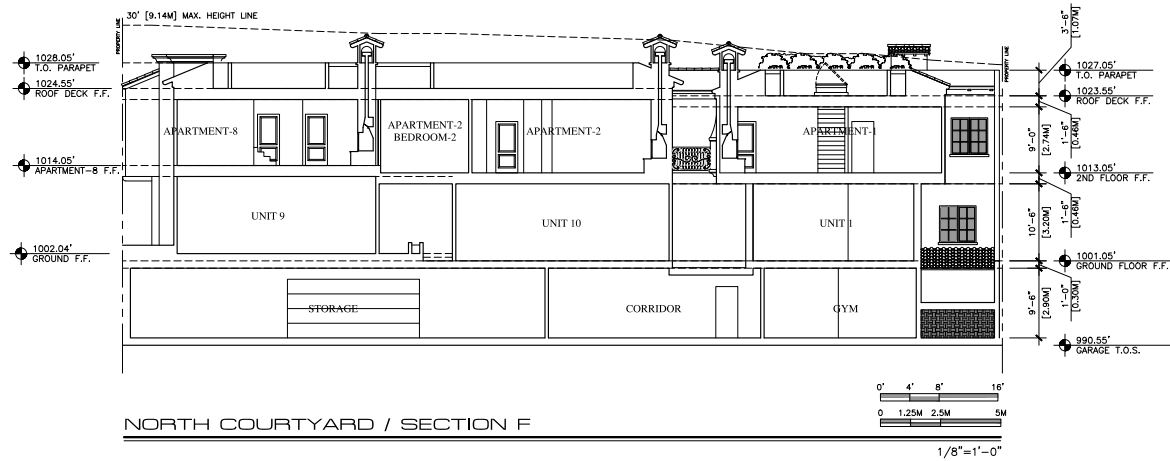
ELEVATIONS & SECTIONS

SHEET NO.
A6.4

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Attachment 4



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STAMPS:

PROJECT/CLIENT:

**JB PASTOR
 BUILDING**

PROJECT ADDRESS:

**DOLORES, 2ND SE
 OF 7TH
 CARMEL, CA
 93921**

APN: 010-145-012
 022, & 023

DATE: DECEMBER 18, 2020

TRACK-2 SUBMITTAL

REVISIONS:

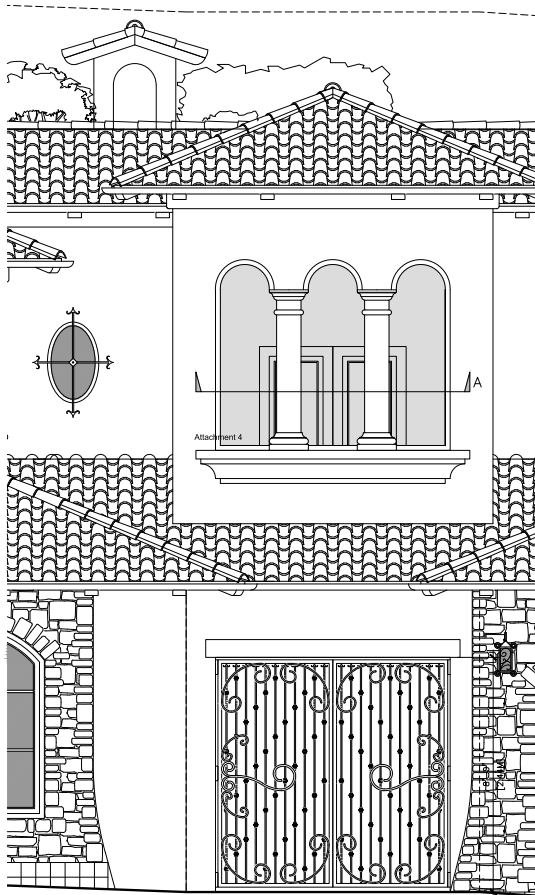
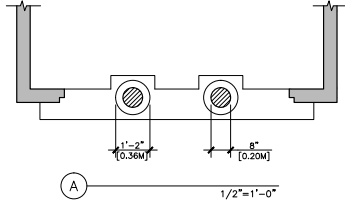
- ▲ MARCH 4, 2021
FOREST & BEACH COMMISSION
- ▲ MARCH 26, 2021
HISTORIC BOARD COMMISSION
- ▲ APRIL 14, 2021
REVISED TRACK-2 APPLICATION
- ▲
- ▲
- ▲

SECTIONS

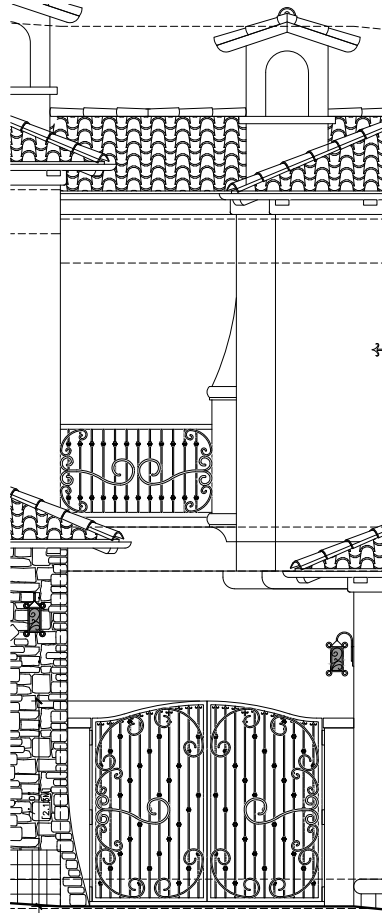
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A6.5

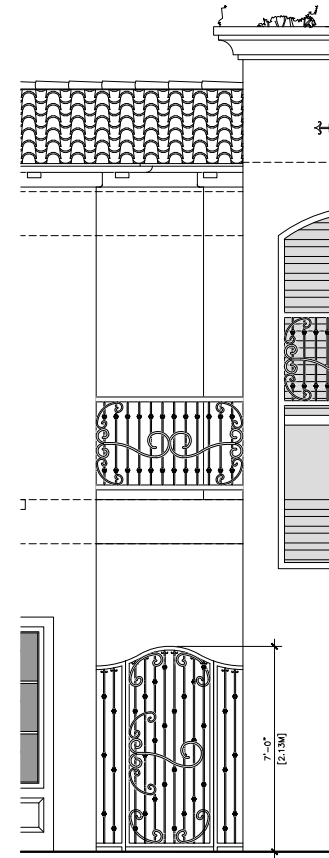
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NORTHWEST GATE & TOWER
1/2"=1'-0"



SOUTHWEST GATE
1/2"=1'-0"



NORTH ACCESS GATE
1/2"=1'-0"

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STAMPS:

PROJECT/CLIENT:

**JB PASTOR
BUILDING**

PROJECT ADDRESS:

**DOLORES, 2ND SE
OF 7TH
CARMEL, CA
93921**

APN: 010-145-012
022, & 023

DATE: DECEMBER 18, 2020
TRACK-2 SUBMITTAL

REVISIONS:

- ▲ MARCH 4, 2021
FOREST & BEACH COMMISSION
- ▲ MARCH 26, 2021
HISTORIC BOARD COMMISSION
- ▲ APRIL 14, 2021
REVISED TRACK-2 APPLICATION
- ▲
- ▲
- ▲

**GATE
DETAILS**

SHEET NO.

A6.9



DOLORES STREETScape - EAST SIDE

Attachment 4



DOLORES STREETScape - WEST SIDE

JUN A. SILLANG, AIA

IDG

ARCHITECTURE • PLANNING • INTERIOR DESIGN

7521 LIGHTHOUSE AVE
PACIFIC GROVE, CA
93950

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STAMPS:

PROJECT/CLIENT:
ESPERANZA CARMEL COMMERCIAL LLC

PROJECT ADDRESS:
**DOLORES ST
2 SE of 7th Ave,
CARMEL, CA 93921**

REGISTERED ARCHITECT
JUN A. SILLANG
C-24875
STATE OF CALIFORNIA

DATE: DECEMBER 18, 2020
TRACK II SUBMITTAL

REVISIONS:

- ▲ MARCH 4, 2021 FOREST & BEACH COMMISSION
- ▲ MARCH 25, 2021 HISTORIC BOARD COMMISSION
- ▲ APRIL 14, 2021 REVISED TRACK-2 APPLICATION
- ▲ _____
- ▲ _____

JB-PASTOR STREETSCAPES

SHEET NO.
A8.1



ADJACENT BUILDING

N.T.S.



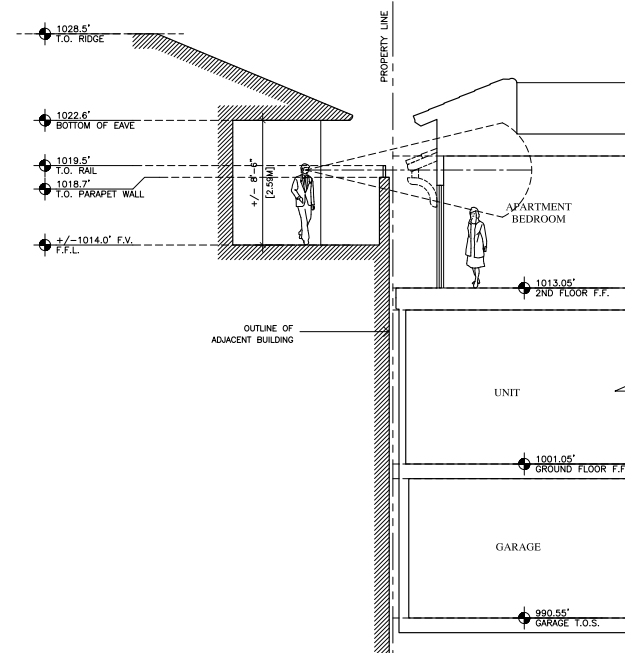
ADJACENT BUILDING

N.T.S.



ADJACENT BUILDING

N.T.S.



SECTION THRU ADJACENT BUILDING

1/4"=1'-0"

JUN A. SILLANG, AIA
IDG
 ARCHITECTURE • PLANNING • INTERIOR DESIGN

721, LIGHTHOUSE AVE
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STAMPS:

PROJECT: 1
 OF 1
 08/20/19

PROJECT/CLIENT:
JB PASTOR BUILDING

PROJECT ADDRESS:
DOLORES, 2ND SE OF 7TH CARMEL, CA 93921

APN: 010-145-012 022, & 023

DATE: DECEMBER 18, 2020
 TRACK-2 SUBMITTAL

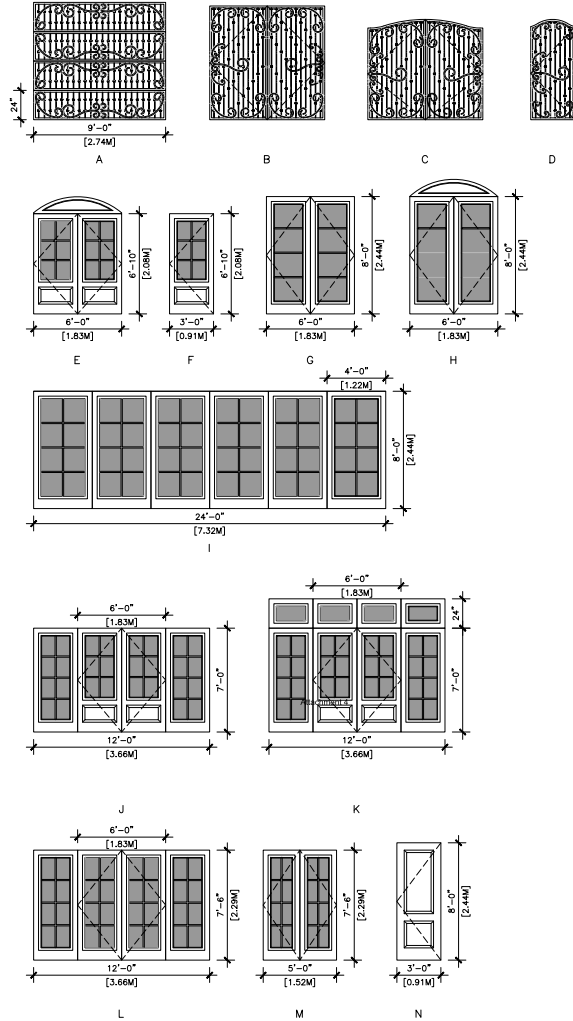
REVISIONS:
 MARCH 4, 2021
 FOREST & BEACH COMMISSION
 MARCH 26, 2021
 HISTORIC BOARD COMMISSION
 APRIL 14, 2021
 REVISED TRACK-2 APPLICATION

ADJACENT BUILDING ELEVATIONS

SHEET NO.
A8.2

DOOR TYPES

SCALE: 1/4" = 1'-0"



EXTERIOR DOOR SCHEDULE

Door No.	Door Size (Finished)			Style	Material	Core	Glass		Finish		Action	Remarks
	Width	Height	Thick				Type	Tempered	Exterior	Interior		
BASEMENT												
2	3'-0"	8'-0"	1-3/4"	A	WR. IRON	---	---	---	---	---	ROLL-UP	⊙ ---
3	PAIR 3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING	⊙ ---
4	18'-0"	8'-0"	1-3/4"	---	---	---	---	---	---	---	ROLL-UP	⊙ ---
5	3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING	⊙ ---
6	3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING	⊙ ---
7	3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING	⊙ ---
8	3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING	⊙ ---
9	3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING	⊙ ---
10	3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING	⊙ ---
11	2'-6"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING	⊙ ---
12	3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING	⊙ ---
13	3'-0"	7'-0"	1-3/4"	---	---	---	---	---	---	---	SWING	⊙ ---
GROUND FLOOR												
20	PAIR 3'-0"	7'-0"	1-3/4"	E	---	---	DBL-PANE	YES	---	---	SWING	⊙ ---
21	PAIR 4'-0"	7'-0"	1-3/4"	B	WR. IRON	---	---	---	---	---	SWING	⊙ SOUTHWEST GATE @ COURTYARD
22	PAIR 4'-0"	8'-0"	1-3/4"	C	WR. IRON	---	---	---	---	---	SWING	⊙ NORTHWEST GATE @ COURTYARD
23	3'-0"	8'-0"	1-3/4"	F	---	---	DBL-PANE	YES	---	---	SWING	⊙ ---
24	3'-0"	8'-0"	1-3/4"	F	---	---	DBL-PANE	YES	---	---	SWING	⊙ ---
25	3'-0"	8'-0"	1-3/4"	D	WR. IRON	---	---	---	---	---	SWING	⊙ NORTH GATE @ COURTYARD
26	3'-0"	8'-0"	1-3/4"	F	---	---	DBL-PANE	YES	---	---	SWING	⊙ ---
27	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	DBL-PANE	YES	---	---	SWING	⊙ ---
28	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	DBL-PANE	YES	---	---	SWING	⊙ ---
29	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	DBL-PANE	YES	---	---	SWING	⊙ ---
30	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	DBL-PANE	YES	---	---	SWING	⊙ ---
31	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	DBL-PANE	YES	---	---	SWING	⊙ ---
32	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	DBL-PANE	YES	---	---	SWING	⊙ ---
33	PAIR 3'-0"	8'-0"	1-3/4"	H	---	---	DBL-PANE	YES	---	---	SWING	⊙ ---
34	SIX 4'-0"	8'-0"	1-3/4"	I	---	---	DBL-PANE	YES	---	---	BI-FOLD	⊙ ---
35	PAIR 3'-0"	8'-0"	1-3/4"	H	---	---	DBL-PANE	YES	---	---	SWING	⊙ ---
36	PAIR 3'-0"	8'-0"	1-3/4"	H	---	---	DBL-PANE	YES	---	---	SWING	⊙ ---
37	PAIR 3'-0"	8'-0"	1-3/4"	H	---	---	DBL-PANE	YES	---	---	SWING	⊙ ---
38	PAIR 3'-0"	8'-0"	1-3/4"	G	---	---	DBL-PANE	YES	---	---	SWING	⊙ ---
39	3'-0"	8'-0"	1-3/4"	---	---	---	---	---	---	---	SWING	⊙ GATE @ STAIR 2
2ND FLOOR												
50	PAIR 3'-0"	7'-8"	1-3/4"	J	---	---	DBL-PANE	YES	---	---	SWING	⊙ TERRACE, APT. 1
51	3'-0"	7'-6"	1-3/4"	N	---	---	---	---	---	---	SWING	⊙ APT. 1
52	3'-0"	7'-0"	1-3/4"	D	WR. IRON	---	---	---	---	---	SWING	⊙ GATE @ APT. 4
53	3'-0"	7'-6"	1-3/4"	N	---	---	---	---	---	---	SWING	⊙ APT. 4
54	3'-0"	7'-6"	1-3/4"	N	---	---	---	---	---	---	SWING	⊙ APT. 5
55	3'-0"	7'-6"	1-3/4"	N	---	---	---	---	---	---	SWING	⊙ APT. 6
56	3'-0"	7'-6"	1-3/4"	N	---	---	---	---	---	---	SWING	⊙ APT. 7
57	PAIR 2'-6"	7'-6"	1-3/4"	M	---	---	DBL-PANE	YES	---	---	SWING	⊙ BALCONY, APT. 7
58	PAIR 2'-6"	7'-6"	1-3/4"	M	---	---	DBL-PANE	YES	---	---	SWING	⊙ BALCONY, APT. 7
59	PAIR 2'-6"	7'-6"	1-3/4"	M	---	---	DBL-PANE	YES	---	---	SWING	⊙ BALCONY, APT. 7
60	PAIR 2'-6"	7'-6"	1-3/4"	M	---	---	DBL-PANE	YES	---	---	SWING	⊙ BALCONY, APT. 6
61	PAIR 2'-6"	7'-6"	1-3/4"	M	---	---	DBL-PANE	YES	---	---	SWING	⊙ BALCONY, APT. 5
62	PAIR 3'-0"	7'-6"	1-3/4"	L	---	---	DBL-PANE	YES	---	---	SWING	⊙ BALCONY, APT. 4
63	3'-0"	7'-6"	1-3/4"	---	---	---	---	---	---	---	SWING	⊙ GATE @ STAIR-2
64	3'-0"	7'-6"	1-3/4"	N	---	---	---	---	---	---	SWING	⊙ APT. 8
65	3'-0"	7'-6"	1-3/4"	N	---	---	---	---	---	---	SWING	⊙ APT. 3
66	3'-0"	7'-6"	1-3/4"	N	---	---	---	---	---	---	SWING	⊙ APT. 2
67	PAIR 3'-0"	7'-6"	1-3/4"	K	---	---	DBL-PANE	YES	---	---	SWING	⊙ TERRACE, APT. 2
68	PAIR 3'-0"	7'-6"	1-3/4"	M	---	---	DBL-PANE	YES	---	---	SWING	⊙ TERRACE, APT. 2
69	PAIR 3'-0"	7'-6"	1-3/4"	J	---	---	DBL-PANE	YES	---	---	SWING	⊙ TERRACE, APT. 8
70	PAIR 2'-6"	7'-6"	1-3/4"	M	---	---	DBL-PANE	YES	---	---	SWING	⊙ BALCONY, APT. 8
ROOF												
110	4'-3"	12'-0"	1-3/4"	---	METAL	---	---	---	---	---	SWING-UP	⊙ ROOF HATCH @ APT. 1
111	4'-3"	12'-0"	1-3/4"	---	METAL	---	---	---	---	---	SWING-UP	⊙ ROOF HATCH @ APT. 4
112	4'-3"	12'-0"	1-3/4"	---	METAL	---	---	---	---	---	SWING-UP	⊙ ROOF HATCH @ APT. 7
113	3'-6"	12'-0"	1-3/4"	---	METAL	---	---	---	---	---	SWING-UP	⊙ ROOF HATCH @ STAIR-2
114	4'-3"	12'-0"	1-3/4"	---	METAL	---	---	---	---	---	SWING-UP	⊙ ROOF HATCH @ APT. 8

DOOR NOTES:

ALL GLAZING IN DOORS SHALL BE TEMP. GLASS.
 DOOR SIZES SHOWN ARE PROPOSED DOOR LEAF SIZES. GENERAL CONTRACTOR TO VERIFY MANUFACTURER'S NEAREST STOCK SIZES FOR DESIGNER/OWNER TO REVIEW AND APPROVE.
 SPECIALTY DOORS SHALL BE COORDINATED WITH GENERAL CONTRACTOR FOR SITE VERIFICATION AND INSTALLATION.
 ALL EXTERIOR DOORS SHALL HAVE A COPPER PAN, 1/2" MAX THRESHOLD, & BRASS HINGES. OUTSWING DOORS SHALL HAVE A 1-1/2" MAX CHANGE IN ELEVATION TO THE EXTERIOR.
 ALL EXPOSED EDGES TO BE SEALED TO PREVENT MOISTURE PENETRATION AND WARPING.
 ALL FRENCH DOORS ARE TO HAVE DEAD BOLTS.
 CONTRACTOR TO VERIFY ALL ASPECTS OF DOORS WITH OWNER PRIOR TO ORDERING
 EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITION-RESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1-1/4 INCHES THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM-7A-1. [§R327.8.3]
 ALL EXTERIOR GLAZED DOORS ARE TO BE DOUBLE GLAZED, WITH A MINIMUM OF ONE TEMPERED PANE, GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [§R327.8.2.1]



721 LIGHTHOUSE AVE
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 93950

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STAMPS:

PROJECT/CLIENT:

JB PASTOR BUILDING

PROJECT ADDRESS:
 DOLORES, 2ND SE
 OF 7TH
 CARMEL, CA
 93921

APN: 010-145-012
 022, & 023

DATE: DECEMBER 18, 2020
 TRACK-2 SUBMITAL

- REVISIONS:
- ▲ MARCH 4, 2021
 - ▲ FOREST & BEACH COMMISSION
 - ▲ MARCH 26, 2021
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 - ▲ APRIL 14, 2021
 - ▲ REVISED TRACK-2 APPLICATION

DOOR SCHEDULE

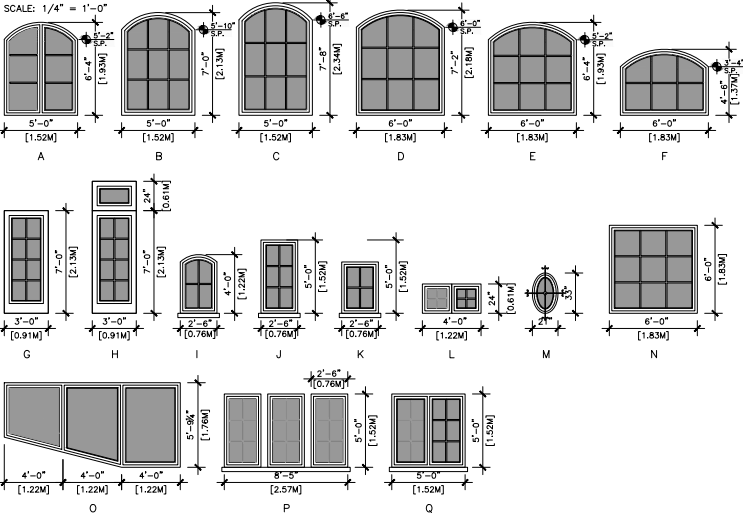
SHEET NO.

A9.0

WINDOW SCHEDULE												
Window No.	Window Size (Finished)			Style	Type	Material	Glass		Finish		Remarks	
	Width	Height	Head Height				Type	Tempered	Exterior	Interior		
BASEMENT												
1	4'-0"	V.I.F.	9'-0"	O	FIXED	WOOD	DBL-PANE	YES	METAL-CLAD	---	① ---	
2	4'-0"	V.I.F.	9'-0"	O	FIXED	WOOD	DBL-PANE	YES	METAL-CLAD	---	① ---	
3	4'-0"	V.I.F.	9'-0"	O	FIXED	WOOD	DBL-PANE	YES	METAL-CLAD	---	① ---	

GROUND FLOOR												
Window No.	Window Size (Finished)			Style	Type	Material	Glass		Finish		Remarks	
	Width	Height	Head Height				Type	Tempered	Exterior	Interior		
10	5'-0"	5'-0"	7'-6"	Q	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
11	4'-0"	2'-0"	7'-6"	L	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
12	4'-0"	2'-0"	7'-6"	L	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
13	4'-0"	2'-0"	7'-6"	L	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
14	6'-0"	7'-8"	8'-2"	C	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
15	5'-0"	7'-8"	8'-2"	C	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
16	5'-0"	7'-8"	8'-2"	C	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
17	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
18	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
19	5'-0"	6'-0"	8'-0"	Q	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
20	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
21	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
22	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
23	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
24	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
25	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
26	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
27	6'-0"	4'-6"	8'-6"	F	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
28	6'-0"	4'-6"	8'-6"	F	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
29	6'-0"	4'-6"	8'-6"	F	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
30	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
31	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
32	6'-0"	6'-0"	8'-0"	N	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
33	6'-0"	7'-2"	8'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
34	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
35	5'-0"	6'-4"	8'-7"	A	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
36	5'-0"	6'-4"	8'-7"	A	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
37	5'-0"	6'-4"	8'-7"	A	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
38	6'-0"	6'-4"	8'-2"	E	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
39	6'-0"	6'-4"	8'-2"	E	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
40	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
41	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
42	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
43	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
44	5'-0"	7'-0"	9'-0"	B	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
45	5'-0"	7'-0"	9'-0"	B	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
46	5'-0"	7'-0"	9'-0"	B	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
47	5'-0"	7'-0"	9'-0"	B	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
48	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
49	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
50	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
51	6'-0"	7'-2"	9'-2"	D	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	

WINDOW TYPES



WINDOW SCHEDULE												
Window No.	Window Size (Finished)			Style	Type	Material	Glass		Finish		Remarks	
	Width	Height	Head Height				Type	Tempered	Exterior	Interior		
2ND FLOOR												
60	5'-0"	5'-0"	7'-6"	Q	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
61	2'-6"	5'-0"	7'-6"	K	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
62	2'-6"	5'-0"	7'-6"	J	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
63	5'-0"	5'-0"	7'-6"	Q	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
64	1'-9"	2'-9"	7'-6"	M	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
65	2'-6"	7'-6"	7'-6"	G	FIXED	WOOD	DBL-PANE	YES	METAL-CLAD	---	① ---	
66	2'-6"	7'-6"	7'-6"	G	FIXED	WOOD	DBL-PANE	YES	METAL-CLAD	---	① ---	
67	1'-9"	2'-9"	7'-6"	M	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
68	2'-0"	5'-0"	7'-6"	J	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
69	5'-0"	5'-0"	7'-6"	Q	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
70	5'-0"	5'-0"	7'-6"	Q	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
71	1'-10"	5'-0"	7'-6"	G	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
72	1'-10"	5'-0"	7'-6"	G	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
73	2'-0"	2'-0"	7'-6"	---	SKYLIGHT	WOOD	DBL-PANE	YES	METAL-CLAD	---	① ---	
74	4'-0"	4'-0"	7'-6"	---	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
75	5'-0"	5'-0"	7'-6"	Q	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
76	5'-0"	5'-0"	7'-6"	Q	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
77	2'-6"	5'-0"	7'-6"	J	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
78	2'-6"	5'-0"	7'-6"	J	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
79	5'-0"	5'-0"	7'-6"	Q	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
80	2'-6"	5'-0"	7'-6"	P	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
81	2'-6"	5'-0"	7'-6"	P	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
82	2'-6"	5'-0"	7'-6"	P	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
83	2'-6"	5'-0"	7'-6"	J	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
84	2'-6"	4'-0"	7'-6"	J	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
85	2'-6"	4'-0"	7'-6"	J	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
86	2'-6"	4'-0"	7'-6"	J	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
87	2'-6"	5'-0"	7'-6"	J	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
88	2'-6"	7'-6"	7'-6"	G	FIXED	WOOD	DBL-PANE	YES	METAL-CLAD	---	① ---	
89	2'-6"	7'-6"	7'-6"	G	FIXED	WOOD	DBL-PANE	YES	METAL-CLAD	---	① ---	
90	5'-0"	5'-0"	7'-6"	Q	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
91	5'-0"	5'-0"	7'-6"	Q	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
92	2'-0"	2'-0"	7'-6"	---	SKYLIGHT	WOOD	DBL-PANE	YES	METAL-CLAD	---	① ---	
93	3'-0"	5'-0"	7'-6"	P	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
94	3'-0"	5'-0"	7'-6"	P	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
95	3'-0"	5'-0"	7'-6"	P	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
96	1'-9"	2'-9"	7'-6"	M	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
97	2'-6"	7'-6"	7'-6"	G	FIXED	WOOD	DBL-PANE	YES	METAL-CLAD	---	① ---	
98	2'-6"	7'-6"	7'-6"	G	FIXED	WOOD	DBL-PANE	YES	METAL-CLAD	---	① ---	
99	1'-9"	2'-9"	7'-6"	M	FIXED	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
100	2'-6"	5'-0"	7'-6"	P	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
101	2'-6"	5'-0"	7'-6"	P	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
102	2'-6"	5'-0"	7'-6"	P	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
103	2'-6"	5'-0"	7'-6"	J	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
104	4'-6"	5'-0"	7'-6"	---	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
105	4'-6"	5'-0"	7'-6"	---	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
106	2'-6"	5'-0"	7'-6"	P	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
107	2'-6"	5'-0"	7'-6"	P	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
108	2'-6"	5'-0"	7'-6"	Q	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
109	5'-0"	5'-0"	7'-6"	J	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
110	2'-0"	5'-0"	7'-6"	---	SKYLIGHT	WOOD	DBL-PANE	YES	METAL-CLAD	---	① ---	
111	2'-6"	5'-0"	7'-6"	J	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
112	2'-6"	5'-0"	7'-6"	J	---	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	
113	2'-6"	7'-6"	7'-6"	H	FIXED	WOOD	DBL-PANE	YES	METAL-CLAD	---	① ---	
114	2'-6"	2'-0"	9'-6"	H	HOPPER	WOOD	DBL-PANE	YES	METAL-CLAD	---	① ---	
115	2'-6"	2'-0"	9'-6"	H	HOPPER	WOOD	DBL-PANE	YES	METAL-CLAD	---	① ---	
116	2'-6"	2'-0"	9'-6"	H	HOPPER	WOOD	DBL-PANE	YES	METAL-CLAD	---	① ---	
117	2'-6"	7'-6"	7'-6"	H	FIXED	WOOD	DBL-PANE	YES	METAL-CLAD	---	① ---	
118	2'-6"	2'-0"	9'-6"	H	HOPPER	WOOD	DBL-PANE	YES	METAL-CLAD	---	① ---	
119	2'-6"	4'-0"	7'-6"	I	CASEMENT/TILT	WOOD	DBL-PANE	---	METAL-CLAD	---	① ---	

WINDOW NOTES:

ALL CASEMENT WINDOWS USED IN BEDROOMS AS EMERGENCY EGRESS MUST BE "BREAK AWAY" TYPE TO ENSURE COMPLETE OPENABLE AREA FOR ACCESS.

WINDOW DIMENSIONS ARE PROPOSED FINISHED OPENING SIZES. GENERAL CONTRACTOR IS TO VERIFY MANUFACTURER'S NEAREST STOCK SIZES. ALL WINDOW SIZES, SHAPES, COLORS, HARDWARE, SCREENS, GLAZING, ETC. MUST BE APPROVED BY OWNER PRIOR TO ORDERING.

SPECIALTY WINDOWS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR FOR SITE VERIFICATION AND INSTALLATION.

ALL WINDOWS ARE TO BE DOUBLE GLAZED, WITH A MINIMUM OF ONE TEMPERED PANE. GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2, [§R327.8.2.]

OWNERS TO SPECIFY WHICH WINDOW ARE TO BE LOW "E".

FOR WINDOWS THAT SERVE AS EMERGENCY EGRESS FROM SLEEPING AREAS:
 - MINIMUM NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT.
 - MINIMUM NET CLEAR OPENABLE DIMENSION OF 20 INCHES IN WIDTH.
 - MINIMUM NET CLEAR OPENABLE DIMENSION OF 5.7 SQUARE FEET IN AREA.
 - SILL HEIGHTS OF SUCH OPENINGS SHALL NOT EXCEED 44 INCHES ABOVE FLOOR.

ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED TO COMPLY WITH HUMAN IMPACT LOADS PER CRC SECTIONS R308.3 & R308.4 AND LISTED BELOW:

- FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARCH OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - GLAZING IN ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

JUN A. BILLARD, AIA

IDG

721 LIGHTHOUSE AVE
PACIFIC GROVE, CA
93950

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 FAX: (831) 648-1200
 EMAIL: jbillard@idg.com
 WEB: www.idg.com

DISCLAIMER:
 ALL WORK SHOWN REPRESENTS ONE POSSIBLE SOLUTION TO THE PROBLEMS PRESENTED AND DOES NOT CONSTITUTE A CONTRACT. THE CLIENT SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE WORK OR FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE WORK OR FOR ANY LIABILITY OF ANY KIND. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE WORK OR FOR ANY LIABILITY OF ANY KIND.

STAMPS:

PROJECT/CLIENT:
 JB PASTOR BUILDING

PROJECT ADDRESS:
 DOLORES, 2ND SE OF 7TH CARMEL, CA 93921

APN: 010-145-012 022, & 023

DATE: DECEMBER 18, 2020
 TRACK-2 SUBMITTAL

REVISIONS:
 MARCH 4, 2021
 FOREST & BEACH COMMISSION
 MARCH 26, 2021
 HISTORIC BOARD COMMISSION
 APRIL 14, 2021
 REVISED TRACK-2 APPLICATION

WINDOW SCHEDULE

SHEET NO. **A9.1**

**CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD**

HISTORIC RESOURCES BOARD RESOLUTION NO. 2021-03-HRB

A RESOLUTION OF THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA ISSUING A FINDING OF NONCOMPLIANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE DEMOLITION OF THE PALO ALTO SAVINGS AND LOAN BANK COMMUNITY ROOM. APN: 010-101-017

WHEREAS, Alem Dermicek, on behalf of International Design Group, ("Applicant") submitted an application requesting the approval of a Design Review "DR 20-395" described herein ("Application"); and

WHEREAS, the application has been submitted for the 12,000 square foot property located at Dolores 2 southeast of 7th Avenue, in the Service Commercial (SC) Zoning District (Block 91, Lot 6, 8, 10, APN 010-101-017-000); and

WHEREAS, the applicant is proposing to demolish all improvements across the three lots and construct a 16,898 square foot two story mixed-use development with a 11,371 square foot basement garage. Two-thirds of the project site (lots 6 & 8) are located on part of the Palo Alto Savings and Loan Bank complex (comprised of a bank building and a community room) which currently occupies Lots 2, 4, 6, and 8 of Block 91; and

WHEREAS, the Historic Resources Board determined on November 18, 2019 the resource is eligible for listing on the City's Historic Inventory in accordance with CMC 17.32.040.H which states, "A resource less than 50 years old may be eligible if it is of exceptional importance to the City, State, or nation based on its unusually strong contribution to history, architecture, engineering or culture, or because it is an integral part of an historic district"; and

WHEREAS, the complex is not eligible for listing on the national or local inventory as it fails to meet the 50-year old age requirement, however, the complex is eligible for listing on the California Register of Historic Resources (CRHR); and

WHEREAS, in 2019, a Determination of Ineligibility for listing on the City's Historic Inventory was issued for the complex and will expire on October 26, 2022; and

WHEREAS, on April 19, 2021, the Historic Resources Board reviewed the project, DR 20-395, and considered the issuance a Determination of Consistency with the Secretary of the Interior's Standards for the demolition of the Palo Alto Savings and Loan Bank Community Room; and

WHEREAS, pursuant to CMC 17.32.160.B, determinations of consistency for major alterations shall be prepared by a qualified professional and shall be supported by written documentation that (1) identifies which of the Secretary of the Interior's Standards for Rehabilitation are applicable to the project, (2) reviews the proposed project, and (3) explains the basis of the determination; and

WHEREAS, a Phase II report was prepared by a qualified professional, Margaret Clovis, dated March 1, 2021, and found the proposed amendments to be consistent with the Secretary of the Interior's Standards for Rehabilitation provided the recommendations outlined in the report were carried out; and

WHEREAS, pursuant to CMC 17.32.160.B.1.a, if the Board concurs with the evaluation, the Board shall issue a determination of consistency and adopt any appropriate conditions of approval. Any finding of compliance by the Board shall be supported by substantial evidence.; and

WHEREAS, pursuant to CMC 17.32.160.B.1.b, if the Board does not concur, the Board may request additional information prior to issuance of a determination of consistency, or may issue a finding of noncompliance with the Secretary’s Standards. Any finding of noncompliance by the Board shall be supported by substantial evidence; and

WHEREAS, at the April 19, 2021 hearing, the Historic Resources Board voted 2-1 (2 board members absent) to continue the application with direction to staff to return with a resolution issuing a Finding of Noncompliance with the Secretary of the Interior’s Standards; and

WHEREAS, notice of the public hearing was published in compliance with State law (California Government Code 54954.2.); and

WHEREAS, on May 17, 2021, the Historic Resources Board held a public hearing to receive public testimony regarding the Application, including without limitation, information provided to the Historic Resources Board by City staff and public testimony on the project; and

WHEREAS, this Resolution and its findings are made based upon evidence presented to the Historic Resources Board at its May 17, 2021 hearing including but not limited to, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Historic Resources Board did hear and consider all said reports, attachments, recommendations and testimony herein above set forth and used their independent judgement to evaluate the project; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference; and

NOW THEREFORE, BE IT RESOLVED, based on the findings and evidence contained in this resolution, that the Historic Resources Board of the City of Carmel-By-The-Sea does hereby issue **a Finding of Noncompliance with the Secretary of the Interior’s Standards** for the proposed demolition of the Palo Alto Savings and Loan Bank Community Room (Design Review DR 20-395) located at Dolores 2 southeast of 7th Avenue, in the Service Commercial (SC) Zoning District (Block 91, Lot 6, 8, 10, APN 010-101-017-000).

Findings of Noncompliance	
No.	
1.	The purposes of historic preservation and the city’s historic preservation ordinance is to preserve the best pieces of the historic development of a place/city through its significant architecture to preserve these buildings which represent important periods in a City's heritage. The Palo Alto Savings and Loan building can be considered one of the most exceptional and significant buildings to be constructed in the commercial district of Carmel during the entire decade of the 1970's.

2.	The City’s Historic Context Statement identifies the Bay Region style and/or Second Bay Region Style as important substyle within the larger theme of Modern architecture -the building is "representative of at least one theme" in the existing Historic Context Statement.
3.	The building is acknowledged as exceptionally significant and is 49 years old. In less than one year, it will only need to be of normal significance for inclusion on the inventory.
4.	Together, the bank building and community room creates a spatial relationships on the property which are in themselves character defining, uses the same character defining elements of construction and detail, are built at the same time, designed and built by the same master architects.
5.	Pertinent testimony from a number of respected architects who opined that the former Palo Alto Savings and Loan Bank was an exceptional example of its architectural style, the work of master architects, retained a high level of integrity and embodied the distinctive characteristics of its type and period. Their professional opinions confirmed that sufficient time had elapsed since the construction of the Bank complex to allow for a scholarly perspective on its significance and its place in Carmel’s architectural history.
6.	Following the Bank president’s mandate, bank staff in each city where a branch was to be located, were directed to become more involved in local improvement projects and to provide meeting space for the community as part of the Bank’s public relations strategy. Burde and Shaw, the architects of the Bank complex, were tasked to design a small building separated from the Bank that would be used for this express purpose. The view contained in the Phase II Report for this project that the Community Room was simply “a postscript to the architects’ intentions” is false.
7.	The Community Room is not required to become significant in its own right. There are no historic preservation rules that would force it to stand on its individual merit in order to qualify for historic status. The Community Room remains a vital part of the architects’ original design. While it is subordinate to the former Bank building, it continues to have an important spatial relationship to it.
8.	The Bank building and the Community Room are a historically related unit. Though the room is subordinate to the Bank, it has retained its historic integrity and is an integral component of the original design as approved by the architects’ client, the owners of the Palo Alto Savings and Loan Bank.
9.	In the case of the Community Room, despite being an auxiliary use it was still part of the original concept of the building from the beginning.
10.	Simply because an element of a building is smaller or "subordinate" to other parts does not make them less important to the whole as a piece of architecture.
11.	The Bank complex is eligible for listing on the California Register of Historic Resources for purposes of the California Environmental Quality Act (CEQA).
12.	Both buildings are the work of two master architects, Walter Burde and Will Shaw, who are listed in the Carmel Historic Context Statement, whose office was located in downtown Carmel, and whose other individual works include the Christian Science Church in Carmel, the original Monterey Airport Terminal and Tower, the Custom House renovation in Monterey and the Highlands Inn reconstruction. Shaw also collaborated with renowned photographer, Ansel Adams, to create the Foundation for Environmental Design, a group that supported worthy projects that blended into the natural environment.

13.	A new construction project on the site of a demolished Community Room would constitute an adverse effect on the Bank complex and destroy the original concept as designed by two of Monterey County’s most respected master architects.
14.	The community room section of the building was designed right along with the rest of the building and contains all the character defining features of the main bank building: shed roof and copper roofing, angular forms and irregular massing, plate glass window walls, traditional materials used within a Modern architecture vocabulary, Integration of the building with its setting, Integration of the outdoors with interior spaces, Redwood siding and beams.
15.	The community room was constructed at the same time by the same builder. It's materials, detailing, composition are all at the same level of quality as the main bank building.
16.	The Community Room element of the building adds to the complexity and richness of the overall resource which, if taken away, would significantly negatively impact the quality of architecture of the bank building.
17.	The structural connection in the design of this building was very intentional and strong, and is all part of one piece of significant architecture—one historic resource.
18.	By removing the community room the south elevation of the resource is completely changed and is not the intended design from the public right-of-way on the south side.

PASSED AND ADOPTED BY THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA this 17th day of May, 2021, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Erik Dyar
Vice-Chair

Margi Perotti
Historic Resources Board Secretary



CITY OF CARMEL-BY-THE-SEA CITY COUNCIL AGENDA

Mayor Dave Potter, Council Members Jeff Baron,
Jan Reimers, Bobby Richards, and Carrie Theis
Contact: 831.620.2000 www.ci.carmel.ca.us

All meetings are held in the City Council Chambers
East Side of Monte Verde Street
Between Ocean and 7th Avenues

CITY COUNCIL SPECIAL MEETING - CLOSED SESSION Tuesday, August 3, 2021

Governor Newsom's Executive Order N-29-20 has allowed local legislative bodies to hold public meetings via teleconference and to make public meetings accessible telephonically or otherwise electronically to all members of the public seeking to observe and to address the local legislative body. Also, see the Order by the Monterey County Public Health Officer issued March 17, 2020. The health and well-being of our residents is the top priority for the City of Carmel-by-the-Sea. To that end, this meeting will be held via teleconference and web-streamed on the City's website ONLY.

Click the following link to attend via Zoom (or copy and paste the link into your browser); <https://ci-carmel-ca-us.zoom.us/j/96210728499?>; Meeting ID (if needed): 962 1072 8499; Passcode (if needed): 923512; or to attend via telephone, dial 1-669-900-9128

The public can also email comments to cityclerk@ci.carmel.ca.us. Comments must be received 2 hours before the meeting in order to be provided to the legislative body. Comments received after that time and up to the beginning of the meeting will be added to the agenda and made part of the record.

Prior to calling the meeting to order, the Board/Commission will conduct an on-site tour of inspection of the properties listed on the agenda and the public is welcome to join. After the tour is complete, the Board/Commission will begin the meeting in the City Council Chambers no earlier than the time noted on the agenda.

OPEN SESSION 4:30 PM

CALL TO ORDER AND ROLL CALL

PUBLIC APPEARANCES

Members of the public are entitled to speak on matters of municipal concern not on the agenda during Public Appearances. Each person's comments shall be limited to 3 minutes, or as otherwise established by the Chair. Matters not appearing on the agenda will not receive action at this meeting and may be referred to staff. Persons are not required to provide their names, and it is helpful for speakers to state their names so they may be identified in the minutes of the meeting.

CLOSED SESSION 4:30 P.M.

A Special Meeting of the City Council was held on August 2, 2021 at 4:30 P.M. and the Council ordered that the Special Meeting be adjourned to August 3, 2021 at 4:30 P.M.

FUTURE AGENDA ITEMS

ADJOURNMENT

This agenda was posted at City Hall, Monte Verde Street between Ocean Avenue and 7th Avenue, outside the Park Branch Library, NE corner of Mission Street and 6th Avenue, the Carmel-by-the-Sea Post Office, 5th Avenue between Dolores Street and San Carlos Street, and the City's webpage <http://www.ci.carmel.ca.us> in accordance with applicable legal requirements.

SUPPLEMENTAL MATERIAL RECEIVED AFTER THE POSTING OF THE AGENDA

Any supplemental writings or documents distributed to a majority of the City Council regarding any item on this agenda, received after the posting of the agenda will be available for public review at City Hall located on Monte Verde Street between Ocean and Seventh Avenues during regular business hours.

SPECIAL NOTICES TO PUBLIC

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at 831-620-2000 at least 48 hours prior to the meeting to ensure that reasonable arrangements can be made to provide accessibility to the meeting (28CFR 35.102-35.104 ADA Title II).