

2. MP 16-002 (City War Memorial)
American Legion Post 512
Ocean and San Carlos

Consideration of a Municipal Project (MP 16-002) for the replacement of the War Memorial Bell on the Ocean Avenue median, at the intersection of Ocean Avenue and San Carlos Street.

G. DIRECTOR'S REPORT

H. SUBCOMMITTEE REPORT

Discussion on Home of the Month Subcommittee

I. DISCUSSION ITEMS

J. BOARD MEMBER ANNOUNCEMENTS

K. ADJOURNMENT

Any writings or documents provided to a majority of the Historic Resources Board regarding any item on this agenda will be made available for public inspection in the Planning and Building Department located at City Hall, on Monte Verde between Ocean and 7th Avenues during normal business hours.

The next regular meeting of the Historic Resources Board is TBD.

The City of Carmel-by-the-Sea does not discriminate against persons with disabilities. The City of Carmel-by-the-Sea Telecommunication's Device for the Deaf/Speech Impaired (TDD) number is 1-800-735-2929.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are available upon request to the Board Secretary. If you need assistance, please advise the Board Secretary what item you would like to comment on, and the microphone will be brought to you.

AFFIDAVIT OF POSTING

I, Marc E. Wiener, Interim Community Planning and Building Director, for the City of Carmel-by-the-Sea, DO HEREBY CERTIFY, under penalty of perjury under the laws of the State of California, that the foregoing notice was posted at the Carmel-by-the-Sea City Hall bulletin board, posted at the Harrison Memorial Library on Ocean and Lincoln, May 13, 2016.

Dated this 13th day of May, 2016, at the hour of 4:00 p.m.

Marc Wiener, Interim Community Planning and Building Director

**MINUTES
CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD
April 18, 2016**

City Hall Council Chambers
East side of Monte Verde Street
Between Ocean and Seventh Avenues

A. CALL TO ORDER AND ROLL CALL

The meeting was called to order by Chair Erik Dyar at 3:00 p.m.

PRESENT: Erik Dyar, Chair
Julie Wendt
Kathryn Gualtieri
Lynn Momboisse

ABSENT: Elinor Laiolo

STAFF PRESENT: Marc Wiener, Acting Community Planning and Building Director
Catherine Tarone, Assistant Planner
Cortina Whitmore, Historic Resources Board Secretary

B. TOUR OF INSPECTION

- DS 16-051 (Taylor), NW corner of Camino Real and Ocean

The Board returned to City Hall to begin the regular meeting at 4:00 p.m. Chair Dyar reconvened the meeting and called for a roll call. Board Members Dyar, Laiolo, and Gualtieri were noted as present. Board Member Wendt was absent. Chair Dyar called for roll call at **4:00 p.m.**

C. PLEDGE OF ALLEGIANCE

Members of the audience joined the Board in the Pledge of Allegiance.

D. APPEARANCES

N/A

E. CONSENT AGENDA

1. Consideration of the minutes of the March 21, 2016 Historic Resources Board Meeting
The March 21, 2016 minutes will be considered at May 11, 2016 meeting.

F. **ITEM**

- | | |
|---|---|
| 1. SI 16-027/028 (Joshi)
Dennis Joshi
Dolores, 4 SE of Ocean
Block:76, Lot: 12
APN: 010-146-011 | Consideration of a Sign Permit (SI 16-027/028) applications for the installation of awnings on a historic building located in the Central Commercial (CC) Zoning District |
|---|---|

Marc Weiner, Acting Planning and Building Director presented the staff report.

Chair Dyar opened the public hearing.

Speaker #1: Applicant, Dennis Joshi summarized design changes and answered questions from the Board. Mr. Joshi indicated all signs will be line up to match wall and arch.

Seeing no other speakers, the public hearing was closed.

Board Members held brief discussion.

Board Member Momboise motioned to issue a Determination of Consistency with the Secretary of Standards. Motion seconded by Board Member Wendt and carried by the following roll call vote: 4-0-1-0.

AYES:	COMMISSIONERS: DYAR, GUALTIERI, WENDT & MOMBOISSE
NOES:	COMMISSIONERS: NONE
ABSENT:	COMMISSIONERS: LAIOLO
ABSTAIN:	COMMISSIONERS: NONE

- | | |
|---|--|
| 2. DS 16-051 (Taylor)
Craig Holdren
NW corner of Camino Real and Ocean
Block: GG, Lot: 1,3 & 5
APN: 010-252-011 | Consideration of a Design Study (DS 16-051) application for alterations to a historic residence located in the Single-Family Residential (R-1) Zoning District |
|---|--|

Catherine Tarone, Assistant Planner presented the staff report and summarized property history. Ms. Tarone answered questions from the Board.

Chair Dyar opened the public hearing, seeing no speakers present Chair Dyar closed the public hearing.

Board Members held discussion. Marc Wiener summarized comments and directions given by Board for the Applicant/Owner who were not present in the meeting: no reuse of historic windows in new construction, shift bathroom to line up with wall reveal, possibly relocate basement, differentiate windows and revise/reduce deck to be more in scale with the residence.

Board Member Gualtieri moved to continue item #2 (DS 16-051) until the May 11, 2016 Historic Resources Board Meeting. Motion seconded by Board Member Wendt and carried by the following roll call vote: 4-0-1-0.

AYES:	COMMISSIONERS: DYAR, GUALTIERI, WENDT & MOMBOISSE
NOES:	COMMISSIONERS: NONE
ABSENT:	COMMISSIONERS: LAIOLO
ABSTAIN:	COMMISSIONERS: NONE

G. DIRECTOR'S REPORT

1. Monthly Activity Report

Mr. Wiener announced to the Board he will provide Monthly Activity Report for review. Mr. Wiener updated the Board on Department staffing levels, statistics on the increase of Planning and Building applications received and current City Council actions.

H. SUBCOMMITTEE REPORT

1. Discussion on Home of the Month Subcommittee

Julie Wendt informed the Board she submitted another article for the "Home of the Month" articles to be published in the Carmel Pine Cone.

I. DISCUSSION ITEMS

N/A

J. BOARD MEMBER ANNOUNCEMENTS

N/A

K. ADJOURNMENT

There being no further business to come before the Board, the meeting was adjourned at 5:05 p.m.

Cortina Whitmore, Historic Resources Board Secretary

ATTEST:

Erik Dyar, Chair



CITY OF CARMEL-BY-THE-SEA

Historic Resources Board

May 16, 2016

To: Chair Dyar and Board Members

From: Marc Wiener, Interim Community Planning and Building Director

Submitted by: Catherine Tarone, Assistant Planner

Subject: Consideration of a Design Study (DS 16-051) for alterations to a historic residence located in the Single-Family Residential (R-1) Zoning District

Recommendation:

Issue a Determination of Consistency with the Secretary of the Interior's Standards subject to the attached conditions.

Application: DS 16-051 (Taylor) **APN:** 010-252-011
Block: GG **Lots:** 1, 3, & 5
Location: NW corner of Camino Real and Ocean Avenue
Applicant: Craig Holdren
Property Owner: Bruce Church and Linda Taylor

Background

The existing residence, known as the "Alfred P. Fraser House", is a one-and-two story, wood-framed Craftsman Style residence designed and constructed c. 1918. In 1976, building records show termite repair and interior changes with enclosure of the principal entry. In 1980, the existing detached garage facing Camino Real was altered adding a new 14' x 7' overhead door and a new 4" x 12" header to the front. In 2004, an outdoor wood deck was added to the interior side and rear (north-west) elevation. According to Kent Seavey's Phase II Historic Assessment, all additions were consistent with *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. The residence was officially listed on the Carmel Inventory of Historic Resources on November 2, 2002.

The "Alfred P. Fraser House" is significant at the local level under criterion #2 established by the California Register of Historical Resources, PRC Section 5031 (3), for its association with early

civic leader, Alfred P. Fraser, the City of Carmel-by-the-Sea's first mayor. It is also significant under criterion #3, as an excellent example of Craftsman Style residential design. Character defining features include its one-and-two-story height, irregular plan, wood-shingled exterior wall-cladding and roof covering, low-pitched roof, and low-pitched and intersecting stepped gabled roof system.

Proposed Project

The existing residence is 2,521 square feet in size. The applicant is proposing to add 965 square feet including 310 square feet to the main floor, and 84 square feet to the upper level, and 571 square feet to a proposed new lower floor. The project consists of the following components: (1) the addition of a single-story family room and fireplace off of the end of the north (rear) elevation, (2) a small extension of a deck built in 2004 at the north and west elevations of the property, (3) the addition of a small bathroom at the north end of the upper-story, (4) the creation of a new, lower-level addition that will be partially underground on the south (primary) and west (secondary) elevations of the building and will contain two bedrooms, a bathroom and a vestibule connecting to the main level, (5) the creation a rooftop deck above the new partially-underground bedroom space and revised to be accessible from the main floor hallway only, (6) the adjustment of two small existing windows on the east-facing façade. The new addition is proposed to have wood shingle siding that will utilize a pattern of differing shingle widths to ensure the new is differentiated from the original historic shingles. Additionally, the muntins, window casing and window apron of all new windows on the addition will be altered slightly to differentiate them from existing windows. All work shall conform to the approved plans except as conditioned by this permit.

Staff Analysis

Previous Hearing: The following is a list of recommendations made by the Historic Resources Board and a staff analysis of how the applicant has or has not revised the design to comply with the recommendations.

- 1. Refrain from reusing existing historic windows on new additions because they appear to be original when they are altered and could create a false sense of history.*

Analysis: The applicant has included a note in the *Key Notes* on page A2 of the plans that the applicant shall not reuse the property's original historic windows in the proposed new addition.

- 2. The applicant shall recess and offset the bathroom addition so that it is pushed back*

toward the west and so there is a wall reveal that will differentiate the new addition from the historic portion.

Analysis: The applicant has offset, by approximately 2 feet, the wall of second-story bathroom addition on the north elevation. In order to accommodate the offset, the applicant is proposing to remove an original historic casement window with three panels on the north elevation. The new proposal will locate a new window on the north elevation of the addition as well as a new window on the original wall, immediately adjacent to the addition. Staff supports this change despite the removal of the original window, because offsetting the addition creates a wall reveal that will differentiate the addition from the historic portion.

- 3. Investigate relocating the lower-floor bedrooms, bathroom and vestibule currently proposed on the primary south-west elevation. The Board suggests locating the lower-floor on the secondary north elevation, perhaps under the newer deck.*

Analysis: The applicant has provided a written response, included as Attachment E, stating the reasons he chose not to locate the subterranean bedrooms and vestibule under the existing deck. The applicant's proposal creates a bedroom wing with two new bedrooms located below two existing main-floor bedrooms with the objective of maintaining the privacy of this bedroom wing. In his response, the applicant expresses his preference to keep the lower floor bedrooms on the south-west portion of the property to allow for the creation of a private bedroom wing and to result in the least amount of grading.

Staff notes that the elevation at the north end of the property at the existing wood deck is approximately 2 to 3 feet higher than the grade at the south end of the property and thus an addition in this location would require more grading.

While the south elevation of the home is largely not visible from the public right-of-way due to heavy tree cover along Ocean Avenue, the addition, as proposed, will be located on a previously-unaltered primary elevation (the front of the residence) facing Ocean Avenue. In staff's opinion, it would be best to locate the addition on altered or secondary elevations only. Staff notes that the applicant has withdrawn the original proposal to install French doors on the south, primary elevation, and is instead proposing to retain the original historic 3-casement window. The Historic Resources Board may decide whether this property's proposal to construct an addition on the south-west portion of the residence is consistent with the intention of Secretary of the Interior's *Standards for Alterations to Historic Resources*.

- 4. Differentiate the shingle siding from the existing historic shingle siding and please include the measurements of the historic shingle versus the new proposed shingle.*

Analysis: For the new additions, the applicant is proposing wood shingle siding that will have alternating dimensions that will differentiate it from the historic siding. The specific shingle dimensions are provided on Sheet A3.2 of the plans. The shingles will also be offset by $\frac{3}{4}$ -inch to 1-inch. This will differentiate the addition from the historic portion of the residence which has aligned wood shingles, measuring 6 inches in width and 1 foot, 3 $\frac{1}{2}$ -inches in height. In staff's opinion, the proposed shingles provide an adequate visual differentiation between the new siding and the historic siding.

- 5. Differentiate the new proposed windows from the existing windows, including the headers and the lintels at the top of the windows.*

Analysis: In order to differentiate the new windows, the applicant proposes to extend the vertical muntin bar to the bottom of the window, use a narrower, 2-inch-wide trim at the bottom of the window, construct a narrower, 1 $\frac{1}{2}$ -inch window sill and add a 2-inch window apron. The applicant also proposes to shorten the lintel at the top of the window to eliminate the protruding edges as well as to narrow both the window lintel and vertical window trim. In staff's opinion, the proposed window and trim designs provide an adequate visual differentiation between the new windows and the historic windows.

- 6. Consider revising the deck posts on the existing newer deck on the west elevation to be more in-scale with the historic building.*

Analysis: The applicant has provided a written response, included as Attachment E, stating the reasons he chose not to redesign the non-historic deck built in 2008 on the property's north-west elevation. The applicant states that the deck posts were crafted to appear more substantial in scale to differentiate them from the, "more gracile vocabulary of the original house." While staff does support locating the proposed lower-floor bedrooms and vestibule addition under this deck, staff does not see the need to redesign the deck if other alterations are not being made to it.

Historic Evaluation Summary: The California Environmental Quality Act requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior's Standards. The proposed alterations were reviewed by the City's Historic Preservation Consultant: Kent Seavey. The Phase II Historic Assessment prepared by Mr. Seavey on February

3, 2016, includes an analysis of the proposed changes based on the *Secretary of the Interior's Standards for the Treatment of Historic Properties* (Attachment D). The assessment concludes that the project would be consistent with the Standards.

Alterations: The Secretary's Standards recommend that new additions be placed on secondary elevations and where alterations have already occurred. Standard #9 states that *"the new work will be differentiated from the old and will be compatible with the massing, size, and scale to protect the historic integrity of the property."* Standard #10 states *"New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."*

The Phase II Assessment identifies that the proposed additions would be on altered primary elevations and secondary elevations; however, staff notes that the partially subterranean bedrooms and vestibule will be visible on both the west (secondary) elevation as well as the south (primary) elevation. The Assessment states that the south (front) elevation of the residence is considered a primary elevation, as it fronts Ocean Avenue. However, staff notes that the south primary elevation of the home is not visible from the public right-of-way due to the presence of trees and vegetation. As stated above, in staff's opinion, it would be best to locate the addition on altered or secondary elevations only. The Historic Resources Board may decide whether this property's proposal to construct an addition on the south-west portion of the residence is consistent with the intention of the Secretary of the Interior's *Standards for Alterations to Historic Resources*.

In the Phase II Assessment, Mr. Seavey concludes that the new additions are designed and located so that the character-defining features of the building would not be radically changed and that the additions are compatible with the size, scale, and massing of the existing residence. The proposed additions include wood-shingle siding and windows that are differentiated from the historic residence as recommended by Standard #9.

In regard to Standard #10, the proposal includes three additions to the property which includes a single-story family room and fireplace on the north (rear) elevation, an upper-story bathroom on the north elevation, and a new, lower-level addition containing two bedrooms, a bathroom and a vestibule connecting to the main level. To accommodate these additions, staff notes that several original windows will be removed. On the west elevation, a small original, single-light, double-casement window will be removed and replaced with a new wood door at the rooftop

deck. On the north elevation, a small single window, a triple-casement window and a wood door on the main floor and a triple casement window on the upper-floor will be removed to make room for the main-floor living room addition and the upper-floor bathroom addition. On the east and south elevations no permanent window removals are proposed. Staff notes that since the applicant is proposing permanent additions to the residence, these additions are not likely to be removed in the future and the original windows proposed for removal are not likely to be reinstalled. To ensure compliance with Standard #10, staff has drafted a condition recommended by Mr. Seavey in his Phase II Report that the applicant shall create measured drawings and photo documentation of the existing north rear elevation where the living room addition is proposed as well as the existing south-west side elevation where the sublevel bedroom additions and rooftop deck are proposed.

In summary, the Phase II Assessment concludes that the proposed work will be executed consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Staff concurs with Mr. Seavey and supports the overall project subject to the attached conditions of approval (Attachment A).

Alternatives: The staff recommendation is to issue a determination that the application, as conditioned, is consistent with the Secretary's Standards. Alternatively, the Board could find the application inconsistent with the Secretary's Standards, which would result in either the withdrawal of the project by the applicant, or the requirement that the project undergo additional CEQA analysis to evaluate impacts on historic resources.

Environmental Review: The California Environmental Quality Act (CEQA) requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior's Standards. If the alterations are consistent with the standards, potential historic resource impacts under CEQA do not require further analysis. Staff concludes that the proposed alterations would be consistent with the Secretary of the Interior's Standards and therefore, do not require additional environmental analysis.

ATTACHMENTS:

- Attachment A – Conditions of Approval
- Attachment B – DPR 523 Form
- Attachment C – Phase II Historic Assessment
- Attachment D – Secretary of the Interior's Standards
- Attachment E – Response Letter from Craig Holdren

DS 16-051 (Taylor)

May 16, 2016

Staff Report

Page 7

- Attachment F – Original Elevations
- Attachment G – Project Plans

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

CONDITIONS OF APPROVAL

DS 16-051
Bruce Church and Linda Taylor
NW corner of Camino Real and
Ocean Avenue
Block: GG Lots: 1, 3 & 5
APN: 010-252-011

AUTHORIZATION:

1. This Determination of Consistency (DS 16-051) authorizes alterations to an existing 2,521-square foot residence, subject to Planning Commission approval, as shown on the plans dated May 2, 2016. The project includes a total addition of 965 square feet including 310 square feet to the main floor, and 84 square feet to the upper level, and 571 square feet to a proposed new lower floor. The project consists of the following components: (1) the addition of a single-story family room and fireplace off of the end of the north (rear) elevation, (2) a small extension of a deck built in 2004 at the north and west elevations of the property, (3) the addition of a small bathroom at the north end of the upper-story, (4) the creation of a new, lower-level addition that will be partially underground on the south (primary) and west (secondary) elevations of the building and will contain two bedrooms, a bathroom and a vestibule connecting to the main level, (5) the creation a rooftop deck above the new partially-underground bedroom space and revised to be accessible from the main floor hallway only, (6) the adjustment of two small existing windows on the east-facing façade. The new addition is proposed to have wood shingle siding that will utilize a pattern of differing shingle widths to ensure the new is differentiated from the original historic shingles. Additionally, the muntins, window casing and window apron of all new windows on the addition will be altered slightly to differentiate them from existing windows. All work shall conform to the approved plans except as conditioned by this permit.

SPECIAL CONDITIONS:

1. Measured drawings and photo-documentation of the existing elevations shall be prepared and submitted to the City to include in the historical record.

2. Prior to the beginning of construction, the applicant shall convene a pre-construction meeting to include the contractor and the City's Project Planner to ensure compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 5S1
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page of Resource Name or #: (Assigned by recorder) Alfred P. Fraser Hse.

P1. Other Identifier:

P2. Location: Not for Publication Unrestricted **a. County** Monterey
and (P2b and P2c or P2d. Attach a Location Map as necessary.)
b. USGS 7.5' Quad _____ **Date** _____ **T** _____ ; **R** _____ ; **1/4 of** _____ **1/4 of Sec** _____ ; **B.M.** _____
c. Address: _____ **City** Carmel by-the-Sea **Zip** 93921
d. UTM: (Give more than one for large and/linear resources) _____ ; _____ **mE/** _____ **mN** _____
e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)
NW Cr. Camino Real & Ocean (Blk GG, Lots 1, 3, 5)

Parcel No. 010-252-011

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A one-and-two-story wood-framed Craftsman style residence, irregular in plan, resting on a concrete foundation. The exterior wall cladding is wood shingle, laid about 14" to weather. The low-pitched intersecting gable roof system has wide overhanging eaves w/exposed rafter tails, decorative brackets under overhanging elements, and triangular knee bracing at the gable ends. All roof covering is wood shake. A large, brick exterior eave wall chimney is located on the west (rear) elevation about midway along the building envelope, where it pierces the eave overhangs of both the first and second floors. A second brick exterior eave wall chimney stack is found on the east (front) elevation at the SE cr of the wing projecting from the front entry. It too pierces the eave overhang. There is a slightly projecting bay window on the south side-elevation of the main building block. This feature is capped by a narrow shed roof w/exposed rafter tails, and has decorative brackets under the apron. The house is characterized by a central two-story main building block, w/lower wings on the east side. One wing projects toward the south, and the second, on the NE cr of the main bldg. block, projects toward the east. Fenestration is irregular w/ large fixed multi-paned wood focal windows, toward the west and south, and a combination of single, paired and banked 2/1 Craftsman style wood casement and awning type windows. There are some multi-paned glazed wood doors as well.

ib. Resource Attributes: (List attributes and codes)

P4. Resources Present Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)
(View toward _____). Photo No: 823-, .

P6. Date Constructed/Age and Sources:
 Prehistoric Historic Both

1918 est. Mo Co Assessors records

P7. Owner and Address

Joan & Thomas Mertens
15502 N.W. Par Court
Portland, OR 97229

P8. Recorded by: (Name, affiliation, and address)

Kent L. Seavey, Preservation Consultant, 310
Lighthouse Ave., Pacific Grove, CA 93950

P9. Date Recorded: 11/2/2002

P10. Survey Type: (Describe)

Carmel Historic Resource Inventory - 2001

Report Citation: (Cite survey report and other sources, or enter "none")

Carmel by-the-Sea Survey 1989-1996

Attachments NONE Continuation Sheet District Record Rock Art Record Other: (List) _____
 Location Map Building, Structure, and Object Record Linear Feature Record Artifact Record
 Sketch Map Archaeological Record Milling Station Record Photograph Record

BUILDING, STRUCTURE, AND OBJECT RECORD

HRI #

Primary #

NRHP Status Code

5S1

Resource Name or #: (Assigned by recorder) *Alfred P. Fraser Hse.*

B1. Historic Name: *Alfred P. Fraser Hse.*

B2. Common Name:

B3. Original Use: *residence*

B4. Present Use: *residence*

B5. Architectural Style: *Craftsman*

B6. Construction History: (Construction date, alterations, and date of alterations)

Constructed ca. 1913; termite repair 1976 (Cbp# 76-76); interior remodel w/minor change to entry 1976 (Cbp# 76-153)

B7. Moved? No Yes Unknown Date: Original Location:

B8. Related Features: *enlarge door on wood-frame, one-car garage at NE cr. of parcel 1980 (Cbp# 80-56); extend existing board fence along perimeter, on Ocean Ave. side, toward the west 1976 (Cbp# 76-153)*

B9a. Architect:

b. Builder:

B10. Significance: Theme: *Architectural Development*

Area: *Carmel by-the-Sea*

Period of Significance: *1903-1940*

Property Type: *single family residence*

Applicable Criteria: *CR 2,3*

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

The A.P. Fraser Hse. is significant under California Register criterion 2, for the contributions of Alfred P. Fraser as an early civic leader, and Carmel's first mayor. It is also significant under criterion 3, in the area of architecture as an excellent example of early (ca. 1913) Craftsman style residential design in Carmel. This is a large, side-gabled example of the Craftsman form, built across three lots, that takes full advantage of Carmel Bay views. It possesses most of the decorative features characteristic of the style, including a low-pitched intersecting gabled roof system, w/wide overhanging eaves and exposed rafter-tails, triangular knee bracing in the gable ends, and decorative modillions below overhanging components. The wood windows are uniformly two small square lights above a larger single pane, in a variety of shapes and combinations, including single, paired and banked configurations throughout the house. The original exterior wood shingle was probably natural, but has been painted several times since construction in the teens. The Fraser Hse. is one of the best larger examples of early Craftsman design in Carmel that has been little altered over time. It expresses the strong Arts & Crafts aesthetic present in Carmel during the period.

Alfred P. Fraser was the first president of Carmel's Board of Trustees, making him the first mayor of Carmel. Elected in 1916, he served until 1920 during the formative period of city government. Fraser served as Carmel's police court judge, and superintendent of streets. In the mid 1920s, he and his wife Bernice, operated Fraser Looms, a hand woven fabrics shop in the Seven Arts Building at the cr. of Ocean & Lincoln. The Alfred P. Fraser Hse. clearly reflects the findings of, and is consistent with the 1997 Carmel Historic Context Statement under the theme of architectural development.

B11. Additional Resource Attributes: (List attributes and codes) *HP2 - Single Family Property*

B12. References:

*Carmel bldg. records, Carmel Planning Dept., City Hall, Carmel
Carmel Historic Context Statement 1997*

Carmel Pine Cone, 9/26/30

Hale, Sharron, A Tribute to Yesterday, Valley Publishers: Santa Cruz, 1980

Sanborn fire insurance maps of Carmel 1924, 1930, 1930-62

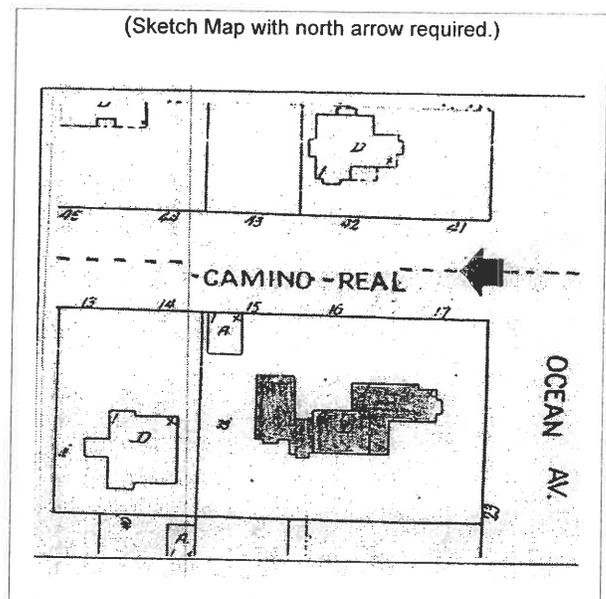
B13. Remarks: *Zoning R-1
CHCS (AD)*

B14. Evaluator: *Kent L. Seavey*

Date of Evaluation: *11/2/2002*

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



Primary #

HRI #

Trinomial

CONTINUATION SHEET

Name of Resource Name or #: (Assigned by recorder) Alfred P. Fraser Hse.
Recorded by: Kent L. Seavey Date 11/2/2002 Continuation Update

P3. The only visible change to the original building, aside from painting, is a vestibule, enclosing the front entry, added in the 1976 remodel. It is in keeping with the original character of the house, and would meet the Secretary of the Interior's Standards for Rehabilitation. The property is surrounded by a high, flush board wood fence w/latticed top, along Camino Real and part of Ocean. Further west along Ocean this fencing turns to a grapestake type. The house is further screened from both streets by mature trees. It has well maintained grounds, w/a front lawn and low shrubbery.

KENT L. SEAVEY
310 LIGHTHOUSE AVENUE
PACIFIC GROVE, CALIFORNIA 93950
(831) 555-8739

REVISION

MAR 17 2016

City of Carmel-by-the-Sea
Planning & Building Dept.

February 3, 2016

Mr. Marc Weiner
Acting Planning Director
Carmel Planning & Building Dept.
City of Carmel-by-the-Sea
P.O. Drawer G
Carmel, CA 93921

Dear Mr. Weiner:

Introduction:

This Focused Phase II Historic Assessment has been prepared on behalf of Bruce Church & Linda Taylor as part of an application for additions and alterations to a two-story single family residence, on a listed historic residence. The subject property is located at the NW cr. Of Camino Real and Ocean Ave. (APN# 010-252-011), in Carmel (see photos, plans & drawings provided).

Historical Background & Description:

The subject property is an altered c. 1918 one-and-two story, wood-framed Craftsman Style residence. Carmel building records show termite repair in 1976 (CBP# 76-76); and interior changes with enclosure of the principal entry (CBP# 76-153). Further additions, in the form of open decks, were made to the rear (west) elevation in 2004 (CBP# 04-2362). All additions were consistent with *The Secretary of the Interior's Standards for the Treatment of Historic Properties*, under the Standards for Rehabilitation.

The property is listed in the 2003 Carmel Historic Resource Inventory at the local level of significance, under California Register criteria 2, for its association with early civic leader, Alfred P. Fraser, Carmel's first Mayor, and criteria 3, as an excellent example of Craftsman Style residential design. It falls under the theme of Architectural Development in Carmel (1888-1965), established in the 2008 Carmel Historic Context Statement. Its period of significance is c.1918 to 1940 (see California DPR 523 documentation provided).

Character-defining features of the property include its one-and-two-story height; irregular plan; wood shingled exterior wall-cladding & roof covering; low-pitched & intersecting stepped gabled roof system;

multi-paned, single, paired, tripartite and banked wood, fixed & casement type windows and Craftsman Style decorative trim.

Evaluation:

The owners propose to, (1) add a one-story family room w/fireplace off the end of the north side-elevation, (2) slightly extend the modern 2004 open deck at the north end of the existing building envelope a little further west. (3) extend a small bathroom space off the north end of the second floor, (4) create a new, one-story living space on the west side of the building envelope, toward the south, building south from an existing raised basement wall, (5) create a roof deck above the new bedroom space for an existing bedroom at the south end of the ground floor. They also propose to slightly adjust two existing small bathroom windows on the east facing facade, to conform with proposed interior upgrades of this feature. All new work will be undertaken in conformance with the *The Secretary of the Interior's Standards for the Treatment of Historic Properties, under the Standard for Rehabilitation*.

The Secretary of the Interiors Standards for the Treatment of Historic Properties Identify four primary treatment approaches to historic buildings. They are Restoration, Preservation, Reconstruction and Rehabilitation. Rehabilitation would be the recommended standard of treatment for the subject property,

Rehabilitation is defined as the act or process of making a compatible use for a property through repair, alterations and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

The Secretary's Standards encourages "placing a new addition on a non-character-defining elevation." and locating alterations to historic properties in areas where previous alterations already exist.

The 1992 National Park Service *Illustrated Guidelines for Rehabilitating Historic Buildings*, states that "The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility."

As noted above, the Standards recommend new additions be placed on secondary elevations, and where alteration has already occurred. In this instance the proposed additions are on altered primary, and secondary elevations. The new additions are designed and will be constructed so that the character-defining features of the historic building are not radically changed. The proposed additions are generally on inconspicuous areas of the historic building envelope, and limited in size and scale in relationship to the historic building.

The proposed new work will be differentiated from the old in a manner that makes clear what is historic and what is new. As proposed, the wood-shingled exterior wall-cladding will be slightly modified in some locations, and window muntin changes will be introduced in the new fenestration. The new elements will reflect the existing historic building fabric for continuity of design.

the work will be compatible with the size, scale, proportions and massing to protect the integrity of the subject property and its environment. This is consistent with Rehabilitation Standard #2 and #5. If removed in future, the essential form and integrity of the historic residence will be unimpaired, consistent with Standards #9 and #10.

Impacts of the Proposed Project:

The owners have proposed the following additions for contemporary usage.

EAST (FRONT) ELEVATION (primary, altered)

This is a primary elevation that has been somewhat altered by the 1976 enclosure of the original entry, adjacent to the kitchen wing at the north end of the elevation. A garage, modified in 1980 screens the location of the proposed one-story family room, as does the high fencing and hedging along its Camino Real elevation (see photos and plans & drawings provided).

As proposed, the family room will be located toward the rear (west) of the kitchen wing, on an inconspicuous elevation of the historic building. Its size and scale is limited in relationship to the historic building envelope, with the roof line kept low. The exterior wall-cladding will be wood shingles, but of a different pattern than that found on the main building block, as will the pattern of muntins on the proposed Craftsman style windows and wood French door access. It will also be visually screened from the street by the existing garage.

The treatment is consistent with those recommended in the Secretary's Standards for Rehabilitation to assure that the character-defining features of the historic building are not radically changed, and that the new construction is compatible with the site, preserving the historic relationship between building, landscape features and open space.

Measured drawings and photo-documentation of the existing north side-elevation of the kitchen wing will be made, as well as retention or reuse of any historic window removals, in order to insure that if the addition is removed in future, the essential form and integrity of the historic property and its environment would be unimpaired, consistent with Rehabilitation Standard #10 (see copy of Rehabilitation Standards provided).

The proposed bathroom extension on the north end of the second floor elevation will be visible from Camino Real, and will require the removal of one existing window, components of which will be reused as part of the proposed addition.

In accordance with the Rehabilitation Standards recommendations for new additions, the proposed bathroom extension will be kept small in scale, and stepped down from the historic roof line of the original second floor, so as not to obscure or radically change the historic appearance of the building envelope.

As noted above, the exterior wall-cladding will be wood shingles, but of a different pattern than that found on the main building block, as will the pattern of muntins on the proposed Craftsman style windows.

Two small bathroom windows, located south of the entry along this elevation will be shifted slightly to accommodate an interior bathroom expansion. They will remain, retaining their current spatial relationship (see photos and plans & drawings provided).

NORTH SIDE-ELEVATION (secondary, altered)

The proposed ground floor family room addition will be almost fully screened from the adjacent property to the north by an existing high, vine covered fence. There will be no height increase on the historic building envelope, or loss of existing views by the slight expansion of the second floor bathroom. Roof forms and wall-claddings remain essentially the same as does the rhythm of solid and voids in the fenestration. The current railing on the existing 2004 rear deck and its stepped approach will be enclosed and extended to meet the railing running along the rear (west) elevation, cleaning up its design visually. The historic character of the residence will be preserved by a very limited alteration of features, spaces and spatial relationships that characterize the property, consistent with Rehabilitation Standard #2.

WEST (REAR) ELEVATION (secondary, altered)

Changes to the rear elevation, aside from the family room and second floor bathroom extension, addressed above, will be toward the south, where a partially below grade, one-story bedroom and bath, with an open deck above is proposed (see photos, plans & drawings provided).

The new bedroom/bath space would be below the ground floor-plate, reached from an interior staircase, with a small, sunken exterior terrace at the rear (west), having one window, and two sets of French doors, accessing the terrace to provide code required light and air as well as egress from the new living space.

The roof deck will provide the same code required egress for an existing bedroom on the east side of the ground floor. The proposed deck railing would match those on the existing 2004 deck spaces. The current tripartite window on the west elevation of the existing bedroom would be replaced by a set of wood French doors, designed to match, in kind, the existing fenestration. The original windows will be retained and appropriately stored/or reused in the proposed rehabilitation.

An exterior wall-cladding of horizontal wood siding, matching that found on the existing 2004 decks, will both unify these features, and differentiate the old from the new, consistent with Rehabilitation Standards # 9 and #10.

SOUTH SIDE-ELEVATION (primary).

The proposed open deck railing will rise just slightly above the new one-story bedroom addition proposed for the west side of this elevation. The new exterior wall cladding, will match, in kind, the existing wood shingle siding.

The current tripartite living room window, on the west elevation of south side-elevation will be replaced by a set of wood French doors, accessing the new deck. The design of the new feature will match, in kind, the existing fenestration. The original windows will be retained and appropriately stored/or reused in the proposed rehabilitation.

NOTE: The south side of the historic house is considered a primary elevation, as it faces on Ocean Avenue, a public right-of-way. However, it is almost impossible to see the residence from the street or sidewalk because of the dense, mature vegetation that fronts the property.

The Alfred P. Fraser House was officially listed May 25, 2005 on the Carmel Inventory of Historic Resources at the local level of significance for its association with an important figure in Carmel's history, and as an early and excellent Craftsman Style design.

The proposed work will be in adherence to the Secretary of the Interior's edict encouraging the placing of new additions on non-character-defining elevations and locating alterations and additions to the historic property in areas where previous changes already exist.

As proposed, the work shall reuse, to the extent feasible, any available historic building material, and where necessary match required replacement features, in kind. New work will be clearly differentiated from the old, but compatible with the size, scale, proportions and massing to protect the integrity of the subject property and its environment. If removed in future, the essential form and integrity of the historic resource and its environment will be unimpaired.

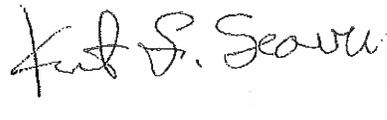
Conclusion:

The proposed work on the subject property will be executed consistent with the Secretary's Standards for Rehabilitation, with the least possible loss of historic material so that the remaining character-defining features of the resource will not be obscured, damaged or destroyed. The proposed alterations are reversible. As proposed the new work will not cause a significant change to the listed historic building and will not create a significant adverse effect on the environment.

Mitigation:

The proposed project I appears to be in conformance with the *Secretary of The Interiors Standards for the Treatment of Historic Properties* under the *Standard for Rehabilitation*. (see documentation, photos and plans & drawings provided). No mitigation is needed for this project.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Kurt S. Seawey". The signature is written in a cursive style with a vertical line extending downwards from the end.

ATTACHMENT D

SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES (Rehabilitation)

1. "A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment."
2. "The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided."
3. "Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."
4. "Most properties change over time; changes that have acquired historic significance in their own right shall be retained and preserved."
5. "Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved."
6. "Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, and pictorial evidence."
7. "Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible."
8. "Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken."
9. "New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment."
10. "New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."



Holdren+Lietzke
ARCHITECTURE

225 Camino del Rio South, Suite 400, San Diego, CA 92108
Tel: 619.594.1100 Fax: 619.594.1101

May 2, 2016

To: Catherine Tarone – Planner, City of Carmel

Re: Historic Review – Taylor Residence
NW Corner of Ocean and Camino Real
APN: 010-252-011

REVISION

MAY 02, 2016

City of Carmel-by-the-Sea
Planning & Building Dept.

Hello Catherine:

Please accept this letter as supporting documentation for our proposal to modify the above-referenced historic residence, and as a response to your 'Completeness Letter' of 4/29.

We have explored the possibility of putting the new proposed bedrooms beneath the non-historic deck and proposed family room addition along the north property line. There are two reasons why this is undesirable.

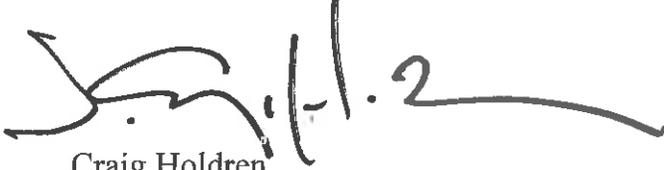
- 1) In the existing house, access to all three bedrooms is located within a vestibule off the SE corner of the living room. This single point of access creates a bedroom wing that cleanly separates the private from the public living areas of the house. Our proposal uses that same vestibule to provide access to the new lower bedrooms thereby maintaining the privacy of the bedroom wing, consolidating vertical circulation, and reducing potential noise issues that may emanate from the more public areas of the house.
- 2) The natural grade moves generally from a high point in the NE corner to a low point in the SW corner. Putting the new bedrooms in the location at the SW corner of the house means we are excavating less soil and providing better daylight and walk-out opportunities for the proposed addition. There is approximately a 3' differential in natural grade heights between our current proposed location and the northern portion of the lot.

Another observation is that the proposed addition in this location occurs beneath both floor levels of the existing house and, being primarily below grade, has little impact on the existing facade and is, in fact almost completely invisible from the public right-of-

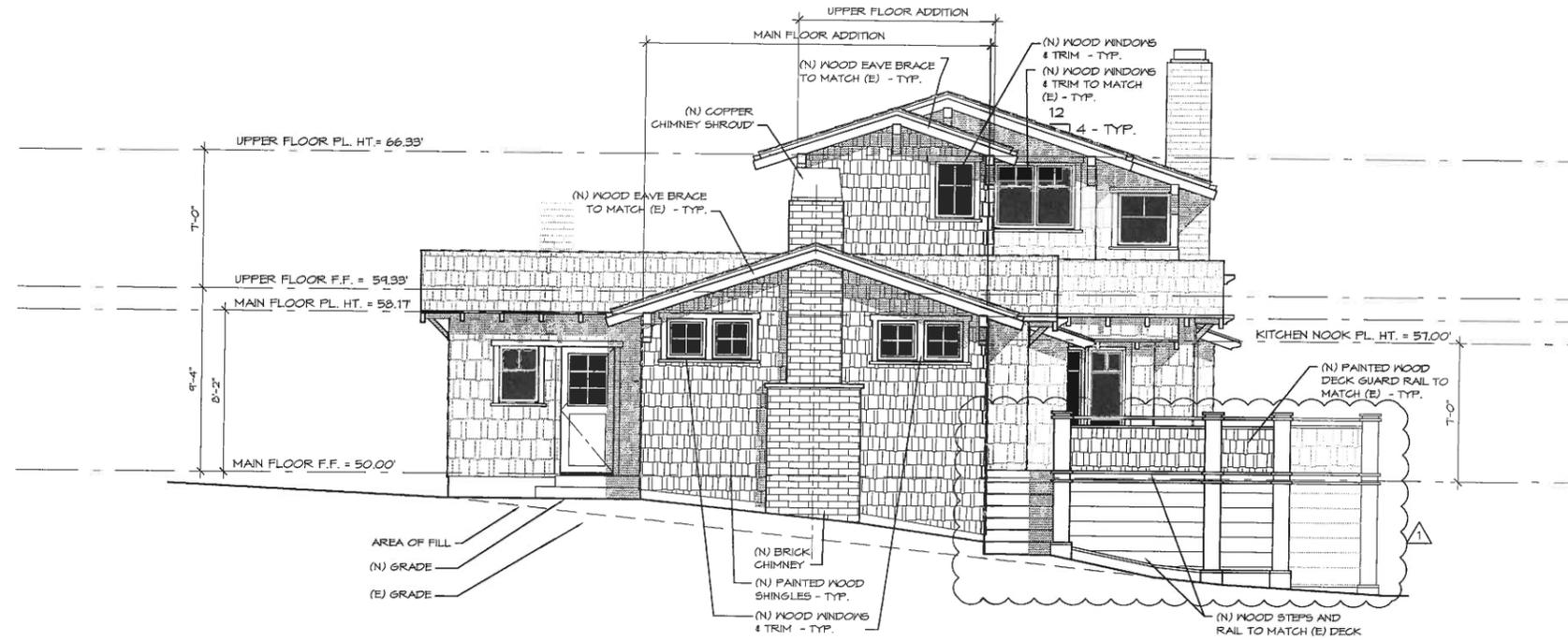
way along Ocean Ave. This addition to a *secondary* elevation (as defined by historic standards as opposed to City of Carmel setback definitions), by not having an integral roof form, articulation of the massing, and changing the siding to horizontal wood siding, manages to be both subordinate and differentiated from the original house.

In regards to the design of the posts at the 2008 non-historic deck (and continuing to the proposed modification to that deck), the substantial posts were created to substantially differentiate the new deck from the more gracile vocabulary of the original house. The new deck grows out of the ground plane, as opposed to floating above it as do the upper two levels of the house, and articulating this relationship would seem appropriate. Moreover, we believe this to conform with the intention of the Secretary's Standards.

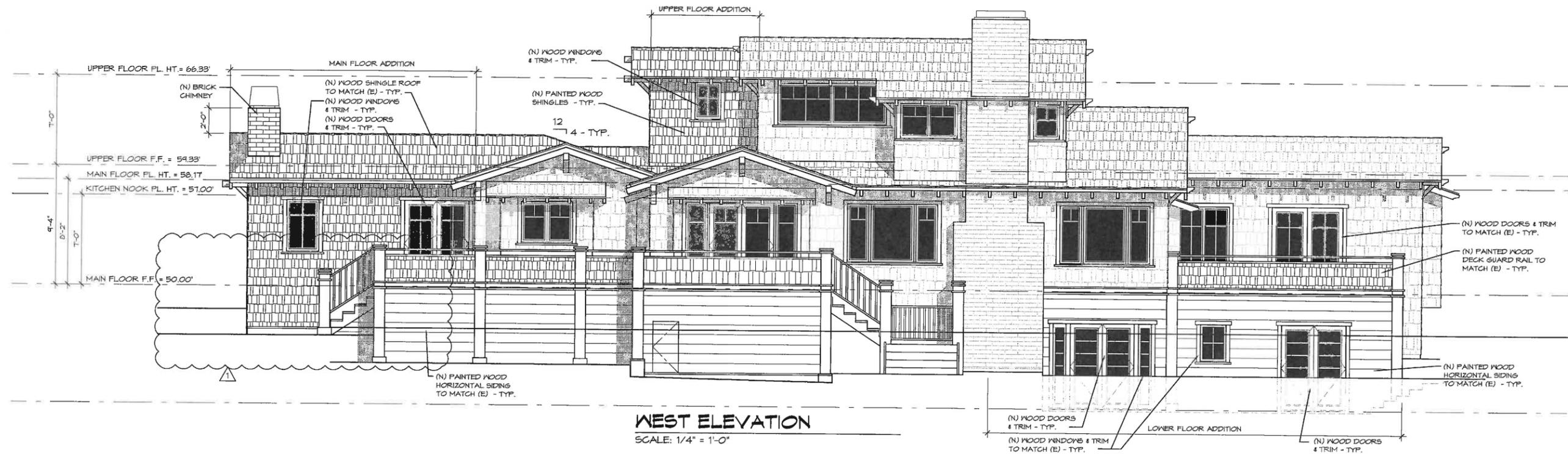
Thank you for help.

A handwritten signature in black ink, appearing to read 'Craig Holdren', with a long horizontal flourish extending to the right.

Craig Holdren
Holdren-Lietzke Architecture



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



**HOLDREN+LIETZKE
ARCHITECTURE**

225 CANNERY ROW - SUITE A
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Fax: 831.649.6003
www.hl-arc.com

DATE: 02/05/16

SCALE: 1/4"=1'-0"

DRAWN: SGC

JOB NUMBER: 14.04

REVISION

1	PLANNING COMMENTS 03/14/16
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PROPOSED ELEVATIONS

TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921
A.P.N. 010-252-011



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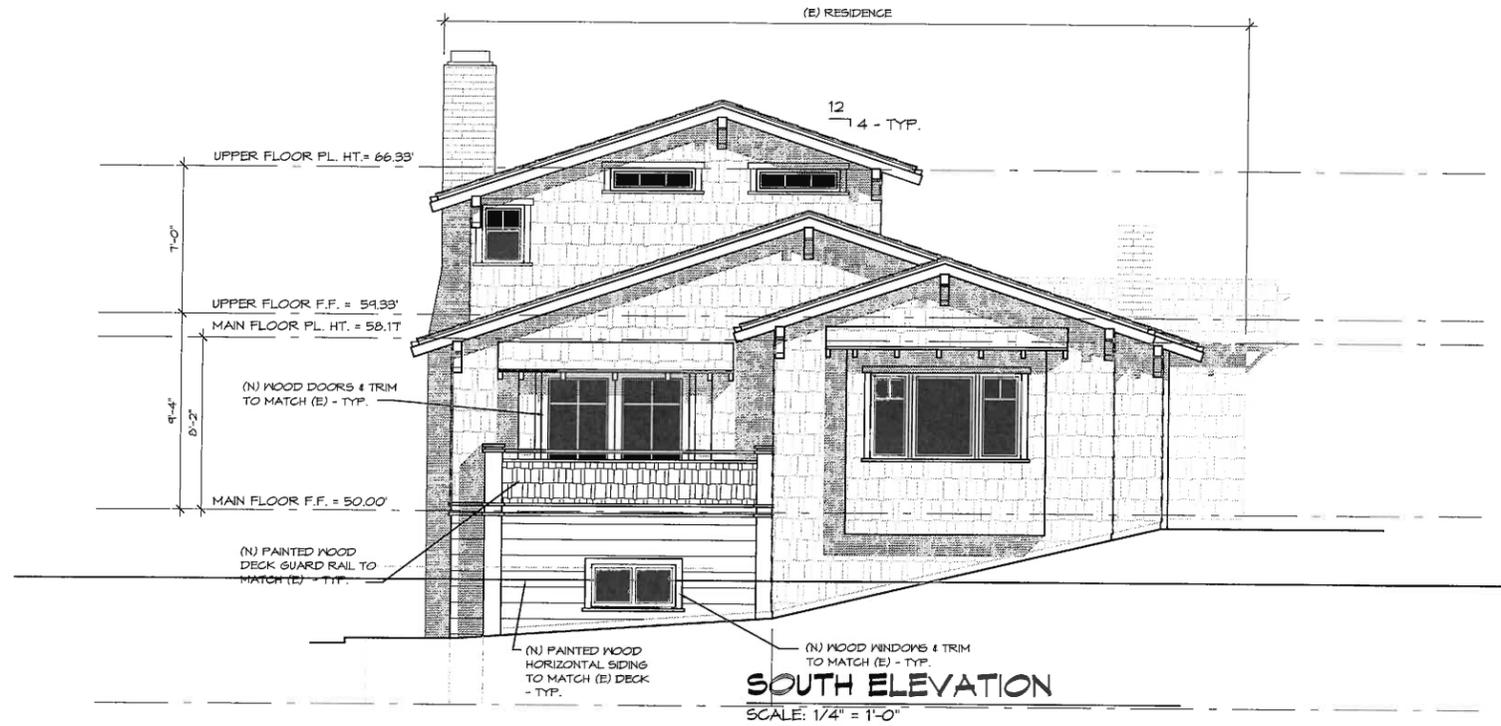
DATE: 02/05/16

SCALE: 1/4"=1'-0"

DRAWN: SGC

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REVISION



PROPOSED ELEVATIONS

TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921
A.P.N. 010-252-011

TAYLOR RESIDENCE

ABBREVIATIONS

AB. ANCHOR BOLT	HDR. HEADER
ALT. ALTERNATE	HGR. HANGER
APPROX. APPROXIMATE	HORZ. HORIZONTAL
ARCH. ARCHITECT	INT. INTERIOR
BD. BOARD	JST. JOIST
BLDG. BUILDING	MAX. MAXIMUM
BH. BEAM	M.B. MACHINE BOLT
BTM. BOTTOM	H.I.F. HALLWAY FROM WASH
BTWN. BETWEEN	MIN. MINIMUM
CL. CLEAR	N.I.C. NOT IN CONTRACT
COL. COLUMN	N.T.S. NOT TO SCALE
CONC. CONCRETE	O. OVER
CONG. BLK. CONCRETE BLOCK	O.C. ON CENTER
CONN. CONNECTION	O.H. OVER HANG/OVER HEAD
CONST. CONSTRUCTION	FL. FLATE
CONT. CONTINUOUS	P.I. PANEL INDEX
CTR. CENTER	P.T.D.P. PRESSURE TREATED D.F.
CTSK. COUNTERSINK	PLYD. PLYWOOD
DBL. DOUBLE	REIN. REINFORCING
D.F. DOUGLASS FIR	REQD. REQUIRED
DA. DIAMETER	REDWD. REDWOOD
DRWG. DRAWING	S.B. SOLID BLOCKING
(E) EXISTING	S.O.G. SLABS ON GRADE
E.N. EDGE NAILING	SCHED. SCHEDULE
EA. EACH	SHT. SHEET
EQ. EQUAL	SH. SHEATHING
EXP. EXPANSION	SM. SIMILAR
EXT. EXTERIOR	SPCS. SPECIFICATIONS
F. FINISH FLOOR	SQ. SQUARE
F.O. FINISH GRADE	STD. STANDARD
F.N. FIELD NAILING	SYM. SYMMETRICAL
FL. FLOOR	T. & G. TONGUE & GROOVE
F.O.C. FACE OF CONCRETE	T.N. TOE NAIL
F.O.H. FACE OF HASKONYT	T.O.C. TOP OF CONCRETE
F.O.S. FACE OF STUD	T.O.H. TOP OF HALL
FG. FOOTING	T.S. TOP OF STEEL
GALV. GALVANIZED	TYP. TYPICAL
G. GAUGE	U.O.N. UNLESS OTHERWISE NOTED
G.L. GALVANIZED RICH	VERT. VERTICAL
GULCH. GULCH	W. W/IN
GYPBD. GYPSUM BOARD	W. W/IN
	WELDED WIRE MESH

OWNERSHIP NOTES

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

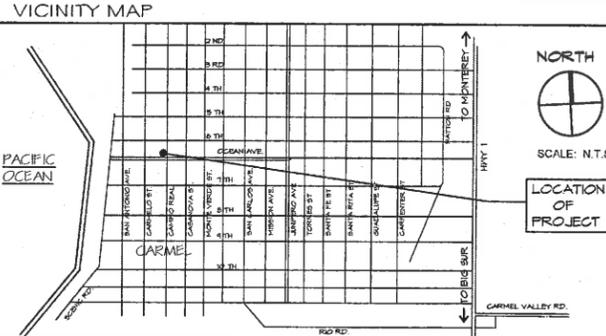
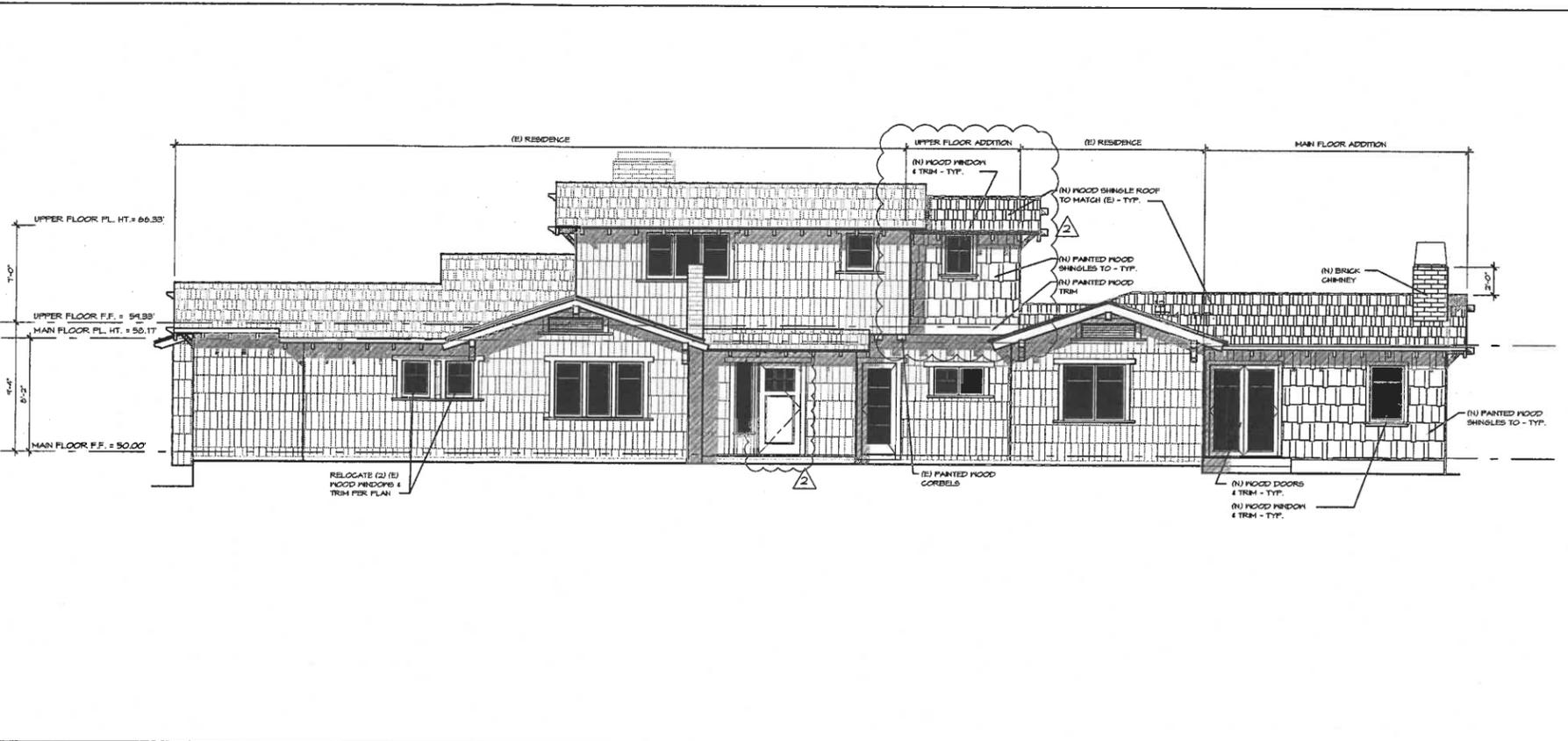
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- THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR, NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IS THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
- THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PROPER WRITTEN PERMISSION, EITHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.
- IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

GENERAL NOTES

- CONTRACTOR LICENSE:** THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE:** THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL:** IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE A HIGH STANDARD OF WORK. IF IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE ARCHITECT SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.
- PERMITS:** THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEARLY NEW UNLESS OTHERWISE SPECIFIED AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS:** UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL NOTICES/CODE COMPLIANCE:** THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE DESIGNER IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (CDDI U.B.C.)
- RESPONSIBILITY:** THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- SAFETY:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK AND SHALL ADHERE TO ALL FEDERAL, LOCAL, STATE & OSHA SAFETY REGULATIONS.
- INSURANCE:** LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRED CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- INDemnIFICATION:** THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT FROM AND AGAINST ALL CONSEQUENTIAL CLAIMS/DAMAGES/LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANUP:** THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
- ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- NO LAND CLEARING OR GRADING SHALL OCCUR ON THE PROPERTY BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION. ALL CUT AND/OR FILL OF SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEEDED WITH NATIVE GRASSES OR OTHERWISE TREATED TO CONTROL EROSION.
- SHOP DRAWINGS: PRIOR TO FABRICATION, THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT FOR APPROVAL SHOP DRAWINGS FOR ALL BRACING STEEL, REINFORCING STEEL, GLUE LAMINATED BEAMS AND PREFABRICATED TRUSSES. SHOP DRAWINGS ARE NOT CHANGE ORDERS, BUT RATHER SERVE TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE REQUIREMENTS & DESIGN CONCEPTS OF THE PLAN, DETAILS & SPECIFICATIONS.
- CHANGE ORDERS: NO VERBAL CHANGE ORDERS SHALL BECOME LEGAL AND BINDING.
- CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- SIMILAR CONDITIONS: CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM WITH SIMILAR CONSTRUCTION.
- DISCREPANCIES: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER PRIOR TO ORDERING MATERIALS AND STARTING CONSTRUCTION.
- TECHNICAL SPECIFICATIONS: ALL TECHNICAL SPECIFICATIONS REFERRED TO IN THESE DRAWINGS ARE BY THIS REFERENCE PART OF THE CONSTRUCTION DOCUMENTS.

SPECIAL INSPECTIONS

SEE STRUCTURAL SHEETS FOR SPECIAL INSPECTIONS REQUIRED FOR THIS PROJECT.
CONTRACTOR SHALL COORDINATE FORMS AND PROCEDURES WITH THE BUILDING DEPARTMENT



NOTES

- BUILDING CODES: ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2015 EDITION OF THE CALIFORNIA BUILDING, CALGREEN, ENERGY, PLUMBING & MECHANICAL CODES, 2014 NEC, NFPA FIRE CODE AND ANY AMENDMENTS OF PRESIDING CITY OR COUNTY.
- PROTECT ALL TREES DURING CONSTRUCTION.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3,500 PSI.
- ALL REINFORCING STEEL SHALL CONFORM TO THE A.S.T.M. A615 GRADE 60 UNLESS OTHERWISE NOTED ON PLANS. WELDED WIRE FABRIC: WELDED WIRE FABRIC SHALL CONFORM TO A.S.T.M. A185-74.
- LUMBER SPECIES AND GRADES SHALL CONFORM TO THE FOLLOWING U.O.N.: MAXIMUM MOISTURE CONTENT OF LUMBER SHALL BE 19%. ALL DOUGLAS FIR LUMBER WHICH IS EXPOSED TO WEATHER SHALL BE PRESSURE TREATED. ALL GRADING SHALL CONFORM TO THE RULES AND REGULATIONS OF THE P.U.M.P., R.A. & P.A. PLYWOOD SHALL BE D.F. CONFORMING TO U.S. PRODUCT STANDARDS PS 1-74 WITH EXTERIOR GLUE, GRADE STAMPED A.P.A. SEE FRAMING PLANS FOR ADDITIONAL REQUIREMENTS.
- WALL CONSTRUCTION SHALL COMPLY WITH CBC SECTION R602 (FOR CONVENTIONAL CONSTRUCTION).
- NAILING TO BE IN COMPLIANCE WITH CBC TABLE R602.3.1
- ALL MANUFACTURER'S INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.
- THE BUILDER/CONTRACTOR TO PROVIDE THE OWNER AND THE CITY OF CARMEL WITH A COPY OF THE CP-66 INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.

FIRE SAFETY REQUIREMENTS

- DEFENSIBLE SPACE REQUIREMENTS - MANAGE COMBUSTIBLE VEGETATION WITHIN A MIN. OF 100 FEET OF STRUCTURES (OR THE PROPERTY LINE). LIMB TREES & FEET UP FROM GROUND. REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS.
- FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM - THE BUILDINGS AND ATTACHED GARAGE SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEMS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD.
- SMOKE ALARMS - (SINGLE FAMILY DWELLINGS) - PROVIDE A HOUSEHOLD FIRE WARNING SYSTEM OR COMBINATION FIRE/BURGALAR ALARM SYSTEM IS INSTALLED IN LIEU OF SINGLE-STATION SMOKE ALARMS REQUIRED BY THE UBC THE ALARM PANEL SHALL BE REQUIRED TO BE PLACARDED AS PERMANENT BUILDING EQUIPMENT.
- ROOF CONSTRUCTION - ICBO CLASS 'A' ROOF ASSEMBLY CONSTRUCTION.

SURVEY NOTE

A LETTER FROM THE SURVEYOR THAT THE ROOF HEIGHT IS IN COMPLIANCE WITH THE APPROVED PLAN SHALL BE PROVIDED TO THE CITY OF CARMEL-BY-SEA BUILDING SAFETY DIVISION PRIOR TO ROOF SHEATHING INSPECTION.

PROJECT DATA

SCOPE OF WORK: 929 SQ. FT. ADDITION TO AN (E) TWO STORY SINGLE FAMILY RESIDENCE. 4 TR SQ. FT. ADDITION TO (E) DECK. GRADING WILL INCLUDE 55 C.Y. OF CUT AND 7 C.Y. OF FILL. SITE DESCRIPTION: LOTS 13 & 15 IN BLOCK 26, ADDITION NO. 5, CARMEL BY THE SEA VOLUME 2 'CITIES AND TOWNS', PAGE 5 RECORDS OF MONTEREY COUNTY.

LOT SIZE: 12,000 S.F.

TREE INFORMATION: NO EXISTING TREES TO BE REMOVED

OCCUPANCY GROUP: RESIDENCE: R-3 GARAGE: U

TYPE OF CONSTRUCTION: V-B

HOUSE SETBACKS
 REQUIRED FRONT SETBACK = 15'-0"
 PROPOSED FRONT SETBACK = 20'-2" (NO CHANGE)
 REQUIRED SIDE SETBACKS = TOTAL OF 25% OF SITE WIDTH = 25'-0"
 PROPOSED SIDE SETBACKS = 30'-10" + 24'-11.5" = 60'-4.5" (EXISTING - NO CHANGE)
 REQUIRED REAR SETBACK = 15'-0"
 PROPOSED REAR SETBACK = 15'-0"
GARAGE SETBACKS
 NO CHANGE

	EXISTING	PROPOSED
FLOOR AREA		
BUILDINGS		
MAIN FLOOR	EXISTING: 1,769 SQ. FT.	1,769 SQ. FT.
	ADDITION: -	310 SQ. FT.
UPPER FLOOR	EXISTING: 392 SQ. FT.	392 SQ. FT.
	ADDITION: -	84 SQ. FT.
LOWER FLOOR	EXISTING: -	571 SQ. FT.
GARAGE	EXISTING: 360 SQ. FT.	360 SQ. FT. (NO WORK)
TOTAL FLOOR AREA	2,521 SQ. FT.	3,486 SQ. FT.
TOTAL ALLOWABLE FLOOR AREA = 3,600 SQ. FT.		
SITE COVERAGE		
ENTRY PORCH, STEPS & WALK	432 SQ. FT.	400 SQ. FT.
BRICK PATIO & WALK	399 SQ. FT.	331 SQ. FT.
DECK	557 SQ. FT.	471 SQ. FT.
LOWER FLOOR ENTRY LANDING	-	30 SQ. FT.
EXTERIOR STEPS TO LOWER FLR.	-	25 SQ. FT.
SITE COVERAGE TOTAL	1,380 SQ. FT.	1,212 SQ. FT.
TOTAL ALLOWABLE IMPERMEABLE SITE COVERAGE = 1,212 SQ. FT.		

PROJECT TEAM

OWNER:
BRUCE CHURCH AND LINDA R. TAYLOR
15660 CASTLEROCK ROAD
SALINAS, CA 93900
PH: 831-424-0490

SOILS ENGINEER:
LANDSET ENGINEERS, INC.
520-B CRAZY HORSE CANYON RD.
SALINAS, CA 93901
PH: 832-443-6970

STRUCTURAL ENGINEER:
UYEDA AND ASSOCIATES
2600 GARDEN RD, SUITE 305
MONTEREY, CA 93940
PH: 831-978-9161

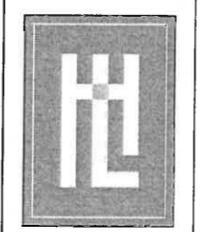
MECHANICAL ENGINEER:
MONTEREY ENERGY GROUP
227 FOREST AVE, SUITE 5
PACIFIC GROVE, CA 93950
PH: 831-572-8328

ARCHITECT:
HOLDREN LIETZKE ARCHITECTURE
225 CANNERY ROW, SUITE A
MONTEREY, CA 93940
PH: 831-649-6001

SURVEYOR:
CENTRAL COAST SURVEYORS
5 HARRIS CT, SUITE N-11
MONTEREY, CA 93940
PH: 831-944-4830

SHEET INDEX

- ARCHITECTURAL**
- A1.0 COVER SHEET, PROJECT DATA
 - 1 OF 1 TOPOGRAPHIC MAP
 - A1.1 EXISTING/DEMO SITE PLAN
 - A1.2 SITE / DRAINAGE PLAN
 - A2.0 EXISTING FLOOR PLANS
 - A2.1 PROPOSED MAIN FLOOR PLAN
 - A2.2 PROPOSED UPPER FLOOR/MAIN ROOF PLAN
 - A2.3 PROPOSED LOWER FLOOR PLAN
 - A3.0 EXISTING EXTERIOR ELEVATIONS
 - A3.1 EXISTING EXTERIOR ELEVATIONS
 - A3.0 PROPOSED EXTERIOR ELEVATIONS
 - A3.1 PROPOSED EXTERIOR ELEVATIONS
 - A4.1 WINDOW AND DOOR SCHEDULES
- LANDSCAPE**
- L-1 HARDSCAPE/LIGHTING/DRAINAGE PLAN/DETAILS & STREET SCAPE



HOLDREN+LIETZKE ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940

PH: 831.649.6001
FAX: 831.649.6003
WWW.HL-ARC.COM

DATE: 02/05/16

SCALE:

DRAWN: EGC

JOB NUMBER: 14.04

REVISION

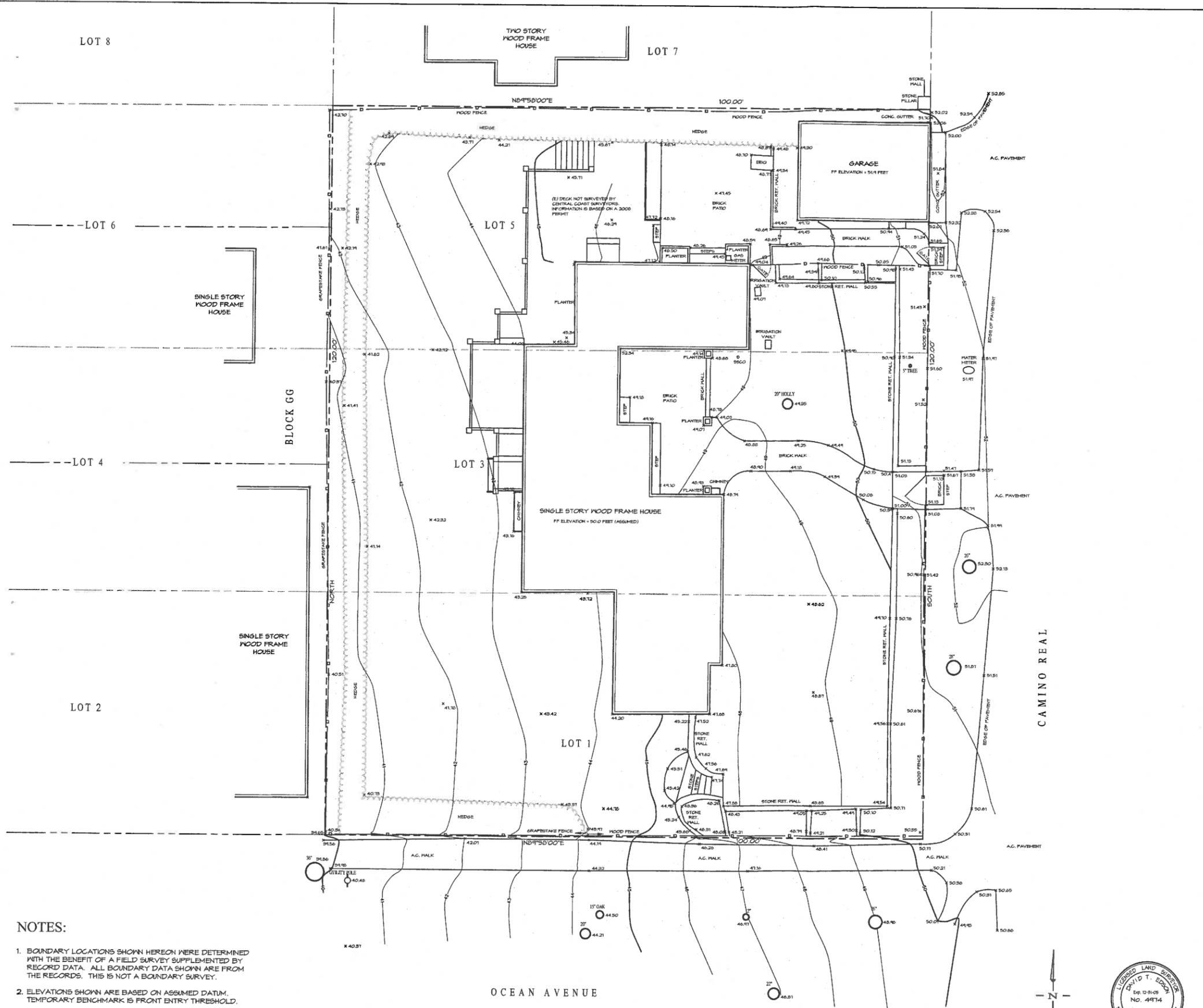
1	PLANNING COMMENTS	03/14/16
2	HISTORICAL COMMENTS	04/28/16

COVER SHEET, PROJECT DATA

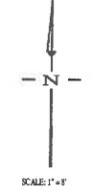
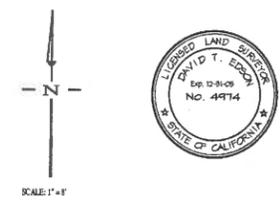
TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921
A.P.N. 010-252-011

A1.0



- NOTES:**
- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
 - ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM. TEMPORARY BENCHMARK IS FRONT ENTRY THRESHOLD.
ELEVATION = 50.0 FEET (ASSUMED)
 - CONTOUR INTERVAL = ONE FOOT.
 - TREE TYPES ARE PINE UNLESS OTHERWISE INDICATED. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. MULTI-PRONGED TREES LABELED "X-P".



TOPOGRAPHIC MAP
OF
LOTS 1, 3 & 5 IN BLOCK GG
ADDITION NO. 3, CARMEL-BY-THE-SEA
VOLUME 2, "CITIES AND TOWNS", PAGE 5
RECORDS OF MONTEREY COUNTY

CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR
Holdren Lietzke Design

BY
CENTRAL COAST SURVEYORS
5 HARRIS COURT, SUITE N-11 MONTEREY, CALIFORNIA 93940
Phone: (831) 394-4930
Fax: (831) 394-4931

SCALE: 1" = 8" JOB No. 04-119 AUGUST 2004
PREPARED: WNM

APN 010-252-011



HOLDREN+LIETZKE
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DATE: 03/11/16

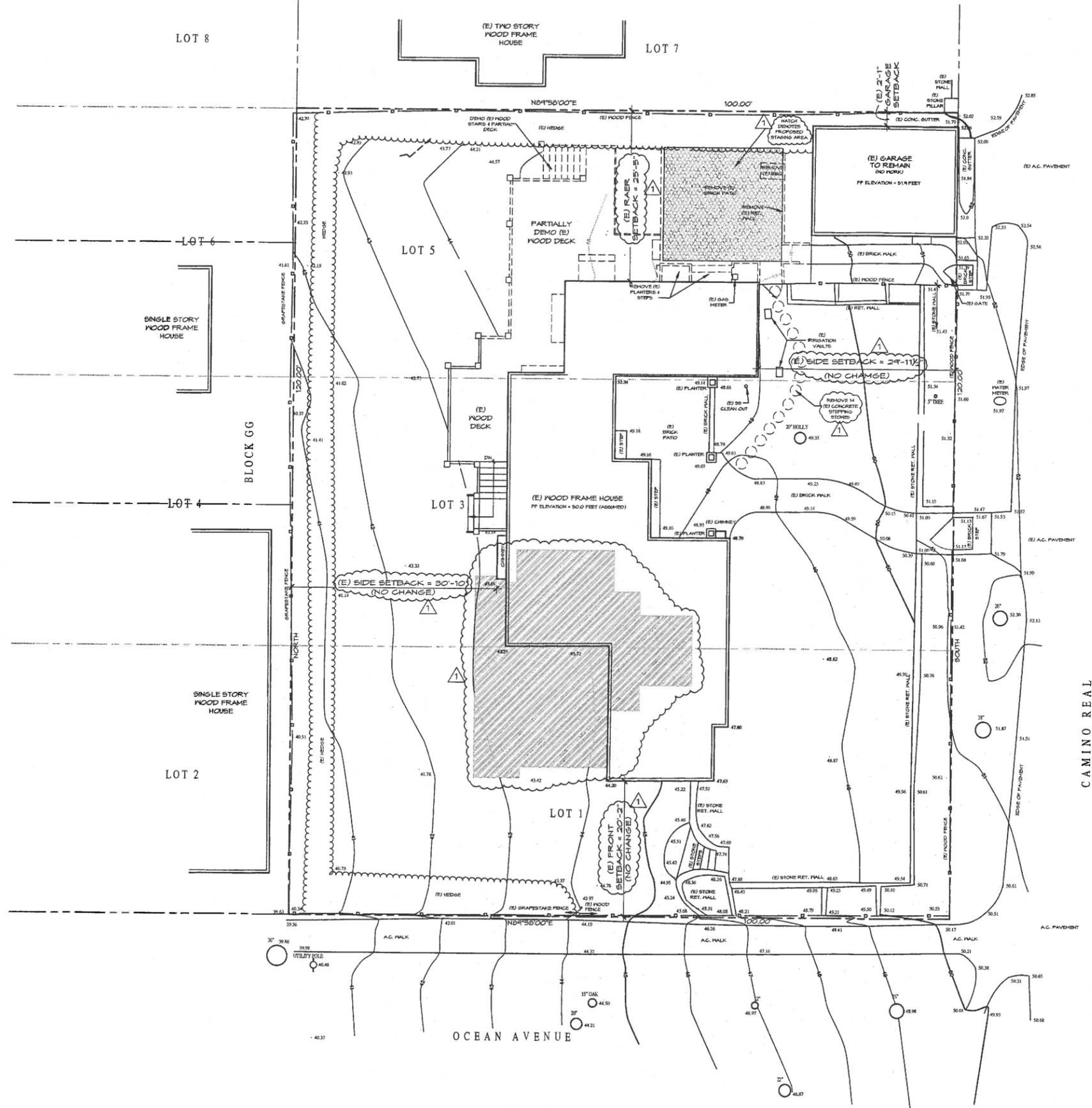
SCALE: 1/8" = 1'-0"

DRAWN: SGC

JOB NUMBER: 14.04

REVISION

PLANNING COMMENTS
03/14/16



EXISTING/DEMO SITE PLAN
SCALE: 1/8" = 1'-0"

LEGEND

- (E) BUILDING TO REMAIN
- AREA OF CUT
- (E) CONSTRUCTION TO BE REMOVED

NOTES

- PERCENTAGE OF EXTERIOR WALL TO BE TAKEN DOWN OR COVERED = 7.4%
- NO GRADING IS PROPOSED OFF SITE IN THE PUBLIC RIGHT OF WAY.
- NO CUT/FILL AREAS AROUND THE PROPERTY'S EXISTING TREES

EXISTING/DEMO SITE PLAN

TAYLOR RESIDENCE REMODEL
NW CORNER OF CAMINO REAL AND OCEAN
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A1₃₂₁



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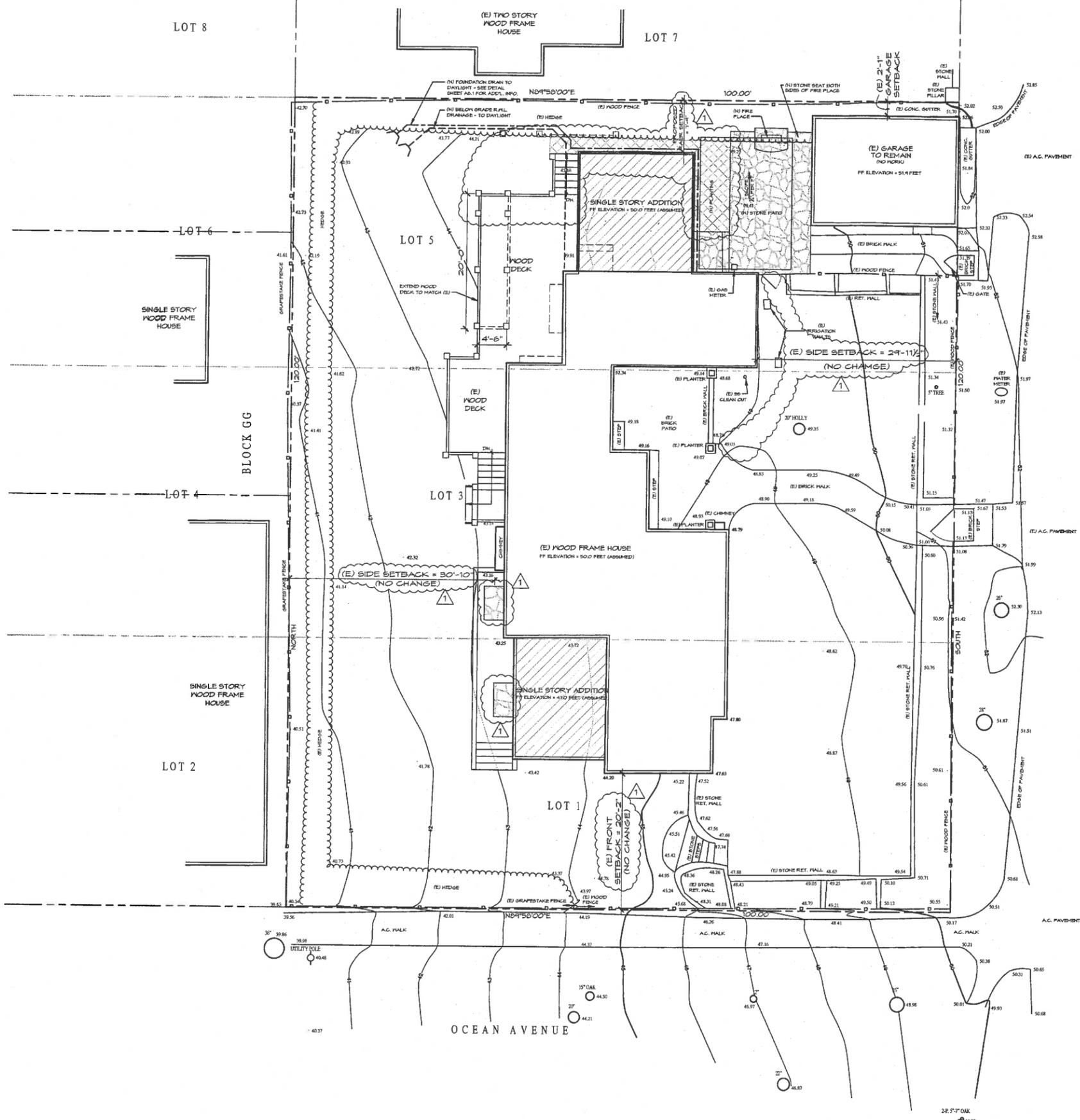
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DRAWN: SGC

JOB NUMBER: 14-04

REVISION

PLANNING COMMENTS
03/14/16



SURVEY NOTES:

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PROPOSED SITE/DRAINAGE PLAN
SCALE: 1/8" = 1'-0"

LEGEND

- (E) BUILDING TO REMAIN
- AREA OF (N) ADDITION
- AREA OF FILL
- (E) CONSTRUCTION TO BE REMOVED

NOTES

- PERCENTAGE OF EXTERIOR WALL TO BE TAKEN DOWN OR COVERED = 7.4%
- NO GRADING IS PROPOSED OFF SITE IN THE PUBLIC RIGHT OF WAY.
- NO CUT/FILL AREAS AROUND THE PROPERTY'S EXISTING TREES

SITE / DRAINAGE PLAN

TAYLOR RESIDENCE REMODEL
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KEY NOTES

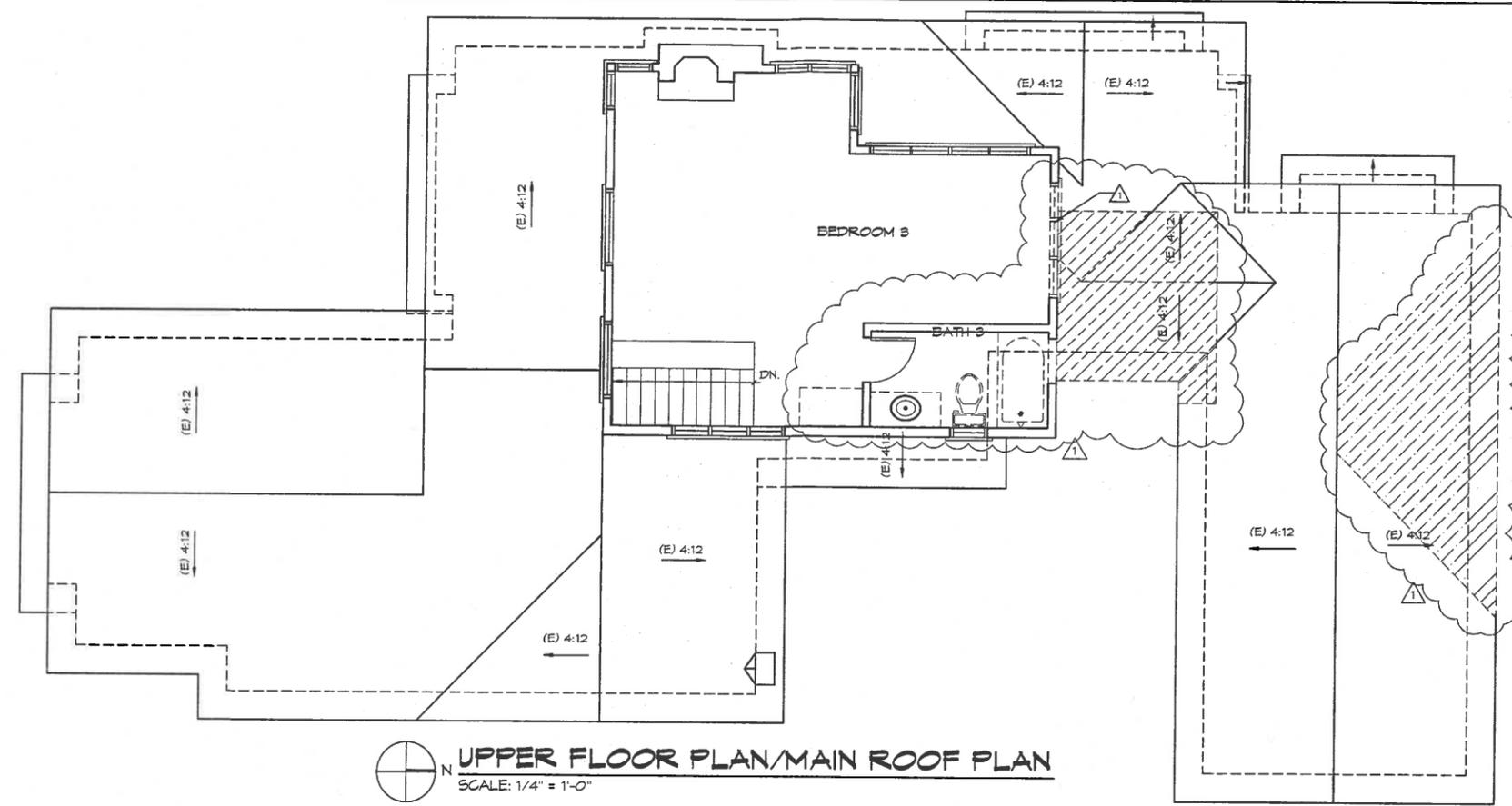
NOTE: NO EXISTING HISTORICAL WINDOWS WILL BE USED IN THE PROPOSED NEW ADDITIONS.

- ▲ REMOVE EXISTING WINDOW WITH CARE AND PERMANENTLY STORE ON SITE PROTECTED FROM THE ELEMENTS.
- ▲ REMOVE EXISTING WINDOW WITH CARE AND TEMPORARILY STORE ON SITE PROTECTED FROM THE ELEMENTS FOR RE-INSTALLATION PER NEW PLAN
- ▲ REMOVE LAY WITH CARE AND TEMPORARILY STORE ON SITE PROTECTED FROM THE ELEMENTS FOR RE-INSTALLATION PER NEW PLAN

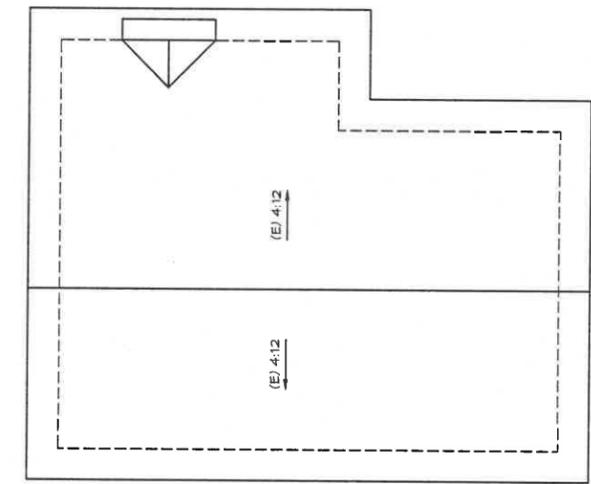
LEGEND

- (E) WALL TO REMAIN
- (E) CONSTRUCTION TO BE REMOVED
- (E) ROOF TO MATERIAL TO BE REMOVED TO PLYWOOD TO ALLOW FOR NEW ROOF
- (E) ROOF TO BE REMOVED TO ALLOW FOR NEW UPPER FLOOR ADDITION
- (E) ROOF RAFTER TAILS TO BE REMOVED TO ALLOW FOR NEW MAIN FLOOR ADDITION

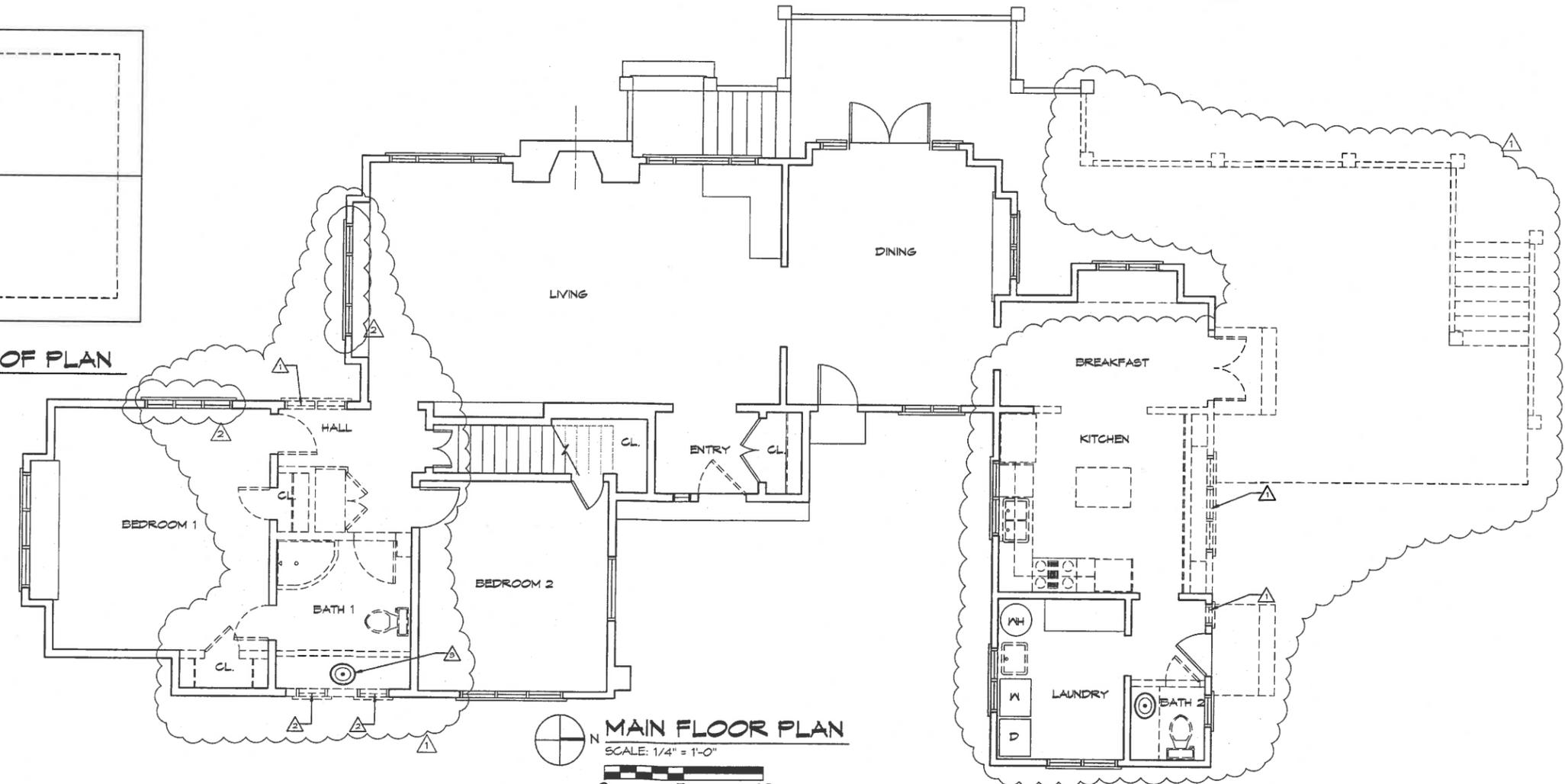
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SCALE:	1/4"=1'-0"
DRAWN:	SGC
JOB NUMBER:	14.04
REVISION	
1	PLANNING COMMENTS 03/14/16
2	HISTORICAL COMMENTS 04/26/16



UPPER FLOOR PLAN/MAIN ROOF PLAN
SCALE: 1/4" = 1'-0"



UPPER FLOOR ROOF PLAN
SCALE: 1/4" = 1'-0"



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

0 5 10

EXISTING FLOOR & ROOF PLANS

TAYLOR RESIDENCE REMODEL

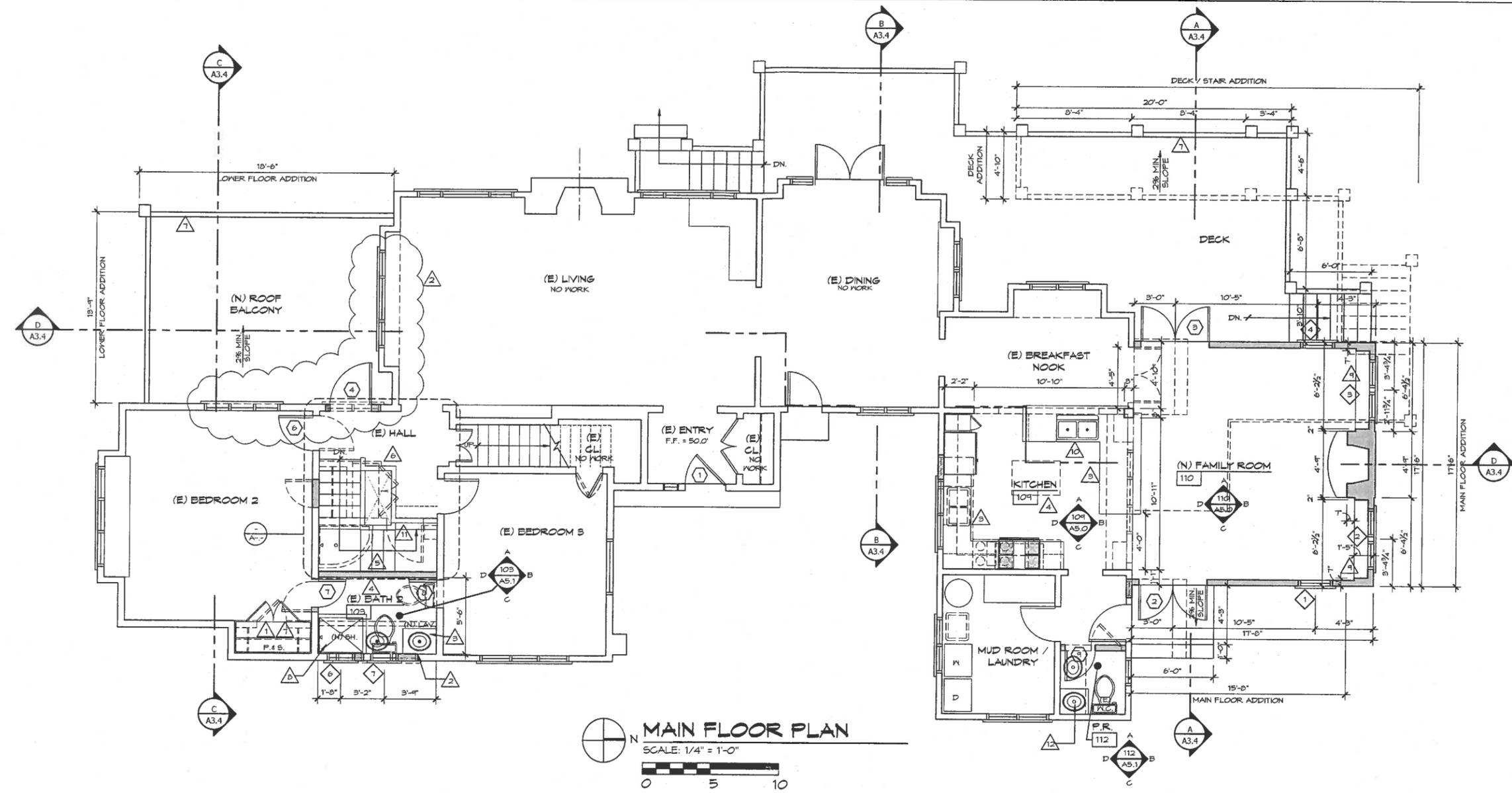
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SCALE:	1/4" = 1'-0"
DRAWN:	SGC
JOB NUMBER:	14.04
REVISION:	
	HISTORICAL COMMENTS 04/26/16



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
0 5 10

- NOTES:**
- SEE CIVIL & LANDSCAPE PLANS FOR ADDITIONAL INFORMATION
 - SLOPE 2% MIN. AWAY FROM BUILDING @ ALL PAVED AREAS ADJACENT TO FOUNDATION, SLOPE 5% MIN. AWAY FROM BLDG. @ ALL AREA OF GRADE WITHIN 10'-0" OF FOUNDATION
 - VERIFY DOOR AND WINDOW DIMENSIONS IN FIELD PRIOR TO MANUFACTURE

KEYNOTES

- GLOSET - SYSTEM BY OTHERS
- MEDICINE CHEST IV PAINTED WOOD DOOR OR MIRROR WHERE INDICATED
- 36" HIGH CABINET IV WATERPROOF COUNTERTOP - UPPERS ABOVE WHERE INDICATED. PROVIDE BLACKING AS REQ'D FOR CABINET AND FINISH INSTALLATION - FINAL DESIGN TO BE APPROVED BY OWNER.
- PROVIDE BLK'S FOR WALL MOUNTED ACCESSORIES AS REQ'D.
- 36" H. HANDRAIL AND 42" H. GUARD - SEE STAIR DETAILS FOR ADDITIONAL INFORMATION
- 42" HT. GUARDRAIL - RAIL & RAIL CONNECTION SHALL RESIST 200 LBS. PER LINEAR FOOT LOAD APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL. SEE SHEET A7.1 FOR ADDITIONAL INFORMATION.
- 1/2" Ø POLE MTD. @ 60" A.F.F. IV PAINTED WOOD 1X12 SHELF ABOVE.
- TILE SHOWER/TUB TO 10" ABOVE FLOOR, SLOPE FLOOR TO DRAIN
- WOOD SHELVES - SEE INT. ELEV'S. - FINAL DESIGN SHALL BE APPROVED BY OWNER.
- VENTING FOR ISLAND FIXTURES SHALL COMPLY WITH SECTION 904 OF THE 2013 PLUMBING CODE.
- PROVIDE 3/8" TYPE 'X' 6YF. BD. @ ALL UNDERSTAIR SURFACES.
- RELOCATE (E) LAV
- MECHANICAL - SEE MECH. FOR ADDITIONAL INFORMATION

LEGEND

- (E) WALL TO REMAIN
- (N) 2X 5 STUDS @ 16" O.C. IV 3/8" G.P.L.B. - SEE STRUCT. - TAPE TEXTURE & PAINT TO MATCH (E)
- (E) CONSTRUCTION TO BE REMOVED



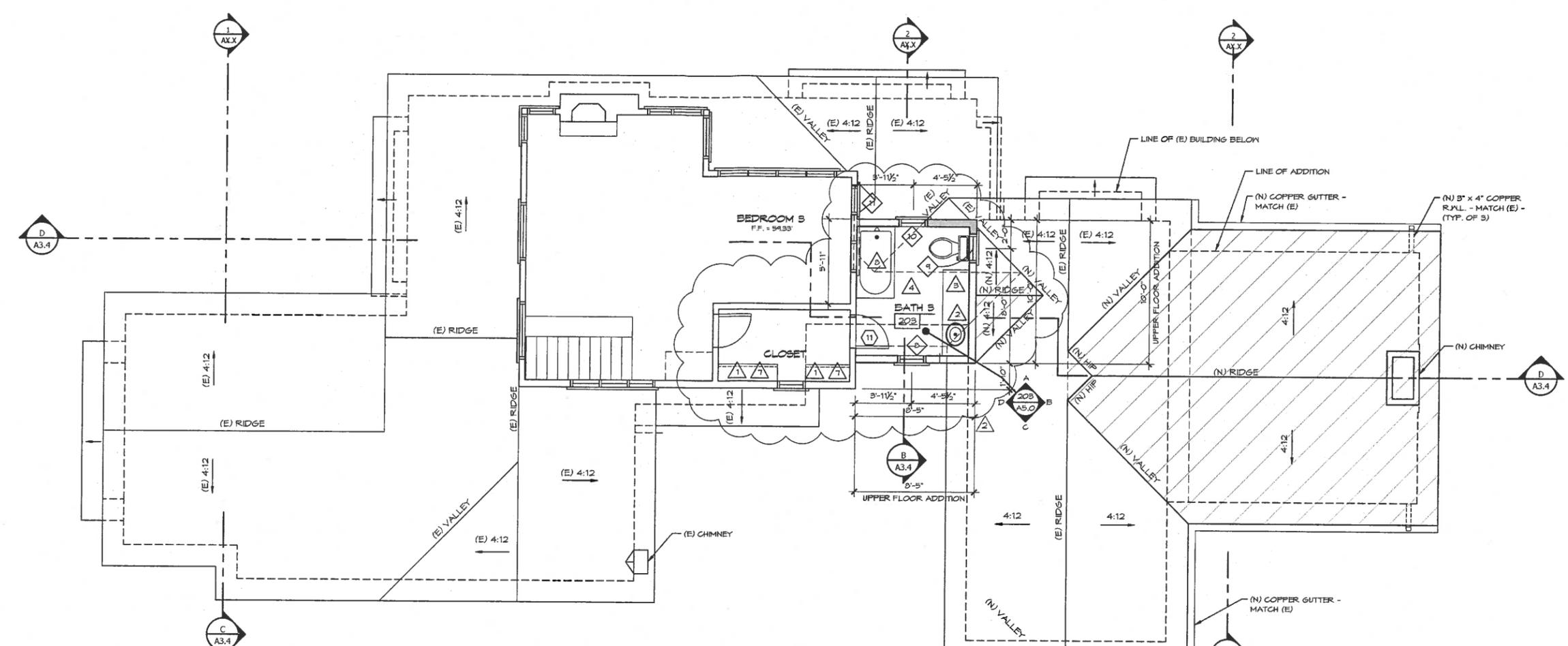
PROPOSED MAIN FLOOR PLAN
TAYLOR RESIDENCE REMODEL
NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921
A.P.N. 010-252-011



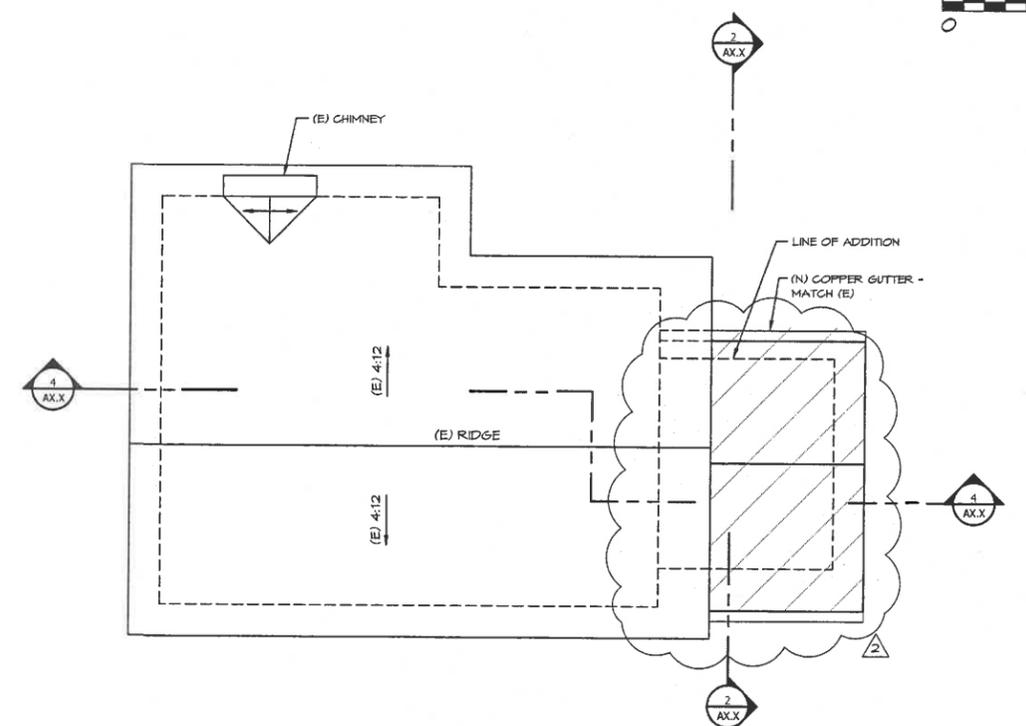
**HOLDREN+LIETZKE
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225 CANNERY ROW - SUITE A
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www.hl-arc.com

DATE: 02/05/16
SCALE: 1/4" = 1'-0"
DRAWN: SGC
JOB NUMBER: 14.04
REVISION
2 HISTORICAL COMMENTS
04/26/16



UPPER FLOOR / MAIN ROOF PLAN
SCALE: 1/4" = 1'-0"

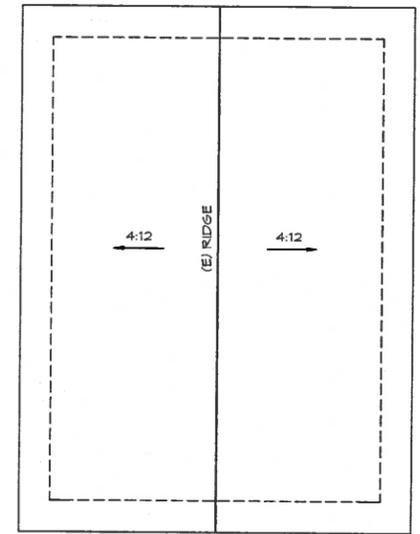


UPPER ROOF PLAN
SCALE: 1/4" = 1'-0"

NOTES:
1. SEE CIVIL & LANDSCAPE PLANS FOR ADDITIONAL INFORMATION
2. SLOPE 2% MIN. AWAY FROM BUILDING @ ALL PAVED AREAS ADJACENT TO FOUNDATION. SLOPE 5% MIN. AWAY FROM BLDG. @ ALL AREA OF GRADE WITHIN 10'-0" OF FOUNDATION
3. VERIFY DOOR AND WINDOW DIMENSIONS IN FIELD PRIOR TO MANUFACTURE

KEYNOTES

- 1 CLOSET - SYSTEM BY OTHERS
- 2 MEDICINE CHEST IV PAINTED WOOD DOOR OR MIRROR WHERE INDICATED
- 3 36" HIGH CABINET IV WATERPROOF COUNTERTOP - UPERS ABOVE WHERE INDICATED. PROVIDE BLACKING AS REQ'D FOR CABINET AND FINISH INSTALLATION - FINAL DESIGN TO BE APPROVED BY OWNER.
- 4 PROVIDE BLK'G FOR WALL MOUNTED ACCESSORIES AS REQ'D.
- 5 36" H. HANDRAIL AND 42" H. GUARD - SEE STAIR DETAILS FOR ADDITIONAL INFORMATION
- 6 42" HT. GUARDRAIL - RAIL & RAIL CONNECTION SHALL RESIST 200 LBS. PER LINEAR FOOT LOAD APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL. SEE SHEET AT.1 FOR ADDITIONAL INFORMATION.
- 7 1/2" Ø POLE MTD. @ 60" A.F.F. IV PAINTED WOOD 1X12 SHELF ABOVE.
- 8 TILE SHOWER/TUB TO 10" ABOVE FLOOR. SLOPE FLOOR TO DRAIN
- 9 WOOD SHELVES - SEE INT. ELEV. - FINAL DESIGN SHALL BE APPROVED BY OWNER.
- 10 VENTING FOR ISLAND FIXTURES SHALL COMPLY WITH SECTION 909 OF THE 2013 PLUMBING CODE.
- 11 PROVIDE 5/8" TYPE 'X' GYP. BD. @ ALL UNDERSTAIR SURFACES.
- 12 RELOCATE (E) LAV
- 13 MECHANICAL - SEE MECH. FOR ADDITIONAL INFORMATION



LEGEND

	(E) WALL TO REMAIN
	(N) 2X6 STUDS @ 16" O.C. U.O.N. 1 1/2" TYPE 'X' GYP. - TAPE TEXTURE & PAINT TO MATCH (E)
	LOCATION OF (N) ROOF - MATERIALS AND SLOPE TO MATCH (E) ROOF

PROPOSED UPPER FLOOR/MAIN ROOF PLAN

TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921
A.P.N. 010-252-011



**HOLDREN+LIETZKE
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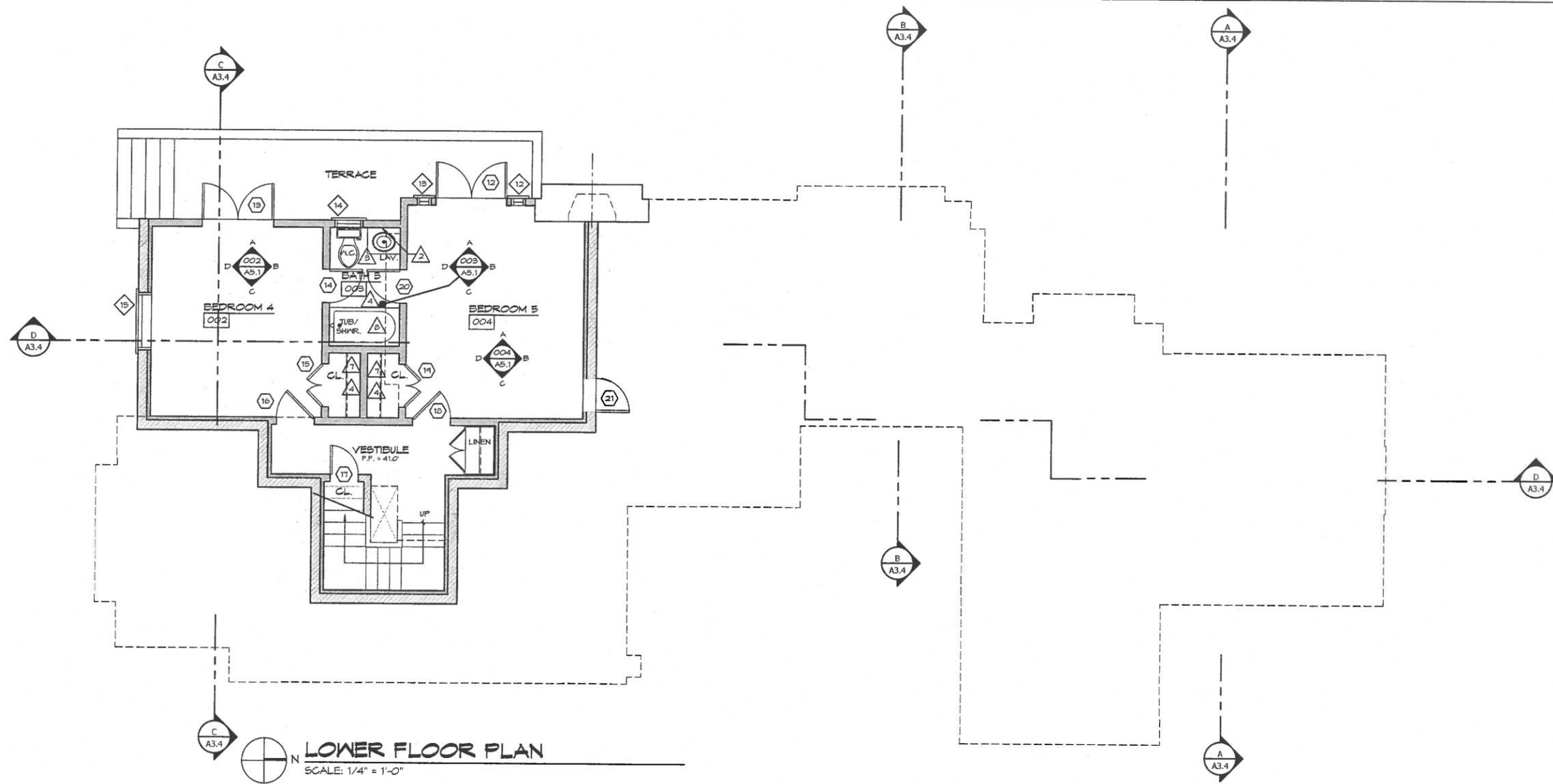
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SCALE: 1/4"=1'-0"

DRAWN: 96C

JOB NUMBER: 14.04

REVISION



LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"



LEGEND

- (N) 2x6 STUDS @ 16" O.C. U.O.N.
- 1/2" TYPE 'X' GYP. BD. - TAPE TEXTURE & PAINT TO MATCH (E)
- (N) CONCRETE OR CMU RETAINING WALL

- NOTES:**
1. SEE CIVIL & LANDSCAPE PLANS FOR ADDITIONAL INFORMATION
 2. SLOPE 2% MIN. AWAY FROM BUILDING @ ALL PAVED AREAS ADJACENT TO FOUNDATION, SLOPE 5% MIN. AWAY FROM BLDG. @ ALL AREA OF GRADE WITHIN 10'-0" OF FOUNDATION
 3. VERIFY DOOR AND WINDOW DIMENSIONS IN FIELD PRIOR TO MANUFACTURE

KEYNOTES

- CLOSET - SYSTEM BY OTHERS
- MEDICINE CHEST w/ PAINTED WOOD DOOR OR MIRROR WHERE INDICATED
- 36" HIGH CABINET w/ WATERPROOF COUNTERTOP - UPFERS ABOVE WHERE INDICATED. PROVIDE BLACKING AS REQ'D FOR CABINET AND FINISH INSTALLATION - FINAL DESIGN TO BE APPROVED BY OWNER.
- PROVIDE BLKG FOR WALL MOUNTED ACCESSORIES AS REQ'D.
- 36" H. HANDRAIL AND 42" H. GUARD - SEE STAIR DETAILS FOR ADDITIONAL INFORMATION
- 42" HT. GUARDRAIL - RAIL & RAIL CONNECTION SHALL RESIST 200 LBS. PER LINEAR FOOT LOAD APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
- 1/2" Ø POLE MTD. @ 60" A.F.F. w/ PAINTED WOOD 1X12 SHELF ABOVE.
- TILE SHOWER/TUB TO 10" ABOVE FLOOR. SLOPE FLOOR TO DRAIN
- WOOD SHELVES - SEE INT. ELEVS. - FINAL DESIGN SHALL BE APPROVED BY OWNER.
- VENTING FOR ISLAND FIXTURES SHALL COMPLY WITH SECTION 909 OF THE 2015 PLUMBING CODE.
- PROVIDE 1/2" TYPE 'X' GYP. BD. @ ALL UNDERSTAIR SURFACES.
- RELOCATE (E) LAV
- MECHANICAL - SEE MECH. FOR ADDITIONAL INFORMATION

PROPOSED LOWER FLOOR PLAN
TAYLOR RESIDENCE REMODEL
 NW CORNER OF CAMINO REAL AND OCEAN
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DATE: 02/05/16

SCALE: 1/4"=1'-0"

DRAWN: SGC

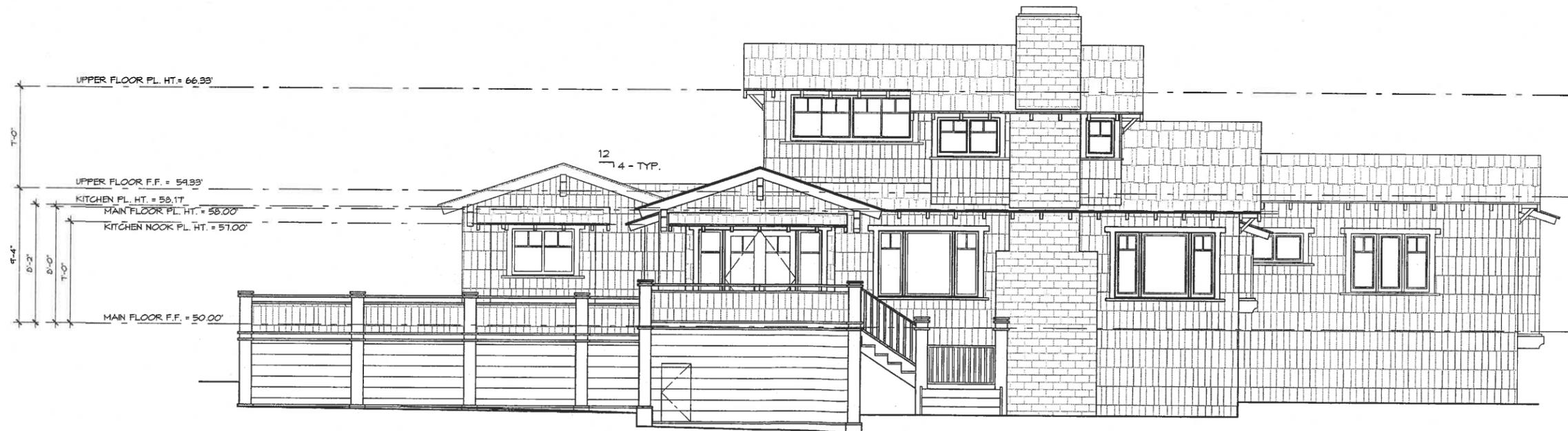
JOB NUMBER: 14.04

REVISION



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

EXISTING ELEVATIONS

TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN
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A3.0



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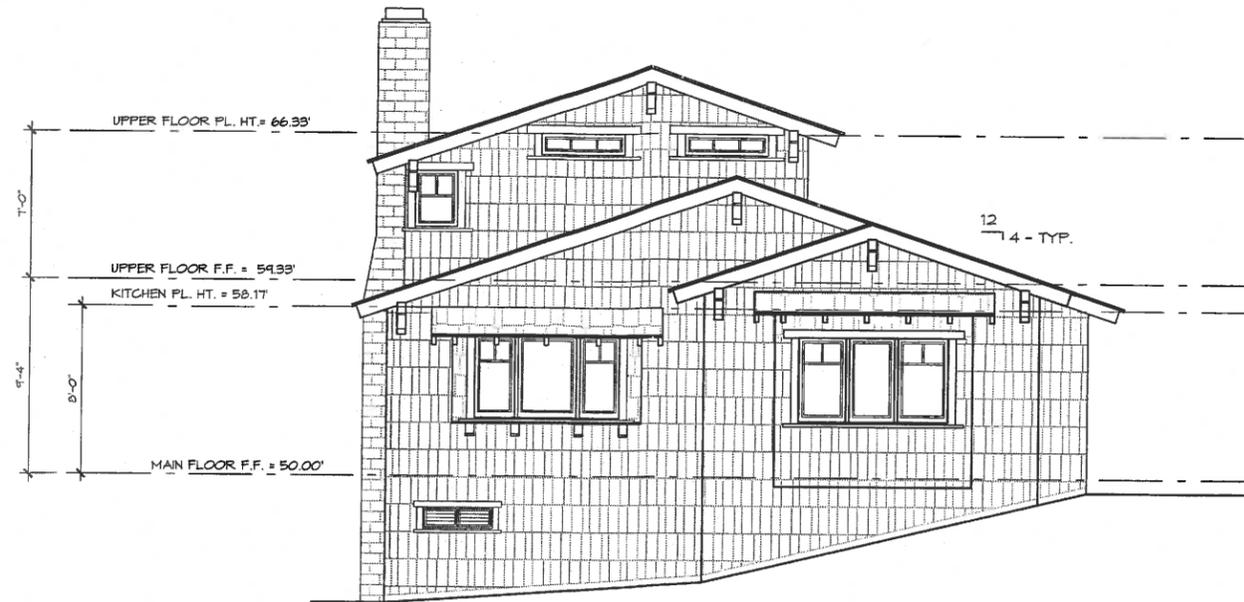
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SCALE: 1/4"=1'-0"

DRAWN: SGC

JOB NUMBER: 14.04

REVISION



EAST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

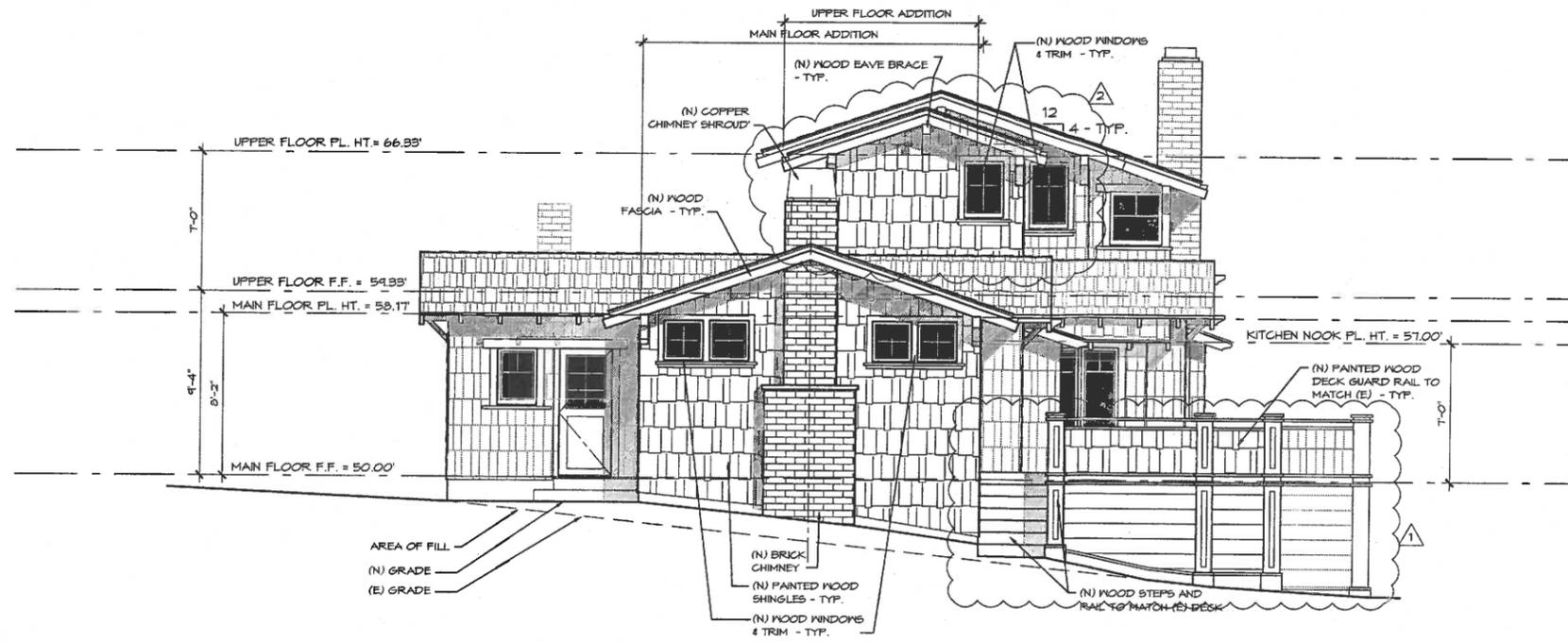
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EXISTING ELEVATIONS

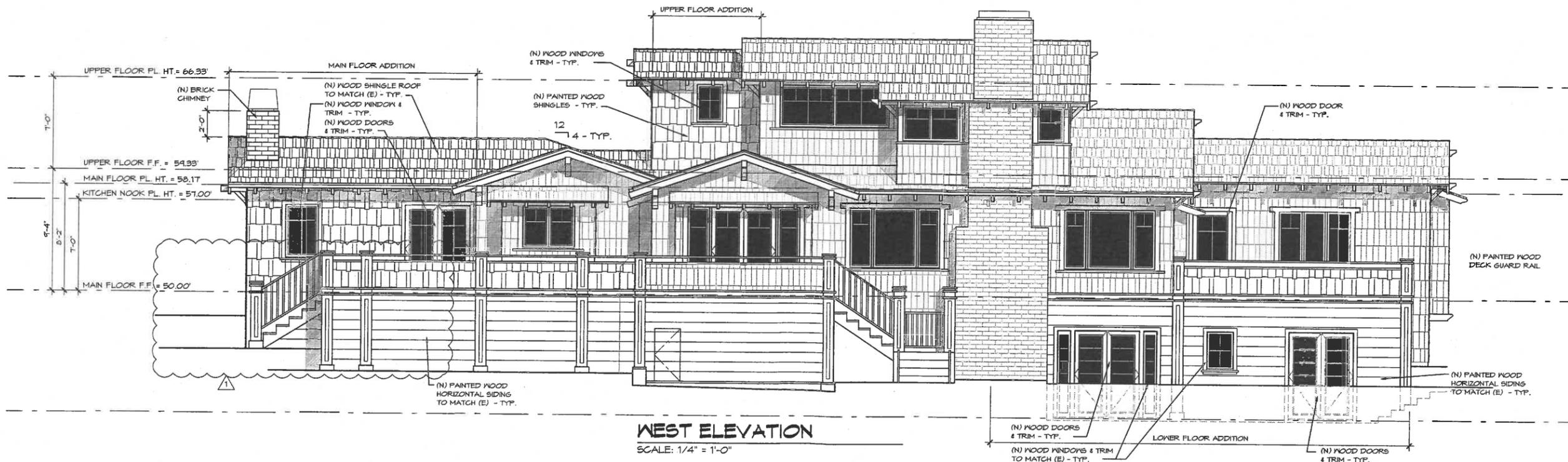
TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921

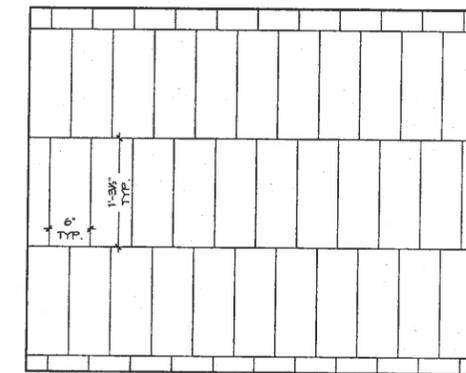
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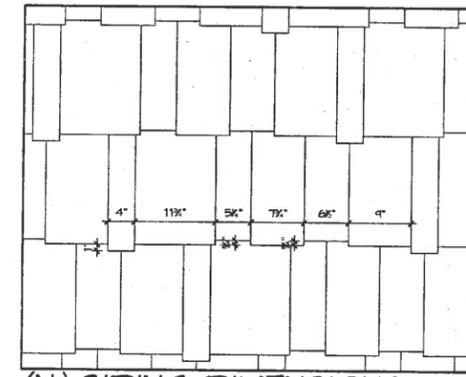
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



(E) SIDING DIMENSIONS
SCALE: 1" = 1'-0"



(N) SIDING DIMENSIONS
SCALE: 1" = 1'-0"



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
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www.hl-arc.com

DATE:	02/05/16
SCALE:	1/4" = 1'-0"
DRAWN:	SGC
JOB NUMBER:	14.04
REVISION	
1	PLANNING COMMENTS 03/14/16
2	HISTORICAL COMMENTS 04/26/16

PROPOSED ELEVATIONS
TAYLOR RESIDENCE REMODEL
NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921
A.P.N. 010-252-011



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
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DATE: 02/05/16

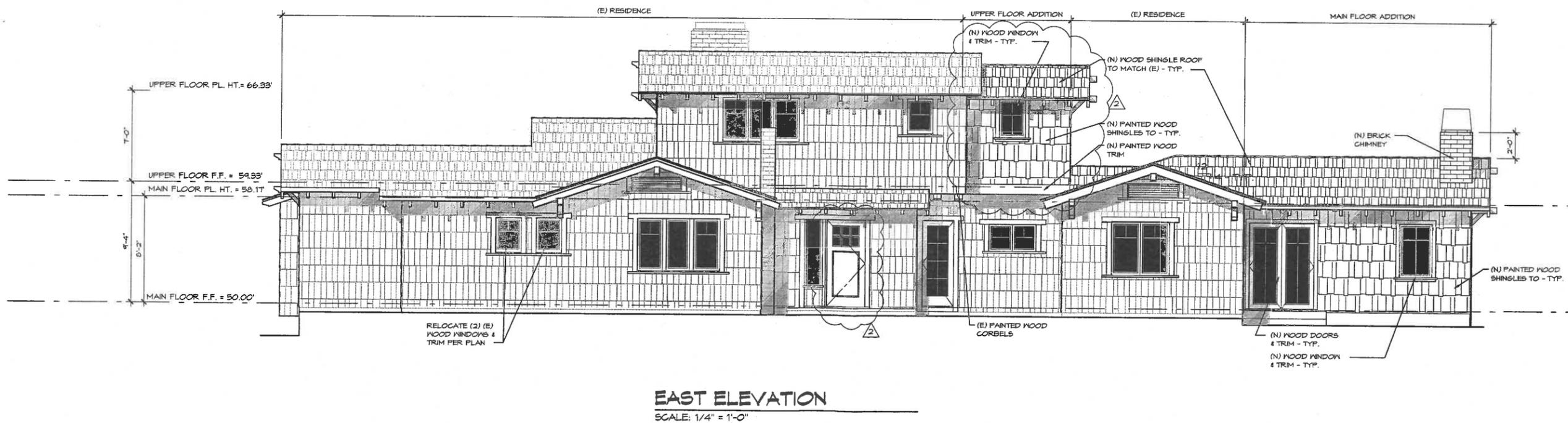
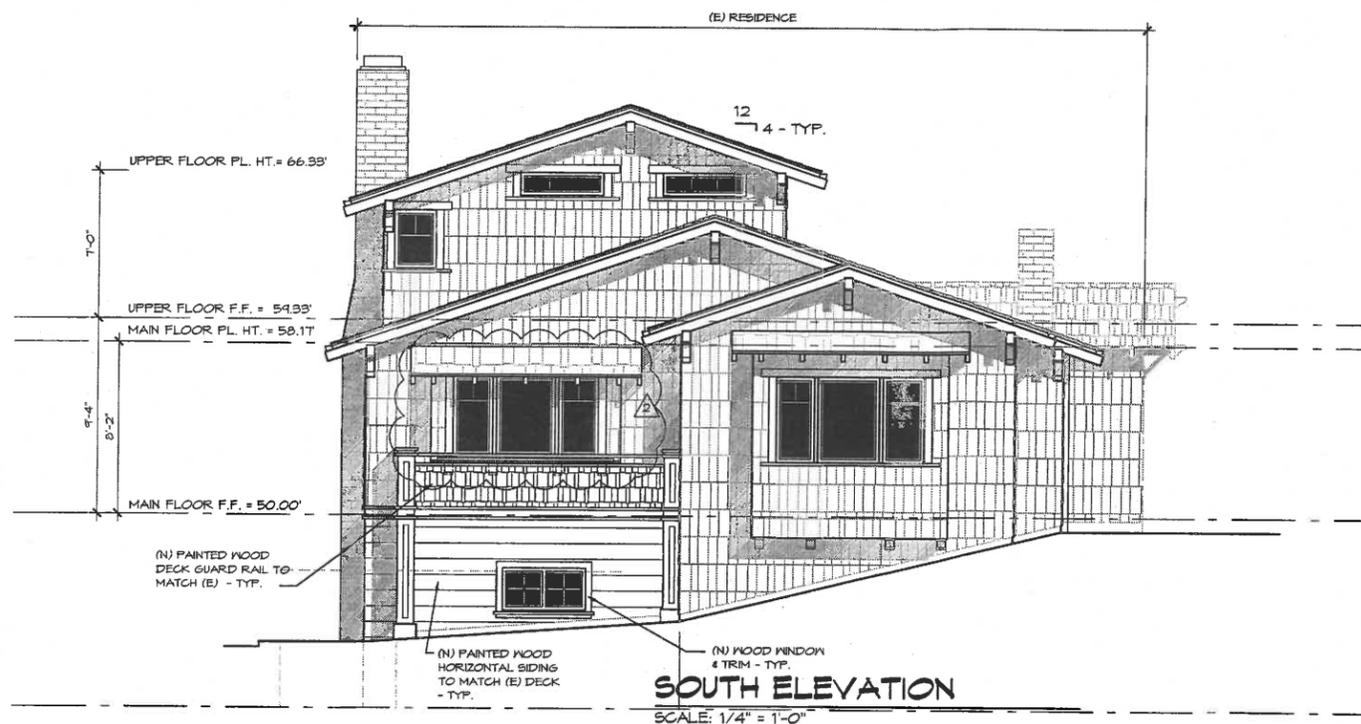
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DRAWN: SGC

JOB NUMBER: 14.04

REVISION

HISTORICAL COMMENTS
2 04/26/16



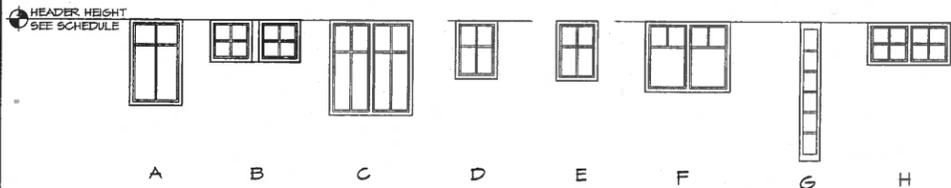
PROPOSED ELEVATIONS

TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921
A.P.N. 010-252-011

A3.3

WINDOW TYPES WOOD WINDOWS (U.N.O.)

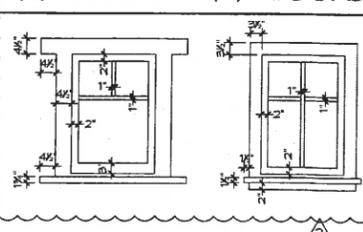


WINDOW NOTES

GENERAL GLAZING NOTES:

- WINDOWS: WOOD
- VERIFY ROUGH OPENINGS WITH WINDOW MFR. PRIOR TO FRAMING WINDOW OPENINGS.
 - EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF GLASS. LABELS MAY BE OMITTED FROM OTHER THAN SAFETY GLAZING MATERIALS UNLESS SPECIFICALLY REQUIRED BY THE BUILDING OFFICIAL TO QUALIFY AS GLASS WITH SPECIAL PERFORMANCE CHARACTERISTICS. EACH UNIT OF LAMINATED, HEAT STRENGTHENED, TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION OF TEMPERED GLASS SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
 - ALL WINDOWS DOUBLE INSULATED CLEAR "LOW-E 11" ARGON FILLED.
 - INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL PASS THE TEST REQUIREMENTS OF CONSUMER PRODUCTS SAFETY COMMISSION 16-CFR OR BY COMPARATIVE TEST SHALL BE PROVEN TO PRODUCE AT LEAST EQUIVALENT PERFORMANCES. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF GLAZING:
 - GLAZING IN INGRESS AND MEANS OF EGRESS DOORS.
 - GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS.
 - GLAZING IN ALL UNFRAMED SWINGING DOORS.
 - GLAZING IN DOORS AND TUB ENCLOSURES. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING A SHOWER OR TUB COMPARTMENT WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE DRAIN OUTLET.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT HAS AN EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 sq. ft., THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR, TOP EDGE GREATER THAN 36" ABOVE THE FLOOR, WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
 - VERIFY SWING HAND OF OPERABLE WINDOWS, SEE A3.1 & A3.2 BUILDING ELEVATIONS.
 - EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF A KEY OR TOOL, WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
 - ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20" NET CLEAR OPENING HEIGHT OF 2'-11".
 - PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESS SHOWN.
 - VERIFY DIVIDED LIGHT CONFIGURATION FOR EACH WINDOW PRIOR TO ORDER. SEE A3.1 & A3.2 BUILDING ELEVATIONS. ALSO, CONTACT THE WINDOW MANUFACTURER. SINCE DIVIDED LIGHT CONFIGURATION MAY BE SUBJECT TO FACTORY APPROVAL.
 - SEE TYPICAL WINDOW FLASHING REQUIREMENTS BELOW FOR ADDITIONAL INFORMATION.
 - ALL WINDOW GLAZING SHALL INCLUDE WATERPROOFING POLYMER ADDITIVE. VERIFY MANUFACTURER WITH OWNER.
 - MANUFACTURER TO PROVIDE JAMB AND SILL EXTENSIONS AS REQUIRED. SEE WINDOW DETAILS.
 - WHEN INSTALLING ALUMINUM OR ALUMINUM CLAD WINDOWS, NO COPPER FLASHING SHALL BE USED; ONLY A MIN. 16 OZ. G.I. FLASHING SHALL BE USED.

(E) WINDOWS (N) WINDOWS

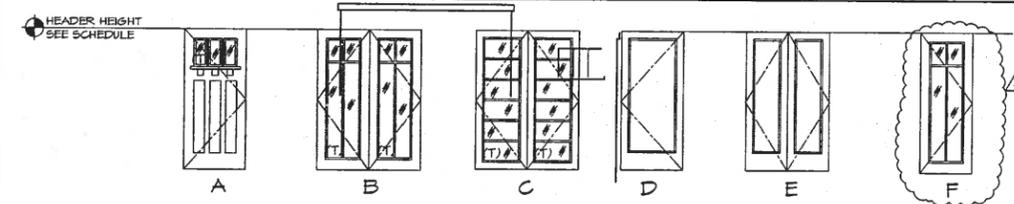


WINDOW SCHEDULE - WOOD W/TEMPERED GLAZING

NOTE: SEE WINDOW NOTE 4, SHEET A4.2 FOR ADDITIONAL GLAZING INFORMATION

MARK	TYPE	NOMINAL DIMENSIONS		HEAD HEIGHT (ABOVE FIN. FLR.)	FRAME (EXT/INT)	GLAZING	DETAILS (SEE SHEET A4.4 U.O.N.)			REMARKS
		WIDTH	HEIGHT				HEAD	JAMB	SILL	
1	A	CASEMENT	PAIR 3'-0"	6'-0"	WOOD	DOUBLE INSULATED				
2	B	FIXED	TRIPLE 3'-0"	7'-4"	WOOD	DOUBLE INSULATED				
3	B	FIXED	3'-0"	2'-0"	WOOD	DOUBLE INSULATED				
4	A	CASEMENT	3'-0"	7'-4"	WOOD	DOUBLE INSULATED				
5	-	NOT USED	-	-	-	-				
6	D	CASEMENT	PAIR 3'-0"	7'-4"	WOOD	DOUBLE INSULATED				EGRESS WINDOW - SEE WINDOW NOTE 6, SHEET A4.2
7	D	CASEMENT	2'-6"	5'-4"	WOOD	DOUBLE INSULATED				
8	E	CASEMENT	3'-0"	7'-4"	WOOD	DOUBLE INSULATED				
9	E	CASEMENT	PAIR 3'-0"	7'-4"	WOOD	DOUBLE INSULATED				EGRESS WINDOW - SEE WINDOW NOTE 6, SHEET A4.2
10	E	CASEMENT	PAIR 3'-0"	8'-6"	WOOD	DOUBLE INSULATED				
11	F	CASEMENT	2'-7"	8'-6"	WOOD	DOUBLE INSULATED				
12	G	FIXED	3'-10"	8'-6"	WOOD	DOUBLE INSULATED				
13	G	FIXED	2'-7"	8'-6"	WOOD	DOUBLE INSULATED				
14	E	CASEMENT	PAIR 3'-0"	8'-6"	WOOD	DOUBLE INSULATED				
15	H	CASEMENT	3'-6"	5'-0"	WOOD	DOUBLE INSULATED				

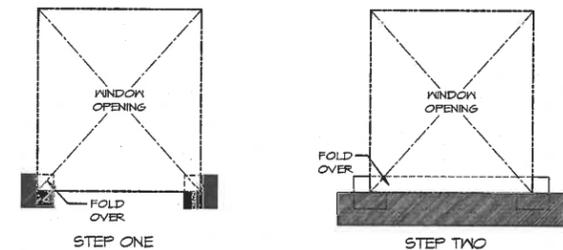
DOOR TYPES



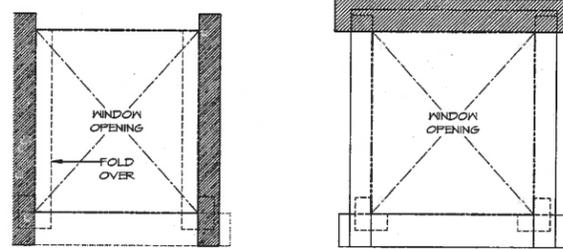
TYPICAL WINDOW FLASHING

GENERAL NOTES:

- ENSURE ALL SURFACES TO RECEIVE MEMBRANE FLASHING ARE CLEAN AND DRY.
- ENSURE MEMBRANE IS WELL SEATED AGAINST EXTERIOR VAPOR BARRIER (HOUSE WRAP) - EXERCISE CARE SO AS TO REDUCE WRINKLES IN APPLIED MEMBRANES.
- AT ALL ALUMINUM WINDOWS OF ANY KIND, NO COPPER SHALL BE PLACED IN DIRECT CONTACT WITH THE WINDOW ELEMENT; ONLY A MIN. 16OZ G.I. FLASHING SHALL BE USED.



- INSTALL 12" sq. SELF-ADHESIVE MEMBRANE STRIP AT WINDOW SILL.
- LAP SILL MEMBRANE OVER CORNER PATCHES.
- ENSURE MEMBRANE EXTENDS MIN. 6" BEYOND CORNER PATCHES.
- FOLD O/SILL STRIP TO ENSURE THAT MEMBRANE EXTENDS TO FULL WALL WIDTH.



- INSTALL 8" WIDE SELF-ADHESIVE MEMBRANE STRIP AT WINDOW JAMBS.
- LAP JAMB MEMBRANE O/SILL MEMBRANE.
- FOLD OVER JAMB STRIPS TO ENSURE THAT MEMBRANE EXTENDS TO FULL WALL WIDTH.
- INSTALL WINDOW PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- INSTALL 16 OUNCE G.I. HEAD FLASHING EXTEND PAST WINDOW OPENING TO EDGE OF JAMB MEMBRANE.
- INSTALL 12" WIDE SELF-ADHESIVE MEMBRANE OVER 16 OZ. G.I. FLASHING; EXTEND 6" PAST JAMB MEMBRANE.

DOOR SCHEDULE

MARK	TYPE	DIMENSIONS			CORE	FINISH	FRAME	HARDWARE	DETAILS (SEE SHEET A4.5 U.O.N.)			REMARKS
		WIDTH	HEIGHT	THK.					HEAD	JAMB	THRESH.	
1	A	EXTERIOR	3'-0"	6'-0"	2-1/4" MIN.	S.G.	STAIN	WOOD	DEADBOLT LOCKSET			
2	B	EXTERIOR	FR. 2'-6"	6'-0"	2-1/4" MIN.	S.G.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
3	B	EXTERIOR	FR. 2'-6"	6'-0"	2-1/4" MIN.	S.G.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
4	F	EXTERIOR	3'-0"	6'-0"	2-1/4" MIN.	S.G.	PAINTED	WOOD	LOCKSET			
5	-	NOT USED	-	-	-	-	-	-	-			
6	D	INTERIOR	2'-6"	6'-0"	3/8"	S.G.	PAINTED	WOOD				
7	D	INTERIOR	2'-0"	6'-0"	3/8"	S.G.	PAINTED	WOOD	LOCKSET			
8	D	INTERIOR	2'-0"	6'-0"	3/8"	S.G.	PAINTED	WOOD	LOCKSET			
9	C	INTERIOR	2'-2"	6'-0"	3/8"	S.G.	PAINTED	WOOD	LOCKSET			
10	D	INTERIOR	2'-4"	6'-0"	3/8"	S.G.	PAINTED	WOOD				
11	D	INTERIOR	2'-4"	6'-0"	3/8"	S.G.	PAINTED	WOOD	LOCKSET			
12	C	EXTERIOR	FR. 2'-6"	6'-0"	2-1/4" MIN.	S.G.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
13	C	EXTERIOR	FR. 2'-6"	6'-0"	2-1/4" MIN.	S.G.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
14	D	INTERIOR	2'-4"	6'-0"	3/8"	S.G.	PAINTED	WOOD	LOCKSET			
15	E	INTERIOR	FR. 1'-6"	6'-0"	3/8"	S.G.	PAINTED	WOOD				
16	D	INTERIOR	2'-4"	6'-0"	3/8"	S.G.	PAINTED	WOOD				
17	D	INTERIOR	2'-4"	6'-0"	3/8"	S.G.	PAINTED	WOOD				
18	D	INTERIOR	2'-4"	6'-0"	3/8"	S.G.	PAINTED	WOOD				
19	E	INTERIOR	FR. 1'-6"	6'-0"	3/8"	S.G.	PAINTED	WOOD				
20	D	INTERIOR	2'-4"	6'-0"	3/8"	S.G.	PAINTED	WOOD	LOCKSET			
21	D	INTERIOR	2'-4"	4'-6"	3/8"	S.G.	PAINTED	WOOD	LOCKSET			SELF CLOSING, TIGHT FITTING 1-3/8" THICK MIN. SOLID WOOD OR 20-MINUTE RATED FIRE ASSEMBLY

DOOR NOTES

- HARDWARE NOTES
- ALL DOORS SHALL COMPLY WITH THE FOLLOWING, U.O.N.:
- ALL EXTERIOR DOORS TO BE WEATHER STRIPPED.
 - SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
 - THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
 - PROVIDE 4" X 4" BUTTS ON ALL DOORS.
 - ALL HARDWARE TO HAVE FINISH PER OWNER.
 - ALL FIRE RATED DOORS SHALL HAVE PENKO 588D (OR EQUAL) SMOKE SEALS.

- DOOR NOTES
- SEE EXTERIOR ELEVATIONS FOR EXTERIOR DOOR OPERATION
 - ALL DOOR GLAZING TO BE TEMPERED:
 - S.G. = STAIN GRADE
 - P.G. = PAINT GRADE
 - TEMPERED GL. - A PERMANENT LABEL PER CBC SECTION 2406.2 SHALL IDENTIFY EACH LITE OF SAFETY GLAZING
 - VERIFY ROUGH OPENINGS WITH DOOR MFR. PRIOR TO FRAMING DOOR OPENINGS.
 - PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESS SHOWN.
 - WHEN INSTALLING ALUMINUM OR ALUMINUM CLAD WINDOWS, NO COPPER FLASHING SHALL BE USED; ONLY A MIN. 16 OZ. G.I. FLASHING SHALL BE USED.



HOLDREN+LIETZKE ARCHITECTURE

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DATE: 03/16/16

SCALE: 1/4"=1'-0"

DRAWN: SGC

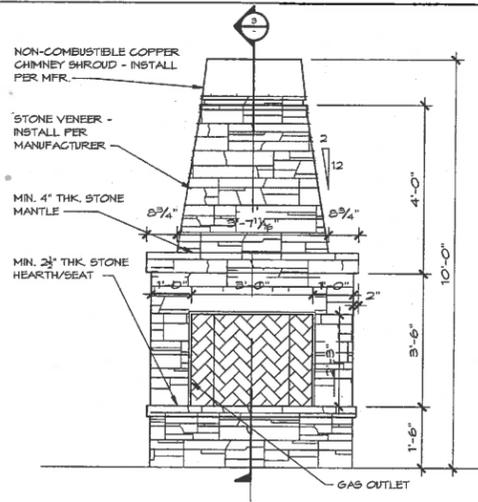
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REVISION

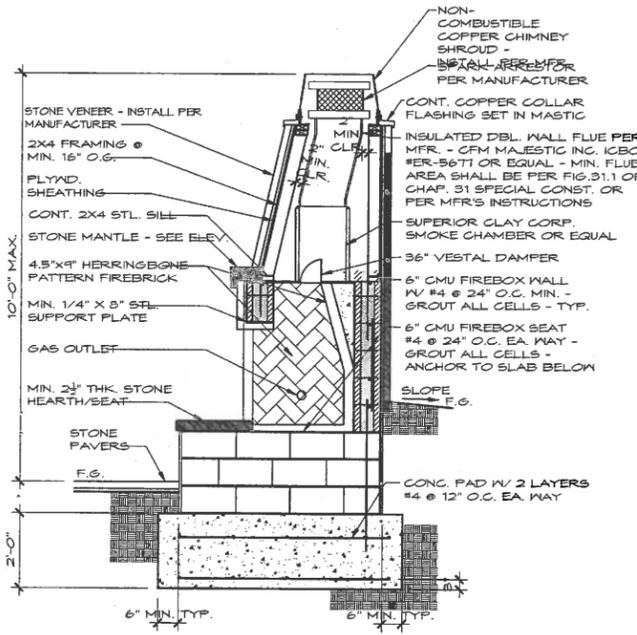
HISTORICAL COMMENTS
04/26/16

WINDOW & DOOR SCHEDULE
TAYLOR RESIDENCE REMODEL

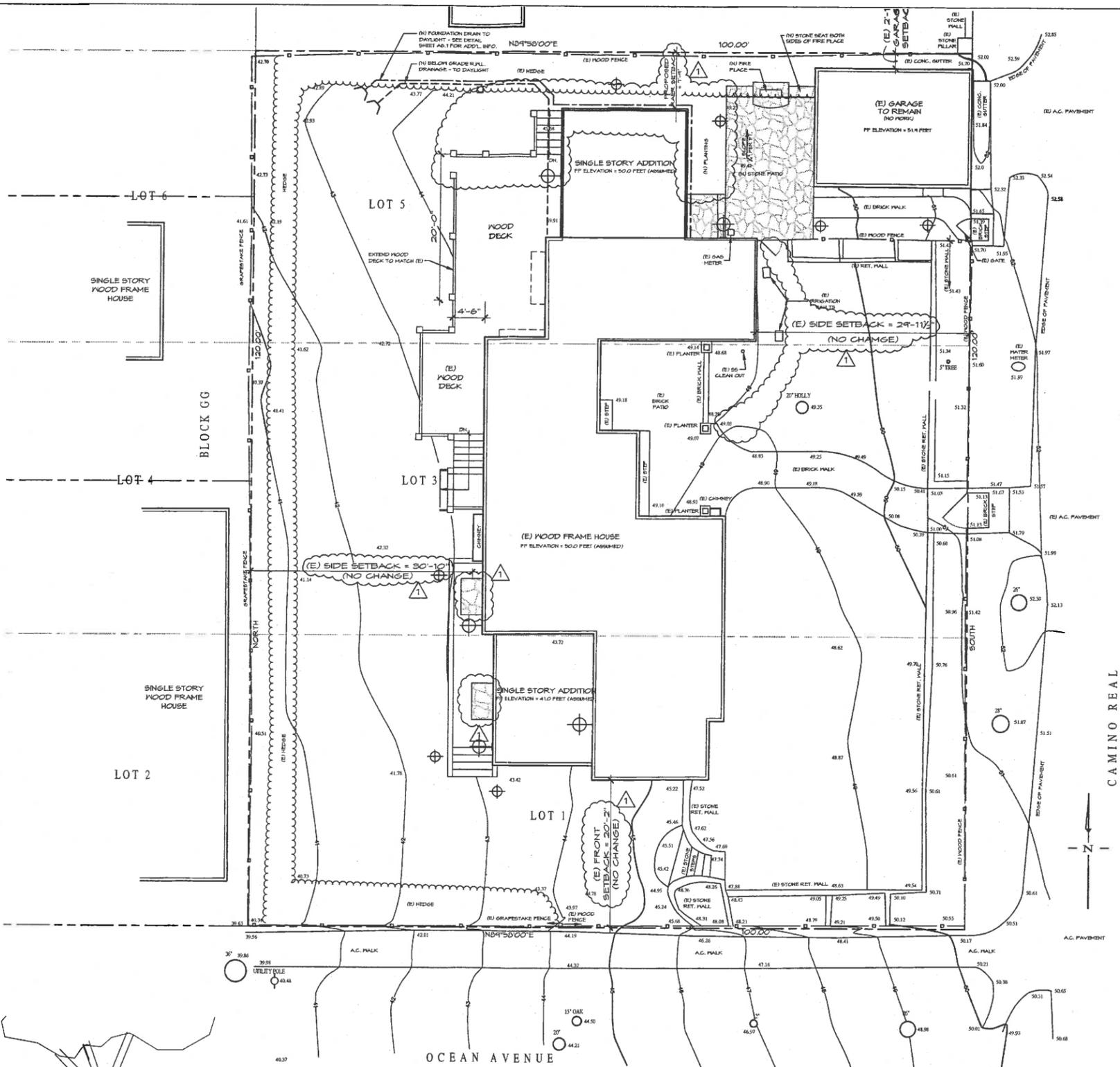
NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921
A.P.N. 010-252-011



1 EXTERIOR FIRE PIT ELEVATION
SCALE: 1/2" = 1'-0"



2 EXTERIOR FIRE PIT SECTION
SCALE: 1/2" = 1'-0"



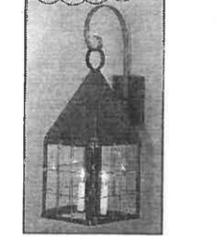
PLANT LIST & SYMBOL KEY

- NEPHROLEPIS CORDIFOLIA
- VACCINIUM OVATUM
- CARPENTERIA CALIFORNICA
- ROSMARINUS YRENE
- GERANIUM OCCIDENTALIS
- CAMELLIA SASANGUA 'SATSUGIHOKA'
- LEYMUS CONDENSATUS 'CANTON PRINCE'
- LIRIOPE MUSCARI 'SILVER DRAGON'

(7) PATH LIGHTS - 15 WATT COPPER BOLLARD



(5) WALL SCONES 25 WATT, FROSTED GLASS



NOTES
1. (E) LANDSCAPING TO REMAIN U.O.N.

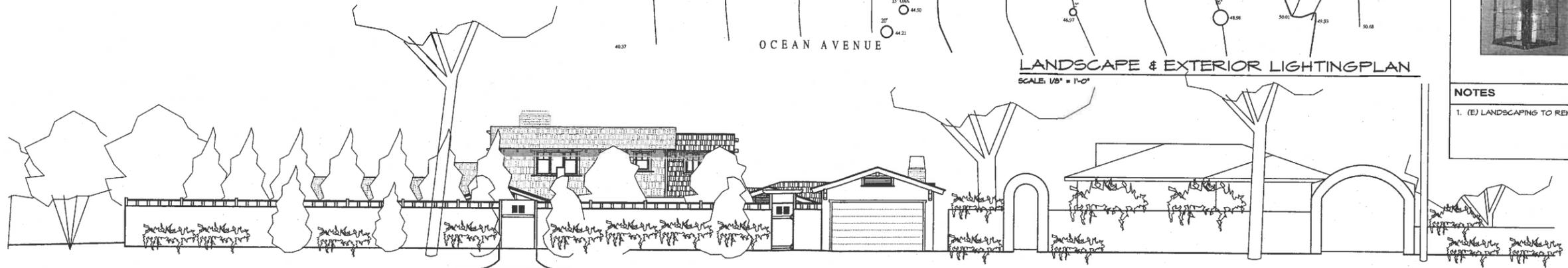
HOLDREN+LIETZKE ARCHITECTURE

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DATE: 01/25/16
SCALE: 1/8" = 1'-0"
DRAWN: SGC
JOB NUMBER: 14.04
REVISION: PLANNING COMMENTS 03/14/16

LANDSCAPE PLAN / STREET ELEVATION

TAYLOR RESIDENCE REMODEL
NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921
A.P.N. 010-252-011





CITY OF CARMEL-BY-THE-SEA

Historic Resources Board

May 16, 2016

To: Chair Dyar and Board Members

From: Marc Wiener, Interim Community Planning and Building Director

Subject: Consideration of a Municipal Project (MP 16-002) for the replacement of the War Memorial Bell on the Ocean Avenue median, at the intersection of Ocean Avenue and San Carlos Street.

Recommendation:

Issue a Determination of Consistency with the Secretary of the Interior's Standards

Application: MP 16-002

APN: City Right of Way

Block: n/a

Lot: n/a

Location: World War I Memorial Arch in the Ocean Avenue median, on the east side of the intersection of Ocean Avenue and San Carlos Street.

Applicant: American Legion Post 512

Property Owner: City of Carmel-by-the-Sea

Background:

The World War I memorial arch was constructed in 1922 under the design and supervision of Charles Sumner Greene, who is one of the founders of the Arts and Crafts Movement. The arch design included a bell, however, sufficient funds were not available at the time of the original construction to cast the bell hence it was not hung in the arch. The arch stood empty until the City's 50th birthday in 1966 when a bell was gifted from Sir Harry Downie, a master restorer of the Carmel Mission. The gifted bell was likely constructed in 1692 and is historic in its own right, however, it did not match the original Charles Sumner Green design. The 1692 bell was recently removed by the City is being stored in the history section of the Children's Library.

On January 19, 2016, the Historic Resources Board (HRB) reviewed a proposal to replace the existing bell on the World War I memorial arch with a new bell that more closely resembled the Charles Sumner Green design. The HRB was supportive of the concept, but requested that the

applicant revise the bell design to more closely replicate the Charles Sumner Greene design and that the applicant provide shop drawings.

Following the meeting with the HRB, the applicant presented the bell-replacement concept to the City Council at the March 3, 2016 meeting. The Council accepted the concept, but requested that the City retain a historic architect to review the proposal and provide recommendations. The City has retained the services of Brett Brenkwitz of Franks & Brenkwitz, LLP. Mr. Brenkwitz is a historic architect that has worked on several California mission restoration projects, including the recent Carmel Mission restoration.

Staff analysis:

Bell Design: The applicant provided shop drawings to the City, prepared by John Kolstad, depicting a design that matches the design and dimensions of Charles Sumner Green design. The City's historic architect, Mr. Brenkwitz, approached this project by replicating the Charles Sumner Greene drawings and the John Kolstad drawings in AutoCAD and comparing the dimensions (Sheet B-1).

Mr. Brenkwitz notes that the bell depicted in the Charles Sumner Greene drawing is not entirely symmetrical and as such the drawings could be interpreted that the bell could either be 19" or 20" wide. It is noted that a 19" width would provide approximately 3" of clearance from the masonry arch, which may be preferable to allow the bell additional airspace. Staff notes that the Kolstad shop drawings submitted by the applicant include a bell width of 20.5", which would allow approximately 1.5" of airspace between the bell and the arch. The applicant has indicated some concern that a bell width of 20.5" is necessary to maintain the golden ratio. The board should consider the appropriate width of the bell.

Regardless of which bell width is selected, in staff's opinion the revised drawings submitted by the applicant adequately replicates the Charles Sumner Greene design. The applicant has not yet determined how the bell will be attached to the arch. As noted by Mr. Brenkwitz, the attachment yoke depicted in the Greene drawing is somewhat "sketchy" and there are connectivity issues that must be taken into account when considering this aspect of the design. The applicant could return with details on this once the attachment yoke design is determined.

Environmental Review: The California Environmental Quality Act (CEQA) requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior Standard's for historic resources. If the alterations are consistent with the standards, potential historic resource impacts under CEQA do not require further analysis. Staff concludes that the proposed alterations would be consistent with the Secretary of the Interior's Standards and therefore, do not require additional environmental analysis.

Alternatives: The staff recommendation is to issue a Determination of Consistency with the Secretary's Standards. Alternatively, the Board could direct additional changes to the plan to achieve consistency with the Secretary's Standards, in which case, the Board may need to continue the item to allow the applicant to return with further-revised plans. Finally, the Board could find the application inconsistent with the Secretary's Standards, which would result in either the applicant withdrawing the project or require additional CEQA analysis to evaluate impacts on historic resources.

ATTACHMENTS:

- Attachment A – DPR 523 Form
- Attachment B – Consultant Memo and Drawings

State of California -- The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

PRIMARY RECORD

Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code _____

551

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3

Resource Name or #: (Assigned by recorder) *World War I Memorial Arch*

P1. Other Identifier:

P2. Location: Not for Publication Unrestricted a. County *Monterey*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad _____ Date _____ T _____ ; R _____ ; 1/4 of _____ 1/4 of Sec _____ ; B.M. _____

c. Address: _____ City *Carmel-by-the-Sea* Zip *93921*

d. UTM: (Give more than one for large and/linear resources) _____ ; _____ mE/ _____ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

W/end median divider, e/side junction of San Carlos & Ocean Ave.

Parcel No. *N/A*

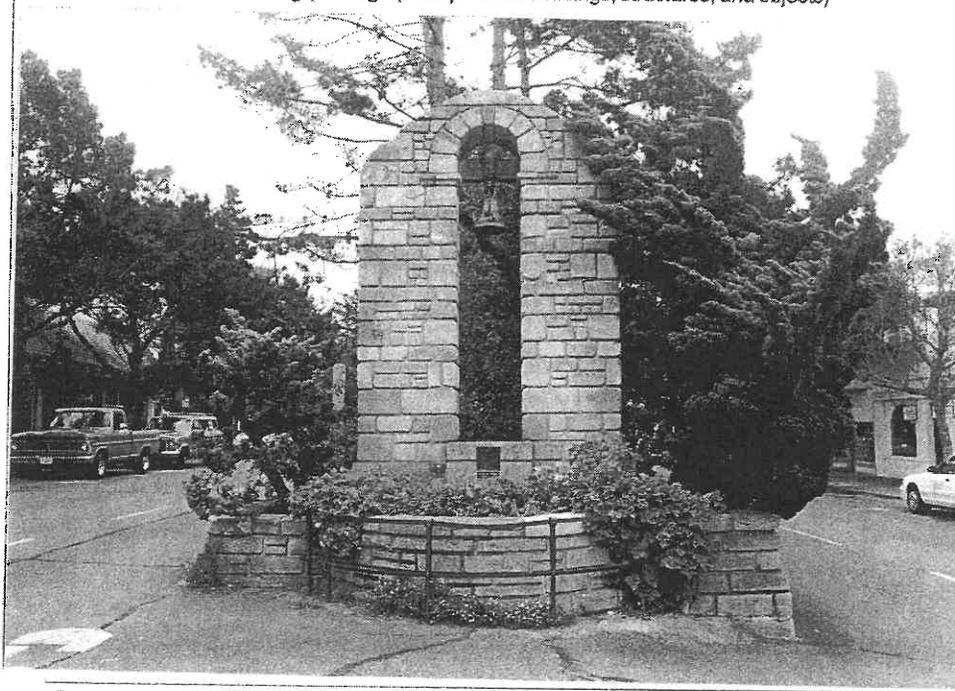
P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A Carmel stone monument in the form of a rounded arch of coursed ashlar with a bronze bell hanging from a wooden cross-beam inside the apex of the arch. The semi-circular base on the west side of the monument originally functioned as a series of three fountains, one for horses, one for dogs and one for people. A white stone bowl, carved with a design of breaking waves by monument designer Charles Sumner Greene is no longer present. The monument was damaged in an automobile accident on August 6, 1977, and restored by Charles S. Greene's son Thomas Gordon Greene, and relatives of the original stonemason Joseph McEldowney, executing an exacting restoration of the original monument employing new stone, where needed, quarried from the Stuyvestant Fish Ranch south of Carmel. The voids of the original drinking fountains are now planted with shrubbery. The monument is sited in the middle of Ocean Ave. at San Carlos St. at the original location of a wooden trough used early on in Carmel for watering horses.

3b. Resource Attributes: (List attributes and codes) *HP26-Monument*

P4. Resources Present Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession#)
Looking east along Ocean Ave. at south facing monument, 8/29/01, #8720-15

P6. Date Constructed/Age and Sources

Prehistoric Historic Both

1921 Carmel city records

P7. Owner and Address

*City of Carmel-by-the-Sea
City Hall
Carmel, CA 93921*

P8. Recorded by: (Name, affiliation, and address)

*Kent L. Seavey
Preservation Consultant
310 Lighthouse Ave.
Pacific Grove, CA 93950*

P9. Date Recorded: *11/16/2001*

P10. Survey Type: (Describe)
*Carmel Historic Resource Inventory - 2001
(Intensive)*

Report Citation: (Cite survey report and other sources, or enter "none")

none

Attachments

- NONE Continuation Sheet District Record Rock Art Record Other: (List)
- Location Map Building, Structure, and Object Record Linear Feature Record Artifact Record
- Sketch Map Archaeological Record Milling Station Record Photograph Record

BUILDING, STRUCTURE, AND OBJECT RECORD

Resource Name or #: (Assigned by recorder) *World War I Memorial Arch*

B1. Historic Name: *World War I Memorial Arch*

B2. Common Name: *Carmel War Memorial*

B3. Original Use: *monument*

B4. Present Use: *monument*

B5. Architectural Style: *Mission Revival*

B6. Construction History: (Construction date, alterations, and date of alterations)

Constructed 1921; wooden cross-beam and bronze bell added 1966; damaged by auto accident Aug. 1977; restored and rededicated Nov. 1977

B7. Moved? No Yes Unknown Date :

Original Location:

B8. Related Features:

B9a. Architect: *Charles S. Greene*

b. Builder: *Joseph McEldowney*

B10. Significance: Theme: *Govt., Civic & Soc. Institutions*

Area: *Carmel-by-the-Sea*

Period of Significance: *1903-1940* Property Type: *Civic Monument*

Applicable Criteria: *CR 1,3*

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

Carmel's WWI Memorial Arch is significant under California Register criteria 1, in the area of history as a community's expression of pride in and respect for the 56 Carmelites who served their country in the First World War. It is also significant under California register criteria 3, in the area of architecture as the work of one of California's most notable architects, Charles Sumner Greene (1868-1957). It is one of the very few projects Greene undertook after his move to Carmel from Pasadena in 1916. Charles Sumner Greene and his brother Henry Mather Greene were "most noted for their carefully articulated wood residences." Their influence was widespread, especially in the development of the California bungalow. Biographer Randell Makinson notes, "The Greens not only charted new courses in American architecture and related interiors and furnishings, but also established higher standards of construction." Charles began to remove himself from the partnership in 1916 because of the proliferation of low-quality bungalows, and a general movement toward "period" revival architectural forms. He was also interested in developing his writing as well as pursuing his deep interest in eastern philosophy.

B11. Additional Resource Attributes: (List attributes and codes) *HP26 -Monument*

B12. References:

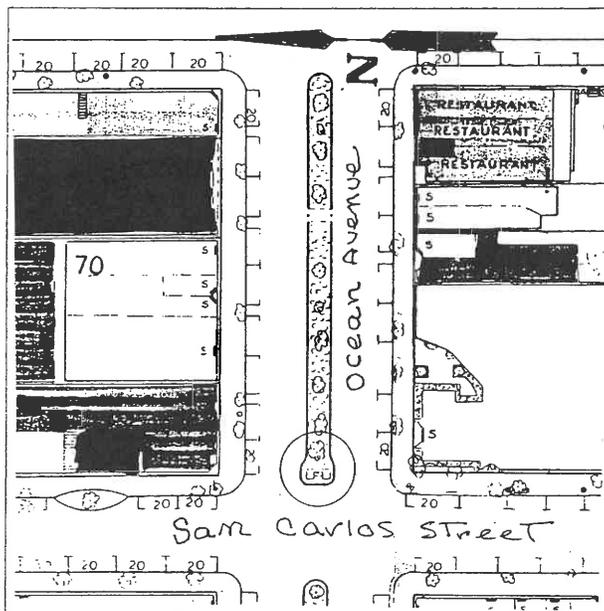
- Greene, Thomas Gordon, copies of articles on and original drawings for restoration, City Planning Dept., City Hall, Carmel
- Hale, Sharron, *A Tribute to Yesterday*, Valley Pub.:Santa Cruz, 1980
- Maddex, Diane, *Master Builders*, The Preservation Press:Washington D.C., 1985, pp. 124-127

B13. Remarks: *Zoning CC*

B14. Evaluator: *Kent Seavey*

Date of Evaluation: *11/16/2001*

(This space reserved for official comments.)



Primary # _____

HRI # _____

Trinomial _____

CONTINUATION SHEET

Page 3 of 3

Resource Name or #: (Assigned by recorder) *World War I Memorial Arch*

Recorded by: *Kent L. Seavey*

Date *11/16/2001*

Continuation Update

B10. Carmel, with its creative artists' colony seemed the logical spot for these endeavors. He culminated his design career with the majestic D. L. James Hse. and work on the Martin Flavin home, both at Carmel Highlands. There followed a few smaller projects, including the WWI Memorial Arch, for which he donated his services as designer and supervisor of construction. Stone mason Joseph McEldowney did much of the actual construction. The design of the arch draws its inspiration from the of the California Mission campanile, interpreted by Greene in native Carmel stone, hand-crafted in coursed ashlar. The bronze bell, carried on a wooden beam in the apex of the arch was donated and installed by Harry Downie, curator of the Carmel Mission, in 1966.

The idea for the monument and its funding came from the efforts of Carmel Post 512 of the American Legion. Post members spearheaded a year-long fund drive, conducted by the *Carmel Pine Cone*, that included, among other things, three plays at the Manzanita Theater, a Fandango (dance) at the La Playa Hotel and a vaudeville show. The completed monument was dedicated on November 11, 1921, and a time capsule placed in the base of the arch. A bronze dedicatory plaque was added to the monument by Post 512 in 1964. On August 6, 1977 the north pier of the arch was destroyed in an automobile accident. Thomas Gordon Greene, son of the original designer, and a trained architect, volunteered to restore the monument. Joseph McEldowney, son of the original stone mason, and his son Brian joined in the volunteer effort, doing the actual masonry work. Undamaged original stones were retrieved from the rubble and new ones quarried from the Fish Ranch, south of Carmel. The masons dressed the stone to Mr. Greene's specifications at their Sand City stone yard. The actual work was completed in five weeks, and the restored monument was rededicated on November 11, 1977 with an updated time capsule replaced in the base. This stone arch is the only major public monument in Carmel. It was designed by noted American architect Charles Sumner Greene, and restored by his son Gordon, as a tribute to the men in the village who served in World War I. It is a Carmel landmark worthy of listing in the California Register of Historical Places.

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LETTER OF TRANSMITTAL

Date: 5-9-16

To: City of Carmel-by-the-Sea

Attention: Marc Wiener

Job: WW1 Memorial Bell

We transmit: Drawings and Summary

Note: Marc- we have been asked to evaluate whether the proposed bell reproduction sketch from California Bell Company (John Kolstad) of 4-11-16 meets the intent of the original design by Henry Sumner Greene architect as depicted in his sketch entitled "Memorial Fountain" (undated sketch).

Our approach has been to draw the bell in AutoCAD by "tracing" over the original Greene scaled design. To do this, we "import" the original image, scale it based on dimensions shown on the sketch, and then "overlay" the scaled sketch with a new drawing of the reproduction bell. This is illustrated on Sheet B-1 on the left hand side. As you can see, Greene's pencil sketch of the bell is not entirely symmetrical about the bell's centerline. We chose to take the smaller bell width to the left of the centerline, realizing that the bell will sit in a narrow 2' wide space, and should have some "airspace" around it. This yields a 19" wide bell, so we will end up with 3" clear from the bell to the masonry. One could make an argument for choosing the wider portion of the bell, thus making the bell about 20" wide, which is closer to John Kolstad's proposed bell. This is an issue that you may want to discuss with your commission.

The right hand portion of sheet B-1 shows John Kolstad's bell design with an overlay of our proposed bell. As you can see, there are some nuanced changes such as the location of the "beads" and overall shape. Because the Greene drawing shows the "attachment yoke" at the top in a somewhat "sketchy" / fanciful way, we have deferred to the Kolstad design realizing there are issues of connectivity and structural support that must be taken into account. We have not addressed the bell clapper or the attachment method but would be keen on coordinating this with all parties if so desired.

Sheet B-2 is identical to sheet B-1 with the difference of omitting Greene's original design of the bell for clarity. And finally, sheet B-3 is a full-scale drawing to assist in fabrication if you elect to go with this design.

Please let me know if this fulfills your request and if any further clarification is desired.

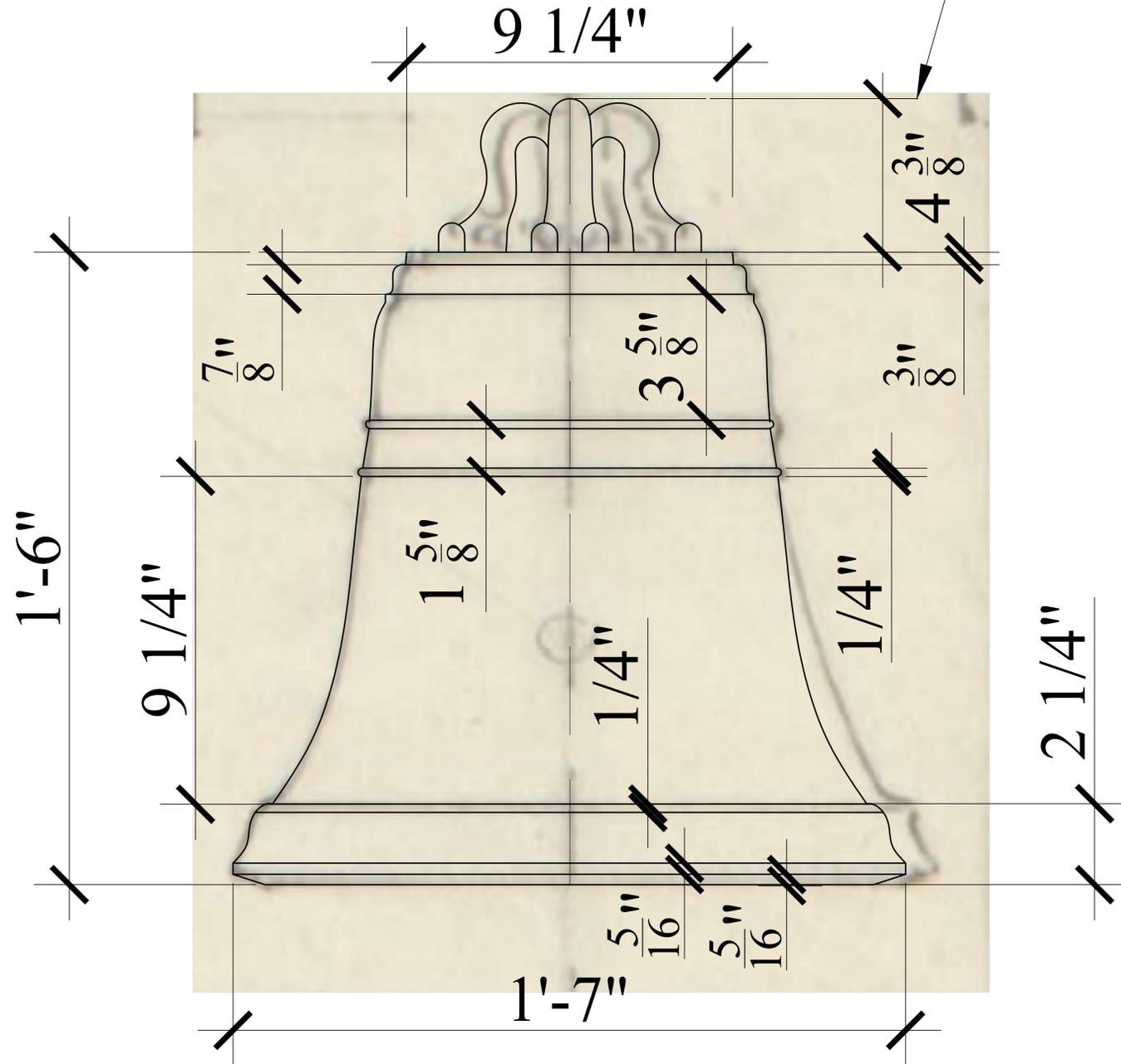
Regards,

A handwritten signature in red ink, consisting of a stylized, cursive name that appears to be 'Brett Brenkwitz'.

Brett Brenkwitz, Architect

COPY OR ORIG. GREENE SKETCH

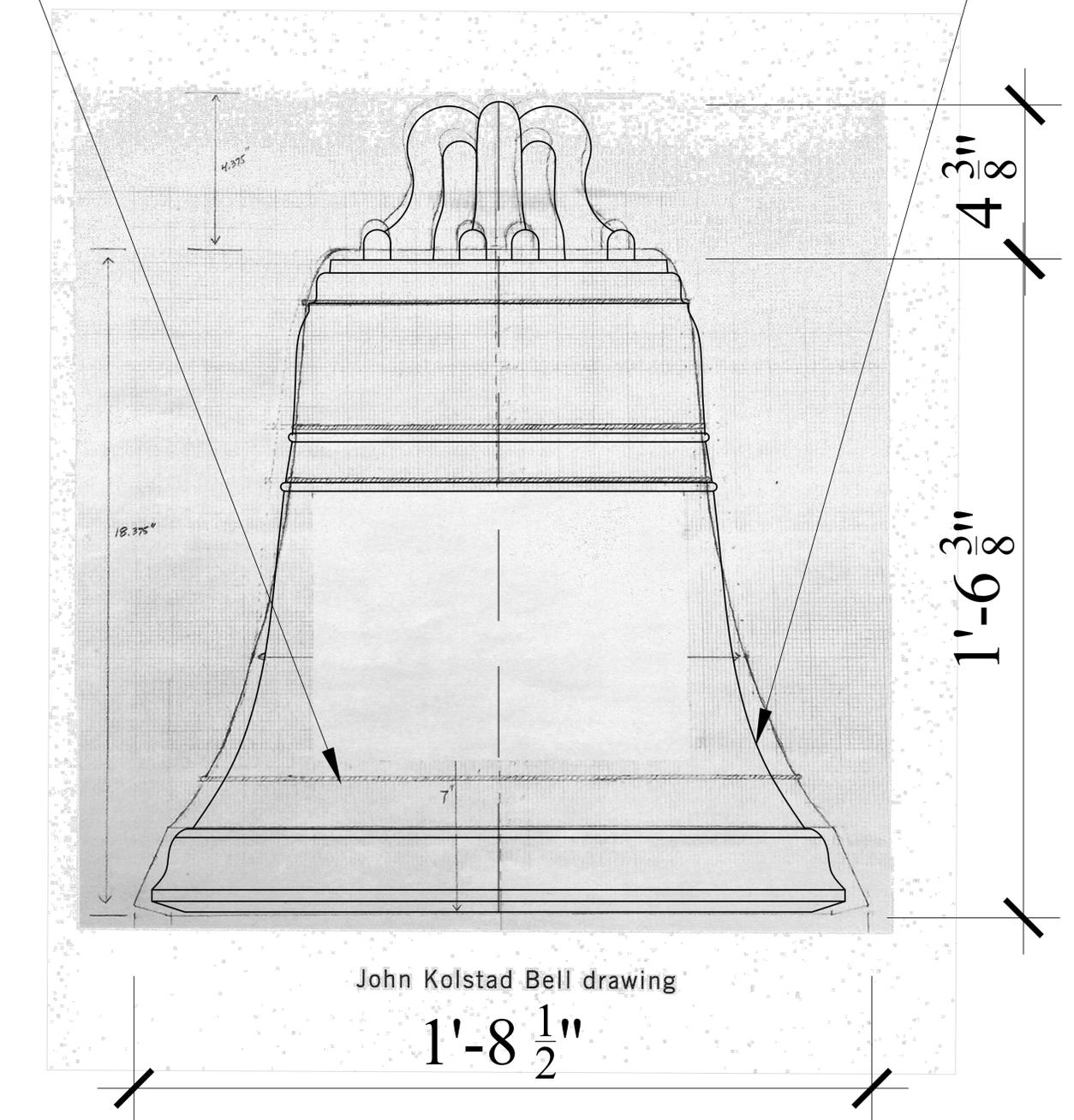
NOTE: MOUNTING YOKE BASED ON J. KOLSTAD DWG.



BELL BASED ON ORIGINAL DRAWING BY CHARLES SUMNER GREENE ENTITLED "MEMORIAL FOUNTAIN" COURTESY ENV. DEISGN ARCHIVES, UNIV. OF CA., BERKELEY

REDUCE WIDTH TO MATCH ORIG. BELL SHAPE

NO BEAD HERE



John Kolstad Bell drawing

JOHN KOLSTAD DRAWING WITH PROPOSED BELL SUPERIMPOSED



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(831) 662-8800

CITY OF CARMEL BY THE SEA
WORLD WAR 1 MEMORIAL

ELEVATIONS COMPARING EXISTING BELL
TO PROPOSED REPRODUCTION

REVISION:



DATE: 5-9-16

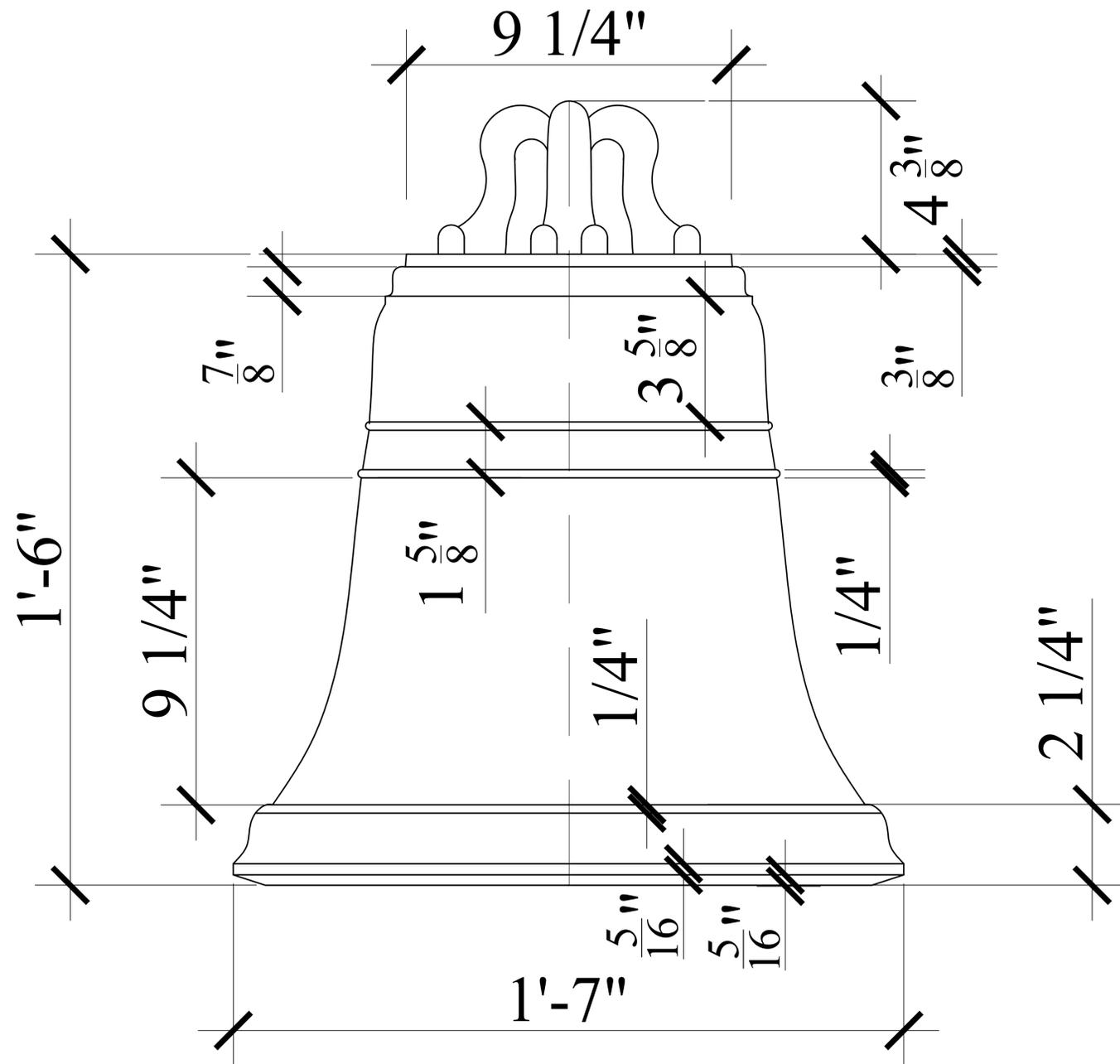
SCALE: 6"=1'-0"

SHEET NO.

B-1

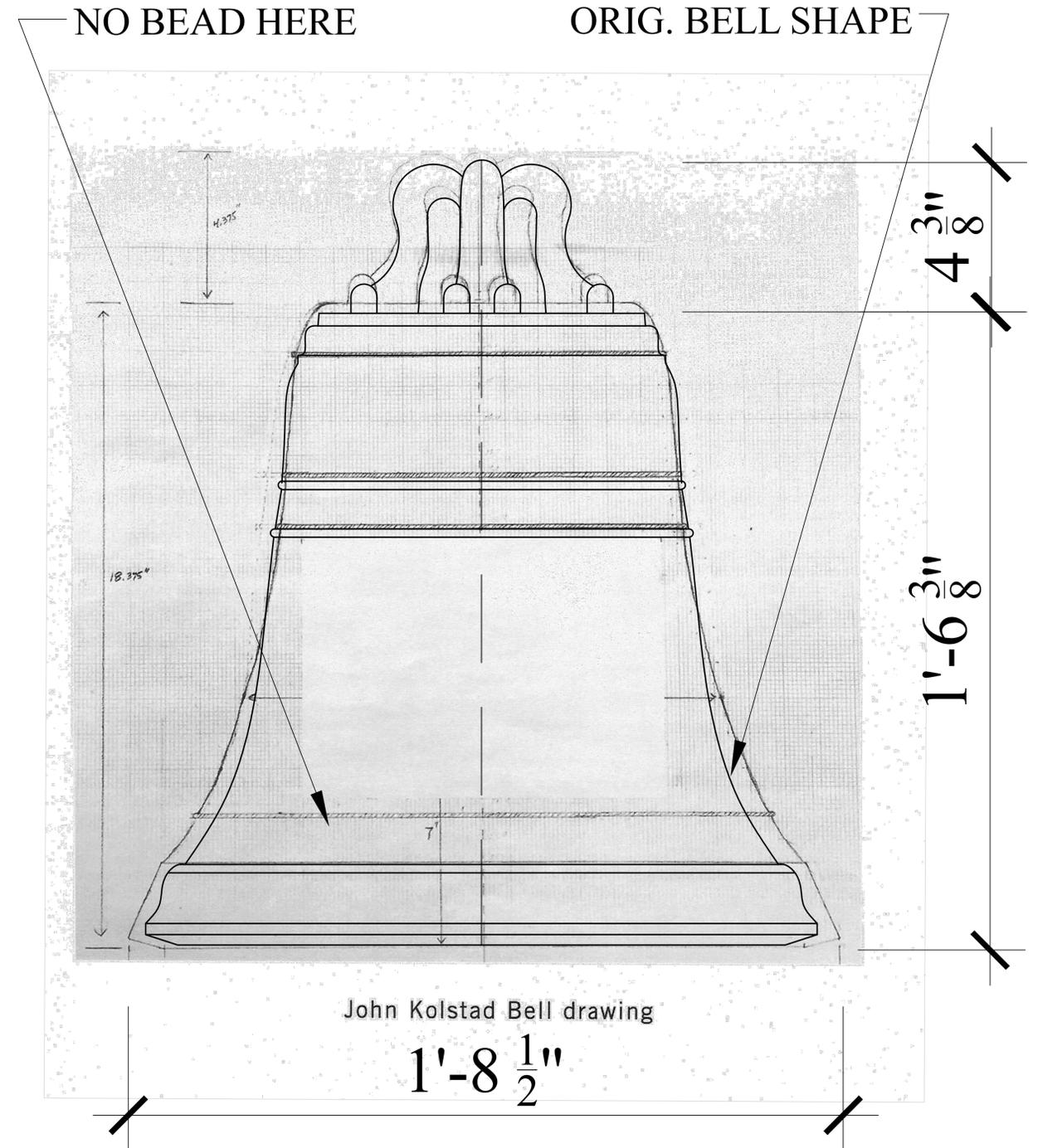
OF 3 SHEETS

NOTE: MOUNTING YOKE BASED
ON J. KOLSTAD DWG.



BELL BASED ON ORIGINAL DRAWING BY
CHARLES SUMNER GREENE ENTITLED
"MEMORIAL FOUNTAIN" COURTESY ENV.
DESIGN ARCHIVES, UNIV. OF CA., BERKELEY

REDUCE WIDTH TO MATCH
ORIG. BELL SHAPE



JOHN KOLSTAD DRAWING WITH
PROPOSED BELL SUPERIMPOSED

