

**CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION
REGULAR MEETING AGENDA**

Regular Meeting
City Hall
East Side of Monte Verde Street
Between Ocean & Seventh Avenues

December 14, 2016
Wednesday
Tour: 1:45 p.m.
Meeting: 4:00 p.m.

A. CALL TO ORDER AND ROLL CALL

Commissioners: Don Goodhue, Chair
Michael LePage
Julie Wendt
Gail Lehman
Karen Sharpe

B. TOUR OF INSPECTION

Shortly after 1:45 p.m., the Commission will leave the Council Chambers for an on-site Tour of Inspection of all properties listed on this agenda (including those on the Consent Agenda). The Tour may also include projects previously approved by the City and not on this agenda. Prior to the beginning of the Tour of Inspection, the Commission may eliminate one or more on-site visits. The public is welcome to follow the Commission on its tour of the determined sites. The Commission will return to the Council Chambers at **4:00 p.m.** or as soon thereafter as possible.

C. ROLL CALL

D. PLEDGE OF ALLEGIANCE

E. CHAIR/VICE-CHAIR ELECTION

F. ANNOUNCEMENTS/EXTRAORDINARY BUSINESS

G. APPEARANCES

Anyone wishing to address the Commission on matters not on the agenda, but within the jurisdiction of the Commission, may do so now. Please state the matter on which you wish to speak. Matters not appearing on the Commission agenda will not receive action at this meeting but may be referred to staff for a future meeting. Presentations will be limited to three minutes, or as otherwise established by the Commission Chair. Persons are not required to give their name or address, but it is helpful for speakers to state their name in order that the Secretary may identify them.

H. CONSENT AGENDA

Items placed on the Consent Agenda are considered to be routine and are acted upon by the Commission in one motion. There is no discussion of these items prior to the Commission action unless a member of the Commission, staff, or public requests specific items be discussed and removed from the Consent Agenda. It is understood that the staff recommends approval of all consent items. Each item on the Consent Agenda approved by the Commission shall be deemed to have been considered in full and adopted as recommended.

1. Draft minutes from the November 9, 2016 Planning Commission Meeting
2. DS 16-403 (Mussallem)
Greg Mussallem
S/W Corner of Casanova St. and 10th
Blk: K; Lot: 1 & 3
APN: 010-272-017
Consideration of the Final Design Study (DS 16-403) and associated Coastal Development Permit for the construction of a new single-family residence on a vacant lot located in the Single-Family Residential (R-1) Zoning District.
3. DS 16-239 (McLaughlin)
Brian Congleton, Architect
First Ave., 2 SE of San Carlos
Block: 11; lot: E ½ of 2 and 4
APN: 010-121-024
Consideration of a Combined Concept and Final Design Study (DS 16-239) for alterations to an existing residence located in the Single-Family Residential (R-1) Zoning District
4. DS 16-383 (Bressler)
Adam Jeselnick, Architect
Mission Street, 2 SW of Alta Avenue
Block: 4.5; lot: 5
APN: 010-115-021
Consideration of a Combined Concept and Final Design Study (DS 16-383) for alterations to an existing residence located in the Single-Family Residential (R-1) Zoning District

I. PUBLIC HEARINGS

If you challenge the nature of the proposed action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

1. Carmel-by-the-Sea
Commercial (CC, SC, RC) Districts
Consideration of recommendations to the City Council for an Ordinance amending Municipal Code Sections 17.14 and 17.68 to: 1) Require a conditional use permit for certain land uses, 2) Add new land use definitions, 3) Add use permit voting requirements, and 4) Add an allowance for authorization of temporary uses on private property

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| <p>2. Carmel-by-the-Sea
Commercial (CC, SC, RC) Districts</p> | <p>Consideration of recommendations to the City Council for an Ordinance amending Municipal Code Sections 17.14, 17.56 and 17.68 to amend the restaurant and food store regulations</p> |
| <p>3. DS 16-378 (Henkel)
Adam Jeselnick, Architect
NE Corner of Monte Verde & 9th
Block: 94; lot: 20
APN: 010-193-009</p> | <p>Consideration of a Concept Design Study (DS 16-378) and associated Coastal Development Permit for the construction of a new single-family residence located in the Single-Family Residential (R-1) Zoning District</p> |
| <p>4. DS 16-397 (Carr)
Bolton Design Group, Inc.
Torres Street, 5 NE of 4th Avenue
Block: 38; lot: E
APN: 010-103-012</p> | <p>Consideration of Final Design Study (DS 16-397) and Coastal Development Permit for the construction of a new single-family residence on a vacant lot located in the Single-Family Residential (R-1) Zoning District.</p> |
| <p>5. DS 16-412 (Weigel)
Mackenzie Patterson, Architect
25990 Junipero Avenue
Blk: 1; Lot: 20
APN: 009-353-009</p> | <p>Consideration of a Combined Concept and Final Design Study (DS 16-412) and associated Coastal Development Permit for alterations to an existing residence located in the Single-Family Residential (R-1) Zoning District.</p> |
| <p>6. UP 16-440/DS 16-387 (Mark)
Paul McEnroe
Mission Street, 2 NE of 6th Avenue
Block: 58; lot: 12
APN: 010-098-011</p> | <p>Consideration of Use Permit (UP 16-440) and the associated Design Study (DS 16-387) applications for the conversion of two existing office buildings into a single family residence as well as an addition to connect the two buildings. The project site is located in the Service Commercial (SC) Zoning District</p> |
| <p>7. Carmel-by-the-Sea
SE Cor. Of Mission and 5th Ave
North side of Devendorf Park</p> | <p>Consideration of the replacement of an existing bus shelter with a new bus shelter (MP 16-490) located near the southeast corner of Mission Street and Fifth Avenue on the north side of Devendorf Park</p> |

J. DIRECTOR'S REPORT

1. Update on Planning Activities

K. ADJOURNMENT

The next meetings of the Planning Commission will be: Wednesday, January 11, 2016

The City of Carmel-by-the-Sea does not discriminate against persons with disabilities. Carmel-by-the-Sea City Hall is an accessible facility. The City of Carmel-by-the-Sea telecommunications device for the Deaf/Speech Impaired (T.D.D.) Number is 1-800-735-2929.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are available upon request of the Administrative Coordinator. If you need assistance, please advise the Planning Commission Secretary what item you would like to comment on and the microphone will be brought to you.

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection in the Planning & Building Department located in City Hall, east side of Monte Verde between Ocean & 7th Avenues, during normal business hours.

AFFIDAVIT OF POSTING

I, Marc Wiener, Community Planning and Building Director, for the City of Carmel-by-the-Sea, DO HEREBY CERTIFY, under penalty of perjury under the laws of the State of California, that the foregoing notice was posted at the Carmel-by-the-Sea City Hall bulletin board, posted at the Harrison Memorial Library on Ocean and Lincoln Avenues and the Carmel Post Office.

Dated this 9th day of December 2016 at the hour of 4:00 p.m.

Marc Wiener, AICP
Community Planning and Building Director

CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION REGULAR MEETING – MINUTES
November 9, 2016

A. CALL TO ORDER AND ROLL CALL FOR TOUR OF INSPECTION

PRESENT: Commissioners: Wendt, Lehman, LePage and Goodhue

ABSENT: NONE

STAFF PRESENT: Marc Wiener, Community Planning & Building Director
Catherine Tarone, Assistant Planner
Ashley Hobson, Contract Planner
Matthew Sundt, Contract Planner
Cortina Whitmore, Planning Commission Secretary

B. TOUR OF INSPECTION

The Commission convened at 1:30 p.m. and then toured the following sites:

- DS 16-397 (Carr), Torres St., 5 NE of 4th Ave.; Blk: 38; Lot: E
- DS 16-306 (Garren), Santa Rita, 3 NE of 6th Ave.; Blk: 62; Lot: 14
- DS 16-414 (Martin), Casanova St., 5 NE of 13th Ave.; Blk: 134; Lot: 16
- DS 16-177 (Kronenberger), SE corner of San Antonio & 11th; Blk: X; Lot: 2
- DS 16-403 (Mussallem), SW corner of Casanova St. & 10th Ave.; Blk: K; Lot: 1 & 3
- DS 16-259/DS 16-260 (Hines), 10 Carmel Way, Blk: SD; Lot: 7

C. ROLL CALL

Chairman Goodhue called the meeting to order at 4:00 p.m.

D. PLEDGE OF ALLEGIANCE

Members of the audience joined Commission Members in the Pledge of Allegiance.

E. ANNOUNCEMENTS/EXTRAORDINARY BUSINESS

Commissioner LePage announced the Charles Sumner WWI Memorial Bell will be commissioned on November 11, 2016 at 11:00 a.m.

F. APPEARANCES

- Nancy Strom who spoke at the October 12, 2016 Planning Commission meeting in opposition to DS 16-378 (Henkel) inquired if the Planning Commission received her additional written comments.

AYES: COMMISSIONERS: LEHMAN, LEPAGE & GOODHUE
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: WENDT

H. PUBLIC HEARINGS

- | | |
|--|--|
| 1. DS 16-414 (Martin) | Consideration of Design Study (DS 16-414) |
| Cameron John | for the replacement of a wood-shake roof |
| Casanova St. 5 NE of 13 th Ave. | with composition shingles on a residence |
| Blk: 134; Lot: 16 | located in the Single-Family Residential (R- |
| APN: 010-175-026 | 1) Zoning District. |

Matthew Sundt, Contract Planner summarized staff report. Mr. Sundt noted the owner's willingness to work with staff. Mr. Sundt answered questions from the Commission.

Speaker #1: Cameron John, Applicant/Contractor expressed the owner's preference for composition shingles.

Chair Goodhue opened the public hearing.

Speaker #2: Barbara Livingston noted the time and research the Planning Commission Roofing subcommittee invested in the selection of approved alternative roofing materials.

Speaker #3: A Carmel resident expressed his support to allow home owners the choice to select the roofing material the owner desires and noted some owners have difficulties obtaining insurance due to fire rating concerns. The resident urged the Commission to reconsider the approved roofing materials list.

Chair Goodhue closed the public hearing.

The Commission held discussion. Commissioner LePage noted Design Guidelines Section 9.8 which states: "wood shingles and shakes are the preferred materials for most types of architecture typical of Carmel-by-the-Sea." Commissioner LePage noted the Commission understands homeowners concerns with price, materials selection, and the obtainment of insurance. Chair Goodhue added the pre-approved faux wood shingles are fire proof and indistinguishable from a shake roof. Commissioner Lehman agreed with LePage's comments however noted reservations about faux shake. Commissioner LePage stated the Roofing Subcommittee addressed all concerns prior to the acceptance of the approved roofing materials list.

Commissioner Goodhue moved to approve all alternative roofing materials provided by the Roofing Subcommittee. Commissioner LePage seconded the motion and carried the following vote: 3-1-0-0.

AYES: COMMISSIONERS: LEPAGE, WENDT & GOODHUE
NOES: COMMISSIONERS: LEHMAN
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: NONE

2. DS 16-306 (Garren)
Glen Warner
Santa Rita
Blk: 62, Lots: 14
APN: 010-035-013

Consideration of a Concept and Final Design Study (DS 16-306) and associated Coastal Development Permit for a second story addition to an existing single-family residence located in the Single-Family Residential (R-1) Zoning District.

Catherine Tarone, Assistant Planner summarized staff report and provided brief site history. Ms. Tarone noted possible view impacts and informed the Planning Commission the Applicant is working with the neighbor to address the potential impacts. Ms. Tarone answered questions from the Commission.

Speaker #1: Glen Warner, Applicant answered questions from the Planning Commission with regard to the fireplace and roofing materials. Mr. Warner expressed willingness to install down lighting.

Chair Goodhue opened the public hearing.

Speaker #2: Barbara Livingston voiced concern with the number of second-story homes in Carmel-by-the-Sea.

Speaker #1: Glen Warner/Applicant addressed the second story window concerns raised during the public hearing.

Chair Goodhue closed the public hearing.

The Commission held brief discussion.

Commissioner Lehman moved to approve DS 16-306 (Garren), with the added conditions the Applicant; change the proposed sliding door to a French door, install down lighting and lower the height of the structure by two (2) feet. Motion seconded by Commissioner Wendt and carried the following vote: 4-0-0-0.

AYES: COMMISSIONERS: LEHMAN, LEPAGE, WENDT & GOODHUE
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: NONE

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|---|---|
| <p>3. DS 16-177 (Kronenberger)
 Claudio Ortiz Designer
 SE corner of San Antonio & 11th
 Block: X, Lots: 2
 APN: 010-279-016</p> | <p>Consideration of a Concept Design Study (DS 16-177) and associated Coastal Development Permit for a second story addition to an existing single-family residence located in the Single-Family Residential (R-1) Zoning District.</p> |
|---|---|

Ashley Hobson, Contract Planner summarized the staff report

Speaker#1: Claudio Ortiz, Project Designer summarized design changes. Mr. Ortiz informed the Commission of his meeting with the Hollenbecks, neighbors to the east.

Chair Goodhue opened the public hearing.

Speaker #2: Doug and Christy Hollenbeck expressed view impact concerns and requested the Commission grant a continuance to allow the Applicant/Designer more time to redesign.

Speaker #3: The Halls neighbors to the south east provided the Commission with a letter and noted the proposed balcony will eliminate southern views. Mr. Hall extended an offer to the Commission to visit his property to observe the potential view impact.

Speaker #4: Barbara Livingston expressed support for the Hollenbeck's concerns. Ms. Livingston note the driveway width is not in compliance.

Speaker #5: Anna Yateman noted she is not in favor of the proposed design.

Speaker #1: Mr. Ortiz read from an email received from the Doves, neighbors to the south and requested clarification from the Planning Commission on the desired design changes.

Speaker #6: Alan Canepa voiced his disapproval for the project and noted the second story design will impact views.

Chair Goodhue closed the public hearing.

The Commission held discussion.

Commissioner LePage moved to continue DS 16-177 (Kronenberger) with direction given by the Planning Commission to continue working with neighbors on the issues. Motion seconded by Commissioner Lehman and carried the following roll call vote: 4-0-0-0. Motion approved.

AYES:	COMMISSIONERS: LEHMAN, LEPAGE, WENDT & GOODHUE
NOES:	COMMISSIONERS: NONE
ABSENT:	COMMISSIONERS: NONE

ABSTAIN: COMMISSIONERS: NONE

4. DS 16-397 (Carr)
Bolton Design Group Inc.
Torres St., 5 NE of 4th Ave.
Blk: 38, Lot: E
APN: 010-103-012

Consideration of Concept Design Study (DS 16-397) and Coastal Development Permit for the construction of a new single-family residence on a vacant lot located in the Single-Family Residential (R-1) Zoning District.

Commissioner Wendt recused.

Ashley Hobson, Contract Planner presented staff report.

Speaker #1: Applicant/Designer, Michael Bolton summarized proposed design and addressed height concerns. Mr. Bolton answered questions from the Commission.

Chair Goodhue opened the public hearing.

Speaker #2: Judy Thodos, neighbor directly to the north expressed support for the project and thanked Ms. Carr and Mr. Bolton for contacting the surrounding neighbors to address privacy impacts.

Speaker #1: Mr. Bolton presented another rendering of the residence to the Commission for consideration.

Speaker #3: Barbara Livingston noted Mr. Bolton is a great designer.

Chair Goodhue closed the public hearing.

Planning Director, Marc Wiener informed the Commission that a street elevation will be presented to the Commission during the Final Design Study hearing.

The Commission held discussion. Commissioner LePage voiced concern with the garage height and noted the garage is not subordinate to the main structure therefore not consistent with the City's guidelines. Chair Goodhue agreed with Commissioner LePage's comments.

Speaker #1: Michal Bolton approached the Commission; Mr. Bolton stated the City's design guidelines can be used as a tool not a weapon.

Commissioner LePage responded to Mr. Bolton's comments regarding the design guidelines. Commissioner LePage reiterated the Commission determined the proposed design is not in compliance with the City's design guidelines.

Commissioner Lehman moved to accept DS 16-397 (Carr) with the added condition to work with the neighbors to separate the Carr residence from the Thodos residence with bushes and to return to the Commission with a street elevation rendering for review. Motion seconded by Commissioner Goodhue and carried the following roll call vote: 2-1-0-1. Motion approved.

AYES: COMMISSIONERS: LEHMAN & GOODHUE
NOES: COMMISSIONERS: LEPAGE
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: WENDT

5. DS 16-403 (Mussallem) Consideration of a Concept Design Study (DS 16-403) and associated Coastal Development Permit for the construction of a new single-family residence on a vacant lot located in the Single-Family Residential (R-1) Zoning District.
- Greg Mussallem
SW corner of Casanova St. & 10th
Blk: K; Lot: 1 & 3
APN: 010-272-017

Matthew Sundt, Contract Planner provided staff report. Mr. Sundt answered questions from the Commission.

Speaker #1: Applicant, Sam Lee provided samples materials for the Commission to review and noted the structure will be lowered (2) two feet.

Chair Goodhue opened the public hearing.

Speaker #2: Barbara Livingston provided design recommendations.

Speaker #3: Jeff Monson, resident at the SE corner of Casanova and 10th Ave. expressed concerns with the proposed mass of the residence and garage placement.

Chair Goodhue closed the public hearing.

The Commission held brief discussion.

Commissioner LePage moved to accept Concept Design Study DS 16-403 (Mussallem) with the understanding the Applicant will return to the Planning Commission with revised plans, re-stake the property to indicate plate heights, change lintels, add wood fence, and meet with the City Forester to discuss the impact to the Oak tree. Motion seconded by Commissioner Wendt and carried the following roll call: 4-0-0-0. Motion approved.

AYES: COMMISSIONERS: LEPAGE, WENDT, LEHMAN & GOODHUE
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: NONE

6. DS 16-259/ DS 16-260
Aengus Jeffers
10 Carmel Way
Blk: SD, Lots: 7 & 9
APN: 010-321-020/021

Adoption of a Mitigated Negative Declaration and consideration of a Concept Design Study (DS 16-259 & DS 16-260), associated Coastal Development Permit , lot merger, and lot-line adjustment, for the construction of a new residence located in the Single-Family Residential (R-1), Park Overlay (P), Archaeological Significance Overlay (AS), and Beach Riparian (BR) Overlay Zoning Districts. The parcels are adjacent to the Environmentally Sensitive Habitat Area Overlay Area (ESHA) of Carmel Beach.

Matthew Sundt, Contract Planner summarized the staff report and noted staff recommends approval. Mr. Sundt answered questions from the Commission.

Speaker #1: Aengus Jeffers, Land Use Attorney/Applicant clarified parking designations on the property and answered questions from the Commission.

Speaker #2: Bernard Trainer, Landscape Architect summarized proposed landscape design.

Chair Goodhue opened the public hearing.

Speaker #3: John Bridges, representative for Paul and Linda DeBruce neighbors to the east commended the Hines and their Project team for collaborating with the neighbors in regards to the landscape plan.

Speaker #4: Lucca Pignata, Project Architect summarized proposed building materials and informed the Commission of the owner's intent to create respectful, elegant architecture.

Seeing no other speakers the public hearing was closed.

The Commission held discussion. The Commission spoke in favor of the project and commended the Hines and Project team for the high level of professionalism and cooperation between neighbors. The Commission suggested the landscape design mimic the bordering ESHA environments and North Dunes Restoration Plan to appear natural and unstructured.

Commissioner Lehman moved to accept DS 16-259/16-260 (Hines) for Concept approval and adoption of the negative declaration with directive to design landscape plan in accordance to Planning Commission direction. Motion seconded by Commissioner LePage and carried the following roll call: 4-0-0-0.

AYES: COMMISSIONERS: LEPAGE, WENDT, LEHMAN & GOODHUE

NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: NONE

7. Carmel-by-the-Sea
Commercial Zoning District

Review of Municipal Code Title 17.14 (Commercial Zoning Districts) in order to evaluate if amendments should be made to require a Conditional Use Permit for certain land uses.

Marc Wiener, Planning Director presented staff report. Mr. Wiener recommended the Planning Commission review Municipal Code Sections 17.14 and 17.68 to: 1) Amend restaurant and food store regulations, 2) Require a conditional use permit for certain land uses, 3) Add use permit voting requirements, and 4) Add an allowance for authorization of temporary/special events on private property.

The Commission held discussion.

No motion required.

I. DIRECTOR'S REPORT

1. Update on Planning Activities

Planning Director, Marc Wiener provided brief summary of Planning Department activity.

J. SUB-COMMITTEE REPORTS

1. Restaurant Subcommittee update

Mr. Wiener announced the final Restaurant subcommittee meeting scheduled for Monday, November 14, 2016 in the Council Chambers

K. ADJOURNMENT

There being no further business, Chair Goodhue adjourned the meeting at 8:20 p.m.

The next meeting of the Planning Commission is scheduled:

Wednesday November 9, 2016 at 4:00 p.m. – Regular Meeting

SIGNED:

Donald Goodhue, Planning Commission Chair

ATTEST:

Cortina Whitmore, Planning Commission Secretary

PROJECT DATA FOR A 4,000 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 sf	NA	1,800 sf
Site Coverage	556 sf	NA	556 sf
Trees	3 Upper /1 Lower (recommended)	3 Acacia 3 Coast live oak	N/A
Ridge Height (1 st /2 nd)	18'/24'	NA	Max. 1 st floor: 16' Max. 2 nd floor: 22'
Plate Height (1 st /2 nd)	12'/ 18'	NA	Max. 1 st floor: 11' Max. 2 nd floor: 18'
Setbacks	Minimum Required	Existing	Proposed
Front	10' ¹	NA	27' (residence) 3' (detached garage)
Composite Side Yard	10' (25%)	NA	Min: 14'
Minimum Side Yard (@ Residence)	3'	NA	Min. West Side: 6' – 6" Min. East Side: 7'
Rear	15'	NA	Min: 5' – 6"

Staff Analysis:

Previous Hearing: The Planning Commission reviewed Concept Design on November 9, 2016 with a request for changes as discussed below. Except for the wood fencing in the front yard, the applicant has revised the design to comply with the requested changes.

Staff analysis:

Fences: The Planning Commission recommended that grape-stake fencing be considered instead of the stucco wall. However, at the November 9, 2016 meeting it was inadvertently not made clear to the Planning Commission that the proposed stucco wall is also a retaining wall and that a wood fence would not be appropriate under the circumstances. Therefore, the applicant is proposing a 36-inch tall plaster/stucco wall.

¹ 10-foot setback for “Re-subdivided Corner Site” – CMC 17.06.020.J and Table 17.10 – *Setback Standards for R-1 District*.

Design Guidelines section 11.4 states, *“A person should be able to see over any wall that faces the street.”* Design Guidelines 11.5 states, *“A plain-textured plaster wall may be appropriate if kept low in scale and when consistent with the building architecture.”*

It is relevant to note that wood fencing is the most prevalent of fencing material in the area. However, there is also the use of metal gates, and walls made of Carmel stone, red brick, and adobe brick. The applicant’s proposed three-foot tall stucco wall would be seen from 10th Avenue and Casanova Street. However, what will be seen will be a portion of the proposed wall (6” to 2’–6” as seen from 10th Avenue, and 2’–6” to 3’ as seen from Casanova Street). Staff concludes that a three-foot tall white wall would complement the architecture of the new residence, allows a person to see over it, and would not interfere with the blending of on-site landscaping with landscaping in the right-of-way. The landscape plans show extensive landscaping around the wall. In staff’s opinion, the proposed wall is consistent with Design Guideline 11.4 and 11.5.

Building & Height: The Concept plans showed the proposed two-story residence to have a top plate height of 20 feet, which exceeds the 18-foot maximum allowed. The Final plans show a top plate height of 18 feet. The height at the ridge is 16’ at the one-story elevation and 22’ at the two-story elevation.

Finish Details: The Planning Commission addressed the lintels above the windows and doors and determined that wood lintels would be appropriate for the design. The revised plans show wood lintels (‘typical’) on the residence and garage.

Exterior Lighting: Municipal Code Section 15.36.070.B.1 states that all exterior lighting attached to the main building or any accessory building shall be no higher than 10 feet above the ground and shall not exceed 25 watts (incandescent equivalent; i.e., approximately 375 lumens) in power per fixture. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent; i.e., approximately 225 lumens) per fixture. Additionally, the City’s Residential Design Guidelines, Section 11.8, states an objective to *“locate and shield fixtures to avoid glare and excess lighting as seen from neighboring properties and from the street.”*

The applicant is proposing lighting fixtures as shown in Attachment C. Lighting details are included on sheet LS-1 of the plans. Staff notes that the Planning Commission encourages down-lit lights instead of the lantern-style to be more in conformance with the Residential Design guidelines. A condition has been drafted requiring the applicant to work with staff on an appropriate down-lit fixture.

Landscape Plan: The applicant has provided a landscape plan that has been reviewed and approved by the City Forester for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscape plan depicts site coverage elements including a sand set paver driveway, and a pervious flagstone front walkway. The applicant has obtained a tree removal permit for three acacias and some trimming of existing trees.

Public ROW: The portion of the City Right-of-Way (ROW) between the property line on Casanova Street and edge of paving is approximately 12 feet wide. Therein are concrete steps and two sections of low landscape walls (18 feet and 24 foot sections). The applicant proposes to remove these walls and steps.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – New Construction or Conversion of Small Units. The project includes the construction of one single-family residence in a residential zone, and therefore qualifies for a Class 3 exemption. The proposed residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Findings for Approval
- Attachment B – Conditions of Approval
- Attachment C – Project Plans

Attachment A – Findings for Approval

DS 16-403 (Mussallem)

December 14, 2016

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<u>FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL (CMC 17.64.80 and LUP Policy P1-45)</u>		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	

9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.010.B.1):

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

Attachment B – Conditions of Approval

DS 16-403 (Mussallem)

December 14, 2016

Page 1

Once signed, please return to the Community Planning and Building Department.

Conditions of Approval		
No.	Standard Conditions	
1.	Authorization: This approval of Design Study (DS 16-403) authorizes the applicant to construct a new 1,800 square foot residence.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation	✓

	by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	N/A
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. <u>Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.</u>	N/A
12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or	✓

	in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	N/A
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	N/A
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the	✓

	Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
Special Conditions		
22.	Prior to submitting for the Building Permit, the applicant shall work with staff on a light fixture design that is consistent with City requirement for down lit fixtures.	✓
23.	The applicant shall remove concrete steps and two sections of low landscape walls (18 feet and 24 foot sections) within the city right-of-way.	✓

*Acknowledgement and acceptance of conditions of approval.

 Property Owner Signature

 Printed Name

 Date

Once signed, please return to the Community Planning and Building Department.



FLAGSTONE: MOUNTAIN BLEND

SURVEY
 RASMUSSEN LAND SURVEYING
 PO BOX 3135
 MONTEREY, CA. 93942
 (831) 375-3240

OWNER
 GREG MUSSALLEM
 PO BOX 8305
 SAN JOSE, CA. 95155
 (408) 265-4200

PROJECT DATA
 LOT SIZE: 4000 S.F.
 ZONING: R-1
 APN: 010-272-017
 ADDRESS: BLOCK K, LOTS 1 AND 3

S.H.L. ARCHITECTURE
 ARCHITECTURE AND PLANNING
 1000 S. F STREET
 T: 415.235.2034
 EMAIL: samhlee@shl.com



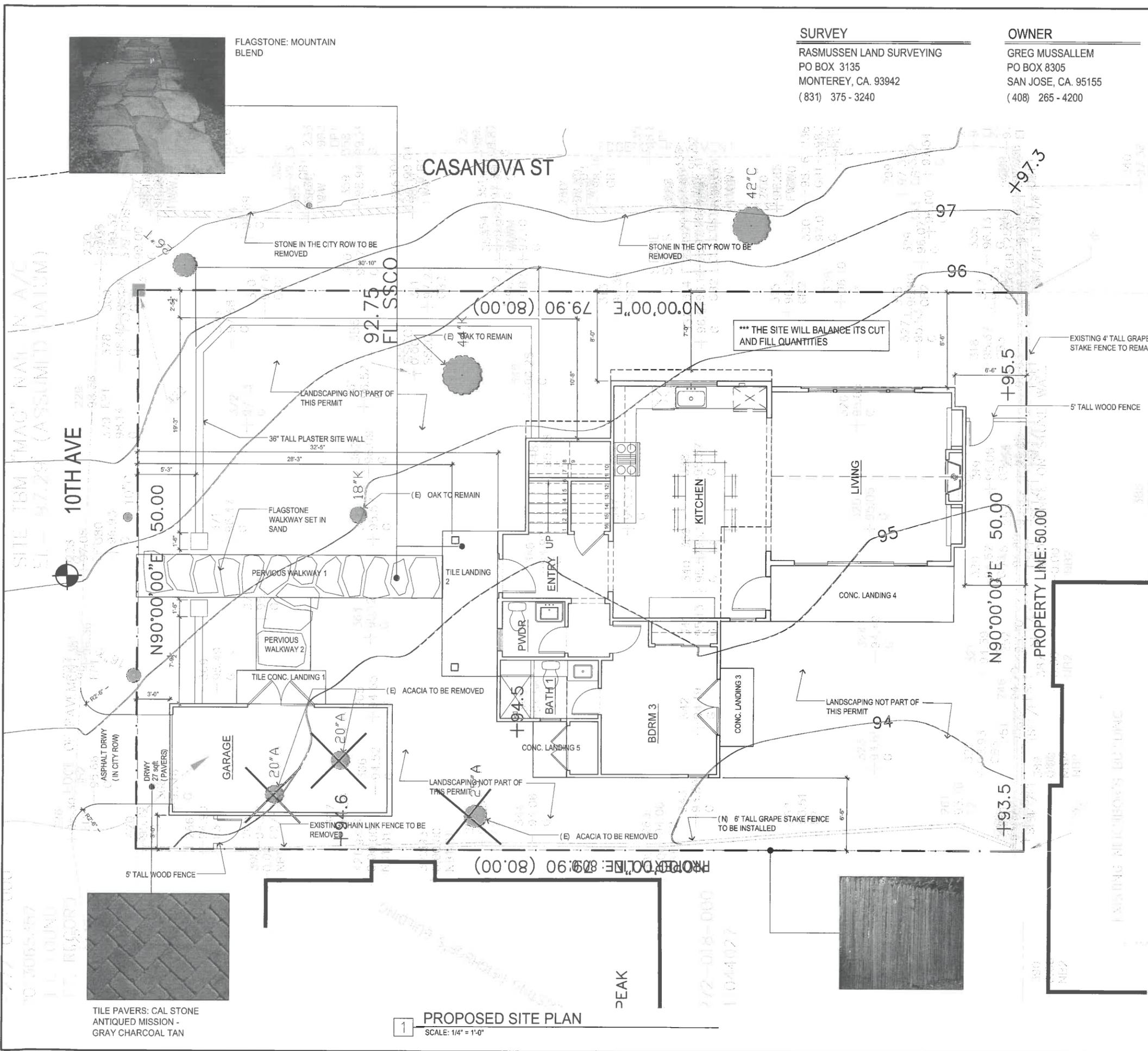
**G. B. MUSSALLEM
 RESIDENCE**
 SW CASANOVA AND 10TH
 CARMEL BY THE SEA, CA. 93923

DATE	ISSUE
09/27/16	PLANNING SUBMITTAL
10/19/16	PLANNING RE-SUBMITTAL
11/28/16	PLANNING RE-SUBMITTAL 2

PROJECT #:	16-09
DRAWN BY:	LS
CHECKED BY:	SL

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
A1.01



FLOOR AREA

FAR ALLOWED	1800 SF	45%
PROPOSED		
MAIN HOUSE - 1st	956 SF	
MAIN HOUSE - 2nd	644 SF	
DETACHED GARAGE	200 SF	
TOTAL GROSS FLOOR AREA	1800 SF	45%

SITE COVERAGE

ALLOWED	556 SF
PROPOSED IMPERVIOUS COVERAGE	
LANDING 1	24 SF
LANDING 2	65 SF
LANDING 3	21 SF
LANDING 4	82.5 SF
LANDING 5	15 SF
TOTAL IMPERVIOUS COVERAGE	204.5 SF

PROPOSED PERVIOUS COVERAGE

WALKWAY 1	105 SF
WALKWAY 2	32 SF
DRIVEWAY	27 SF
TOTAL PERVIOUS COVERAGE	164 SF
PROPOSED SITE COVERAGE	368.5 SF

- SCOPE OF WORK**
- CONSTRUCTION OF A NEW 2 STORY S.F.D. 1600 S.F. WITH A DETACHED GARAGE 200 S.F. AND 353.5 S.F. OF HARDSCAPE

- SHEET INDEX**
- A1.01 - SITE PLAN
 - A1.02 - SITE DEMOLITION/WALL REMOVAL PLAN
 - A2.01 - FIRST FLOOR PLAN
 - A2.02 - SECOND FLOOR PLAN
 - A2.03 - ROOF PLAN
 - A3.01 - STREET ELEVATIONS
 - A3.02 - BUILDING ELEVATIONS
 - A7.01 - FLOOR LEVEL MAP / DOOR AND WINDOW SCHEDULE

RECEIVED

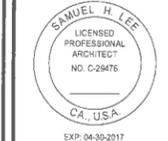
NOV 30 2016

City of Carmel-by-the-Sea
 Planning & Building Dept.

REFERENCE



1 PROPOSED SITE PLAN
 SCALE: 1/4" = 1'-0"



**G. B. MUSSALLEM
 RESIDENCE**
 SW CASANOVA AND 10TH
 CARMEL BY THE SEA, CA. 93923

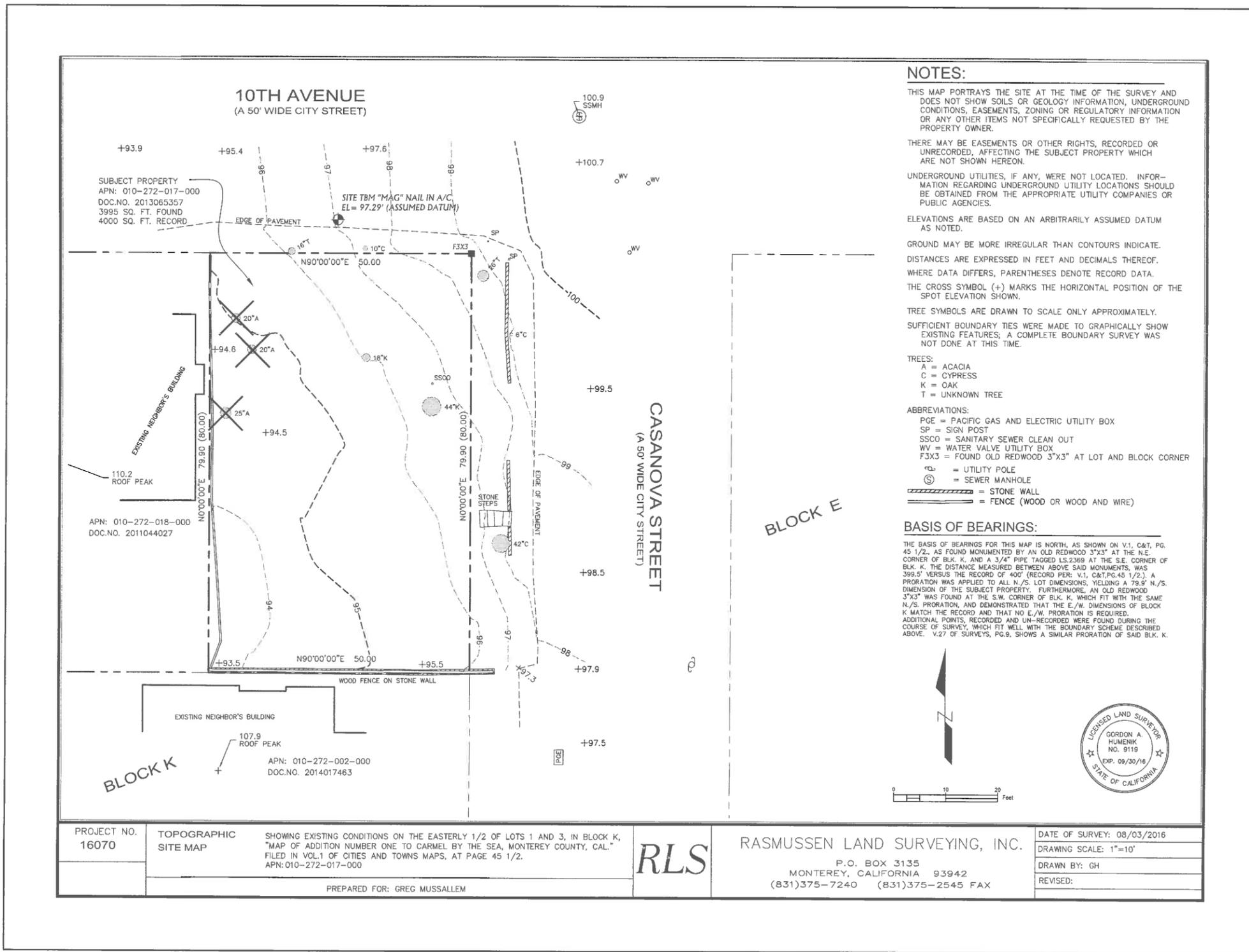
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09/27/16	PLANNING SUBMITTAL
10/19/16	PLANNING RE-SUBMITTAL
11/28/16	PLANNING RE-SUBMITTAL 2

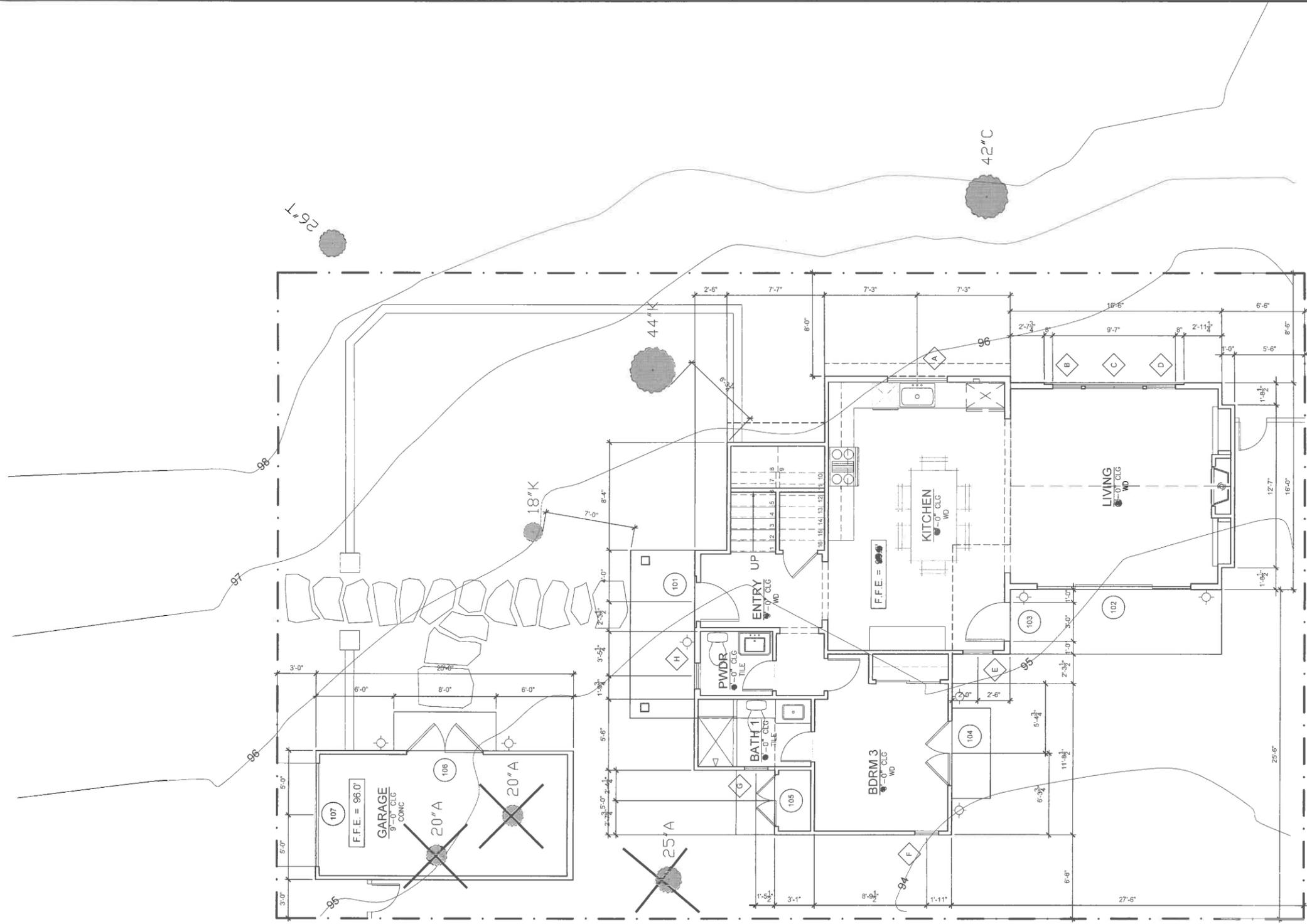
PROJECT #:	16-09
DRAWN BY:	LS
CHECKED BY:	SL

SHEET TITLE:
SURVEY

SHEET NUMBER:

26
A1.02



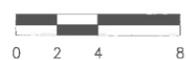


PROPERTY LINE: 80.0

PROPERTY LINE: 50.00

1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

REFERENCE



SHEET TITLE:
**FIRST FLOOR
PLAN**

SHEET NUMBER:

A2.01

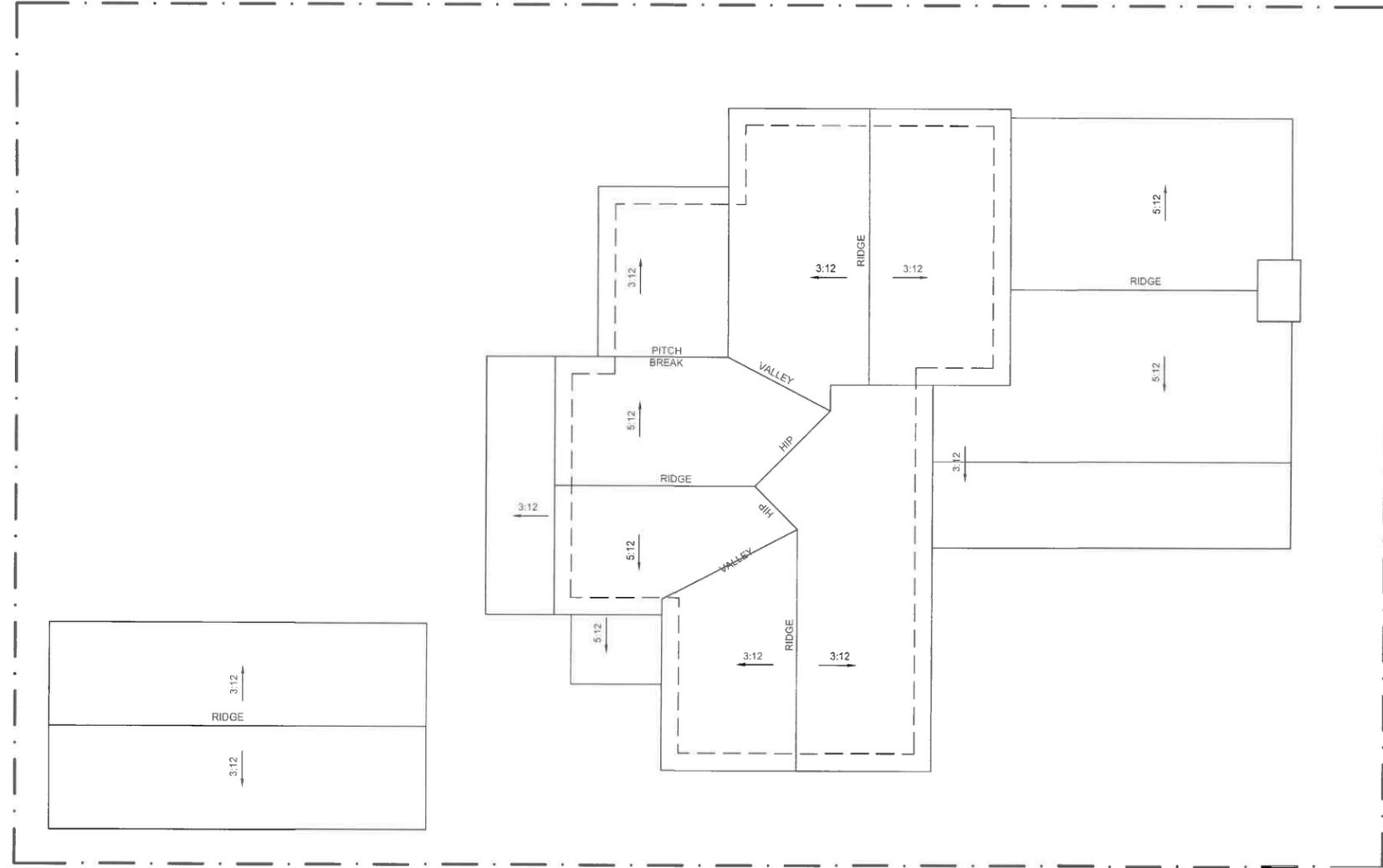
PROJECT #:	16-09
DRAWN BY:	LS
CHECKED BY:	SL

DATE	ISSUE
09/27/16	PLANNING SUBMITTAL
10/19/16	PLANNING RE-SUBMITTAL
11/28/16	PLANNING RE-SUBMITTAL 2

**G. B. MUSSALLEM
RESIDENCE**
SW CASANOVA AND 10TH
CARMEL BY THE SEA, CA. 93923



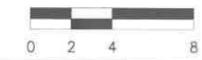
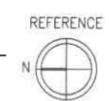
S H L ARCHITECTURE
ARCHITECTURE AND PLANNING
100 BILBO
MOUNTAIN VIEW, CA 94041
T: 415.255.2014
E:MAIL: sam@shlarch.com
ARCHITECTURAL LICENSE
NUMBER
CALIFORNIA C-28476
EXP: 04-30-2017



PROPERTY LINE: 80.0'

PROPERTY LINE: 50.00'

1 ROOF PLAN
SCALE: 1/4" = 1'-0"



S.H.L. ARCHITECTURE
ARCHITECTURE AND PLANNING
200 BLUE BOX
MOUNTAIN VIEW, CA 94032
T: 415.235.2034
EMAIL: samleearch@gmail.com



G. B. MUSSALLEM
RESIDENCE
SW CASANOVA AND 10TH
CARMEL BY THE SEA, CA. 93923

DATE	ISSUE
09/27/16	PLANNING SUBMITTAL
10/19/16	PLANNING RE-SUBMITTAL
11/28/16	PLANNING RE-SUBMITTAL 2

PROJECT #:	16-09
DRAWN BY:	LS
CHECKED BY:	SL

SHEET TITLE:
ROOF PLAN

SHEET NUMBER:
A2.03²⁸



G. B. MUSSALLEM
 RESIDENCE
 SW CASANOVA AND 10TH
 CARMEL BY THE SEA, CA. 93923

DATE	ISSUE
09/27/16	PLANNING SUBMITTAL
10/19/16	PLANNING RE-SUBMITTAL
11/28/16	PLANNING RE-SUBMITTAL 2

PROJECT #:	16-09
DRAWN BY:	LS
CHECKED BY:	SL

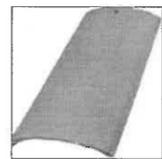
SHEET TITLE:
 STREET ELEVATIONS

SHEET NUMBER:

A3.01 29



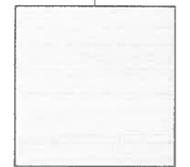
2 EAST ELEVATION - CASANOVA
 SCALE: 1/4" = 1'-0"



ROOF: REDLAND 'BAJA MISSION 4000 SERIES' - CAFE ANTIGUA BLEND



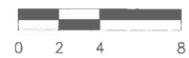
1 NORTH ELEVATION - 10TH AVE
 SCALE: 1/4" = 1'-0"



STUCCO: BENJAMIN MOORE OC-51 INTENSE WHITE



WINDOWS AND EAVES: BENJAMIN MOORE 2134-30 IRON MOUNTAIN





CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

December 14, 2016

To: Chair Goodhue and Planning Commissioners

From: Marc Wiener, AICP, Community Planning and Building Director

Submitted by: Ashley Hobson, Contract Planner

Subject: Consideration of a Combined Concept and Final Design Study (DS 16-239) and associated Coastal Development Permit for alterations to an existing residence located in the Single-Family Residential (R-1) Zoning District.¹

Recommendation:

Approve the Combined Concept and Final Design Study (DS 16-037) and associated Coastal Development Permit subject to the attached findings and conditions

Application:	DS 16-239	APN:	010-121-024
Block:	11	Lot:	East ½ of lots 2 & 4
Location:	First Avenue, 2 SE of San Carlos		
Applicant:	Brian Congleton, Architect	Property Owner:	Thomas & Irene McLaughlin

Background and Project Description:

The property is 4,000 square feet in size and includes an existing 1,585 square foot, single-story residence (1,353 s.f.) with attached garage (232 s.f.). The applicant has submitted plans for various exterior alterations and a 172-square foot bedroom addition at the rear of the residence. The project includes the following components: (1) new wood windows throughout, (2) a reconfigured entryway with a new door and sidelight windows, (3) additional brick wainscoting to match existing, (4) a 172-square foot bedroom addition on the south elevation with a new south facing oriel window, and (5) the enlargement of the existing deck.

¹ Based on the CMC 17.58.040.B.2.a (Step Three: Final Details Review), for projects involving additions or alterations to historic resources or limited changes to non-historic structures, the Director may authorize concept review and final details review to occur at the same meeting. Staff has determined that the limited changes to the structure justify combining the concept review and final details review.

Staff has scheduled this application for both conceptual review and final review details. If the Commission has concerns that cannot be addressed at one meeting it may continue the application and provide direction to the applicant. The preceding analysis discusses the site planning, privacy, views, mass and scale related to the project, as well as specific details such as materials, lighting and landscaping.

PROJECT DATA FOR A 4,000 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 sf (45%)	1,585 sf (40%)	1,757 sf (44%)
Site Coverage	396 sf / 556 sf	1052 sf	554 sf
Trees	3 Upper /1 Lower (recommended)	7	6
Ridge Height (1 st)	18'	14' – 4"	14' – 4"
Plate Height (1 st)	12'	12'	12'
Setbacks	Minimum Required	Existing	Proposed
Front	15'	15' 11"	15' 11"
Composite Side Yard	12'6" (25%)	12'6"	12'6"
Minimum Side Yard	3'	West Side: Min. 6' - 4" East Side: Min. 3' - 4"	West Side: Min. 6' - 4" East Side: Min. 3' - 4"
Rear	15' (3' if bldg. <15')	9' – 4"	4' – 6" at new construction

Staff analysis:

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourage maintaining “a forested image on the site” and for new construction to be at least six feet from significant trees.

The City Forester reviewed the property in August 2016 as part of the City’s Site Assessment process and identified four trees on the property including a moderately significant Monterey Pine, a significant Monterey Pine, a significant Coast Live Oak, and a non-significant Toyon tree. Since the forester’s review, two additional trees have been planted at the front of the property.

As part of this project, the applicant is proposing to remove the moderately significant 32” Pine Tree located on the east side of the property. During the forester’s review, this tree was identified to have an impaired condition due to either pests or disease, and also various deformations which

may be irreversible. Additionally, the tree is overcrowded due to the previous development so close to the tree. Staff has included a condition of approval that the applicant applies for and obtains a Tree Removal permit from the City Forester prior to the issuance of a Building Permit.

Privacy & Views: Residential Design Guidelines 5.1 through 5.3 state that *“designs should preserve reasonable solar access to neighboring parcels”* and *“maintain privacy of indoor and outdoor spaces in a neighborhood”* and *“maintain view opportunities.”*

Staff has not identified any existing view or potential view impacts that would be created by the remodeled residence. The proposed addition will be located at the rear of the house and will match the current roof height of the residence. One new large window and one new oriel window are proposed on the East and South elevations, respectively, but no privacy impacts are anticipated because both windows will remain below the existing fence line. In staff’s opinion, the proposed residence meets the objectives of Residential Design Guidelines 5.1 through 5.3.

Mass & Bulk: Residential Design Guidelines 7.1 through 7.6 encourages a building’s mass to relate *“to the context of other homes nearby”* and to *“minimize the mass of a building as seen from the public way or adjacent properties.”* Further, these guidelines state that *“a building should relate to a human scale in its basic forms.”*

The applicant is proposing to add 172 square feet to the residence, with the addition located in the rear of the house. The new addition will not be visible from the public right-of-way at the front of the house. The proposed entryway changes appear to blend cohesively with the existing design and will also not significantly change the mass or bulk of the residence. In staff’s opinion, the proposed residence meets the objectives of Residential Design Guidelines 7.1 through 7.6.

Building & Roof Form: Residential Design Guidelines 8.1 through 8.3 state that *“Shallow to moderately pitched roofs are appropriate on one-story buildings. More steeply pitched roofs with low plate lines can be used on two-story buildings.”* The Guidelines emphasize using *“restraint”* and *“simplicity”* in building forms, which should not be complicated, and roof lines, which should *“avoid complex forms.”*

The existing residence is one-story with an attached garage. The front of the residence has a long east to west ridge over the middle of the house with two open gables facing the street (above the garage and Bedroom #2). The applicant is proposing to maintain the existing roofline as viewed from the front of the house. The rear master bedroom addition is proposed to have a gable roof to

match the existing rooflines. In staff's opinion, the building and roof design is simple and complements the building style and neighborhood context and it meets the objectives of Residential Design Guidelines 8.1 through 8.3.

Finish Materials: The applicant is proposing to maintain the existing vertical wood siding throughout the house with minor changes to front entryway. Specifically, the existing brick wainscoting will be extended around the entryway door at the north elevation, as shown on Sheet 4 of the plans. The addition areas will have vertical wood siding to match the existing siding and the existing wood shingle roofing material is proposed to remain with new matching wood shingles above the addition area. All existing aluminum windows are proposed to be replaced with unclad painted wood windows.

Site Coverage/Landscaping: Per Municipal Code Section 17.10.030.C, site coverage shall be limited to a maximum of 22 percent of the base floor area allowed for the site (Note: on a 4,000 square-foot site this equals 396 square feet - approximately 10 percent of the site). In addition, if at least 50 percent of all site coverage on the property is made of permeable or semi-permeable materials, an additional amount of site coverage of up to four percent of the site area may be allowed. For this 4,000 square foot lot, the total amount of coverage is allowed to be 596 square feet. The applicant is proposing to remove 498 square feet of site coverage in order to comply with the allowed amount. Otherwise, no new landscaping is proposed.

Archaeological Resources: The property is located in the Archaeological Significance Overlay zone. Per CMC 17.20.040.A., "applications for new construction or additions, alterations and remodels involving excavation of undisturbed earth shall include Archaeological Resource Management Report." Staff has included a condition of approval that the applicant submit a Archaeological Resource Management Report prior to obtaining construction permits.

Public ROW: The portion of the City Right-of-Way (ROW) between the front property line and edge of paving is devoid of any encroachments

Alternatives: Staff has included draft findings that the Commission can adopt if the Commission accepts the overall design concept, including the architectural style of the building. However, if the Commission does not support the design, then the Commission could continue the application with specific direction given to the applicant.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project includes a 172-square foot addition to an existing 1,585-square foot residence, and therefore qualifies for a Class 1 exemption. The proposed alterations to the residence do not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Project Plans

Attachment A – Site Photographs



Attachment B – Findings for Approval

DS 16-239 (McLaughlin)
 December 14, 2016
 Findings for Approval
 Page 1

FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.080 and LUP Policy P1-45)		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	

8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	
9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.010.B.1):

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

Attachment C – Conditions of Approval

DS 16-239 (McLaughlin)
 December 14, 2016
 Conditions of Approval
 Page 1

Conditions of Approval		
No.	Standard Conditions	
1.	Authorization: This approval of Design Study (DS 16-239) authorizes the following components: (1) new wood windows throughout, (2) a reconfigured entryway with a new door and sidelight windows, (3) additional brick wainscoting to match existing, (4) a 172-square foot addition on the south elevation with a new south facing oriel window, and (5) the enlargements of the existing deck.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation	✓

	by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground and shall be no closer than 10 feet from each other.	✓
10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	✓
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.	NA
12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or	✓

	in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	NA
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	✓
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for	✓

	significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	NA
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
Special Conditions		
22.	The applicant shall apply for and obtain a Tree Removal permit from the City Forester for the removal of the 32" Pine Tree to the issuance of a Building Permit.	✓
23.	Per CMC 17.20.040.A., prior to obtaining construction permits, the applicant shall submit to the Community Planning and Building Department an Archaeological Resource Management Report.	

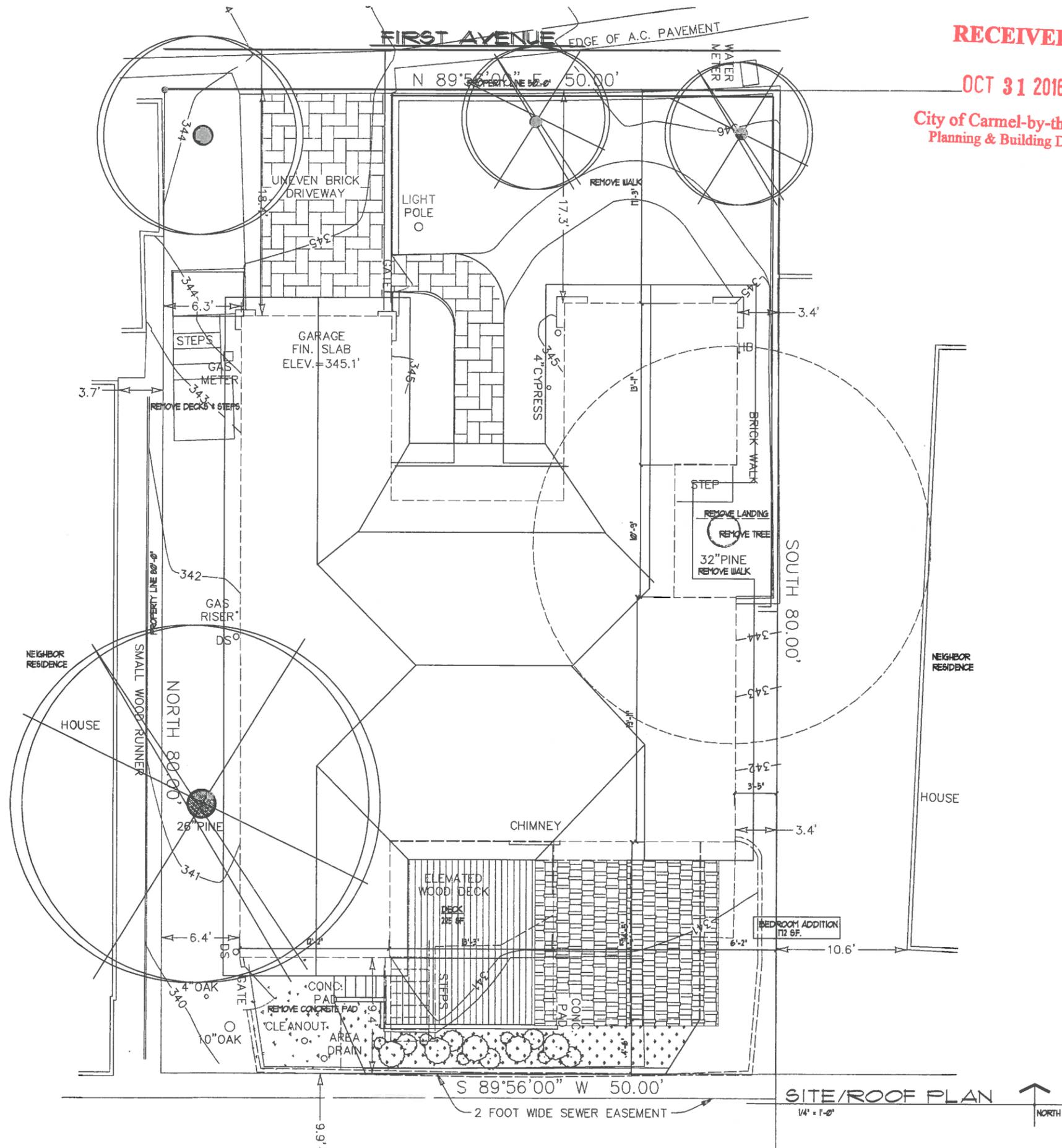
*Acknowledgement and acceptance of conditions of approval.

 Property Owner Signature

 Printed Name

 Date

Once signed, please return to the Community Planning and Building Department.



RECEIVED

OCT 31 2016

City of Carmel-by-the-Sea
Planning & Building Dept.

PROJECT DATA:

BEDROOM ADDITION TO EXISTING RESIDENCE
ADD HALF-BATH, REMODEL KITCHEN
EXTERIOR MODIFICATIONS: NEW WINDOWS AND DOORS.

LEGAL DESCRIPTION: BLOCK 11, 1/2 OF LOTS 244, APN 010-021-004-000

LOCATION: FIRST AVENUE 2 SE OF SAN CARLOS, CARMEL
ZONING: R-1 LOT SIZE: 16,000 SF.

OWNER: THOMAS & IRENE McLAUGHLIN
130 WINDCHIME COURT
WALNUT CREEK, CALIFORNIA 94598
TEL. 925/950-8035

LOT SIZE: 4,000 SQUARE FEET ZONING: R1

SETBACKS:	ALLOWED	EXISTING/PROPOSED
FRONT (NORTH):	15'-0"	15'-11"
WEST SIDE:	3'-0"	6'-10"
EAST SIDE:	3'-0"	3'-0" (E) 5'-8" (BY ADDITION)
COMPOSITE:	17'-6"	17'-6"
HEIGHT:	24'-0"	4'-2" (E) 18'-0" (E)

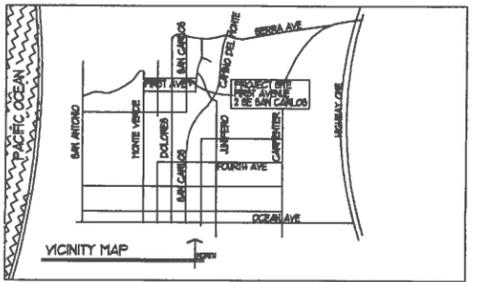
FLOOR AREA:	(E) RESIDENCE	(E) GARAGE	TOTAL (E) FLOOR AREA:
	1363 SF.	232 SF.	1595 SF.
			BEDROOM ADDITION 112 SF.
TOTAL FLOOR AREA:			1707 SF.
ALLOWED FLOOR AREA (4,000 SF x .45):			1800 SF.

PROPOSED VOLUME - 'ADDITION ONLY' OPTION

	ROOF	FLOOR-TO-CEILING	GRADE-TO-FLOOR
	104 SF x 2.6/2 = 239 CF	104 SF x 1.33 = 139 CF	112 SF x 4.15 = 465 CF
TOTAL VOLUME PROPOSED =			2405 CF
VOLUME ALLOWED: 1800-1504=216x12			2592 CF

SITE COVERAGE:	EXISTING	REDUCTION	PROPOSED
DRIVEWAY (PERMEABLE PAVERS):	220 SF.		220 SF.
LANDING @ FRONT DOOR:	42 SF.		42 SF.
ENTRY WALK (PERMEABLE PAVERS):	225 SF.	150	75 SF.
DECK (SPACED DECKING PERMEABLE):	242 SF.	25	217 SF.
LANDING @ STAIR @ SIDE OF GARAGE:	61 SF.	61	0
LANDING @ EAST SIDE ENTRY:	20 SF.	20	0
PAD @ REAR YARD:	236 SF.	236	0
TOTAL:	1052 SF.	438	614 SF.

BASE ALLOWED: 1800 x .22 = 396 SF.
TOTAL PERMEABLE: 601 SF.
PERMEABLE BONUS: 4,000 x .04 = 160 SF.
TOTAL ALLOWED: 761 SF.



CONSTRUCTION TYPE: V-B (EXISTING) NOT SPRINKLERED

APPLICABLE CODES:
2013 CALIFORNIA BUILDING CODE 2013 CBC-FIRE
2013 CBC-PLUMBING 2013 CA RESIDENTIAL CODE
2013 CBC-MECHANICAL 2013 GREEN BUILDING CODE
2013 CBC-ELECTRICAL

- INDEX TO DRAWINGS**
- 1 PROJECT DATA, SITE/ROOF PLAN
 - 2 EXISTING/DEMOLITION PLANS AND ELEVATIONS
 - 3 CONSTRUCTION FLOOR PLAN
 - 4 BUILDING ELEVATIONS, BUILDING SECTIONS

SITE/ROOF PLAN
1/4" = 1'-0"
NORTH

REVISED DESIGN REVIEW SUBMITTAL
10-28-16

These drawings and the design represented herein are the property of Congleton Architect AIA. Use in any manner is prohibited without the prior written consent of the Architect.

DRAWN BY: TC
DATE: 10-28-16
REVISED

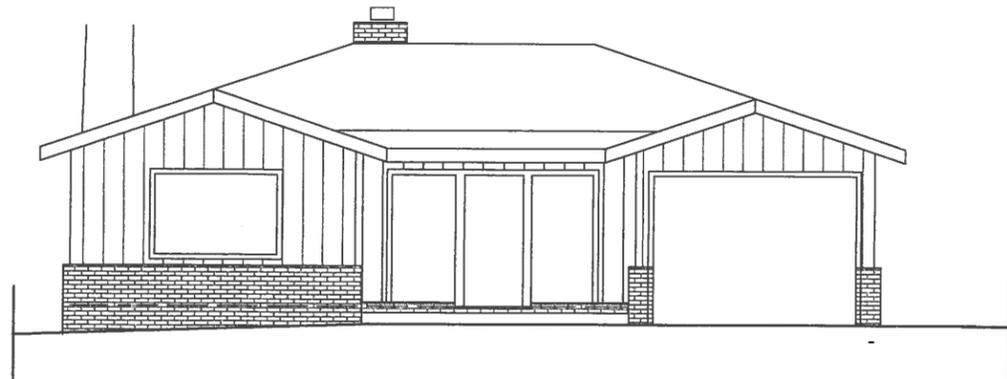
Congleton Architect AIA

Post Office Box 4118 Carmel, CA 95021 (831) 828-8228 License No. C-20020

McLAUGHLIN RESIDENCE
FIRST AVENUE 2 SE SAN CARLOS - CARMEL, CA

1

SHEET NUMBER



NORTH (STREET) ELEVATION

1/4" = 1'-0"



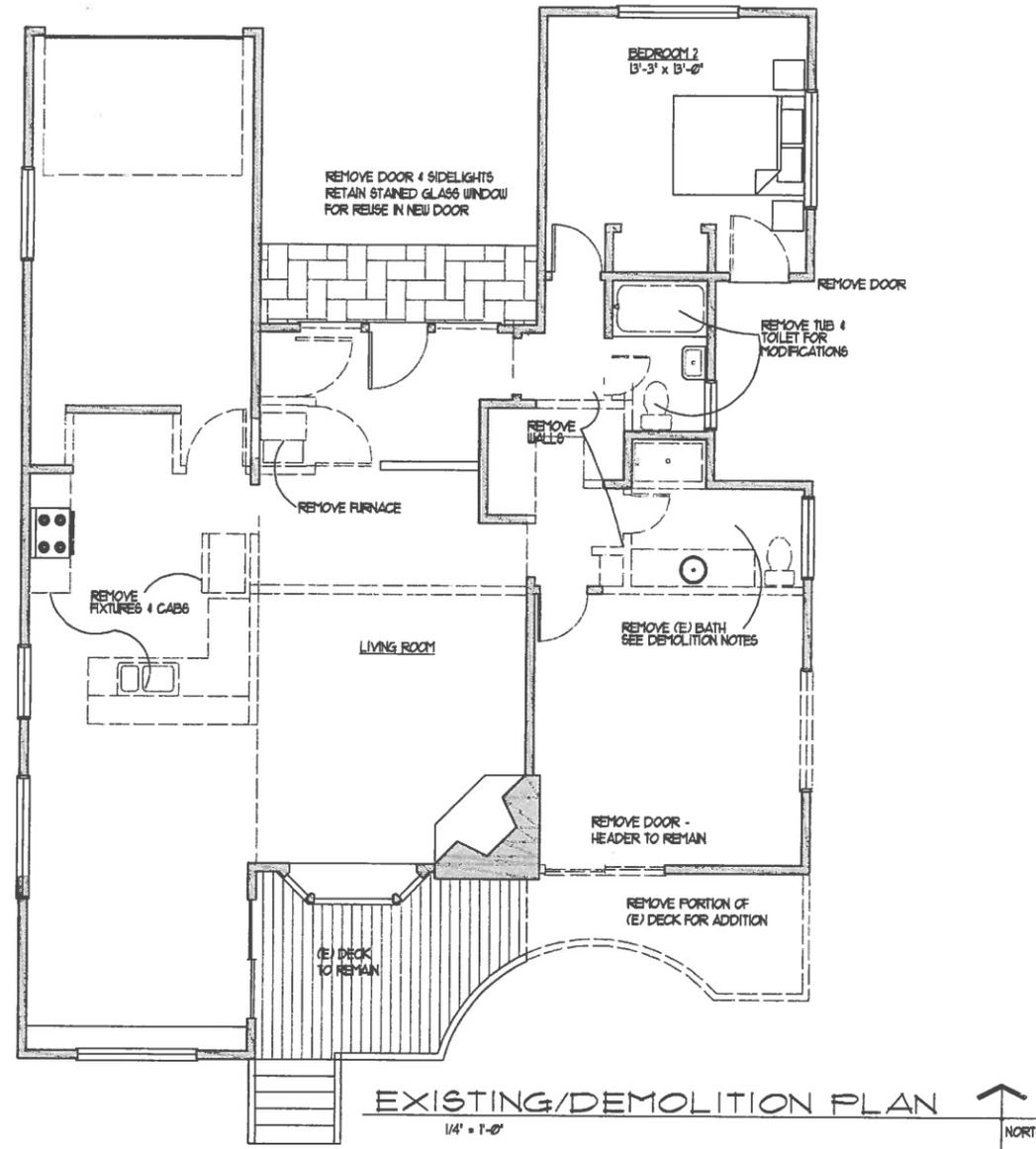
EAST ELEVATION

1/4" = 1'-0"



SOUTH ELEVATION

1/4" = 1'-0"



EXISTING/DEMOLITION PLAN

1/4" = 1'-0"



GENERAL NOTES - DEMOLITION WORK

THIS PLAN IS A GUIDE TO REMOVAL OF EXISTING IMPROVEMENTS IN CONJUNCTION WITH ADDITIONS & ALTERATIONS OF THE EXISTING RESIDENCE. WHERE EXISTING CONDITIONS ARE IN CONFLICT WITH INFORMATION INDICATED HEREIN, NOTIFY OWNER AND ARCHITECT FOR REVIEW AND INPUT PRIOR TO PROCEEDING.

REMOVAL OF IMPROVEMENTS:

- REMOVE CABINETRY AND MILLWORK, WALL AND FLOOR FINISHES AS NOTED.
- REMOVE ANY PLUMBING ELEMENTS NOT TO BE A PART OF THE NEW WORK AND CAP BELOW FLOOR OR IN WALL.
- REMOVE ANY ELECTRICAL ELEMENTS NOT TO BE A PART OF THE NEW WORK BACK TO PANEL OR JUNCTION BOX. REMOVE EXTRA OR "WILD" WIRING, REVIEW ALL CIRCUITS AND CLOSE OPEN J-BOXES.
- REMOVE NON-STRUCTURAL PARTITIONS OR PORTIONS THEREOF AS INDICATED BY DASHED LINE ON PLAN.

PRESERVE AND PROTECT ELEMENTS NOT TO BE REMOVED, OR ITEMS SET ASIDE FOR RELOCATION AND REUSE.

WHERE NEW WORK ADJOINS EXISTING, PROVIDE ATTACHMENT OF THE ELEMENTS FOR TIGHT FIT, SECURE CONSTRUCTION, PROPER ALIGNMENT AND PROPER VISUAL APPEARANCE WITHOUT PATCHES, CHANGES IN PAINT OR WALLCOVERING, OR BUTT JOINTING OF TRIM ELEMENTS. IF NECESSARY FOR INTEGRATION OF ELEMENTS, REMOVE SURFACE OF EXISTING ELEMENT AND INSTALL NEW.

NOTE: PROVIDE TEMPORARY SHORING & BRACING AS REQUIRED TO PROTECT EXISTING ELEMENTS DURING REMOVAL & CONSTRUCTION. SHORING & BRACING DESIGN IS NOT A PART OF THESE DOCUMENTS.

These drawings and the design represented herein are the property of Brian I. Congleton, Architect. Use in any manner is prohibited without the prior written consent of the Architect.
 Brian ITC
 DATE: 6-16-16
 REVISED

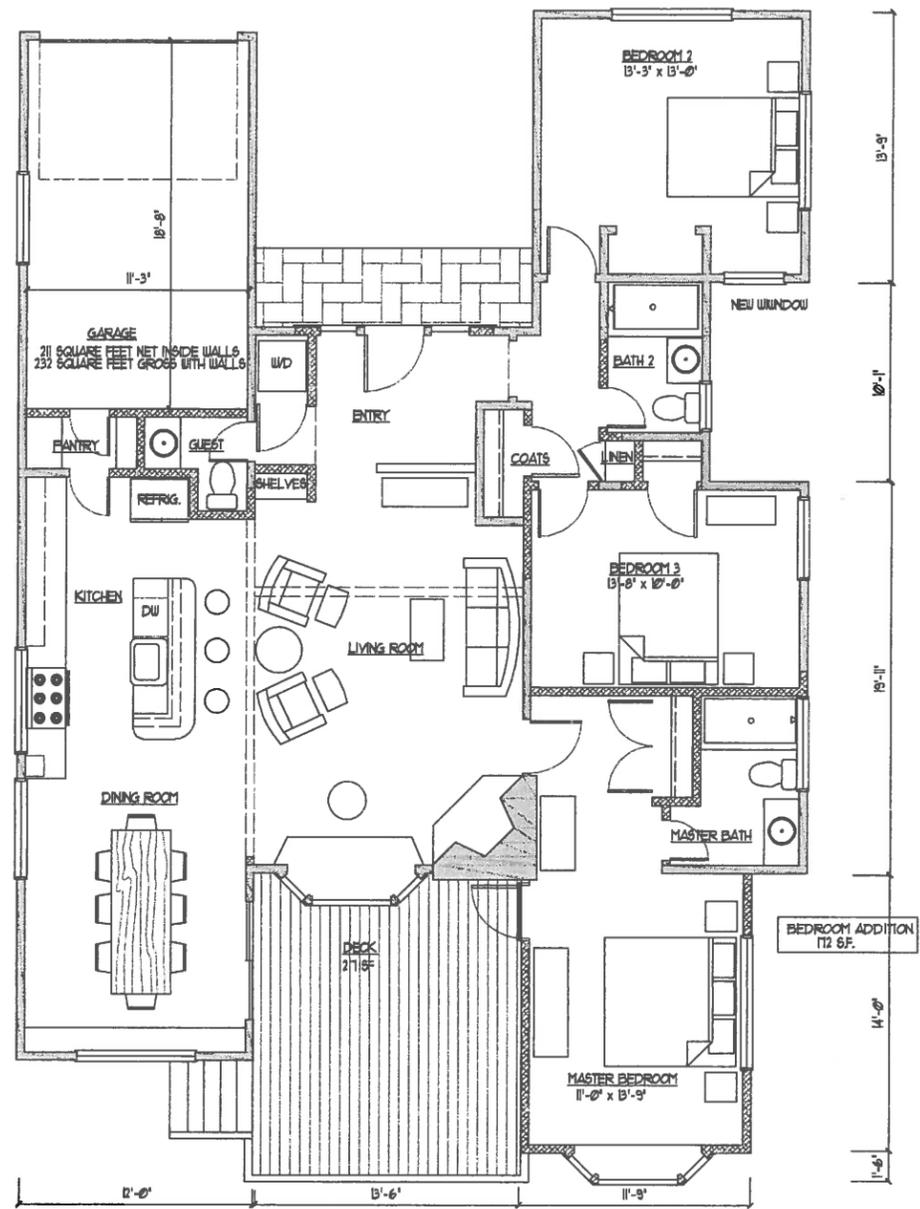
Congleton Architect AIA

Post Office Box 4118 Channel, CA 94021 (415) 628-1828 License No. C-40030

McLAUGHLIN RESIDENCE
 FIRST AVENUE + 1st St SAN CARLOS - CHANNEL, CA

2

This drawing and the design represented herein are the property of Brian S. Congleton, Architect. Any use or reproduction without the prior written consent of the Architect is prohibited.
 SHEETS 3 OF 3
 DATE: 6-2-16
 REVISIONS:



CONSTRUCTION FLOOR PLAN
 1/4" = 1'-0"



McLaughlin Residence
 FIRST AVENUE 2 ST SAN CARLOS - CANINE, CA
Congleton Architect AIA
 Post Office Box 478 Carmel, CA 95021 (831) 428-1828 License No. C-18003

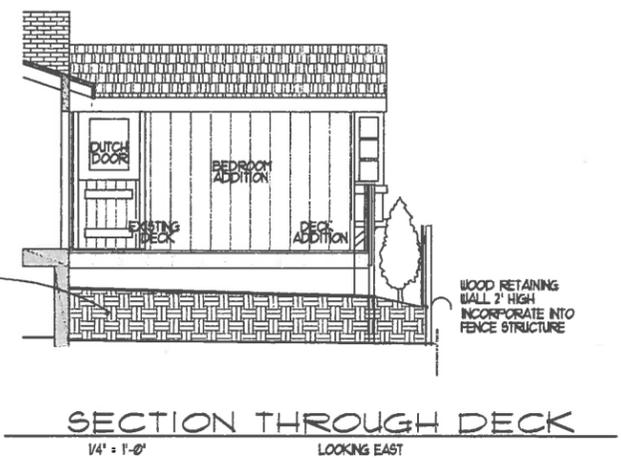
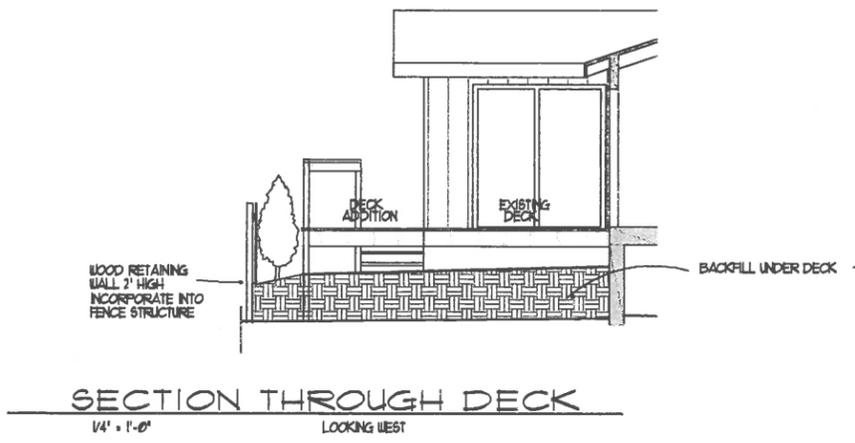
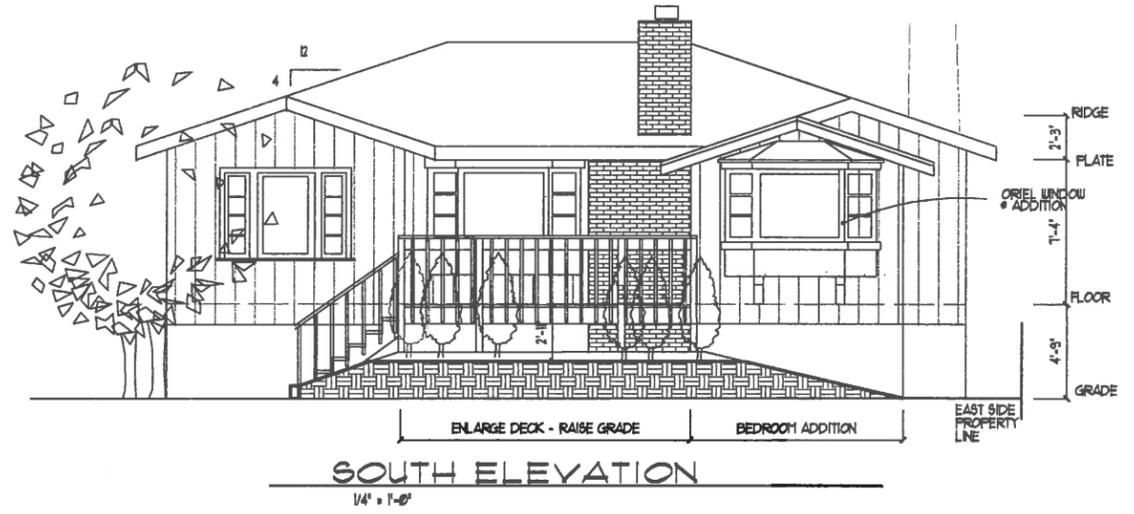
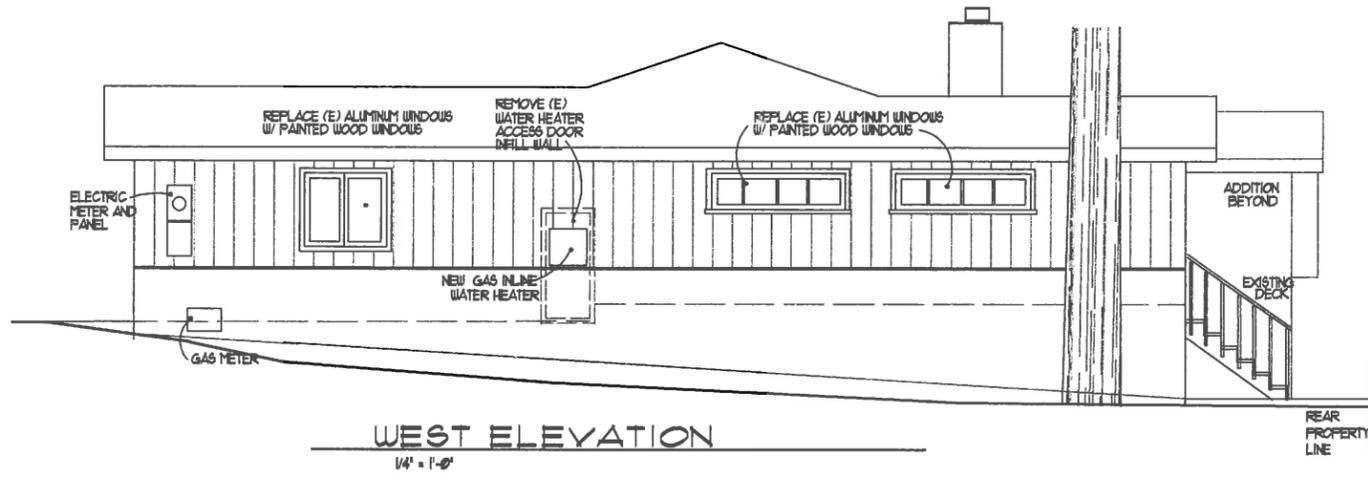
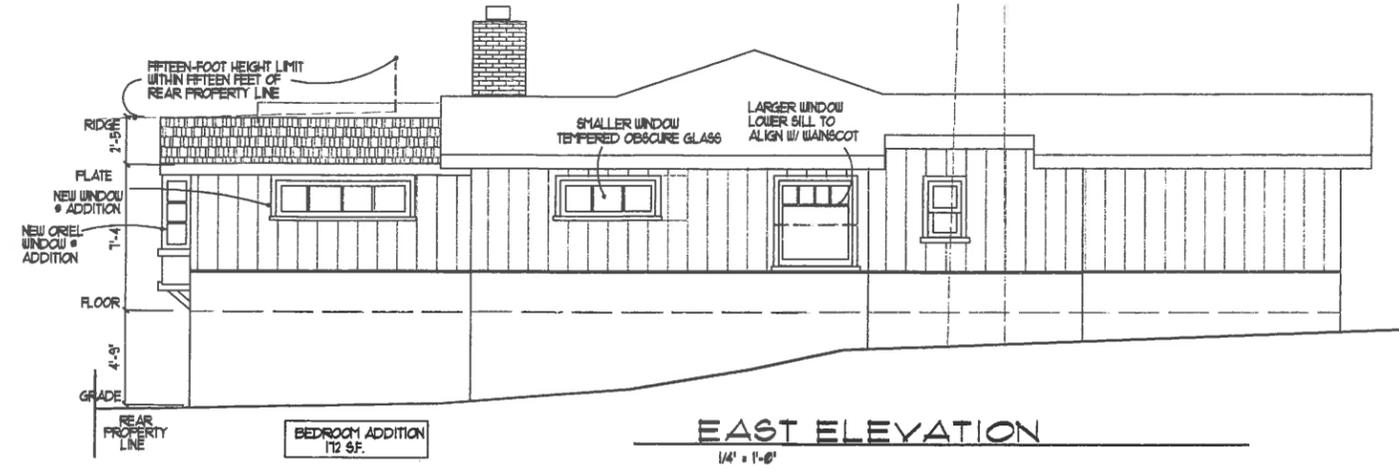
SHEET NUMBER
3

These drawings and the design represented hereon are the property of Brian T. Congleton, Architect. Use by any person is prohibited without the prior written consent of the architect.
 DRAWING NO. 20-10-16
 DATE: 07-10-16
 REVISED

Congleton Architect AIA
 Post Office Box 4719 Carmel, CA 93921 (831) 626-9228 License No. C-46930

McLAUGHLIN RESIDENCE
 FIRST AVENUE 2 SE SAN CARLOS - CARMEL, CA

SHEET NUMBER
4



The project site is located within the Archaeological Significance (AS) Overlay District, which requires the preparation of an archaeological report. An archaeological report has been prepared and submitted to the City and concludes there is no evidence of archaeological or historical resources.

The applicant has submitted plans for a remodel of the existing residence and proposes to increase floor area square footage on the property from 826 square feet to 1,164 square feet (an increase of 338 square feet with 138 square feet added to the residence and 200 square feet representing the new parking pad in the front yard setback). There is no change to the square-footage of the existing backyard studio.

The demolition component of the project will include the west deck, and a covered patio on the north elevation. The project includes bumping out the west side of the house and bumping out a section of the north elevation where the existing porch is located. A new deck will be constructed to replace that existing off the back of the house (west elevation). The project also includes a major remodel of the interior space (not subject to this analysis) and will include extending the north/south ridge and relocating the front door to a more central location on the east/front elevation. Wood windows are proposed throughout and in approximately the same location as that existing, and no increase or decrease in their number.

Finish materials include board and batten siding (same as existing) and composition shingle roof (same as existing). Exterior lighting will be located appropriately at doors that provide egress/ingress to the residence. The applicant does not propose new landscape or landscape lighting.

Staff has scheduled this application for both conceptual review and final review details. If the Commission has concerns that cannot be addressed at one meeting it may continue the application.

PROJECT DATA FOR A 4,000 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 sf (45%)	826 sf ²	1,164 sf
Site Coverage	396 sf	416 sf	400 sf
Trees	3 Upper /1 Lower (recommended)	8/6	N/A
Ridge Height (1 st /2 nd)	18'/24'	Max: 15'-6"	No Change
Plate Height (1 st /2 nd)	12'/18'	Max: 13'	No Change
Setbacks	Minimum Required	Existing	Proposed
Front	15'	14' – 7"	14' – 7"
Composite Side Yard	10' (25%)	7' – 7"	10' at new construction
Minimum Side Yard	3'	2' - 7"	2' - 7"
Rear	15'	Studio: 14' – 8" Residence: 57' - 5"	Studio: 14' – 8" Residence: 55' - 3"

Staff analysis:

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourage maintaining “a forested image on the site” and for new construction to be at least six feet from significant trees.

The City Forester reviewed the property in May 2016 as part of the City’s Site Assessment protocols and identified 14 trees on the property, of which 11 are significant and three moderately significant. Twelve trees are located in the backyard and two in the front yard. No additional trees are proposed to be planted, nor has the City Forester recommended that additional trees be planted. The property is currently heavily canopied with existing live trees. One additional oak is located in the public ROW and one oak on the adjacent property to the north has a canopy that is nearly 100 percent overhanging the applicant’s property; no trees are proposed to be removed.

Privacy & Views: Residential Design Guidelines 5.1 through 5.3 state that “designs should preserve reasonable solar access to neighboring parcels” and “maintain privacy of indoor and outdoor spaces in a neighborhood” and “maintain view opportunities.”

² Includes studio

Staff has not identified any view impacts that would be created by the remodel. With regard to privacy, staff notes that the adjacent neighbor to the north has second floor windows that overlook the subject property's rear yard where no construction is proposed. On the south side is a two story residence that will not be affected by the proposed project regardless of a window being installed where one currently does not exist. The alignment of this new window would not cause privacy impacts to the neighbor. To the north is the neighbor's detached garage, which will not be impacted by the proposed remodel. Although new windows will be installed there is no decrease or increase in their number. The existing deck in the back yard will be removed and a new deck constructed. The front door will be relocated to a position approximately in the center of the residence.

Through the placement, location and size of windows, doors and decks, the design respects the rights to reasonable privacy on adjoining sites. In staff's opinion, the proposed residence meets the objectives of Residential Design Guidelines 5.1 through 5.3.

Mass & Bulk: Residential Design Guidelines 7.1 through 7.6 encourages a building's mass to relate *"to the context of other homes nearby"* and to *"minimize the mass of a building as seen from the public way or adjacent properties."* Further, these guidelines state that *"a building should relate to a human scale in its basic forms."*

The applicant is proposing to remodel the existing single-story residence and add 138 square-feet of habitable space to an existing 628 square foot residence. This is a very small residence with only a slight increase in square footage, therefore, in staff's opinion, the proposed residence meets the objectives of Residential Design Guidelines 7.1 through 7.6.

Building & Roof Form: Residential Design Guidelines 8.1 through 8.3 state that *"Shallow to moderately pitched roofs are appropriate on one-story buildings. More steeply pitched roofs with low plate lines can be used on two-story buildings."* The Guidelines emphasize using *"restraint"* and *"simplicity"* in building forms, which should not be complicated, and roof lines, which should *"avoid complex forms."*

The proposed design includes extending the existing roof line to the north thus creating one continuous ridge line as seen from the public right-of-way on Mission Street. The existing east-west ridge will be extended approximately 2 feet. Except for the bedroom area, which will remain at a 3:12 slope, the proposed roof slope will also increase from a 3:12 to a 5:12 pitch. The rooflines facing the street (east elevation), will decrease from three to one.

The building was originally built in the 1940's and was rectangular (that part of the residence seen from Mission Street). In 1957, the property owner added the addition to the back of the house. The building is very simple in construction and dimensions and is non-descript. In staff's opinion, the roof design and building form is simple and complements the neighborhood context and it meets the objectives of Residential Design Guidelines 8.1 through 8.3.

Site Coverage/Landscaping: Per Municipal Code Section 17.10.030.C, site coverage shall be limited to a maximum of 22 percent of the base floor area allowed for the site (Note: on a 4,000 square-foot site this equals 396 square feet or 10 percent of the site). In addition, if at least 50 percent of all site coverage on the property is made of permeable or semi-permeable materials, an additional amount of site coverage of up to four percent of the site area may be allowed. For this 4,000 square foot lot the total amount of coverage is allowed to be 556 square feet; the project plans indicate that only 400 square feet of total site coverage. In staff's opinion, the proposed site coverage is consistent with the Municipal Code. The applicant does not propose any changes to the landscaping.

Exterior Lighting: With regard to light fixtures, Municipal Code Section 15.36.070.B.1 states that all exterior lighting attached to the main building or any accessory building shall be no higher than 10 feet above the ground and shall not exceed 25 watts (incandescent equivalent; i.e., approximately 375 lumens) in power per fixture, and that landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent; i.e., approximately 225 lumens) per fixture.

In addition, the City's Residential Design Guidelines, Section 11.8, states, "*Preserve the low nighttime lighting character of the residential neighborhoods. Use lights only where needed for safety and at outdoor activity areas. Appropriate locations may include building entries, gates, terraces, walkways, and patios,*" and "*[...] Point lights downward to reduce glare and avoid light pollution*", "*Locate and shield fixtures to avoid glare and excess lighting as seen from the neighboring properties and from the street*".

The location and style of the proposed wall-mounted light fixtures are depicted in the attached plans. The wall lights will not exceed 25 watts. However, the proposed light fixtures are not downward cast, which is contrary to what the Planning Commission has directed. Staff has conditioned the project to provide downward cast lighting. No landscape lighting is proposed. In staff's opinion, with revised light fixtures, the proposed project will be consistent with the Municipal Code and will meet the objectives of Residential Design Guidelines 11.8.

Public ROW: The portion of the City Right-of-Way (ROW) between the front property line and edge of paving is in a natural state and free of all hindrances.

Alternatives: Staff has included findings that the Commission can adopt if the Commission accepts the overall design concept, including the architectural style of the building. However, if the Commission does not support the design, then the Commission could continue the application with specific direction given to the applicant.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – New Construction or Conversion of Small Units. The project includes the construction of one single-family residence in a residential zone, and therefore qualifies for a Class 3 exemption. The proposed residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Project Plans

Attachment A – Site Photographs

Project site – Front



Bedroom at back of residence



Back yard studio –



Attachment C – Findings for Approval

DS 16-383 (Bressler)
 December 14, 2016
 Findings for Approval
 Page 1

<u>FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.080 and LUP Policy P1-45)</u>		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	

8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	
9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.010.B.1):

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

Attachment D – Conditions of Approval

DS 16-383 (Bressler)
 December 14, 2016
 Conditions of Approval
 Page 1

Conditions of Approval		
No.	Standard Conditions	
1.	Authorization: This approval of Design Study (DS 16-383) authorizes 1) the addition of 138-square feet to the existing residence, 2) addition of a parking 200 square-foot parking pad, 3) new wood windows and doors, and 4) relocated front door.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If	✓

	<p>roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.</p>	
7.	<p>Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.</p>	✓
8.	<p>The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.</p>	✓
9.	<p>Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.</p>	✓
10.	<p>All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.</p>	✓
11.	<p>The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.</p>	✓
12.	<p>The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.</p>	✓

13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted	✓

	to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	N/A
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
Special Conditions		
22.	The applicant shall provide Planning staff with new cut-sheet showing exterior light fixtures with a downward cast.	

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Once signed, please return to the Community Planning and Building Department.

GENERAL NOTES

PROJECT DATA

SCOPE OF WORK:
 REMODEL OF AND ADDITION TO EXISTING SINGLE-FAMILY RESIDENCE. ADD NEW PARKING PAD. REPAIR EXISTING REAR WOOD DECK. INSTALL NEW ROOF, WOOD WINDOWS, WOOD BOARD-AND-BATTEN SIDING AS NOTED.

CONSTRUCTION TYPE: V-B
 OCCUPANCY: R-3
 FIRE SPRINKLERS: ==
 WATER: CAL-AM (E)
 SEWER: CARMEL AREA WASTE WATER DISTRICT (E)

TREE REMOVAL: NONE
 GRADING: < 45 CUBIC YARDS

SITE COVERAGE CALCULATIONS:

LOT AREA 4000 SF

EXISTING
 FRONT PATIO + SIDE PORCH 89 SF
 REAR DECK + WALKWAY + STEPS 327 SF

TOTAL, (E) COVERAGE: 416 SF
 * MAX. ALLOWABLE COVERAGE = 396 SF

PROPOSED
 FRONT PATIO + WALKWAY 55 SF
 BACK DECK + WALKWAY + STEPS 324 SF
 SIDE LANDING 21 SF

TOTAL, (N) COVERAGE: 400 SF

FLOOR AREA CALCULATIONS:

EXISTING
 (E) HOUSE, MAIN LEVEL 628 SF
 (E) STUDIO 198 SF
 GARAGE -N/A-

TOTAL, (E) FLOOR AREA: 826 SF

(E) HOUSE, MAIN LEVEL 628 SF
 (P) HOUSE, ADDITIONS 138 SF
 (E) STUDIO 198 SF
 (P) PARKING PAD 200 SF

TOTAL, (P) FLOOR AREA: 1,164 SF

*NOTE: MAX. ALLOWABLE AREA = 1800 SF

SHEET INDEX

- A1 PROJECT DATA AND SITE LOCATION
- A2 NOTES AND SPECIFICATIONS
- ANNOTATED SITE SURVEY
- A3 EXISTING & PROPOSED SITE PLAN
- A4 EXISTING & DEMOLITION FLOOR PLAN
- A5 PROPOSED FLOOR PLAN
- A6 EXISTING & PROPOSED ROOF PLAN
- A7 EXISTING BUILDING ELEVATIONS
- A8 PROPOSED BUILDING ELEVATIONS

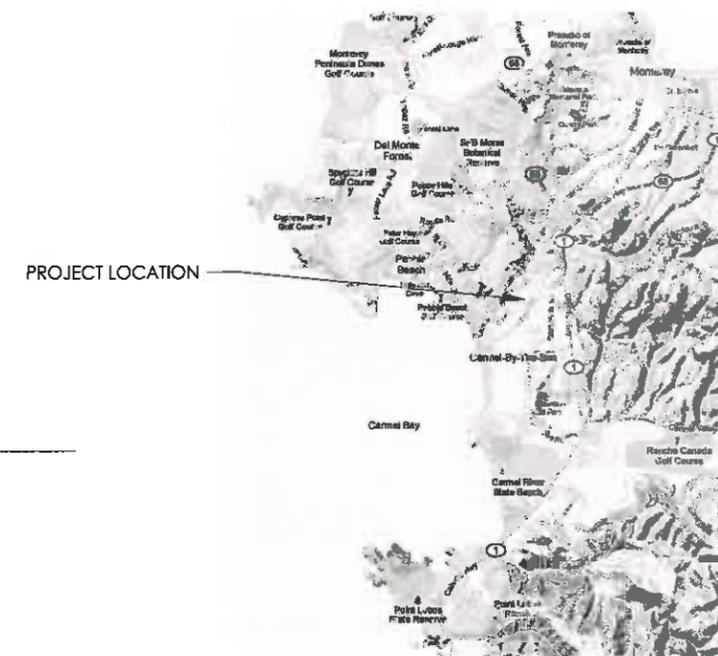
PROJECT DATA

PROPERTY ADDRESS: MISSION STREET 2 S/W ALTA
 CARMEL-BY-THE-SEA, CALIFORNIA 93921
 A.P.N. 010-115-021-000
 ZONING: R-1 SINGLE FAMILY RESIDENTIAL

OWNER: RICHARD AND ROSEANN BRESSLER
 CARMEL-BY-THE-SEA, CALIFORNIA

ARCHITECT: **ADAM JESELNICK ARCHITECT**
 3069 LORCA LANE
 CARMEL, CA 93923
 PHONE: (831) 620.5164 m
 CONTACT: ADAM JESELNICK AIA
 EMAIL: aejarch@gmail.com

CONTRACTOR: BELL MCBRIDE



1 VICINITY MAP
 SCALE: N.T.S.



BRESSLER RESIDENCE
 MISSION STREET 2 S/W ALTA
 CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROJECT DATA
 AND
 SITE LOCATION

9-10-2016

AS NOTED

A1

**CITY OF CARMEL-BY-THE-SEA
CONDITIONS of APPROVAL**

GENERAL NOTES

1. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE; CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
2. CONSTRUCTION DETAILS NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
3. ALL CONSTRUCTION (MATERIALS, WORKMANSHIP & METHODS) SHALL COMPLY WITH TITLE 24 AND THE **2013 CALIFORNIA RESIDENTIAL BUILDING CODE (CBC)**; CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE, FIRE CODE, AND CALGREEN; AND ALL LOCAL AMENDMENTS AS ADOPTED BY CITY ORDINANCE.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE, LOCAL AND O.S.H.A. SAFETY REGULATIONS.
5. DEMOLITION: CONFIRM ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE/SHE WISHES TO RETAIN FOR HIS/HER USE. ALL OTHER ITEMS TO BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. SEE DEMOLITION PLANS FOR ADDITIONAL INFORMATION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
7. DO NOT STORE CONSTRUCTION MATERIALS, OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.

SPECIFICATIONS

SPECIFICATIONS AS NOTED ON THE ARCHITECTURAL AND ENGINEERING PLANS.

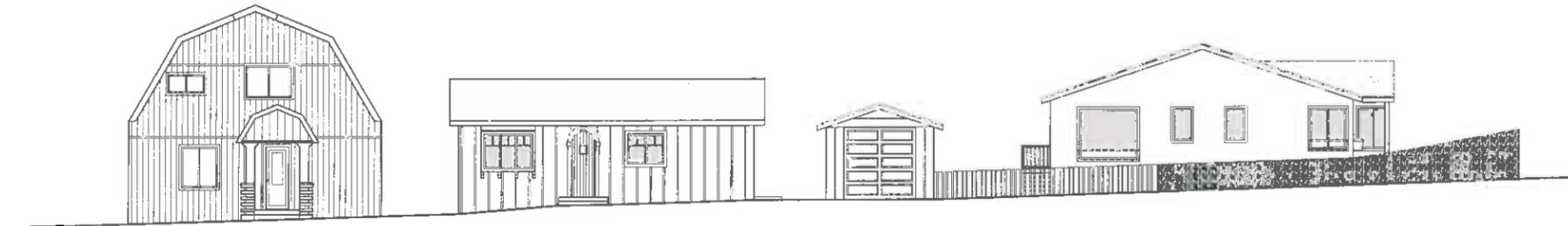
GRADING / DRAINAGE NOTES

GRADING: CUT OF UNDER 100 CUBIC YARDS PROPOSED. EXISTING DRAINAGE TO REMAIN.



EXISTING STREET ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED STREET ELEVATION

SCALE: 1/8" = 1'-0"



REVISION #  11/14/2016 PLANNING RE-SUBMITAL

ADAM JESELNICK ARCHITECT



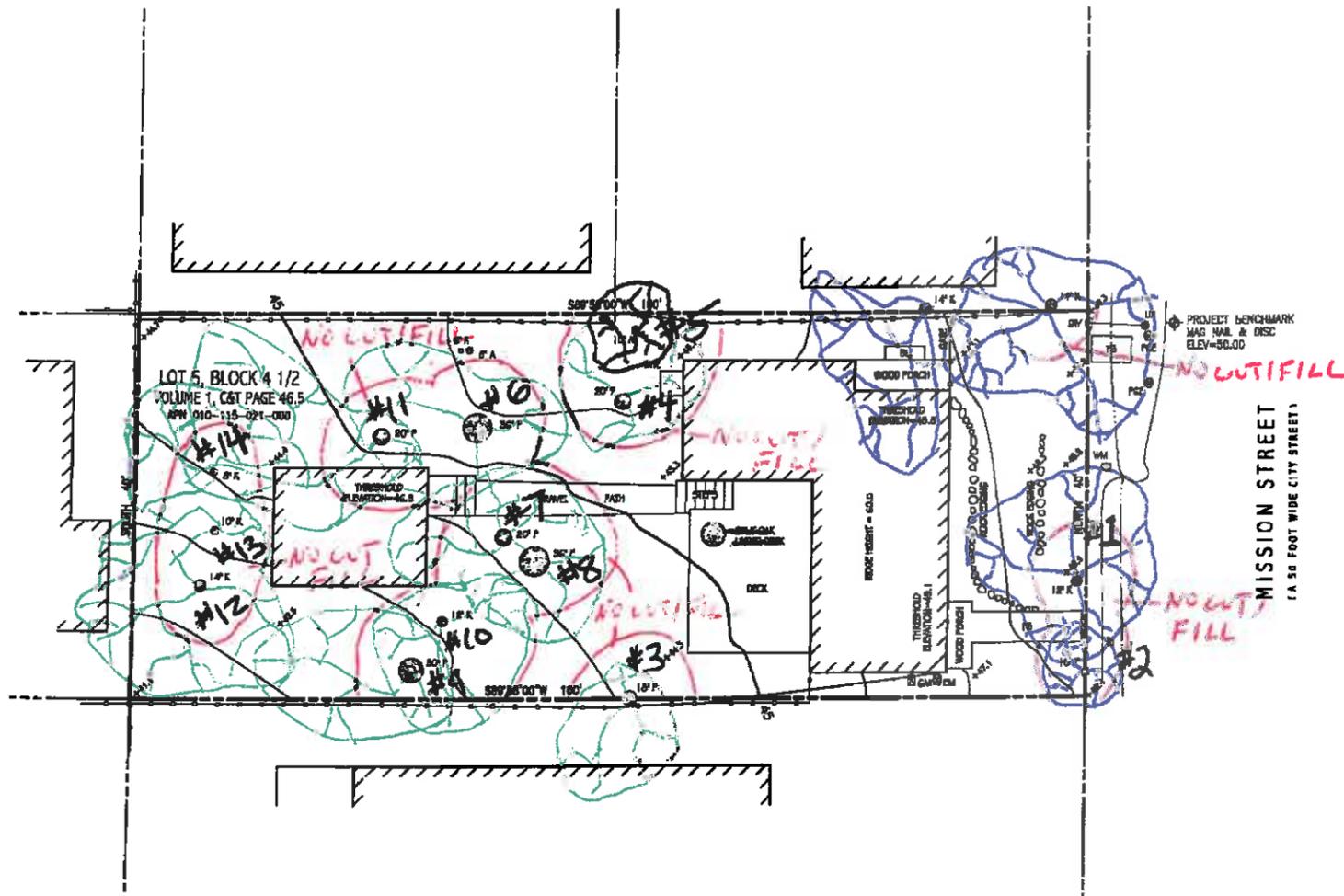
BRESSLER RESIDENCE
MISSION STREET 2 S/W ALTA
CARMEL-BY-THE-SEA, CALIFORNIA 93921

NOTES + SPECIFICATIONS

9-10-2016

AS NOTED

A2



- BENCHMARK:**
ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 56.00 HAS BEEN ASSIGNED TO A MAG NAIL & DISC SET IN THE PAVEMENT NEAR THE NORTHEASTLY CORNER OF THE SUBJECT PROPERTY AS SHOWN HEREON.
- NOTES:**
- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS, AND IS SHOWN APPROXIMATE ONLY - NOT FOR CONSTRUCTION. THIS IS NOT A BOUNDARY SURVEY.
 - ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
 - DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 - CONTOUR INTERVAL = ONE FOOT.
 - TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ALTIMETER PROVIDED BY OTHERS, IN AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 4" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
 - POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS, FENCES AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
 - NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE RIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
 - THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN FEBRUARY OF 2014.

TOPOGRAPHIC SITE SURVEY

OF
LOT 5, BLOCK 4 1/2

per
VOLUME 1, C&T PAGE 46.5

Records of Monterey County

PREPARED FOR
Richard Bressler

BY
LUCIDO SURVEYORS
Boundary and Construction Surveys · Topographic and Planimetric Mapping
ALTA Surveys and GIS Database Management · Land Planning and Consulting

2 Saucilla Avenue
DEL REY OAKS, CALIFORNIA 93940

Info@lucidosurveyors.com
(831) 620-8822

SCALE: 1"=8' PROJECT No. 1597 FEBRUARY 2016
CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA

1 ANNOTATED SITE SURVEY
SCALE: 1/8"=1'-0"



REVISION # 11/14/2016 PLANNING RE-SUBMITAL

ADAM JESELNICK
ARCHITECT



BRESSLER RESIDENCE
MISSION STREET 2 S/W ALTA
CARMEL-BY-THE-SEA, CALIFORNIA 93921

ANNOTATED
SITE SURVEY

9-10-2016

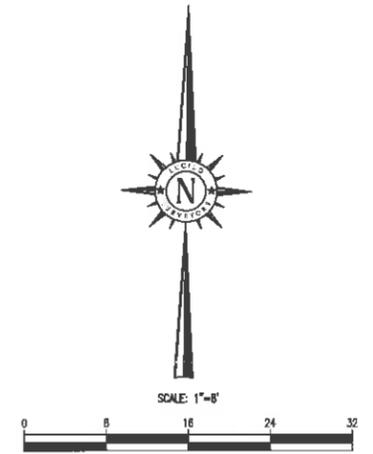
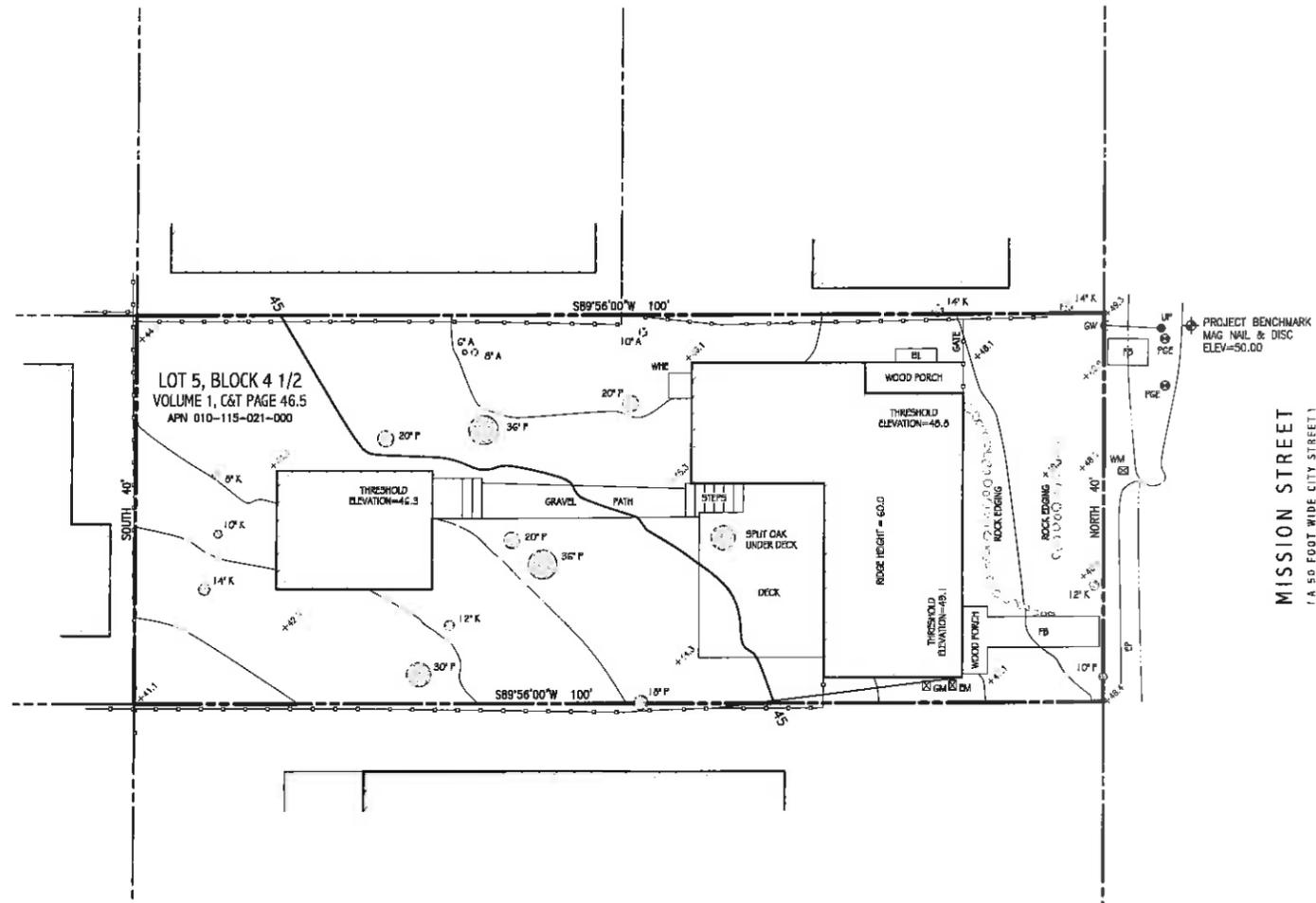
1/8" = 1'-0"

A-

LEGEND:

- RECORD BOUNDARY
- RECORD RIGHT OF WAY
- RECORD LOT LINE
- OLD RECORD LINE
- ◆ PROJECT BENCHMARK
- 50--- CONTOUR (MAJOR)
- CONTOUR (MINOR)
- EDGE OF PAVEMENT
- FLOWLINE
- BUILDING OUTLINE
- APPROXIMATE FLOOR ELEVATION
- DECK
- CONC PAD
- STEP
- WATER LINE
- ⊕ WV WATER VALVE
- ⊕ WM WATER METER
- ⊕ FH FIRE HYDRANT
- ⊕ HB HOSE BIB
- ⊕ WHE WATER HEATER ENCLOSURE
- SANITARY SEWER LINE
- SM SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN-OUT
- STORM DRAIN
- SDM STORM DRAIN MANHOLE
- AREA DRAIN
- STORM DRAIN CATCH BASIN
- ELECTRIC LINE
- ⊕ UP UTILITY POLE
- GUY WIRE
- ⊕ GM GAS METER
- ⊕ GM GAS METER
- TELEPHONE LINE
- ⊕ TS TELEPHONE STANDARD
- CABLE TELEVISION LINE
- ⊕ CTB CABLE TELEVISION BOX
- WOOD FENCE
- BL BRICK LANDING
- CS CARMEL STONE
- CONC CONCRETE SLAB
- DG DECOMPOSED GRANITE
- EX AGG EXPOSED AGGREGATE
- FB FOOT BRIDGE
- POC PORTLAND CEMENT CONCRETE
- PS PAVER STONE
- PVC POLY VINYL CHLORIDE
- RCF REINFORCED CONCRETE PIPE
- TE TRASH ENCLOSURE

- EDGE OF FOLIAGE
- ⊕ T TREE WITH SIZE AND TYPE
- A ACACIA
- C CYPRESS
- K OAK
- P PINE
- R REDWOOD
- T TREE
- SPOT ELEVATION



BENCHMARK:
 ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.00 HAS BEEN ASSIGNED TO A MAG NAIL & DISC SET IN THE PAVEMENT NEAR THE NORTHEASTLY CORNER OF THE SUBJECT PROPERTY AS SHOWN HEREON.

- NOTES:**
1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS, AND IS SHOWN APPROXIMATE ONLY - NOT FOR CONSTRUCTION. THIS IS NOT A BOUNDARY SURVEY.
 2. ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
 3. DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 4. CONTOUR INTERVAL = ONE FOOT.
 5. TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST PROVIDED BY OTHERS, PER AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 8" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
 6. POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS, FENCES AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS, IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
 7. NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONTRIBUTE TO THE GENERAL UTILITY CONDITIONS ARE SHOWN.
 8. THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN FEBRUARY OF 2016.

TOPOGRAPHIC SITE SURVEY
 OF
LOT 5, BLOCK 4 1/2
 per
VOLUME 1, C&T PAGE 46.5
 Records of Monterey County
 PREPARED FOR
Richard Bressler

BY
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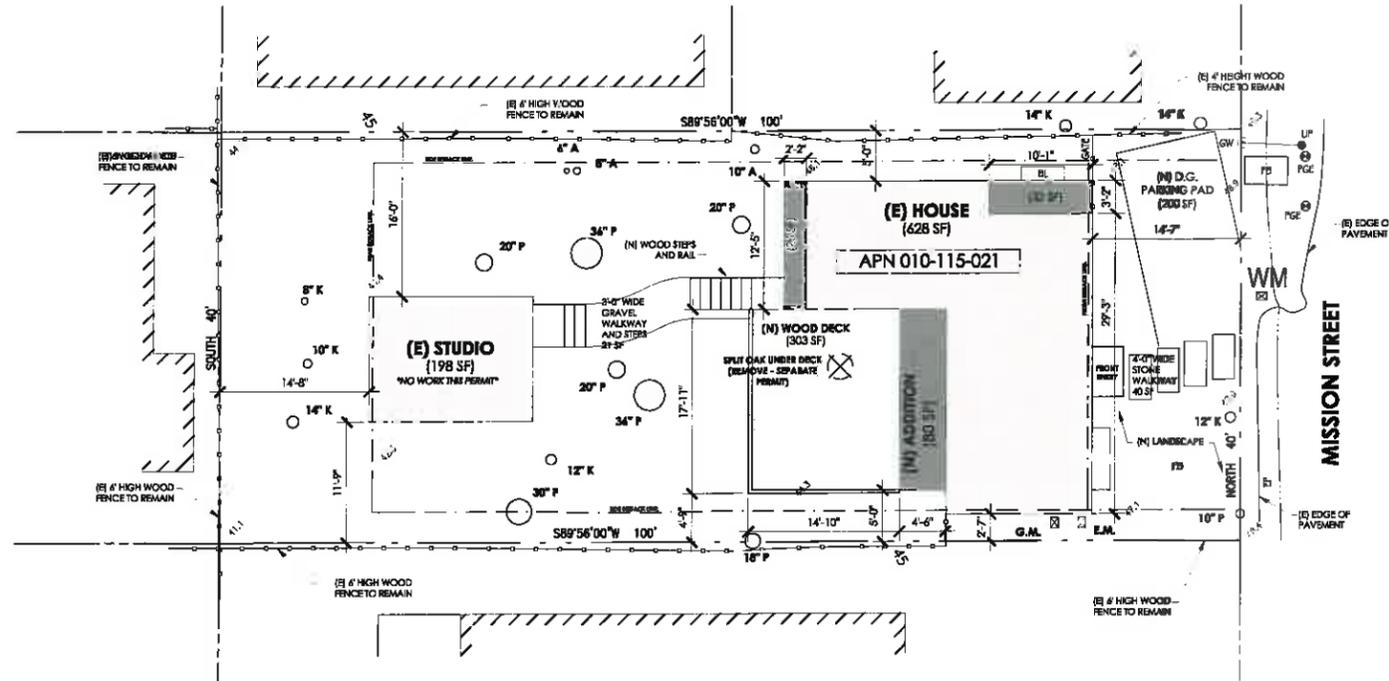
SCALE: 1"=8' PROJECT No. 1597 FEBRUARY 2016
 CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA

SITE PLAN NOTES:

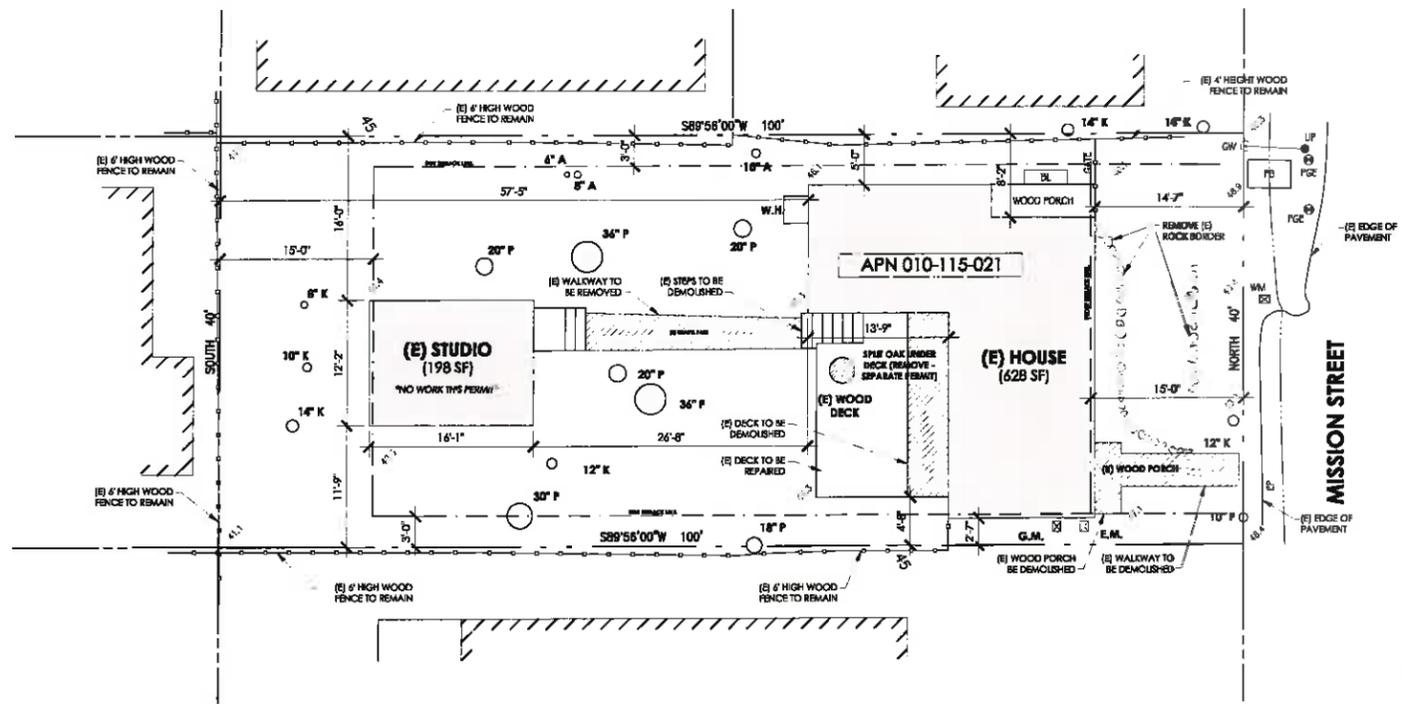
1. PROTECT EXISTING TREES / AS REQUIRED. TREE REMOVAL AS NOTED ON THE PROPOSED SITE PLAN.
2. NO CHANGE TO EXISTING SITE DRAINAGE.
3. COORDINATE UTILITIES WITH PG&E, CAWD, CAL-AM, UNDERGROUND EXISTING ELECTRICAL LINE.
4. DEMOLITION LIMITED TO AREAS NOTED ON PLAN.
5. PRIOR TO FINAL BUILDING INSPECTION, THE APPLICANT SHALL REMOVE ALL EXISTING GRAVEL, FENCING, AND BRICK POSTS LOCATED IN THE CITY R.O.W. AS INDICATED. THE EXISTING GRAVEL AND IMPROVEMENTS SHALL BE NOTED AS PROPOSED FOR REMOVAL ON THE LANDSCAPE PLANS SUBMITTED TO THE PLANNING COMMISSION FOR FINAL REVIEW.
6. TRASH ENCLOSURE TO BE REMOVED FROM THE FRONT YARD SETBACK AND SCREENED FROM THE PUBLIC STREET.

GRADING PLAN NOTES:

1. APPROX. 45 CUBIC YARDS OF SOIL (CUT) TO BE REMOVED FOR NEW CONCRETE FOUNDATIONS ONLY AT ADDITION. NO NET EXPORT.
2. NO CHANGES TO EXISTING SITE DRAINAGE.



2 PROPOSED SITE PLAN
SCALE: 1/8"=1'-0"



1 EXISTING / DEMOLITION SITE PLAN
SCALE: 1/8"=1'-0"

REVISION # 11/14/2016 PLANNING RE-SUBMITTAL

ADAM JESELNICK ARCHITECT



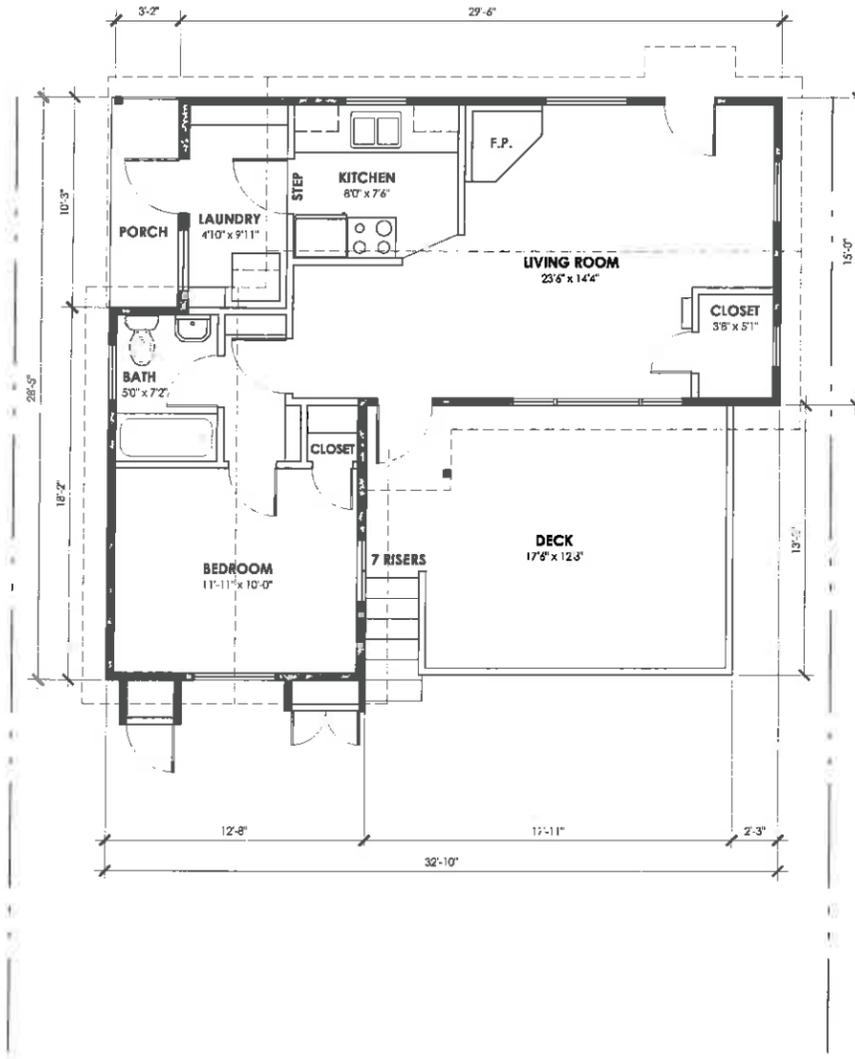
BRESSLER RESIDENCE
MISSION STREET 2 S/W ALTA
CARMEL-BY-THE-SEA, CALIFORNIA 93921

EXISTING + PROPOSED SITE PLAN

9-10-2016

1/8" = 1'-0"

A3



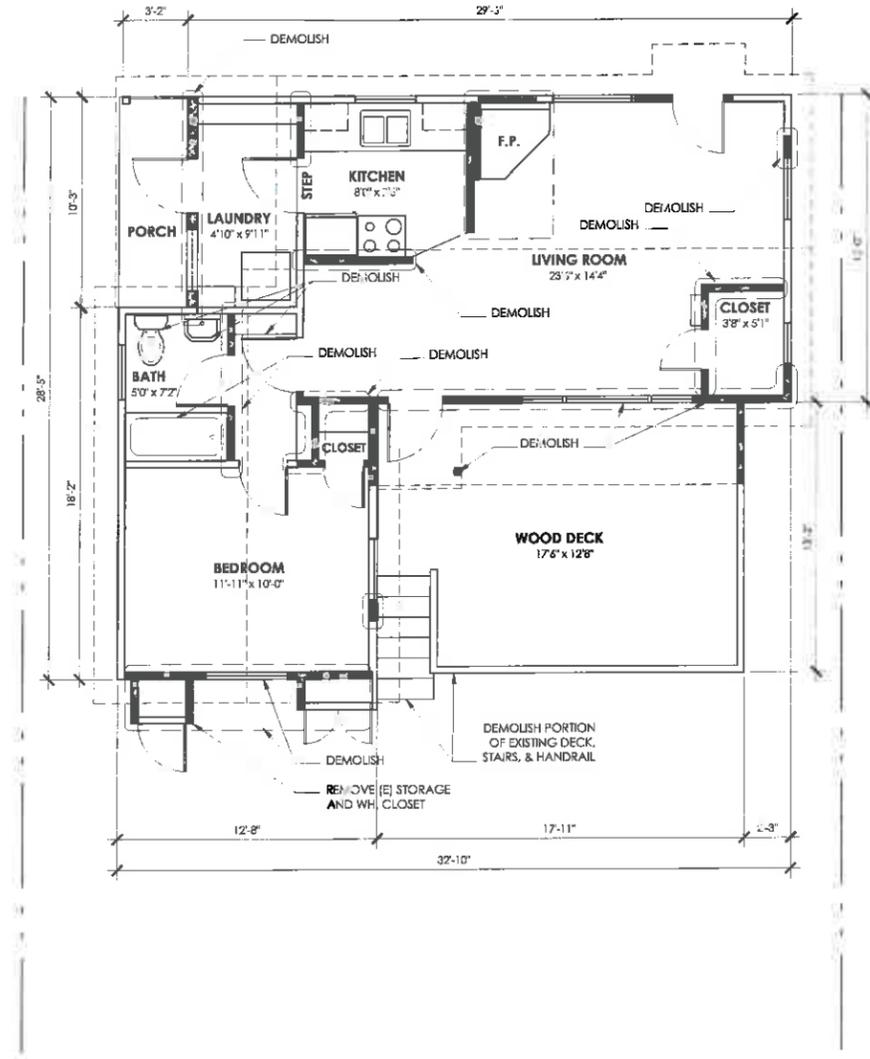
1 EXISTING FLOOR PLAN
SCALE: 1/4"=1'-0"



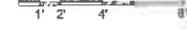
LEGEND - DEMOLITION PLAN

- EXISTING WALLS, TO REMAIN
- EXISTING WALLS, TO BE DEMOLISHED

TOTAL EXISTING LINEAR WALL DIMENSION = 122.5 LF
 EXISTING WALLS TO REMAIN = 62.0 LF
 EXISTING WALLS TO DEMOLISH = 60.5 LF
 (OR NON-CONFORMING)



2 DEMOLITION FLOOR PLAN
SCALE: 1/4"=1'-0"



EXISTING +
DEMOLITION
FLOOR PLAN

9-10-2016

1/4" = 1'-0"

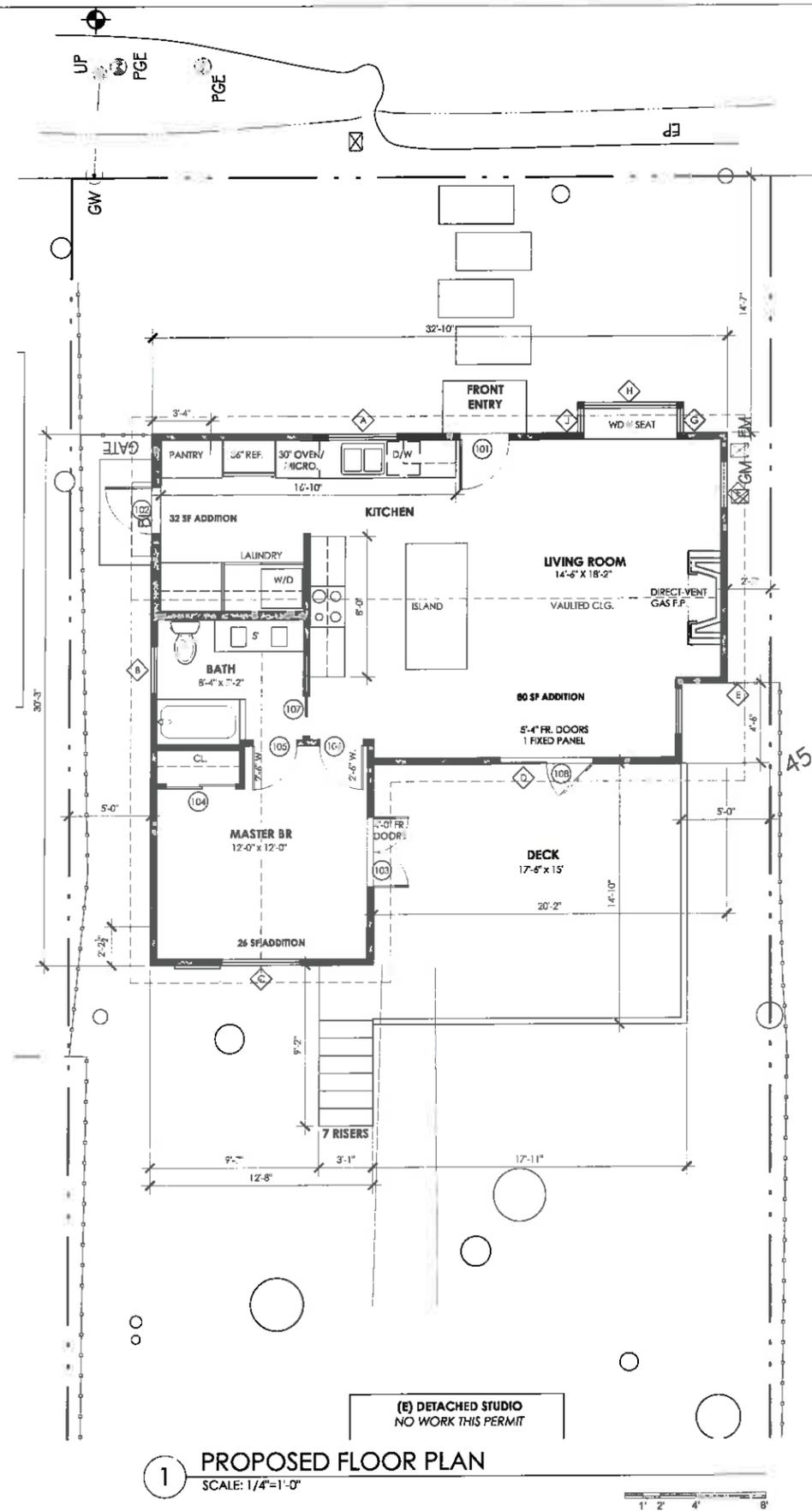
A4

WINDOW SCHEDULE					
REVISION	TYPE / NUMBER	SIZE [WIDTH x HEIGHT]	MATERIAL	TYPE	NUMBERED NOTES / REMARKS
		KITCHEN			
	A	4'-0" X 3'-4"	WOOD	DBL CSMT	DUAL GLAZED
		BATH			
	B	2'-8" X 2'-10"	WOOD	DBL CSMT	DUAL GLAZED
		MASTER BEDROOM			
	C	4'-6" X 3'-10"	WOOD	DBL CSMT	DUAL GLAZED
		LIVING ROOM			
	D	2'-8" X 6'-10"	WOOD	FIXED	DUAL GLAZED
	E	2'-8" X 3'-10"	WOOD	DBL CSMT	DUAL GLAZED
	F	2'-8" X 3'-10"	WOOD	DBL CSMT	DUAL GLAZED
	G	1'-5" X 3'-10"	WOOD	FIXED	DUAL GLAZED
	H	5'-4" X 3'-10"	WOOD	SLIDING	DUAL GLAZED
	J	1'-5" X 3'-10"	WOOD	FIXED	DUAL GLAZED
		NOTE: ALL NEW WINDOWS TO BE UNCLAD WOOD FACTORY FINISHED. UNLESS NOTED OTHERWISE, DUAL-GLAZED.			

3 WINDOW SCHEDULE

DOOR SCHEDULE						
		DOOR TYPE	THICKNESS	HAND	H.W. TYPE	
LOWER LEVEL						
101	2'-10" X 7'-6"	1.0000 00	2 1/4"	LHRB		INSWING NEW EXT. ENTRY DOOR
102	2'-8" X 7'-0"	4.0000 00	1-3/4"	RH		OUTSWING EXTERIOR DOOR
103	(2) 2'-0" X 6'-10"	2.0000 00	1-3/4"	RHA		OUTSWING EXTERIOR FRENCH DOOR
104	(2) 2'-0" X 6'-10"	8.0000 00	1-3/4"			SLIDING CLOSET DOOR
105	2'-6" X 6'-10"	5.0000 00	1-3/4"	LHRB		INSWING INTERIOR DOOR
106	2'-6" X 6'-10"	5.0000 00	1-3/4"	RHRB		INSWING INTERIOR DOOR
107	2'-4" X 6'-10"	10.000 000	1-3/4"			POCKET DOOR
108	2'-8" X 6'-10"	2.0000 00	1-3/4"	LH		OUTSWING EXTERIOR FRENCH DOOR
DOOR TYPE LEGEND			HARDWARE TYPE LEGEND			
TYPE 1	ENTRY DOOR, WOOD		TYPE 1: --			
TYPE 2	OUT-SWING ALUM. CLAD FRENCH DOORS, FULL LITE GLASS.		TYPE 2: --			
TYPE 3	DUTCH DOOR		TYPE 3: --			
TYPE 4	OUT-SWING ALUM. CLAD EXTERIOR DOOR.					
TYPE 5	TYPICAL INTERIOR DOOR, PAINT GRADE					
TYPE 6	OUT-SWING WOOD DOOR AT GARAGE					
TYPE 7	OVERHEAD GARAGE DOOR.					
TYPE 8	SLIDING BI-PASS DOORS					
TYPE 9	OUT-SWING WOOD DOOR FOR WATER HEATER WITH OPENINGS FOR VENTILLATION					
TYPE 10	POCKET WOOD DOOR					
ADDITIONAL NOTES:						

2 DOOR SCHEDULE



1 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

ADAM JESELNICK
ARCHITECT



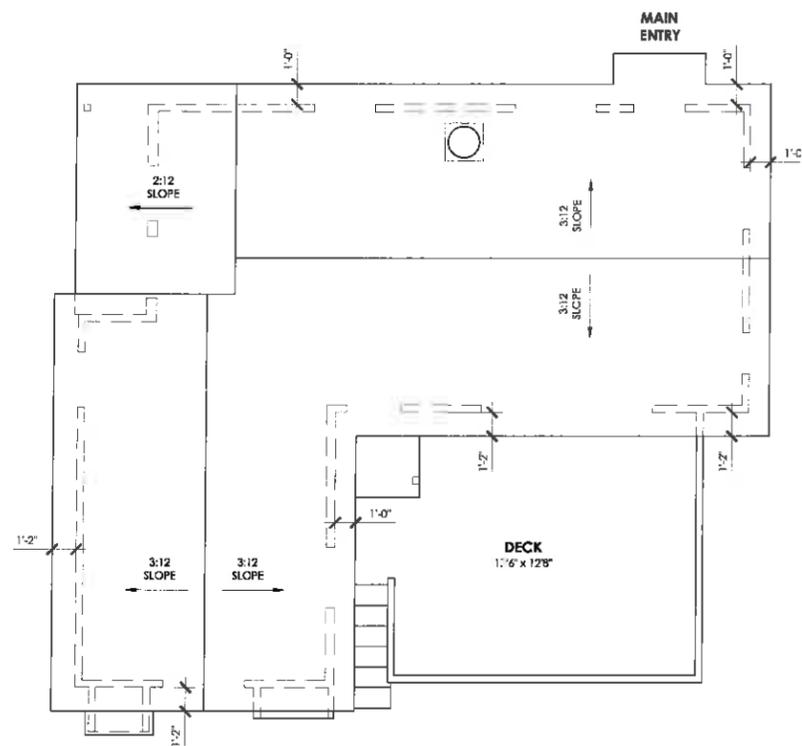
BRESSLER RESIDENCE
MISSION STREET 2 S/W ALTA
CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROPOSED
FLOOR PLAN

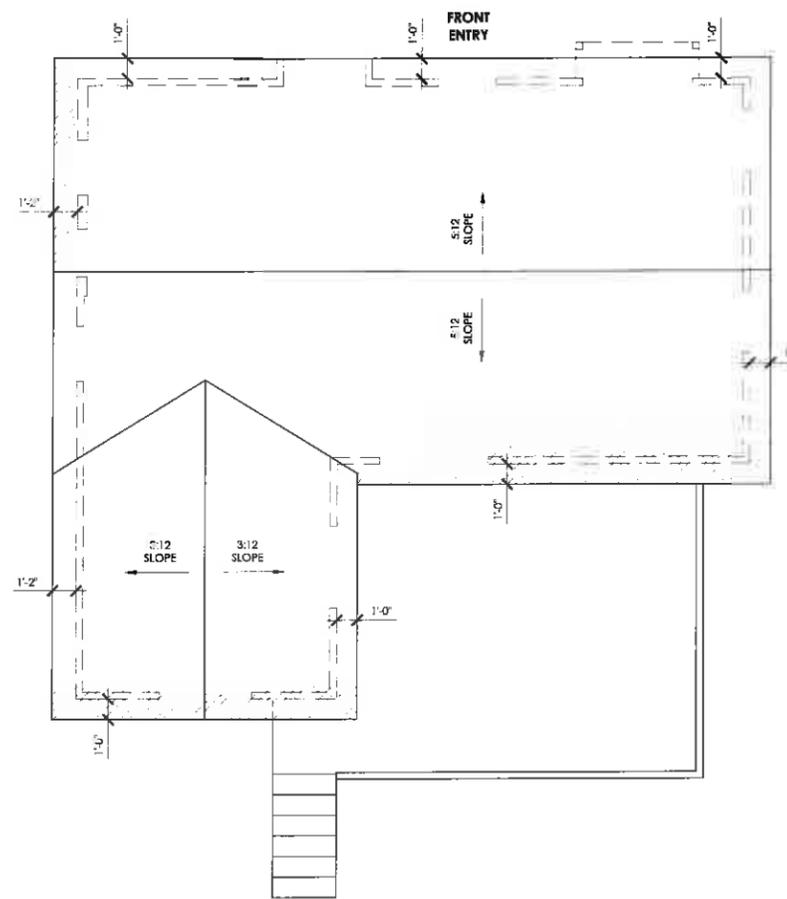
11-1-2016

1/4" = 1'-0"

A5



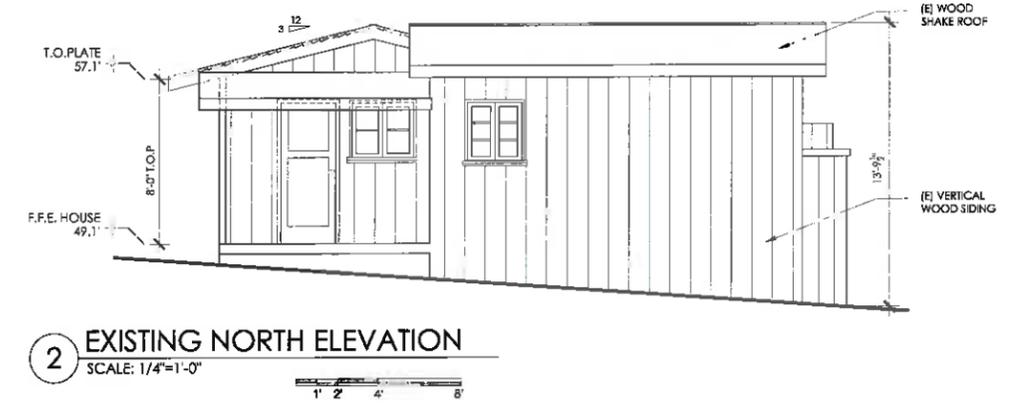
1 EXISTING ROOF PLAN
SCALE: 1/4"=1'-0"



2 PROPOSED ROOF PLAN
SCALE: 1/4"=1'-0"



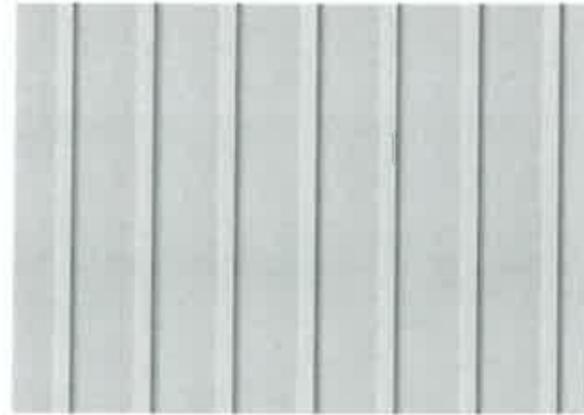
N





REDWOOD

EXTERIOR DECKING AND RAILINGS
 COLOR: NATURAL (WEATHERS TO GRAY)



VERTICAL WOOD BOARD-AND BATTEN SIDING

EXTERIOR WALL SURFACES
 COLOR: GRAY-BLUE



COMPOSITE ROOFING

SLOPED ROOF
 COLOR: TL. PRESIDENTIAL, CHESTNUT

REVISION #  11/14/2016 PLANNING RE-SUBMITTAL

ADAM JESELNICK
 ARCHITECT



BRESSLER RESIDENCE
 MISSION STREET 2 S/W ALTA
 CARMEL-BY-THE-SEA, CALIFORNIA 93921

EXTERIOR
 MATERIALS

9-10-2016

1/4" = 1'-0"

A9



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

December 14, 2016

To: Chair Goodhue and Planning Commissioners

From: Marc Wiener, AICP, Community Planning and Building Director

Subject: Consideration of recommendations to the City Council for an Ordinance amending Municipal Code Sections 17.14 and 17.68 to: 1) Require a conditional use permit for certain land uses, 2) Add new land use definitions, 3) Add use permit voting requirements, and 4) Add an allowance for authorization of temporary uses on private property.

Recommendation:

Adopt Resolution 2016-01 recommending that the City Council adopt an Ordinance amending Municipal Code Sections 17.14 and 17.68.

Background:

Over the past several months the Planning Commission has been considering making amendments to the City's Municipal Code that include: 1) the conversion of certain land uses from a permitted use to a conditional use, 2) adding a few new land use definitions, 3) adding use permit voting requirements, and 4) adding a section to the code that addresses temporary uses on private property. At the November 2016 meeting, the Planning Commission reviewed draft amendments to the Municipal Code and directed staff to return with minor revisions. Staff has made the revisions and is requesting that the Planning Commission adopt a resolution recommending that the City Council approve the proposed amendments.

Staff analysis:

The following is a brief overview of the code sections that were amended. The proposed amendments are consistent with the recommendations made by the Planning Commission at the November 9, 2016 meeting.

Conditional Uses and Definitions: Title 17.14 of the Municipal Code regulates land use in the commercial district. Certain uses are classified ‘Permitted’ (aka ‘use by right’) and others are classified as requiring a ‘Conditional Use Permit’. The review process and level of discretion by the City depends on the classification. The City is obligated to approve a permitted use through the business license process, so long as the business meets the zoning requirements and code definition of the use. The use is approved without a requirement to go before the Planning Commission and special conditions cannot be applied. The majority of businesses in Carmel, such as clothing stores, art galleries, offices, etc. are classified as a permitted use.

A permitted use is distinctively different from a conditional use. Pursuant to the City’s Municipal Code, conditional use permits are approved by the Planning Commission and the decision is discretionary. In order to approve a conditional use permit certain findings must be made and the approval is made with conditions. In Carmel, one of the standard findings necessary is that proposed use will not conflict with the City’s goal of achieving and maintaining a balanced mix of uses that serve the needs of both local and non-local populations. Land uses that are classified as a conditional use typically are unique in nature and require special review or have the potential to impact surrounding properties. The project is often conditioned to mitigate these potential impacts.

Due to potential neighborhood, traffic and community character impacts, the Planning Commission recommended that the Land Use Table (17.14.030) in the Zoning Code be amended to convert *liquor stores, community centers, and small conference facilities* from a permitted use to conditional. *Cosmetic stores* and *wine tasting shops* were also added to the Land Use Table and both require a conditional use permit. Definitions for these two uses were also added to the Commercial Use Classification (CMC 17.68.050) section of the Zoning Code. In addition to these amendments, the regulations for *Sporting Goods, Bicycles, Hobbies, Toys and Games* (CMC 17.14.040) were amended to recognize bicycle rentals as an activity and a conditional use permit is required.

Use Permit Voting Requirements: The use permit voting requirements are currently contained in the Planning Commission Rules of Procedure, which states that decisions on use permits require a minimum of four members for a quorum and four affirmative votes. In order to codify the voting requirements, the following draft language has been added to section 17.14.050 of the Municipal Code:

“When voting on a conditional use permit a quorum shall consist of four (4) members of the Planning Commission or City Council. The decision to grant a conditional use permit shall require an affirmative vote of a minimum of 3/4 of the membership present and voting.”

Consistent with the Planning Commission Rules of Procedure, this new code section requires that at least four members must be present for a decision on a use permit. However, this regulation differs from the current policy in that a supermajority vote is now required for approval rather than requiring four affirmative votes. For example, under the current policy if only four members are present, the vote would have to be unanimous to approve a use permit. Under the revised policy if four members are present, three affirmative votes would be sufficient for an approval. Staff notes that this new code section also addresses City Council voting requirements, which is currently not addressed by any City policy. The Planning Commission Rules of Procedure will need to be amended to be consistent with this code revision if adopted.

Temporary Use: The Community Planning and Building Department currently authorizes temporary uses on private property in accordance with CMC 9.16.030, which states:

“The Director of Community Planning and Building may authorize the playing of musical instruments with or without vocal accompaniment in conjunction with the sale or serving of alcohol during private (nonpublic) events and during temporary uses/special events open to the public, located on private property. All such events shall comply with CMC 17.14.050(G)(1), noise restrictions. The Director shall authorize no more than four public events per calendar year, per property.”

The above section of the code primarily pertains to events involving music in establishments that serve alcohol such as restaurants or bars. Nevertheless, the City has historically applied this section of the code to authorize a broad range of special events on private property such as art gallery shows/parties, wine tasting room social events, and larger events such as car or food shows in the Carmel Plaza.

During the Planning Commission review of the zoning code, it was recommended that a section be added to Title 17.14 of the Municipal Code that more clearly defines the permitting

requirements and allowances for temporary uses in the commercial district. Staff had added the following to section 17.14.050 of the Municipal Code:

The Director of Community Planning and Building may authorize temporary uses to occur on private property not exceeding five consecutive days. Temporary uses exceeding five consecutive days shall be referred to the Planning Commission for a decision. Decisions on temporary use permits may be referred to the Planning Commission when, in the opinion of the Director, the use may be objectionable to persons residing or working in the vicinity. The Director shall authorize no more than four temporary uses per calendar year, per property. A temporary use is defined as an activity or event on private property that is limited in duration and is not expressly permitted by the underlying business license or conditional use permit.

In staff's opinion, this new code section will adequately address request for events on private property. Nevertheless, the Planning Commission may recommend revisions if it has concerns with the proposed language.

Zoning Code/Local Coastal Program: The Land Use Element of the General Plan and Title 17 of the Municipal Code (aka 'Zoning Code') is included in the City Local Coastal Program (LCP) and any amendments to the code also constitute an amendment to the City's LCP. The proposed amendments are internally consistent with all other sections of the City's Zoning Code and General Plan, and hence are consistent with the City's LCP. The proposed amendments will allow the City to better regulate certain land uses in accordance with the following list of General Plan objectives and policies:

O1-3: Preserve the economic integrity of the community and maintain an economic philosophy toward commercial activity ensuring compatibility with the goals and objectives of the General Plan.

O1-4: Maintain a mix of commercial uses that are compatible with the character of Carmel as a residential village.

P1-71: Adopt appropriate ordinances that will regulate uses, including the intensity of land use, in a manner that is consistent with the character of Carmel, including the concept of planned commercial zoning through the permit procedure and specific criteria for such use permits

P1-6: Monitor the mix of permitted and conditional uses in the commercial and multifamily land use districts in order to maintain a transition of land use to the single-family residential district.

P1-16: Periodically review the mix of business uses in all commercial districts to assess the progress in achieving the land use objectives of the community and the success of policies and ordinances in achieving those objectives.

P1-21: Control and reduce where possible the number of business uses that are found to be out of proportion with a balanced mix of uses necessary to protect the residential character and economic objectives of the community.

Pursuant to Chapter 17.62.030 of the City's Municipal Code, proposed amendments to the Title 17 Zoning Code are required to be reviewed by the Planning Commission prior to going before the City Council. Attachment A is a Planning Commission Resolution, recommending that the City Council adopt an Ordinance amending Municipal Code Chapters 17.14 and 17.68 as identified in Attachment B.

Environmental Review: Categorical Exemption: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines Section 15305 (Class 5 – Minor Alterations to Land Use Limitations). This exemption applies to projects involving minor alterations to land use limitations, which do not result in changes in land use or density. The proposed Ordinance Amendment falls under a Class 5 categorical exemption because it involves minor amendments to the Zoning Code that include requiring a conditional use permit for certain land uses, adds a few new land use definitions, codifies the use permit voting requirements, and allows authorization for temporary events on private property. The proposed Zoning Code amendments do not significantly change the current land use regulations. The amendments also do not propose or require physical changes to any specific property that will negatively impact the environment.

ATTACHMENTS:

- Attachment A - Resolution No. 2016-01
- Attachment B – Draft Code Amendments (Chapter 17.14 and 17.68)

CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION RESOLUTION NO. 2016-01

A RESOLUTION RECOMMENDING THAT THE CITY COUNCIL ADOPT AN ORDINANCE AMENDING CHAPTERS 17.14 AND 17.68 OF THE MUNICIPAL CODE TO REQUIRE A CONDITIONAL USE PERMIT OF CERTAIN LAND USES, ADD NEW LAND USE DEFINITIONS, ADD USE PERMIT VOTING REQUIREMENTS AND ADD AN ALLOWANCE FOR AUTHORIZATION OF TEMPORARY USES ON PRIVATE PROPERTY.

WHEREAS, The City of Carmel-by-the-Sea is a unique community that prides itself in its community character; and

WHEREAS, the City has adopted a General Plan and Municipal Code that strive to protect the village character through clear policies and regulations; and

WHEREAS, the proposed code amendments are consistent with the General Plan and internally consistent with other sections of the Municipal Code; and

WHEREAS, the proposed code amendments are consistent with General Plan Policy P1-16 which states to periodically review the mix of business uses in all commercial districts to assess the progress in achieving the land use objectives of the community and the success of policies and ordinances in achieving those objectives; and

WHEREAS, the proposed code amendments are designed to ensure that commercial uses are compatible with the character of the downtown and to encourage a mix of uses; and

WHEREAS, the proposed amendments will preserve the economic integrity of the community and maintain an economic philosophy toward commercial activity ensuring compatibility with the goals and objectives of the General Plan; and

WHEREAS, the City's Zoning Ordinance is also its Local Coastal Program; and

WHEREAS, the City certifies that the amendments are intended to be carried out in a manner fully in conformance with the Coastal Act; and

WHEREAS, this ordinance is an amendment to titles 17.14 and 17.68 of the City's Zoning Ordinance/Local Coastal Implementation Plan and requires certification by the California Coastal Commission; and

WHEREAS, the Planning Commission held a duly noticed public hearing on December 14, 2016 at which time it considered all evidence presented, both written and oral and at the end of the hearing voted to adopt a resolution recommending that the City Council adopt this Ordinance; and

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA AS FOLLOWS:

Section 1. **Recitals.** The Planning Commission hereby finds that the foregoing recitals are true and correct.

Section 2. **CEQA Findings.** Categorical Exemption: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines Section 15305 (Class 5 – Minor Alterations to Land Use Limitations). This exemption applies to projects involving minor alterations to land use limitations, which do not result in changes in land use or density. The proposed Ordinance Amendment falls under a Class 5 categorical exemption because it involves minor amendments to the Zoning Code that include requiring a conditional use permit for certain land uses, adds a few new land use definitions, codifies the use permit voting requirements, and allows authorization for temporary events on private property. The proposed Zoning Code amendments do not significantly change the current land use regulations. The amendments also do not propose or require physical changes to any specific property that will negatively impact the environment.

Section 3. **Planning Commission Review and Recommendation.** Pursuant to Zoning Code Chapter 17.62, the Planning Commission has reviewed the proposed Zoning Code amendments set forth in Attachment B. The Planning Commission hereby recommends their adoption by the City Council.

PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA this 14th day of December 2016 by the following roll call vote:

AYES:
NOES:
ABSENT:

ATTEST:

Cortina Whitmore, Admin. Coordinator

SIGNED:

Don Goodhue, Planning Commission Chair

17.14.030 Land Use Regulations.

Schedule II-B: Commercial Districts – Use Regulations				
P = Permitted Use L = Limitations Apply C = Conditional Use Permit Required	Commercial Districts			Additional Regulations
	CC	SC	RC	
Retail				
Animal Sales and Services				
Animal Grooming	P	P	P	See CMC 17.14.040(C)
Animal Hospitals	–	C	–	See CMC 17.14.040(C)
Kennels	–	C	C	See CMC 17.14.040(C)
Automobile Sales and Services				See CMC 17.14.040(D)
Motorcycles, Mopeds and Parts	P	P	–	
Vehicle Repair	–	C	C	
Vehicle Service and Gasoline	–	C	C	See CMC 17.14.040(D)
Building Materials, Hardware and Garden Supplies	P	P	C	See CMC 17.14.040(G)
Eating and Drinking Establishments				See Chapter 17.56 CMC
Drinking Places	C	C	–	See CMC 17.14.040(I)
Restaurant, Full Line	C	C	–	See CMC 17.14.040(I)
Restaurant, Specialty	C	–	–	See CMC 17.14.040(I)
Food and Beverage Sales				See Chapter 17.56 CMC
Convenience Market	–	L-2	L-2	See CMC 17.14.040 (D)(2) and (J)(2)
Food Store – Full Line	C	C	C	See CMC 17.14.040(J)
Food Store – Specialty	C	C	–	See CMC 17.14.040(J)
Liquor	P C	P C	C	See CMC 17.14.040(J)
<u>Wine Tasting Shop</u>	<u>C</u>	<u>C</u>	<u>=</u>	

Retail Sales	P	P	–	See Chapter 17.16 CMC; See CMC 17.14.040(T)
Antique Shops	P	–	–	See CMC 17.14.040(T)
Art Galleries	P	–	–	See CMC 17.14.040(T)
Arts and Crafts	P	–	–	See CMC 17.14.040(T)
Jewelry Shops	P	–	–	See CMC 17.14.040(T)
<u>Cosmetic Stores</u>	<u>C</u>	<u>C</u>	<u>=</u>	
Sales by Public Outcry (Auction)	–	C	C	See CMC 17.14.040(U)
Specialty, Theme	P	P	–	See CMC 17.14.040(T)
Stationery	P	P	P	See CMC 17.14.040(T)
Thrift Shops	P	P	–	See CMC 17.14.040(T)
Vending Machines	C	C	C	See CMC 17.14.040(T)
Service/Office				
Banks and Other Financial Institutions	P	P	P	See CMC 17.14.040(F)
Automatic Teller Machines (ATM)	C	C	C	See CMC 17.14.040(E)
Business Services	P	P	L-1	
Commercial Recreation	P	–	–	See CMC 17.14.040(H)
Community Care Facility	P	P	P	
Computer Services	P	P	P	
Day Care Centers	–	C	C	
Emergency Medical Care	P	P	P	
Government Offices	P	P	P	
Hotels and Motels	C	C	C	See Chapter 17.56 CMC, Restricted Commercial Uses, and CMC 17.14.040(M)
Hospitals and Clinics				

Hospitals		C	–	See CMC 17.14.040(L)
Clinics	P	P	P	See CMC 17.14.040(L)
Hospice Care, Limited	P	P	P	
Maintenance and Repair Services	L-3	L-3	L-3	
Office				
Business and Professional	P	P	P	
Medical and Dental	P	P	P	
Other	P	P	L-4	See CMC 17.14.040(O)
Parking Facilities, Commercial	–	C	C	See CMC 17.14.040(P) and Chapter 17.64 CMC, Findings Required for Permits and Approvals
Personal Improvement Services	C	C	–	See CMC 17.14.040(Q)
Personal Services	P	P	P	
Laundry and Dry Cleaning	C	C	C	See CMC 17.14.040(R)
Video Tape Rental	P	P	–	See CMC 17.14.040(R)
Research and Development Testing Services	P	P	P	See CMC 17.14.040(S)
Residential Care Facilities				
General	–	C	C	
Limited	–	P	P	
Senior	–	C	C	
Travel Services	P	P	P	See CMC 17.14.040(V)
Residential/Public and Semipublic				
Colleges and Trade Schools	P	P	P	
Community Centers	<u>P</u> <u>C</u>	<u>P</u> <u>C</u>	<u>P</u> <u>C</u>	
Conference Facilities, Small	<u>P</u> <u>C</u>	<u>P</u> <u>C</u>	<u>P</u> <u>C</u>	

Community Social Service Facility	P	P	P	
Family Day Care				See CMC 17.08.050(B)
Small Family	–	–	P	
Large Family	–	C	C	
Libraries, Public	P	P	P	
Multifamily Dwellings				See CMC 17.14.040(N)
<p>Specific Limitations and Conditions:</p> <p>L-1: Limited to advertising, consumer credit reporting, secretarial court reporting, equipment maintenance and repair, personnel supply services, and nonretail computer services and repair.</p> <p>L-2: Allowed only as accessory use to gasoline stations and limited to a maximum of 300 square feet. No sales of alcohol are permitted. See CMC 17.14.040(D)(2) and (J)(2).</p> <p>L-3: Any establishments with activities generating noise, odors, deliveries by large vehicles, high traffic by customers, or requiring large storage needs are not permitted.</p> <p>L-4: Limited to offices for the following categories: operators of nonresidential buildings, apartment buildings, dwellings, real estate agents and managers, and title companies.</p> <p>L-5: Limited to sites that are already developed with a single-family dwelling, or that were originally developed as, or used as, a single-family dwelling but have since been converted to another use. Existing single-family dwellings can be maintained, altered, repaired and/or redeveloped. R-1 district floor area ratio standards shall apply to these sites.</p>				

17.14.040 Additional Use Regulations.

J. Food and Beverage Sales.

1. All Food and Beverage Sales.

- a. Adequate facilities shall be provided on the site for the closed storage of trash and garbage generated by the use. The on-site storage shall be designed so that the area can be cleaned and the refuse removed without creating a public nuisance and without being placed on the sidewalks or other public ways.

b. Cooking equipment shall be limited to indoor stoves and ovens.

2. Food Store, Full Line.

a. The use may be combined with liquor stores in the CC and SC districts upon meeting the requirements in subsection (J)(4) of this section, Liquor.

b. A delicatessen providing a broad range of bulk specialty items primarily for home or workplace consumption such as breads, cheeses, meats, prepared salads, dried goods, and limited take-out food such as sandwiches and salads may be allowed as an incidental use. Cooking equipment shall be limited to indoor stores and ovens.

c. No seating shall be provided indoors or outdoors on the site.

d. Maximum number of food stores and/or restaurants located within structures fronting on Ocean Avenue: 15. See also Chapter [17.56](#) CMC, Restricted Commercial Uses.

e. See also subsection (J)(1) of this section, All Food and Beverage Sales.

3. Food Store, Specialty.

a. No specialty food store shall be permitted that is classified as a drive-in, fast food or formula food establishment as defined in this code.

b. All food sold for consumption off the premises shall be placed in covered containers or wrappings.

c. The use may be combined with liquor stores and beer in the CC and SC districts upon meeting the requirements of subsection (J)(4) of this section, Liquor.

d. Maximum number of food stores and/or restaurants within structures fronting on Ocean Avenue: 15. See also Chapter [17.56](#) CMC, Restricted Commercial Uses.

e. See also subsection (J)(1) of this section, All Food and Beverage Sales.

4. Liquor.

- a. All food merchandise sold must be pre-packaged items only and not occupy more than 10 percent of the retail or window display area.
- b. Minimum distance from another use selling distilled spirits intended for either on-site or off-site consumption: 200 feet.
- c. Minimum distance from an R-1 district: 100 feet.
- d. In the RC district, liquor sales are limited to off sale beer and wine and only as an accessory use in a full-line food store.
- e. See also subsection (J)(1) of this section, All Food and Beverage Sales.

5. Wine Tasting Shop

- a. Shall meet the standards of the City's adopted Wine Tasting Room Policy.
- b. Minimum distance from another use selling distilled spirits intended for either on-site or off-site consumption: 200 feet.
- c. Minimum distance from an R-1 district: 100 feet.
- d. Permitted in the CC and SC districts with the issuance of a conditional use permit.

T. Retail Sales. No discount stores, manufacturers' outlet stores, catalog stores, or stores devoting more than 15 percent to the sale of second-quality, irregular or discontinued merchandise or to the liquidation of merchants' or manufacturers' stock shall be established. All retail sales shall be conducted from within a fixed place of business.

14. Sporting Goods, Bicycles, Hobbies, Toys and Games.

- a. All merchandise must be contained within an enclosed building.
- b. These uses may be combined with each other, apparel stores and with sales of motorcycles, mopeds.

c. Uses that include motorized bicycles, mopeds or motorcycles are not allowed in buildings fronting on Ocean Avenue or within 300 feet of an R-1 district.

d. Uses that include bicycle rentals require the issuance of a conditional use permit.

15. Stationery Stores. In the RC district, stationery stores are limited to uses providing a full range of paper products, office forms, office supplies, stationery, pens, pencils and writing supplies.

16. Used Merchandise.

a. The used merchandise must be sold for nonprofit purposes or as used books in a bookstore.

b. Used merchandise cannot include automotive supplies and equipment, and building materials.

c. Antiques, jewelry or art cannot occupy more than 10 percent of the total display area for used merchandise, including window displays.

17. Vending Machines.

a. Only machines not visible from any public right-of-way and fully contained within an enclosed structure are allowed.

b. Maximum number of machines within a place of business: two.

18. Cosmetic Stores.

a. All merchandise must be contained within an enclosed building.

b. Permitted in the CC and SC districts with the issuance of a conditional use permit.

17.14.050 Regulations Applied in All Commercial Districts.

A. No existing residential dwelling unit shall be converted or demolished unless replacement housing is provided in accordance with findings established in CMC [17.64.070](#), Demolition and Conversion of Residential Structures.

B. Any change in use that modifies the findings and conditions upon which a use permit was granted shall be a basis for revocation of, or amendment to, the use permit.

C. When voting on a conditional use permit a quorum shall consist of four (4) members of the Planning Commission or City Council. The decision to grant a conditional use permit shall require an affirmative vote of a minimum of 3/4 of the membership present and voting.

~~D.~~ Conditionally permitted uses operating without a use permit that existed prior to the adoption of this code, and conditionally permitted uses operating with a use permit approved under standards or findings that have been amended since the permit was granted, shall be reviewed at the time the use changes ownership. The form and purpose of this review shall be limited to:

1. Granting a new use permit at a public hearing when the use is determined to meet all current standards for approval; or
2. When the Director determines that a conforming use permit cannot be approved, this process shall be limited to an administrative review and documentation to establish the characteristics of the use, including those listed below, as a matter of public record, to ensure that the use is not altered through the passage of time and successive ownerships. The following shall be documented:
 - a. Define the use by its NAICS including any subclassifications or special characteristics;
 - b. Define the size, capacity, hours of operation, and floor area of the use;
 - c. Identify all nonconformities associated with the use and the structure within which it is located;
 - d. Identify the characteristics of the use including but not limited to its compliance with general development regulations in CMC [17.14.040](#)(A) and (B);
 - e. Identify any standards, required findings and/or standard or special conditions of approval, applicable to the use, to which the use conforms.

~~E.~~ Any construction resulting in a net increase in the amount of commercial floor area shall require a conditional use permit and coastal development permit authorizing such increase. Prior to authorizing such increase, the Planning Commission shall make all findings listed in CMC [17.64.100](#), Increase in Commercial

Floor Area, Commercial Spaces or Business. The decision-making body may approve plans submitted or may approve such plans subject to specified changes or conditions.

ÆF. Except as provided for legally established motel units in CMC [17.14.040](#)(M), Hotels and Motels, all newly constructed second story floor area, including area in new buildings, remodeled buildings and replacement, rebuilt or reconstructed buildings, shall be occupied by residential dwellings only and shall not be used for any commercial land use, except as follows:

1. Existing floor area established at any level above the first story at or near street grade may continue to be used for occupancy by commercial land uses except for those limited to the first story by CMC [17.12.030](#), Demolition and Rebuilding of Structures.
2. When such existing commercial space is currently occupied by a retail use, the use may be replaced by another retail use, service use or residential use allowed within the underlying land use district.
3. When such existing space is occupied by a service use, only service or residential uses shall be allowed as a replacement use.

ÆG. No existing residential dwelling unit occupying floor space at any level above the first story in any structure shall be converted to any commercial use.

ÆH. For uses in the RC land use district or located on any property within 300 feet of an R-1 land use district the following standards shall apply:

1. No activity shall be permitted that generates noise in excess of 55 dB at the exterior of the building or yard in which the use is conducted. No activity shall be permitted that causes in excess of 50 dB measured at the property line of any site in the vicinity of the use. Proposed activities that would generate or cause noise in excess of these levels shall require mitigation to achieve these standards or shall be prohibited. Sound measurements shall be made using a sound level meter calibrated for the A-weighted scale and shall be averaged over a 15-minute period. If the use generates or causes noise which includes a steady whine, screech or hum, or is repetitive or percussive or contains music or speech the respective noise standards shall be reduced by five decibels.

2. Any activity requiring deliveries by vehicles wider than eight feet or vehicles of three axles or more shall provide off-street loading facilities adequate to avoid double parking on street. Such facilities shall be used to the extent feasible.

3. Proposed commercial uses that are estimated to generate more than 40 vehicle trips per day per 1,000 square feet of floor space, including but not limited to all retail uses, shall be prohibited from operating before 8:00 a.m. or after 8:00 p.m. All other commercial uses shall be prohibited from operating before 6:00 a.m. or after 9:00 p.m. (Ord. 2004-02 § 1, 2004; Ord. 2004-01 § 1, 2004).

I. The Director of Community Planning and Building may authorize temporary uses to occur on private property not exceeding five consecutive days. Temporary uses exceeding five consecutive days shall be referred to the Planning Commission for a decision. Decisions on temporary use permits may be referred to the Planning Commission when, in the opinion of the Director, the use may be objectionable to persons residing or working in the vicinity. The Director shall authorize no more than four temporary uses per calendar year, per property. A temporary use is defined as an activity or event on private property that is limited in duration and is not expressly permitted by the underlying business license or conditional use permit.

17.68.050 Commercial Use Classifications.

Food and Beverage Sales. Retail sales of food and beverages primarily for off-site consumption. Typical uses include markets, groceries, liquor stores, and retail bakeries.

Convenience Market. Retail establishments that sell a limited line of groceries, prepackaged food items, tobacco, periodicals, and other household goods. This classification does not include delicatessens or specialty food shops.

Food Store-Full Line. Retail food markets, with no seating on-site, providing a full range of food and grocery items including meats, poultry, produce, dairy products, and canned and dried goods for home preparation. These markets may have specialty food sales as an incidental use, such as bakeries and delicatessens.

Food Store-Specialty. Retail food markets, with no seating on the site, that provide a specialized and limited range of food items sold primarily for home preparation and consumption. Examples include such uses as:

- Bakeries;

- Candy, nuts and confectionery stores;
- Meat or produce markets;
- Vitamins and health food stores;
- Cheese stores and delicatessens.

Liquor. Establishments primarily engaged in selling packaged alcoholic beverages such as ale, beer, wine and liquor.

Wine Tasting Shop. Establishments primarily engaged in the retail sale of wine for off-site consumption and as an ancillary use includes the service of wine for on-site consumption.

Retail Sales. The retail sale of merchandise not specifically listed under another use classification. This classification includes bookstores, camera shops, clock shops, clothing stores, drugstores, florist shops, hobby, toys and game shops, furniture stores, luggage stores, musical instrument stores, newsstands, optical goods stores, shoe stores, souvenir stores, sporting goods stores, stationary stores, and tobacco, pipes, cigarettes, and smokers' supplies.

Antique Shops. Establishments selling collectible merchandise that is old or rare.

Art Galleries. Establishments primarily engaged in selling and displaying original and limited edition art works including paintings, graphic arts, photography, and sculpture.

Arts and Crafts. Establishments selling handcrafted merchandise for home decoration or furnishings within one or more of the following categories: pottery, glass, fabric, paper, wood, fiber or ceramics. Goods sold at these stores are unique, artisan-produced items rather than machine or mass-produced goods.

Jewelry Shops. Retail stores selling a combination of jewelry items, predominantly handcrafted, including diamonds and other precious stones mounted in precious metals, such as rings, bracelets, brooches, sterling and plated silverware, and watches.

Specialty or Theme. A retail store selling a specialized line of merchandise not otherwise defined including art and architecture supplies, candles, coins and stamps, gems, rocks and stones, telescopes, and binoculars. A

theme store may combine merchandise lines from several classifications with all merchandise organized around a central concept or idea.

Thrift Shops. Nonprofit organizations selling used goods normally consisting of household discards. This classification does not include such specialty stores as used bookstores, antique stores, jewelry stores, or stamp and coin collection shops.

Vending Machines. Coin, token, currency, or magnetic card-operated machines selling a variety of goods including candy, snacks, sodas, toys, and trinkets.

Cosmetic Shops. A retail store as a primary use selling cosmetics, perfumes, skin-care products, toiletries, and personal grooming products.



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

December 14, 2016

To: Chair Goodhue and Planning Commissioners

From: Marc Wiener, AICP, Community Planning and Building Director

Subject: Consideration of recommendations to the City Council for an Ordinance amending Municipal Code Sections 17.14, 17.56 and 17.68 to amend the restaurant and food store regulations.

Recommendation:

Adopt Resolution 2016-02 recommending that the City Council adopt an Ordinance amending Municipal Code Sections 17.14, 17.56 and 17.68 to amend the restaurant and food-store regulations.

Background:

In September 2013, the Planning Commission approved an expansion of Carmel Belle restaurant, but with a condition that the business modify its operation to come into compliance with the City's Municipal Code requirements. Carmel Belle is an existing counter-service restaurant that does not comply with the City's definition of a full line restaurant, in that it has limited table service and customers pay for their food at a counter prior to eating as opposed to after.

On November 5, 2013, the City Council considered an appeal of the condition requiring the business to modify its operation to come into compliance. Because the existing restaurant had circulation issues, the City Council granted a reasonable accommodation, allowing a two-year waiver from the special condition requiring that the business modify its operation to require payment after the meal is consumed. The reasonable accommodation was extended by the Council for an additional two years and expires in November 2017.

At the November 2013 meeting, the City Council directed staff to study the Municipal Code restaurant definitions and consider potential amendments. In its deliberation, the Council interpreted that the prohibition on counter service was likely intended to promote a high quality dining experience, but that this may not be the optimal way of ensuring compliance with this objective. The Council directed staff to study the restaurant definitions and consider possible amendments that would allow a counter-service restaurant, while maintaining the quality of dining and protecting the character of the City.

On October 20, 2015, the Planning Commission appointed a Planning Commission subcommittee to study the restaurant regulations and draft potential amendments. The subcommittee was later expanded to include an advisory panel that consisted of several local restaurant owners and one member of the Carmel Residents Association. Over the past several months the subcommittee has met on numerous occasions to study the issue. In addition, two public workshops were held in January and November 2016. In order to permit counter-service restaurants, the subcommittee is proposing to amend the Zoning Code to add a new category of restaurant referred to as a *counter-service restaurant*. The Zoning Code amendments include new regulations for counter-service restaurants and there is also a separate set of Counter-Service Restaurant Guidelines (aka ‘Restaurant Guidelines’) that were developed by the subcommittee. In addition to working on counter-service restaurants, the subcommittee also drafted some minor ‘clean-up’ amendments to restaurant code and food store code. Staff is requesting that the Planning Commission adopt a resolution recommending that the City Council approve the proposed restaurant and food-store code amendments.

Staff Analysis:

Restaurant Classifications: The City currently has two restaurant classifications which are *full-line restaurants* and *specialty restaurants*. Full-line restaurants contain a full line of food items, provide table service, menus, and customers pay after eating. Specialty restaurants on the other hand do not require table service and customers can pay at the counter before eating, however, there are limitations to the type of food that can be sold. Specialty restaurants would typically include coffee shops, ice cream parlors, doughnut shops, etc. Both types of restaurants are defined in Municipal Code Section 17.68.500 with regulations specified in Section 17.14.040.

Municipal Code Section 17.68.050 defines a full-line restaurant as:

“Restaurants providing full line of prepared food and drinks using non-disposable plates, glasses and utensils for immediate consumption on the site. These restaurants provide table service to patrons of all ages who pay after eating. Takeout service may be provided.”

Municipal Code Section 17.68.050 defines a specialty restaurant as:

Restaurants providing a limited range of food products for immediate consumption on the site. These restaurants provide seating but are not required to provide table service or menus. Specialty restaurants provide, as a primary use, two or fewer of the following lines of foods: pastries and doughnuts, frozen desserts, candy and nuts, juices, and coffee and tea.

Municipal Code Section 17.14.040 sets forth regulations for specialty restaurants, including requirements that the minimum size is 600 square feet, minimum seating is 20 seats, and sales of soups, salads, and sandwiches is only allowed in an amount up to 10 percent of sales.

New Counter-Service Restaurant Classification: A set of draft code amendments are proposed that would create a new third classification of restaurant referred to as a *counter service restaurant*. Similar to full-line restaurants, counter-service restaurants would be permitted in the Central Commercial (CC) and Service Commercial (SC) Zoning Districts. Municipal Code Section 17.68.050 has been amended to define counter service restaurants as:

Restaurants providing a range of prepared food and drinks using nondisposable plates, glasses and utensils for immediate consumption on the site. These restaurants provide seating but are not required to provide menus. Patrons may pay at a service counter before eating but meals shall be delivered by restaurant staff to customers seated at tables. These restaurants are primarily intended to provide daytime service for residents, the workforce and visitors, and must comply with the adopted Counter Service Restaurant Guidelines.

In addition to the new definition, Municipal Code Section 17.14.040 has been amended to include regulations for counter-service restaurants. The following is a list of some pertinent code regulations with a staff analysis on the purpose and value of each:

1. *Shall be a minimum size of 800 square feet and a maximum size of 3,000 square feet, and 20 seats minimum.*

Staff Analysis: These regulations would ensure that the new counter service restaurants are neither not too small nor too large in size and would have capacity for adequate seating. The new Restaurant Guidelines work in conjunction with this code section by recommending a maximum seating area of 2,000 square feet. The additional 1,000 square feet permitted by the code could be used for the kitchen and office space.

2. *Meals shall not be served at the counter and shall be delivered by restaurant staff to customers seated at tables.*

Staff Analysis: In its evaluation of restaurant types, the subcommittee determined that having the food delivered to the table rather than served at the counter is of critical importance to the character of the business. This regulation is intended to promote table service and prohibit cafeteria-style service.

3. *All meals shall be cooked and prepared on site.*

Staff Analysis: In order to maintain quality, this regulation will prohibit proposals for restaurant that intend to serve pre-made and pre-packaged meals. In May 2016, the City Council reviewed a proposal for a pre-packaged food store/restaurant referred to as a 'fresh market.' During public testimony, the community indicated that it was not supportive of the concept of restaurants serving pre-packaged food.

4. *Bars or separate bar rooms for the purpose of serving alcohol are not permitted*

Staff Analysis: This regulation will prohibit counter-service restaurant from taking on the appearance or operation of a bar. It should be noted that full-line restaurant are allowed to have 20% of the seating at a bar, but a counter-service would not be permitted to have a bar.

5. *Interior menu signs shall be simple in design and compatible in design, color, size and scale with the restaurant interior. Menu signs that incorporate the use of back-lighting or other electronic devices are prohibited.*

6. *The interior restaurant design should include high quality finish materials such as wood, stone, metal, and ceramics. Plastic tables, seats and benches are not permitted.*

Staff Analysis: The interior design and signage are of critical importance to maintaining the character of the restaurant. The aforementioned regulations prohibit menus with backlighting or other types of electronic menus and also require high quality finish materials such as wood, stone, metal, and ceramics.

Counter Service Restaurant Guidelines: In addition to the new Zoning Code amendments, Counter Service Restaurant Guidelines have been developed as an additional tool to assist with the review and permitting of counter-service restaurants. One of the benefits of having adopted guidelines is that allows some regulatory flexibility in reviewing certain components of the application such as hours of operation, type of food and number of permits issued. The Restaurant Guidelines can also be amended more easily than the Zoning Code to address new issues that may arise. There is some redundancy between the Zoning Code Amendments and the Restaurant Guidelines. The following is a list of some pertinent guidelines with a staff analysis on the purpose and value of each:

1. *Restaurant that use local and organic produce are encouraged.*
2. *Restaurants that offer a unique range of food items that reflect seasonal opportunities are encouraged.*

Staff Analysis: The recommendation for local and organic produce will promote the quality of the food to be maintained at a high standard. In addition, recommending food items that reflect seasonal opportunities will promote dynamic restaurant menus and achieve compliance with the objective for a unique dining experience. Staff acknowledges that enforcement of these guidelines could be challenging, nevertheless, applicants would be required to demonstrate compliance when applying for a new counter-service restaurant.

3. *The Hours of operation should generally be limited from 7:00 a.m. to 6:00 p.m.*

Staff Analysis: The City's current counter-oriented restaurants and coffee shops are typically patronized for breakfast and lunch, but not nighttime dining. In order to protect

the City's existing full-line restaurants and maintain community character, it is recommended that counter-service restaurants be directed towards day-time service only. For this reason, the definition of a counter-service restaurant states that "these restaurants are primarily intended to provide daytime service for residents, the workforce and visitors." Furthermore, the Restaurant Guidelines recommend that the hours of operation be from 7:00 a.m. to 6:00 p.m. The Commission may consider weighing in on whether the recommended hours are too restrictive.

4. *In order to encourage a balanced mix of uses in the downtown and avoid an excessive number of counter-service restaurants, no more than three Counter Service Restaurant Use Permits shall be issued within the first 12 months of the program. After the first 12 months the Planning Commission shall review the policy and set a numerical cap for the following year.*

Staff Analysis: A concern raised throughout the process is that as a consequence of amending the code, the City could be inundated by applications for new counter-service restaurants, including existing full-line restaurants that may propose to convert their business operations to counter-service for cost efficiency. In order to mitigate this potential issue, the Restaurant Guidelines recommend that a maximum of three counter-service restaurants be permitted in the first year with a requirement that the Planning Commission review the allowed number and consider establishing a numerical cap in the following year. Staff notes that a similar requirement was established in the City's Wine Tasting Policy and has been an effective tool in regulating the allowed number.

As an alternative, staff has drafted an amendment to Municipal Code Section 17.56.020 that would place a numerical cap of three (3) counter-service restaurants that are permitted. It should be noted that there is already a numerical cap of 15 restaurants and food stores on Ocean Avenue and counter-service restaurants would be included in this cap. At a minimum, this section of the code would have to be amended to recognize counter-service restaurants, but the Planning Commission should weigh in on whether it recommends a codified numerical cap or regulating the number through the Restaurant Guidelines. One of the drawbacks of numerical caps is that the permit runs with the land and hence remains with the property owner rather than the tenant. Establishing a numerical cap turns the permit into a valuable commodity that can be sold to other property owners or used to drive up rent prices.

Other Restaurant Code Amendments: The subcommittee is proposing minor amendments to the general restaurant regulations as highlighted in Attachment B. One of the most relevant amendments is that Municipal Code Section 17.14.040.I.4 would be amended to describe existing specialty restaurants as being a “*coffee shop, ice cream parlor, etc.*” which is consistent with the definition of a specialty restaurant. The specialty restaurants regulations have also been modified to have a minimum size of 400 square feet (currently 600), minimum seating of 14 seats (currently 20) and expressly prohibit the sale of alcohol.

Staff notes that full-line restaurants are currently allowed in the CC and SC Zoning Districts while specialty restaurants are only permitted in the CC. In order to provide consistency, the Land Use Table (17.14.030) in the Zoning Code has been modified to now allow specialty restaurants in the Service Commercial Zoning District. Staff has not identified any underlying policy that should preclude specialty restaurants from the SC District while allowing full-line restaurants.

In addition to the specialty restaurant amendments, a new provision has been added which states that “*outdoor cooking devices are permitted on private property if designed and located to mitigate impacts to adjacent properties.*”

Food-Store Amendments: Municipal Code Section 17.14.040.J has been amended to allow full-line food stores and specialty food stores to have a maximum of 12 seats either indoors or outdoors, and full-line food store are permitted to have outdoor grills. In the subcommittee’s opinion, a limited number of seats in association with a food store is reasonable. It should be noted that the City’s two grocery stores currently have some on-site seating and grills.

Zoning Code/Local Coastal Program: The Land Use Element of the General Plan and Title 17 of the Municipal Code (aka ‘Zoning Code’) is included in the City Local Coastal Program (LCP) and any amendments to the code also constitute an amendment to the City’s LCP. The proposed amendments, which would considerably regulate new counter-service restaurants, are internally consistent with all other sections of the City’s Zoning Code and General Plan, and hence are consistent with the City’s LCP. The proposed amendments will allow the City to better regulate certain land uses in accordance with the following list of General Plan objectives and policies:

O1-3: Preserve the economic integrity of the community and maintain an economic philosophy toward commercial activity ensuring compatibility with the goals and objectives of the General Plan.

O1-4: Maintain a mix of commercial uses that are compatible with the character of Carmel as a residential village.

P1-6: Monitor the mix of permitted and conditional uses in the commercial and multifamily land use districts in order to maintain a transition of land use to the single-family residential district.

P1-16: Periodically review the mix of business uses in all commercial districts to assess the progress in achieving the land use objectives of the community and the success of policies and ordinances in achieving those objectives.

P1-21: Control and reduce where possible the number of business uses that are found to be out of proportion with a balanced mix of uses necessary to protect the residential character and economic objectives of the community.

The following General Plan policies speak directly to restaurants. The proposed restaurant regulations would reinforce these policies by limiting the number of new counter-service restaurants and the size.

P1-19: Limit the number of business uses in the commercial district selling food for immediate consumption by pedestrians, including restaurants, bakeries, delicatessens and specialty food stores to reduce the generation of litter and food material on public rights-of-way and to help maintain a balanced mix of uses.

P1-20: Encourage outdoor eating areas that are in character with the design of the commercial district, do not adversely impact adjacent residential land uses, interfere with pedestrian or vehicular circulation, or result in a net increase in the amount of restaurant seating.

P1-72: Maintain zoning regulations that avoid land uses of large size and scale (5,000 square feet or more) that have high traffic and parking generation rates such as retail or restaurant uses.

Pursuant to Chapter 17.62.030 of the City’s Municipal Code, proposed amendments to the Title 17 Zoning Code are required to be reviewed by the Planning Commission prior to going before the City Council. Attachment A is a Planning Commission Resolution, recommending that the City Council adopt an Ordinance amending Municipal Code Chapters 17.14 and 17.68 as identified in Attachment B.

Environmental Review: Categorical Exemption: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines Section 15305 (Class 5 – Minor Alterations to Land Use Limitations). This exemption applies to projects involving minor alterations to land use limitations, which do not result in changes in land use or density. The proposed Ordinance Amendment falls under a Class 5 categorical exemption because it involves minor amendments to the Zoning Code restaurant and food-store regulations and does not significantly change the current land use regulations. The amendments also do not propose or require physical changes to any specific property that will negatively impact the environment.

ATTACHMENTS:

- Attachment A - Resolution No. 2016-02
- Attachment B – Draft Code Amendments (Chapter 17.14, 17.56 and 17.68)
- Attachment C – Counter Service Restaurant Guidelines

CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION RESOLUTION NO. 2016-02

A RESOLUTION RECOMMENDING THAT THE CITY COUNCIL ADOPT AN ORDINANCE AMENDING CHAPTERS 17.14, 17.56 AND 17.68 OF THE MUNICIPAL CODE TO CREATE A NEW RESTAURANT CLASSIFICATION AND AMEND THE FOOD STORE REGULATIONS.

WHEREAS, The City of Carmel-by-the-Sea is a unique community that prides itself in its community character; and

WHEREAS, the City has adopted a General Plan and Municipal Code that strive to protect the village character through clear policies and regulations; and

WHEREAS, the proposed code amendments are consistent with the General Plan and internally consistent with other sections of the Municipal Code; and

WHEREAS, the proposed code amendments are consistent with General Plan Policy P1-16 which states to periodically review the mix of business uses in all commercial districts to assess the progress in achieving the land use objectives of the community and the success of policies and ordinances in achieving those objectives; and

WHEREAS, the proposed code amendments are designed to ensure that commercial uses are compatible with the character of the downtown and to encourage a mix of uses; and

WHEREAS, the proposed amendments will preserve the economic integrity of the community and maintain an economic philosophy toward commercial activity ensuring compatibility with the goals and objectives of the General Plan; and

WHEREAS, the City's Zoning Ordinance is also its Local Coastal Program; and

WHEREAS, the City certifies that the amendments are intended to be carried out in a manner fully in conformance with the Coastal Act; and

WHEREAS, this ordinance is an amendment to titles 17.14, 17.56 and 17.68 of the City's Zoning Ordinance/Local Coastal Implementation Plan and requires certification by the California Coastal Commission; and

WHEREAS, the Planning Commission held a duly noticed public hearing on December 14, 2016 at which time it considered all evidence presented, both written and oral and at the end of the hearing voted to adopt a resolution recommending that the City Council adopt this Ordinance; and

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA AS FOLLOWS:

Section 1. **Recitals.** The Planning Commission hereby finds that the foregoing recitals are true and correct.

Section 2. **CEQA Findings.** Categorical Exemption: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines Section 15305 (Class 5 – Minor Alterations to Land Use Limitations). This exemption applies to projects involving minor alterations to land use limitations, which do not result in changes in land use or density. The proposed Ordinance Amendment falls under a Class 5 categorical exemption because it involves minor amendments to the Zoning Code restaurant and food-store regulations and does not significantly change the current land use regulations. The amendments also do not propose or require physical changes to any specific property that will negatively impact the environment.

Section 3. **Planning Commission Review and Recommendation.** Pursuant to Zoning Code Chapter 17.62, the Planning Commission has reviewed the proposed Zoning Code amendments set forth in Attachment B. The Planning Commission hereby recommends their adoption by the City Council.

PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA this 14th day of December 2016 by the following roll call vote:

AYES:
NOES:
ABSENT:

ATTEST:

Cortina Whitmore, Admin. Coordinator

SIGNED:

Don Goodhue, Planning Commission Chair

17.14.040 Additional Use Regulations.

I. Eating and Drinking Establishments.

1. All Eating and Drinking Establishments.

a. The sale of nonfood merchandise that is directly related to the use may be allowed when determined to be incidental to the primary use. The display of nonfood merchandise shall be ancillary to the primary use ~~is prohibited~~.

b. Adequate facilities shall be provided on the site for the closed storage of trash and garbage generated by the use. The on-site storage shall be designed so that the area can be cleaned and the refuse removed without creating a public nuisance and without being placed on the sidewalks or other public ways. If the method of cooking used will generate hot ashes, a storage facility and disposal method shall first be approved by the Fire Department.

c. At least one restroom shall be available for use by both sexes within, or conveniently adjacent to, the specific business premises and on the same property on which the use is located. This restroom shall comply with all provisions of the State Uniform Building and Plumbing Codes as to the required size, location and accessibility standards, and shall be available for use by both the employees and patrons of the business.

2. Drinking Places.

a. Minimum distance from another use selling distilled spirits intended for either on-site or off-site consumption: 200 feet.

b. Allowable locations: blocks numbered 70 through 77 inclusive, as shown on the map of Carmel-by-the-Sea.

c. Maximum number: three. See also Chapter [17.56](#) CMC, Restricted Commercial Uses.

d. See also subsection (I)(1) of this section, All Eating and Drinking Establishments.

3. Restaurant, Full Line.

- a. Any sale of alcoholic beverages shall be subordinate to this primary use.
- b. Drive-in, formula and fast food establishments are prohibited.
- c. Substantially all foods from the standard menu shall be available for purchase during the hours that alcoholic beverages are being served ~~except for the first hour and the last hour of each business day.~~
- d. The applications, menus and plans indicate that the business will primarily be a restaurant – full line, and that no more than 20 percent of the total number of seats are at a bar or in a separate bar room. If the use does not meet this standard, the standards in subsection (l)(2) of this section, Drinking Places, shall also apply to the use.
- e. Customers shall be provided with individual menus while seated at a table or counter.
- f. The maximum seating capacity shall not exceed the standards in the State Uniform Building and Fire Codes, the number of seats approved by the Planning Commission through public review, or the number of seats in the previous business, whichever is less. The seating capacity shall be posted on the premises.
- g. Outside seating may be allowed subject to Chapter 17.58 CMC, Design Review.
- h. Food sold for consumption off the premises shall be incidental to the primary use. Such food shall be placed in covered containers or wrappings, and all house-brand labeled food store goods such as vinegars, oils and salad dressings shall be prepackaged and sealed.
- i. Maximum number of food stores and/or restaurants located within structures fronting on Ocean Avenue: 15. See also Chapter 17.56 CMC, Restricted Commercial Uses.
- j. See also subsection (l)(1) of this section, All Eating and Drinking Establishments.
- k. Outdoor cooking devices are permitted on private property if designed and located to mitigate impacts to adjacent properties.

4. Restaurant, Specialty (Coffee Shops, Ice Cream Parlor, etc.)

a. Minimum size: ~~600~~ 400 square feet.

b. Minimum number of customer seats on-site: ~~20~~ 14 seats. The customer seating area must be open to patron use during all hours of operation and the use must be managed to encourage on-premises consumption of food products.

c. Sales of soup, salads and sandwiches may be allowed in an amount up to 10 percent of sales.

d. The sale of alcohol is prohibited.

e. Drive-in, fast food, take-out or formula establishments are prohibited.

f. The service counter must be located within the interior of the business premises and arranged so that customers must first pass by or through the seating area to reach the counter and patron queues will be contained within the building.

g. Outside seating may be allowed, subject to Chapter 17.58 CMC, Design Review.

h. All products sold for consumption off the premises, other than frozen desserts, must be placed in covered containers or wrappings.

i. ~~Cooking equipment is limited to indoor stoves and ovens~~ Outdoor cooking devices are permitted on private property if designed and located to mitigate impacts to adjacent properties.

j. Maximum number of food stores and/or restaurants located within structures fronting on Ocean Avenue allowed: 15. See also Chapter 17.56 CMC, Restricted Commercial Uses.

k. The operator of the use shall be responsible for the clean-up of all on-site and off-site litter generated by the use including twice-daily clean-up of all sidewalks and gutters within 50 feet of the storefront and twice-yearly steam cleaning of this area. A practical plan for monitoring and implementing this standard shall be submitted for review with the application for use permit, and will be adopted as a condition of approval of the use.

l. See also subsection (l)(1) of this section, All Eating and Drinking Establishments.

5. Restaurant, Counter Service.

a. Minimum size: 800 square feet and a maximum size of 3,000 square feet.

b. Minimum number of customer seats on-site: 20 seats. The customer seating area must be open to patron use during all hours of operation and the use must be managed to encourage on-premises consumption of food products.

c. The service counter must be located within the interior of the business premises and arranged so that customers must first pass by or through the seating area to reach the counter and patron queues will be contained within the building.

d. Meals shall not be served at the counter and shall be delivered by restaurant staff to customers seated at tables.

e. The sale of alcoholic beverages shall be subordinate to this primary use.

f. Drive-in, formula and fast food establishments are prohibited.

g. Bars or separate bar rooms for the purpose of serving alcohol are not permitted.

h. All meals shall be cooked and prepared on site.

i. Interior menu signs shall be simple in design and compatible in design, color, size and scale with the restaurant interior. Menu signs that incorporate the use of back-lighting or other electronic devices are prohibited.

j. The interior restaurant design should include high quality finish materials such as wood, stone, metal, and ceramics. Plastic tables, seats and benches are not permitted.

k. Outside seating may be allowed subject to Chapter 17.58 CMC, Design Review.

l. Outdoor cooking devices are permitted on private property if designed and located to mitigate impacts to adjacent properties.

m. Food sold for consumption off the premises shall be incidental to the primary use. Such food shall be placed in covered containers or wrappings, and all store goods such as vinegars, oils and salad dressings shall be prepackaged and sealed.

n. Maximum number of food stores and/or restaurants located within structures fronting on Ocean Avenue: 15. See also Chapter 17.56 CMC, Restricted Commercial Uses.

o. See also subsection (I)(1) of this section, All Eating and Drinking Establishments.

J. Food and Beverage Sales.

1. All Food and Beverage Sales.

a. Adequate facilities shall be provided on the site for the closed storage of trash and garbage generated by the use. The on-site storage shall be designed so that the area can be cleaned and the refuse removed without creating a public nuisance and without being placed on the sidewalks or other public ways.

~~b. Cooking equipment shall be limited to indoor stoves and ovens.~~

2. Food Store, Full Line.

a. The use may be combined with liquor stores in the CC and SC districts upon meeting the requirements in subsection (J)(4) of this section, Liquor.

b. A delicatessen providing a broad range of bulk specialty items primarily for home or workplace consumption such as breads, cheeses, meats, prepared salads, dried goods, and limited take-out food such as sandwiches and salads may be allowed as an incidental use. Cooking equipment shall be limited to indoor stoves, ~~and ovens~~ and outdoor grills.

~~c. No seating shall be provided indoors or outdoors on the site.~~ A maximum of 12 seats may be provided indoors or outdoors on the site.

d. Maximum number of food stores and/or restaurants located within structures fronting on Ocean Avenue: 15. See also Chapter 17.56 CMC, Restricted Commercial Uses.

e. See also subsection (J)(1) of this section, All Food and Beverage Sales.

3. Food Store, Specialty.

- a. No specialty food store shall be permitted that is classified as a drive-in, fast food or formula food establishment as defined in this code.
- b. All food sold for consumption off the premises shall be placed in covered containers or wrappings.
- c. The use may be combined with liquor stores and beer in the CC and SC districts upon meeting the requirements of subsection (J)(4) of this section, Liquor.
- d. Maximum number of food stores and/or restaurants within structures fronting on Ocean Avenue:
- 15. See also Chapter 17.56 CMC, Restricted Commercial Uses.
- e. See also subsection (J)(1) of this section, All Food and Beverage Sales.

f. A maximum of 12 seats may be provided indoors or outdoors on the site.

g. Cooking equipment shall be limited to indoor stoves and ovens.

17.68.050 Commercial Use Classifications.

Restaurants, Full Line. Restaurants providing a full line of prepared food and drinks using nondisposable plates, glasses and utensils for immediate consumption on the site. These restaurants provide table service to patrons of all ages who pay after eating. Takeout service may be provided.

Restaurant, Counter Service. Restaurants providing a range of prepared food and drinks using nondisposable plates, glasses and utensils for immediate consumption on the site. These restaurants provide seating but are not required to provide menus. Patrons may pay at a service counter before eating but meals shall be delivered by restaurant staff to customers seated at tables. These restaurants are primarily intended to provide daytime service for residents, the workforce and visitors, and must comply with the adopted Counter Service Restaurant Guidelines.

Restaurants, Specialty. Restaurants providing a limited range of food products for immediate consumption on the site. These restaurants provide seating but are not required to provide table service or menus. Specialty restaurants provide, as a primary use, two or fewer of the following lines of foods: pastries and doughnuts, frozen desserts, candy and nuts, juices, and coffee and tea.

Food Store-Full Line. Retail food markets, ~~with no seating on-site~~, providing a full range of food and grocery items including meats, poultry, produce, dairy products, and canned and dried goods for home preparation. These markets may have specialty food sales as an incidental use, such as bakeries and delicatessens.

Food Store-Specialty. Retail food markets, ~~with no seating on the site~~, that provide a specialized and limited range of food items sold primarily for home preparation and consumption. Examples include such uses as:

17.14.030 Land Use Regulations.

Schedule II-B: Commercial Districts – Use Regulations				
P = Permitted Use L = Limitations Apply C = Conditional Use Permit Required	Commercial Districts			Additional Regulations
	CC	SC	RC	
Retail				
Animal Sales and Services				
Animal Grooming	P	P	P	See CMC 17.14.040(C)
Animal Hospitals	–	C	–	See CMC 17.14.040(C)
Kennels	–	C	C	See CMC 17.14.040(C)
Automobile Sales and Services				See CMC 17.14.040(D)
Motorcycles, Mopeds and Parts	P	P	–	
Vehicle Repair	–	C	C	
Vehicle Service and Gasoline	–	C	C	See CMC 17.14.040(D)
Building Materials, Hardware and Garden Supplies	P	P	C	See CMC 17.14.040(G)
Eating and Drinking Establishments				See Chapter 17.56 CMC
Drinking Places	C	C	–	See CMC 17.14.040(I)
Restaurant, Full Line	C	C	–	See CMC 17.14.040(I)
<u>Restaurant, Counter</u>	<u>C</u>	<u>C</u>		
Restaurant, Specialty	C	<u>–C</u>	–	See CMC 17.14.040(I)

Food and Beverage Sales				See Chapter 17.56 CMC
Convenience Market	–	L-2	L-2	See CMC 17.14.040 (D)(2) and (J)(2)
Food Store – Full Line	C	C	C	See CMC 17.14.040 (J)
Food Store – Specialty	C	C	–	See CMC 17.14.040 (J)

17.56.020 Numerical and Size Limitations Established.

(*Note: Planning Commission to consider numerical cap of three (3) counter-service restaurants)

Table 17.56-A lists the numerical and size limitations for certain restricted uses consistent with the land use regulations for zoning districts in the City in which they may be located and the purposes of the chapter.

Use	Limit on the Number Allowed	Other Limitations	Type of Permit Required
Jewelry Stores	32	Minimum 10 percent of gross floor area devoted to jewelry manufacturing and repair	Business license
Food Stores and Restaurants ¹	15 fronting on Ocean Avenue		
Full Line Food	Included in 15	No seating	Use permit
Specialty Food	Included in 15	No seating	Use permit
Full Line Restaurant	Included in 15	Seating required	Use permit
Specialty Restaurant	Included in 15	Minimum 600 sq. ft. and 20 seats; soup, salad, sandwiches up to 10 percent of sales	Use permit
<u>Counter-Service Restaurant</u>	<u>Included in 15. A total of 3 restaurants permitted in Commercial District.</u>		<u>Use permit</u>
Drinking Places	3		Use permit
Hotels and Motels	948 units		Use permit



City of Carmel-by-the-Sea Counter Service Restaurant Guidelines

Purpose

To establish guidelines for counter-service restaurants in the City of Carmel-by-the-Sea.

Policy

The General Plan encourages a balanced mix of uses that serve the needs of both local and non-local populations. The City recognizes the demand for establishing a variety of high-quality dining experience that are not formulaic and are unique, but that the proliferation of counter-service restaurants could impact the balance mix of uses that the General Plan encourages. The intent of this policy is to establish guidelines that regulate counter-service business operations and the total number of permits issued.

Definition

Counter service restaurants provide a range of prepared food and drinks using non-disposable plates, glasses and utensils for immediate consumption on the site. These restaurants provide seating but are not required to provide menus. Patrons may pay at a service counter before eating but meals shall be delivered by restaurant staff to customers seated at tables. These restaurant are primarily intended to provide daytime service for residents, the workforce and visitors.

The following standards are recommended and shall be considered by the Planning Commission in its review of Counter Service Restaurants:

1. Restaurants that use local and organic produce are encouraged.
2. Restaurants that offer a unique range of food items that reflect seasonal opportunities are encouraged.
3. The interior restaurant design should include high quality finish materials such as wood, stone, metal, and ceramics. Plastic tables, seats and benches are not permitted.
4. Interior menu signs shall be simple in design and compatible in design, color, size and scale with the restaurant interior. Menu signs that incorporate the use of back-lighting or other electronic devices are prohibited.
5. In general, the size of the seating area (office and kitchen excluded) shall should be no larger than 2,000 square feet.
6. Hours of operation should generally be limited from 7:00 a.m. to 6:00 p.m.
7. Counter service restaurants associated with other uses such as retail food, wine tasting, and the like is strongly discouraged.
8. In order to encourage a balances mix of uses in the downtown and avoid an excessive number of counter-service restaurants, no more than three Counter Service Restaurant Use Permits shall be issued within the first 12 months of the program. After the first 12

months the Planning Commission shall review the policy and set a numerical cap for the following year.

***These Guidelines shall be reviewed by the Planning Commission within 12 months from the date of adoption.**



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

December 14, 2016

To: Chair Goodhue and Planning Commissioners

From: Marc Wiener, AICP, Community Planning and Building Director

Subject: Consideration of Concept Design Study (DS 16-378) and associated Coastal Development Permit for the construction of a new single-family residence located in the Single-Family Residential (R-1) Zoning District.

Recommendation:

Determine the appropriate action.

Application: DS 16-378

APN: 010-193-009

Block: 94

Lot: 20

Location: NE Corner of Monte Verde and 9th Ave

Applicant: Adam Jeselnick, Architect

Property Owner: Michael and Frances Henkel

Background and Project Description:

The project site is located on the northeast corner of 9th Avenue and Monte Verde. The property is 4,000 square feet in size and is currently an undeveloped vacant lot. The proposed new residence is a modern-style design and is 2,047 square feet in size, which consists of a 968 square foot first floor, a 462 square foot 2nd floor, a 397 square foot basement and a 220 square foot attached garage. The applicant has acquired water credits from the Malpaso Water Company to be used for the construction of the new residence.

This application was considered for conceptual review by the Planning Commission on October 12, 2016, and the Commission continued the application with a recommendation for changes. Several neighbors provided testimony at the meeting expressing issues with the project. The majority of the Planning Commission was supportive of the architectural style, but had concerns related to building mass, view impacts to the eastern neighbor, and potential impacts to a 58" Cypress tree located on the north side of the property. The Planning Commission directed the applicant to make revisions (note: some commissioner stated "substantial" revisions) to the project and also to work

with the neighbors. The applicant has submitted revised plans to address the concerns that were raised. The original elevations are included as Attachment E for comparison. The applicant has been in communication with the neighbors, however, the majority of neighbors still have concerns with the project.

PROJECT DATA FOR A 4,000 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 sf (45%)	0 sf	2,047 sf (Original Proposal: 2,100 sf)
Site Coverage	556 sf w/ bonus	0 sf	504 sf
Trees	3 Upper /1 Lower (recommended)	9	8
Ridge Height (1 st /2 nd)	18 ft/24 ft	n/a	Max. 2 nd floor: 22 ft 3 in
Plate Height (1 st /2 nd)	12 ft/18 ft	n/a	Max 2 nd floor: 17 ft 6 in
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft	n/a	29 ft 4 in
Composite Side Yard	10 ft (25%)	n/a	Min: 14 ft (36%)
Minimum Side Yard	3 ft	n/a	Min. North Side: 5 ft 6 in Min. South Side: 5 ft
Rear	15 ft	n/a	Min: 3 ft 6 in**
<p>* The allowable square footage for a 4,000 square foot lot is 1,800 square feet, with a maximum bonus basement floor area of 2,400 square feet (including a 100 square foot basement incentive).</p> <p>** Rear setback is 3' for structures under 15 feet in height.</p>			

Staff analysis:

The following is an analysis of how the applicant has or has not revised the design to comply with the Planning Commission recommendations:

1. *Mitigate potential impacts to the 58" Cypress tree along the north side property line.*

At the previous hearing, the Planning Commission identified a potential issue with the proximity of the basement to the 58-inch Cypress Tree located on the north side of the property, and directed the applicant to work with the City Forester to mitigate potential impacts. The applicant met on site with the City Forester and the Assistant City Forester shortly after the first hearing to address these impacts. The original design met the required 6-foot tree setback, however, the Forester had concerns that the Cypress tree may have a larger root radius. The applicant reconfigured the proposed basement to maintain an approximately 15-foot setback from the tree. The Forester has reviewed the revised plans and supports the basement revision. As a standard condition the applicant will be required to hand dig within 15-feet if any tree on the site.

2. *Revise the project to address the view impacts to the adjacent neighbor to the east.*

At the previous site visit the Planning Commission visited the neighboring residence to the east and identified significant view impacts that would be created by the project. The Planning Commission directed the applicant to revise the project to reduce these impacts. In order to address the impact, the applicant reduced the square footage of the second story allowing for the southerly wall to be shifted 2.5 feet in a northerly direction. The story poles were revised to address this change. Staff visited the residence again on December 5th and identified that the project, as proposed, will still have significant impacts to ocean views from the neighbor's south-side deck and the dining room window. Staff notes, however, that the ocean views from the kitchen window and the deck on the northwest side of the house still appear to have ocean views towards Pescadero Point in Pebble Beach.

Residential Design Guidelines 5.1 - 5.3 state that *"views to natural features and landmarks are key features of Carmel's design traditions. Important views occur to the ocean, canyons, and along streets."* The Guidelines encourage *"maintaining views through a property to natural features when feasible"* and recommend *"locating buildings so they will not substantially blocks views enjoyed by others."* Furthermore, General Plan Policy P1-65 recommends achieving *"an equitable balance of these design amenities among all properties affected by design review decisions"*. A photograph of the view impact as seen from the south-side deck and dining room is included as Attachment B. The Commissioners will have the opportunity to view the potential view impact from the adjacent neighbor's residence, based on the revised story poles, as part of the site visit on December 14, 2016.

3. *Reduce the appearance of mass along the 9th Avenue frontage of the house.*

The Planning Commission, as well as several neighbors, expressed concerns with the mass and height of the proposed structure as viewed from 9th Avenue. The site slopes approximately 11 feet from the east side of the property down to the west side of the property and the applicant is proposing to locate the second story portion on the higher side (east half) of the property, in part, to avoid impacts to the trees at the westerly end of the lot. The applicant has made the following design revisions in order to reduce the building mass:

1. Reduced the height of second-story from 22'11" to 21'10".
2. Reduced the building footprint by 53 square feet.
3. Lowered the finished floor level by 1.5 feet.
4. Converted the hipped-roof above the garage to a flat roof.
5. Reduced the roof eaves.

While the applicant has made several design changes, staff questions whether the revisions are substantial enough to reduce the overall appearance of mass. Staff notes that one Commissioner recommended that the building be stepped down with the lot in accordance with Design Guidelines #3.3. The applicant has lowered the finished floor by 1.5 feet, however, at its highest point the floor level is still approximately 3 feet above the grade.

Staff notes that the one-story portion of the residence has a height of approximately 17 feet at its highest point, which is 1-foot below the maximum allowed, and the two-story portion has a height of approximately 22 feet, which is 2 feet below the maximum allowed. The Commission should consider whether the design revisions made are adequate or if the applicant should be directed to further revise the design to address the mass.

Other Project Components:

Neighborhood Compatibility: At the previous hearing, the Planning Commission discussed the compatibility of the modern design of the home in the context of the neighborhood; the majority of Commissioners expressed their support for the modern design. Residential Design Guideline 9.0 states that: *"A more prevalent style was the Craftsman Cottage or Bungalow. Building in this tradition is still appropriate. Other common themes include Mission Revival, Monterey Colonial and a variety of other revival styles. However, architects and designer should not feel constrained to these styles. Adapting more contemporary design approaches to the size, massing, scale, materials*

and site relationships found in earlier designs is encouraged as a means of achieving compatibility with diversity.” Furthermore, the Design Guideline 9.1 states the following: *“Diversity of architectural styles is encouraged. A new building should be different in style from buildings on nearby and abutting properties. A design that creates individual character while also maintaining compatibility with the character of the neighborhood is encouraged.”*

The Residential Design Guidelines encourage diversity while maintaining compatibility with the neighborhood. While the Commission had previously indicated support for a modern-style residence, it should consider whether the proposed design and use of finish materials achieves sufficient compatibility with the neighborhood. Staff has included photographs in Attachment A showing several of the adjacent residences. The photographs show a mixture of home styles in the neighborhood, several of which are on the City’s Historic Inventory.

Neighbor Concerns: At the previous hearing, the following neighbors spoke in opposition to the project: Mr. Iverson (West neighbor), Ms. Strom (North neighbor), Mrs. Matlock (South neighbor), and Mr. Corrigan (East neighbor). Additionally, staff has received several letters of opposition from neighboring property owners: Paula Robichaud (San Antonio 3 SW of 9th Ave.), David Hutchings (Lincoln 3 NW of 9th Ave.), Charlotte Tolhurst (SE Monte Verde & 9th), Maria and Sid Matlock (2 SW 9th & Lincoln), Carl and Sherrie Iverson (Monte Verde, 2 NW of 9th), Nancy Strom and Gavin Miller (Monte Verde, 2 NE of 9th), and John Michiels and Patrick Corrigan (home to the east). The letters are included as Attachment D. Staff has not provided an analysis of the individual comments raised, nevertheless, the Planning Commission should take these concerns into consideration.

Basement Bonus: The Municipal (CMC 17.10.030.D.3) allows a 100-square foot basement bonus. In addition to this, CMC 17.10.030.C.4 states that: “The City provides an incentive to use some of the base floor area and exterior volume in a basement. The result of this incentive is to reduce above-ground floor area and reduce exterior volume for sites awarded bonus floor area in basements.” For a one story structure, the Code states that “For each one square foot of the base floor area constructed in a basement and 12 cubic feet of allowed exterior volume not built above average grade, one additional square foot of bonus floor area may be constructed in a basement.”

The applicant is proposing a 2,047-square foot residence, which includes 1,650 square feet of “above average grade” floor area (includes garage) and 397 square feet of basement space, depicted on Sheet A8 of the plan set. Pursuant to the Municipal Code sections cited above, the applicant is entitled to a 400-square foot basement. The basement allowance includes the 100-square foot entitlement and a 200-square foot (2x) bonus for being 150 square feet below the

allowed above-grade square footage. The proposed basement is in compliance with the Municipal Code.

Site Coverage: Because the project site is currently vacant, the site contains zero site coverage. The applicant is proposing to add 504 square feet of site coverage including 274 square feet of permeable materials (driveway, light wells, lower patio, and walkways). The site coverage will consist of the driveway, light wells, a patio, a terrace, steps, and walkways.

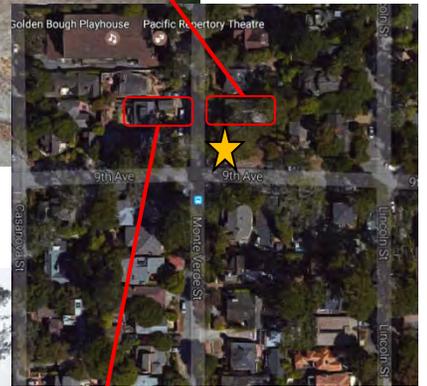
Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – New Construction or Conversion of Small Units. The project includes the construction of one single-family residence in a residential zone, and therefore qualifies for a Class 3 exemption. The proposed residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

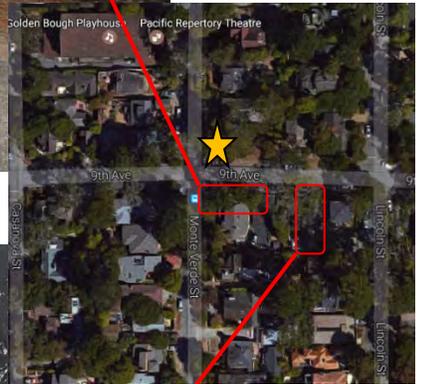
ATTACHMENTS:

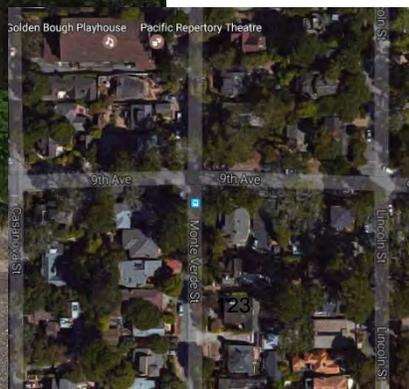
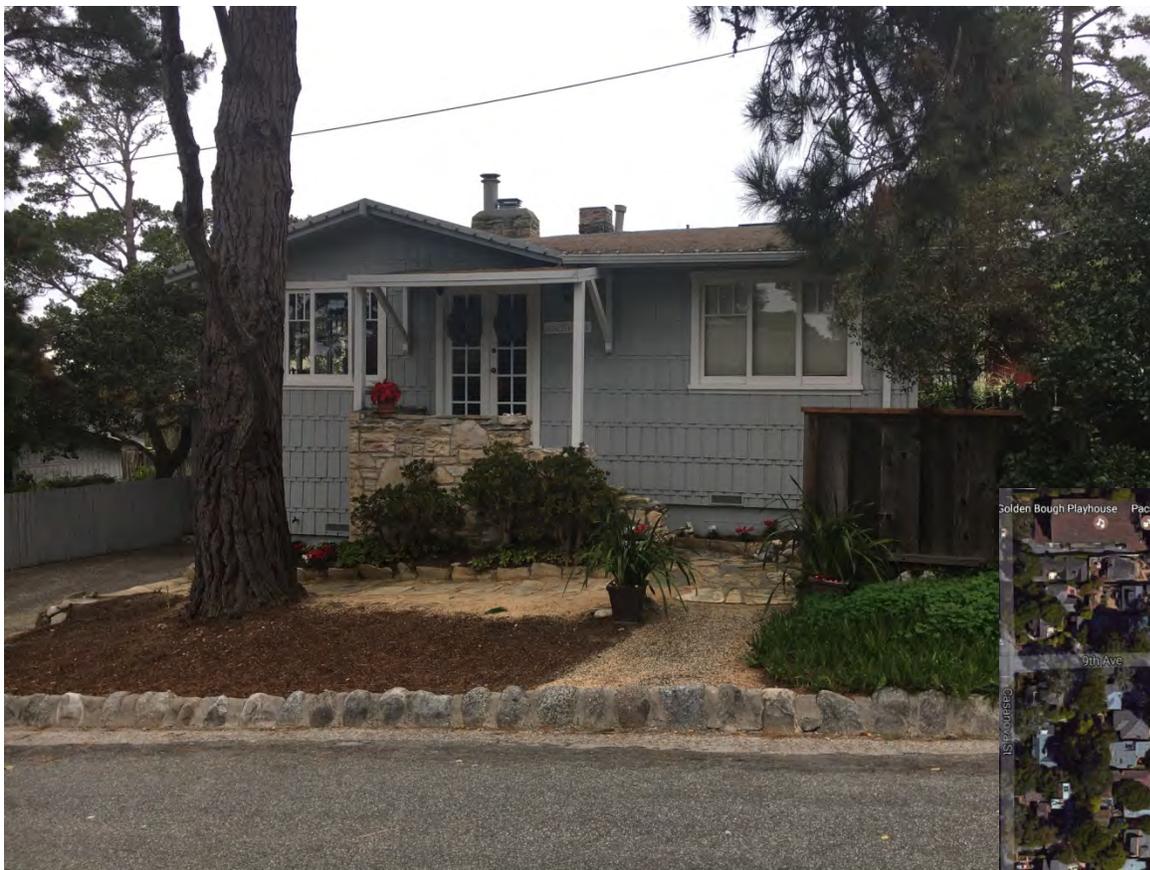
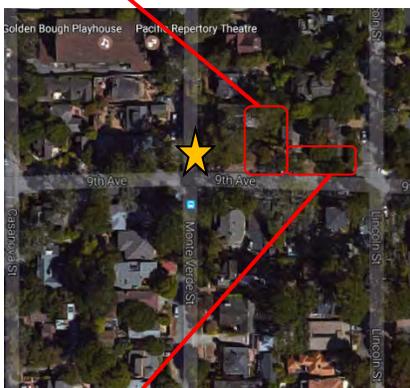
- Attachment A – Site and Neighborhood Photographs
- Attachment B – Story Poles viewed from Neighboring Residence
- Attachment C – Applicant Letter
- Attachment D – Opposition Letters
- Attachment E – Previous Elevation Drawings
- Attachment F – Project Plans

Attachment A – Site and Neighborhood Photographs

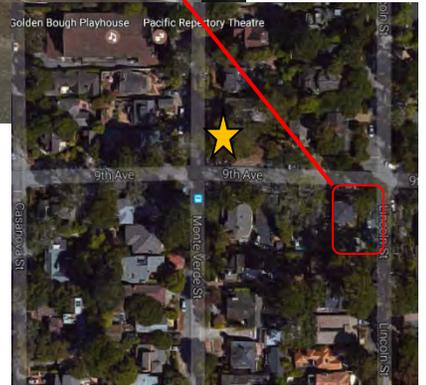












Attachment B – Story Pole Photographs, Viewed from Neighboring Residence





To: City of Carmel Planning and Building Department

Attn: Carmel Planning Commission: Don Goodhue, Chair; Michael LePage; Julie Wendt; Gail Lehman and Karen Sharp

From: Frances and Mike Henkel

Subj: DS 16 – 378 (Henkel)
Adam Jeselnick Architect
NE Corner of 9th Avenue and Monte Verde
Block: 94; lot 20
APN: 010-193-009
Attn: NE corner Monte Verde and Ninth Avenue

RECEIVED
DEC 08 2016
City of Carmel-by-the-Sea
Planning & Building Dept.

Dear Chair Goodhue and members of the Planning Commission:

We wanted to address some of the concerns that have arisen regarding the plans for the construction of our new home on the northeast corner of 9th Ave. and Monte Verde.

First of all, as an introduction, we live in Chicago but have enjoyed many wonderful times in our second home in Carmel-by-the-Sea for 10 years. We sold that home in March in order to purchase the vacant lot to build a home that had a few more features we wanted. As long-time owners, we appreciate the special beauty of Carmel and want to respect its character in the design of this new home.

To that end, we chose to engage professionals who live and work in Carmel to assist in the building, design, and construction of the home. We felt it important to use local professionals who understand the nature of Carmel and could help us navigate the critical issues such as size, setbacks, materials, consideration of neighbors, etc.

From the beginning, Adam Jeselnick, our architect, Chris and Courtney Adamski, our builder and realtor, and Carissa Duncan, our designer, worked with us to carefully create a home that met all the requirements, codes and setbacks required by Carmel. While the home is contemporary in design, it reflects the historic feel of Carmel with the use of all-natural finishes such as limestone, wood, and weathered zinc. The selection of finishes and features of the home was also informed by sustainable building practices. One of the special aspects of the City of Carmel is the diversity and the lack of cookie cutter architecture that a planned subdivision typically brings.

From the beginning we attempted to respect our neighbors' views and solar access within the constraints of the required setbacks of a corner lot along with the challenge of significant trees at the front of the lot. Specifically: 1) maximizing the allowed basement footage to minimize street appearance and mass of the home; 2) proposing the second floor height be almost two

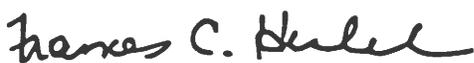
feet below the maximum allowable height; 3) stepping the house down the lot to complement the slope and topography of the lot and to provide visual continuity along Monte Verde; 4) using flat and hip roofs that are simple and modern, complimenting the neighborhood.

We have had numerous conversations and emails with neighbors after the October planning commission hearing. Several of these conversations have been challenging as the neighbors' have enjoyed the light and openness of an empty corner lot for years. We understand it can be jarring to contemplate a house on that empty lot – especially with the small size of the typical Carmel lot. While gaining consensus across all neighbors' concerns has proven difficult, addressing one neighbor's key concern often raises an issue with another one, we have carefully considered all concerns and have revised the design in a manner that addresses each of these concerns. We made a number of adjustments to the plans in response to both neighbors' concerns and the recommendations of the planning commission in response to the original neighbors' concerns as well as other neighbors who came forward later.

The design now before you is consistent with the City's regulations and in some cases is less than the maximum allowances, specifically due to our efforts to be sensitive to the concerns of our neighbors. We would greatly appreciate your support and approval for our project at Wednesday's hearing. We will be at the hearing along with our representatives to answer any questions you may have.

Thank you for your consideration.

Sincerely,



Frances and Michael Henkel

312.451.7198

mfhenkel@me.com

cc: Ashley Hobson, Contract Planner

Marc Weiner, Director of Planning

Chip Rerig, City Manager

December 7, 2016

Chip Rerig, City Administrator
Don Goodhue, Chairman of the Planning Commission
Michael LePage, Planning Commissioner
Julie Wendt, Planning Commissioner
Gail Lehman, Planning Commissioner
Marc Weiner, Community and Planning Director
Ashley Hobson, Contract Planner

By Email to:
Chip Rerig (crerig@ci.carmel.ca.us)

Marc Wiener (mwiener@ci.carmel.ca.us)
Ashley Hobson (ahobson@ci.carmel.ca.us)

City of Carmel-by-the-Sea
Monte Verde Street
Between Ocean & Seventh Street

Re: Michael and Frances Henkel
DS 16-378 Proposed Plans dated November 1, 2016
NE Corner of 9th Avenue and Monte Verde
Block: 94; lot: 20
APN: 010-193-009

Dear Ladies and Gentlemen:

I am a resident and vote in the City of Carmel-by-the-Sea. My name is David D. Hutchings and my wife and I have owned our Carmel home at Lincoln 3 NW of 9th for approximately 12 years (since 2004). I am writing you to respectfully request that at the December 14, 2016 Planning Commission hearing that the proposed plans of Michael and Frances Henkel dated November 1, 2016 be rejected in their entirety due to numerous material issues, inconsistencies and contradictions with the Carmel-by-the-Sea Residential Design Planning Guidelines.

As a quick background regarding my Carmel home, as with many other neighbors my home is a historic home and is listed on the Carmel Historic Inventory. Unlike most if any of my neighbors or others in Carmel, my Carmel home is also listed in the **State of California Register of Historic Resources** (please see Exhibit A).

On December 1, 2016 I quickly took a picture using my cell phone from my window towards the corner of 9th and Monte Verde and the historic Murphy house (please see Exhibit B). Currently (except for the temporary netting which became askew and fell during the weather we recently had) one could look into the open space and "see through" to the historic Murphy house. This view will be completely blocked by the building's northeast mass if the proposed plan is approved.

I also took two pictures from 9th street to my property (please see Exhibit C and Exhibit D). Please note in Exhibit C and in Exhibit D that my Historic Carmel Home which is the larger of the two homes on the left in those exhibits, was designed in 1935 for views and the afternoon sun from the significant corner window and a smaller standalone window. These two pictures were taken as I was leaving for a couple of days accordingly the blinds in my main corner windows are completely closed. When I am at home the blinds are always open both day and night. As can readily be concluded the proposed development's north mass and second story would materially infringe on my privacy both in the day time and especially at night and significantly impact my historic views.

Re: Michael and Frances Henkel
DS 16-378 Proposed Plans dated November 1, 2016
December 7, 2016
Page 2 of 4

My Privacy and View Concerns

The effect of the proposed Henkel plans on the privacy and views of my Carmel home as a result of its mass and location has not yet been taken into consideration by the Architect, the City Staff, or the Planning Commission. But there is significant impact.

Since owning my Historic Carmel home, I have solely and exclusively utilized the corner room that you see in Exhibit C and Exhibit D as a den / office. There is also a bathroom there having an exterior window. Exhibit B is the picture that I took of the view that I have had from my desk area for the last 12 years and where I find myself most of the day and evenings working on my computer and enjoying the views of the "open space" and the "historic Murphy House" (exclusive of the temporary netting).

The objectives of the Carmel-by-the-Sea Residential Design Planning Guidelines ("Guidelines") include maintaining privacy of indoor and outdoor spaces in a neighborhood as well as to maintaining open views and views to landmarks. As neighborhoods develop, the Guidelines specifically state retaining privacy in spite of new development is a foremost objective.

The Guidelines specifically state that new building mass needs to be located to maintain the current views through the site from other properties. The Guidelines specifically state that new buildings should be located so that they will not substantially block views enjoyed by others.

The Guidelines' objective is to preserve open space and to avoid excessive mass and bulk. If the proposed November 1, 2016 plans are approved, the unique view that I have had for 12 years to open space and the landmark historic Murphy House (which is also a key feature of Carmel's design traditions), would be completely taken away. The Guidelines intent is to protect this view that I have had for 12 years. Considering the proposed Henkel new structure has not been built but is in the planning stages on a large and mostly usable vacant corner lot, there is no reason that important objective should not be adhered to.

The north facing window of the proposed second story enables someone to have an unobstructed view to the interior of my corner room and bathroom (please see Exhibit E). This invasion of my privacy would be even more enhanced in the evenings when my lights are on and it is dark outside. The Guidelines specifically discourage such views and provides that my privacy should be protected. Further, it is stated in the Guidelines that a new building should be situated so that views and privacy of existing homes should be maintained.

It is very feasible to amend / redesign the Henkel Vacation Home plans to maintain my "through view" and my privacy by lowering the structure to a single story, moving it west towards Monte Verde Street, and have it follow the topography of the land.

Re: Michael and Frances Henkel
DS 16-378 Proposed Plans dated November 1, 2016
December 7, 2016
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My Concerns with the Proposed Building's Mass

Per the Guidelines a new building should contribute to the character and or blend into the neighborhood properties. The Henkel's proposed structure unfortunately will dominate 9th Street and the surrounding properties four of which are historical homes. I am very concerned with the mass of the elongated two story structure itself with an attached garage and its placement on the property from both the North and East (please see Exhibit E) and from the South (please see Exhibit F).

The proposed structure is nothing more than a large elongated mass that as discussed in the preceding section, interferes with the enjoyment of existing open space and existing views, interferes with the privacy of neighbors, and is not in scale in proportion to the area of the site. The Guidelines specifically state that such a large, expansive building mass should be avoided.

Keeping the actual needed mass in scale for this building can be easily achieved by building less than the requested floor area, constructing even more floor area below grade as long the basement does not interfere with the roots of trees, and detaching and constructing the garage below grade. Further, since this lot is a slopping lot floor levels should be stepped to follow the site grade.

Without a doubt the proposed plan has one extremely oversized element that makes the structure appear massive in height, interferes with the enjoyment of existing open space and existing views, interferes with the privacy of neighbors, and is not in scale in proportion to the area of the site and this is the second story bedroom towards the east of the property which is at the highest grade of the parcel (please see Exhibit F). In my opinion the structure should be redesigned as a one story or a least relocate the second story bedroom downhill at the most westward portion of the parcel towards Monte Verde.

Second Story "Roof Top Deck" and "Green Roof"

The second story "roof top deck" and it's adjacent "green roof" for this proposed Vacation Home both contribute to the overall elongated mass of the structure (please see Exhibit F). It is my position that the ostentatious and "open" second story deck will without a doubt not only interfere with the north, east, and south neighbor's enjoyment and privacy of their property but will also lend itself to large parties creating significant noise echoing throughout the neighborhood to surrounding homes such as mine. I ask the Planning Commission why cannot the Henkel's Vacation Home be redesigned with a reasonably sized "porch", balcony", or "veranda" which would then reduce the mass of the structure, would help the structure blend in to its surrounding environment without dominating the surrounding homes as it currently does, and will help to ensure continued quietness and tranquility to all the surrounding neighbors? I would hope that the Planning Commission and the City Staff will specifically address this issue and look towards a single-story home having either a "porch", balcony", or "veranda", rather than a second story open deck as proposed.

Regarding the "green roof" (please see Exhibit F) I questioned and pointed out my concern that this space which undoubtedly will be a grass/sod rooftop could be readily used as additional living space and that it is nothing more than an extension of the "roof top deck" without counting it as floor space. If the second story remained I suggested a retaining wall and Marc Wiener agreed writing to me that in this case the Building Official has determined that the green roof could be utilized as a living space, hence, a retaining wall is required between the second story "roof top deck" and the "green roof". I would suggest that the Planning Commission mandates that there be a permanent solid wall at least four feet high to prevent and help ensure misuse of the "green roof" area as an extension of the "roof top deck".

Re: Michael and Frances Henkel
DS 16-378 Proposed Plans dated November 1, 2016
December 7, 2016
Page 4 of 4

In Conclusion:

The Henkel's main home and place of employment is in Chicago Illinois. Mr. and Mrs. Henkel are proposing to build a "vacation home" in Carmel that takes away and interferes with the views of existing properties and infringes on the privacy of their neighbors who are residents of Carmel. The proposed structure's mass does not blend in but rather dominates 9th Street and the neighboring properties.

In numerous and significant ways, the Henkel's proposed plans are inconsistent and contradictory to the stated objectives of the Carmel-by-the-Sea Residential Design Planning Guidelines.

At the October 12, 2016 Planning Commissioner hearing regarding the Henkel's original proposed plans:

1. Commissioner Michael LePage made the last comments of the evening summarizing his views and the views of the other Commissioner indicating that the current proposed plans for the home had significant impacts in terms of:
 - A. **"Views"** especially if a second story was to remain. Michael asked the architect to **think about a one story;**
 - B. The Tree, meaning the basement and the basement's impact on the Cypress tree; and
 - C. The **"Mass" along 9th Street.**
2. Michael's motion which was passed was to continue the application and have the architect come back with another design that addresses the direction that the planning commission gave that evening.
3. Michael stated that he encouraged the architect to:
 - A. Work with the neighbors;
 - B. Keep the neighbors abreast of the changes made; and
 - C. Get input from the neighbors prior to coming back so that **the project is supported by the neighbors.**

To the best of my knowledge **NONE** of the six neighbors surrounding the Henkel's property support any portion of the Henkel's November 1, 2016 proposed plan.

Accordingly, I am writing you to respectfully request that at the December 14, 2016 Planning Commission hearing that the proposed plans of Michael and Frances Henkel be rejected in their entirety due to numerous material issues, inconsistencies and contradictions with the objectives of the Carmel-by-the-Sea Residential Design Planning Guidelines.

Sincerely,



David D. Hutchings
Lincoln 3 NW of 9th
Carmel, Ca. 93921

DDH-by-the-Sea

Built in 1935

Is Listed in the California Register of Historic Resources

Architect: C.J. Ryland

Builder: Miles Bain

Owners:
David D. Hutchings
Debra D. Hutchings
Douglas D. Hutchings

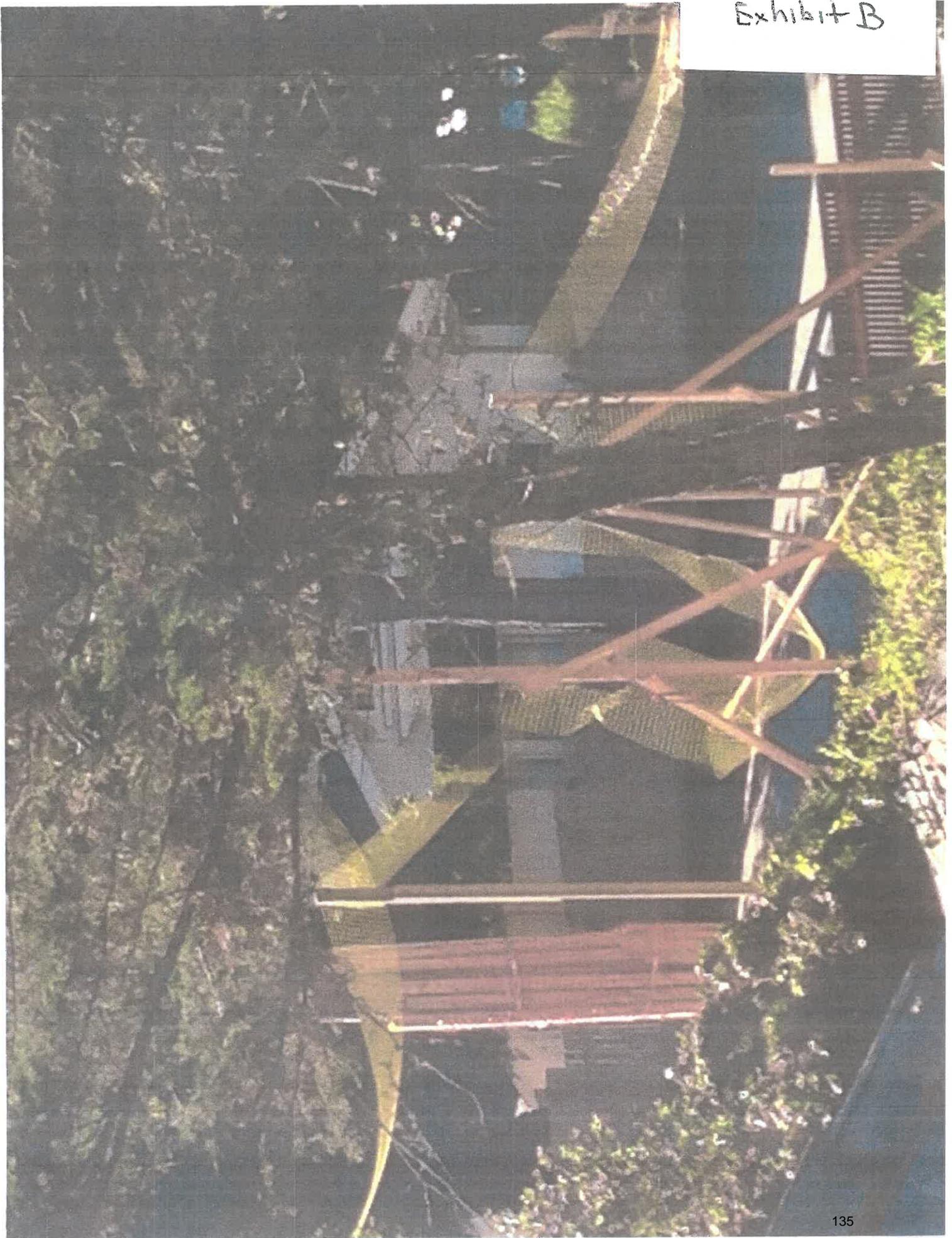
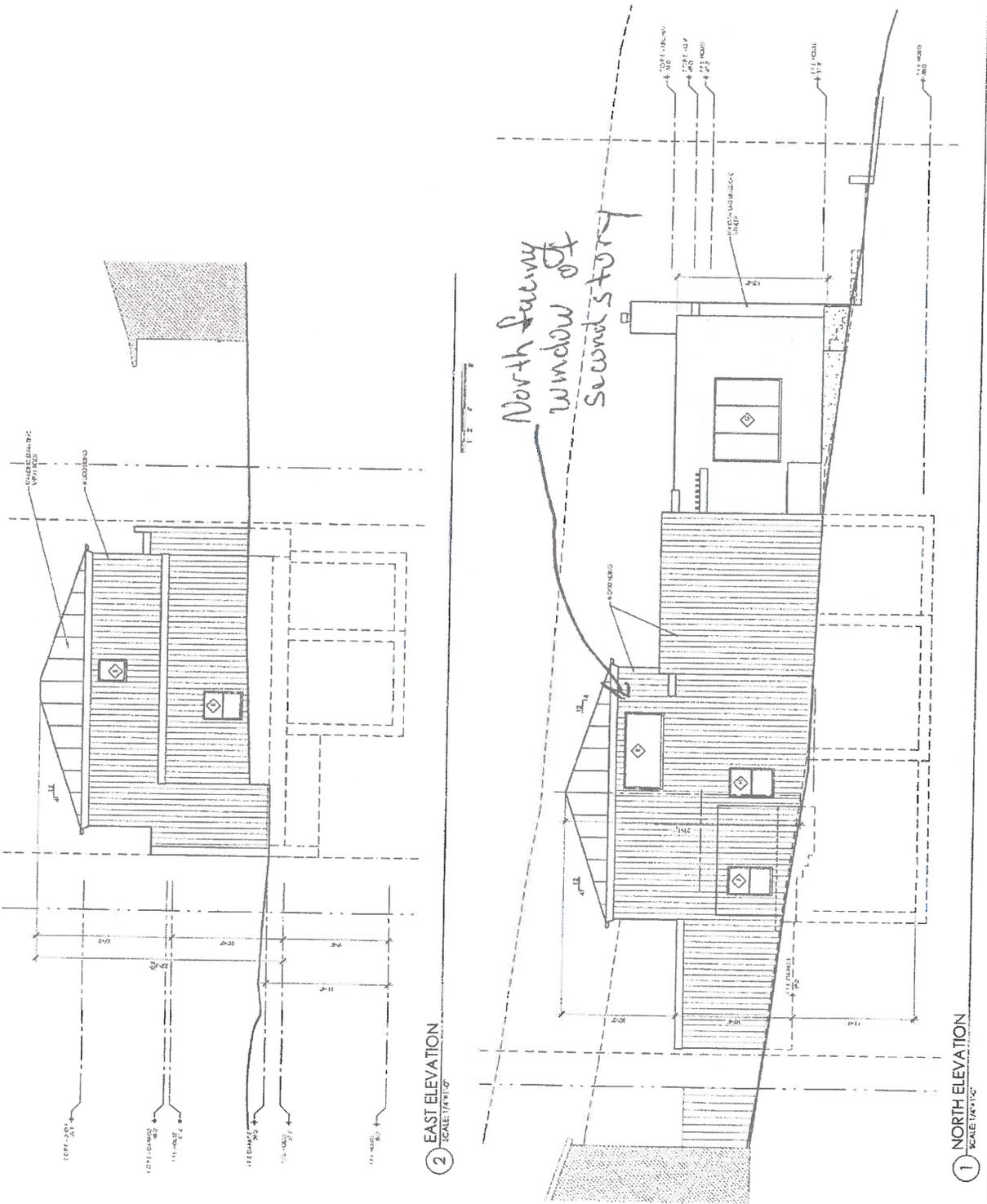


Exhibit C

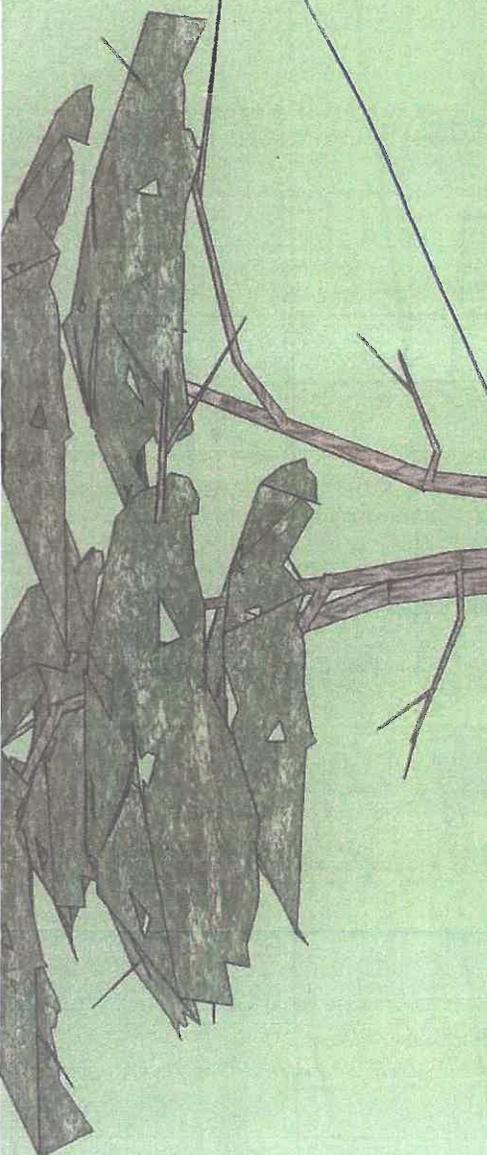


Exhibit D





Does the building code require a retaining wall be located here and if so how high?



David D Hutchings, CPA

To: Marc Wiener (mwiener@ci.carmel.ca.us); Chip Rerig (crerig@ci.carmel.ca.us); Ashley Hobson
Subject: Marc - You Need to Read Carmel Guidelines more closely
Attachments: Carmel Residential Guidelines Effective May 2001.pdf

Importance: High
Sensitivity: Confidential

Marc:

Thank you for calling me and explaining what happened regarding the incorrect issuance of an unlabeled "draft" Staff report to the Pubic.

You indicated in our discussion that the Guidelines (see copy attached as a PDF) indicated that it is Ocean Views that are important to protect, and I took immediately disagreement with that statement indicating that was not a full and complete response in accordance to the Guidelines.

Since this is a timely request, please include this entire email in the packet to the Planning Commissioners

Below are brief excerpts from the Carmel Design Guidelines a copy of which I have attached as a PDF. These comments were taken from two sections in the Guidelines being:

1. Privacy, Views, Light and Air; and
2. Building Mass, Scale and Form

Objectives are:

1. To maintain privacy of indoor and outdoor spaces in neighborhood;
2. To balance and share view opportunities to natural features and landmarks (historical homes);
3. To maintain the massing and scale ;
4. To keep building scale in proportion to the area and site.

Other Comments in Guidelines in those two sections that are applicable:

1. Position a building to screen activity area of adjacent properties were feasible;
2. Locate windows and balconies such that they avoid overlooking active indoor and outdoor use area of adjacent properties;
3. Views to natural features and landmarks are key features of Carmel's design traditions;
4. Important views occur to the ocean, canyons AND ALONG STREETS;
5. Protecting views is an important community concern and this includes views from public ways as well as those through properties;
6. Designs should protect the light, air, and open space;
7. Incorporating tall or bulky building elements (second story) near the property line of an adjoining property site should be avoided;
8. Discourage overlooking active outdoor area on adjacent properties;
9. A new building should be cited to maintain views from existing homes ;
10. Locate buildings so they will NOT substantially block views enjoyed by others
11. Maintain views through a property to natural features;
12. Consider keeping the mass of a building low in order to maintain views over the structure;
13. Consider using a compact building footprint to maintain views along the sides of a structure;
14. A new building should appear similar in scale. Large complex structures and those with continuous blank surfaces can appear massive and should be avoided;
15. A building should not dominate the street or neighboring properties.
16. A large building mass can block views, interfere with the enjoyment of open space and restrict free passage of light and air therefore a large expansive building mass should be avoided;

17. Keeping the actual building mass in scale is the best approach and this can be achieved by building less than the allowed floor area; constructing some floor area below grade; avoiding excessive roof volume and keeping above-ground floor levels close to grade.
18. Adopt design guidance that establish maximum limits on site coverage and floor area to preserve open space and avoid excessive mass and bulk.
19. Establish provisions to preserve open space, vegetation, natural landforms and the character of surrounding neighbors
20. Large building masses should be divided such as using a detached garage;
21. Minimize the mass of a building. Build a garage below grade;
22. On sloping lots, floor levels should be stepped to follow the site grade;
23. Presenting a one-story height to the street is encouraged.
24. Locate two story elements downhill.

I could go on and on but hopefully both you and the Commissioner's will read the above as well as the actual full and complete Guidelines. After doing such you will readily ascertain that the proposed November 1, 2016 plans do not take the majority if not all into consideration.

Thanks

David D. Hutchings,
ddhutchcpa@aol.com

Lincoln 3 NW of 9th

City of Carmel

Re: DS 16-378, Henkel, design by A Jeselnick

NE corner of Monte Verde and 9th

Block 94, lot 20; APN 010-193-009

Attn: D Goodhue, K Patterson, M. LePage, J Wendt, G Lehman

Dear ladies and gents:

As a full time Carmel resident, I'm writing in support of my neighbors and neighborhood up the street. Regarding the project at Monte Verde and 9th, I sincerely hope you will advocate for reasonable modifications to the proposed design. I am a huge fan of contemporary architecture, and for welcoming new neighbors to make their new home a haven they will love as much as I love mine. Even so, I can see that the proposed design completely outsizes in scale the homes around it. Most importantly, with the tall second story and proposed roof deck design, it negatively impacts views, light plane, and neighbors' privacy. The lot and location does not support a tall box at the highest point of the lot that impacts the neighbors in that way.

I have come to understand and appreciate the long history in Carmel of city planners encouraging neighborly scale and community friendly elevations in lieu of bulky and outsized "look at me" new residences. Indeed, that is part of the charm of Carmel. Perhaps the two story tall portion could be reversed on the site to be at the lowest part of the block, and thereby not block the neighbor's views or light plane as much. Or some excavation, with a lovely single story home sloping down the lot, with a glassed in rooftop that, again would allow current neighbors to keep the light and views they now have, and reduce the impact on their yards and privacy? Please encourage the owners to look at the many homes on 9th, and other down sloping roads to see what other homes in the neighborhood have done to work with the slope and make allowances to the views and light enjoyed by their neighbors. For a 4k lot, the size and scale is just excessive. It is no wonder they did not use the usual orange netting when they constructed the storyboard rendition.

Thank you very much.

Paula Robichaud, San Antonio, 3 SW of 9th

DS16-378, Henkel Proposed Residence

Corner of Monte Verde & 9th

APN#010-193-009

December 8, 2016

City of Carmel-by-the-Sea
Planning Division & Planning Commission

Attn: Don Goodhue, Chair, Michael LePage, Julie Wendt, Gail Lehman and Karen Sharp and city staff
Marc Wiener and Ashley Hobson

Cc: Chip Rerig, City Administrator

My husband and I are the owners of the residence to the immediate north of the planned home at the corner of Monte Verde and 9th Avenues. We add our voices to the letter from David Hutchings, which was delivered to City Council Headquarters. We agree with his findings and want to add our perspective.

We appreciate the opportunity to express our perspective and remain hopeful that the commission will insist on a design that addresses our concerns.

We strenuously object to the current design, in particular to the second story of the house. We also witnessed that the architect was directed in the October Planning Commission meeting to meet with the neighbors and come back with a design that addressed their concerns. We understand that it should not be construed to mean that the owner/architect should be beholden to our wishes; but as members of the neighbor group that has been working in response to the design, we can state clearly that this directive was not met. The architect did meet with us once, and our team drafted and submitted a letter listing our concerns. **Our group's letter was written with a full knowledge of the Carmel Design Guidelines and does not ask for anything beyond what is stipulated in that document.** Upon seeing the second iteration of the plans it was clear that the response bears little if any testimony to an attempt to address our concerns and objections to the design.

We as individuals and as members of a team have spent many hours working to study and understand the design and its impacts on our neighborhood. It is disappointing that the architect and owners have done little to ameliorate our legitimate concerns.

We have reviewed the proposed changes to the architectural drawings and we see that the property owners have made "tweaks" (their words) to their original design. We have also visited the site and have viewed the stick structure that shows the dimensions of the project; and one of us (Nancy) had a phone meeting with one of the owners, Mrs. Henkel to discuss and get a good understanding of the changes. We also received a mock up that Mr. Henkel made to show the angle of the sun at noon and agree that

Nancy Strom & Gavin Miller, Owners of Mariposa House, Monte Verde 2NE at 9th
Home Address: 980 Russell Avenue, Los Altos, CA 94024
Phone: 650-906-5931 Email: Nancy94024@gmail.com and DrGavin@aol.com

DS16-378, Henkel Proposed Residence

Corner of Monte Verde & 9th

APN#010-193-009

the plans do not completely block the sun, if the mock up is correct. However we still have significant objections.

As stated in our letter of October 12, 2016; we still find that the height and placement of the structure will negatively impact our right to Views, Light and Air, as specified in the Carmel-by-the-Sea Site Planning Guidelines, Section 5.1, page 29. The second story of the house looms large over the back yard of our home, and blocks the view of the sky from the yard and our family room.

Additionally, the rooftop deck is visible from our bathroom, creating an invasion of our privacy; into one of the most sensitive areas of our home. The rooftop also is visible from the window of our daughter's bedroom. It is not clear whether the portion of deck that is visible from our daughter's bedroom is that of the rooftop deck or the adjacent rooftop greenspace. Clarification of what space is visible into our daughter's room is required. And if that rooftop area is greenspace then it needs to be clearly separate from the rooftop deck and inaccessible in order to maintain our child's right to privacy.

We further assert the points made in our letter of October 12. These are stated below:

Our access to light from the southern exposure and to views from the front of our home will be extensively blocked by the massive home proposed to the immediate southern edge of our property. The city's guidelines instruct that "the desire to maximize view opportunities from one's own property must be balanced with consideration of respecting the views of others." And, further: "designs should also preserve reasonable solar access to the neighboring parcels. Designs should protect and preserve the light, air and open space of surrounding properties, when considered cumulatively with other buildings in the neighborhood. Incorporating tall or bulky building elements near the property line of an adjoining site should be avoided."

Sincerely,

Nancy Strom & Gavin Miller

Nancy Strom & Gavin Miller, Owners of Mariposa House, Monte Verde 2NE at 9th
Home Address: 980 Russell Avenue, Los Altos, CA 94024
Phone: 650-906-5931 Email: Nancy94024@gmail.com and DrGavin@aol.com

December 8, 2016

Chip Reig, City Administrator
Don Goodhue, Chairman of the Planning Commission
Michael LePage, Planning Commissioner
Julie Wendt, Planning Commissioner
Gail Lehman, Planning Commissioner
Marc Weiner, Community and Planning Director
Ashley Hobson, Contract Planner

Email: Marc Wiener - mwiener@ci.carmel.ca.us

City of Carmel-by-the-Sea
Monte Verde Street, Between Ocean and Seventh Street
Carmel-by-the-Sea, California 93921

Re: DS 16-378 (Henkel)
Adam Jeselnick, Architect
NE Corner of 9th Avenue and Monte Verde
Block: 94; Lot:20
APN: 010-193-009

Dear Ladies and Gentlemen:

The Brownie was built in 1905 and is a historic Carmel home, located on Monte Verde Street, 2 NW and 9th Avenue. I have owned the Brownie for 30 years. My wife, Sherrie Iverson, and I are concerned about the physically overwhelming structure and some of its aspects proposed by the property owners Michael and Frances Henkel and their architect, Adam Jeselnick. It is apparent to us that it will have a negative impact on our privacy, peace of mind and to our neighborhood.

In the October 12, 2016 staff report, there was no mention of how the proposed plan might effect the neighbors on the west side of Monte Verde. Please take the time, during your December 14 site visit to view the site from the front of our property.

Mass and Bulk

We are apposed to the mass and bulk of the proposed structure, specifically the west facing perspective. The proposed house is roughly twice the size of our home and does not relate to the size of surrounding homes. The proposed plan is not in accordance with Guidelines 7.1 though 7.6. A single story structure would resolve this issue.

Our property on Monte Verde slopes downward from the street, putting our home below the street level. Looking up from our view point, the proposed block structure will appear massive.

Roof Top Deck

At anytime, day or night, a small or large gathering of people on the deck will encroach on our privacy. As stated above, our property slopes downward from the street. People on the roof top deck will be able to peer down into our home and yard.

Unobstructed by buildings and trees noise from a high open elevation will travel a long distance. This is our own experience with a house about a block from our home. The owner's rooftop gatherings and parties, small and large, can easily be heard by us, keeping us awake at night. Whole conversations can sometimes be heard. Their parties and gatherings on many occasion have lasted well in the morning hours.

Sod Roof

The sod roof should have a retaining wall to keep the area from being used as part of the roof deck.

We went away from the October 12 meeting believing that the revisions requested by the planning commission would be reflected in the Henkel's revised plans — there was only a minuscule offering of changes.

The solution to our concerns and our neighbor's concerns is for the Henkels to redesign their home as a single story house.

Sincerely,

Carl and Sherrie Iverson
Monte Verde Street, 2 NW and 9th
Carmel-by-the-Sea

December 7, 2016

Marc Wiener, Community Planning & Building Director
Chip Rerig, City Administrator
City of Carmel-by-the-Sea
East Side of Monte Verde Street
Between Ocean & Seventh Avenues

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DEC 08 2016
City of Carmel-by-the-Sea
Planning & Building Dept.

Re: DS 16-378 (Henkel)
Adam Jeselnick, Architect
NE Corner of 9th Avenue and Monte Verde
Block: 94; lot: 20
APN: 010-193-009

Dear Mr. Wiener and Mr. Rerig:

Let me respectfully say this is our third letter to the City regarding the proposal referenced above to build a two-story home across the street from our family home on 9th and Monte Verde Street. We have resided in this home, originally built in the 1920's and remodeled in 1994, since 2011. We live in Carmel-by-the-Sea full time, this is not a vacation home.

We were first notified of the October 12th Planning Commission Hearing by a flyer that was placed on our front gate sometime in early October. At no time did the architect, nor his clients, attempt to make contact with us prior to the Planning Commission Hearing. Carmel's own Residential Design Review Guidelines strongly encourage developers of new homes to reach out to their neighbors during the design phase in order to be mindful of their proposed design's impact on the neighbors' privacy, light, and views. Commissioner Michael Le Page echoed those exact sentiments expressly when he concluded the 10/12/16 Commission Hearing.

Per the request from the Commission, and as a result of the hearing, we neighbors had a site meeting with Adam Jeselnick on 10/22/16. We voiced our numerous concerns and objections to the plans that were presented at the first Hearing. Each of the neighbors enumerated specific points of concern on that day, and Nancy Strom (the north-most neighbor) sent a follow-up a letter of memorandum to Adam for his clients. She also copied the planning staff on the letter.

Naturally we assumed that any revised or new plans would reflect an attempt to ameliorate some of our and our neighbors objections and points of concern. They did not. The Jeselnick revised plans were changed very little and, frankly, not changed in the direction the Commission had advised. This surprised me since Mrs. Henkel called on 10/25/16 and we discussed their proposal and our specific concerns and objections.

I explained that my husband and I reside in our home full-time and that we are still adjusting to the loss of privacy from two significant screening trees that shielded us from the homes to the north. I recounted that the trauma from the extended drought, destroyed our heritage oak tree last March. What was once a huge source solace and privacy for our home and yard is now gone. Additionally, I mentioned that another mid-

size screening oak tree on our neighbor's property across the street had been relocated in 2015 to make way for remodeling.

So now, given the lack of screening foliage from these two mature trees, we have little privacy from the street level. There will be no privacy for us after, and if, an imposing two-story building is built at the top of the grade with a master bedroom suite which includes several floor to ceiling windows, a large roof deck, and an attached green roof where someone can sit or stand overlooking our home and yard, as well as, most of our neighbors. This home design as it now demonstrates runs counter to what Carmel's own Residential Design Guidelines promote.

We implore the Planning Commission to direct the architect and owners to redesign their project and vacation home with a single-story plan that will not adversely interfere with the enjoyment and privacy and view planes that we've come to expect as local residents. The home as now designed would be better suited to another Carmel neighborhood with larger lots, such as Carmel Point where the homes are not as densely packed.

In conclusion, we hope the Commissioners can appreciate our and our neighbors affinity for the existing balance and neighborly scale of the streetscape on 9th and Monte Verde. The Jeselnick building proposal for this lot and this location is aesthetically out of balance for its immediate surroundings.

The structure's height, bulk, and mass is over-weighted at the top of grade, with the second-story master bedroom suite appearing tower-like from the street which significantly minimizes the understated character of the surrounding four historic homes, as well as, our own 1920's cottage. It would seem to us that the very talented Mr. Jeselnick could work with his clients and come up with a proposal that is better suited to the setting and addresses our significant concerns for privacy and an aesthetically balanced streetscape.

Thank you in advance for your timely consideration.


Maria

Sid



Maria and Sid Matlock
2 SW Ninth & Lincoln
Carmel-by-the-Sea, CA
831-298-0042

ATTACHMENT A

ROOFANDECK



MATLOCK HOME ON ST. 2-SW LINCOLN
PHOTO TAKEN FROM INSIDE OUR HOME THE
CAMERA PERSPECTIVE IS FROM THE HIGHEST
PART OF THE GRADE FOR PROPOSED HENKEL HOME



ATTACHMENT B

**ROOF TOP DECK
SECOND STORY
HEIGHT @ 24 FT.**

GARAGE

ONLY YARD SPACE

**PHOTO
TAKEN**

FROM OUR DECK

**MATLOK HOME 947 ST. 2 SW LINCOLN
PHOTO TAKEN FROM INSIDE OUR HOUSE,
PERSPECTIVE AT THE HIGHEST PART OF,
THE GRADE FOR PROPOSED HENKEL HOME**



December 7, 2016

Marc Weiner, Community & Planning Director
Ashley Hobson, Contract Planner
Chip Rerig, City Administrator
City of Carmel-by-the-Sea
East Side of Monte Verde Street
Between Ocean & Seventh Avenues

Re: DS 16-378 (Henkel)
Adam Jeselnick, Architect
NE Corner of 9th Avenue and Monte Verde
Block: 94; lot: 20
APN: 010-193-009

Attn: Don Goodhue, Chair, Keith Paterson, Vice-Chair, Michael Le Page, Julie
Wendt and Gail Lehman

Dear Mr. Weiner and Ladies and Gentlemen:

I reside on the S.E. Corner of Monte Verde St. & 9th Ave. in the historic M. J. Murphy home and oppose the construction of a two-story home with a parapet or roof deck, as it would interfere with my privacy.

Secondly, a single-story home is better suited to the lot site and more in keeping with the character of the Carmel we all know and love. I have lived in Carmel for 45 years and moved here because of that neighborly charm and character. The proposed Adam Jeselnick design is simply too bulky, massive and tall for the surrounding neighborhood setting. The proposed two-story design with a roof deck and green roof will certainly interfere with my own enjoyment and privacy from my north facing living room windows and my backyard. This is counter to the City's Residential Design Guidelines that have been in effect for years.

Thank you for your attention to my concerns.

Sincerely,

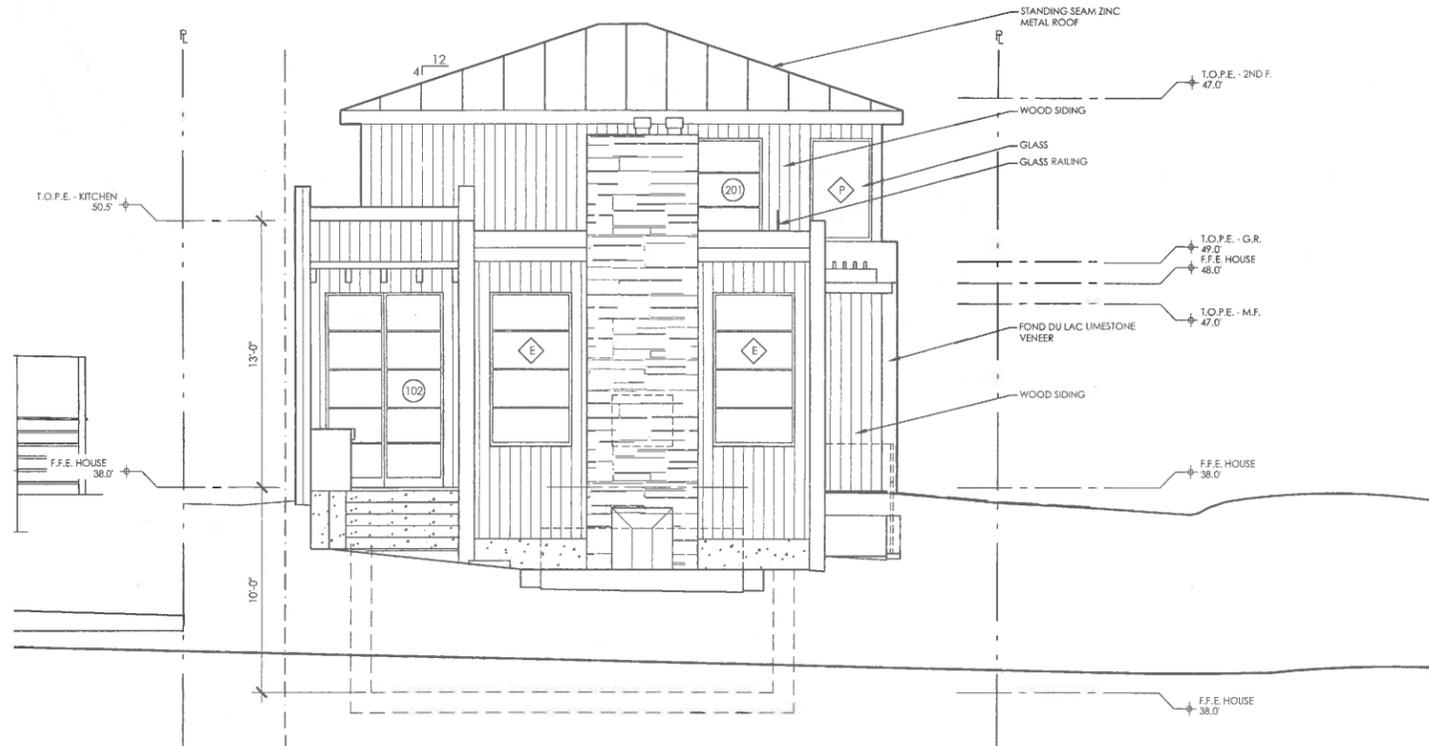


Charlotte Tolhurst
(831) 601-9379

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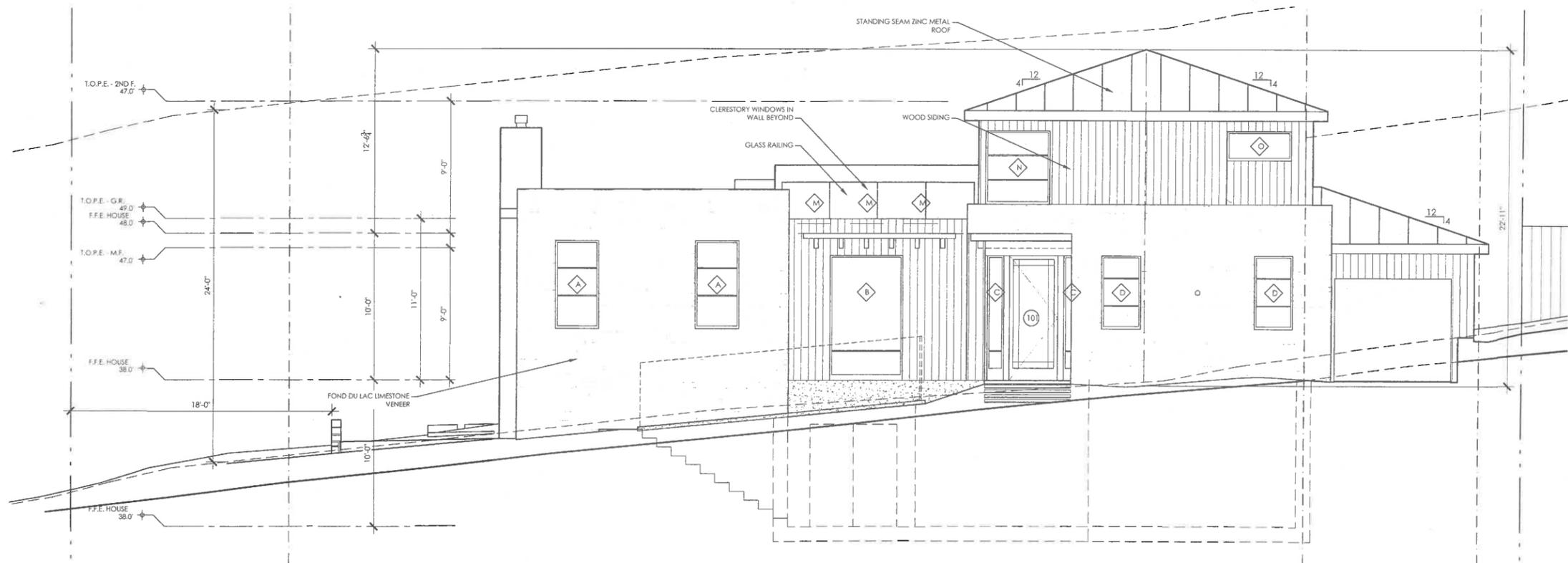
DEC 08 2016

City of Carmel-by-the-Sea
Planning & Building Dept.



ELEVATION NOTES:

2 WEST ELEVATION
SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

ADAM JESELNICK
ARCHITECT



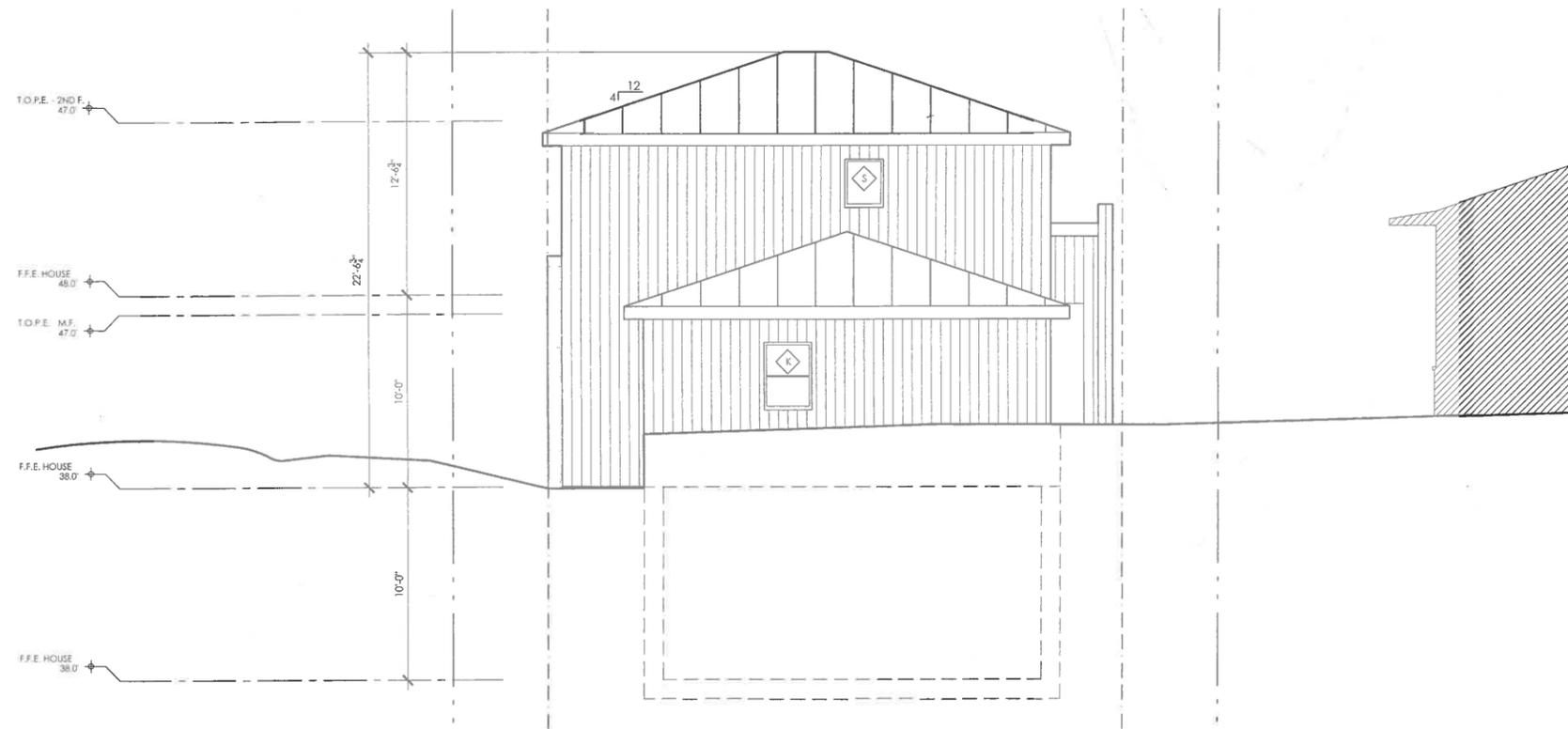
HENKEL RESIDENCE
N/E CORNER 9TH AND MONTE VERDE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROPOSED ELEVATIONS

8-31-2016

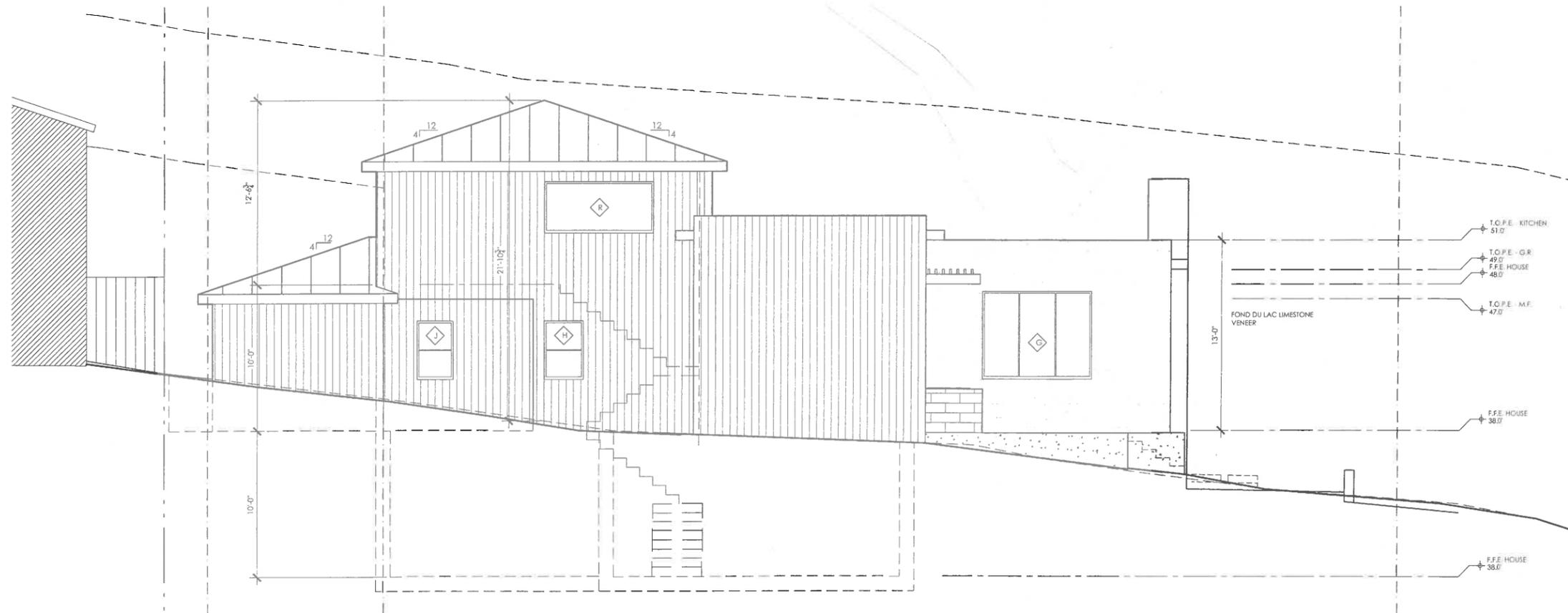
1/4" = 1'-0"

A9

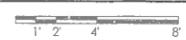


ELEVATION NOTES:

2 EAST ELEVATION
SCALE: 1/4"=1'-0"



1 NORTH ELEVATION
SCALE: 1/4"=1'-0"

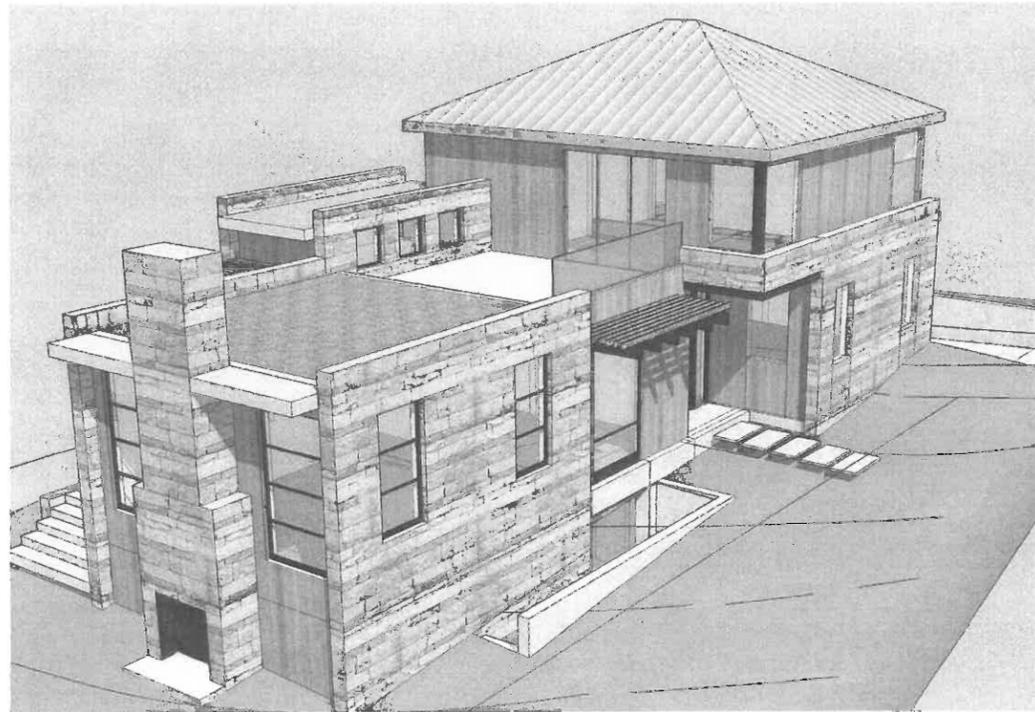


ADAM JESELNICK
ARCHITECT



HENKEL RESIDENCE
N/E CORNER 9TH AND MONTE VERDE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROPOSED ELEVATIONS
8-31-2016
1/4" = 1'-0"
A10



SCHEMATIC DESIGN

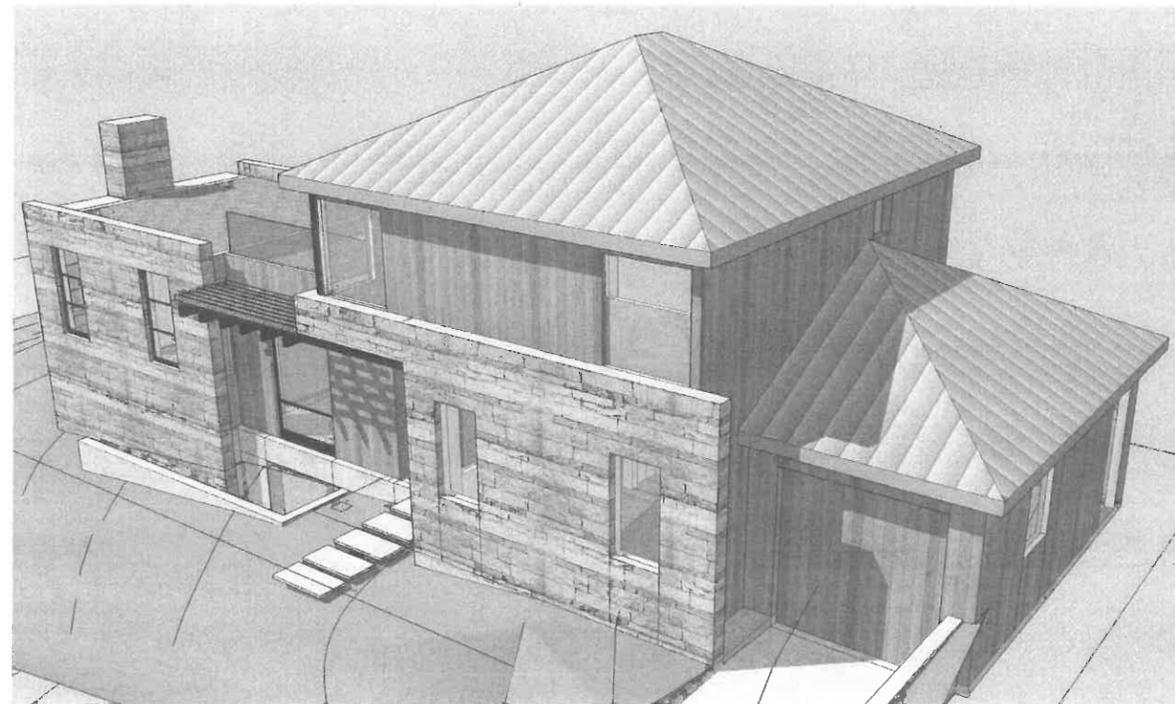
HENKEL RESIDENCE
N/E corner Monte Verde + 9th

Carmel-by-the-Sea, California



NORTH
ADAM JESELNICK
ARCHITECT

Project Number: 1603
Date: August 27, 2016



ADAM JESELNICK
ARCHITECT



HENKEL RESIDENCE
N/E CORNER 9TH AND MONTE VERDE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

RENDERINGS

8-31-2016

N.T.S.

A11

GENERAL NOTES

PROJECT DATA

SCOPE OF WORK:
 CONSTRUCT NEW 2-STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE AND BASEMENT. NEW DRIVEWAY, WALKWAY, STONE TERRACE, AND OUTDOOR GAS FIREPLACE. SITE IMPROVEMENTS AS NOTED ON PLANS.

CONSTRUCTION TYPE: V-B
 OCCUPANCY: R-3
 FIRE SPRINKLERS: YES
 WATER: CAL-AM (E)
 SEWER: CARMEL AREA WASTE WATER DISTRICT (E)

TREE REMOVAL: 1-26" EUCALYPTUS (SEPARATE PERMIT)
 GRADING: 200 CUBIC YARDS (CUT) / 40 CUBIC YARDS (FILL)

SITE COVERAGE CALCULATIONS:

EXISTING NO EXISTING SITE COVERAGE.	---
TOTAL, (E) COVERAGE: * MAX. ALLOWABLE COVERAGE =	--- SF 396 SF
PROPOSED DRIVEWAY - PERMEABLE CONC. 100 SF FRONT WALKWAY 24 SF LIGHT WELL - PERMEABLE CONC. 38 SF STEPS TO LIGHT WELL - CONC. 37 SF TERRACE + STEPS - TILE 152 SF WALKWAY + PATIO 153 SF	
TOTAL, (N) COVERAGE: * MAX. ALLOWABLE COVERAGE =	504 SF 556 SF

FLOOR AREA CALCULATIONS:

EXISTING (E) GARAGES-TO BE DEMOLISHED	363 SF
TOTAL, (E)	363 SF
PROPOSED (P) HOUSE, BASEMENT 397 SF (P) HOUSE, 1ST FLOOR 968 SF (P) GARAGE 220 SF (P) HOUSE, 2ND FLOOR 462 SF	
TOTAL, (P) SF:	2,047 SF
*NOTE: MAX. BASE ALLOWABLE AREA = 1800 SF *BONUS FLOOR AREA FOR BASEMENT = 297 SF / 2 = 148.5 SF *BONUS FLOOR AREA FOR BASEMENT = 100 SF	

SHEET INDEX

- A1 PROJECT DATA AND SITE LOCATION
- A2 NOTES AND SPECIFICATIONS, STREET ELEVATIONS
- A3 EXISTING SITE SURVEY
- A4 SITE PLAN, DEMOLITION
- A5 SITE PLAN, PROPOSED
- A6 PROPOSED BASEMENT AND 1ST FLOOR PLANS
- A7 PROPOSED 2ND AND ROOF PLAN
- A8 PROPOSED FLOOR LEVEL MAP + SCHEDULES
- A9 PROPOSED ELEVATIONS
- A10 PROPOSED ELEVATIONS
- A11 RENDERINGS

PROJECT DATA

PROPERTY ADDRESS: N/E CORNER 9TH AVE. AND MONTE VERDE ST.
 CARMEL-BY-THE-SEA, CALIFORNIA 93921
 BLOCK/LOT: LOT 20, BLOCK 94
 A.P.N. 010-193-009-000
 ZONING: R-1 SINGLE FAMILY RESIDENTIAL
 PERMITS: PSA 16-169 (HENKEL)

OWNER: MICHAEL AND FRANCES HENKEL
 159 E. WALTON PLACE, APT. 3C
 CHICAGO, ILLINOIS 60611

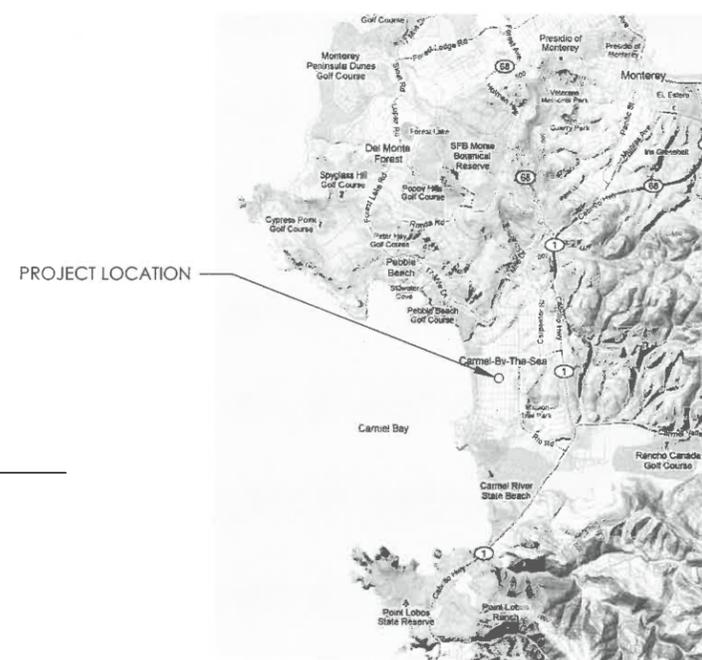
ARCHITECT: **ADAM JESELNICK ARCHITECT**
 3069 LORCA LANE
 CARMEL, CA 93923
 PHONE: (831) 620.5164 m
 CONTACT: ADAM JESELNICK AIA
 EMAIL: aejarch@gmail.com

CONTRACTOR: TBD.

RECEIVED

DEC 08 2016

City of Carmel-by-the-Sea
 Planning & Building Dept.



1 VICINITY MAP
 SCALE: N.T.S.



REVISION #

ADAM JESELNICK
ARCHITECT



HENKEL RESIDENCE
 N/E CORNER 9TH AND MONTE VERDE
 CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROJECT DATA AND SITE LOCATION

11-1-2016

AS NOTED

A1

GENERAL NOTES

1. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE; CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY: DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
2. CONSTRUCTION DETAILS NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
3. ALL CONSTRUCTION (MATERIALS, WORKMANSHIP & METHODS) SHALL COMPLY WITH TITLE 24 AND THE **2013 CALIFORNIA RESIDENTIAL BUILDING CODE (CBC)**; CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE, FIRE CODE, AND CALGREEN; AND ALL LOCAL AMENDMENTS AS ADOPTED BY CITY ORDINANCE.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
5. DEMOLITION: CONFIRM ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE/SHE WISHES TO RETAIN FOR HIS/HER USE. ALL OTHER ITEMS TO BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. SEE DEMOLITION PLANS FOR ADDITIONAL INFORMATION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
7. DO NOT STORE CONSTRUCTION MATERIALS, OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.

SPECIFICATIONS

SPECIFICATIONS AS NOTED ON THE ARCHITECTURAL AND ENGINEERING PLANS.

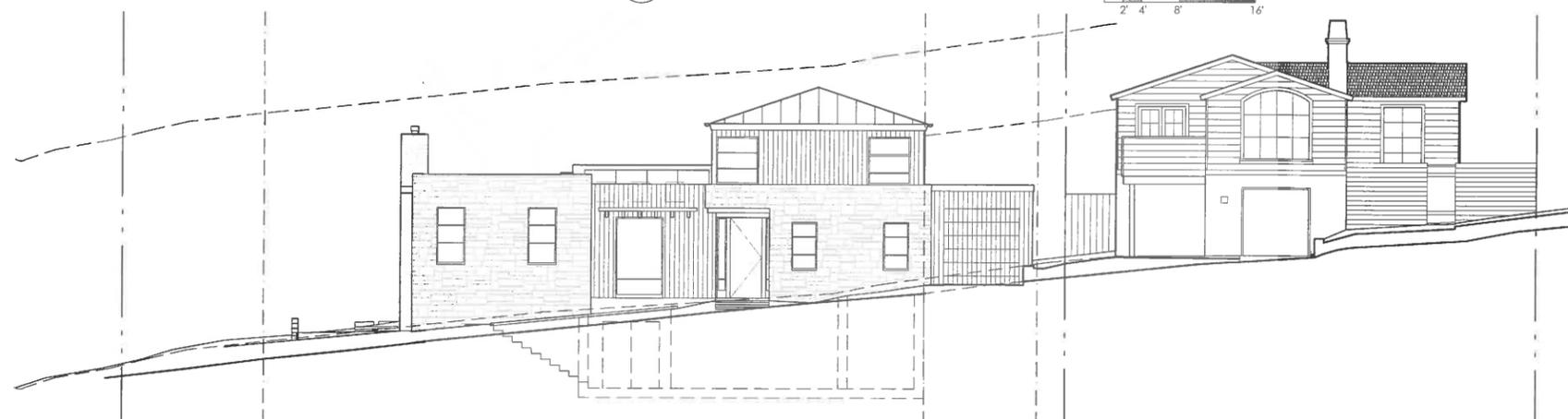
GRADING / DRAINAGE NOTES

REFER TO CIVIL ENGINEERING AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.

**CITY OF CARMEL-BY-THE-SEA
CONDITIONS of APPROVAL**



2 MONTE VERDE STREET ELEVATION
SCALE: 1/8"=1'-0"



1 NINTH AVENUE ELEVATION
SCALE: 1/8"=1'-0"

REVISION # _____

ADAM JESELNICK
ARCHITECT



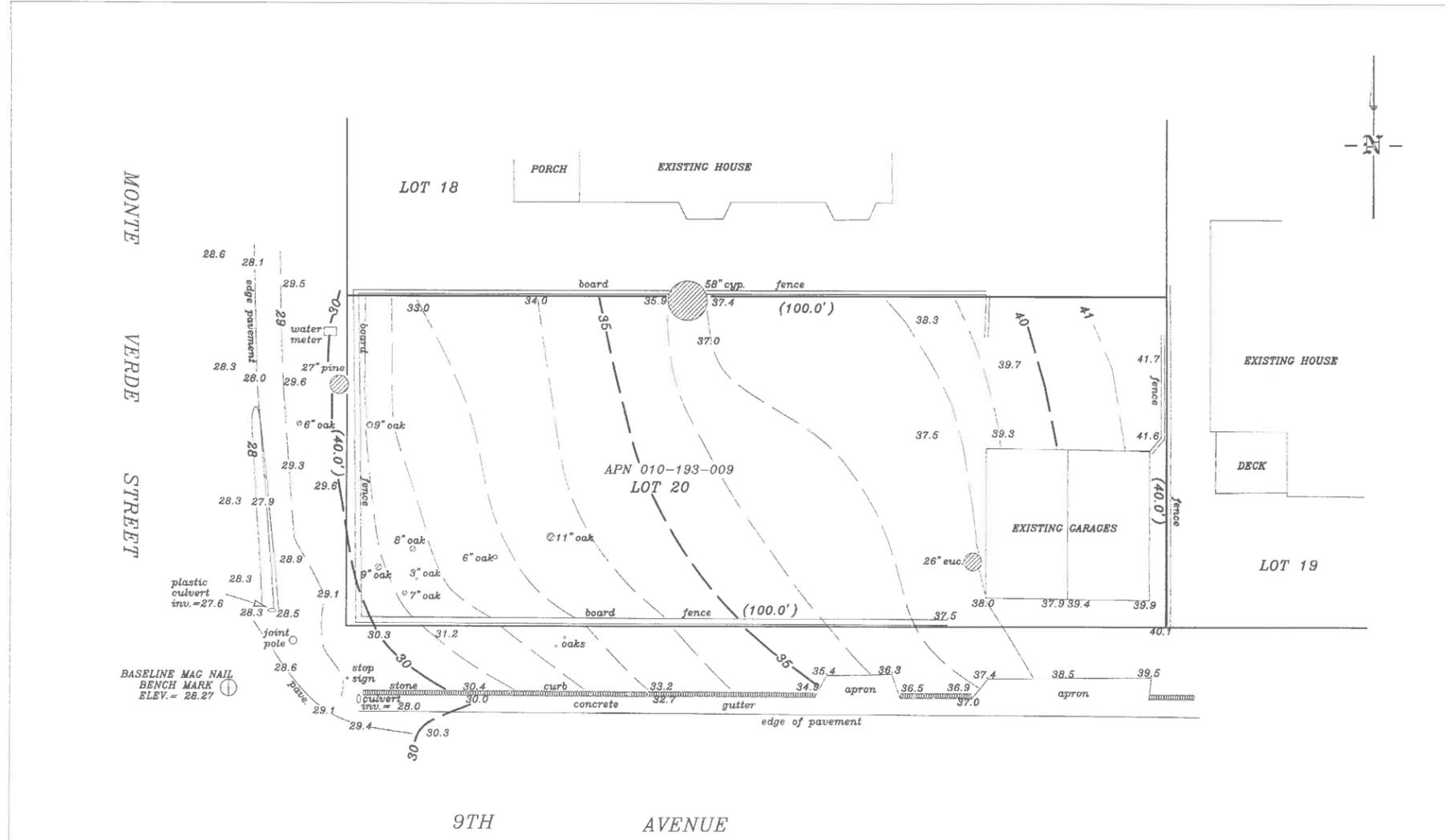
HENKEL RESIDENCE
N/E CORNER 9TH AND MONTE VERDE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROPOSED
PLANS

11-1-2016

1/8" = 1'-0"

A2



NOTES:

1. Elevation datum is assumed.
2. Points found or set are so indicated, others are shown for reference only.
3. Record data is shown in parenthesis (.....)
4. Check for direction of tree growth in field where pertinent to location of improvements.
5. Distances and elevations are expressed in feet and decimals thereof.
6. Only native trees 6" or larger have been located.
7. Easements may exist that don't show on this map.
8. Relationship of topographic features to boundary lines is approximate.
9. This map does not represent a boundary survey.



This map correctly represents a survey made by me or under my direction in March, 2016.

TOPOGRAPHIC MAP

of Lot 20, Block 94, Carmel City Subdivision, Carmel, California.

Prepared for:

MIKE & FRANCES HENKEL

Jon D. Hagemeyer Licensed Land Surveyor
Carmel, California
Scale: 1" = 8' W.O. 5727 March 21, 2016

REVISION #

1 EXISTING SITE SURVEY
SCALE: 1/8"=1'-0"



ADAM JESELNICK
ARCHITECT



HENKEL RESIDENCE
N/E CORNER 9TH AND MONTE VERDE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

EXISTING SITE SURVEY

11-1-2016

1/8" = 1'-0"

A3

PROJECT SCOPE OF WORK

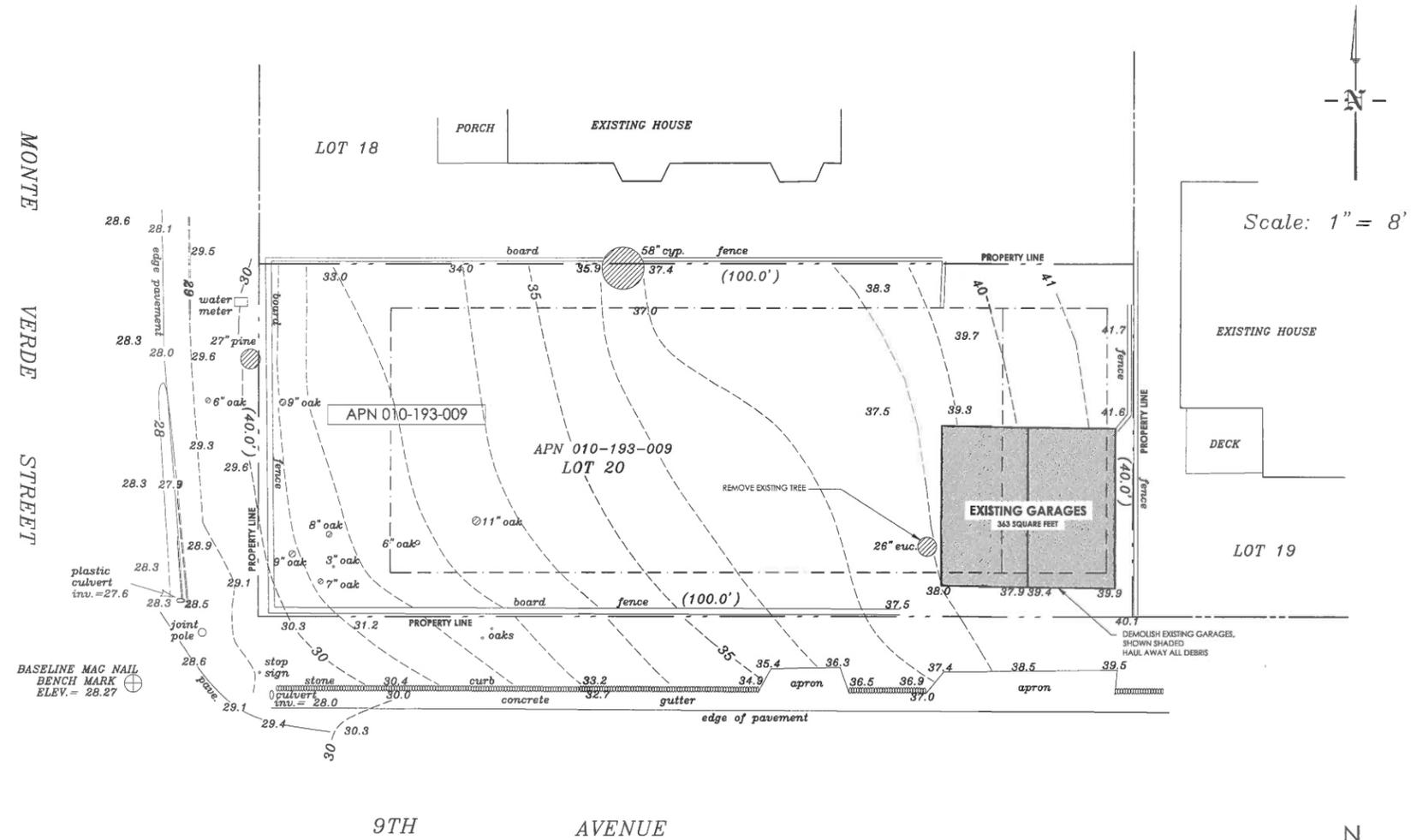
DEMOLISH TWO (2) EXISTING GARAGES (363 SF).

SITE PLAN NOTES:

1. PROTECT EXISTING TREES AS REQUIRED. NO TREE REMOVAL THIS PERMIT.
2. NO CHANGE TO EXISTING SITE DRAINAGE.
3. DEMOLITION LIMITED TO AREAS NOTED ON PLAN.
4. REMOVE AND REPLACE EXISTING PROPERTY LINE FENCE.

GRADING PLAN NOTES:

1. CUT OR FILL AS INDICATED ON CIVIL PLANS. SITE DISTURBANCE LIMITED TO AREAS SHOWN ON PLAN.
2. SEE CIVIL PLANS FOR SITE GRADING AND DRAINAGE NOTES.



1 EXISTING / DEMOLITION SITE PLAN
SCALE: 1/8"=1'-0"



REVISION #

ADAM JESELNICK
ARCHITECT



HENKEL RESIDENCE
N/E CORNER 9TH AND MONTE VERDE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

EXISTING +
PROPOSED
SITE PLAN

11-1-2016

1/8" = 1'-0"

A4

PROJECT SCOPE OF WORK

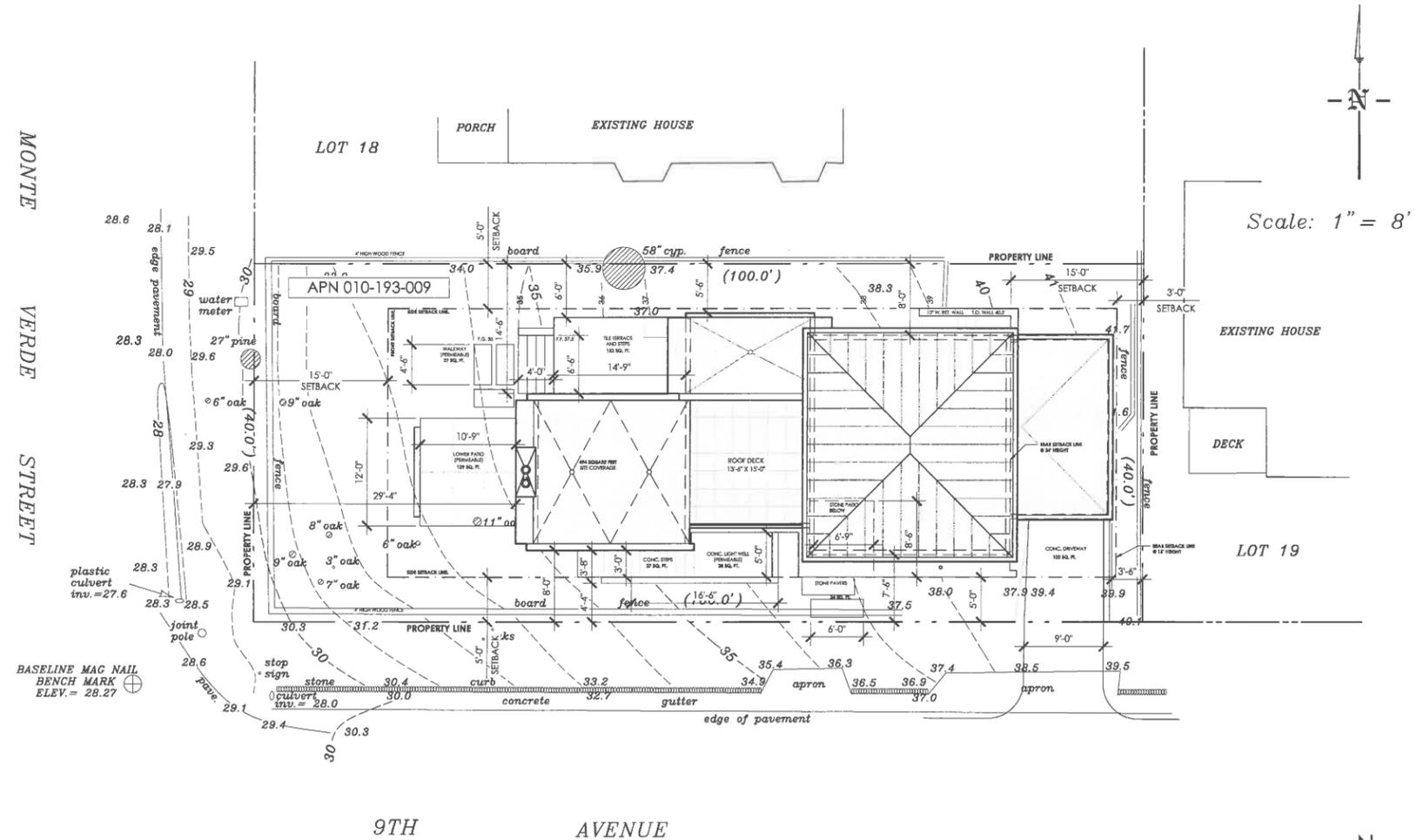
1.

SITE PLAN NOTES:

1.

GRADING PLAN NOTES:

1.



1 PROPOSED SITE PLAN
SCALE: 1/8"=1'-0"



REVISION #

ADAM JESELNICK
ARCHITECT



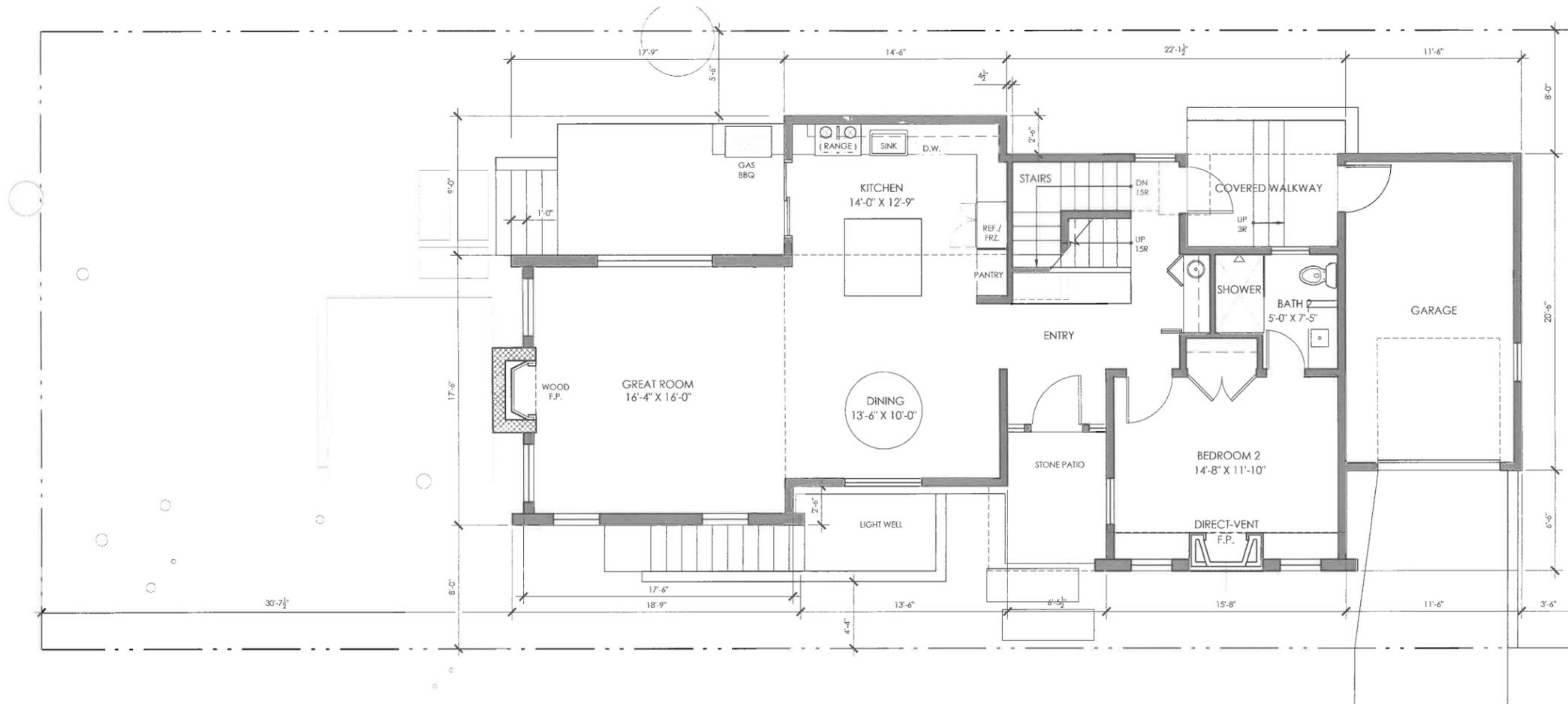
HENKEL RESIDENCE
N/E CORNER 9TH AND MONTE VERDE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

EXISTING +
PROPOSED
SITE PLAN

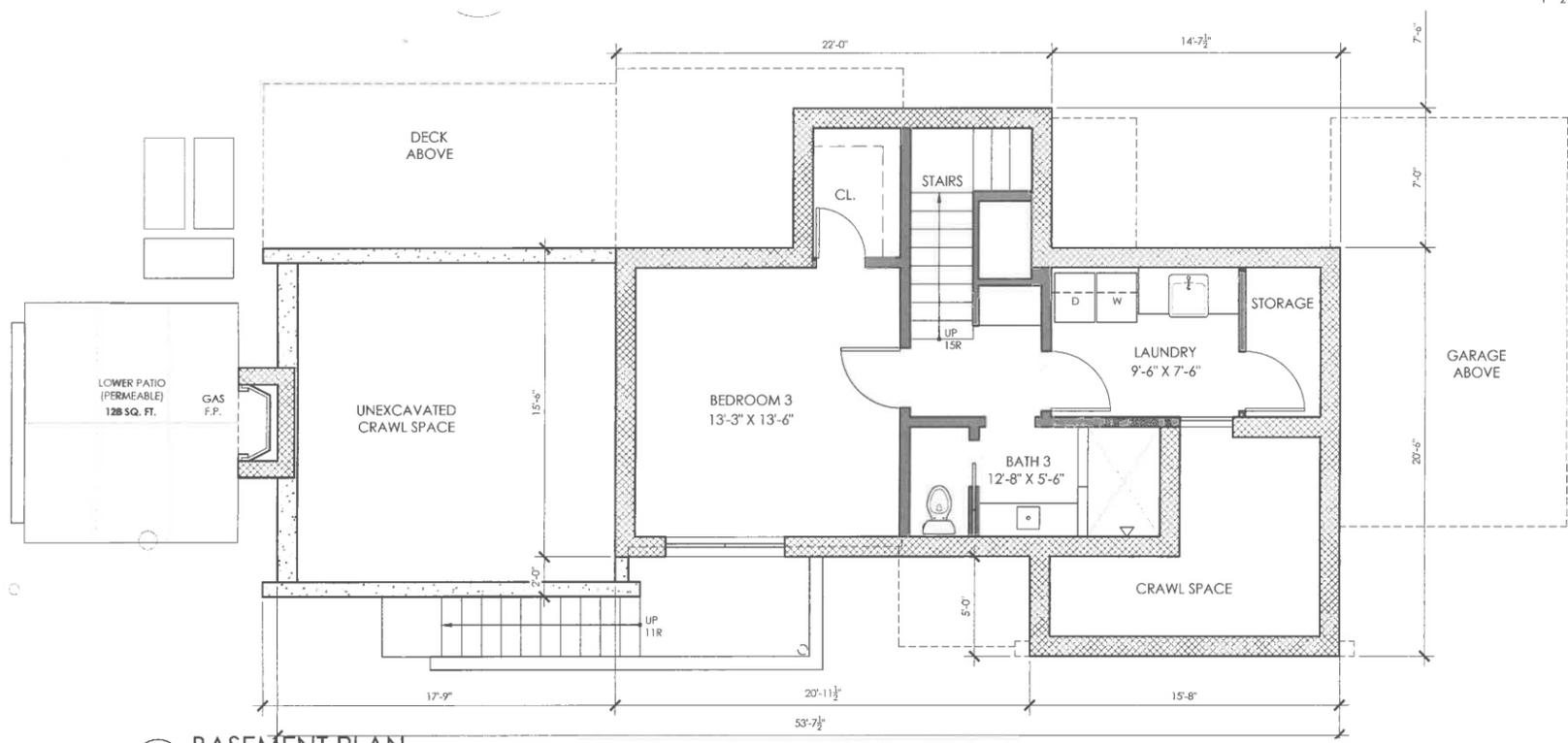
11-1-2016

1/8" = 1'-0"

A5



1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



1 BASEMENT PLAN
SCALE: 1/4"=1'-0"

*BONUS FLOOR AREA



ADAM JESELNICK
ARCHITECT



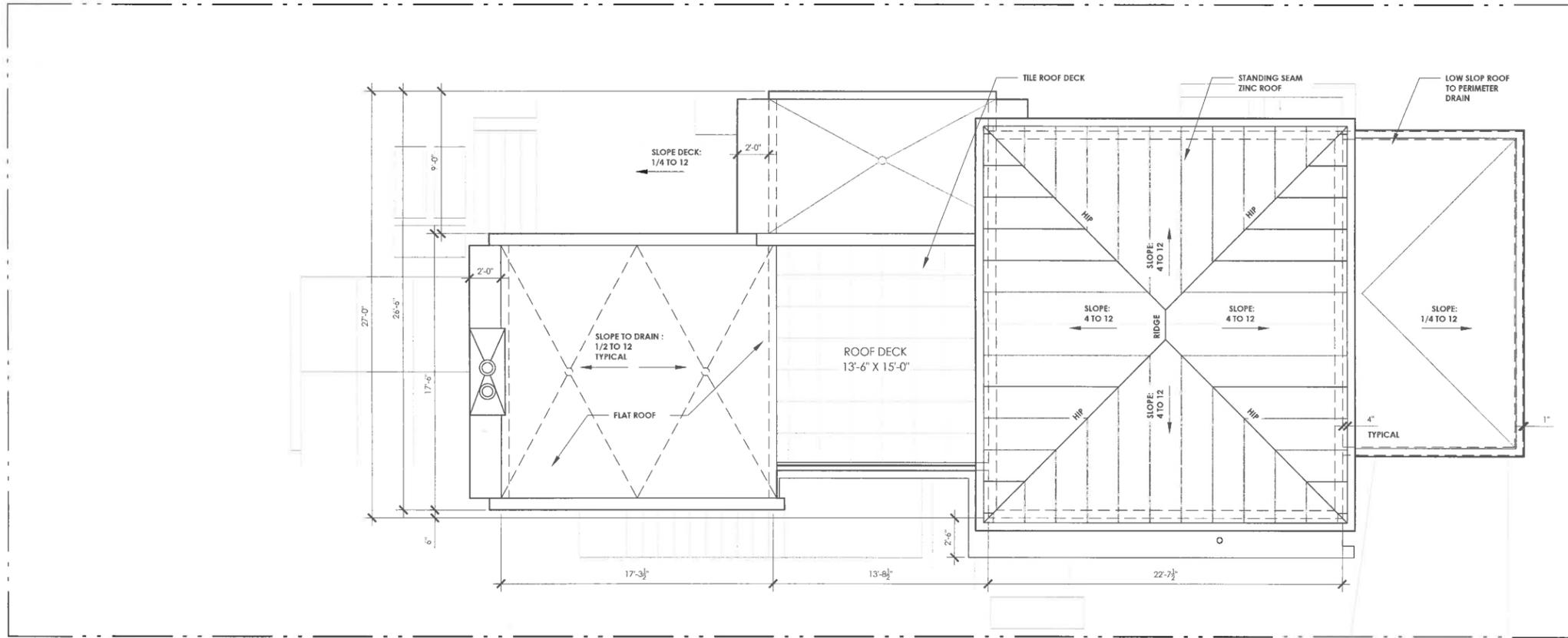
HENKEL RESIDENCE
N/E CORNER 9TH AND MONTE VERDE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROPOSED
BASEMENT AND 1ST
FLOOR PLANS

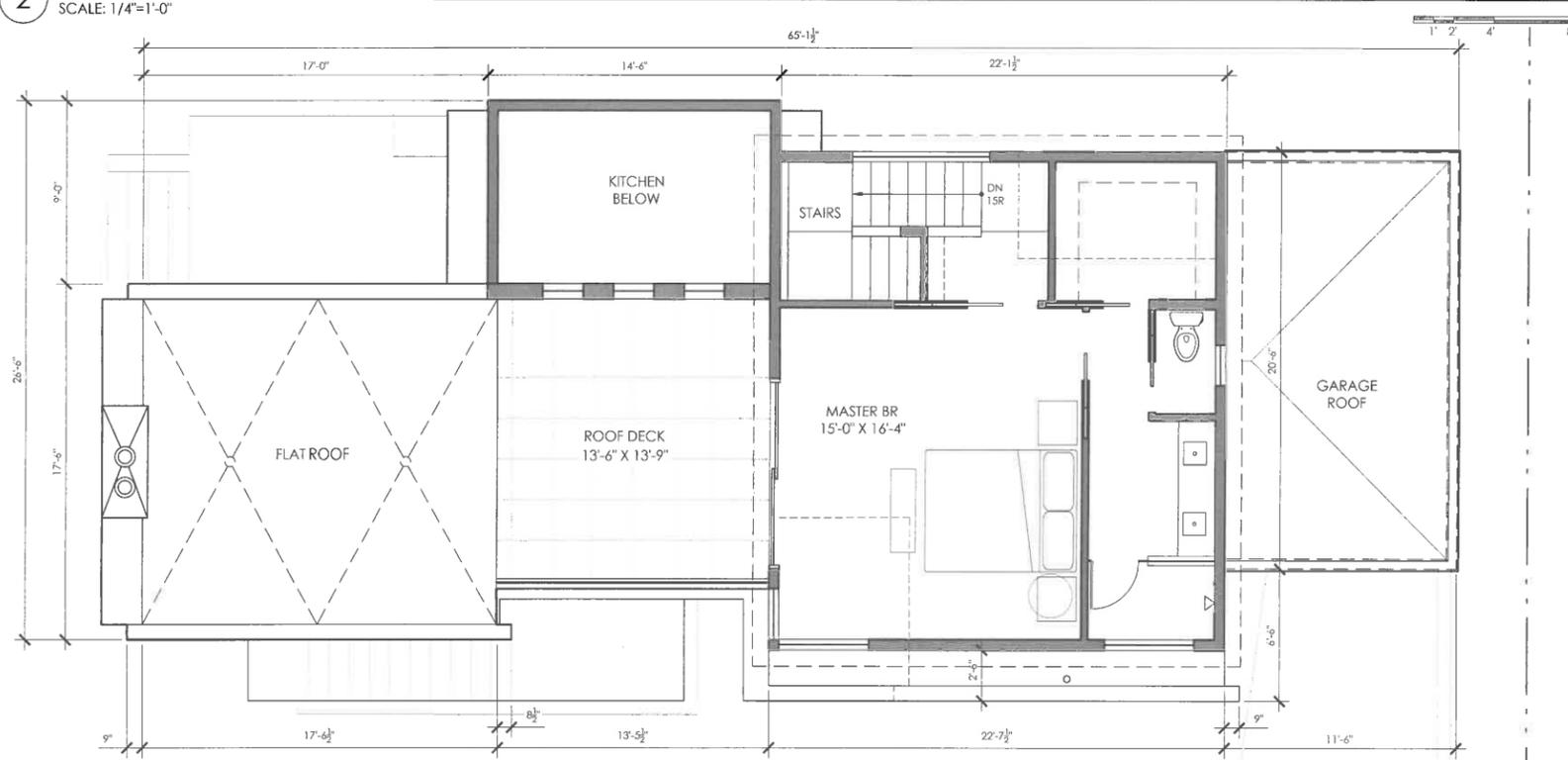
11-1-2016

1/4" = 1'-0"

A6



2 ROOF PLAN
SCALE: 1/4"=1'-0"



1 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

ADAM JESELNICK
ARCHITECT



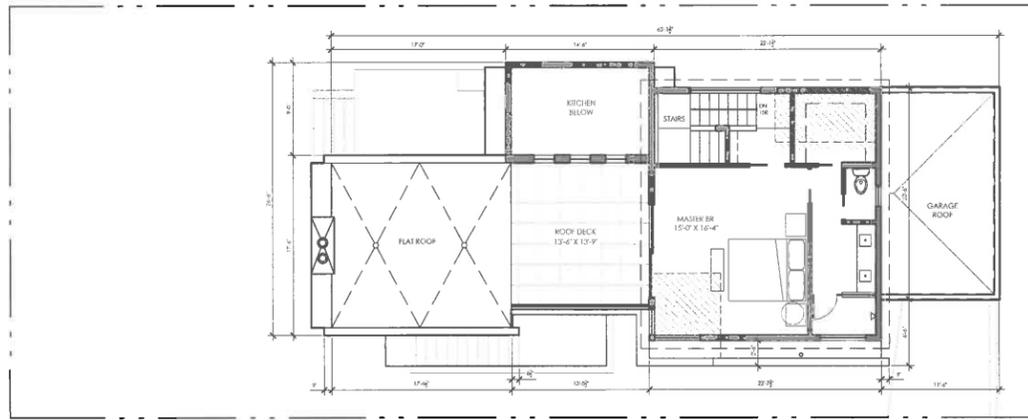
HENKEL RESIDENCE
N/E CORNER 9TH AND MONTE VERDE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROPOSED 2ND
AND ROOF PLAN

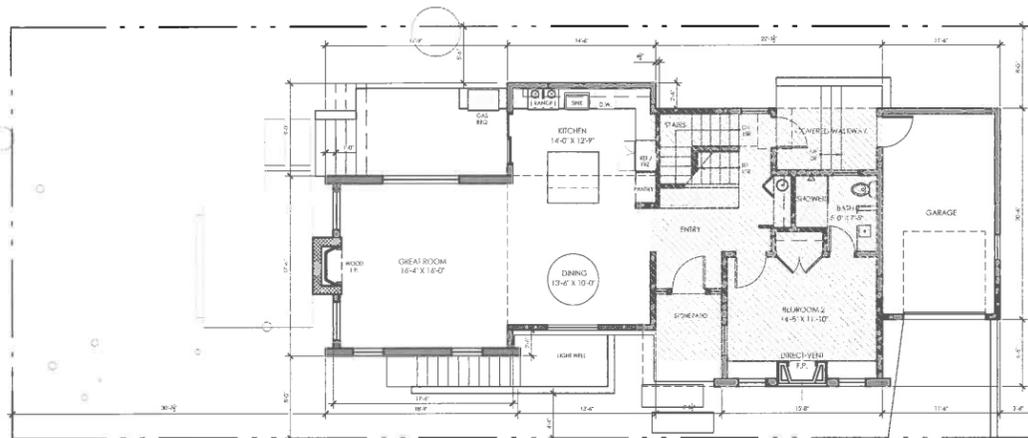
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1/4" = 1'-0"

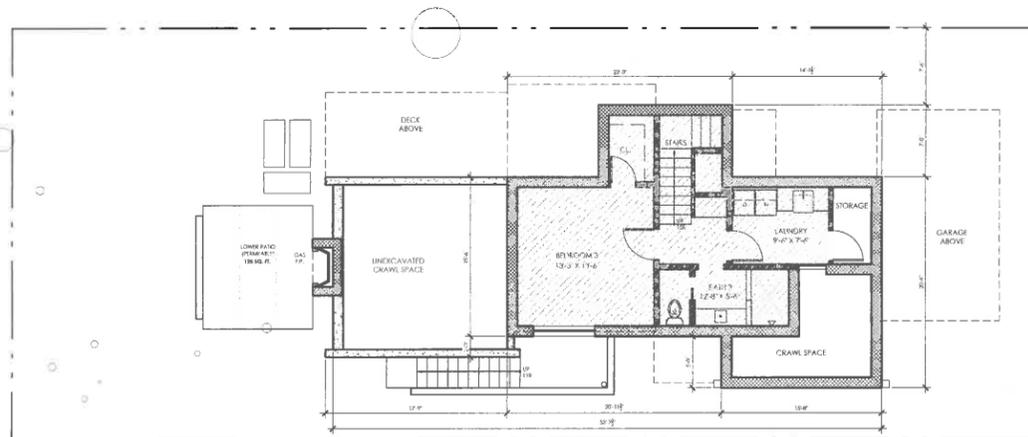
A7



2ND FLOOR PLAN



1ST FLOOR PLAN



BASEMENT PLAN

FLOOR LEVEL TABLE:

BASEMENT AREA	397 SF (INCLUDES BEDROOM, BATH, LAUNDRY)
1ST FLOOR AREA ONLY	620 SF (INCLUDES HOUSE AND GARAGE)
2ND FLOOR AREA ONLY	104 SF (INCLUDES 2ND FLOOR MASTER BR)
OVERALL BUILDING AREA (FOOTPRINT)	1331 SF

REVISION #

1 FLOOR LEVEL MAP
SCALE: 1/8"=1'-0"

2 DOOR + WINDOW SCHEDULES
SCALE: N.T.S.

ADAM JESELNICK
ARCHITECT



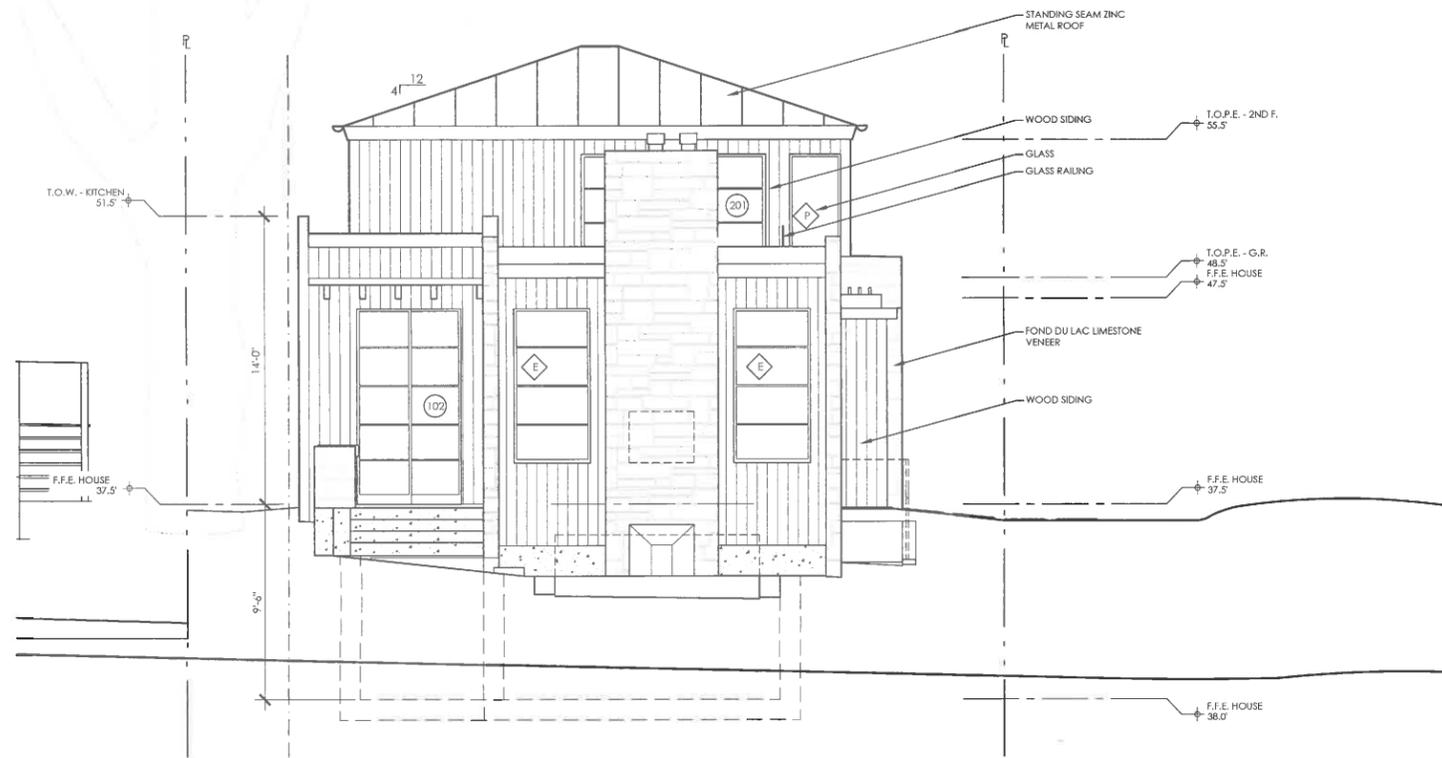
HENKEL RESIDENCE
N/E CORNER 9TH AND MONTE VERDE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROPOSED
PLANS

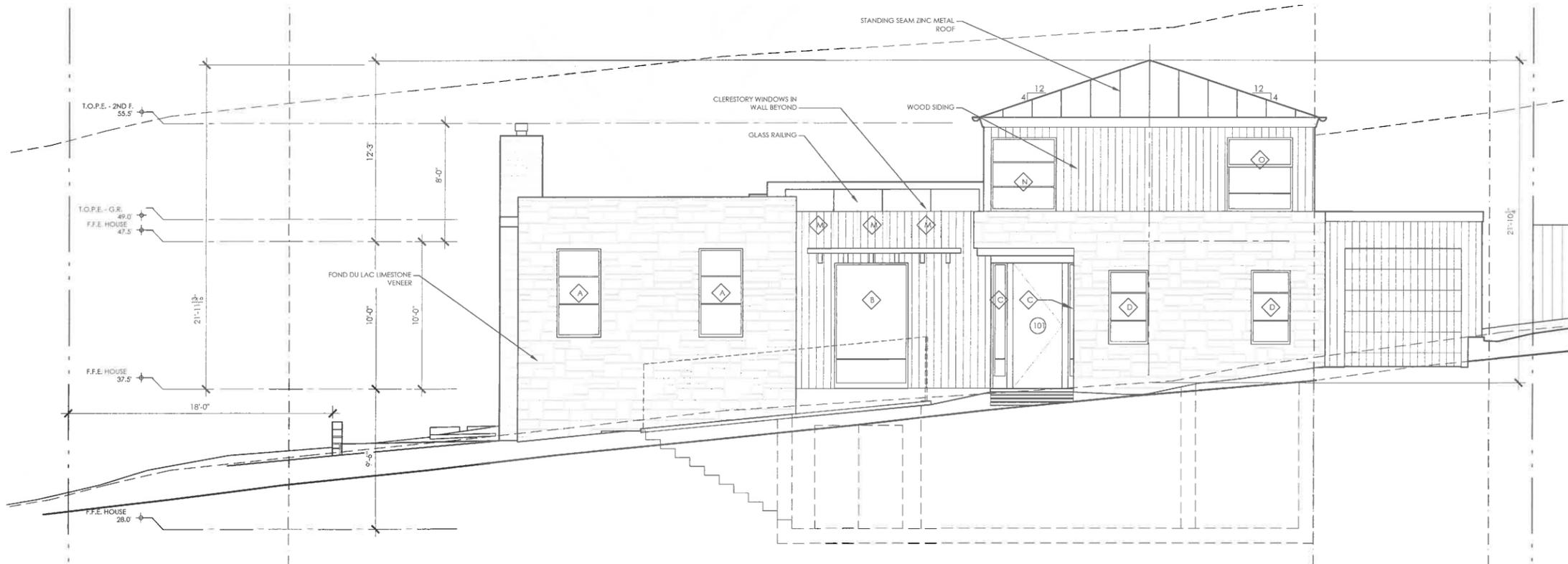
11-1-2016

SCALE AS NOTED

A8



2 WEST ELEVATION
SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



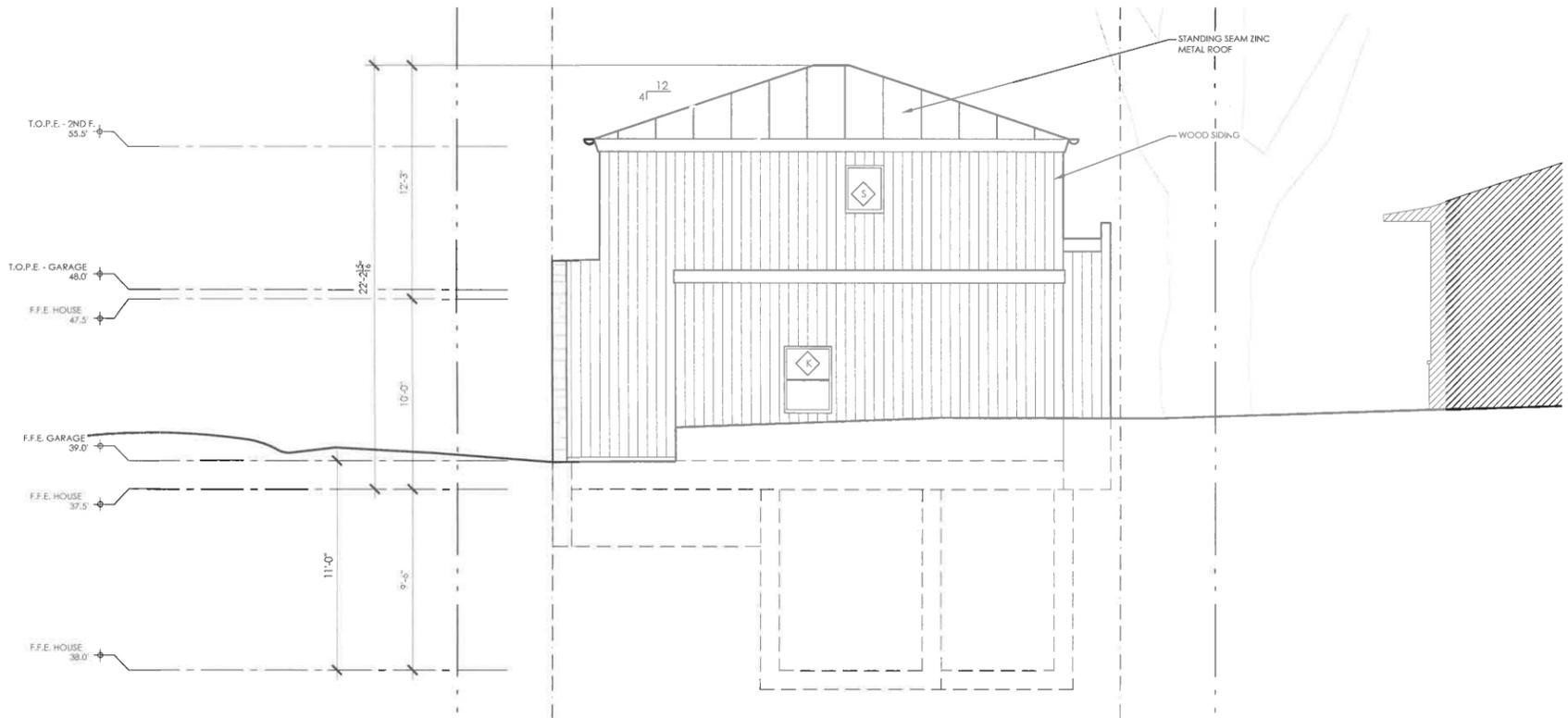
ADAM JESELNICK
ARCHITECT



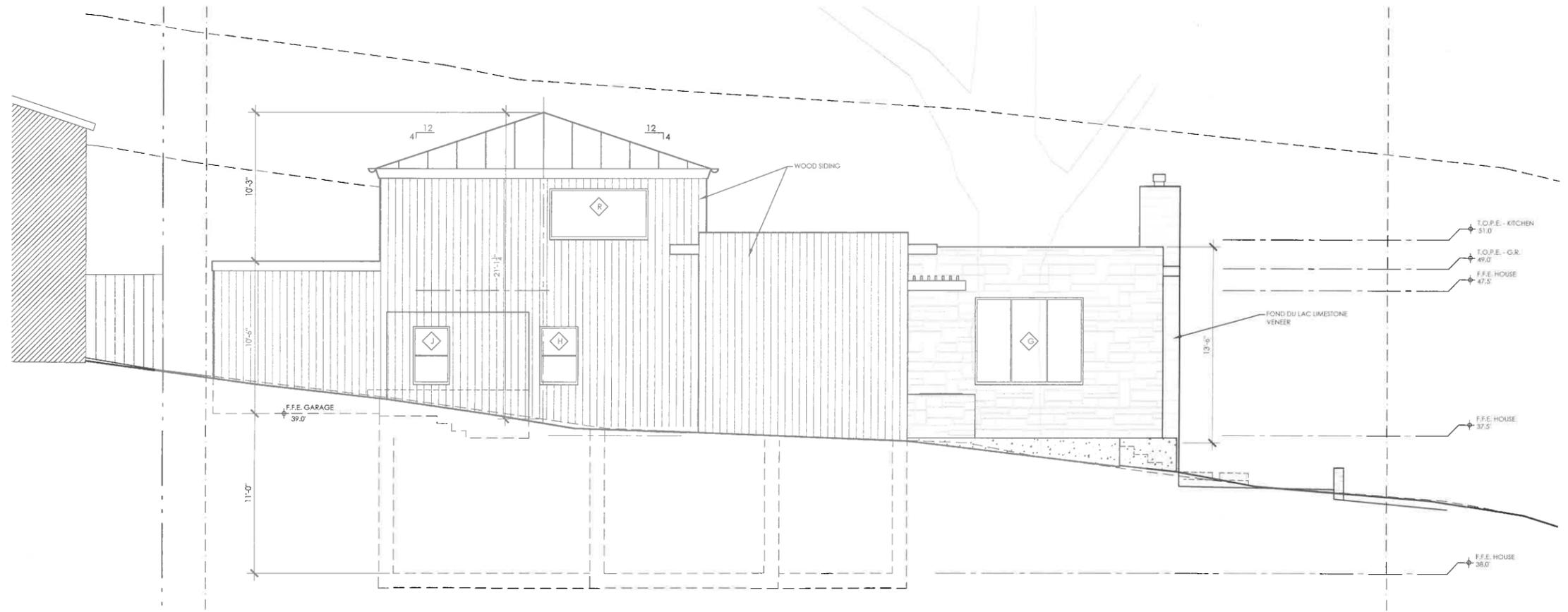
HENKEL RESIDENCE
N/E CORNER 9TH AND MONTE VERDE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROPOSED
ELEVATIONS
11-1-2016
1/4" = 1'-0"

A9



2 EAST ELEVATION
SCALE: 1/4"=1'-0"



1 NORTH ELEVATION
SCALE: 1/4"=1'-0"

ADAM JESELNICK
ARCHITECT



HENKEL RESIDENCE
N/E CORNER 9TH AND MONTE VERDE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

PROPOSED ELEVATIONS

11-1-2016

1/4" = 1'-0"

A10



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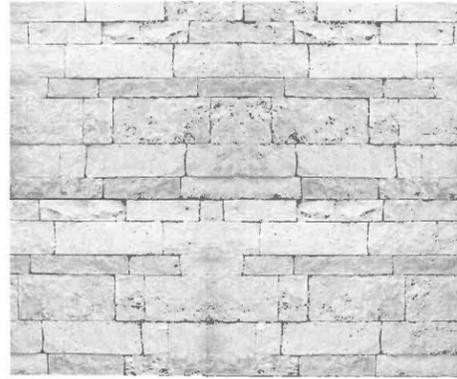
HENKEL RESIDENCE
N/E CORNER 9TH AND MONTE VERDE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

RENDERINGS

11-1-2016

N.T.S.

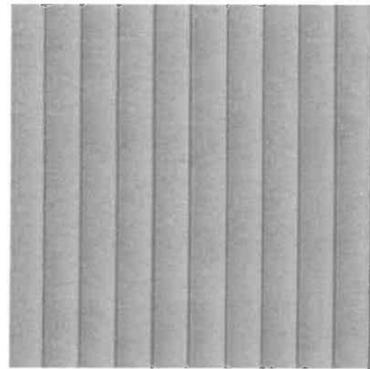
A11



LIMESTONE VENEER
EXTERIOR WALL SURFACES



VERTICAL WOOD SIDING
EXTERIOR WALL SURFACES



STANDING SEAM ZINC
SLOPED ROOF



EXTERIOR LANDSCAPE LIGHT
LOW VOLTAGE LIGHTING
SYNTRA LED PATH LIGHT - TECH LIGHTING

ADAM JESELNICK
ARCHITECT



HENKEL RESIDENCE
N/E CORNER 9TH AND MONTE VERDE
CARMEL-BY-THE-SEA, CALIFORNIA 93921

RENDERINGS

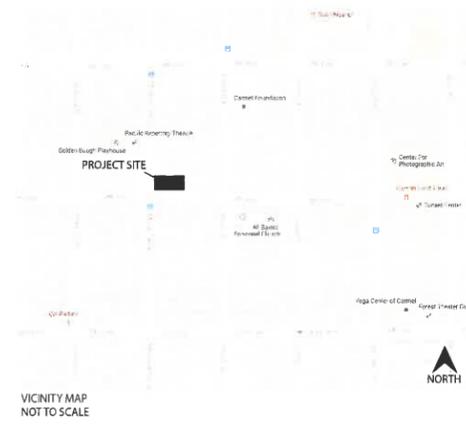
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N.T.S.

A12

PLANTING LEGEND

SYMBOL	Botanical Name	Common Name	Size	Quant
ACE PAL	<i>Acer palmatum</i>	Japanese Maple	24" Box	5
BUX SUF	<i>Buxus suffruticosa</i>	Dwarf English Boxwood	15 gal	8
CARTUM	<i>Carex tumulicola</i>	Foothill Sedge	1 gal	33
CEA YAN	<i>Ceanothus 'Concha'</i>	Concha Ceanothus	5 gal	9
CEA CON	<i>Ceanothus 'Snow Flurry'</i>	Ceanothus Snow Flurry	5 gal	11
CHO TEC	<i>Chondropetalum tectorum</i>	Small Cape Rush	5 gal	14
CON MAU	<i>Convolvulus mauritanicus</i>	Ground Morning Glory	1 gal	7
FES IDA	<i>Festuca idahoensis 'Siskiyou Blue'</i>	Siskiyou Blue Fescue	1 gal	45
OLE EUR	<i>Olea europaea 'Majestic Beauty'</i>	Fruitless Olive - Columnar, Standard	15 gal	14
PIT WHE	<i>Pittosporum tenuifolium 'Golf Ball'</i>	Golf Ball Kohuhu	5 gal	10
ROS BAN	<i>Rosa banksiae</i>	Lady Banks Climbing Rose White	5 gal	3
ROS TUS	<i>Rosmarinus 'Tuscan Blue'</i>	Tuscan Blue Rosemary	5 gal	8
WOO FIM	<i>Woodwardia fibrinata</i>	Giant Chain Fern	5 gal	8



IRRIGATION NOTES:

IRRIGATION FOR NEW PLANT MATERIAL WILL BE IRRIGATED BY A LOW FLOW DRIP SYSTEM.

THE SMART IRRIGATION CONTROLLER SHALL HAVE A RAIN SENSOR AND A MASTER SHUTOFF VALVE INSTALLED DIRECTLY AFTER THE BACKFLOW PREVENTION DEVICE.

BUILDING DEPARTMENT NOTES:

PERMITS & INSPECTIONS:

THE CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS FOR THE WORK AND GIVE THE OWNER TIMELY NOTICE OF INTENT TO EACH INSPECTION.

CODES:

ALL MATERIAL, WORKMANSHIP AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE UBC AND LOCAL BUILDING CODES.

NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED WATER.

CONTRACTOR TO USE AUTO SHUT-OFF NOZZLES ON ANY WATER HOSES USED ON THE PROJECT.

LAYOUT NOTES:

ANNOTATED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DRAWINGS.

FIRE SAFETY NOTES:
ALL NON IRRIGATED BRUSH TO BE KEPT AT GROUND LEVEL FOR AN AREA OF 50' SURROUNDING THE PROPOSED RESIDENCE.

TREES TO BE CLEARED OF DEAD LIMBS WITHIN A 50' RADIUS OF THE PROPOSED RESIDENCE. ANY TREE LIMBS WITHIN 10' OF A CHIMNEY WILL BE REMOVED.

DRAINAGE NOTES:

ALL DOWNSPOUTS TO BE DISPERSED ON SITE IN LANDSCAPE AREAS. ALL OTHER SURFACES BESIDES ROOF ARE PERMEABLE AND WATER WILL ABSORB THROUGH.

BY DISPERSING THE WATER INTO THE GARDEN BEDS WE WILL CAPTURE THE WATER COLLECTED BY FOG DRIP AND SMALL RAINFALLS AND SPREAD IT OUT THROUGHOUT THE GARDEN.

SCOPE OF WORK:

THIS IS NEW LANDSCAPE INSTALLTION WITH A NEW LOW FLOW DRIP IRRIGATION SYSTEM.

PROJECT INFORMATION:

OWNER	HENKEL RESIDENCE
SITE	NE CORNER OF 9TH AND MONTE VERDE ST. CARMEL, CA.
APN	010-193-009
TOPOGRAPHY	FLAT
TREE REMOVAL	NONE
GRADING	NONE

XERISCAPE PRACTICES:

1. LOW WATER USE, DROUGHT TOLERANT PLANTS
2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS
3. DRIP IRRIGATE ALL PLANT MATERIAL
4. INSTALLATION OF RAIN SENSOR

GRADING NOTES:

THERE IS NO GRADING REQUIRED AT THIS SITE FOR THE LANDSCAPE.

LANDSCAPING STATEMENT:

I PATRICK WILSON CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES, LIMITED TURF, AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES



MISSION LANDSCAPING
P.O. BOX 875
PACIFIC GROVE
CALIFORNIA 93950

P 831 373 8293
F 831 373 2283
www.missionlandscaping.com
email:
missionlandscaping@me.com
Landscape & General
Contractors C27 & B 392291
Landscape Architecture
CA Lic #5806

Project:

Henkel Residence
NE Corner of 9th and
Monte Verde Street
Carmel, CA 93921.

APN: 010-193-009

Revisions:



Drawing Title:

Planting Plan

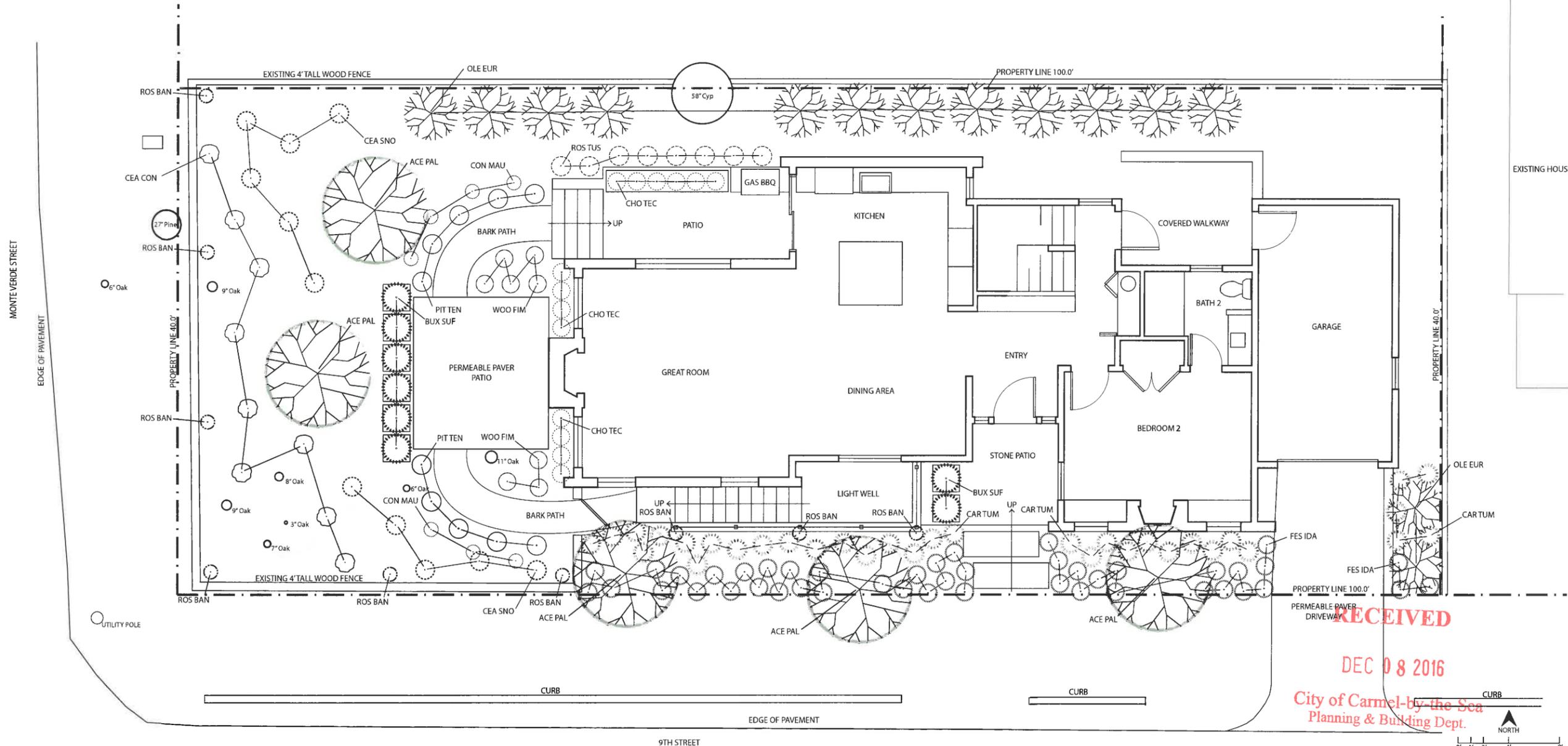
Date: 11/17/16

Scale: 1/4"=1'0"

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City of Carmel-by-the-Sea
Planning & Building Dept.





CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

December 14, 2016

To: Chair Goodhue and Planning Commissioners

From: Marc Weiner, AICP, Community Planning and Building Director

Submitted by: Ashley Hobson, Contract Planner

Subject: Consideration of Final Design Study (DS 16-397) and associated Coastal Development Permits for the construction of a new single-family residence located in the Single-Family Residential (R-1) Zoning District.

Recommendation:

Approve the Final Design Study (DS 16-397) and associated Coastal Development Permits subject to the attached findings and conditions.

Application:	DS 16-397	APN:	010-103-012
Block:	38	Lot:	E
Location:	Torres St., 5 NE of 4 th Ave.		
Applicant:	Bolton Design Group, Inc.	Property Owner:	Andrea Carr

Background and Project Description:

The project site is a vacant lot located on Torres Street, five parcels northeast of 4th Avenue. The property is 4,000 square feet in size and includes 16 trees. The applicant has obtained water credits from the Malpas Water Company and has submitted plans to build a new 1,795-square foot single-family residence on the vacant lot. The proposed residence includes 1,595 square feet of living space, a 200 square foot garage, and 268 square feet of site coverage. The proposed residence is one-story and will require the removal of eight trees.

This application was considered for conceptual review by the Planning Commission on November 9, 2016. The Commission accepted the design concept with a 2-1 vote.

PROJECT DATA FOR A 4,000 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 sf (45%)	0	1,795 sf (44%)
Site Coverage	396 sf	0 sf	268 sf
Trees	3 Upper /1 Lower (recommended)	16 total	8 total
Ridge Height (1 st /2 nd)	18 ft/24 ft	n/a	Max. 1 st floor: 18 ft
Plate Height (1 st /2 nd)	12 ft/18 ft	n/a	Max 1 st floor: 8.75 ft
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft	n/a	Minimum: 15ft
Composite Side Yard	10 ft (25%)	n/a	Minimum: 10 ft
Minimum Side Yard	3 ft	n/a	Min. North Side: 3 ft Min. South Side: 3 ft
Rear	15 ft / 3ft (if less than 15 ft in height)	n/a	Min: 3 ft

Staff analysis:

Garage Height: At the November Planning Commission meeting, staff raised an issue with the height of the garage, proposed to be 17.5 feet, in that it may be inconsistent with Residential Design Guidelines recommending horizontal building forms and that garages be subordinate. Nevertheless, the Planning Commission voted 2-1 to accept the proposed design and height of the garage. Following the meeting, staff measured the story poles and determined that the top ridge of the garage was only 15.5 feet high. The applicant has corrected the story pole height and the Planning Commission will visit the site one more time to review the revised story poles to assist with its decision on this project.

Exterior Materials: The proposed exterior materials include stucco siding with a natural wood shingle roof. In addition, the applicant is proposing unclad wood windows and doors. Staff notes that the Residential Design Guidelines encourage natural building materials, and specifically state that stucco should only be used in conjunction with some natural materials on the site, and not in excess within a neighborhood block. Staff is in favor of the proposed stucco siding because it

blends well with the natural wood elements throughout the house, and neither adjacent residence is stucco.

Fences/Walls: The site is currently surrounded by a 6-foot tall wood fence along the south and east property line with no fencing along the north and west property lines. The applicant is proposing to add a new rustic cedar fence along the front property line and an approximately 6-foot tall cedar fence along the north side of the property. Fencing details are included on sheet A-2.3 of the plan set as well as in Attachment D: Renderings. Staff is in favor of the proposed fencing because it is a natural material, it meets all height requirements, and the fence along the front property line is open and transparent to allow views into the front yard.

Exterior Lighting: With regard to light fixtures, Municipal Code Section 15.36.070.B.1 requires that exterior light fixtures on the building do not exceed 25 watts (incandescent equivalent; i.e., approximately 375 lumens). The locations and details of the proposed light fixtures are depicted on Sheet L-1.2 of the plan set. The applicant is proposing 21 lights as shown in the table below:

Light Style	Wattage	Location
Hinkley & FR Wall Lantern (Trellis 1430RB-LED)	15W	1 x Main Entry Door 3 x South Side Patio 4 x Southeast Corner Patio 5 x North Side Patio 1 x Side Garage Door 14 Total
Hinkley & FR Garage Lantern (Trellis 1433RB-LED)	15W	1 x Above Garage Door
Hinkley & FR Path Light (Path Light 16007MZ-LED)	2W	6 x Driveway & Entry Pathway

Staff supports the proposed lighting fixtures and notes that they comply with City requirements however staff recommends that the Planning Commission should discuss if the applicant should reduce the number of proposed lights throughout the project site.

Cut and Fill Grading: The applicant is proposing a total of 73 cubic yards of cut and 28 cubic yards of fill as part of the project. A condition has been drafted requiring the applicant submit a grading plan for staff's review prior to the issuance of a building permit, which should also include the proposed number of truck trips during construction.

Site Coverage/Landscaping: The project site is vacant and contains no site coverage. The applicant is proposing to add 268 square feet of site coverage, including a driveway and small landing areas at each exterior door. The allowed site coverage for this site is 396 square feet, and therefore the proposal is in compliance.

The applicant is proposing to add various plants to the site as shown in the landscape plan (Sheet L-1.1 of the plan set). Some of the plants proposed for the site include Sea Lavender, Baby's Breath, Leylan Cypress Hedges, Agapanthus, Fox Glove, and Blue Pride of Madera. At the previous Planning Commission meeting, the applicant discussed a desire to reconfigure the planting within the Right-of-Way (ROW). As shown in the landscape plan, the applicant is proposing to considerably change the ROW by adding additional planting up to the edge of the pavement. Staff is in favor of these changes to the ROW.

Public ROW: The unimproved portion of the City ROW between the front property line and edge of paving includes an existing brick retaining wall. The applicant is proposing to remove this retaining wall and add heavy landscaping throughout this area as shown on the landscape plan included on sheet L-1.1 of the plan set. Staff is in favor of the changes to the ROW.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – New Construction or Conversion of Small Units. The project includes the construction of one single-family residence in a residential zone, and therefore qualifies for a Class 3 exemption. The proposed residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings of Approval
- Attachment C – Conditions of Approval
- Attachment D – Renderings
- Attachment E – Project Plans

Attachment A – Site Photographs



Existing conditions



Adjacent neighbor to the North



Adjacent neighbor to the South

Attachment B – Findings for Approval

DS 16-397 (Carr)
 December 14, 2016
 Findings for Approval
 Page 1

FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.80 and LUP Policy P1-45)		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
Municipal Code Findings	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	

9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	
COASTAL DEVELOPMENT FINDINGS (CMC 17.64.010.B.1)	YES	NO
1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

Attachment C – Conditions of Approval

DS 16-397 (Carr)
 December 14, 2016
 Conditions of Approval
 Page 1

Conditions of Approval		
No.	Standard Conditions	
1.	Authorization: This approval of Design Study (DS 16-397) authorizes the construction of a new 1,595 square feet residence with a 200 square foot garage, and 268 square feet of site coverage. The proposed residence is one-story and will require the removal of eight trees.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation	✓

	by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	N/A
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.	N/A
12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or	✓

	in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	N/A
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for	✓

	significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
	Special Conditions	
22.	The applicant submit a grading plan for staff's review prior to the issuance of a building permit that includes the proposed number of truck haul routes during the construction process.	✓

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

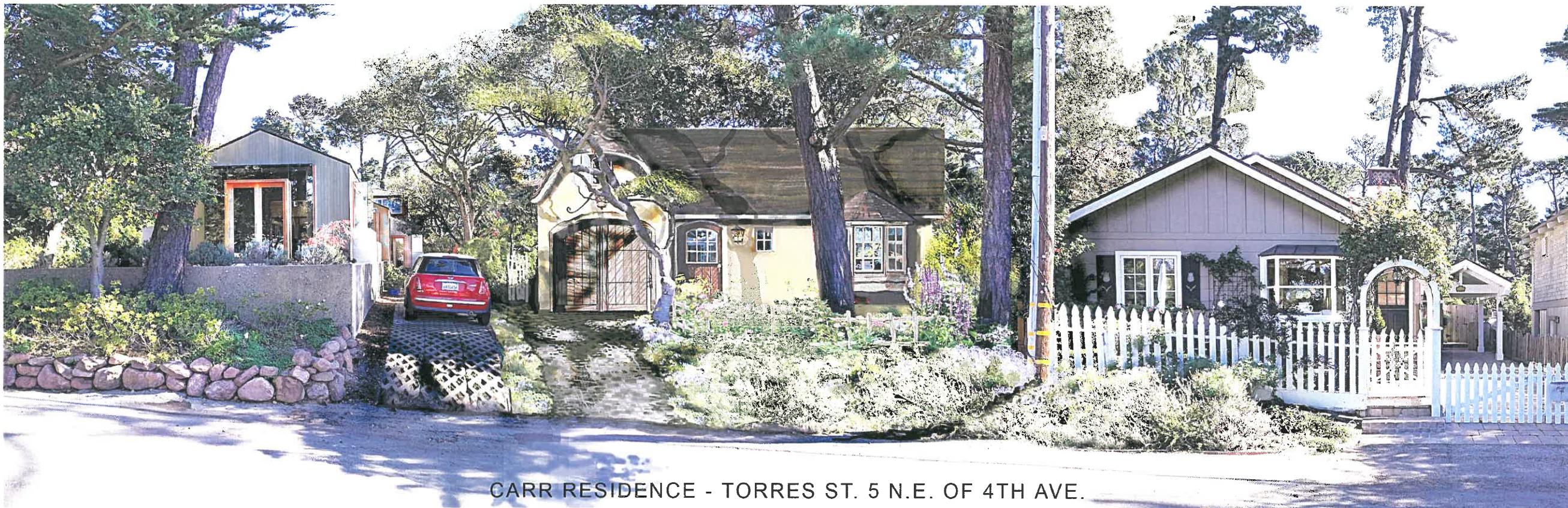
Date

Once signed, please return to the Community Planning and Building Department.

RECEIVED

DEC 02 2016

City of Carmel-by-the-Sea
Planning & Building Dept.



CARR RESIDENCE - TORRES ST. 5 N.E. OF 4TH AVE.



CEDAR FENCE



DECORATIVE FENCE

CARR RESIDENCE - TORRES ST. 5 N.E. OF 4TH AVE.



TRELLIS 1433RB-LED
 REGENCY BRONZE

WIDTH:	29.8"
HEIGHT:	14.8"
WEIGHT:	8.8 LBS
MATERIAL:	ALUMINUM
GLASS:	CLEAR SEEDY
BACKPLATE WIDTH:	4.5"
BACKPLATE HEIGHT:	10.0"
SOCKET:	1-15W UNI-100 *INCLUDED
LED INFO:	
LUMENS:	800
COLOR TEMP:	2700k
CRI:	96
LED WATTAGE:	15w
INCANDESCENT EQUIVALENCY:	100w
DIMMABLE:	No
EXTENSION:	11.5"
TTO:	8.5"
CERTIFICATION:	C-US WET RATED
VOLTAGE:	120V
UPC:	640665143324



**HARDY ISLAND LG. HAMMERED
 PATH LIGHT 16007MZ-LED**
 MATTE BRONZE

WIDTH:	6.8"
HEIGHT:	23.3"
MATERIAL:	CAST BRASS
SOCKET:	1-2.30W IPL-30 *INCLUDED
LED INFO:	
LUMENS:	120
COLOR TEMP:	2700k
CRI:	80
LED WATTAGE:	2w
INCANDESCENT EQUIVALENCY:	12w
DIMMABLE:	Yes, on MLV dimmer only.
NOTES:	PATENT: U.S. PATENTS NOS. 8,794,788 AND 8,882,293. 3.9 VA AND 2700K. A WIRING KIT AND GROUND SPIKE IS SUPPLIED.
LEADWIRE:	36.0"
VOLTAGE:	12V
UPC:	640665160338



TRELLIS 1430RB-LED
 REGENCY BRONZE

WIDTH:	7.0"
HEIGHT:	15.3"
WEIGHT:	4.0 LBS
MATERIAL:	ALUMINUM
GLASS:	CLEAR SEEDY
BACKPLATE WIDTH:	4.5"
BACKPLATE HEIGHT:	7.0"
SOCKET:	1-15W UNI-100 *INCLUDED
LED INFO:	
LUMENS:	800
COLOR TEMP:	2700k
CRI:	96
LED WATTAGE:	15w
INCANDESCENT EQUIVALENCY:	100w
DIMMABLE:	No
NOTES:	PATENT: US AND FOREIGN PATENTS PENDING
EXTENSION:	11.3"
TTO:	6.0"
CERTIFICATION:	C-US WET RATED
VOLTAGE:	120V
UPC:	640665043006

PROJECT INFORMATION

PROPERTY OWNERS: Noel and Andi Carr
 PO Box 299
 Pebble Beach, California 93953
 Telephone: 916 / 716 - 5870

DESIGNER: BOLTON DESIGN GROUP, INC.
 P.O. Box 5489
 Carmel, California 93921
 Telephone: 831 / 859 - 6200
 Facsimile: 831 / 859 - 0110

PROJECT DESCRIPTION: New One Story Single Family Dwelling
 Track Two Residential Design Study Application for Concept Review

SITE ADDRESS: Torres Street
 5 NE of 4th Avenue
 Carmel-by-the-Sea
 California 93921

APN: 010 - 103 - 012 - 000

ZONING: R-1

PROJECT DATA:

LOT SIZE: 4,000.00 SQ. FT.
 EXISTING SITE COVERAGE: 0 SQ. FT.
 PROPOSED SITE COVERAGE (House Footprint - 1,800 sq. ft. Allowable): 1,795 SQ. FT.
 PROPOSED PERMEABLE SITE COVERAGE: 316.11 SQ. FT.
 PROPOSED IMPERMEABLE SITE COVERAGE: 0 SQ. FT.
 PROPOSED OPEN SPACE: 1,937.31 SQ. FT.

PROPOSED HEIGHT OF STRUCTURE: NOT TO EXCEED 15'-0" (NOT TO EXCEED 15'-0" WITHIN 15' OF REAR SETBACK)

PROPOSED GRADING ESTIMATE: 73 cu. yd. Cut / 28 cu. yd. Fill
 See Civil Sheet C-0.1

PROPOSED TREE REMOVAL:
 (Ref. Preliminary Site Assessment by City of Carmel-by-the-Sea)
 2 Significant - Trees #4, #8
 1 Moderately Significant - Tree #13
 4 Not-Significant - Trees #5, #6, #9, and #12

SQUARE FOOTAGE CALCULATIONS:

Main Residence: 1,595 SQ. FT.
 Garage: 200 SQ. FT.

CONSULTANTS

Structural and Civil Consultant: Central Coast Engineers, Inc.
 21 West Alliso Street, Ste 119
 Salinas, CA 93901
 Telephone: 831 / 757-5554
 Facsimile: 831 / 757-2226

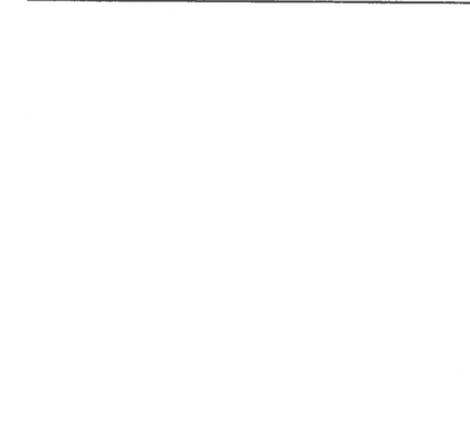
WINDOW SCHEDULE

Symbol	Type	Unit Dimensions Width x Height	Material	Finish	Glassing	Quantity	Remarks
A	Fixed	1'-4" X 2'-2" w/ 2.75" Drop	Wood	Stain	Low E	1	
B	Fixed	1'-0" X 1'-8"	Wood	Stain	Low E	1	Recessed
C	Casement	1'-0" X 3'-6"	Wood	Stain	Low E	2	
D	Fixed	2'-0" X 3'-6"	Wood	Stain	Low E	1	
E	Casement	1'-4" X 2'-2"	Wood	Stain	Low E	10	
F	Fixed	2'-0" X 7'-0"	Wood	Stain	Low E	4	
G	Casement	5'-0" X 4'-4"	Wood	Stain	Low E	1	
H	Casement	2'-0" X 4'-4"	Wood	Stain	Low E	3	
J	Casement	4'-8" X 7'-0"	Wood	Stain	Low E	1	
K	French Casement	5'-0" X 5'-4"	Wood	Stain	Low E	1	

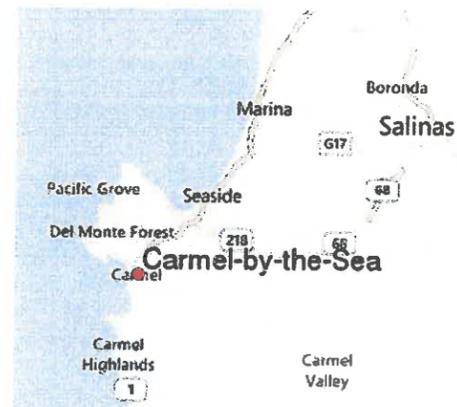
DOOR SCHEDULE

Symbol	Type	Unit Dimensions Width x Height	Thickness	Material	Finish	Frame	Remarks
1	Garage	7'-0" X 7'-0" Segmented Head w/ 1'-1 1/2" Drop	2 1/4"	Wood	Stain	Wood	Garage
2	Entry	3'-2 3/4" X 6'-8" Segmented Head w/ 3.5" Drop	2 1/4"	Wood	Stain	Wood	Custom Entry
3	Pair French	Pair 2'-0" X 6'-8"	2 1/4"	Wood	Stain	Wood	Exterior
4	Pair French	Pair 2'-0" X 6'-8"	2 1/4"	Wood	Stain	Wood	Exterior
6	Pair French	Pair 2'-0" X 6'-8"	2 1/4"	Wood	Stain	Wood	Exterior
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14	Panel	2'-0" X 6'-8"	1 3/4"	Wood	Stain	Wood	Interior
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LOCATION MAP



VICINITY MAP



DRAWING SHEET INDEX

- A-0.1 TITLE SHEET / PROJECT DATA / SCHEDULES / SITE PLAN
- A-1.0 ROOF PLAN / FLOOR PLAN
- A-2.1 ELEVATIONS
- A-2.2 ELEVATIONS
- A-2.3 FENCE ELEVATIONS AND DETAILS
- L-1.1 LANDSCAPE PLANTING PLAN
- L-1.2 LANDSCAPE LIGHTING AND IRRIGATION PLANS
- C-0.1 CIVIL NOTES
- C-1.0 GRADING / DRAINAGE / EROSION CONTROL PLAN

BOLTON
 DESIGN
 GROUP
 INC.

831 659 621

Torres Street

New Single Family Dw.

Torres Street
 5 NE of 4th Ave
 Carmel-by-the-Sea
 California
 93921

APN: 010-103-0

DATE: 30 NOV

REVISIONS:

TITLE SHEET

PROJECT DATA / SCHEDULES / SITE PLAN

SCALE: N/A

DRAWN BY:

CHECKED BY:

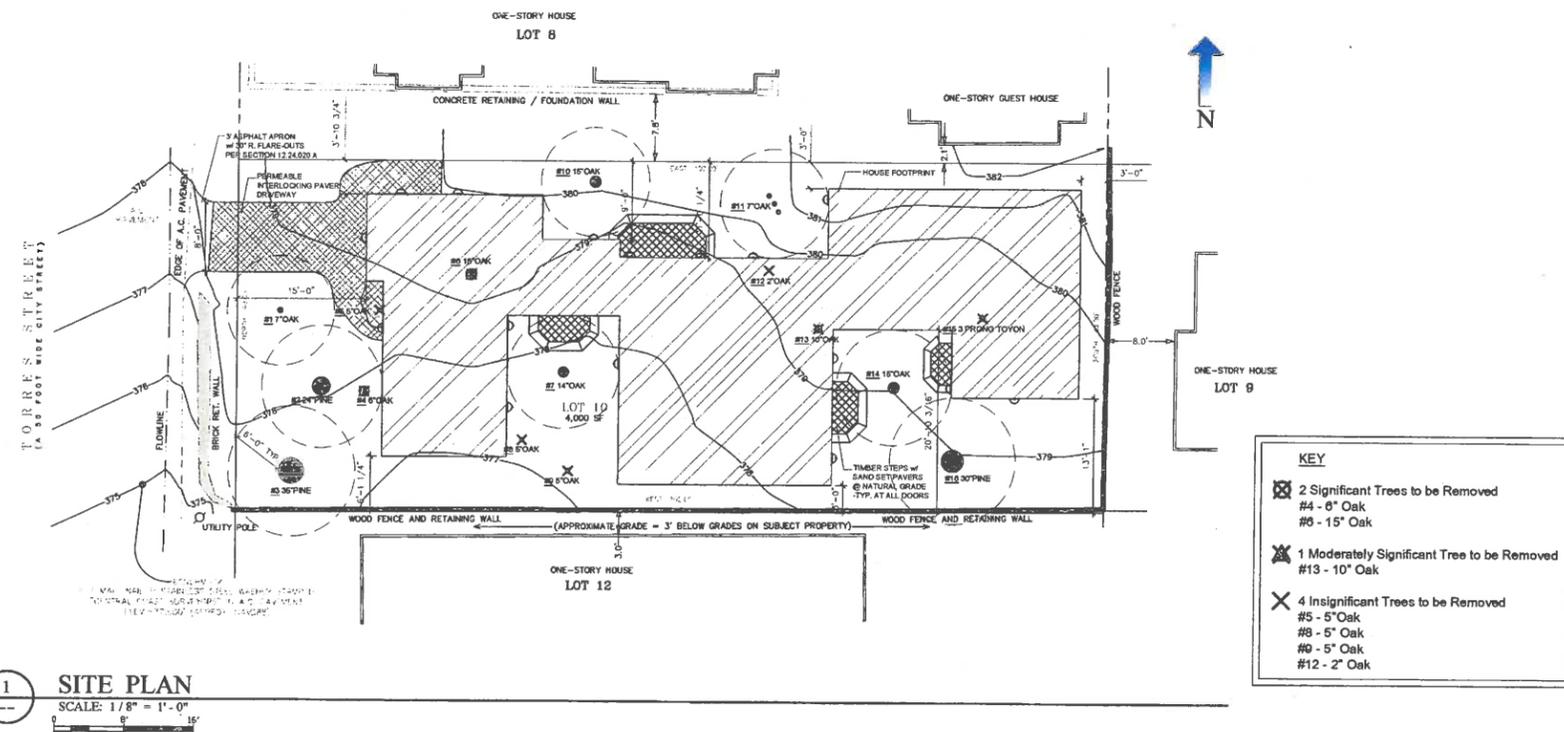
JOB NO.: 16.02

SHEET NO.: **A-0**

Do not scale drawings. Verify all measurements and data at building. Report errors and questions to B1.
 The use of these plans and specifications is restricted to the original site for which they were prepared.

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1 SITE PLAN
 SCALE: 1/8" = 1'-0"

PROJECT INFORMATION

PROPERTY OWNERS: Noel and Ann Carr
 PO Box 299
 Pebble Beach, California 93953
 Telephone: 916 / 716 - 5670

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 P.O. Box 5488
 Carmel, California 93921
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 Facsimile: 831 / 659 - 0110

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 Carmel-by-the-Sea
 California 93921

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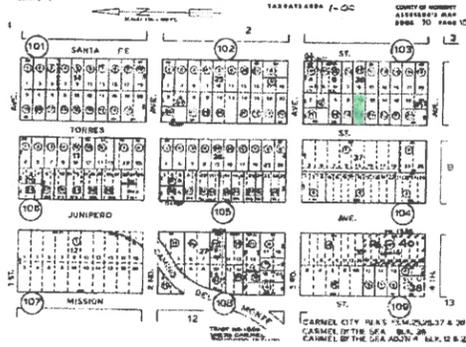
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G	Casement	6'-0" X 4'-4"	Wood	Stain	Low E	1	
H	Casement	2'-0" X 4'-4"	Wood	Stain	Low E	3	
J	Casement	4'-4" X 7'-0"	Wood	Stain	Low E	1	
K	French Casement	5'-0" X 6'-4"	Wood	Stain	Low E	1	

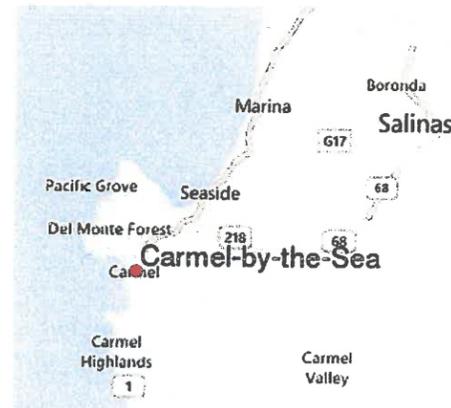
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LOCATION MAP



VICINITY MAP



DRAWING SHEET INDEX

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- C-0.1 CIVIL NOTES
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BOLTON
 DESIGN
 GROUP
 INC.

831 659 6200

Torres Street

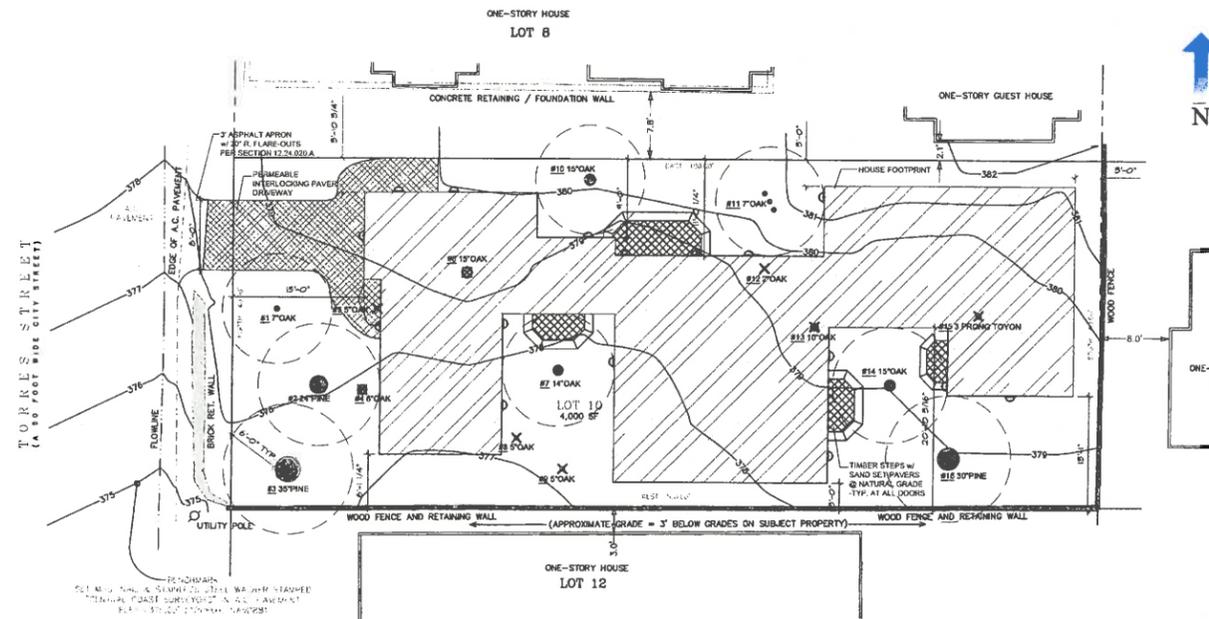
New Single Family Dwelling

Torres Street
 5 NE of 4th Avenue
 Carmel-by-the-Sea
 California
 93921

APN: 010-103-012-000

DATE: 30 NOV 2016

REVISIONS:



KEY

- ☒ 2 Significant Trees to be Removed
 #4 - 6" Oak
 #6 - 15" Oak
- ⊗ 1 Moderately Significant Tree to be Removed
 #13 - 10" Oak
- ✗ 4 Insignificant Trees to be Removed
 #5 - 5" Oak
 #8 - 5" Oak
 #9 - 5" Oak
 #12 - 2" Oak

1 SITE PLAN
 SCALE: 1/8" = 1'-0"

TITLE SHEET / PROJECT DATA / SCHEDULES / SITE PLAN

SCALE: N/A

DRAWN BY:

CHECKED BY:

JOB NO.: 16.02

SHEET NO.: **A-0.1**

Do not scale drawings. Verify dimensions, measurements and data as building or site. Report errors and questions to: BDG, INC.

The use of these plans and specifications is restricted to the original site for which they were prepared.

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BOLTON
DESIGN
GROUP
INC.

831 659 6200

Torres Street

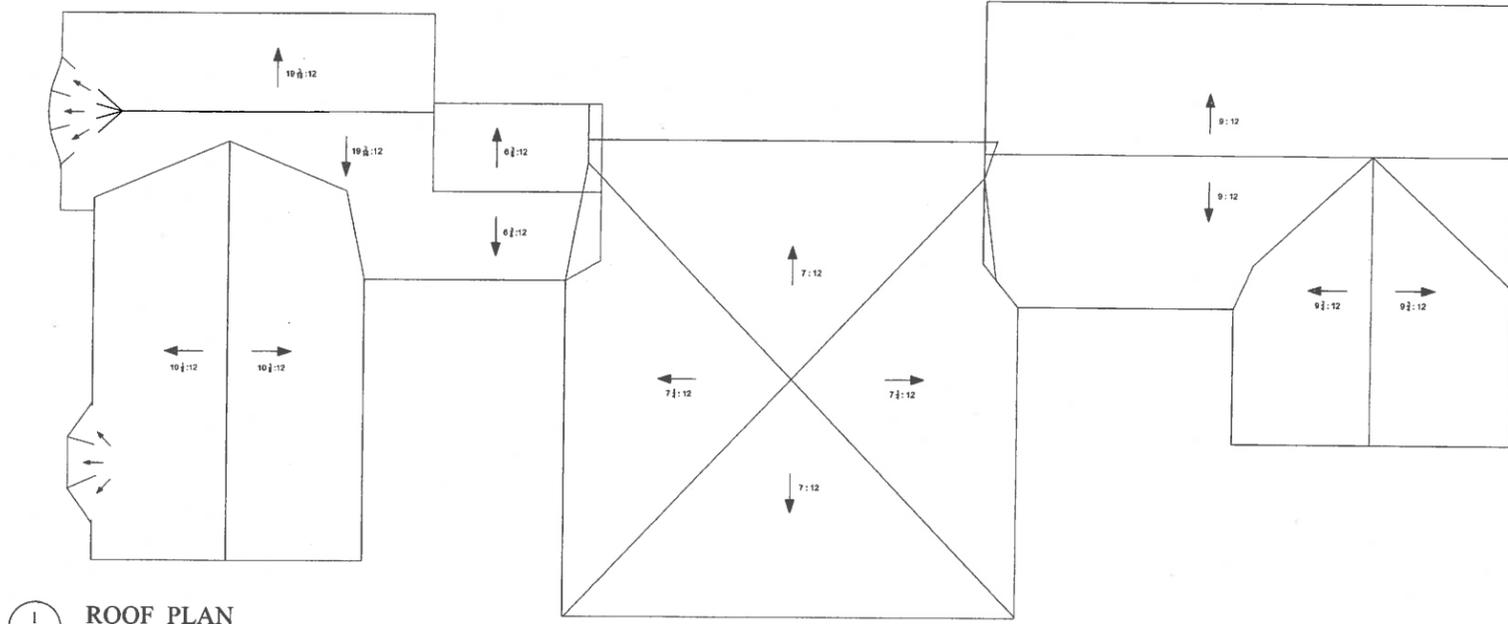
New Single
Family Dwelling

Torres Street
Between 3rd and 4th
Carmel-by-the-Sea
California
93921

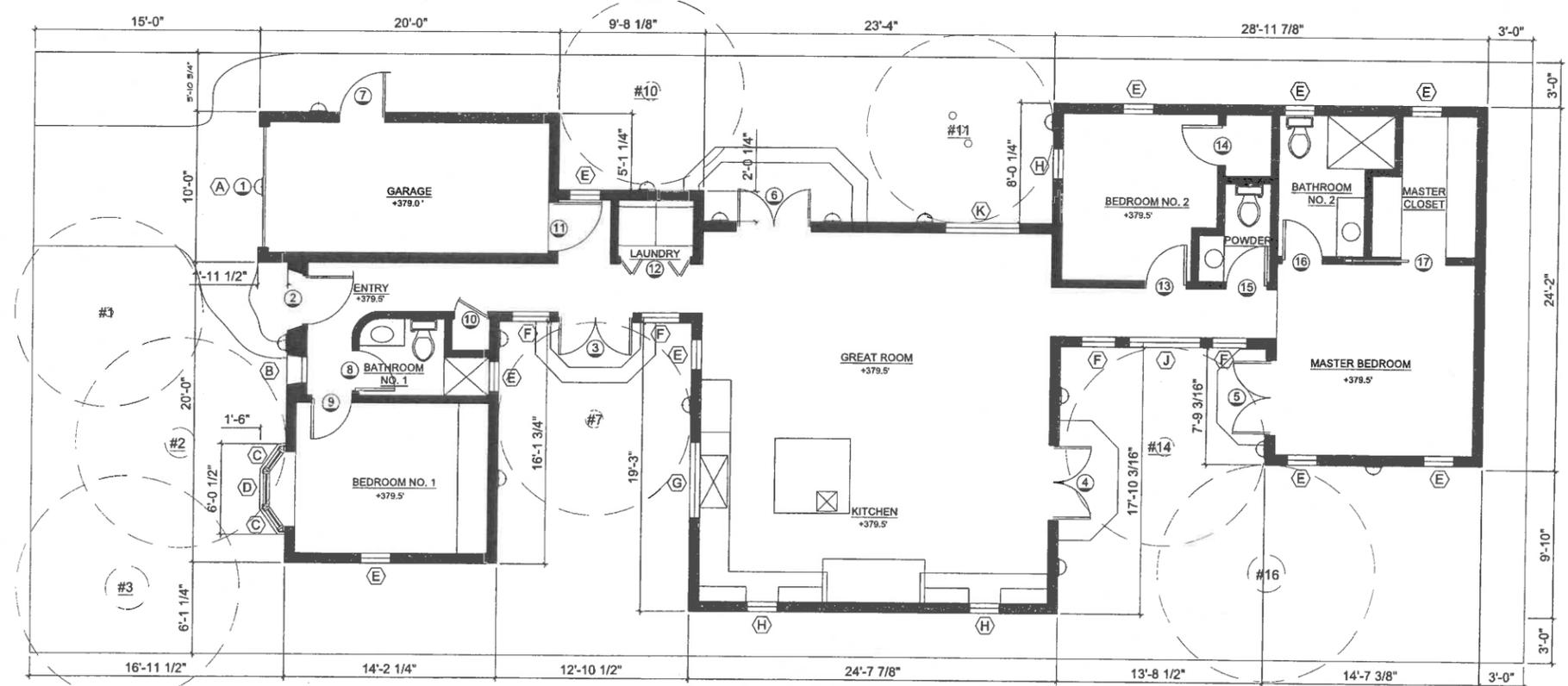
APN: 010-103-012-000

DATE: 30 NOV 2016

REVISIONS:



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



2 FLOOR PLAN
SCALE: 1/4" = 1'-0"

ROOF PLAN /
FLOOR PLAN

SCALE: N/A

DRAWN BY:

CHECKED BY:

JOB NO: 16.02

SHEET NO: A-1.0

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BOLTON
DESIGN
GROUP
INC.

831 659 6200

Torres Street

New Single
Family Dwelling

Torres Street
Between 3rd and 4th
Carmel-by-the-Sea
California
93921

APN: 010-103-012-000

DATE: 30 NOV 2016

REVISIONS:

ELEVATIONS

SCALE: N/A

DRAWN BY:

CHECKED BY:

JOB NO.: 16.02

SHEET NO.: **A-2.1**

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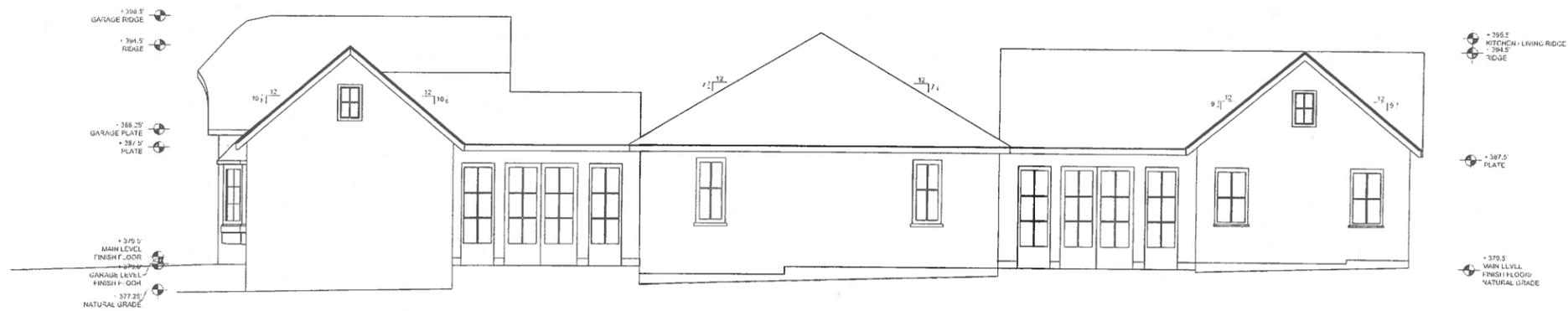
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1 EXTERIOR ELEVATION - WEST
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

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93921

APN: 010-103-012-000

DATE: 30 NOV 2016

REVISIONS:

ELEVATIONS

SCALE: N/A

DRAWN BY:

CHECKED BY:

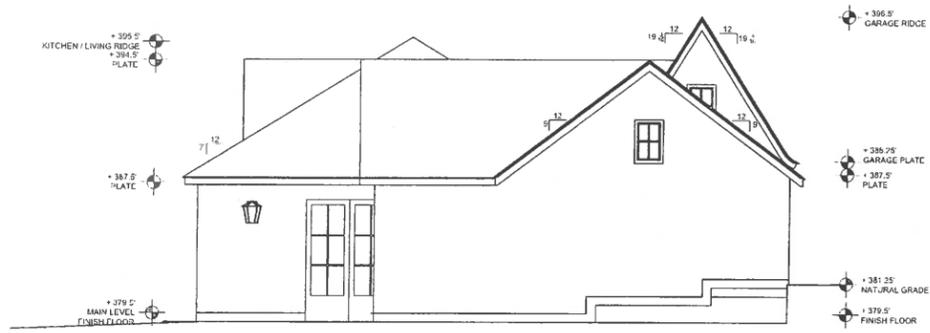
JOB NO.: 16.02

SHEET NO.: A-2.2

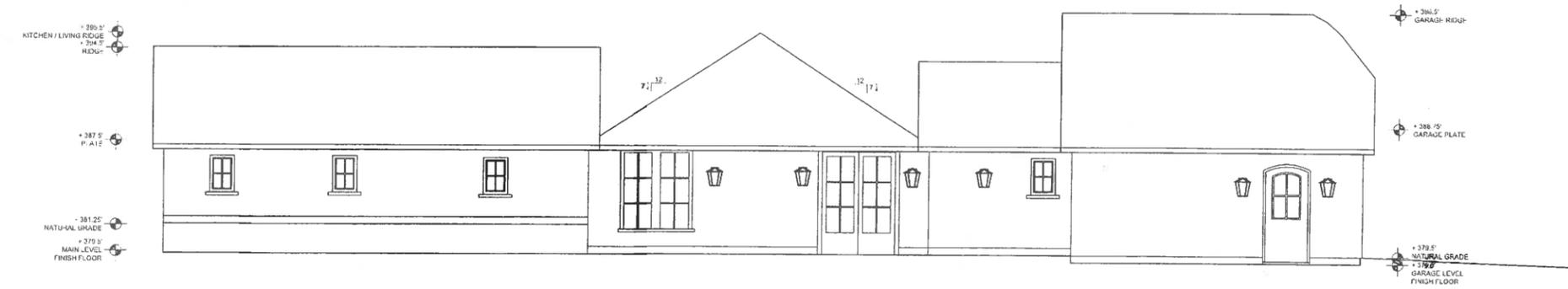
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1 EXTERIOR ELEVATION - WEST
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

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93921

APN: 010-103-012-000

DATE: 30 NOV 2016

REVISIONS:

**FENCE
ELEVATIONS**

SCALE: N/A

DRAWN BY:

CHECKED BY:

JOB NO: 16.02

SHEET NO: **A-2.3**

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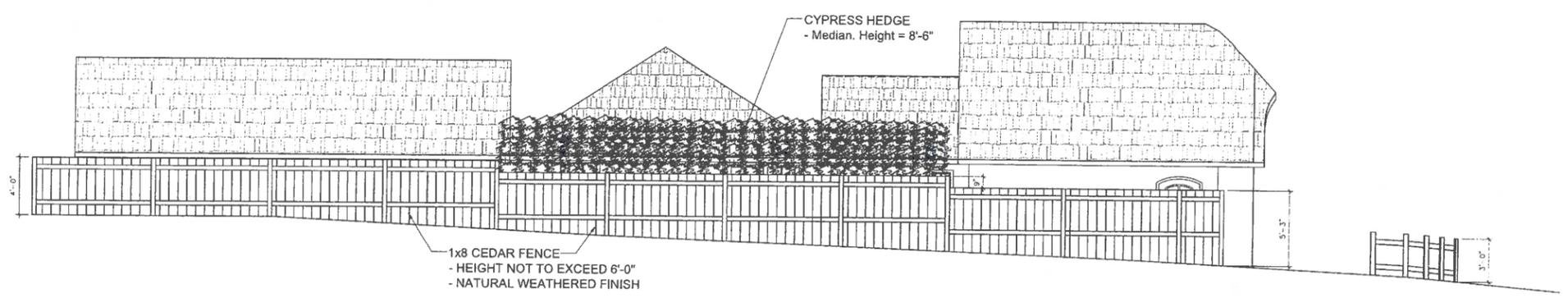
1 DECORATIVE FENCE ELEVATION - WEST
SCALE: 1/4" = 1'-0"



2 DECORATIVE FENCE DETAIL
SCALE: N/A



3 CEDAR FENCE DETAIL
SCALE: N/A



4 CEDAR FENCE ELEVATION - NORTH
SCALE: 1/4" = 1'-0"

Torres Street

**New Single
Family Dwelling**

Torres Street

Between 3rd and 4th

Carmel-by-the-Sea

California

93921

APN: 010-103-012-000

DATE: 30 NOV 2016

REVISIONS:

**LANDSCAPE
PLANTING PLAN**

SCALE:

DRAWN BY:

CHECKED BY:

JOB NO.: 06.04

SHEET NO.: **L-1.1**

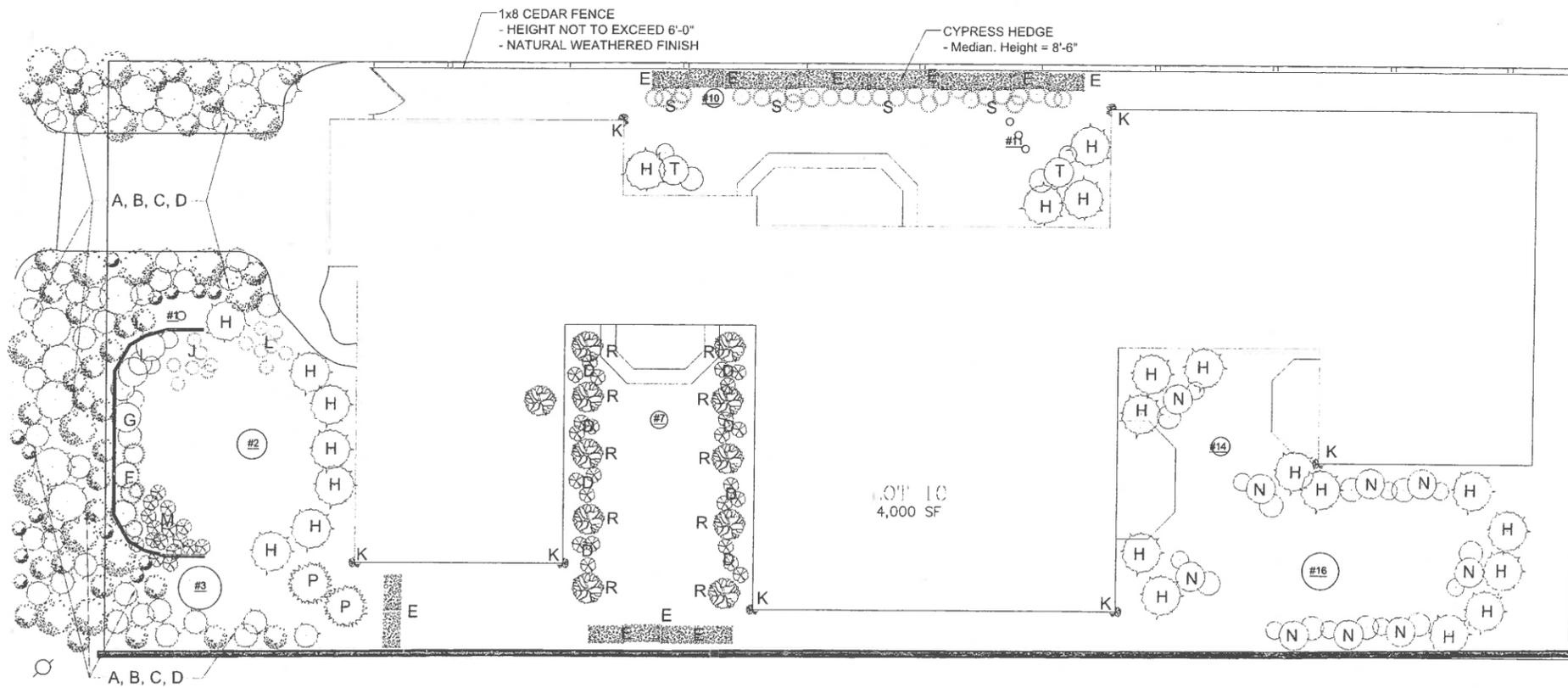
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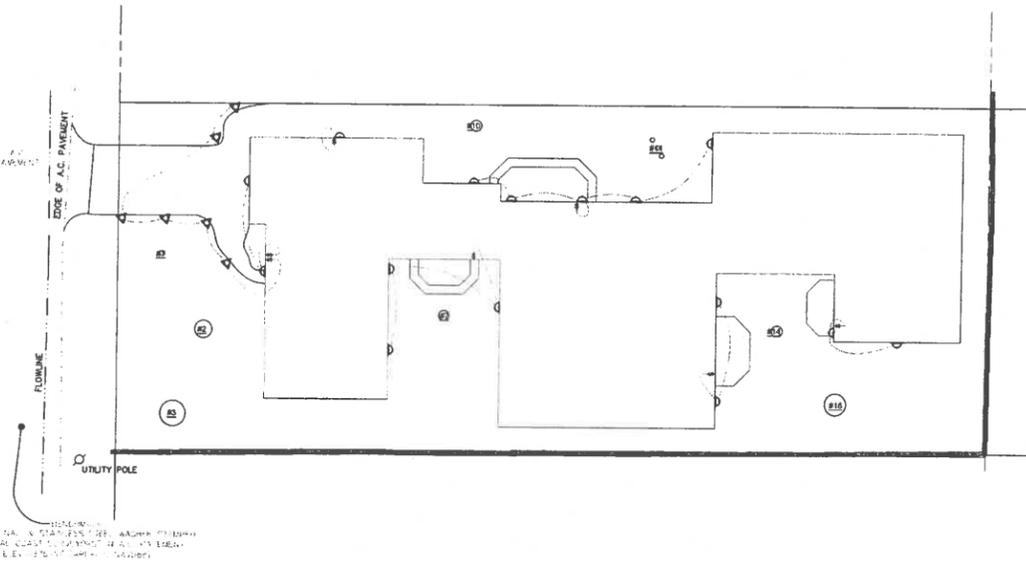
Planting List				
CODE	QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME
A	33	c	Cistus crispus	Dwarf Pink Rock Rose
B	33	1 GAL	Statice perezii	Sea Lavender
C	33	1 GAL	Lobularia maritima	Sweet Alyssum
D	41	6" POT	Gypsophila elegans	Baby's Breath
E	36	5 GAL	Cupressus leylandii	Leyland Cypress
F	4	1 GAL	Felicia amelloides	Blue Marguerite
G	4	1 GAL	Centratherus ruber	Pink Jupiter's Beard
H	24	1 GAL	Præcox orientalis	Agapanthus
I	4	1 GAL	Mandevilla splendens	Chilean Jasmine
J	6	1 GAL	Pelargonium peltatum	Pink Ivy Geranium
K	7	1 GAL	Rosea cecile brunner	Cecile Brunner Rose
L	4	1 GAL	Achillea millefolium	Moonshine Yarrow
M	10	1 GAL	Digitalis purpurea californica	Foxglove
N	30	6" POT	Pericallis x hybrida	Cineraria
P	2	5 GAL	Echium candicans	Blue Pride of Madera
R	10	3 GAL	Rosa spp.	Owner's preference
S	20	6" POT	Cosmos bipinnatus	Pink Cosmos
T	5	1 GAL	Tagetes lucida	Tree Marigold



LANDSCAPE PLANTING PLAN

SCALE: 1/4" = 1'-0"

TORRES STREET
(A 30' FOOT WIDE CITY STREET)

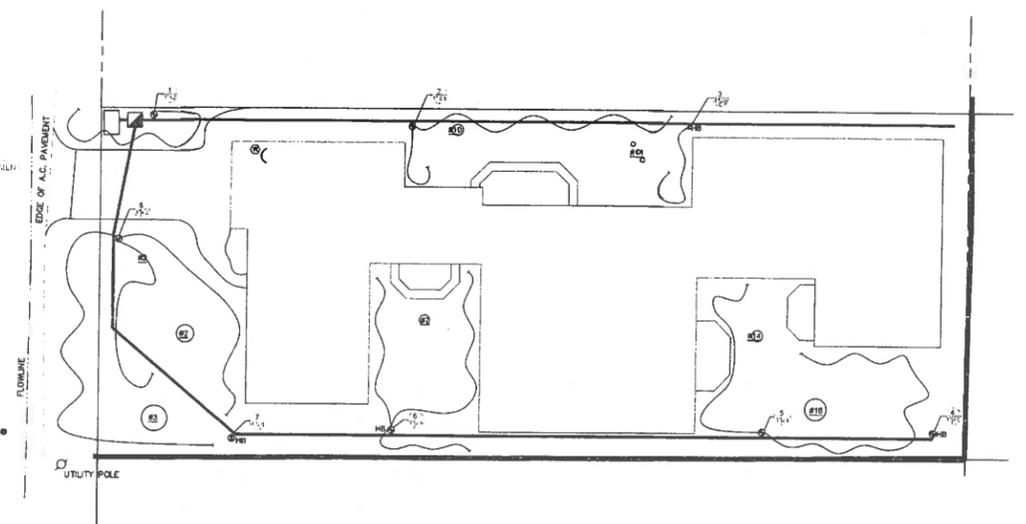


EXTERIOR LIGHTING LEGEND

SYMBOL	DESCRIPTION
	WALL LANTERN NOT TO EXCEED 2W
	EXTERIOR DRIVEWAY / PATH DOWN LIGHT NOT TO EXCEED 2W

1 LANDSCAPE LIGHTING PLAN
SCALE: 1/8" = 1'-0"

TORRES STREET
(A 30' FOOT WIDE CITY STREET)



IRRIGATION SYMBOL SCHEDULE

SYMBOL	DESCRIPTION
	STATION #
	GAL. PER MIN. PER VALVE
	VALVE SIZE
	BACKFLOW PREVENTION DEVICE
	CONTROLLER w/ WIRELESS RAIN SENSOR
	COMMERCIAL VALVE w/ PRESSURE REGULATOR 1" FILTER 100 MICRON/155 MESH
	GATE VALVE LINE SIZE
	MAINLINE SCHEDULE 40 PVC 1 1/2"
	POLYPROPYLENE DRIP TUBING

2 DRIP IRRIGATION PLAN
SCALE: 1/8" = 1'-0"

HINKLEY.&R.



- WALL LANTERN

HINKLEY LIGHTING, INC.
2250 146th Street, Richmond, CA 94804
PH: 415 885 8500 FAX: 415 885 8501
WWW.HINKLEYLIGHTING.COM

TRELLIS 143RB-LED
REGENCY BRONZE

WIDTH:	7 0"
HEIGHT:	15 3"
WEIGHT:	4.0 LBS
MATERIAL:	ALUMINUM
GLASS:	CLEAR SEEDY
BACKPLATE WIDTH:	4 0"
BACKPLATE HEIGHT:	7 0"
SOCKET:	1-15W LM-100 TROUSLER
LED INFO:	
LUMENS:	800
COLOR TEMP:	2700K
CR:	80
LED WATTAGE:	15w
INCANDESCENT EQUIVALENCY:	100w
DIMMABLE:	No
NOTES:	PATENT U.S. PATENTS PENDING
EXTENSION:	11.3"
TTO:	8.6"
CERTIFICATION:	C-UL8 WET RATED
VOLTAGE:	120V
LPC:	84085042006

HINKLEY.&R.



- GARAGE LANTERN

HINKLEY LIGHTING, INC.
2250 146th Street, Richmond, CA 94804
PH: 415 885 8500 FAX: 415 885 8501
WWW.HINKLEYLIGHTING.COM

TRELLIS 143RB-LED
REGENCY BRONZE

WIDTH:	26 0"
HEIGHT:	14 0"
WEIGHT:	8.8 LBS
MATERIAL:	ALUMINUM
GLASS:	CLEAR SEEDY
BACKPLATE WIDTH:	4 0"
BACKPLATE HEIGHT:	10 0"
SOCKET:	1-15W LM-100 TROUSLER
LED INFO:	
LUMENS:	800
COLOR TEMP:	2700K
CR:	80
LED WATTAGE:	15w
INCANDESCENT EQUIVALENCY:	100w
DIMMABLE:	No
EXTENSION:	11.8"
TTO:	8.6"
CERTIFICATION:	C-UL8 WET RATED
VOLTAGE:	120V
LPC:	84085143284

HINKLEY.&R.



- PATH LIGHTS

HINKLEY LIGHTING, INC.
2250 146th Street, Richmond, CA 94804
PH: 415 885 8500 FAX: 415 885 8501
WWW.HINKLEYLIGHTING.COM

HARDY ISLAND LG. HAMMERED PATH LIGHT 14007BZ-LED
MATTÉ BRONZE

WIDTH:	8.8"
HEIGHT:	23.7"
MATERIAL:	CAST BRASS
SOCKET:	1-2.30W PL-30 TROUSLER
LED INFO:	
LUMENS:	120
COLOR TEMP:	2700K
CR:	80
LED WATTAGE:	2w
INCANDESCENT EQUIVALENCY:	15w
DIMMABLE:	Yes, on MLV driver only.
NOTES:	PATENT U.S. PATENTS PENDING MFG. BY HINKLEY & R. 8,082,279 1.33 VA AND 2700K A HAMMERED KIT AND GROUNDING WIRE IS SUPPLIED
LED WATTAGE:	28 0"
VOLTAGE:	120V
LPC:	84085160238

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California
93921

810-183-012-000

DATE: 30 NOV 2016

REVISIONS:

LANDSCAPE LIGHTING AND IRRIGATION PLAN

SCALE:

DRAWN BY:

CHECKED BY:

JOB NO.: 06.04

SHEET NO.: **L-12**

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NEW SINGLE FAMILY DWELING

GENERAL NOTES

GENERAL NOTES

- 1.1.0 ALL WORK SHALL CONFORM TO THE CALIFORNIA BUILDING CODE, LATEST EDITION, THE CITY OF CARMEL STANDARDS AND SPECIFICATIONS, THE STATE DEPARTMENT OF TRANSPORTATION, "CALTRANS STANDARD PLANS & SPECIFICATIONS, 2010 EDITION, THESE PLANS, AND THE SOILS REPORT PREPARED BY GRIFF ENGINEERS, INC. REPORT NO. 1000-XX-XX. DATED MARCH 20, 2016. RESPECTIVELY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND IMPLEMENT ALL GEOTECHNICAL REQUIREMENTS FROM THE REPORT. THIS REPORT SHALL BE CONSIDERED TO BE INCORPORATED AS PART OF THE CONSTRUCTION DOCUMENTS. WHERE THE GEOTECHNICAL REPORT RECOMMENDATIONS AND REQUIREMENTS CONFLICTS WITH OTHER STANDARDS, THE GEOTECHNICAL REPORT SHALL GOVERN PROVIDED THE RECOMMENDATION/REQUIREMENT IS MORE CONSERVATIVE. ALL STANDARDS SHALL BE PURCHASED BY THE CONTRACTOR FROM THE STATE AND THE CITY.
- 1.1.1 NO CONSTRUCTION SHALL COMMENCE WITHOUT PLANS APPROVED BY THE CITY OF CARMEL ENGINEERING DEPARTMENT. ANY CONSTRUCTION DONE WITHOUT APPROVED PLANS OR PRIOR NOTIFICATION TO THE CITY ENGINEER WILL BE REJECTED AND MAY BE AT THE CONTRACTOR'S RISK.
- 1.1.2 A PERMIT SHALL BE OBTAINED FROM CITY OF CARMEL DEPARTMENT OF PUBLIC WORKS AND CALTRANS FOR WORK TO BE DONE IN THE CITY STREET OR STATE RIGHT-OF-WAY.
- 1.1.3 THE CONTRACTOR SHALL BE RESPONSIBLE FOR WORK AND PERMITS IN CONNECTION WITH THE REMOVAL OF EXCESS EARTH MATERIALS AND WASTE.
- 1.1.4 THE CONTRACTOR SHALL EMPLOY ALL LABOR, EQUIPMENT AND METHODS REQUIRED TO PREVENT HIS OPERATION FROM PRODUCING DUST IN AMOUNTS DAMAGING TO PROPERTY AND DOMESTIC ANIMALS OR CAUSING A NUISANCE TO PERSONS OCCUPYING BUILDINGS IN THE VICINITY OF THE JOBSITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY DUST RESULTING FROM HIS OPERATIONS. THE CONTRACTOR SHALL ARRANGE FOR AGENCY WATER IF REQUIRED. DUST ABATEMENT MEASURES SHALL BE CONSISTENT WITH THE STANDARDS OF THE REGIONAL AIR QUALITY CONTROL BOARD AND SHALL BE CONTINUED UNTIL RELIEF IS GRANTED BY THE GRADING INSPECTOR.
- 1.1.5 MUD, SILT, SAND, GRAVEL OR ANY KIND OF DIRT DELIVERED TO THE STREET BY TRUCKS GETTING IN AND OUT OF THE JOB SHALL BE REMOVED BY THE CONTRACTOR.
- 1.1.6 THESE PLANS DO NOT AUTHORIZE SITE DISTURBANCE BEYOND THE LIMITS OF GRADING SHOWN.
- 1.1.7 THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OR PROPER RESETTING OF ALL EXISTING MONUMENTS AND OTHER SURVEY MARKERS. ANY SURVEY MONUMENTS DESTROYED BY THE CONTRACTOR SHALL BE REPLACED IN ACCORDANCE WITH THE STATE LAND SURVEYOR'S ACT AT THE CONTRACTOR'S EXPENSE.
- 1.1.8 THE LOCATIONS OF EXISTING UTILITIES AND UNDERGROUND PIPELINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND UNDERGROUND PIPELINES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY FAILURE TO EXACTLY LOCATE EXISTING UTILITIES, PIPES AND PROTECT ANY AND ALL UNDERGROUND UTILITIES AND PIPELINES. THE CONTRACTOR SHALL CALL U.S.A. (UNDERGROUND SERVICE ALERT) AT 811 TWO WORKING DAYS PRIOR TO ANY CONSTRUCTION OR EXCAVATION.
- 1.1.9 ALL EXISTING IMPROVEMENTS (CURB, GUTTER, SIDEWALK, CROSS-GUTTER, FENCING, ETC.) THAT ARE REMOVED, DAMAGED, OR UNDERGUT SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE CITY ENGINEER.
- 1.1.10 PROVIDE APPROVED TRAFFIC CONTROL DURING COURSE OF CONSTRUCTION IN ACCORDANCE WITH THE STATE OF CALIFORNIA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION.
- 1.1.11 THE CITY INSPECTOR ACTING ON BEHALF OF THE CITY DEPARTMENT OF PUBLIC WORKS MAY REQUIRE REVISIONS IN THE PLANS TO SOLVE UNFORESEEN PROBLEMS THAT MAY ARISE IN THE FIELD. ALL REVISIONS SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER OF RECORD AND THE OWNER.
- 1.1.12 CENTRAL COAST ENGINEERS, INC. SHALL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE APPROVED IN WRITING BY CENTRAL COAST ENGINEERS, INC.
- 1.1.13 IF A PROBLEM SHOULD ARISE DURING THE COURSE OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE COUNTY AND THE ENGINEER OF RECORD IMMEDIATELY PRIOR TO ANY FURTHER WORK.
- 1.1.14 IF THE CONTRACTOR IS IN DOUBT AS TO THE MEANING OF ANY PART OF THE PLAN AND SPECIFICATIONS OR FINDS DISCREPANCIES IN OR OMISSIONS FROM THE DRAWINGS, HE SHALL SUBMIT A WRITTEN REQUEST FOR AN INTERPRETATION OR A CORRECTION THEREOF.
- 1.1.15 THE CONTRACTOR SHALL MAINTAIN A CURRENT, COMPLETE, AND ACCURATE RECORD OF ALL APPROVED CHANGES WHICH DEVIATE FROM THE CONSTRUCTION AS PROPOSED IN THESE CONTRACT DOCUMENTS FOR THE PURPOSE OF PROVIDING THE ENGINEER WITH A BASIS FOR RECORD DRAWINGS. NO CHANGES SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE COUNTY ENGINEER, THE ENGINEER OF RECORD, AND THE OWNER.
- 1.1.16 CONSTRUCTION GRADE STAKES AND PROPERTY LOT LINES SHALL BE SET BY A LICENSED SURVEYOR IN THE STATE OF CALIFORNIA.
- 1.1.17 NEITHER THE OWNER, NOR THE ENGINEER OF RECORD WILL ENFORCE SAFETY MEASURES OR REGULATIONS AS THEY PERTAIN TO THE CONTRACTOR. THE CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SIGNING AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS. THE APPROVAL OF THESE PLANS SHALL NOT BE TAKEN AS CONCORDEANCE BY THE COUNTY THAT THE CONTRACTORS OR THEIR AGENTS HAVE BEEN ABSOLVED TO ENFORCE APPLICABLE SAFETY REGULATIONS.
- 1.1.18 THE USE OF PLANS BY ANY CONTRACTOR SHALL HOLD TRUE THAT THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND CENTRAL COAST ENGINEERS, INC. HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- 1.1.19 ALL WORK SHALL CONFORM WITH THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
- 1.1.20 IN THE EVENT CONSTRUCTION STAKING BASED ON THESE PLANS, DRAWINGS OR OTHER DOCUMENTS IS ACCOMPLISHED BY OTHER THAN CENTRAL COAST ENGINEERS, INC. OR THEIR SUBCONSULTANT, OWNER AND CONTRACTOR AGREE TO HOLD CENTRAL COAST ENGINEERS, INC. HARMLESS AND RELEASE ALL LIABILITY ARISING FROM THE USE OF SAID PLANS, DRAWINGS OR OTHER DOCUMENTS.

UNDERGROUND UTILITIES

- 1.2.0 NO GUARANTEE IS INTENDED THAT UNDERGROUND OBSTRUCTIONS NOT SHOWN ON THESE PLANS MAY BE ENCOUNTERED. THOSE SHOWN ARE BASED ON THE BEST INFORMATION AVAILABLE AND THE CONTRACTOR IS CAUTIONED THAT THE COUNTY AND THE ENGINEER ASSUME NO RESPONSIBILITY FOR ANY OBSTRUCTIONS EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL COOPERATE WITH ALL UTILITY COMPANIES WORKING WITHIN THE LIMITS OF THIS PROJECT.
- 1.2.1 CONTRACTOR SHALL NOT BEGIN EXCAVATION UNTIL ALL EXISTING UTILITIES HAVE BEEN MARKED IN THE FIELD BY THE APPLICABLE ENTITY RESPONSIBLE FOR THAT PARTICULAR UTILITY. THE CONTRACTOR SHALL NOTIFY EACH APPLICABLE ENTITY AT LEAST 24 HOURS BEFORE STARTING WORK.
- 1.2.2 UNDERGROUND SERVICE ALERT: CALL 811 48 HOURS PRIOR TO EXCAVATION.
- 1.2.3 CONTRACTOR SHALL UNCOVER EXISTING BURIED UTILITIES WITH UTILITY OWNER(S) TO VERIFY LOCATIONS AND ELEVATIONS OF UTILITIES. BURIED UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER MAINS AND LATERALS, SEWER LINES, STORM DRAINS, GAS MAINS AND LATERALS, ELECTRICAL DISTRIBUTION LINES AND TELEPHONE LINES. UTILITIES CONFLICTING WITH THE PROPOSED CONSTRUCTION SHALL BE ADDRESSED IN ACCORDANCE WITH THE SPECIFICATIONS.

GRADING AND DRAINAGE NOTES

- 2.1.0 ALL UNSUITABLE SOIL MATERIALS: ASPHALT, CONCRETE, RUBBISH AND DEBRIS RESULTING FROM GRADING OPERATIONS SHALL BE REMOVED FROM THE JOB SITE, TRANSPORTED TO A SUITABLE LOCATION, AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS AND THESE CONSTRUCTION DOCUMENTS.
- 2.1.1 ALL FILLS USED TO SUPPORT THE FOUNDATIONS OF ANY BUILDING OR STRUCTURE SHALL BE PLACED UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER OR THEIR DESIGNATED REPRESENTATIVE, AND THE PLACEMENT OF THE FILL SHALL BE INSPECTED BY THE GEOTECHNICAL ENGINEER OR HIS QUALIFIED REPRESENTATIVE. A REPORT OF SATISFACTORY PLACEMENT OF FILL, ACCEPTABLE TO THE BUILDING OFFICIAL, SHALL BE SUBMITTED TO THE ENGINEER OF RECORD.
- 2.1.2 THE SOILS ENGINEER SHALL INSPECT AND TEST ALL GRADING IN THE FIELD AND SHALL DECLARE THAT ALL EARTHWORK WAS PROPERLY DONE AND IN CONFORMANCE WITH ALL REQUIREMENTS SPECIFIED HEREWITH.
- 2.1.3 THE CONTRACTOR SHALL SUBMIT COMPACTION REPORTS PREPARED BY AN APPROVED TESTING AGENCY FOR ALL FILLS, TO THE COUNTY AND THE ENGINEER OF RECORD.
- 2.1.4 COMPACTION TESTS SHALL BE MADE ON SUB-GRADE MATERIAL, FILL AND COMPACTED MATERIAL UNDER ALL STRUCTURES AND PAVEMENT, AND MATERIAL AS SPECIFIED BY THE ENGINEER OF RECORD OR THE COUNTY. SAID TESTS SHALL BE MADE PRIOR TO THE PLACING OF THE NEXT MATERIAL. CONTRACTOR SHALL OBTAIN AND MAINTAIN THE PROPER MOISTURE CONDITIONING OF SOILS UNDER CONCRETE SLABS PER THE GEOTECHNICAL REPORT IMMEDIATELY PRIOR TO POURING RETAINING MEMBRANE AND CONCRETE PLACEMENT.
- 2.1.5 COMPACTION TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER.
- 2.1.6 BENCHING IS REQUIRED ON ALL SLOPES GREATER THAN 5:1, BENCH WIDTH SHALL BE 2-FOOT MINIMUM AND 1-FOOT VERTICAL MINIMUM. A KEVED TOE BENCH OF 2-FOOT WIDE BY 1-FOOT VERTICAL SHALL BE USED.
- 2.1.7 IN THE EVENT THAT THE CONTRACTOR OR THEIR SUBCONTRACTORS NOTICE IRREGULARITIES IN THE LINE OR GRADE HE SHALL BRING IT TO THE IMMEDIATE ATTENTION OF THE ENGINEER OF RECORD. IF HE FAILS TO DO SO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONSTRUCTION TO CORRECT SUCH ERROR.
- 2.1.8 FLOODING OR WATERLOGGING SHALL NOT BE USED FOR BACKFILL COMPACTION.
- 2.1.9 THE SLOPE GRADIENT AWAY FROM THE BUILDING PAD SHALL BE TWO PERCENT (2%) OR MORE (IN PAVED AREAS) AND FIVE PERCENT (5%) OR MORE (IN UNPAVED AREAS) FOR A MINIMUM DISTANCE OF TEN FEET (10') PER CDC CODE.
- 2.1.10 ALL NON-PAVED FINISHED GRADE ELEVATIONS SHALL BE A MINIMUM OF EIGHT INCH (8") BELOW FINISHED FLOOR AND 2" BELOW FINISH FLOOR WHERE CONCRETE IS IMMEDIATELY OUTSIDE THE BUILDING (LMO), EXCEPT AT DOOR LANDINGS AND TRANSITIONS THERETO.
- 2.1.11 FOR ADDITIONAL GRADING REQUIREMENTS SEE THE GEOTECHNICAL REPORT PREPARED BY GRIFF ENGINEERS, INC. SERVICE REPORT NO. 1000-XX-XX AND CHAPTER 18 SECTION OF THE 2013 CBC.
- 2.1.12 ALL UNSUITABLE SOIL MATERIALS: ASPHALT, CONCRETE, RUBBISH AND DEBRIS RESULTING FROM GRADING OPERATIONS SHALL BE REMOVED FROM THE JOB SITE, TRANSPORTED TO A SUITABLE LOCATION, AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS. THE SITE SHALL BE STRIPPED TO A MINIMUM DEPTH OF 1 TO 2 INCHES. ALL EXISTING FILL SOILS WHICH WERE NOT PROPERLY COMPACTED AND CERTIFIED SHALL BE EXCAVATED AND STOCKPILED SO THAT THE NATIVE SOIL CAN BE PROPERLY PREPARED.
- 2.1.13 FOLLOWING STRIPPING, FILL REMOVAL, TREE REMOVAL AND DEMOLITION ACTIVITY AND PRIOR TO BACKFILLING, THE EXPOSED SUBGRADE WITHIN THE BLDG & EXTERIOR FLATWORK AND PAVED AREAS SHALL BE SCARIFIED TO A DEPTH OF AT LEAST 6 INCHES, WORKED UNIFORM, MOISTURE CONDITION AND RECOMPACTED TO AT LEAST 90% RELATIVE COMPACTION FOR 5' BEYOND THE WORK LIMITS.
- 2.1.14 ALL FILLS USED TO SUPPORT THE FOUNDATIONS OF ANY BUILDING, FLATWORK OR PAVEMENTS SHALL BE PLACED IN 6" LIFTS AND COMPACTED TO 90% RELATIVE COMPACTION AND 85% RELATIVE COMPACTION FOR PAVEMENTS. A REPORT OF SATISFACTORY PLACEMENT OF FILL, BOTH ACCEPTABLE TO THE GEOTECHNICAL ENGINEER AND TO THE BUILDING OFFICIAL, SHALL BE SUBMITTED.
- 2.1.15 ALL IMPORT FILL OR ENGINEERED FILL (W/VE) SHALL MEET THE CRITERIA FOR IMPORT FILL PER TABLE 5.4.1 OF THE GEOTECHNICAL REPORT.

PROJECT DATA

PROJECT: CARB RESIDENCE
 APN: 010-103-012-000
 ADDRESS: TORRES STREET & NE of 4th AVE,
 Carmel-by-the-Sea, California 93921

BOLTON
 DESIGN
 GROUP
 INC.

831 659 6200

Torres Street

New Single
 Family Dwelling

Torres Street
 5 NE of 4th Avenue
 Carmel-by-the-Sea
 California
 93921

APN: 010-103-012-000

DATE: 9-15-2016

REVISIONS:



CCE

CENTRAL COAST
 ENGINEERS, INC.
 STRUCTURAL
 DESIGN

P.O. Box 2503
 SALINAS, CA 93902
 P 831.757.5554
 F 831.757.2226

ESTIMATED QUANTITIES

AREA OF DISTURBED = 1,990 SF/0.046 ACRE
 CUT = 73 CY
 FILL = 28 CY
 NET EXPORT = 45 CY

QUANTITIES ESTIMATED IN THE SUBJECT AREA FOR PERMIT PURPOSES ONLY. ALL CONTRACTORS BIDDING THE PROJECT SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES.

SHEET INDEX

CO.1 CIVIL NOTES
 C1.0 GRADING, DRAINAGE & EROSION CONTROL PLAN

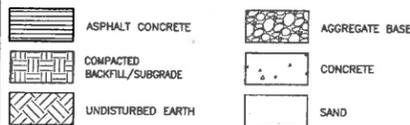
ABBREVIATIONS

AC	ASPHALTIC CONCRETE	GR	GRATE
BC	BEGIN CURVATURE	IE	INVERT ELEVATION
BVCS	BEGIN VERTICAL CURVATURE STATION	LG	LIP OF GUTTER
BVCE	BEGIN VERTICAL CURVATURE ELEVATION	MH	MANHOLE
BM	BENCHMARK	OD	OUTSIDE DIAMETER
C/CONC	CONCRETE	OG	ORIGINAL GROUND
CL	CENTERLINE	P	PAVEMENT
DI	DRAIN INLET	PL	PROPERTY LINE
DS	DOWN SPOUT	PM	POINT OF VERTICAL INTERSECTION
EC	END CURVATURE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	S	SLOPE
EVCS	END VERTICAL CURVATURE STATION	SD	STORM DRAIN
EX	EXISTING	SS	SANITARY SEWER
FC	FINISHED CONCRETE	SSR	SPRINKLER
FEC	FLARED END SECTION	TC	TOP OF CURB
FF	FINISHED FLOOR	TDC	TOP OF CONCRETE
FG	FINISHED GRADE	UP	UTILITY POLE
FH	FIRE HYDRANT	VG	VALLEY GUTTER
FL	FLOW LINE	WM	WATER METER
FS	FINISHED SURFACE	WV	WATER VALVE
G	GUTTER	WCR	WHEELCHAIR RAMP
GB	GRADE BREAK		

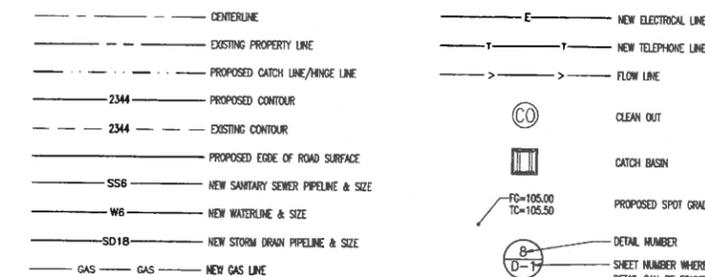
TYPICAL HATCHING (PLAN VIEW)



TYPICAL HATCHING (SECTION)



LEGEND



SCALE: as shown

DRAWN BY:

CHECKED BY:

JOB NO.: CCE 16-056

SHEET NO.: CO.1

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CITY OF CARMEL NOTES

- GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THAT AREA SHALL BE PLANTED UNDER THE PROVISIONS OF SECTION 16.08.340 TO CONTROL EROSION. (MCC 16.08.300 C.1)
- NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SITUATION OF WATER COURSES OR UNCONTROLLABLE EROSION. (MCC 16.08.300 C.2)
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. THE OWNER OR CONTRACTOR MAY BE REQUIRED TO KEEP ADEQUATE EQUIPMENT ON THE GRADING SITE TO PREVENT DUST PROBLEMS.
- RUNOFF FROM ACTIVITIES SUBJECT TO A DEVELOPMENT PERMIT SHALL BE PROPERLY CONTROLLED TO PREVENT EROSION. THE FOLLOWING MEASURES SHALL BE USED FOR RUNOFF CONTROL AND SHALL BE ADEQUATE TO CONTROL RUNOFF FROM A TEN YEAR STORM.
 - ON SOILS HAVING HIGH PERMEABILITY (MORE THAN 2 INCHES/HOUR), ALL RUNOFF IN EXCESS OF PREDEVELOPMENT LEVELS SHALL BE RETAINED ON THE SITE. THIS MAY BE ACCOMPLISHED THROUGH THE USE OF INFILTRATION BASINS, PERCOLATION PITS OR TRENCHES, OR OTHER SUITABLE MEANS. THIS REQUIREMENT MAY BE WAIVED WHERE THE DIRECTOR OF BUILDING INSPECTION UPON RECOMMENDATION OF THE HEALTH DEPARTMENT DETERMINES THAT HIGH GROUNDWATER, SLOPE STABILITY PROBLEMS, OR OTHER CONDITIONS WOULD INHIBIT OR BE AGGRAVATED BY ONSITE RETENTION, OR WHERE RETENTION WILL PROVIDE NO BENEFITS FOR GROUND WATER RECHARGE OR EROSION CONTROL.
 - ON PROJECTS WHERE ONSITE PERCOLATION IS NOT FEASIBLE, ALL RUNOFF MUST BE DETAINED OR DISPERSED OVER NON-ERODIBLE VEGETATED SURFACES SO THAT THE RUNOFF RATES DOES NOT EXCEED THE PREDEVELOPMENT LEVEL. ONSITE DETENTION MAY BE REQUIRED WHERE EXCESSIVE RUNOFF WOULD CONTRIBUTE TO DOWNSTREAM EROSION OR FLOODING. ANY POLICES AND REGULATIONS FOR ANY DRAINAGE ZONES WHERE THE PROJECT IS LOCATED WILL ALSO APPLY.
 - ANY CONCENTRATED RUNOFF WHICH CANNOT BE EFFECTIVELY DETAINED OR DISPERSED WITHOUT CAUSING EROSION, SHALL BE CARRIED IN NON-ERODIBLE CHANNELS OR CONDUITS TO THE NEAREST DRAINAGE COURSE DESIGNATED FOR SUCH PURPOSE OR TO ONSITE PERCOLATION DEVICES. WHERE WATER WILL BE DISCHARGED TO NATURAL GROUND OR CHANNELS, APPROPRIATE ENERGY DISSIPATORS SHALL BE INSTALLED TO PREVENT EROSION AT THE POINT OF DISCHARGE.
 - RUNOFF FROM DISTURBED AREAS SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, CATCH BASINS, OR OTHER MEANS AS NECESSARY TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA.
 - NO EARTH OR ORGANIC MATERIAL SHALL BE DEPOSITED OR PLACED WHERE IT MAY BE DIRECTLY CARRIED INTO A STREAM, MARSH, SLOUGH, LAGOON OR BODY OF STANDING WATER.
- LAND CLEARING SHALL BE KEPT TO A MINIMUM. VEGETATION REMOVAL SHALL BE LIMITED TO THAT AMOUNT NECESSARY FOR BUILDING ACCESS, AND CONSTRUCTION AS SHOWN ON THE APPROVED EROSION CONTROL PLAN. THE FOLLOWING PROVISIONS SHALL APPLY:
 - NO LAND CLEARING SHALL TAKE PLACE PRIOR TO APPROVAL OF THE EROSION CONTROL PLAN. VEGETATION REMOVAL BETWEEN OCTOBER 15 AND APRIL 15 SHALL NO PRECEDE SURFACE GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY.
- ALL DISTURBED SURFACES SHALL BE PREPARED AND MAINTAINED TO CONTROL EROSION AND TO ESTABLISH NATIVE OR NATURALIZED VEGETATION GROWTH COMPATIBLE WITH THE AREA. THIS CONTROL SHALL CONSIST OF:
 - ERECT TEMPORARY PLANTING SUCH AS RYE GRASS, SOME OTHER FAST GERMINATION SEED, AND MULCHING WITH STRAW AND/OR OTHER SOPE STABILIZATION MATERIAL.
 - PERMANENT PLANTING OF NATIVE OR NATURALIZED DROUGHT RESISTANT SPECIES OF SHRUBS, TREES, OR OTHER VEGETATION, PURSUANT TO THE COUNTY'S LANDSCAPE CRITERIA, WHEN THE PROJECT IS COMPLETED.
 - MULCHING, FERTILIZING, WATERING OR OTHER METHODS MAY BE REQUIRED TO ESTABLISH NEW VEGETATION, ON SLOPES LESS THAN 20% TOP SOIL SHOULD BE STOCKPILED AND REAPPLIED.
- IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION. (MCC 16.12.100)
- CONTRACTOR: --- CONSTRUCTION ---

CARMEL, CA 93922
(831) ---

SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE.
- THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY. (MCC 16.12.090 b 5)
- ALL GRADING SHALL CONFORM TO THE CITY OF CARMEL GRADING ORDINANCE, EROSION CONTROL ORDINANCE, AND CALIFORNIA BUILDING CODE.
- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RAM-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH CITY OF CARMEL GRADING AND EROSION CONTROL REGULATIONS.
- DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH CITY OF CARMEL TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH CITY OF CARMEL TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

EROSION PROTECTION NOTES

- THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN SUCH A MANNER THAT STORM RUNOFF SHALL BE CONTAINED WITHIN THE PROJECT OR CHANNELLED INTO THE STORM DRAIN SYSTEM WHICH SERVES THE RUNOFF AREA. STORM RUNOFF FROM ONE AREA SHALL NOT BE ALLOWED TO DRAIN TO ANOTHER RUNOFF AREA.
- CONFORMANCE WITH THE REQUIREMENTS OF THESE PLANS SHALL IN NO WAY RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITIES TO THIS PROJECT AND ADJACENT PROPERTIES. TEMPORARY EROSION CONTROL SHALL CONSIST OF, BUT NOT BE LIMITED TO, CONSTRUCTING SUCH FACILITIES AND TIMING SUCH MEASURES AS ARE NECESSARY TO PREVENT, CONTROL AND ABATE WATER, SOIL AND EROSION DAMAGE TO PUBLIC AND PRIVATE PROPERTY AS A RESULT OF THE PROJECT.
- APPROVAL OF PLANS DOES NOT RELIEVE THE DEVELOPER FROM RESPONSIBILITY FOR THE CORRECTION OF ERROR AND OMISSION DISCOVERED DURING CONSTRUCTION UPON REQUEST. THE REQUIRED PLAN REVISIONS SHALL BE PROMPTLY SUBMITTED TO THE CITY ENGINEER FOR APPROVAL.
- SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE IMPLEMENTED AND MAINTAINED TO PREVENT AND/OR MINIMIZE THE TRANSPORT OF SOIL FROM THE CONSTRUCTION SITE. A STORM WATER POLLUTION PREVENTION PLAN HAS BEEN PREPARED FOR THIS SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW, MAINTAIN, AND IMPLEMENT THE REQUIREMENTS OF THE PLAN.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT WIND OR RUNOFF DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES. DISCHARGES OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL WRITES PERMIT OR THE STATEMENT GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, FUELS, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES, AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; SUPER-CHLORINATED POTABLE WATER FROM LINE FLOUSING AND TESTING; AND RUNOFF FROM EQUIPMENT AND VEHICLE WASHING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE. PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- DURING CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE WAIVE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS. STAGING AREAS SHALL BE SELECTED BY THE CONTRACTOR WITH INCORPORATION OF THE APPROPRIATE BMPs.
- BMPs SHALL BE MAINTAINED AT ALL TIMES. IN ADDITION, BMPs SHALL BE INSPECTED PRIOR TO PREDICTED STORM EVENTS AND FOLLOWING STORM EVENTS. SEE THE PROJECT STORM WATER POLLUTION PREVENTION PLAN FOR BMP DETAILS.
- SPECIFIC LOCATIONS OF BMPs SUCH AS SILT FENCING, MATERIALS STORAGE AREA AND STABILIZED ROAD CONSTRUCTION ARE TO BE ADJUSTED TO REFLECT ACTUAL CONSTRUCTION EQUIPMENT & CONTRACTORS' MEANS AND METHODS.
- STRAW MULCH OR SOIL BINDER SHALL BE APPLIED TO ALL INACTIVE DISTURBED AREAS. STRAW MULCH SHALL BE RE-APPLIED AS NEEDED TO MAINTAIN EFFECTIVENESS.
- LINEAR SEDIMENT CONTROLS (SILT FENCING, FIBER ROLLS, ETC) SHALL BE DEPLOYED ON DISTURBED SLOPES (IF ANY). LINEAR SEDIMENT CONTROLS WILL ALSO BE USED AS A PERIMETER CONTROL TO CONTAIN SEDIMENT WITHIN THE PROJECT AREA. IT IS NOT NECESSARY TO DEPLOY PERIMETER CONTROLS AT LOCATIONS WHERE SEDIMENT IS UNABLE TO LEAVE THE PROJECT SITE (SUCH AS AREAS THAT SLOPE INWARD).
- THE CONTRACTOR SHALL INSPECT ALL MAINTENANCE ACCESS ROADS DAILY. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT OR OTHER CONSTRUCTION ACTIVITY RELATED MATERIALS THAT ARE DEPOSITED ON THE ROADS BY VACUUMING OR SWEEPING ON A DAILY BASIS (WHICH NECESSARY) AND PRIOR TO ANY RAIN EVENT.
- STORM DRAIN INLETS DOWNGRADIENT OF DISTURBED SOIL AREAS SHALL BE PROTECTED.
- A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE CONSTRUCTED IF EXISTING PAVEMENTS DO NOT EXIST. ADDITIONAL ENTRANCES/EXITS SHALL BE CONSTRUCTED AS NEEDED. CONSTRUCTION ACTIVITY TRAFFIC TO AND FROM THE PROJECT SHALL BE LIMITED TO THESE STABILIZED CONSTRUCTION ENTRANCES/EXITS.
- A STAGING AREA SHALL BE DESIGNATED AT THE PROJECT. BMPs SELECTED FOR THE CONSTRUCTION SITE SHALL ALSO BE IMPLEMENTED AT THE STAGING AREA. SPECIAL ATTENTION TO THE FOLLOWING BMPs SHALL BE TAKEN AT THE PROJECT: NS-9, NS-10, NS-10, WM-1, WM-3, WM-4, WM-5, WM-8 & WM-9
- WATER SHALL BE APPLIED TO DISTURBED AREAS AND STOCKPILES AS NECESSARY TO PREVENT OR ALLEVIATE EROSIONS BY THE FORCES OF WIND.
- ANY STOCKPILES SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM CONCENTRATED FLOWS OF STORM WATER, DRAINAGE COURSES, AND INLETS. ALL STOCKPILES SHALL BE BERMED. ADDITIONALLY, STOCKPILES SHALL BE COVERED AT ALL TIMES (TO PROTECT THEM FROM THE WIND AND THE RAIN) WHEN THEY ARE NOT ACTIVELY BEING USED. STOCKPILES THAT ARE UNSTABILIZED DURING CONSTRUCTION ACTIVITIES SHALL BE SPRAYED WITH WATER AS NEEDED FOR DUST CONTROL.
- AN ABOVE GRADE OR MOBILE CONCRETE WASHOUT SHALL BE CONSTRUCTED OR PLACED ON SITE IF CONCRETE TRUCKS OR CONCRETE EQUIPMENT SHALL BE WASHED ON-SITE. THE WASHOUT SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM CONCENTRATED FLOWS OF STORM WATER, DRAINAGE COURSES, AND INLETS. ADDITIONAL WASHOUTS SHALL BE UTILIZED AS NEEDED.
- IF NEEDED, A LICENSED SEPTIC SHALL DELIVER AND MAINTAIN PORTABLE RESTROOMS TO THE PROJECT AREA. THE RESTROOMS SHALL BE LOCATED AWAY FROM TRAFFIC AND DRAINAGE FACILITIES ON LEVEL, HAND-PAVED OR PAVED SURFACES.

**BOLTON
DESIGN
GROUP
INC.**

831 659 6200

Torres Street

**New Single
Family Dwelling**

**Torres Street
5 NE of 4th Avenue
Carmel-by-the-Sea
California
93921**

APN: **010-103-012-000**

DATE: **9-15-2016**

REVISIONS:



CCE
CENTRAL COAST
ENGINEERS, INC.
STRUCTURAL
DESIGN
P.O. Box 2503
SALINAS, CA 93902
P 831.757.5554
F 831.757.2226

BMP CONSIDERATION CHECKLIST

BMP DETAILS REFER TO THE "2009 CASQA BMP HANDBOOK" - NOT ALL BMPs REQUIRED ON THE PROJECT WILL BE SHOWN ON THE PLAN

BMP NO.	BMP	BMP NO.	BMP
EC-1	SCHEDULING	NS-1	WATER CONSERVATION PRACTICES
EC-2	PRESERVATION OF EXISTING VEGETATION	NS-2	DEWATERING OPERATIONS
EC-3	HYDRAULIC MULCH	NS-3	PAVING AND GRINDING OPERATIONS
EC-4	HYDROSEEDING	NS-4	TEMPORARY STREAM CROSSING
EC-5	SOIL BINDERS	NS-5	CLEAR WATER DIVERSION
EC-6	STRAW MULCH	NS-6	ILLEGAL CONNECTION/ DISCHARGE
EC-7	GEOTEXTILES & MATS	NS-7	POTABLE WATER IRRIGATION
EC-8	WOOD MULCHING	NS-8	VEHICLE AND EQUIPMENT CLEANING
EC-9	EARTH DIKES & DRAINAGE SWALES	NS-9	VEHICLE AND EQUIPMENT FUELING
EC-10	VELOCITY DISSIPATION DEVICES	NS-10	VEHICLE AND EQUIPMENT MAINTENANCE
EC-11	SLOPE DRAINS	NS-11	PILE DRIVING OPERATIONS
EC-12	STREAMBANK STABILIZATION	NS-12	CONCRETE CURING
EC-13	POLYACRYLAMIDE	NS-13	CONCRETE FINISHING
SE-1	SILT FENCE	NS-14	MATERIAL AND EQUIPMENT USE OVER WATER
SE-2	SEDIMENT BASIN	NS-15	DEMOLITION ADJACENT TO WATER
SE-3	SEDIMENT TRAP	NS-16	TEMPORARY BATCH PLANTS
SE-4	CHECK DAM	WM-1	MATERIAL DELIVERY AND STORAGE
SE-5	SEDIMENT LOG (6C2.1)	WM-2	MATERIAL USE
SE-6	GRAVEL BAG BERM	WM-3	STOCKPILE MANAGEMENT
SE-7	STREET SWEEPING AND VACCUUMING	WM-4	SPILL PREVENTION AND CONTROL
SE-8	SAND BAG BARRIER	WM-5	SOLID WASTE MANAGEMENT
SE-9	STRAW BALE BARRIER	WM-6	HAZARDOUS WASTE MANAGEMENT
SE-10	STORM DRAIN INLET PROTECTION	WM-7	CONTAMINATED SOIL MANAGEMENT
SE-11	CHEMICAL TREATMENT	WM-8	CONCRETE WASTE MANAGEMENT
WE-1	WIND EROSION CONTROL	WM-9	SANITARY/SEPTIC WASTE MANAGEMENT
TC-1	STABILIZED CONSTRUCTION ENTRANCE/EXIT	WM-10	LIQUID WASTE MAINTENANCE
TC-2	STABILIZED CONSTRUCTION ROADWAY		
TC-3	ENTRANCE/OUTLET TIRE WASH		

**GRADING
DRAINAGE &
EROSION
CONTROL PLAN**

SCALE: **as shown**

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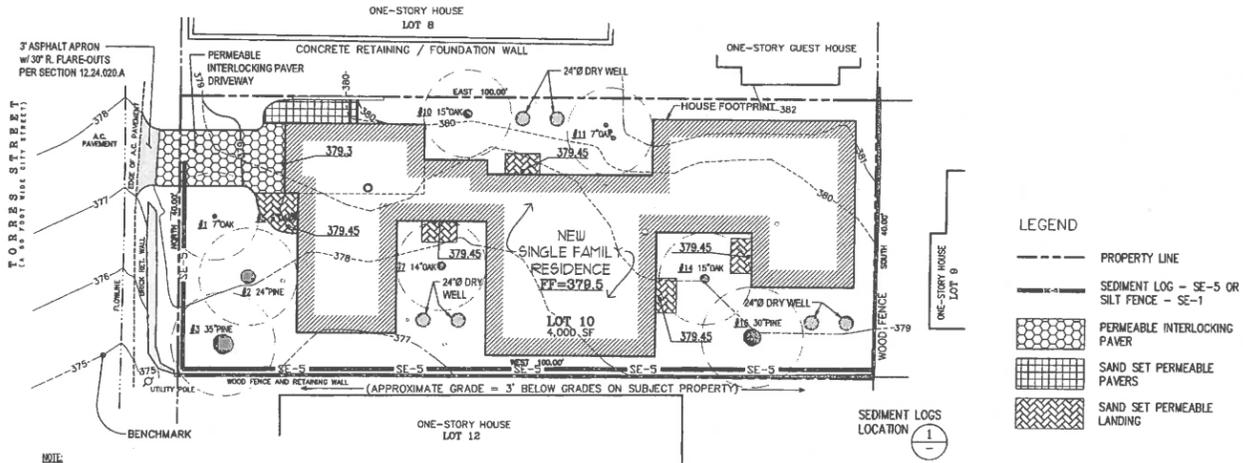
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STREET NO.: **C1.0**

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NOTE: AS DISTURBED SURFACES SHALL BE PROTECTED AFTER DISTURBANCE AND HAVE POST-CONSTRUCTION BMPs IN PLACE SUCH AS HYDROSEED OR OTHER ACCEPTABLE METHOD.



GRADING-DRAINAGE & EROSION CONTROL PLAN

SCALE: 1"=10'

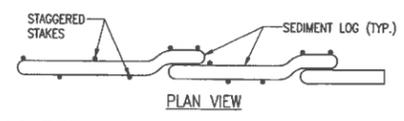
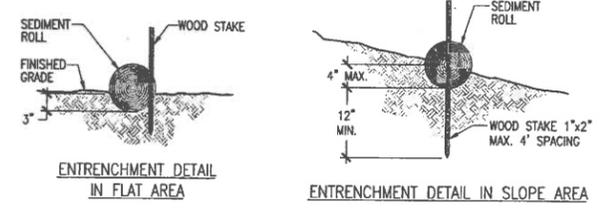


CALL TWO WORKING DAYS BEFORE YOU DIG

NOTE: CONTRACTOR SHALL VERIFY EXACT LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTACT UNDERGROUND SERVICES ALERT TO LOCATE EXISTING UTILITIES 48 HOURS PRIOR TO CONSTRUCTION AT 811.

NOTES:

- PRIOR TO ROLL INSTALLATION, CONTOUR A CONCAVE KEY TRENCH THREE (3) INCHES MIN. TO FOUR (4) INCHES MAX. DEEP ALONG THE PROPOSED INSTALLATION ROUTE.
- SOIL EXCAVATED IN TRENCHING SHOULD BE REPLACED ON THE UPWIND OR FLOW SIDE OF THE ROLL TO PREVENT WATER FROM UNDER CUTTING THE ROLL.
- PLACE SEDIMENT ROLL INTO KEY TRENCH AND STAKE ON BOTH SIDES OF THE ROLL TO WITHIN THREE (3) FEET OF EACH END AND THEN EVERY THREE (3) FEET WITH 1"x2"x23" WOOD OR METAL STAKES.
- STAKES ARE TYPICAL DRIVEN IN ON ALTERNATING SIDES OF THE ROLL WHEN MORE THAN ONE (1) SEDIMENT ROLL IS PLACED IN A ROW, THE ROLL SHOULD BE OVERLAPPED TWELVE (12) INCHES MIN. TO PROVIDE TIGHT JOINT, NOT ADJUTED TO ONE ANOTHER.
- SEDIMENT LOGS ARE TO BE INSTALLED FOLLOWING TOPOGRAPHIC CONTOURS.



SEDIMENT LOG DETAIL

N.T.S.



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

December 14, 2016

To: Chair Goodhue and Planning Commissioners

From: Marc Wiener, AICP, Community Planning and Building Director

Submitted by: Matthew Sundt, Contract Planner

Subject: Consideration of a combined Concept and Final Design Study (DS 16-412) and associated Coastal Development Permit for alterations to an existing residence located in the Single-Family Residential (R-1) Zoning District.¹

Recommendation:

Approve the combined Concept and Final Design Study (DS 16-412) and associated Coastal Development Permit for alterations to an existing residence, subject to the attached Findings and Conditions.

Application: DS 16-412 **APN:** 009-353-009
Block: 1 **Lot:** 20
Location: 25990 Junipero Street between Rio Road and 12th Avenue
Applicant: Mackenzie Patterson, Archt. **Property Owner:** Angela Weigel

Background and Project Description:

The property is 7,080 square feet in size and has a 1,780 square-foot, single-story residence including an attached garage. The applicant has submitted plans to add a detached 250 square-foot garage in the front setback (and parallel to Junipero Street), add a master bedroom addition to the south wing of the residence, and convert the existing attached garage on the north wing into a bedroom. Finish materials are painted vertical boards. The roof is relatively low pitched with a 4:12 slope. Existing roof material is composition shingle, but the applicant is proposing to replace the existing roofing with a black standing seam metal roof. The residence is not on the Carmel's

¹ Based on the CMC 17.58.040.B.2.a (Step Three: Final Details Review), for projects involving additions or alterations to historic resources or limited changes to non-historic structures, the Director may authorize concept review and final details review to occur at the same meeting. Staff has determined that the limited changes to the structure justify combining the concept review and final details review.

Historic Inventory and a *Notice of Ineligibility For The Carmel Historic Resources Inventory* was issued by the Planning Department on August 12, 2016.

Existing fencing on the property includes a combination of materials to include redwood palings, vertical and horizontal board fencing, and retaining wall. No new fencing is proposed.

The proposed master bedroom addition is 430 square feet in size; the proposed detached garage will be 250 square feet, and the existing attached garage to be converted to a bedroom is approximately 264 square feet. The total square feet of additional floor area is 680 square feet. If approved, the total square footage of the house will increase from 1,780 to 2,460 square feet. In addition, as the property exceeds the maximum allowable site coverage, 1,362 square feet of site coverage will be removed with most of this being the existing asphalt driveway.

Staff has scheduled this application for both conceptual review and final review details. If the Commission has concerns that cannot be addressed at one meeting it may continue the application.

PROJECT DATA FOR A 7,080 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	2,750 sf	1,780	2,460 sf
Site Coverage	605 sf	3,153	1,962 sf
Trees ²	3 Upper /1 Lower (recommended)	3 Coast live oak	None
Ridge Height (1 st /2 nd flr)	18'/24'	13'-2"	No change
Plate Height (1 st /2 nd flr)	12'/ 18'	8'	No change
Setbacks	Minimum Required	Existing	Proposed
Front	15'	12' (at existing garage)	12' (at existing garage) 15' (at new master bedroom) 2' (at proposed garage)
Composite Side Yard	20' (25%)	19' – 4"	Min: 20'
Minimum Side Yard	3'	6' – 8"	Min. North Side: 6' – 8" Min. South Side: 12' – 6"
Rear	15' (3' allowed if bldg. height not over 15')	9' – 4"	No change

² This addresses private property only. Trees in public right-of-way are discussed below in 'Forest Character'

Staff analysis:

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourage maintaining “*a forested image on the site*” and for new construction to be at least six feet from significant trees. The preamble to Design Guidelines 1.5 and 1.6 states, “*Carmel’s streets are designed for walking. On most streets, pedestrians share the lanes with motorists. This contributes to the informal character of the street and should be continued*”. Guideline 1.5 states, “Do not add paving or boulders to the right-of-way”. Guideline 1.6 states, “*Preserving existing belts of vegetation around a site can contribute to the forest character of the street and help screen buildings*”, and “*Trees with canopies that arch over the street are particularly important to community character*”. City code (CMC Section 17.34.070 - *Landscaping Standards for Residential Districts*) requires that upper and lower canopy trees be planted as a component of development projects, if needed.

The subject property contains three Coast live oaks that will remain and be protected during construction. The proposed new construction is setback a minimum of 6 feet from existing trees. It does not appear that these trees will need to be pruned to accommodate new construction. There are non-native Leyland Cypress trees planted on west and north periphery of the property for purposes of a privacy hedge. In addition, there are two Monterey cypress planted on the east property boundary nearest the northeast corner of the property. Monterey cypress are on the list of Carmel’s upper canopy trees. However, as these cypress are growing in a hedge fashion they will not count as upper canopy trees. Therefore, the City Forester recommends that an upper canopy tree be planted on the property. However, per the City Forester, if one of the two aforementioned Monterey cypress is removed, the remaining cypress would qualify as being an ‘upper canopy’ tree, and if left alone to grow its natural height. The City right-of-way on Junipero Street also contains 11 Coast live oaks of varying size and one 54” Monterey pine.

It is also relevant to note that there is ice plant and ivy and substantial area of paved and unpaved parking in the City’s right-of-way. Staff has drafted a condition that requires the applicant remove the paved parking area as well as the ice plant and ivy. Staff has also drafted a condition that requires one Monterey pine be planted to the south of the existing Monterey pine, one Monterey pine to be planted to the south of the existing driveway in the area of the ivy, and that six additional lower canopy trees from the list of City trees be planted in the City’s right-of-way.

Privacy & Views: Residential Design Guidelines 5.1 through 5.3 state that “*designs should preserve reasonable solar access to neighboring parcels*” and “*maintain privacy of indoor and outdoor spaces in a neighborhood*” and “*maintain view opportunities.*”

Staff has not identified any view impacts that would be created by the new residence. With regard to privacy, the proposed new master bedroom addition will not affect the privacy of the neighbor to the south who would potentially be most impacted by new construction. The combination of a one story structure, fencing, and landscape screening, precludes any impact. Though the north wing contains the existing attached garage that currently has a window on the north elevation facing the neighbor, the project plans show that this window is removed and new windows installed on the east elevation where there would be no privacy concerns. The neighbors to the east would not be affected by the proposed project as the new construction is located on the east and north sides of the existing residence. No changes are proposed to the west elevation of the residence.

With regard to privacy and views, in staff's opinion, the proposed residence meets the objectives of Residential Design Guidelines 5.1 through 5.3.

Mass & Bulk: Residential Design Guidelines 7.1 through 7.6 encourage a building's mass to relate *"to the context of other homes nearby"* and to *"minimize the mass of a building as seen from the public way or adjacent properties."* Further, these guidelines state that *"a building should relate to a human scale in its basic forms."* Residential Design Guidelines 7.6 states, *"low, horizontal building forms that appear to hug the ground are encouraged."*

The Residential Design Guidelines encourage garages and parking spaces to remain subordinate to the overall character of the site. Specifically, garages should be integrated into the building design and the mass should be subordinate to the house. In staff's opinion, the proposed project, as viewed from the street, is consistent with the Design Guidelines because the garage profile fits with the roof form and horizontal form of the existing residence; the proposed detached garage will visually blend with that existing in the background and so be relatively indistinguishable from that existing.

The proposed new construction fits with the existing building design in terms of being one-story, similar roof slope and similar finish materials and window characteristics – the new construction is an extension of the existing. With regard to mass and bulk, in staff's opinion, the proposed residence meets the objectives of Residential Design Guidelines 7.1 through 7.6 by it being a low and horizontal form and blending somewhat indistinguishably with that existing.

Building & Roof Form: Residential Design Guidelines 8.1 through 8.5 state that *"building forms should be simple. Basic rectangles, L or U-shapes are typical"*, *"A form with a horizontal emphasis is preferred"*, *"Roof forms should be composed of just a few simple planes"*, *"Avoid complex roof*

forms that call attention to the design or add unnecessary detail”, “In general, moderately pitched roofs (4:12 to 6:12) are preferred”. The Guidelines emphasize using “restraint” and “simplicity” in building forms, which should not be complicated, and roof lines, which should “avoid complex forms.”

The proposed addition to the residence and the detached garage are one-story and will reflect the existing moderately pitched roof and horizontal character (existing and proposed roof slope is 4:12). As seen from Junipero Street there are three existing roof lines. With the new detached garage there would be a fourth roof line. In staff’s opinion, the roof design associated with the master bedroom addition and the detached garage is simple and complements the building style.

The existing roof is made of composite shingle. The applicant is proposing to replace the shingles with a black standing seam metal roof, which is the same type of roof (except it is red) on the adjacent residence to the west. In staff’s opinion, the proposed residence meets the objectives of Residential Design Guidelines 8.1 through 8.5.

Site Coverage: Per Municipal Code Section 17.10.030.C, site coverage shall be limited to a maximum of 22 percent of the base floor area allowed for the site. In addition, if at least 50 percent of all site coverage on the property is made of permeable or semi-permeable materials, an additional amount of site coverage of up to four percent of the site area may be allowed. For this 7,080 square-foot lot the total amount of coverage is allowed to be 605 square feet; the project landscape plans indicate there is 1,701 square feet of impervious surfacing and 1,452 square feet of pervious surfacing, for a total of 3,153 square feet of site coverage. The current plans show 357 square feet of impervious and 1,605 square feet of permeable, for a total of 1,962 square feet of site coverage. In staff’s opinion, the proposed residence meets the requirements of the Municipal Code.

Note that according to CMC 17.10.030.C.2, “Sites not in compliance with site coverage limits shall not be authorized to increase site coverage. Sites with excess coverage may add floor area consistent with subsection (D)(3) of this section, Exterior Volume, only when:

- a. The site complies with the R-1 district tree density provisions established in CMC 17.48.080(A) and all existing and new trees have sufficient space to protect the root zones and provide for new growth; and

- b. Excess site coverage will be reduced at a rate equal to two times the amount of floor area added to the site, or to an amount that complies with the site coverage limits, whichever is less.”

The proposed project meets these requirements.

Detached Garage/Driveway: Design Guidelines 6.1 states, “*Garages integrated into the building design are encouraged*”, “*Keep the mass of a garage subordinate to that of the house*”, and “*Keep the mass of a garage subordinate to that of the house*”. The proposed garage is 250 square feet and carries architectural elements similar to that of the house that includes the same shallow roof pitch, and exterior finish of vertical boards. Also, the garage will appear from a distance as integral to the residence as it will have the same exterior finish of vertical painted white boards and a black roof. The mass of the proposed garage does not overwhelm the residence regardless of it being front and center of the residence. In staff’s opinion, the proposed garage design and garage location is consistent with Design Guidelines 6.1 and 6.2.

Design Guideline 6.2 states that “*parking facilities that maintain or enhance variety along the street edge are encouraged*”, and “*In some cases, parking facilities may be located in setbacks if this helps to achieve other design objectives*”. CMC 17.10.030 allows for detached garages and carports to encroach into the front- and/or side-yard setbacks if certain standards can be met. These standards include avoiding impacts on significant trees and providing diversity to the streetscape. The proposed detached garage is in the front-yard setback, will not affect trees, and it appears that the proposed garage will enhance variety on the street edge because its position relative to the Junipero Street is unlike any other detached garage – the garage door does not face the street. In this fashion the garage looks like a part of the residence, which is part of the design objective. In staff’s opinion, the proposed garage design and garage location is consistent with Design Guideline 6.2 and the CMC.

Design Guideline 6.3 states, “*...consider using paving strips, or “tire tracks”, for a driveway, and that driveways should not be over nine feet wide...*” Design Guidelines 6.5 and 6.6 states, “*Position a garage to maximize opportunities for open space, views and privacy*”, and “*Locate a garage to minimize its visual impacts*”.

In staff’s opinion, the proposal to place a detached garage at the front of the residence is appropriate for the topography and the circumstances. The garage is purposely placed between the street and the courtyard to block noise and provide a safe and private space within the front courtyard. Landscape areas would not be intruded upon and further the proposed garage would

not result in visual impacts. The proposed driveway configuration will accommodate three vehicles without interfering with traffic flow on Junipero Street. In staff's opinion, the proposed residence meets the objectives of Residential Design Guidelines 6.3, 6.5 and 6.6.

Finish Details: The most prominent features of the proposed finish details include vertical boards painted white and a low-pitched black standing seam metal roof. Design Guideline 9.4 states, "*Architectural details should appear to be authentic, integral elements of the overall building design concept.*" Design Guideline 9.5 encourages the use of natural materials such as wood in conjunction with stucco. Design Guideline 9.8 states, "*Roof materials should be consistent with the architectural style of the building and with the context of the neighborhood*", and "*Metal, plastic and glass roofs are inappropriate in all neighborhoods*".

Per the City's General Plan *Land Use and Community Character Element*, the Junipero Street neighborhood represents the last area of significant subdivision in the City of Carmel (1967 to 1975). The architectural style of this era and the neighborhood includes a mix of modern, ranchette, 'contemporary', and other non-descript architectural styles. Exterior finishes on homes in the neighborhood includes a wide variety of materials to include stucco, wood shingles, horizontal boards, stone, brick, and board and batten. Roof material is predominantly composite shingle. Located on the parcel immediately to the west of the subject parcel is a modern residence with a red, standing-seam metal roof. It is relevant to note that the Planning Commission recently approved the metal roof on the McFarland residence at the southeast corner of Lincoln Street and 10th Avenue. Therefore, there is precedent in Carmel for metal, standing-seam roofs associated with 'modern' or 'contemporary' architecture. In staff's opinion, the white vertical board exterior and metal roof fits with the low and horizontal 'modern/contemporary' style of the residence, and is appropriate for the neighborhood.

Exterior Lighting: Municipal Code Section 15.36.070.B.1 states that all exterior lighting attached to the main building or any accessory building shall be no higher than 10 feet above the ground and shall not exceed 25 watts (incandescent equivalent; i.e., approximately 375 lumens) in power per fixture. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent; i.e., approximately 225 lumens) per fixture. Additionally, the City's Residential Design Guidelines, Section 11.8, states an objective to "*locate and shield fixtures to avoid glare and excess lighting as seen from neighboring properties and from the street.*"

The applicant is proposing lighting fixtures as shown in the Project Plans – Page 1; proposed lighting is soffit. Lighting details are included on sheet LS-1 of the plans. Staff notes that the Planning Commission encourages down-lit lights instead of the lantern-style to be more in conformance with

the Residential Design guidelines. A condition has been drafted requiring the applicant to work with staff on an appropriate down-lit fixture. In staff's opinion, the proposed residence meets the objectives of the municipal code and Residential Design Guidelines 11.8.

Public ROW: The portion of the City Right-of-Way (ROW) between the property line on Junipero Street and edge of 'street' paving is approximately 34 feet wide and therein is an asphalt parking strip approximately 10' x 60'. There is also and an additional approximately 8' x 24' paved area on the north end of the City's right-of-way. As stated above, the removal of this asphalt is a project condition of approval.

Alternatives: Staff has included findings that the Commission can adopt if the Commission accepts the overall design concept, including the architectural style of the building. However, if the Commission does not support the design, or does not support the conclusion submitted by Staff, then the Commission could continue the application with specific direction given to the applicant/staff.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – New Construction or Conversion of Small Units. The project includes the construction of one single-family residence in a residential zone, and therefore qualifies for a Class 3 exemption. The proposed residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Project Plans

ATTACHMENT A – SITE PHOTOGRAPHS





Attachment B – Findings for Approval

DS 16-412 (Weigel)
 December 14, 2016
 Concept Findings
 Page 1

<u>FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL (CMC 17.64.80 and LUP Policy P1-45)</u>		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	

9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.010.B.1):

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

Attachment C – Conditions of Approval

DS 16-412 (Weigel)

December 14, 2016

Page 1

Once signed, please return to the Community Planning and Building Department.

Conditions of Approval		
No.	Standard Conditions	
1.	Authorization: This approval of Design Study (DS 16-412) authorizes the applicant to remodel an existing 1,780 square-foot residence and add a net increase of building square footage of 680 square feet.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation	✓

	by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	✓
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. <u>Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.</u>	✓
12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or	✓

	in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	N/A
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the	✓

	Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
Special Conditions		
22.	The applicant shall revise the landscape plan to show one upper canopy tree on private property (or remove one of two existing Monterey cypress), and two Monterey pines and six lower canopy trees in the City's right-of-way.	✓
23.	The applicant shall remove ice plant and ivy from the City' right-of-way	✓
24.	Except for the driveway the applicant shall remove all asphalt from the City's right-of-way.	✓

*Acknowledgement and acceptance of conditions of approval.

 Property Owner Signature

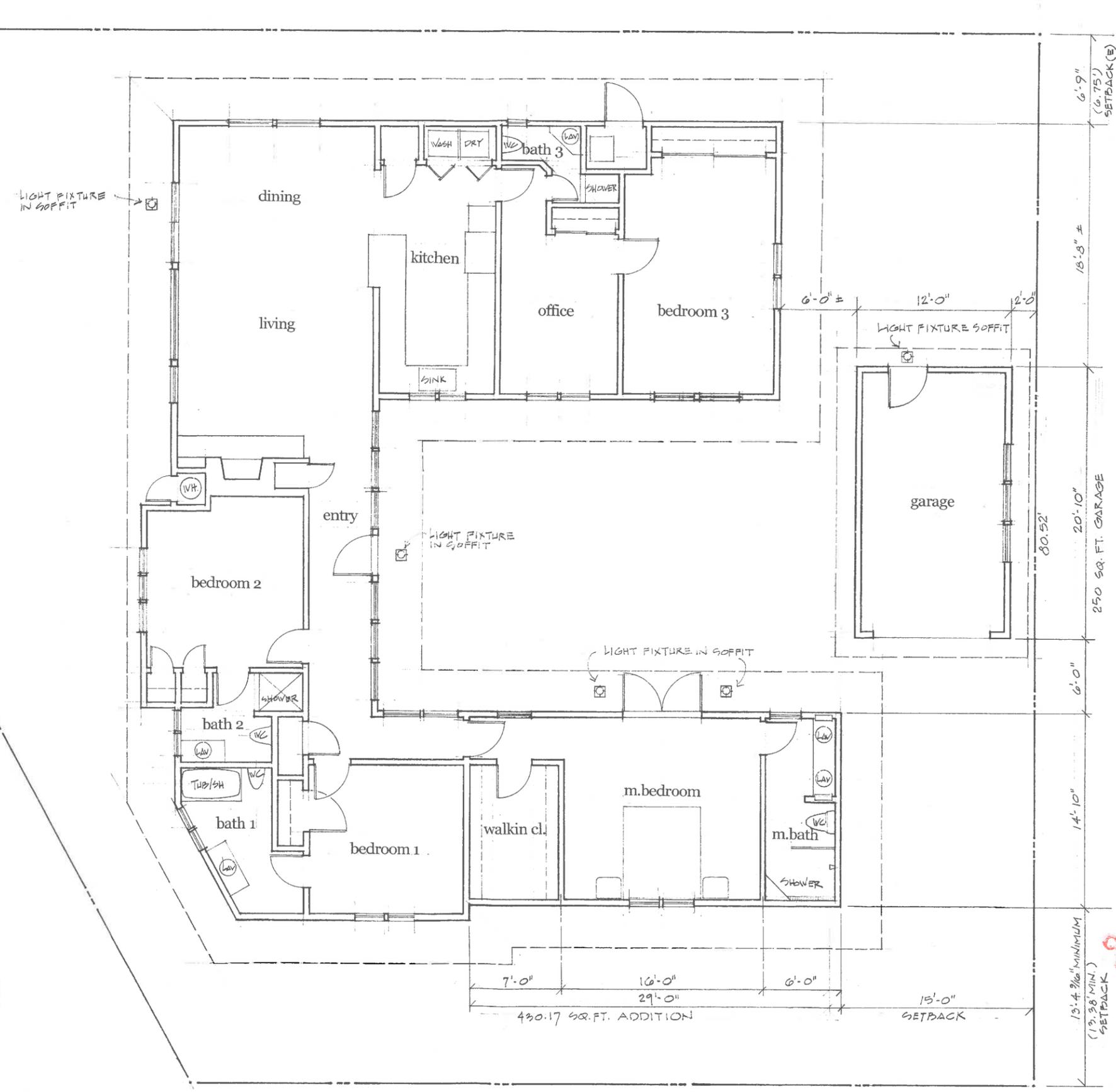
 Printed Name

 Date

Once signed, please return to the Community Planning and Building Department.

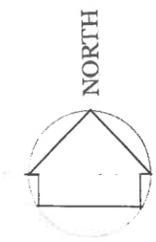
Project Data: Mr. & Mrs. Angela & Ralf Weigel		date:	11.18.2016
Project: Single Family Dwelling Remodel & Addition			
25990 Junipero Avenue, Carmel, California 93921			
Monterey County A.P.No. 009-353-009-000			
Area of Parcel	7,080.00	square feet	
Existing Residence	1,780.00	square feet	
Proposed M. Bedroom Addition	430.00	square feet	
Proposed Garage	250.00	square feet	
Total Addition	680.00	square feet	
Total Proposed Residence	2,460.00	square feet	
Proposed Coverage:	34.75	%	
Allowable Site Coverage:	45.00	%	
Required Paving to be Removed Addition x 2 =	1,360.00	square feet	
Total Area of Gravel	1,520	square feet	
Total Area of Concrete	653	square feet	
Total Area of Asphalt	1,042	square feet	
Grading:	Cut	Fill	
	None	None	
Tree Removal:	None	CU.YDS.	None

Lighting Fixtures in Soffit shall be limited to 25 Watts and shall not exceed 375 Lumens. Two new fixtures are proposed at the north wall of the M. Bedroom Addition, and one at the north wall of the detached Garage. All other exterior fixtures are existing and are subject to the same limitation.



Proposed Floor Plan

Scale: 1/4" = 1'-0"



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NOV 22 2016
 City of Carmel-by-the-Sea
 Planning & Building Dept.

MacKenzie Patterson Architect
 02016
 C7065
 37740 Palo Colorado Rd, Carmel, CA 93923
 Phone: 831-238-0202, Fax: 831-624-4853



A Residence Remodel for:
Mr. & Mrs. Angela & Ralf Weigel
 25990 Junipero Avenue, Carmel, California 93921, Block 1, Lot 20
 Monterey County A.P.No. 009-353-009-000, weigelra@aol.com, Phone 831-707-4445



Scale: 1" = 4'



Revisions;
1. 8-30-16: Add hatched objects.

Total Area of Gravel	1,520	square feet
Total Area of Concrete	653	square feet
Total Area of Asphalt	1,042	square feet

NOTES:

1. Elevation datum is assumed.
2. Points found or set are so indicated, others are shown for reference only.
3. Record data is shown in parenthesis (.....)
4. Check for direction of tree growth in field where pertinent to location of improvements.
5. Distances and elevations are expressed in feet and decimals thereof.
6. Only native trees 6" or larger have been located.
7. Easements may exist that don't show on this map.
8. Relationship of topographic features to boundary lines is approximate.

LEGEND:

Area	Type of Paving to be.....	Added	Removed	Required Paving to be Removed Addition x 2 =
A	Gravel 18.00 x 5.25		94.50	square feet
B	Concrete 29.50 x 6.25		184.38	square feet
C	Concrete 32.50 x 4.00		130.00	square feet
D	Concrete 18.00 x 4.00		72.00	square feet
E	Asphalt 12.80 x 4.25		54.40	square feet
F	Concrete 19.67 x 1.67		32.85	square feet
G	Asphalt 11.75 x 1.67		19.62	square feet
H	Gravel 9.80 x 1.67		16.37	square feet
I	New Pavers 9.75 x 8.33	81.22		square feet
J	Asphalt 10.5 x 1.67		17.54	square feet
K	New Asphalt 9.00 x 9.50	85.50		square feet
L	New Pavers 2.00 x 2.25	4.50		square feet
M	Asphalt 14.85 x 3.00		44.55	square feet
N	New Asphalt 7.00 x 8.80	30.80		square feet
O	Asphalt 29.00 x 5.75		166.75	square feet
P	Gravel 14.85 x 2.60		38.61	square feet
Q	Asphalt 14.85 x 20.00		297.00	square feet
R	Gravel 13.90 x 12.50		173.75	square feet
S	Gravel 11.00 x 5.00 irr.		55.00	square feet
T	Gravel 7.00 x 10.00		70.00	square feet
U	Gravel 7.50 x 9.20		69.00	square feet
V	Concrete 8.33 x 1.67		13.91	square feet
W	Gravel 8.33 x 1.67		13.91	square feet
	Total Paving to be Removed.....		1,564.14	square feet
	Total Paving to be Added.....	202.02		square feet
	Net Paving to be Removed.....		1,362.12	square feet
	See Landscape Plan for new materials.			

SITE PLAN & SURVEY

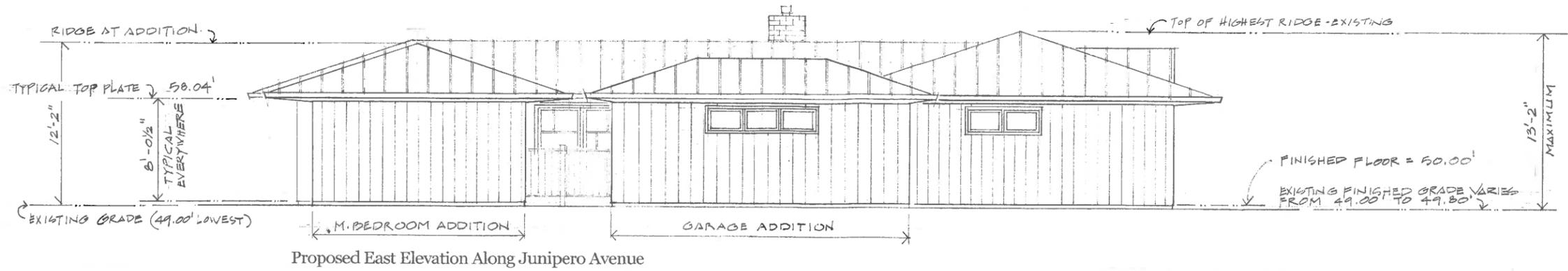
Scale: 1/4" = 1'-0"

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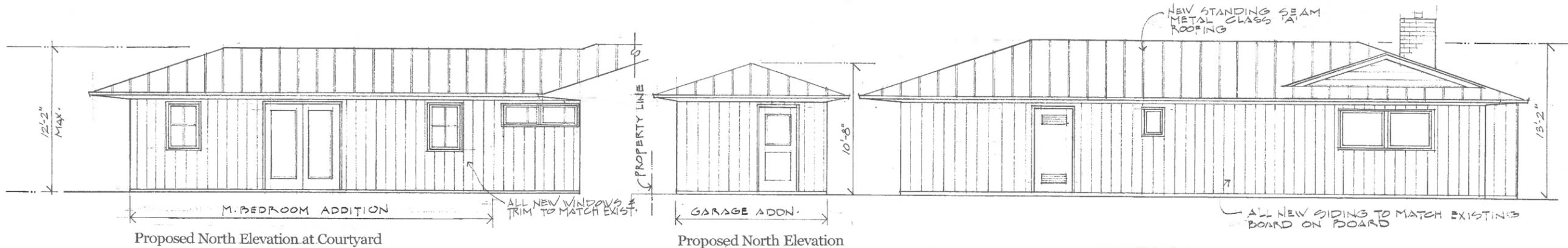


MacKenzie Patterson Architect
 C7065
 37740 Palo Colorado Rd, Carmel, CA 93923
 Phone: 831-238-0202, Fax: 831-624-4853



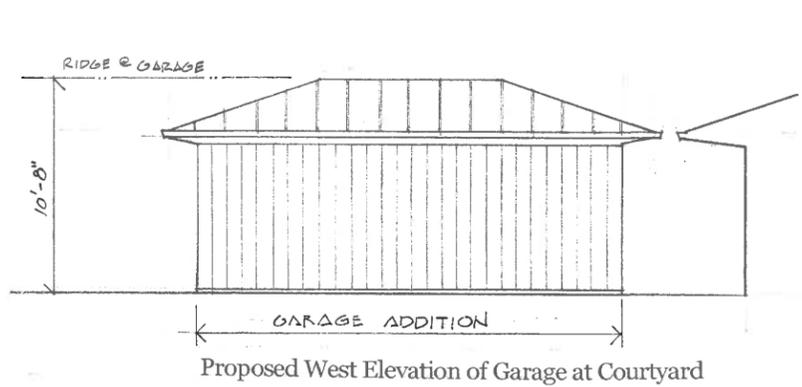


Proposed East Elevation Along Junipero Avenue

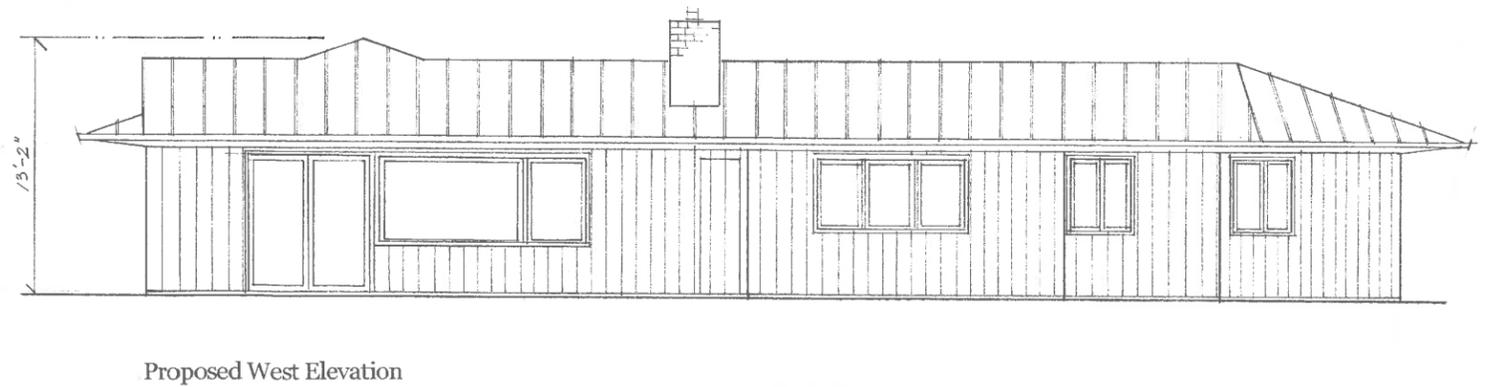


Proposed North Elevation at Courtyard

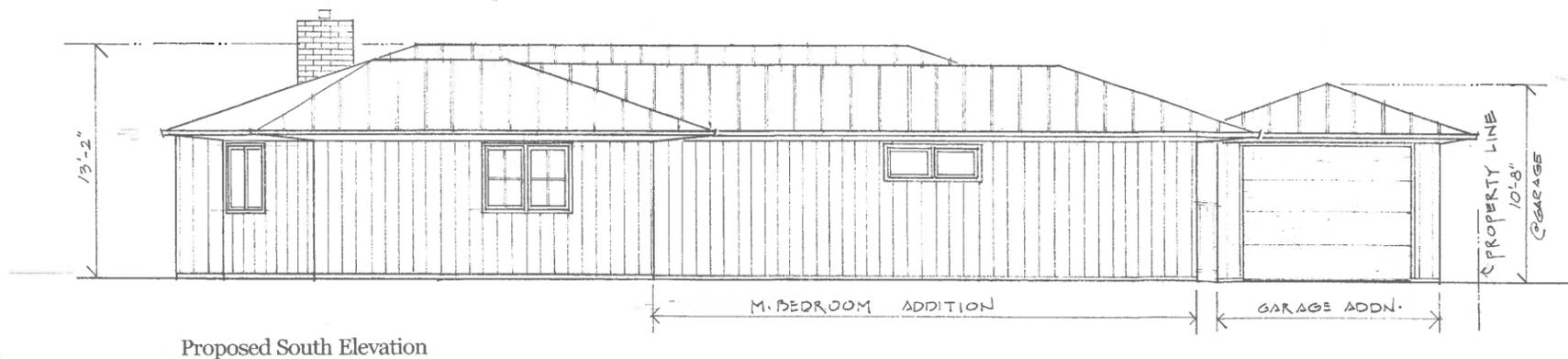
Proposed North Elevation



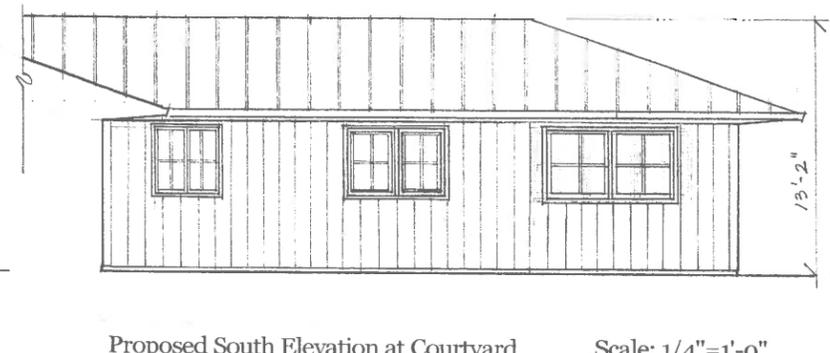
Proposed West Elevation of Garage at Courtyard



Proposed West Elevation



Proposed South Elevation



Proposed South Elevation at Courtyard

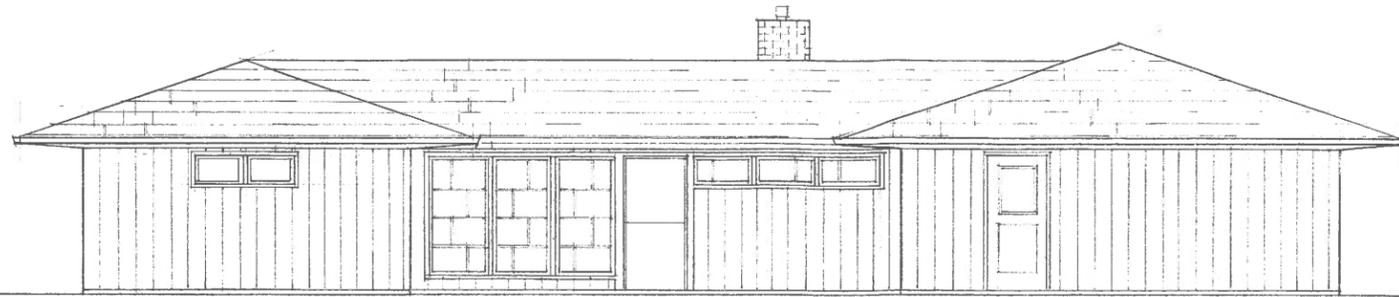
Scale: 1/4"=1'-0"

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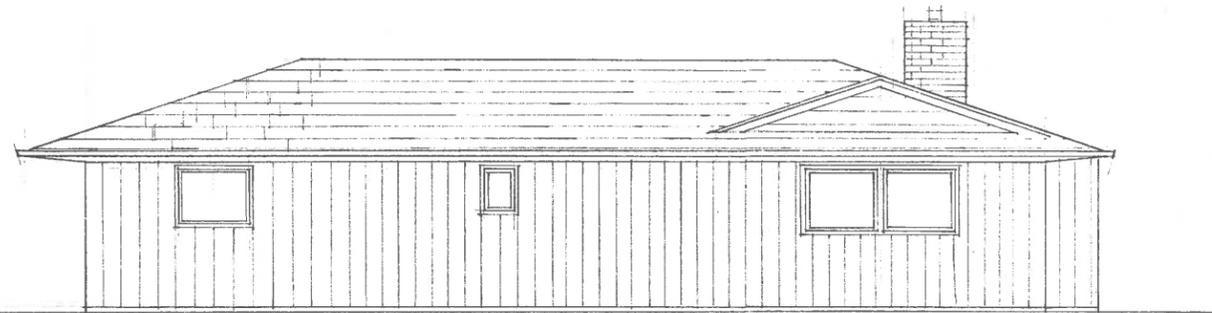


A Residence Remodel for:
Mr. & Mrs. Angela & Ralf Weigel
 25990 Junipero Avenue, Carmel, California 93921, Block 1, Lot 20
 Monterey County A.P. No. 009-353-009-000, weigelra@aol.com, Phone 831-707-4445

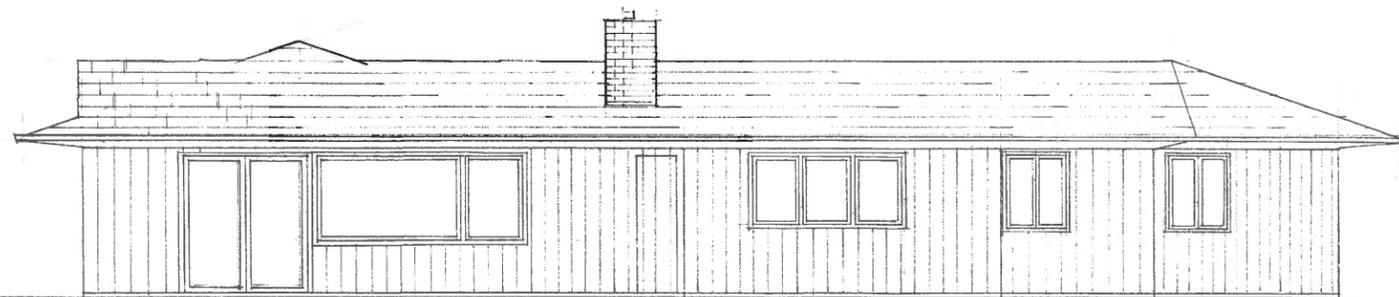
3



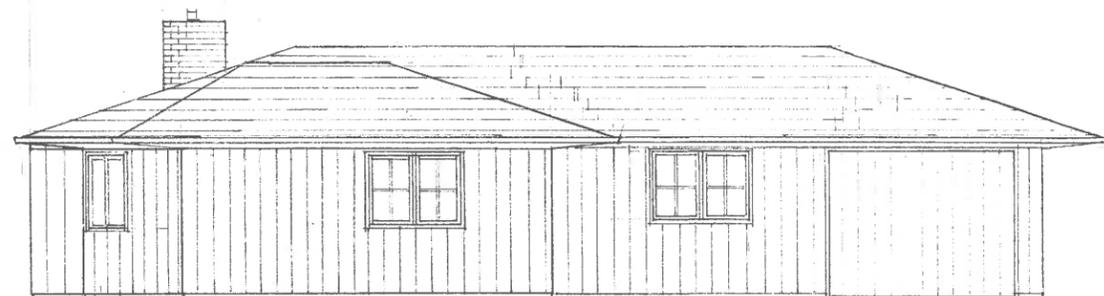
Existing East Elevation Along Junipero Avenue



Existing North Elevation



Existing West Elevation



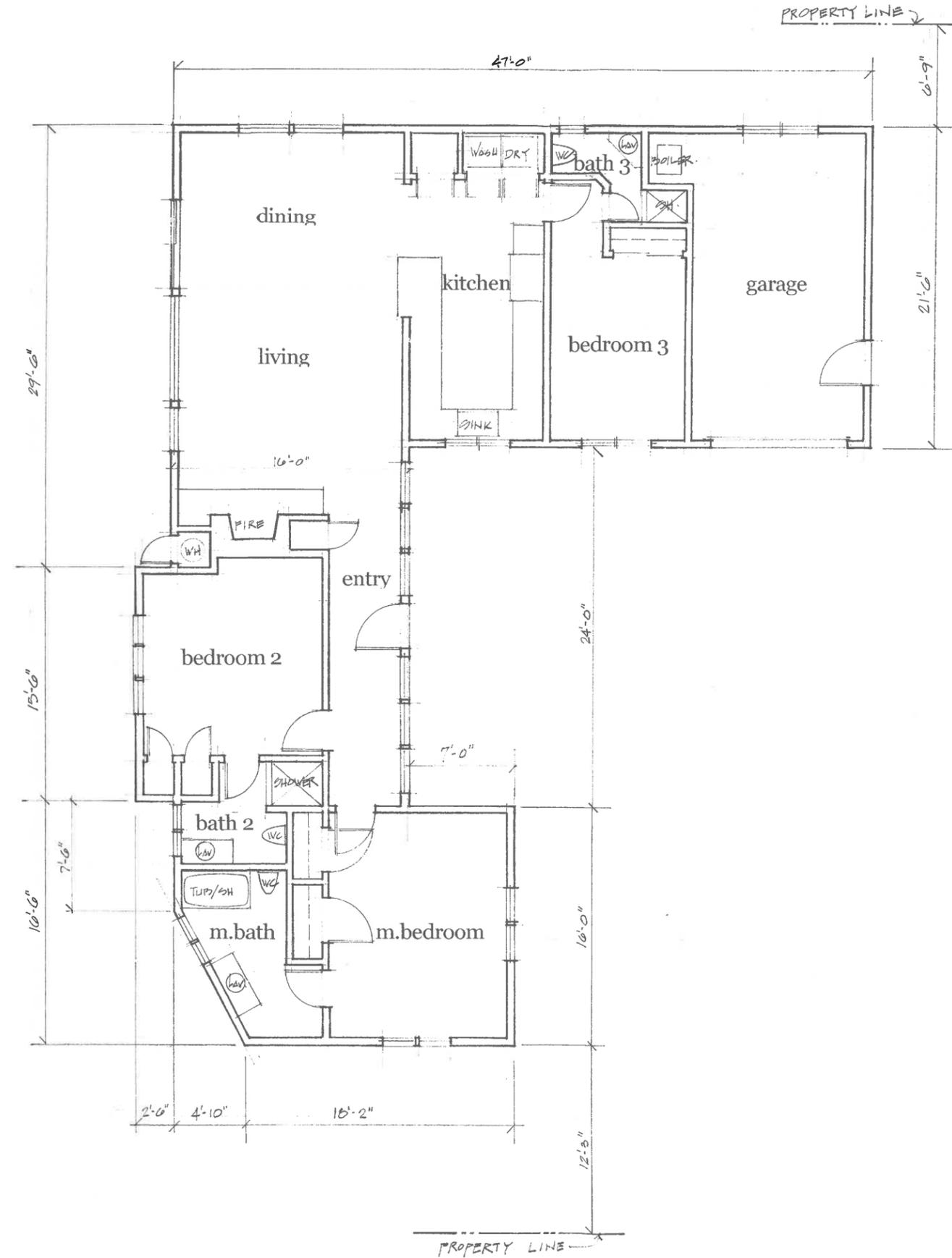
Existing South Elevation

Scale: 1/4"=1'-0"

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25990 Junipero Avenue, Carmel, California 93921, Block 1, Lot 20
Monterey County A.P.No. 009-353-009-000, weigelra@aol.com, Phone 831-707-4445



Existing Floor Plan

Scale: 1/4" = 1'-0"

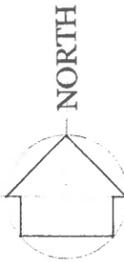
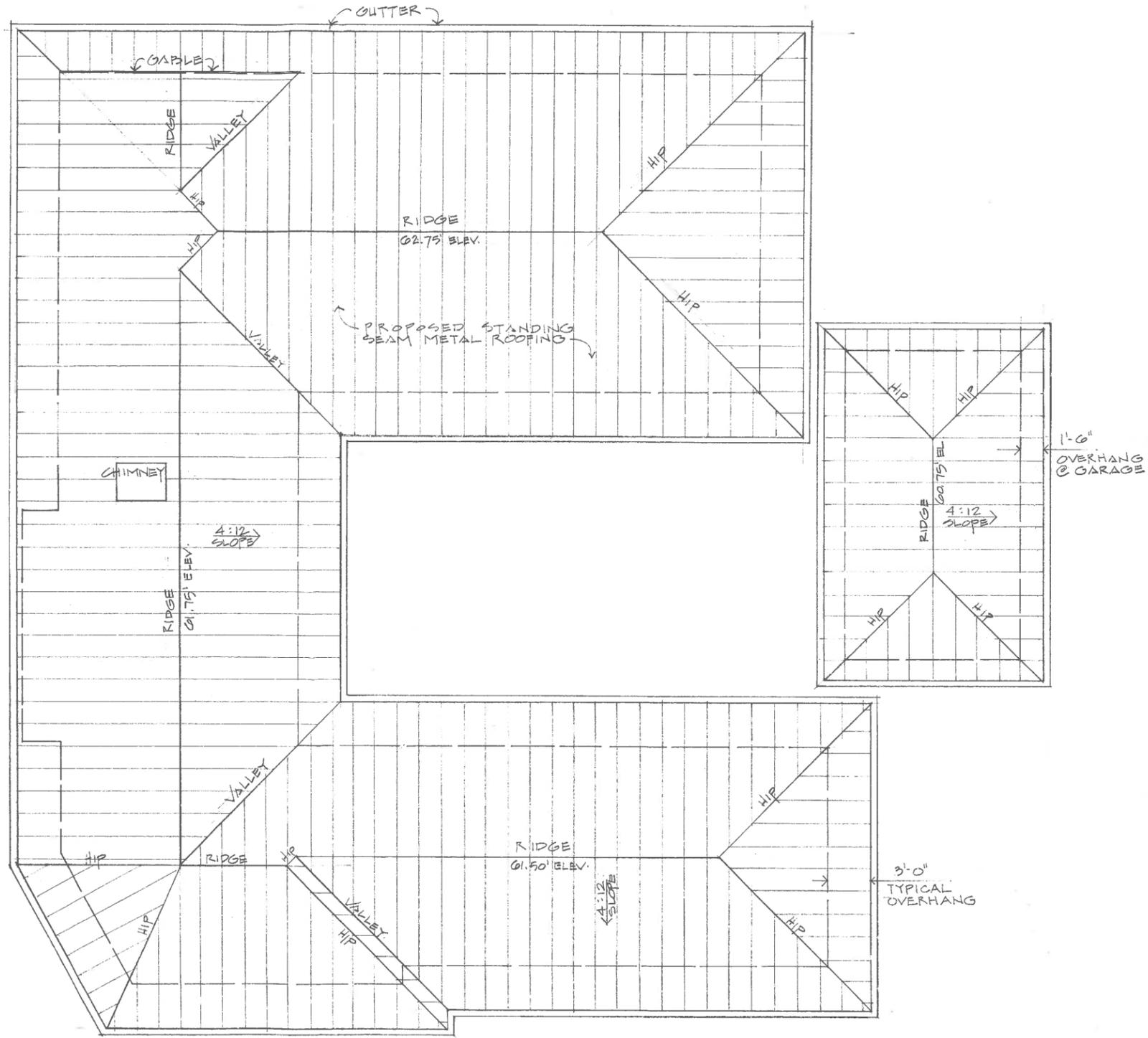
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Roof Plan

Scale: 1/4"=1'-0"



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Mr. & Mrs. Angela & Ralf Weigel
 25990 Junipero Avenue, Carmel, California 93921, Block 1, lot 20
 Monterey County A.P.No. 009-353-009-000, weigelra@aol.com, Phone 831-707-4445

Scope of Work

1. Remove and haul away all concrete, asphalt and gravel.
2. Install 705 sf of pavers in sand for entry courtyard.
3. Install 254 sf asphalt for driveway area.
4. Install new plant material according to Landscape Plan - L-2.
5. Add 2-3" of recycled wood chip mulch to all planting areas - 12 yards.
6. Add 2" fine redwood mulch to traffic areas where indicated - 4 yards.

Existing Non-conforming Site Coverage = 3153 sf.

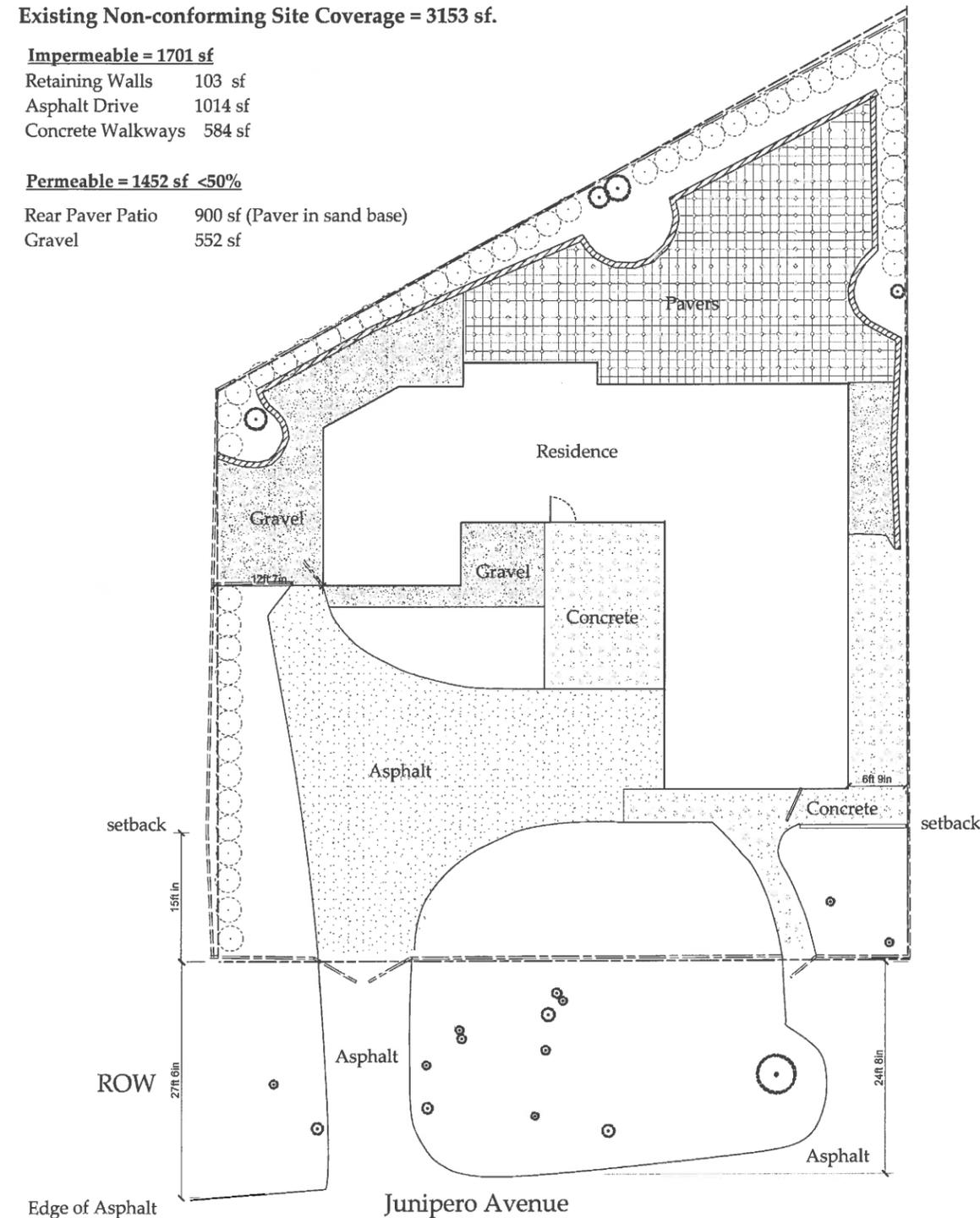
Impermeable = 1701 sf

Retaining Walls	103 sf
Asphalt Drive	1014 sf
Concrete Walkways	584 sf

Permeable = 1452 sf <50%

Rear Paver Patio	900 sf (Paver in sand base)
Gravel	552 sf

EXISTING



Construction Notes

1. All construction to be done according to the City of Carmel Building and Safety Department codes and guidelines.
2. Finish grade of planting areas to be held at 2" below any finish hard surface.
3. The installing Contractor shall verify all dimensions and conditions prior to the start of construction. The Contractor shall notify the Landscape Designer of any differences not shown on the plans.
4. The installing Contractor shall verify the location of all utilities prior to any construction work.
5. Written dimensions on plan shall take precedence over scaled dimensions.

PROPOSED

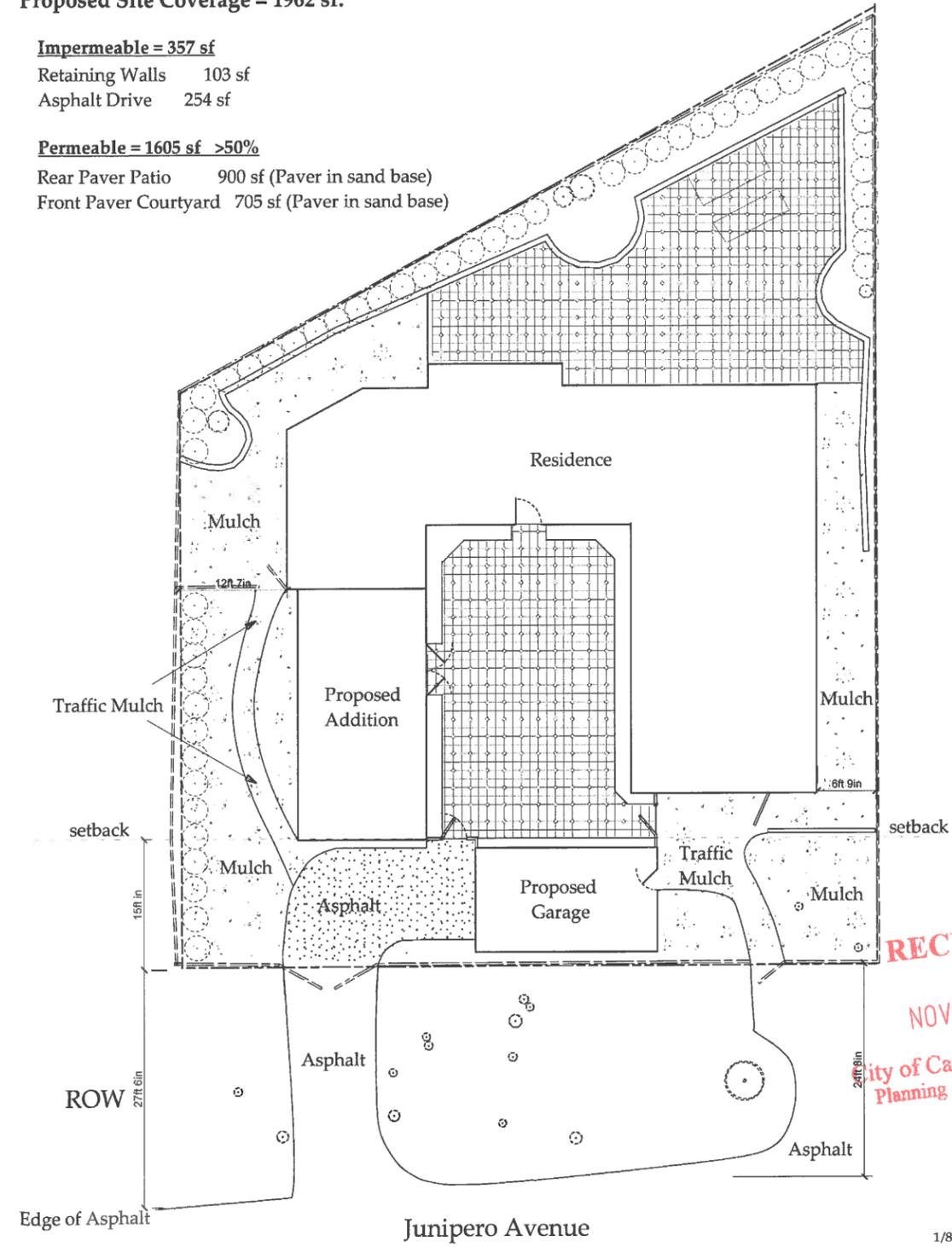
Proposed Site Coverage = 1962 sf.

Impermeable = 357 sf

Retaining Walls	103 sf
Asphalt Drive	254 sf

Permeable = 1605 sf >50%

Rear Paver Patio	900 sf (Paver in sand base)
Front Paver Courtyard	705 sf (Paver in sand base)



BLUE DOOR GARDEN DESIGN, INC.
C-27 Lic. No. 9233737
Designer - Ramie Allard
831.238.3774

LANDSCAPE PLAN

009-353-009-000
Parcel #

Ralf & Angela Weigel
25990 Junipero Ave
Carmel, CA 93921

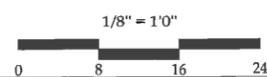
Date 11-16-16 Revisions:

Scale: 1/8" = 1'0"

L-1

Sheet 217

Disclaimer: All plans created by Blue Door Garden Design, Inc. are made exclusively for landscape purposes and do not constitute civil engineering. Measurements should be field confirmed before commencing construction. Blue Door Garden Design, Inc. shall not be held liable for any damages or claims arising from the use of these plans.





CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

December 14, 2016

To: Chair Goodhue and Planning Commissioners

From: Marc Wiener, AICP, Community Planning and Building Director

Submitted by: Catherine Tarone, Assistant Planner

Subject: Consideration of Use Permit (UP 16-440) and the associated Design Study (DS 16-387) applications for the conversion of two existing office buildings into a single family residence as well as an addition to connect the two buildings. The project site is located in the Service Commercial (SC) Zoning District.

Recommendation:

Approve the Use Permit (UP 16-440) and associated Design Study (DS 16-387) subject to the attached findings and conditions

Application: UP 16-440/DS 16-387 **APN:** 010-098-011
Location: Mission Street, 2 NE of 6th Avenue
Block: 58 **Lot:** 12
Applicant: Paul Mcenroe **Property Owner:** Joe and Sheila Mark

Background and Project Description:

The project site is a 4,000 square foot property located on Mission Street, 2 NE of 6th Avenue in the Service Commercial (SC) Zoning District. The property is currently developed with two single-story commercial buildings each containing two offices. The existing front building has a floor area of 724 square feet and the rear building has a floor area of 820 square feet, with a combined floor area of 1,552 square feet. The property contains no existing on-site parking. The two buildings were constructed separately in 1940 and 1947 as residences, but remodeled in 1985 and converted to office space. Both buildings present a residential appearance. A Determination of Historic Ineligibility was issued by the City on November 28, 2016.

The applicant is proposing to convert the two single-story buildings containing four offices into one single-story, single-family residence by constructing a 213 square-foot addition to connect

the buildings and remodeling the interior. The total interior floor area of the residence will be 1,765 square feet or 44 percent of the site while the maximum allowed in the SC Zoning District is 80 percent. The height of the addition will be 15.5 feet total while the height of the existing structure is 19 feet and the maximum height allowed in the SC Zoning District is 30 feet.

The applicant is also proposing other exterior changes including the installation of two new doors and three new windows. On the south elevation on the addition, the applicant is proposing to install wood double doors with divided lights at the top. On the north elevation on the addition, the applicant is proposing to install a wood door with divided lights at the top. Also on the north elevation, the applicant is proposing to remove an existing door at the east end of the building and replace it with a 3'x3' divided light wood casement window, and install a new 3'x3' and a new 2'x3' wood divided light casement window to match existing. The applicant is also proposing to relocate the existing gate and trellis at the north side yard facing the inter-block walkway to enclose the south side yard. Finally, the applicant is proposing to replace an existing 3-foot-high wood retaining wall at the front of the property with a new stucco retaining wall at the same height and location as the existing retaining wall. Project plans are included as Attachment E. This Use Permit (UP 16-440) application is for the conversion of the existing buildings from a commercial office use to a single-family residential use which requires Planning Commission review and the issuance of a Conditional Use Permit.

Staff analysis:

Conditional Use Permit: According to CMC 17.14.030, in order to establish a single-family residence in the Service Commercial (SC) Zoning District, a conditional use permit must be issued by the Planning Commission. In 2011, the City amended its Municipal Code by changing single-family dwellings from a permitted use to a limited use in the Central Commercial (CC) District, and from a permitted use to a conditional use in the Service Commercial (SC) and Residential and Limited Commercial (RC) districts. At that time the Planning Commission and City Council both expressed some concern regarding the potential incompatibility of new single family residential projects in the commercial Districts. Requiring a conditional use permit for single-family uses in the SC and RC Zoning Districts ensured that the decision would be discretionary.

Attachment B contains a list of all findings required by the Municipal Code that the Planning Commission must make in order to grant a Commercial Use Permit for this use. One pertinent finding requires that *“granting the use permit will not set a precedent for the approval of similar uses whose incremental effect will be detrimental to the City, or will be in conflict with the General Plan.”* An additional finding requires that granting the use permit *“must not conflict with the purpose established for the district within which it will be located.”* According to CMC

17.14.030, the purpose of the Service Commercial (SC) Zoning District is *“to provide an appropriate location for services, offices, residential and limited retail activities that primarily serve local needs. This district is intended to provide a distinct transition between the more intense activities in the CC district and the less intense activities in the districts on its periphery. Mixed uses of commercial and residential activities are appropriate throughout this district.”* Since the Municipal Code calls for a mix of both commercial and residential uses, the introduction of a residential use complies with the intent of the zoning district, however, it should be noted that residential projects in the commercial district typically consist of second-story residences above commercial uses, or multi-family buildings.

Additionally, in order to comply with the findings for the conversion of the use to single-family residential, the use must be *“compatible with surrounding land uses,”* must *“not generate adverse impacts affecting health, safety, or welfare of neighboring properties or uses”* and *“must not conflict with the City’s goal of achieving and maintaining a balanced mix of uses that serve the needs of both local and nonlocal populations.”* In evaluating the neighborhood, the proposed single-family residence will be adjacent to the Harrison Library Park Branch to the south, and Katy’s Place restaurant to the north. Directly behind the proposed residence facing Junipero Avenue is a private parking lot for a commercial office use. The vicinity around the project site primarily contains commercial uses. There are numerous retail uses on the east and west sides of Mission Street including five clothing boutiques, five art galleries, three jewelry stores, three home and garden stores, and a florist. There are also four restaurant uses, a retail liquor and wine tasting business, four hair and nail salon service-oriented uses, and three office uses. In regard to residential uses, on the upper-floors of at least two buildings on the block are residential apartment uses. Finally, on the east side of Mission Street is Oak Tree Lodge apartments which offer nine residential apartment cottages for rent and provides on-site parking for six of the units. For a map illustrating the location of all commercial and residential uses, see Attachment D.

Despite the presence of numerous first- and second-story apartment uses, the proposed use conversion will be the only single-family residence located on the block. The record indicates that when the Planning Commission chose to amend the Municipal Code in 2011, it had concerns that in most commercial district neighborhoods single family dwellings would likely appear out of place and would be inconsistent with the character of the downtown. The Commission also had concerns that applicants could take advantage of the generous floor area allowances in the commercial district to construct single-family mansions. In staff’s opinion, the existing building already has a residential design and appearance, and the conversion of the use from commercial to single-family would still preserve the character of the neighborhood. Furthermore, the proposed residence would be 1,765 square feet in size and would not capitalize on the maximum allowed floor area of 3,800 square feet for this site. For these

reasons staff supports the proposal, however, given the preponderance of commercial uses in the vicinity, the Commission could still determine that the proposed single-family use is incompatible with the neighborhood. It should be noted that if the Planning Commission denies the proposal for a single-family use, the applicant could re-apply to establish two residential units at this site, which would be considered multi-family and is a non-discretionary permitted use.

Conservation of Design: Commercial Design Guideline 3 states that *“Building forms should complement the rhythms established by other buildings in the immediate vicinity. Such patterns as height, number of stories, width of storefronts, scale of building forms, eave heights, and sizes of doors and windows should be used as guides to establish the context for new or remodeled buildings.”*

Commercial Design Guidelines 7 and 8 state that, *“Roof forms should be complete and not present false fronts. Partial mansard roofs (typical of franchise architecture) and pitched roofs that do not reach a true peak or hip.”*

The roof and wall lines of the proposed 213 square-foot addition complies with the Commercial Design Guidelines because the applicant is proposing to match the building’s existing eave line located 1 ½ feet back from the north side property line and the building’s existing wall line located 3 feet back from the north side property line. Additionally, the roof of the addition demonstrates a complete roof form in which the top ridge reaches a true peak. Also the roofline of the addition will sit below the roofline of the existing offices and will not change the height of the building. The applicant is proposing to locate the wall of the addition three feet from the north property line, the same distance back from the property line as an existing portion of the building. While the addition will be visible from the inter-block pedestrian walkway that connects Mission Street to Junipero Avenue, staff does not anticipate any negative impact to the walkway.

Materials, Textures, and Colors: Commercial Design Guideline E states that *“Building materials and colors should respect the traditions already established in the commercial district. The use of richly detailed wood, tile, moldings, corbels, brick, and stone, as well as landscaping, are encouraged.”*

The 213 square-foot addition complies with the Commercial Design Guidelines since the applicant proposes to match the building’s existing Spanish clay tile roofing and stucco siding.

Parking: The existing buildings were constructed in 1940 and 1947 and since no on-site parking was provided at the time of construction, the parking is classified as legal, nonconforming. According to CMC 17.38.020, *“Proposed additions of floor area, new shops or dwelling units, or other similar changes in land use resulting in a net increase in parking requirements, as set forth in this chapter, shall provide all required parking generated by the new activities on the site.”* The existing property contains four commercial office spaces which, according to Table A of CMC 17.38.020, requires four total on-site parking spaces while a single-family residence only requires one space. No additional parking is required for the proposed residence because the applicant is proposing a net decrease in required parking rather than a net increase.

In regard to available on-street parking, there are four 2-hour parking spaces directly in front of the project site. A residential parking permit allows residents to park in these two hour spaces all day and only one of the spaces would be occupied all day if the occupants of the residence have only one vehicle. Staff notes that if the occupants host a social event at the residence, more spaces on the block may be occupied by the guests of the resident, and consequently, fewer spaces would be available for patrons of the retail and service uses. However, since this project involves a decrease in the required parking for the use, in staff’s opinion, parking will not be an issue and may even constitute an improvement over the existing parking demand.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project includes a single-story addition of 213 square feet and alterations (primarily an interior remodel as well as window and door changes) to two commercial buildings totaling 1,552 square feet, and therefore qualifies for a Class 1 exemption. The proposed project does not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Map of Surrounding Uses
- Attachment E – Project Plans

Mark Property Site Photographs

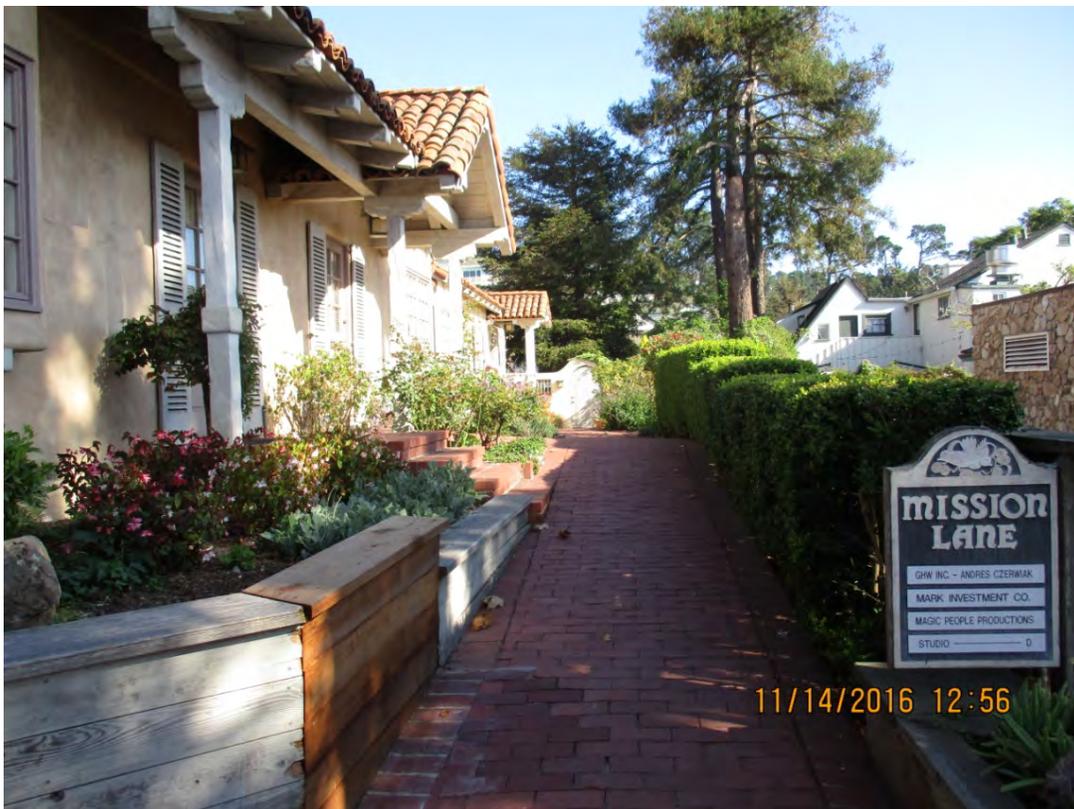
Front (west) elevation of the existing residence



Side (north) elevation and inter-block walkway connecting to Junipero Avenue



Side (south) elevation and side yard of the commercial building



Area of addition on south elevation of residence with and without staking and flagging





Rear (east) Elevation of the Residence adjacent to a commercial parking lot



Businesses and apartments on the east side of the street immediately adjacent to the project site

Oak Tree Lodge Apartments



Katy's Place Restaurant



Harrison Library Park Branch



Businesses on the west side of Mission Street directly across the street from the project site

Retail shops on the street and in the alley way across Mission from the project site



Retail businesses on the first floor and apartment uses on the second floor



Attachment B – Findings for Approval

DS 16-387/UP 16-440 (Mark)
 December 14, 2016
 Findings for Approval

FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.8 and LUP Policy P1-45)		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making.		
Municipal Code Findings for Design Review	YES	NO
1. The project will conform to the applicable policies of the General Plan and the Local Coastal Program;	✓	
2. The project will comply with all applicable provisions of this code; and	✓	
3. The project is consistent with the adopted design review guidelines.	✓	
Use Permit - General Findings	✓	
4. The proposed use is not in conflict with the General Plan.	✓	
5. The proposed use will comply with all applicable zoning standards.	✓	
6. The granting of the Use Permit will not set a precedent for the approval of similar uses whose incremental effect will be detrimental to the City, or will be in conflict with the General Plan.	✓	
7. The proposed use will not make excessive demands on the provision of public services, including water supply, sewer capacity, energy supply, communication facilities, police protection, street capacity and fire protection.	✓	
8. The proposed use will not be injurious to public health, safety or welfare and provides adequate ingress and egress.	✓	
9. The proposed use will be compatible with surrounding land uses and will not conflict with the purpose established for the district within which it will be located.	✓	
10. The proposed use will not generate adverse impacts affecting health, safety, or welfare of neighboring properties or uses.	✓	
Commercial Use Permits – General Findings:	✓	
11. Allowing the proposed use will not conflict with the City’s goal of achieving and maintaining a balanced mix of uses that serve the needs of both local and nonlocal populations.	✓	
12. The proposed use will provide adequate ingress and egress to and from the proposed location.	✓	
13. The capacity of surrounding streets is adequate to serve the automobile and delivery truck traffic generated by the proposed use.	✓	

Attachment C – Conditions of Approval

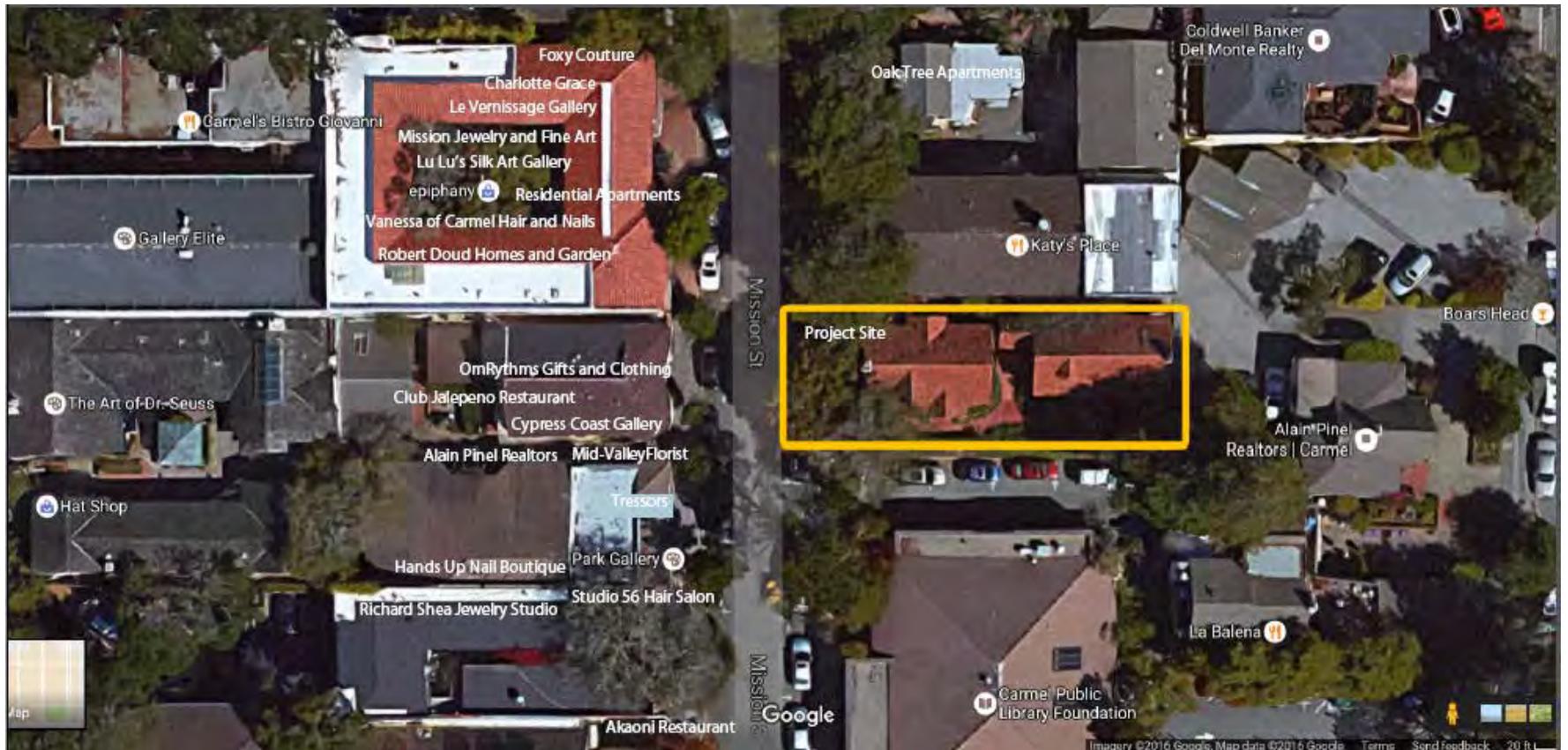
DS 16-387/UP 16-440 (Mark)
 December 14, 2016
 Draft Conditions of Approval
 Page 1

Conditions of Approval		
No.	Standard Conditions	
1.	<p>Authorization: This approval of Design Study (DS 16-387), Coastal Development Permit, and Use Permit (UP 16-440) applications authorizes: 1) The conversion of two single-story buildings containing four commercial offices into one single-story, single-family residence by constructing a 213 square-foot addition to connect the buildings and remodeling the interior. The total interior floor area of the residence will be 1,765 square feet and the height of the addition will be 15.5 feet total. 2) The installation of two new doors and three new windows including wood double doors with divided lights at the top on the south elevation and on the north elevation, the installation of new door, the replacement of an existing door with a 3’x3’ divided light wood casement window, and the installation of a new 3’x3’ and a new 2’x3’ wood, unclad divided light casement window to match existing. 3) The relocation of the existing gate and trellis at the north side yard facing the inter-block walkway to enclose the south side yard. 4) The replacement of an existing 3-foot-high wood retaining wall in the front yard on the applicant’s property with a new stucco retaining wall at the same height and location as the existing retaining wall. 5) The relocation of an existing west facing light to face south next to the new doors on the addition. 6) The use of stucco siding and clay tile roofing on the new addition to match the existing residence.</p>	✓
2.	<p>The project shall be constructed in conformance with all requirements of the local SC zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.</p>	✓
3.	<p>This approval shall be valid for a period of 18 months from the date of action unless an active building permit has been issued and maintained for the proposed construction.</p>	✓
4.	<p>All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City’s</p>	✓

	recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	✓
10.	The stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed	N/A

	by planning staff on site to ensure conformity with City standards.	
11.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	N/A
12.	The applicant shall submit a grading plan with the Building Permit Application identifying the cubic yardage of soil proposed to be excavated and removed from this site as part of the project.	N/A
13.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	N/A
14.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall comply with the Central Coast Region Post-Construction Storm-water Management Requirements. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
15a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	N/A
15b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓

Attachment D – Project Area Map of Surrounding Uses



REVISED
OCT. 5, 2016
OCT. 17, 2016

DESCRIPTION OF WORK

1) CONVERT 2 SINGLE STORY BUILDINGS ON ONE LOT, (CURRENTLY USED AS 2 OFFICES PER BUILDING) INTO ONE SINGLE STORY SINGLE FAMILY DWELLING BY CONNECTING BUILDINGS AND REMODELING INTERIORS

2) ALL NEW WORK TO MATCH EXISTING IN DESIGN, MATERIAL AND COLOR

4,000 LOT sq. ft.
1,552 EXISTING BUILDING sq. ft.
213 PROPOSED ADDITION sq. ft.
1,765 TOTAL BUILDING sq. ft.

39% EXISTING BUILDING COVERAGE
44% PROPOSED BUILDING COVERAGE

242.5' - TOTAL LENGTH OF EXTERIOR EXISTING WALLS

44' - TOTAL LENGTH OF EXTERIOR EXISTING WALLS TO BE DEMOLISHED

18% - PERCENTAGE OF EXISTING EXTERIOR WALLS TO BE DEMOLISHED

OWNER

JOE + SHEILA MARK
P.O. BOX 3536
CARMEL, CA 93921
(831) 917-5552

PROPERTY INFO

MISSION STREET 2NE 6th
CARMEL, CA 93921
A.P.N. 010-098-011
LOT 12 BLOCK EB

DRAFTING + CONSTRUCTION

PAUL MCENROE ENT. INC.
P.O. BOX 2162
CARMEL, CA 93921
(831) 901-1424
LIC. # 634061

ENGINEER

FRANK LEE
P.O. BOX 2277
MONTEREY, CA 93940
(831) 649-3252
LIC. # C33235

PAGES

- 1) PROJECT INFO
- 2) SITE + ROOF PLAN
- 3) ELEVATIONS
- 4) FLOOR PLAN

MISSION STREET 2NE 6th
CARMEL-BY-THE-SEA, CA 93921

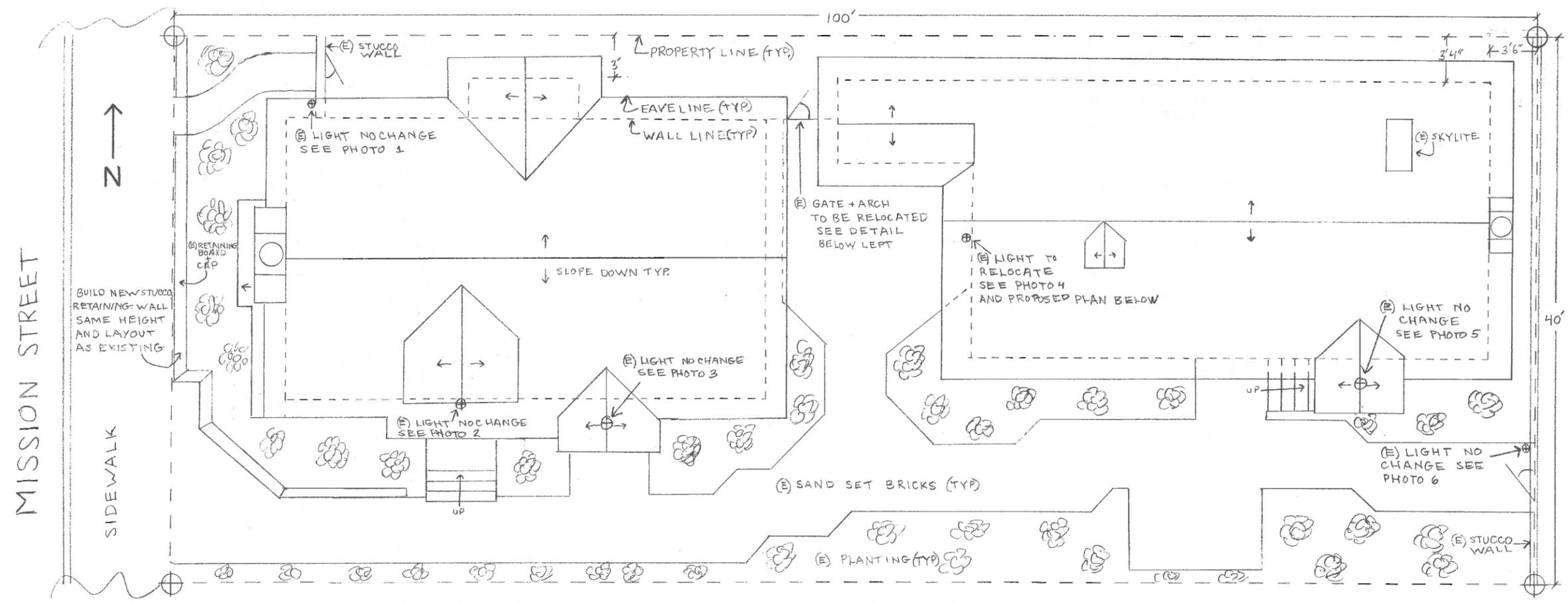
JOE + SHEILA MARK

RECEIVED

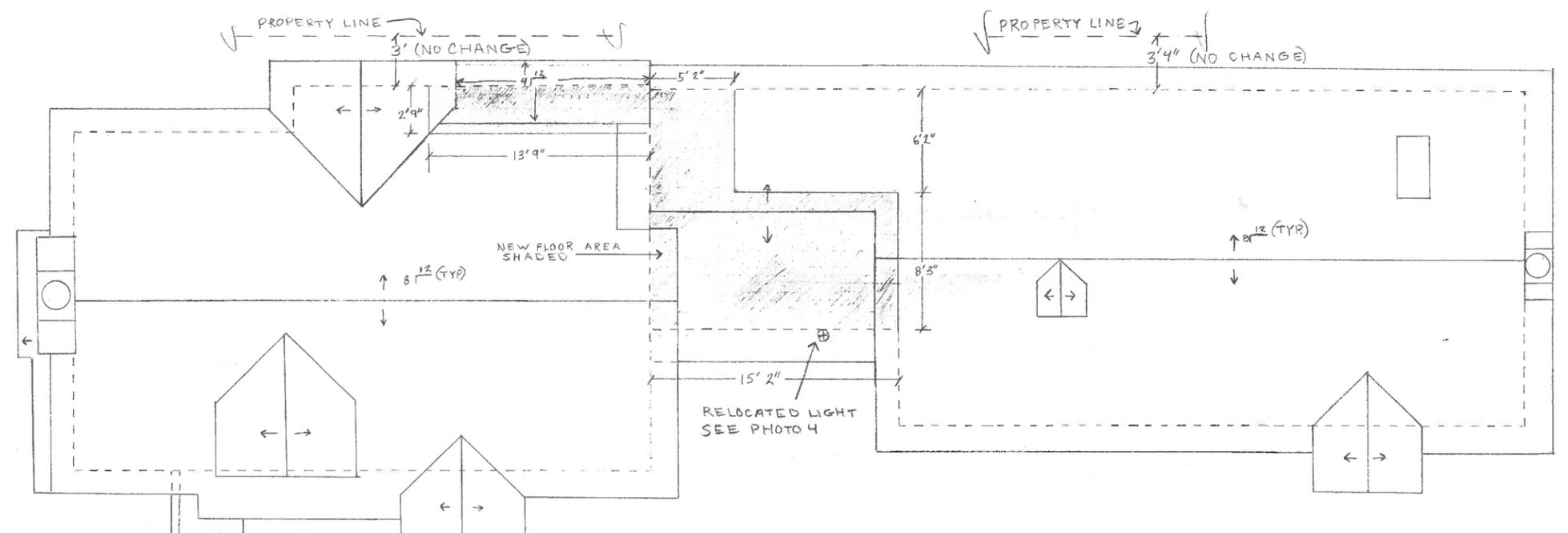
DEC 05 2016

City of Carmel-by-the-Sea
Planning & Building Dept.

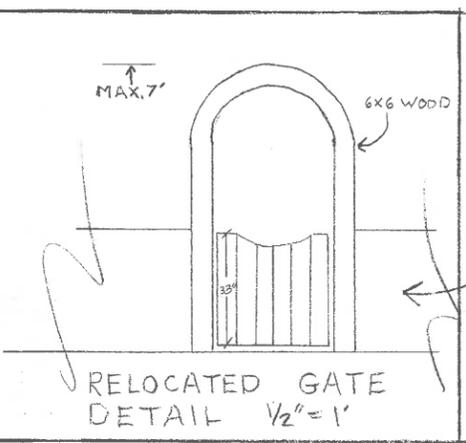
AUGUST 24, 2016



EXISTING SITE + ROOF PLAN 1/4"=1'



PROPOSED SITE + ROOF PLAN 1/4"=1'



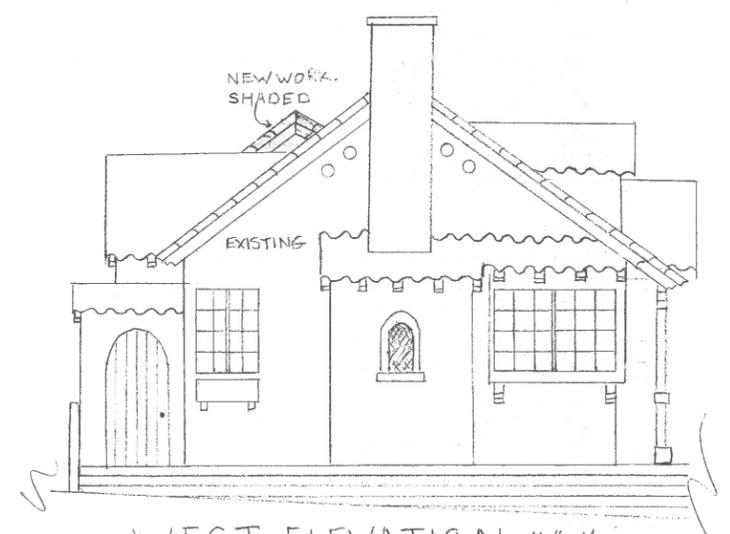
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 CARMEL-BY-THE-SEA, CA 93921

JOE + SHEILA MARK

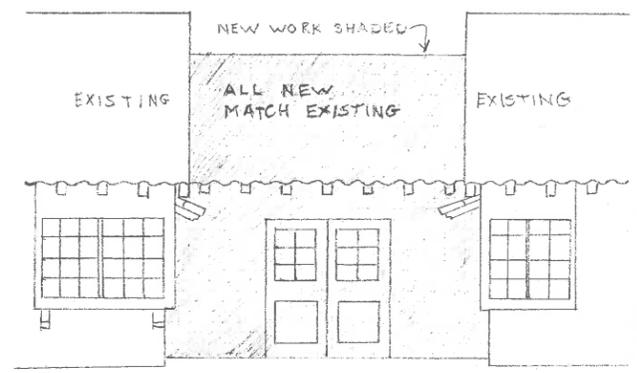
REVISED
 OCT. 5, 2016
 OCT. 17, 2016



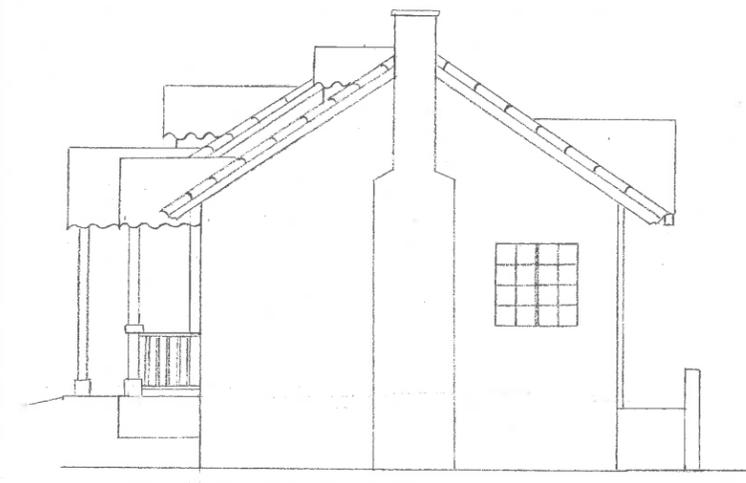
EXISTING SOUTH ELEVATION 1/4" = 1'



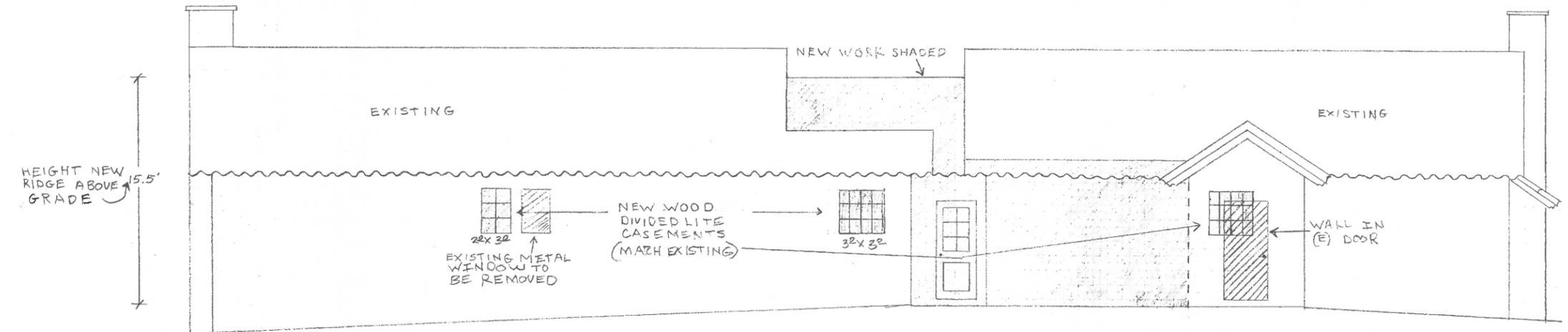
WEST ELEVATION 1/4" = 1'
 (SHOWING PROPOSED WORK)



PARTIAL SOUTH ELEVATION 1/4" = 1'
 (SHOWING PROPOSED WORK)



EAST ELEVATION 1/4" = 1'
 (NO CHANGE)



NORTH ELEVATION 1/4" = 1'
 (SHOWING PROPOSED WORK)

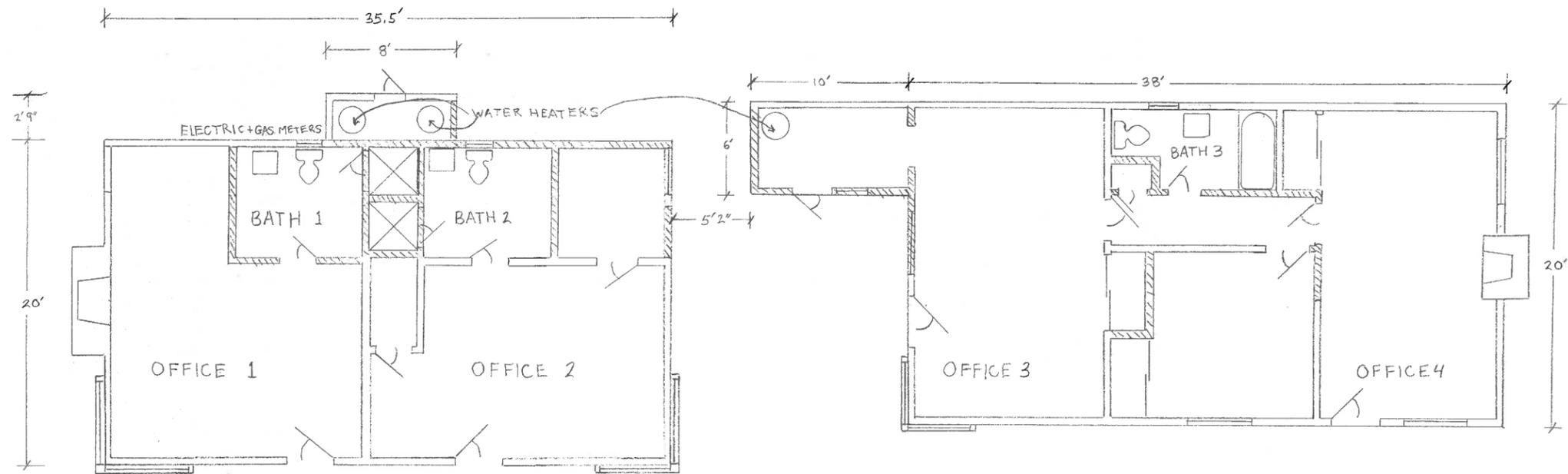
MISSION STREET 2 NE 6th
 CARMEL-BY-THE-SEA, CA 93921

JOE + SHEILA MARK

AUGUST 26, 2016

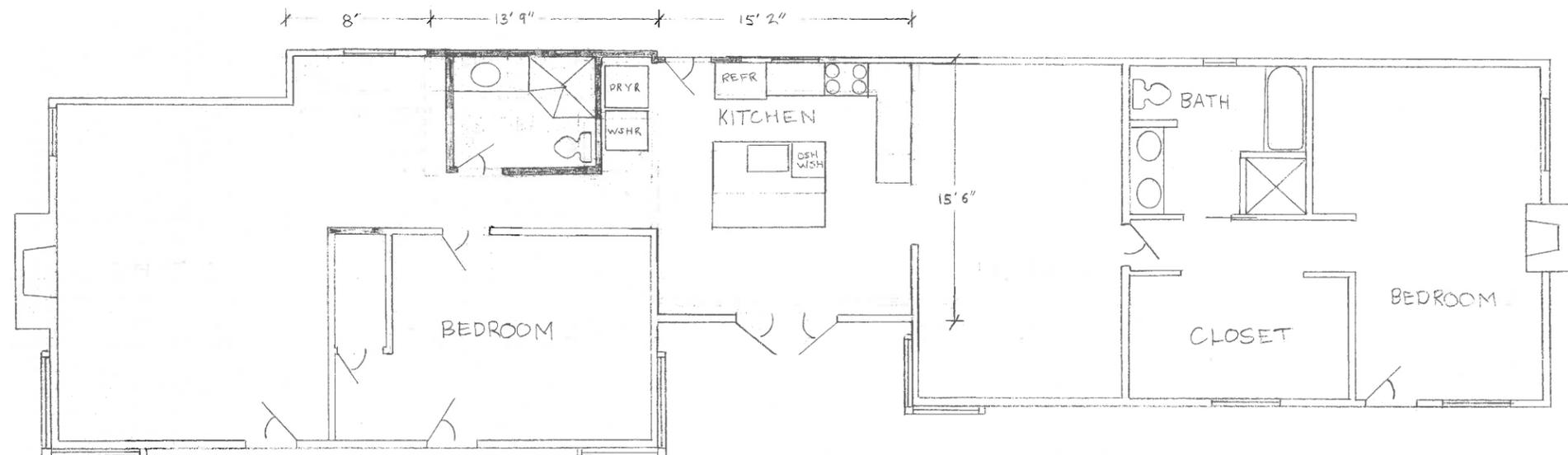
(1)

(2)
 238



EXISTING FLOOR PLAN 1/4"=1'

WALL TO BE REMOVED



PROPOSED FLOOR PLAN 1/4"=1'

NEW WALLS

REVISED
OCT. 5, 2016
OCT. 17, 2016

MISSION STREET 2 NE 6th
CARMEL-BY-THE-SEA, CA 93921

JOE + SHEILA MARK

AUGUST 24, 2016

SM



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

December 14, 2016

To: Chair Goodhue and Planning Commissioners

From: Marc Wiener, AICP, Community Planning and Building Director

Submitted by: Catherine Tarone, Assistant Planner

Subject: Consideration of the replacement of an existing bus shelter with a new bus shelter (MP 16-490) located near the southeast corner of Mission Street and Fifth Avenue on the north side of Devendorf Park.

Recommendation:

Provide direction to the City Administrator on the replacement bus shelter.

Background and Purpose:

The City of Carmel has been provided a \$19,000 grant from Monterey-Salinas Transit (MST) to replace an existing bus shelter located on the north side of Devendorf Park, near the southeast corner of Mission Street and Fifth Avenue. The existing bus shelter is a metal flat-roofed structure with glass siding on three sides, an attached trash receptacle and a painted wooden bench. Its dimensions are 16' in length, by 2.5' in width by 7.5' in height. (See Attachment A for a photograph of the bus shelter).

MST is responsible for the future maintenance of the bus shelter, and as such, has directed the City to purchase the bus shelter from Tolar Manufacturing Company Inc. Tolar has provided the City with two potential bus-shelter options that are most compatible with the downtown and also meet the cost and dimensions standards. According to the City's Policy and Standards for Public Way Design, the Planning Commission is required to review the design and siting of furniture in the public way to determine whether both the proposed design and location are appropriate. The Planning Commission is advisory to the Community Planning and Building Director and City Administrator on furniture in the public way.

Staff Analysis

Staff has identified two options for bus shelter designs that may be appropriate for this location. See attachment B for design specifications and C for photographs.

Option 1: Sierra Bus Shelter: This is staff's preferred option based on the architectural style and roofing. The image included in Attachment C depicts this type of bus shelter, but note that a metal mesh siding is shown rather than glass in this image. The bus shelter is 16' 9" in length, 4' 8" in width and approximately 9 feet in height. Its walls are composed of 7-foot high panes of 3/8" tempered glass and it has a peaked Spanish tile shingle roof. It also includes an 8' long metal bench with metal arm rests that divide the bench into four individual seats. The bus shelter also has an attached trash receptacle. The shelter also offers night time lighting which would need to be hard wired rather than solar since this particular site is located beneath several trees and would not have adequate solar access. This style of bus shelter is the style that MST has currently opted to install throughout Monterey County. The design specifications depict a bench without a backrest, however, staff would select a bench with a backrest because it would better serve the needs of elderly individuals in the community. There are up to 200 color options for this bus shelter, including brown.

Option 2: Alameda Bus Shelter: This bus shelter option has a footprint that is 4' less than the Sierra Bus Shelter and would be 12' 9" in length. This bus shelter has glass siding and a metal peaked roof. It has a metal bench with and without a backrest and an attached trash receptacle. It offers nighttime lighting. In staff's opinion, the metal roof is not as hand-crafted or visually attractive as the Spanish tile roofing, and may not comply with the City's Public Way Design Guidelines recommendation that "*construction materials should be natural appearing using wood, metal or recycled products.*"

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15302 (Class 2) – Replacement or Reconstruction of Existing Structures. The project includes the replacement of an existing bus shelter on city property. The new bus shelter will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. This project therefore qualifies for a Class 2 exemption. The proposed bus shelter replacement does not present any unusual circumstances that would result in a potentially significant environmental impact.

MP 16-490 (Mission Street Bus Shelter)

December 14, 2016

Staff Report

Page 3

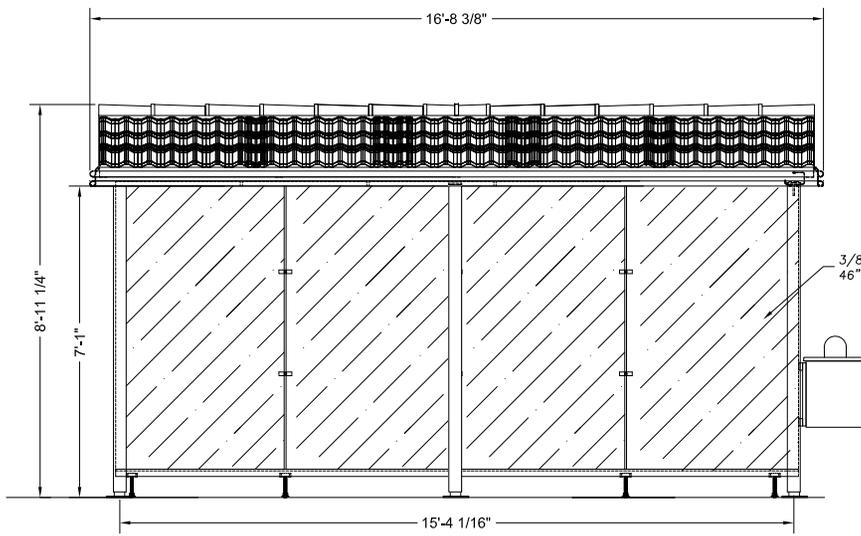
- Attachment A – Existing Bus Shelter at Mission and 5th Avenue
- Attachment B – Bus Shelter Design Specification for Option 1: Sierra Line
- Attachment C – Bus Shelter Options Photographs

Attachment A – Existing Bus Shelter

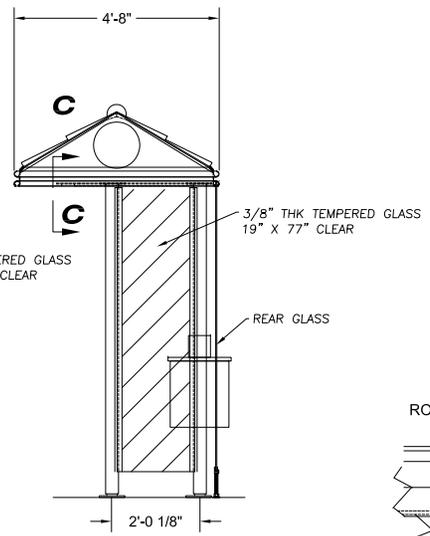


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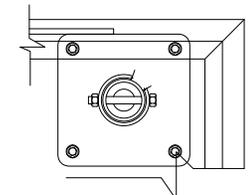
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ZONE	REV	DESCRIPTION	DATE	APPROVED



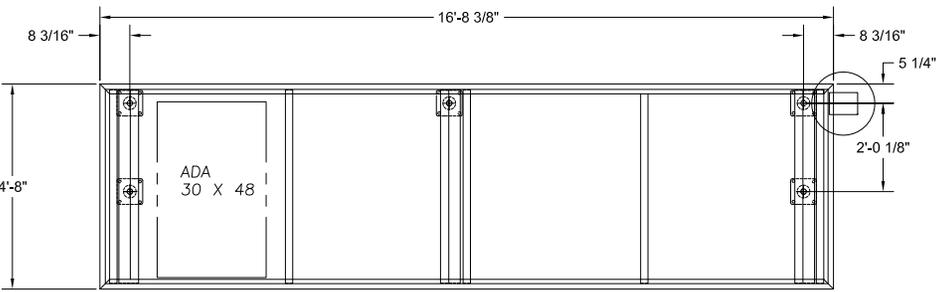
FRONT ELEVATION



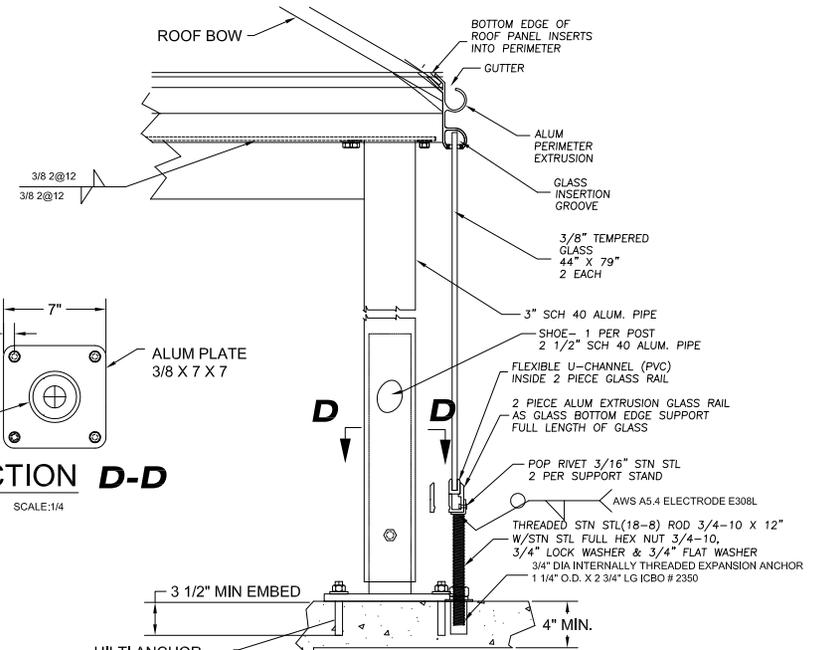
END ELEVATION



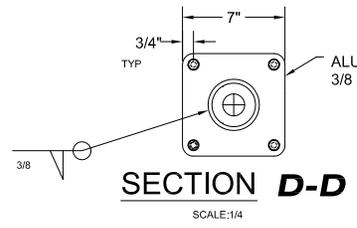
DETAIL "B"
SCALE:1/4



ROOF PLAN VIEW-BELOW ROOF PANELS AND BOWS

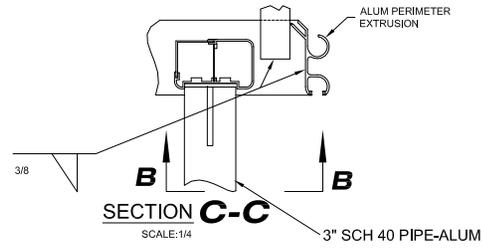


SECTION A-A
BACK POST SCALE:1/4

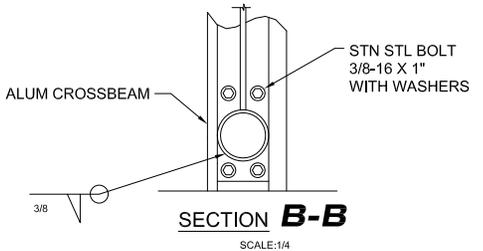


SECTION D-D
SCALE:1/4

- GENERAL NOTES:**
1. ALL STRUCTURAL STEEL UNLESS OTHERWISE NOTED, SHALL BE ASTM A-36, MINIMUM YIELD STRENGTH 36,000 PSI.
 2. ALL STRUCTURAL ALUMINUM MEMBERS, UNLESS OTHERWISE NOTED, SHALL BE OF ALLOY 6063-T5 OR GREATER.
 3. ALL HOLES TO BE DRILLED OR PUNCHED.
 4. STEEL WELDING SHALL CONFORM TO AMERICAN WELDING SOCIETY STANDARD D1. 1-10. ELECTRODES SHALL CONFORM TO AWS E1, CLASS E70S-C.
 5. ALUMINUM WELDING SHALL CONFORM TO AMERICAN WELDING SOCIETY STANDARD D1. 2-6. ELECTRODES SHALL CONFORM TO AWS/SAF 5.10 CLASS ER4043.
 6. ALL WELDING TO BE DONE AT TOLAR MANUFACTURING COMPANY, INC. FACILITY.
 7. ALL CORPORATE PROCEDURES, INCLUDING FABRICATION MUST BE IN COMPLIANCE WITH TOLAR MANUFACTURING CO. INC.'S QUALITY CONTROL MANUAL.



SECTION C-C
SCALE:1/4

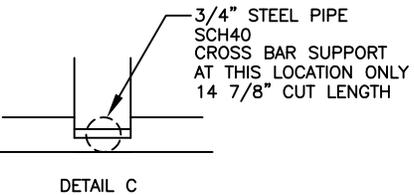
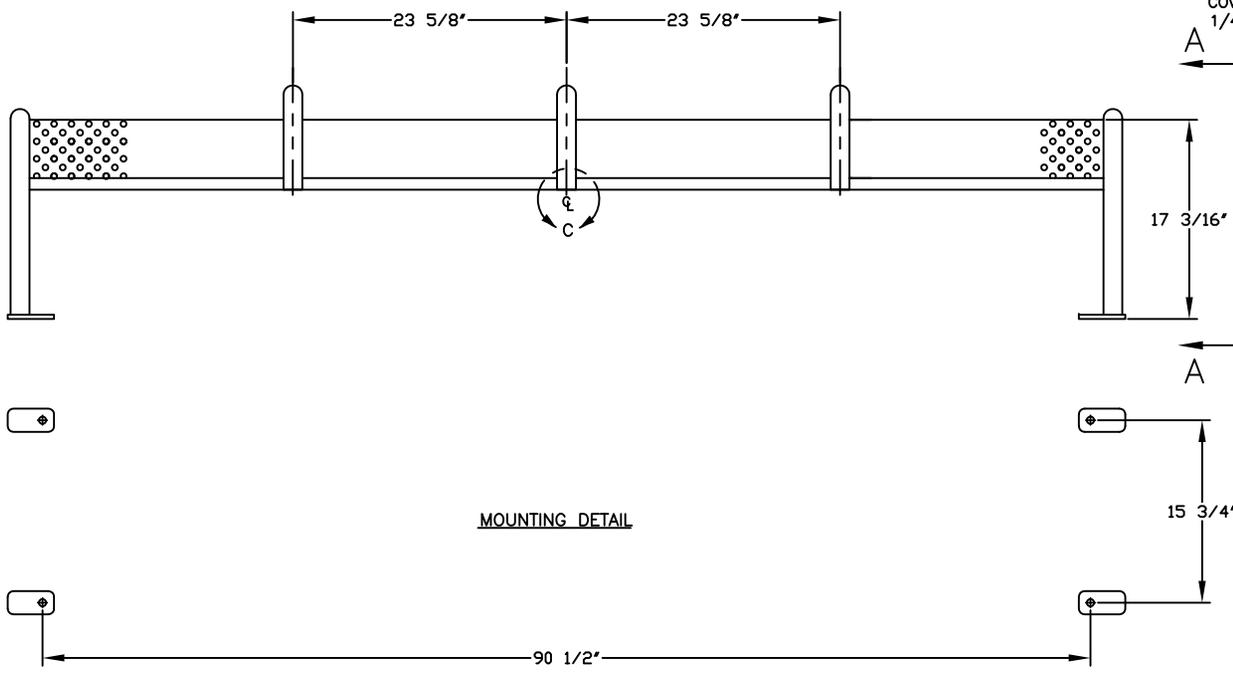
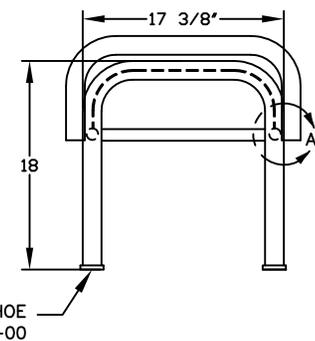
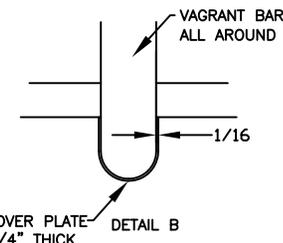
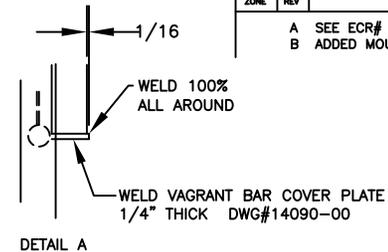
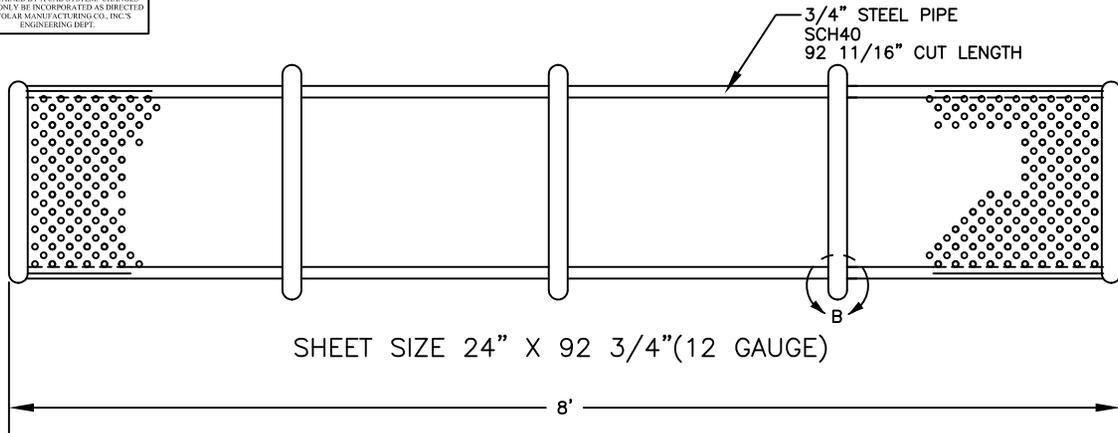


SECTION B-B
SCALE:1/4

Tolar Manufacturing Company, Inc. 258 Mariah Circle, Corona, CA 92879		PROJECT NO. 15254-00 DRAWN BY: MFR
DESCRIPTION: 17' NON AD HIGH PEAK GLASS WALLS		
CUSTOMER/VENDOR: MONTEREY SALINAS TRANSIT		
FILE: D	DATE: 10/04/11	
SCALE: 1/16	APPROVED:	

THIS DRAWING HAS BEEN GENERATED AND IS MAINTAINED BY A CAD SYSTEM. CHANGES SHALL ONLY BE INCORPORATED AS DIRECTED BY TOLAR MANUFACTURING CO., INC.'S ENGINEERING DEPT.

REVISIONS				
ZONE	REV	DESCRIPTION	DATE	APPROVED
	A	SEE ECR# 285	12/10/10	
	B	ADDED MOUNTING DIMS.	7/18/11	VB



CONFIGURATION A	
1	PLANT 1
2	PLANT 2

CONFIGURATION B - ANCHORS	
0	NO ANCHORS
1	1/2" X 3 3/4" SUP-R ANCHORS, ZINC
2	1/2" X 3 3/4" SUP-R ANCHORS, STN STL
3	1/2" X 4 1/4" SUP-R ANCHORS, ZINC
4	1/2" X 4 1/4" SUP-R ANCHORS, STN STL
5	1/2" X 3 3/4" HILTI TZ ANCHORS, ZINC
6	1/2" X 3 3/4" HILTI TZ ANCHORS, STN STL
7	1/2" X 4 1/2" HILTI TZ ANCHORS, ZINC
8	1/2" X 4 1/2" HILTI TZ ANCHORS, STN STL
9	SPECIAL - SPECIFIED ON SALES ORDER

CONFIGURATION C - FINISH	
0	NONE
1	STANDARD POWDER COAT
2	STANDARD POWDER COAT WITH CLEAR COAT
3	PREMIUM POWDER COAT
4	PREMIUM POWDER COAT WITH CLEAR COAT
5	TBD
6	TBD
7	TBD
8	TBD
9	SPECIAL - SPECIFIED ON SALES ORDER

EXAMPLE: 1 2 1 0 4 - 1 2 1
 DRAWING NUMBER CONFIGURATION A CONFIGURATION B CONFIGURATION C

Tolar Manufacturing Company, Inc
 258 Mariah Circle, Corona, CA 92879

DESCRIPTION: 8' BENCH, PERF W/3 BARS

CUSTOMER/VENDOR: _____

SIZE: C MAIL: _____ DWG NO.: 12104 REV: B

SCALE: _____ DATE: 1/28/2010 DRAWN BY: J.W.

Attachment C – Photographs of Bus Shelter Options

Bus Shelter Option 1 – Sierra Line Bus Shelter:



Bus Shelter Option 2 - Alameda Bus Shelter:



Bus Shelter Option 2 - Alameda Bus Shelter:

