

**CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION
AGENDA**

Regular Meeting
City Hall
East side of Monte Verde Street
Between Ocean & Seventh Avenues

May 9, 2012
Wednesday
Tour – 2:30
Meeting – 4:00 p.m.

I. CALL TO ORDER AND ROLL CALL

Commissioners: Steve Dallas
Janet Reimers
Keith Paterson, Vice-chair
Steve Hillyard, Chair

II. TOUR OF INSPECTION

Shortly after 2:30 p.m. the Commission will leave the Council Chambers for an on-site Tour of Inspection of all properties listed on this agenda (including those on the Consent Agenda). The Tour may also include projects previously approved by the City and not on this agenda. Prior to the beginning of the Tour of Inspection, the Commission may eliminate one or more on-site visits. The public is welcome to follow the Commission on its tour of the determined sites. The Commission will return to the Council Chambers at **4:00 p.m.** or as soon thereafter as possible.

III. ROLL CALL

IV. PLEDGE OF ALLEGIANCE

V. ANNOUNCEMENTS /EXTRAORDINARY BUSINESS

VI. APPEARANCES

Anyone wishing to address the Commission on matters not on the agenda, but within the jurisdiction of the Commission may do so now. Please state the matter on which you wish to speak. Matters not appearing on the Commission agenda will not receive action at this meeting but may be referred to staff for a future meeting. Presentations will be limited to three minutes, or as otherwise established by the Commission. Persons are not required to give their name or address, but it is helpful for speakers to state their name in order that the Secretary may identify them.

VII. CONSENT AGENDA

Items placed on the Consent Agenda are considered to be routine and are acted upon by the Commission in one motion. There is no discussion of these items prior to the Commission action unless a member of the Commission, staff, or public requests specific items be discussed and/or removed from the Consent Agenda. It is understood that the staff recommends approval of all consent items. Each item on the Consent Agenda approved by the Commission shall be deemed to have been considered in full and adopted as recommended.

- 5 1. Consideration of minutes from April 11, 2012, Regular Meeting.
- 13 2. MP 12-7*
City of Carmel
NW Del Mar & Ocean
Consideration of Design Review and Coastal Development Permit applications for the construction of a boardwalk and viewing platform in the North Dunes of Carmel Beach.
- 25 3. UP 12-2/O9-9 (Eco Carmel)
Gunnar Reimers/Niels Reimers
W/s San Carlos bt. 7th & 8th
Block 91, Lot(s) 5 & 7
Consideration of a Use Permit Amendment authorizing specialty food items to be sold as part of an existing retail store located in the Service Commercial (SC) District.
- 37 4. SI 12-16
Macerich – Carmel Plaza
NE Mission & 7th
Block 78, Lot(s) All
Consideration of a Sign application to allow a second business sign for a restaurant and a decal sign on a glass door of an office in the Central Commercial (CC) District. (David Fink)
- 45 5. SI 12-10
Margaret Fairley
W/s San Carlos bt. Ocean & 7th
Block 76, Lot(s) 13 & 15
Consideration of an application for a second business sign on a building located in the Central Commercial (CC) District. (Ambiance Interiors)
- 53 6. DS 12-23
Pot D'Or
NW Lincoln & 5th
Block 53, Lot(s) 17 & 19
Consideration of Design Study (Final), Demolition Permit and Coastal Development Permit applications for the construction of a new residence located in the Single Family Residential (R-1) District.

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| 69 | <p>7. DS 12-22/UP 12-4
 Brian & Stephanie Boyse
 E/s San Antonio 6 N Ocean
 Block HH, Lot(s) 18</p> | <p>Consideration of Design Study (Final), Use Permit and Coastal Development Permit applications for the substantial alteration of an existing residence located in the Single Family Residential (R-1), Beach and Riparian Overlay (BR), Park Overlay (P) and Archaeological Significance Overlay (AS) Districts.</p> |
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VIII. CONSENT AGENDA (PULLED ITEMS)

IX. PUBLIC HEARINGS

If you challenge the nature of the proposed action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

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| 101 | <p>1. MP 12-2
 City of Carmel
 City-wide</p> | <p>Consideration of recommendations to the City Council regarding the adoption of a single-use carry out bag ordinance and a Negative Declaration (ND).</p> |
| 129 | <p>2. DS 12-24
 Pot D'Or
 NW Lincoln & 5th
 Block 53, Lot(s) 17 & 19</p> | <p>Consideration of Design Study (Final), Demolition Permit and Coastal Development Permit applications for the construction of a new residence located in the Single Family Residential (R-1) District.</p> |
| 147 | <p>3. DS 12-26
 Bette Elliston
 W/s Casanova 9 N Ocean
 Block FF, Lot(s) 25</p> | <p>Consideration of a Design Study application for the alteration of an existing residence located in the Single Family Residential (R-1) District.</p> |
| 163 | <p>4. DR 12-9
 Macerich – Carmel Plaza
 Mission/Junipero bt. Ocean &
 7th
 Block 78, Lot(s) All</p> | <p>Consideration of a Design Review application for exterior alterations to the Carmel Plaza located in the Central Commercial (CC) District. (Kate Spade)</p> |

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| 5. | DS 12-31
Adam & Janet Salmon
W/s Santa Fe 5 S 5 th
Block 60, Lot(s) 9 | Consideration of Design Study (Concept) and Coastal Development Permit applications for the substantial alteration of an existing residence located in the Single Family Residential (R-1) District.
<i>*Continued to 13 June 2012.</i> |
| 6. | 175 DS 12-34
Jeffrey Townsend
W/s San Carlos bt. 2 nd & 3 rd
Block 29, Lot(s) 13A | Consideration of a Design Study application for the replacement of an existing wood shake roof with composition shingles on a residence located in the Single Family Residential (R-1) and Community Plan (CP) Districts. |
| 7. | 179 UP 12-3
Jody LeTowt
Dolores 3 NE 7 th
Block 76 Lot(s) 18 | Consideration of a Preliminary Concept Review of a request to include wine tasting as an ancillary use at a restaurant located Central Commercial (CC) District. |

X. ADJOURNMENT

The next meeting of the Planning Commission will be:

- ▶ Regular Meeting – Wednesday, June 13, 2012 at 4:00 p.m.

The City of Carmel-by-the-Sea does not discriminate against persons with disabilities. Carmel-by-the-Sea City Hall is an accessible facility. The City of Carmel-by-the-Sea telecommunications device for the Deaf/Speech Impaired (T.D.D.) Number is 1-800-735-2929.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are available upon request of the Administrative Coordinator. If you need assistance, please advise Leslie Fenton what item you would like to comment on and the microphone will be brought to you.

NO AGENDA ITEM WILL BE CONSIDERED AFTER 8:00 P.M. UNLESS AUTHORIZED BY A MAJORITY VOTE OF THE PLANNING COMMISSION. ANY AGENDA ITEMS NOT CONSIDERED AT THE MEETING WILL BE CONTINUED TO A FUTURE DATE AS DETERMINED BY THE COMMISSION.

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection in the Planning & Building Department located in City Hall, E/s Monte Verde between Ocean & 7th Avenues, during normal business hours.

**CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION – MINUTES
APRIL 11, 2012**

I. CALL TO ORDER AND ROLL CALL

Commissioner Beach announced her resignation from the Planning Commission due to being elected to the City Council.

PRESENT: Commission Members: Dallas, Paterson, Hillyard,
Reimers

STAFF PRESENT: Sean Conroy, Planning & Building Services Manager
Marc Wiener, Associate Planner
Leslie Fenton, Administrative Coordinator

II. TOUR OF INSPECTION

The Planning Commission toured the following sites: Beach boardwalk area, Boyse, Pot D'Or, Bell, Biesbroeck, Singleton, Scenic & Santa Lucia, City Hall.

III. ROLL CALL

IV. PLEDGE OF ALLEGIANCE

Members of the audience joined Commission members in the pledge of allegiance.

V. ANNOUNCEMENTS/EXTRAORDINARY BUSINESS

Sean Conroy, Planning & Building Services Manager, announced the following:

1. Commissioner Beach resigned her position at the beginning of the meeting.
2. Commissioner Paterson will be the Vice-chair for the next three months.
3. Single-use carry-out bag ordinance and IS has been distributed for public comment period, which begins April 17, 2012. Will be on the May 9, 2012 agenda.

VI. APPEARANCES

Barbara Livingston appeared before the Commission.

VII. CONSENT AGENDA

1. Consideration of minutes from March 14, 2012, Regular Meeting.

2. DS 12-15
Singleton TR
San Antonio 4 SE 11th
Block X, Lot(s) 12
- Consideration of Design Study (Final), Use Permit, Demolition Permit and Coastal Development Permit applications for the construction of a new residence located in the Single Family Residential (R-1) and Beach and Riparian Overlay (BR) Districts.

Marc Wiener, Associate Planner, presented the staff report. Chair Hillyard opened the public hearing at 4:34 p.m. Craig Holdren, Jim Finnegan, Michelle Comeau, Roberta Miller and Barbara Livingston appeared before the Commission. There being no other appearances, the public hearing was closed at 4:59 p.m.

Commissioner REIMERS moved to **approve the application with staff's Special Condition #1; change to #2 – the applicant shall either withdraw the proposed encroachment or apply for an encroachment permit for the proposed walkway on City property; change to #3 – the applicant and neighbors shall work with staff and the City Forester on reviewing options for planting additional trees on the property, while being considerate of the neighboring views; #4; #5; addition of #6 – lower south chimney 2' or more if possible; and addition of #7 – work with City Forester to protect Cypress trees during construction,** seconded by PATERSON and **carried** by the following roll call vote:

AYES: Dallas, Reimers, Paterson, Hillyard
NOES: None
ABSENT: None
ABSTAIN: None

3. DS 12-23
Pot D'Or, LLC
NW Lincoln & 5th
Block 53, Lot(s) 17 & 19
- Consideration of Design Study (Concept), Demolition Permit, Use Permit and Coastal Development Permit applications for the construction of a new residence located in the Single Family Residential (R-1) District and a lot line adjustment.

Marc Wiener, Associate Planner, presented the staff report. Chair Hillyard opened the public hearing at 5:16 p.m. Chris Tescher and Jacqueline Simonelli appeared before the Commission. There being no other appearances, the public hearing was closed at 5:21 p.m.

Commissioner DALLAS moved to **approve the lot line adjustment from east – west to north-south with staff's Special Conditions,** seconded by PATERSON and **carried** by the following roll call vote:

AYES: Dallas, Reimers, Paterson, Hillyard
NOES: None
ABSENT: None
ABSTAIN: None

The public hearing was re-opened at 5:22 p.m. Chris Tescher appeared before the Commission. There being no other appearances, the public hearing was closed at 5:32 p.m.

Commissioner PATERSON moved **to accept the design concept application and have applicant work with staff on reducing the height of the building,** seconded by DALLAS and **carried** by the following roll call vote:

AYES: Dallas, Reimers, Paterson, Hillyard
NOES: None
ABSENT: None
ABSTAIN: None

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| 4. DS 12-24
Pot D'Or, LLC
5 th Ave. 2 NW of Lincoln
Block 53, Lot(s) 17 & 19 | Consideration of Design Study (Concept),
Demolition Permit and Coastal
Development Permit applications for the
construction of a new residence located in
the Single Family Residential (R-1)
District. |
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Marc Wiener, Associate Planner, presented the staff report. Chair Hillyard opened the public hearing at 4:46 p.m. Chris Tescher, Jacqueline Simonelli, Tim Comstock, Steve Brooks and Mr. O'Connell appeared before the Commission. There being no other appearances, the public hearing was closed at 6:12 p.m.

Commissioner PATERSON moved **to continue the application and have applicant work with staff and neighbor to address 2nd story privacy issues,** seconded by REIMERS and **carried** by the following roll call vote:

AYES: Dallas, Reimers, Paterson, Hillyard
NOES: None
ABSENT: None
ABSTAIN: None

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| <p>5. DS 12-22
 Brian & Stephanie Boyse
 E/s San Antonio 6 N Ocean
 Block HH, Lot(s) 18</p> | <p>Consideration of Design Study (Concept) and Coastal Development Permit applications for the substantial alteration of an existing residence located in the Single Family Residential (R-1), Beach and Riparian Overlay (BR), Park Overlay (P) and Archaeological Significance Overlay (AS) Districts.</p> |
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Marc Wiener, Associate Planner, presented the staff report. Chair Hillyard opened the public hearing at 6:24 p.m. Tom Meaney, Barbara Livingston, Steve Brooks and Angus Jeffers appeared before the Commission. There being no other appearances, the public hearing was closed at 6:41 p.m.

Commissioner REIMERS moved to continue the application with staff's Special Condition #1; change to #2 – the applicant shall include a note on the plans that exploratory hand digging around the pine tree is required prior to excavating the driveway before returning to the next meeting applicant shall dig around the tree and review findings with City Forester; addition of #3 – submit a street view drawing of the fence; addition of #4 – applicant shall work with neighbor on privacy issue; and addition of #5 – applicant shall comply with site coverage allowance, seconded by PATERSON and carried by the following roll call vote:

AYES: Dallas, Reimers, Paterson, Hillyard
 NOES: None
 ABSENT: None
 ABSTAIN: None

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| <p>6. DR 12-7
 James & Catherine Bell
 Mission 3 NE 8th
 Block 89, Lot(s) 14 & 16</p> | <p>Consideration of a Preliminary Design Concept for the construction of a new residence located in the Residential and Limited Commercial (RC) District.</p> |
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Commissioner Reimers re-cused herself from the discussion.

Marc Wiener, Associate Planner, presented the staff report. Chair Hillyard opened the public hearing at 6:54 p.m. Richard Barrett and James Bell appeared before the Commission. There being no other appearances, the public hearing was closed at 7:03 p.m.

There was no motion needed for this item.

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| 7. DS 12-21
Robert & Lucille Biesbroeck
W/s Crespi 3 N Flanders
Block 103, Lot(s) 27 | Consideration of a Design Study application for a new fence, arbor and driveway chain for a property located in the Single Family Residential (R-1) District. |
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Chair Hillyard re-cused himself from the discussion.

Sean Conroy, Planning & Building Services Manager, presented the staff report. Vice-chair Paterson opened the public hearing at 7:14 p.m. Lucille Biesbroeck appeared before the Commission. There being no other appearances, the public hearing was closed at 7:16 p.m.

Commissioner REIMERS moved **to authorize the arbor and fence across the entire property with a gate for the driveway entrance, no chain shall be used,** seconded by DALLAS and **carried** by the following roll call vote:

AYES: Dallas, Reimers, Paterson
 NOES: None
 ABSENT: Hillyard
 ABSTAIN: None

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| 8. MP 12-4*
City of Carmel
W/s San Antonio bt. Ocean &
4 th | Consideration of Design Study and Coastal Development Permit applications for the construction of a pedestrian pathway on the west side of San Antonio Avenue between Ocean and Fourth Avenues and conceptual review of a board walk and viewing platform located just west of the Del Mar Parking area. |
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Sean Conroy, Planning & Building Services Manager, presented the staff report. Chair Hillyard opened the public hearing at 7:27 p.m. There being no appearances, the public hearing was closed at 7:27 p.m.

Commissioner REIMERS moved **to accept plan as designed with staff's Special Conditions and Findings and if possible to move retaining wall at San Antonio & 4th further west,** seconded by DALLAS and **carried** by the following roll call vote:

AYES: Dallas, Reimers, Paterson, Hillyard
 NOES: None
 ABSENT: None
 ABSTAIN: None

9. Capital Improvement Plan
City of Carmel

Consideration of a review of the 2012/13
Capital Improvement Plan (CIP) for
consistency with the General Plan.

Sean Conroy, Planning & Building Services Manager, presented the staff report.

Commissioner PATERSON moved **to adopt a Resolution determining that the CIP is consistent with the General Plan**, seconded by DALLAS and **carried** by the following roll call vote:

AYES: Dallas, Reimers, Paterson, Hillyard
NOES: None
ABSENT: None
ABSTAIN: None

X. ADJOURNMENT

There being no further business to come before the Commission, the meeting was adjourned at 7:36 p.m.

Leslie Fenton, Administrative Coordinator

ATTEST:

Steve Hillyard, Chair

CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION
AGENDA CHECKLIST

MEETING DATE: 9 May 2012

BLOCK: N/A LOT: N/A

FIRST HEARING: 2/28/12

CONTINUED FROM: N/A

ITEM NO: MP 12-7

APPLICANT: City of Carmel

SUBJECT:

Consideration of Design Review and Coastal Development Permit applications for the construction of a boardwalk and viewing platform in the North Dunes of Carmel Beach.

ENVIRONMENTAL REVIEW:

Adopted Mitigated Negative Declaration

LOCATION:

NW Cor. of Del Mar & Ocean

ZONING:

P, AS, BR, ESHA

ISSUES:

1. Is the project consistent with the Local Coastal Program and the Del Mar Master Plan?

OPTIONS:

1. Approve the application with special conditions.
2. Continue the application.
3. Deny the application.

RECOMMENDATION:

Option #1 (Approve the application with special conditions.)

ATTACHMENTS:

1. Staff Report dated 9 May 2012.
2. Project Plans.
3. Excerpts from the Del Mar Master Plan.

STAFF CONTACT: Sean Conroy, Planning & Building Services Manager

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

STAFF REPORT

TO: CHAIR HILLYARD AND PLANNING COMMISSIONERS

FROM: SEAN CONROY, PLNG & BLDG SERVICES MANAGER

DATE: 9 MAY 2012

SUBJECT: CONSIDERATION OF DESIGN REVIEW AND COASTAL DEVELOPMENT PERMIT APPLICATIONS FOR THE CONSTRUCTION OF A BOARDWALK AND VIEWING PLATFORM IN THE NORTH DUNES OF CARMEL BEACH.

BACKGROUND & DESCRIPTION

The North Dunes of Carmel Beach are part of the last remaining undeveloped dunes within the City limits. The North Dunes is a 4 to 5 acre tract of substantially disturbed dunes located on the north end of the beach adjacent to the Del Mar parking area at the foot of Ocean Avenue. Special status species found in the area include the Tidestrom's lupine, the central dune scrub, and the Black Legless Lizard.

In accordance with General Plan Goal 4-2 the City adopted the Del Mar Master Plan (DMMP) in 2009. The DMMP addresses issues related to parking, circulation, public access, aesthetics and environmental resources of the parking area and adjacent dunes and was reviewed by the Planning Commission, City Council and Coastal Commission. On 11 November 2012 the City was awarded a \$250,000 grant from the Coastal Conservancy to implement elements of the DMMP.

On 11 April 2012 the Commission approved the San Antonio Pathway portion of the Del Mar Master Plan. The Commission also discussed the proposed boardwalk and viewing platform and was supportive of the design and location.

The proposed project includes:

- A wood boardwalk that would lead from the existing sidewalk on the north side of the Del Mar parking area to a viewing platform on the bluff top.
- The viewing platform is approximately 10' x 15' that would offer views of the coast.
- The platform will be made of wood with cable rails, and will also include a bench.

EVALUATION

CEQA: The City adopted a Mitigated Negative Declaration (MND) for the Del Mar Master Plan, which included this project in 2009. Staff has added the mitigation measures identified in the MND as special conditions of approval. The DMMP included a survey of the dunes by a qualified botanist. No sensitive plant species were identified in this section of the dunes (see figure 3 of the DMMP).

The project is located in an a portion of the dunes where black legless lizards conceivably could pass from the North Dunes area on the north to the Del Mar Dunes to the south. The proposed boardwalk will be placed on the sand with no formal footings or foundations. The lizards are known for burrowing in the sand and will not be impeded by the construction of the boardwalk.

Boardwalk & Viewing Platform: Policy P4-19 of the DMMP and the Local Coastal Plan states the following:

“Provide disabled access consistent with ADA requirements. Provide access that blends with the beach and allows disabled individuals the opportunity to enjoy a more natural beach experience.”

The implementation section of the DMMP states that following with regards to dune and beach access:

“Viewing Platform: An ADA accessible boardwalk is proposed at the south end of the Del Mar parking area that leads to a bluff-top viewing platform. This will provide expansive views of the ocean and coastline and enhance the opportunities for disabled individuals to enjoy a more natural beach experience.”

Figure 4 of the DMMP showed the boardwalk and viewing platform further south. The proposed location further north was selected for the following reasons:

- More accessible from the sidewalk, crosswalk and handicap parking stalls.
- The dunes are flatter and more conducive for an ADA boardwalk.
- Avoids impacting views from neighboring properties.
- The acacia vegetation will reduce the visibility of platform from the beach and the parking area.

The platform has been increased in size as recommended by the Commission at the previous meeting.

ESHA: The North Dunes of Carmel Beach is considered an Environmentally Sensitive Habitat Area. CMC Section 17.20.220.E establishes performance standards for any development in ESHA. These standards are identified below followed by a brief response.

a. New development shall be designed, sited, constructed, and maintained so as to avoid, or minimize if avoidance is not feasible, disruption of the habitat values in the ESHA.

Response: The boardwalk is sited in an area that already experiences heavy pedestrian traffic and will be located above bare sand. No sensitive species have been identified in this area. The platform will require the trimming of the existing acacia shrubs on the bluff top. However, the acacias are not native and are not considered a sensitive species.

b. New development within an ESHA shall be limited to uses that are dependent upon the resource.

Response: Providing for improved pedestrian access in and through the dunes is considered a use that is protective of, and dependent upon the resource. The proposed plan is consistent with the City's ESHA requirement and the requirements of the California Coastal Act.

c. Where feasible, damaged habitats shall be restored as a condition of development approval.

Response: No habitat damage is anticipated with the proposed project. Staff has added several conditions of approval to ensure protection of sensitive areas during construction.

d. Development shall be consistent with the biological continuance of the habitat.

Response: The proposed project will provide access in a manner that is protective of the biological resources in the area and will allow for the continuance of the habitat. The project is part of a larger Master Plan that envisions removing invasive species throughout the dunes and restoring the dunes to a more natural, native state.

The City would like to include some educational signage with the platform but has not yet determined what it might include.

RECOMMENDATION

Approve the Design Study and Coastal Development Permit applications with the attached findings and conditions.

FINDINGS

1. The proposed project, as conditioned, is consistent with the goals, objectives and policies of the General Plan/Local Coastal Program and the Del Mar Master Plan for providing improved access, safety and pedestrian connectivity.
2. The project site is located between the first public road and the sea and will improve public access to and along Carmel Beach and the North Dunes.

SPECIAL CONDITIONS

1. This approval constitutes Design Study and Coastal Development permits authorizing the construction of a pedestrian pathway consistent with the plans approved on 9 May 2012 except as conditioned by this permit.
2. Temporary fencing, signage and flagging will be installed by a qualified botanist or the City Forester around sensitive species prior to the commencement of construction or restoration activities. All work crews shall be instructed to avoid sensitive areas. Ongoing monitoring of the *L. tidestromii* var. *tidestromii* population will be performed to ensure the protection of the species.
3. All invasive species shall be removed by hand. If it is determined that the use of herbicide is necessary, overspray of herbicide during treatment of evasive species will be avoided by only spraying on calm mornings with winds less than 5 m.p.h. No herbicide will be used within 30 ft. of the *L. tidestromii* var. *tidestromii* locations. Any exotics in these areas will be removed by carefully hand-pulling and deposited off-site.
4. No wind fences shall be installed. This will avoid inadvertent sand depositions on sensitive species.
5. Care shall be taken each time sand is disturbed to avoid impacts to individual Black Legless Lizards.
6. Removal of all leaf material under small non-native trees shall be completed 48 hours prior to removal to minimize any possibility of impacts to the BLL.

7. If any Black Legless Lizard is observed during non-native plant removal or other construction activities, work shall immediately stop for 24 hours to allow the BLL to move away from the area.
8. All digging in the dunes shall be done by hand with caution to avoid sensitive plants and Black Legless Lizards.
9. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is prepared by a professional archaeologist and approved by the Planning Commission.
10. If potentially unique paleontological (fossils) resources are discovered during construction activities work shall be immediately halted within 50 feet of the discovery. A professional paleontologist shall be retained to determine the significance of the discovery.
11. If human remains are discovered during construction activities all work shall be immediately halted within 50 feet of the discovery and the City shall be notified along with the County Coroner. If the remains are determined to be Native American, the Native American Heritage Commission shall be notified by the County Coroner and the procedures outlined in CEQA Section 15064.5(d) and (e) shall be followed.
12. Invasive removals, new plantings and monitoring shall be performed consistent with the recommendations in Appendix "A" of the Del Mar Master Plan.
13. The boardwalk shall be placed on top of the sand with no formal footings or foundations.

RESTROOM BUILDING

LIMITS OF DEAD CYPRESS TREE

CYPRESS TREE DAPLINE

TRASH FENCE

(E) ACCESSIBLE ROUTE

AC BERM

(N) ACCESSIBLE BOARDWALK

SIGN

010" CYPRESS
012" CYPRESS
012" CYPRESS

01" CYPRESS

18.00

19.00

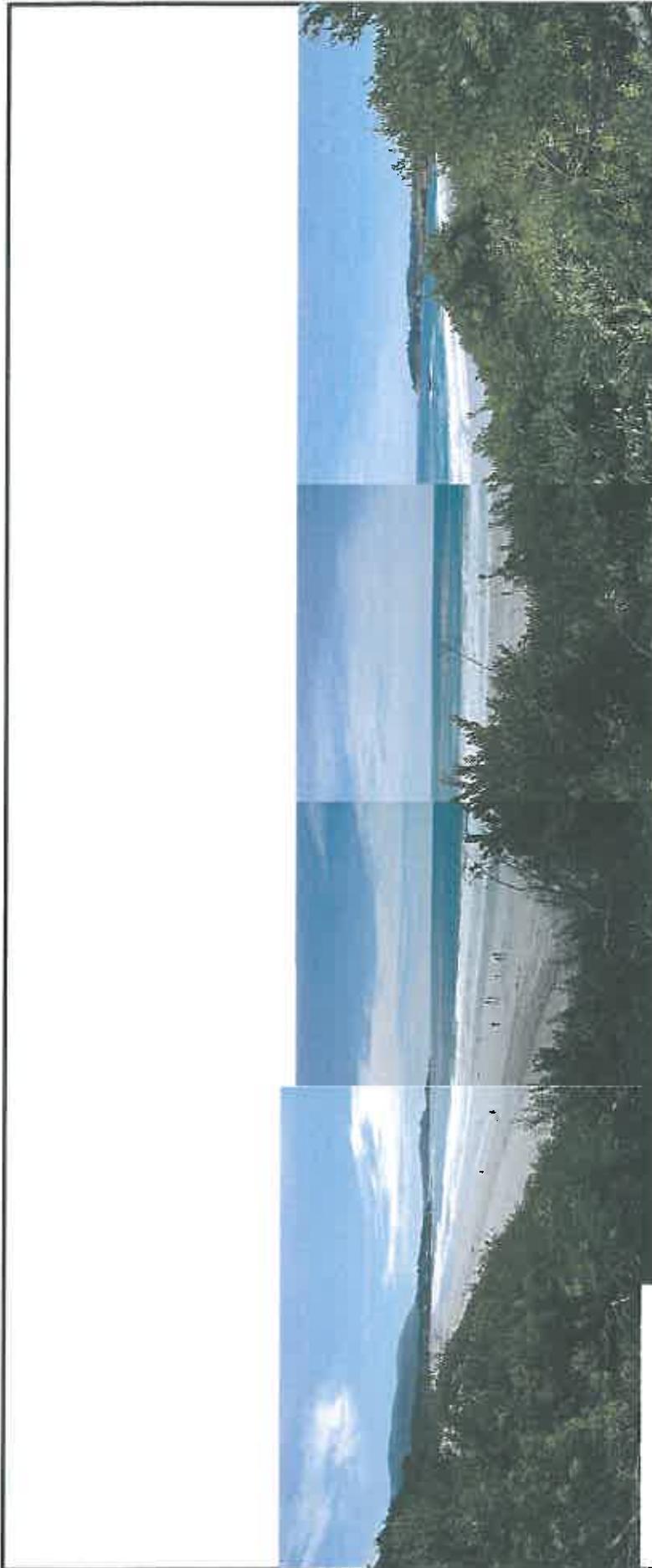
50



DESIGNED BY:	JR
CHECKED BY:	JR
DATE:	4-20-11
SCALE:	AS NOTED
CON NUMBER:	11-001
LAST REVISION:	XXX
APPROVED BY:	XXX

PROPOSED ACCESSIBLE OVERLOOK
PRELIMINARY SITE PLAN

CITY OF CARMEL BY THE SEA
Planning and Building Services
Carmel, CA 93921
(831)620-2010



DRAWN BY: JFR
DESIGNED BY: JFR
DATE: 3-29-13
SCALE: AS NOTED
JOB NUMBER: 12-001
LAST REVISED: XXX
REVISIONS BY: XXX

PROPOSED ACCESSIBLE OVERLOOK VIEW

CITY OF CARMEL BY THE SEA
Planning and Building Services
Carmel, CA 93921
(831)620-2010



NOTE:
 PEBBLE BEACH
 OVERLOOK WAS BUILT
 10' WIDE BY 50' LONG
 <\$100,000



CITY OF CARMEL BY THE SEA
 Planning and Building Services
 Carmel, CA 93921
 (831)620-2010

PROPOSED ACCESSIBLE OVERLOOK
 SAMPLE PHOTOS:
 RECENTLY CONSTRUCTED PEBBLE BEACH CO.
 OVERLOOK

DESIGNED BY: JPK
 DESIGNED BY: JPK
 DATE: 3-26-12
 SCALE: AS NOTED
 JOB NUMBER: 12-001
 LAST REVISED: XXX
 REVISED BY: XXX



DEL MAR MASTER PLAN EXCERPTS

Policies and Objectives:

- P4-3** Improve and sign the vertical access at Fourth Avenue. Consider development of a pedestrian path from the foot of Jane Powers walkway to the Fourth Avenue beach access through Sand and Sea. Investigate and implement opportunities to establish or reestablish additional vertical access from North San Antonio to the beach to the extent feasible.
- P4-15** Address circulation and parking problems. Make the area more pedestrian/people friendly and protect the environment.
- P4-18** Improve the pedestrian experience through the Del Mar Pparking area for those arriving on foot and from parked vehicles to the beach. Consider construction of boardwalks or other improvements to aid beach circulation, protect tree roots and protect the sensitive vegetation in the North Dunes area.
- P4-19** Provide disabled access consistent with ADA requirements. Provide access that blends with the beach and allows disabled individuals the opportunity to enjoy a more natural beach experience.
- P4-11** Improve pedestrian circulation between the north end of the Beach Bluff Pathway at Eighth Avenue and the beach facilities at Ocean Avenue and the Del Mar Avenue parking lot as part of the Del Mar and North Dunes Master Plan.
- O4-2** Establish a local segment of the California Coastal Trail through Carmel-by-the-Sea by connecting existing pedestrian paths and developing new pedestrian paths or routes as required to create a continuous trail through the City.

Implementation

Implementation of dune and beach access improvements will be in general conformance with figures 3 and 4 and will include the following improvements:

Viewing Platform: An ADA accessible boardwalk is proposed at the south end of the Del Mar parking area that leads to a bluff-top viewing platform. This will provide expansive views of the ocean and coastline and enhance the opportunities for disabled individuals to enjoy a more natural beach experience.

Trails: A trail is proposed on the west side of San Antonio Avenue connecting Ocean Avenue with the Pebble Beach Gate to the north. This will also allow a pedestrian connection with the Fourth Avenue Pathway and the Jane Powers Walkway. Reconstruction of a staircase is proposed at the north end of the beach providing direct access to the beach from the existing pathway on the north side of the Sand and Sea Development .

CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION
AGENDA CHECKLIST

MEETING DATE: 9 May 2012

BLOCK: 91 LOTS: part 3, 5 & 7

FIRST HEARING: X

CONTINUED FROM: N/A

ITEM NO: UP 09-9/UP 12-2

OWNER: Gunnar Reimers

APPLICANT: Kristi Reimers (Eco Carmel)

STREAMLINING DEADLINE: 6/17/2012

SUBJECT:

Consideration of a Use Permit Amendment authorizing specialty food items to be sold as part of an existing retail store located in the Service Commercial (SC) District.

ENVIRONMENTAL REVIEW:

Exempt (Class 5 – Minor Alterations in Land Use)

LOCATION:

ZONING:

San Carlos 2 SW of 7th

SC

ISSUES:

1. Does the application comply with the Municipal Code and General Plan?

OPTIONS:

1. Approve the application as submitted.
2. Approve the application with special conditions.
3. Continue the application with a request for additional information.
4. Deny the application.

RECOMMENDATION:

Option #2 (Approve the application with special conditions.)

ATTACHMENTS:

1. Staff Report dated 9 May 2012.
2. Findings for Decision.
3. Application Materials/Plans.

STAFF CONTACT: Sean Conroy, Planning & Building Services Manager

**CITY OF CARMEL-BY-THE-SEA
COMMUNITY PLANNING AND BUILDING
STAFF REPORT**

APPLICATION: UP 09-9/12-2
BLOCK: 91
LOCATION: San Carlos 2 SW of 7th

APPLICANT: Kristi Reimers
LOTS: part 3, 5 & 7

REQUEST:

Consideration of a Use Permit Amendment authorizing specialty food items to be sold as part of an existing retail store located in the Service Commercial (SC) District.

BACKGROUND/PROJECT DESCRIPTION:

The site is located on San Carlos Street two southwest of Seventh Avenue in the building known as the Stone House Terrace. The applicant was approved for a Use Permit on 14 October 2009 for a retail shop, providing a broad range of merchandise characterized as “environmentally friendly.”

The applicant is requesting an amendment to the Use Permit to allow for participation in the “Local Catch” program. This program allows customers to pre-pay for locally caught seafood. Each week the seafood is left for pickup at various locations. Eco Carmel would like to have a pickup at its store. The seafood is typically just left in a cooler outside the store where participants can come by at their leisure and pick it up. The applicant would also like to be able to sell locally produced vegetables and other food items.

EVALUATION:

Multiple Ancillary Uses: Under Municipal Code 17.14.4.B, a use that combines activities falling within two or more North American Industry Classification System (NAICS) designations requires a Use Permit. The Municipal Code allows the Planning Commission to combine land use categories within a single business, when the different types of merchandise are clearly related by a common theme.

Specialty food stores are food markets, with no seating, providing a limited range of food items for off-site consumption and preparation. The applicant’s proposal is consistent with this definition. The merchandise within the store, and the proposed food items, will continue to be united by an “environmental sustainability” theme.

Outdoor Food Storage: The following two code sections address outdoor food storage:

8.08.010 Delivery – Deposit on Sidewalk.

In order to safeguard against the contamination of fresh vegetables, fruits, berries, meats and other foodstuffs not sealed in containers, it is unlawful for any person, firm or corporation making delivery of any such foodstuffs to any retail grocer, butcher, restaurant or other retail store where such foodstuffs are displayed and sold at retail to deposit the same, or any of the same, on any sidewalk or other public place in the City or in any yard therein connected with any such store except when delivery of same is made personally to the owner, agent or employees of such store. (Ord. 115 C.S. § 1, 1965; Code 1975 § 940).

8.08.020 Storage Specifications.

It is unlawful for any such owner, agent or employee receiving any delivery, as mentioned in CMC 8.08.010, to leave the same unguarded during the time it is exposed to contamination in any such place or to fail to remove such foodstuffs so delivered from the place of delivery to the place or places within the store for which such delivery was made, or forthwith and immediately thereafter to place such foodstuffs in such containers or upon such shelves or racks or in cases or upon display in such manner that the same cannot be contaminated by any dog or dogs which may enter any such store or stores.

These requirements are primarily to safeguard against having contaminated food sold from retail stores in the City. The proposed “Local Catch” program is somewhat different in that the food is not being stored outside and then later displayed for sale inside the store. Eco Carmel does not actually benefit financially from the sales. The outdoor storage is only provided to facilitate pickup. The storage will be placed outside the south facing door and will be contained on private property (see attached photo).

Staff has added a special condition that the pickup items remain inside the store during the hours the store is open, which would mean the pickup items would be left outside for only a few hours a week. Staff has also added a special condition to address signage.

RECOMMENDATION:

Adopt the amended use permit with the attached findings and conditions.

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

FINDINGS FOR DECISION

UP 09-9/12-2
Kristi Reimers
San Carlos 2 SW of 7th (Eco Carmel)
Block 91, Lots part 3, 5 & 7

CONSIDERATION:

Consideration of an amendment to an existing Use Permit application authorizing more than one ancillary use at a retail store located in the Service Commercial (SC) District.

FINDINGS OF FACT:

1. The Planning Commission approved Use Permit 09-9 for EcoCarmel on 14 October 2009.
2. On 17 April 2012 the applicant submitted a request to amend the existing use permit to allow for some specialty food items and to participate in the Local Catch program.

SPECIAL CONDITIONS:

1. Use Permit 09-9 is hereby amended to include the following primary and secondary use categories:

Primary Use:	444130	Hardware Store (paints, light bulbs, energy detection devices, water savings, etc. – 35%
Ancillary Uses:	442299	Home Furnishings (linens, towels, candles, mattresses, furniture, etc.) – 25%
	442299	Kitchen Store (cleaning products) - 10%
	446191	Cosmetics/Tea & Vitamins – 3%
	448130	Baby Clothing/Products – 10%
	448140	Clothing Store (organic clothing) – 4%
	453910	Pet Shop (natural pet products) – 5%
	453310	Book Store – 3%
	445299	Specialty Food Store – 5%

2. This site may be a drop off/pick up location for Local Catch and other similar programs for no more than two days a week. All pick ups shall take place inside the store except after store hours when it may be placed on private property outside the store.

3. No more than one temporary sign, no larger than three square feet, may be displayed during drop off/pick up days for the Local Catch and other similar programs.
4. The applicant shall comply with all applicable Monterey County Health Department requirements.
5. All other conditions as adopted on 14 October 2009 remain in force.

April 11, 2011

Dear Sean and the Members of the Planning Commission,

I am requesting an alteration of my existing use permit to include "Specialty Food Store". My original application included this because of my wanting to carry teas. Because "teas" fell under another category also, the category was omitted.

After being open for a year and a half, I have learned more about the Monterey Peninsula "planet friendly" community and how I can work in unison with that community.

One business that we have here in the Monterey Peninsula (as well as a concept that is established in coastal communities all over the US) is Local Catch (a Community Supported Fishery.)

Based on the community-supported agriculture (CSA) model, a community supported fishery (CSF) is a program that links fishermen to a local market. In a CSF, customers pre-pay for a "season" of fresh, local, low-impact seafood, and in turn they receive a weekly or bi-weekly share of fish or shellfish. CSFs seek to reconnect coastal communities to their food system, encourage sustainable fishing practices, and strengthen relationships between fishermen and communities.

I am asking to be able to be a drop off spot for the fish and vegetables that are picked locally. Local Catch (fish) and We Cooperative (vegetables) would be the companies that I would work with. They both have drop off spots all over the Peninsula already.

In these other drop off spots, they are located outside of the business so that the customers can come and pick up anytime in the 3-4 hour per week time bracket. We Cooperative and Local Catch drop off at all of their locations on Tuesday afternoon/evenings. Pick up in Carmel would be from 4pm-8pm. This way people who work can pick up their fish and vegetables after work.

For more information, please visit the two websites:

<http://www.localcatchmontereybay.com/> (Oren and Alan - 831.345.5153)

<http://wecooperative.com/> (Colleen Logan - 831.708.8315)

Please see attached information on the concept.

Thank you for your time,



Kristi Reimers
Eco Carmel
Proprietor
831.624.1222

LOCAL CATCH.ORG

A NETWORK OF COMMUNITY SUPPORTED FISHERIES



About the Network

LocalCatch.org is an online network that links consumers to community supported fisheries (CSFs).

The network seeks to increase the visibility of CSFs and it aims to provide assistance to individuals and organizations that need support envisioning, designing, and implementing locally-relevant businesses that work towards a triple bottom line.

For more information, or to join LocalCatch.org contact us at: info@localcatch.org

Find a [CSF](#)



Participating CSFs

(nationwide)



Cape Ann Fresh Catch

Cape Cod Community Supported Fishery



About Us | WE Cooperative

Making the world a better place, one box of veggies and goods at a time.

The WE Cooperative is part of the growing community supported agriculture or CSA movement. WE coordinates with local artisans and with Catalan Family Farm, located in Hollister, CA to bring you fresh, seasonal, organic produce and natural goods each week in your very own box.

As a community of people living on and around the Monterey Peninsula who actively support the local economy through natural living, the WE Cooperative embrace the following principles:

- **Working cooperatively.**
We, as small scale producers, are working with each other in a cooperative way, building community within our community, to help support each other in our values and livelihood.
- **Keeping money local.**
Subscribing to a CSA provides direct support to local farmers and artisans
- **Providing people with access.**
Making it easy to pick up sustainably grown and produced vegetables, eggs, fruit, and other value-added products, near where people live and work, so they can integrate it into their lives.
- **Supporting local producers in planning ahead.**
Providing small producers with a subscription – or ordering ahead — allows the producer to predict how much to grow or make, and provides operating capital throughout the growing season. The longer subscriptions allow the producer to have more stability – not underplanting or underproducing, nor overproducing or overplanting without a market.
- **Sharing the risk with our farmers and producers.**
Farming is a business filled with uncertainty, with rain, sun, temperature affecting the



Photo Credit: Jill Bell

crops produced. Subscribers help share that risk by paying in advance for what the farmer can grow, which is variable, not for a specific outcome.

- **Linking people to the earth via their food.**
Eating food grown and produced locally allows subscribers to eat healthfully, use what's in season, and experiment with new foods.

Fresh Catch Pickup Location



Example of Pickup Area



CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION
AGENDA CHECKLIST

MEETING DATE: 9 May 2012

BLOCK: 78 LOTS: All

FIRST HEARING: X

CONTINUED FROM: N/A

ITEM NO: SI 12-16

OWNER: Macerich Co. (Carmel Plaza)

APPLICANT: David Fink

STREAMLINING DEADLINE: 1/10/11

SUBJECT:

Consideration of a Sign application to allow a second business sign for a restaurant and a decal sign on a glass door of an office located in the Central Commercial (CC) District.

ENVIRONMENTAL REVIEW:

Exempt (Class 11– Signage)

LOCATION:

ZONING:

NE Cor. Mission & 7th

CC

ISSUES:

1. Does the application comply with the Municipal Code and General Plan?

OPTIONS:

1. Approve the application as submitted.
2. Approve the application with special conditions.
3. Continue the application with a request for additional information.
4. Deny the application.

RECOMMENDATION:

Option #2 (Approve the application with special conditions.)

ATTACHMENTS:

1. Staff Report dated 9 May 2012.
2. Application materials.

STAFF CONTACT: Sean Conroy, Planning & Building Services Manager

**CITY OF CARMEL-BY-THE-SEA
COMMUNITY PLANNING AND BUILDING
STAFF REPORT**

APPLICATION: SI 12-16

APPLICANT: David Fink

BLOCK: 78

LOT: All

LOCATION: NE Cor. Mission & 7th

REQUEST:

Consideration of a Sign application to allow a second business sign for a restaurant and a decal sign on a glass door of an office located in the Central Commercial (CC) District.

BACKGROUND/PROJECT DESCRIPTION:

On 10 August 2011 the Planning Commission issued Design Review and Use Permit approvals for a new restaurant at this location. The approval also included a new office space adjacent to the restaurant that would be occupied by the owners of the restaurant. At the time, the restaurant was going to be called "What's Your Beef." The name of the restaurant has now been changed to "400° Gourmet Burgers and Fries."

Staff administratively approved one hanging sign near the entrance on Mission Street on 13 April 2012. The applicant is now requesting to have a second sign to be located on Seventh Avenue. The applicant is also requesting approval for a decal sign on the door of the office space for the "Mirabel Hotel & Restaurant Group."

EVALUATION:

Signage: CMC Section 17.40 establishes the City's regulations on signage. The regulations include limitations on the number, location, design, size, and content of signage. The regulations are designed to avoid visual clutter and to ensure that signage is used primarily for identification purposes and not as notice-attracting devices. The code requires Planning Commission approval for any signage applied to glass, and allows the Commission to approve additional signage "*in unusual circumstances such as, but not limited to, a business that has entrances on two different public rights-of-way.*"

The proposed business decal sign on the door of the office space limits visual clutter and is appropriate for the site. Staff also supports the second business sign for the restaurant for the following reasons:

- The restaurant is a large space and includes entrances on two separate streets.
- The second sign will not add to the visual clutter of Seventh Avenue as there are no other business signs on that side of the street.

RECOMMENDATION:

Approve the second restaurant sign and the office decal sign with the attached conditions.

SPECIAL CONDITION:

1. No additional exterior signage shall be proposed or installed including signage applied to the glass.
2. All interior signage shall be consistent with CMC Section 17.40.040.
3. The exterior sign lighting shall be turned off when the restaurant is closed for business.

Dear Sean,

Thank you for consideration of our additional signage requirements for the corner of Mission and 7th. The project space is in the Carmel Plaza and the signage needs have been approved by Macerich.

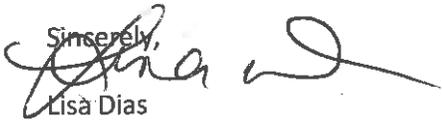
The project consists, as you know, of a Gourmet Burger Restaurant, 400° and adjoining office space to be used by Mirabel Hotel & Restaurant Group. As 400° take up the corner of Mission and 7th, we would like to have an additional sign on the 7th Street side to ensure patrons can find us from either Mission or 7th.

Additionally, we would like to have a decal sign for Mirabel Hotel & Restaurant group to go on the door to the office. It will be a small decal, and with the inset door, is mostly for identification purposes.

Please let me know if you have additional questions or concerns!

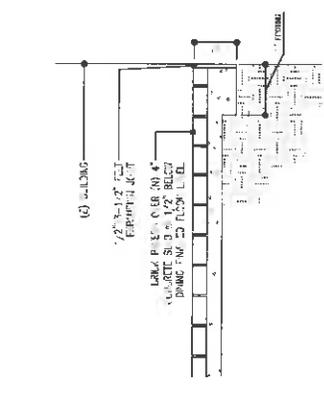
Thank you again for your consideration,

Sincerely,

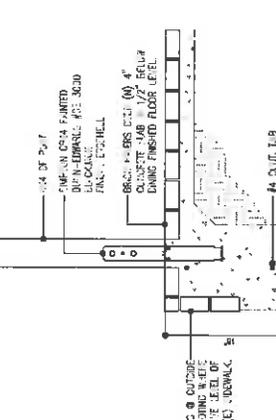


Lisa Dias

Mirabel Hotel & Restaurant Group



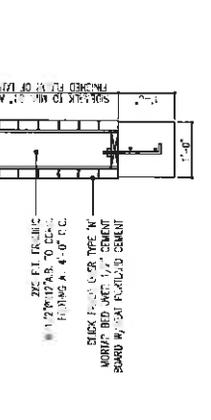
UPPER WINDOW PLAN
SCALE: 1/4" = 1'-0"



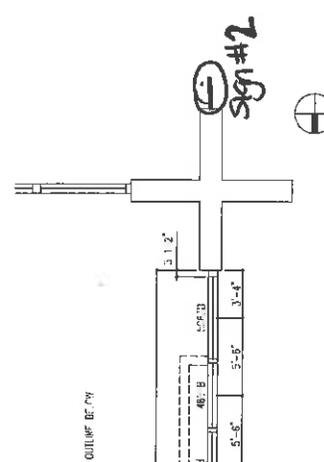
PATIO FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



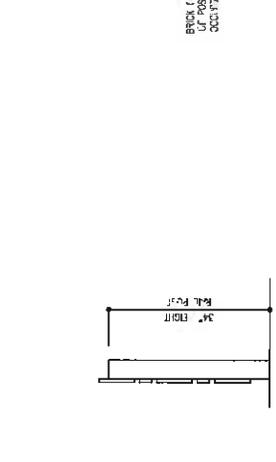
RAIL POST ELEVATION
SCALE: 1/4" = 1'-0"



TRELLIS AND RAILING ELEVATIONS
SCALE: 1/2" = 1'-0"



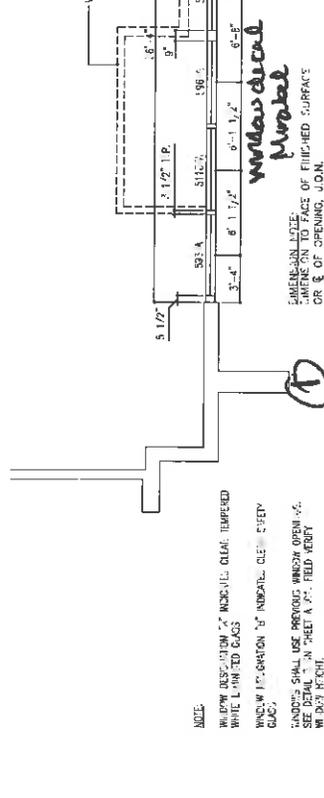
PATIO FOOTING & WALL
SCALE: 1/2" = 1'-0"



POST DETAIL
SCALE: 1/2" = 1'-0"



RETAINING WALL
SCALE: 1/2" = 1'-0"



SITE PLAN
SCALE: 1/4" = 1'-0"

GARMENT PLAZA BURGERS BAR
BE CORNER MISSION & 7TH, BLOCK 70
CARMEL-BY-THE-SEA, CA

SITE PLAN
SCALE: 1/4" = 1'-0"

DETAILS
SCALE: 1/2" = 1'-0"

Mirabel

Hotel & Restaurant Group

Decal sign to be placed on the front door to the office



Proposed Second Restaurant Sign on Ivy Covered Pillar

*2nd
Sign Location*



CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION
AGENDA CHECKLIST

MEETING DATE: 9 May 2012

BLOCK: 76 LOT: 13 & 15

FIRST HEARING: X

CONTINUED FROM: N/A

ITEM NO: SI 12-10

PROPERTY OWNER: Margaret Fairley

APPLICANT: Ambiance Interiors

STREAMLINING DEADLINE: 6/17/12

SUBJECT:

Consideration of an application for a second business sign on a building located in the Central Commercial (CC) District.

ENVIRONMENTAL REVIEW:

Exempt (Class 11 – Signs)

LOCATION:

W/s San Carlos bet. Ocean & 7th

ZONING:

CC

ISSUES:

1. Is the request consistent with Municipal Code Section 17.40?

OPTIONS:

1. Approve the application as submitted.
2. Approve the application with special conditions.
3. Continue the application with a request for changes.
4. Deny the application.

RECOMMENDATION:

Option #2 (Approve the application with special conditions.)

ATTACHMENTS:

1. Staff Report dated 9 May 2012.
2. Application Materials.

STAFF CONTACT: Marc Wiener, Associate Planner

**CITY OF CARMEL-BY-THE-SEA
COMMUNITY PLANNING AND BUILDING
STAFF REPORT**

APPLICATION: SI 12-10

APPLICANT: Ambiance Interiors

BLOCK: 76

LOTS: 13 & 15

LOCATION: W/s San Carlos bet. Ocean & 7th

REQUEST:

Consideration of an application for a second business sign on a building located in the Central Commercial (CC) District.

BACKGROUND/PROJECT DESCRIPTION:

The business space is located on the west side of San Carlos Avenue between Ocean and Seventh Avenues in the Paseo San Carlos courtyard. The space was recently occupied by a business named Ambiance Interiors. The store is located at the front of a courtyard.

The applicant was recently approved for a blade sign above the entry door, and has submitted an application for a second sign on the eastern wall that faces San Carlos Street. The proposed sign is six square feet and includes the name "Ambiance" written in gold lettering.

EVALUATION:

Maximum Number of Signs: CMC 17.40.020 limits the maximum number of signs that staff can approve to one. Additional signs require approval from Planning Commission. The Code states that "*additional business signs may be permitted in unusual circumstances such as, but not limited to, a business that has entrances on two different public ways.*" The Code states that the purpose of these standards is to prevent the installation of an excessive number of signs and to avoid visual clutter.

The applicant is proposing two signs for the business. One sign is located above the door within the courtyard, and has already been approved by staff. The approved sign is made of wood and is three square feet. The second sign would be located on the eastern wall that faces San Carlos Street. The proposed sign is made of wood and is six square feet.

The space does not have entrances on two separate streets. However, the proposal does not present visual clutter or an excessive number of signs. In fact, the front of the building appears somewhat bare, and may benefit from a design element such as a sign.

The neighboring store, Kocek Jeweler, also has a sign near the door and at the front of the building at the same location being proposed by the applicant. The proposed sign would add some symmetry to the building and improve the street appearance. It should be noted that one difference between the two stores is that Kocek Jeweler's street sign is approximately three square feet, while Ambiance Interiors is proposing a street sign that is six square feet. Staff recommends that the street facing sign be no larger than three square feet.

RECOMMENDATION:

Approve the sign application with special conditions.

SPECIAL CONDITIONS:

1. The sign shall be a maximum size of three square feet.
2. No other signs, including decals on the windows, shall be installed.



MATERIAL CEDAR
2-SIDED HANGING SIGN

DIMENSIONS: 15" x 23"

ROUTED VEE-GROVE

COLORS:
KM 4180-2 BRITTANY BEIGE
KM 3778-5 BASALMIC
GOLD

MATERIAL 3/4" WOOD
ROUTED, PAINTED, STUD MOUNTED DIMENSIONAL LETTERS

DIMENSIONS: 15" x 57" - 6 sq. ft.

COLORS: DISTRESSED GOLD

NEW



Ambience Interior

Approved sign location



Neighboring Store (Kocak Jeweler)



Location of proposed 2nd sign



CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION
AGENDA CHECKLIST

MEETING DATE: 9 May 2012

BLOCK: 53 LOTS: E ½ 17 & 19

FIRST HEARING: X

CONTINUED FROM: N/A

ITEM NO: DS 12-23/UP 12-2

APPLICANT: Pot D'or LLC

STREAMLINING DEADLINE: 5/21/12

SUBJECT:

Consideration of Design Study (Final), Demolition Permit and Coastal Development Permit applications for the construction of a new residence located in the Single Family Residential (R-1) District.

ENVIRONMENTAL REVIEW:

Exempt (Class 3 – new construction)

LOCATION:

NW Cor. Lincoln & 5th

ZONING:

R-1

ISSUES:

1. Does the proposed design comply with the Residential Design Objectives (CMC 17.10.1) and the Residential Design Guidelines?

OPTIONS:

1. Approve the application as submitted.
2. Approve the application with special conditions.
3. Continue the application with a request for changes.
4. Deny the application.

RECOMMENDATION:

Option #2 (Approve the application with special conditions.)

ATTACHMENTS:

1. Staff Report dated 9 May 2012.
2. Application Materials/Plans.

STAFF CONTACT: Marc Wiener, Associate Planner

**CITY OF CARMEL-BY-THE-SEA
COMMUNITY PLANNING AND BUILDING
STAFF REPORT**

APPLICATION: DS 12-23/UP 12-2
BLOCK: 53
LOCATION: NW Cor. Lincoln & 5th

APPLICANT: Pot D'or LLC
LOTS: E ½ 17 & 19

REQUEST:

Consideration of Design Study (Final), Demolition Permit and Coastal Development Permit applications for the construction of a new residence located in the Single Family Residential (R-1) District.

ADDITIONAL REVIEW:

1. Planning Commission 4/11/12.

BACKGROUND/PROJECT DESCRIPTION:

The project site is located at the northwest corner of Lincoln Street and Fifth Avenue and is comprised of two separate 4,000 square foot lots that are developed as a single building site. There is currently a single-family residence, subordinate unit and detached two-car garage located on the property.

The applicant is proposing to demolish the structures on the property in order to construct two new single family residences. This project was reviewed at the April 2012 Planning Commission meeting. The Planning Commission approved a Use Permit application for a lot line adjustment. The reconfigured lot line creates an eastern lot and western lot. The eastern lot is the subject of this design study (DS 12-23), while the western lot is the subject of a separate design study (DS 12-24).

On the eastern lot the applicant is proposing to construct a new 1,800 square foot, two-story residence. The proposed residence includes a 1,313 square foot main level and a 487 square foot upper level. The proposed residence is clad with stucco siding and includes wood half-timbers on the upper level. The residence also includes unclad wood windows, stone on the entry and a wood shingle roof.

The Planning Commission reviewed the building design at the previous meeting and accepted the design concept with a condition that the applicant reduce the height of the building. The applicant has revised the plans to comply with this condition as discussed in the next section of the report.

With regards to the plans, the applicant has submitted a full-sized elevation drawing and a landscape plan. Other pages such as the site plan, floor plan, etc remain identical to what was shown at the first hearing and are included as a reduction copy in the packet.

PROJECT DATA FOR A 4,000 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 sf (45%)	NA	1,800 sf (45%)
Site Coverage	556 sf (13.9%)	NA	556 sf (13.9%)
Trees (upper/lower)	3/1 trees	3/4 trees	3/4 trees
Ridge Height (1 st /2 nd)	18/24 ft.	NA	16 ft./21.5 ft.
Plate Height (1 st /2 nd)	12 ft./18 ft.	NA	12 ft. /18ft.
Setbacks	Minimum Required	Existing	Proposed
Front	10 ft.	NA	13 ft. 2 in.
Composite Side Yard	12.5 ft. (25%)	NA	15 ft. (30%)
Side Yard (Street)	9 ft.	NA	11 ft.
Side Yard (Interior)	3 ft.	NA	4 ft.
Rear	3 ft.	NA	4 ft.

EVALUATION:

Previous Hearing: The following is a change requested by the Planning Commission and a response on how the applicant has or has not complied:

- The applicant shall lower the height of the building.*

Response: At the previous meeting the Planning Commission requested that the applicant reduce the building height by an unspecified amount. The applicant has complied with this request by reducing the roof pitch from 8:12 to 7:12, which has lowered the height of the building by nearly one foot. The applicant did consider reducing the pitch more, but was concerned that if the pitch became too shallow it would be inconsistent with the architectural style of the building.

Since the first hearing the volume study has been completed and the proposed residence is 4,044 cubic feet below the allowed volume, which is a substantial amount. Staff supports the height of the building given that it is now two-and-a-half feet below the allowed height and is significantly below the allowed volume.

Finish Details: Design Guidelines 9.5 - 9.8 encourage the *“use of natural materials”* and indicate that if stucco is to be used it should be *“in conjunction with some natural materials such as wood and/or stone...but should not be repeated to excess within a block.”* With regards to stonework, Guideline 9.10 states that *“the application of stone should appear structural and authentic”* and *“should be used on the full exterior of individual building elements.”*

The applicant is proposing stucco siding in conjunction with a wood single roof, wood half-timbers on the upper level and unclad wood doors and windows. The use of wood introduces natural materials into the design. One benefit of using stucco on this home is that it will be differentiated from the proposed residence on the western lot, which will have wood siding.

The applicant is proposing to use stone on the entry structure. The proposed stone covers the entire building element and appears structural. Staff notes that it is fairly common for designers to use stone around the entry only, as opposed to using it throughout the entire residence.

Landscape Plan: The applicant has provided a detailed landscape plan showing landscaping on the property. The plan does not show any landscaping improvements for the right-of-way or fence details. A special condition has been added that the applicant work with staff on these two issues prior to building permit submittal.

RECOMMENDATION:

Approve the applicant with the attached special condition.

SPECIAL CONDITION:

1. The applicant shall work with staff on the landscape plan to review options for improving the landscaping in the right-of-way and on reviewing the fence details if a fence is being proposed.

FINDINGS REQUIRED FOR CONCEPT AND FINAL DESIGN STUDY APPROVAL
(CMC 17.64.8 and LUP Policy P1-45)

For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.

Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits, variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	
9. The proposed exterior materials and their application rely on natural materials and the overall design will as to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	

11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

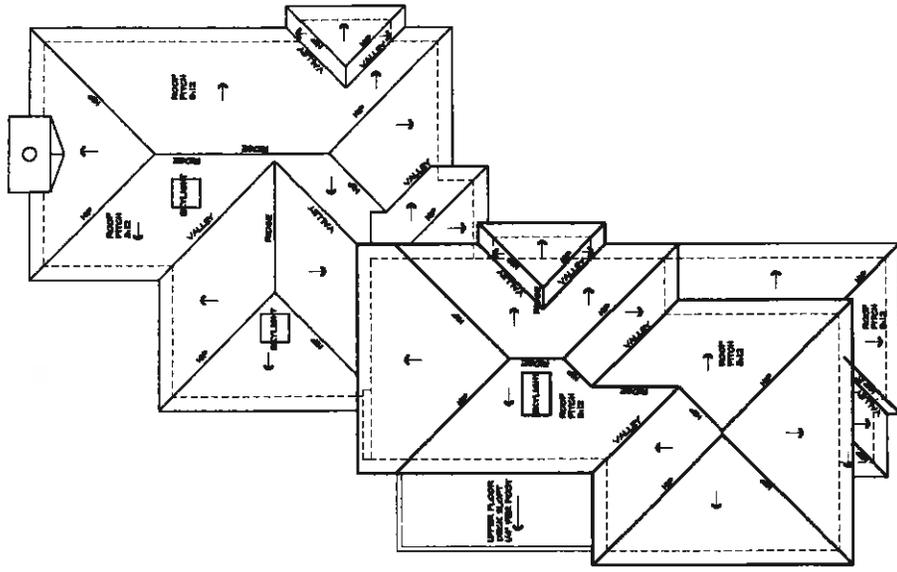
COASTAL DEVELOPMENT FINDINGS (CMC 17.64.B.1):

1. The project conforms with the certified Local Coastal Program of the City of Carmel by the Sea.
2. The project is not located between the first public road and the sea and no review is required for potential public access.

Standard R-1 Conditions		
No.	Condition	
1.	This approval constitutes Design Study and Coastal Development permits authorizing the demolition and construction of a new residence. All work shall conform to the approved plans dated 9 May 2012 except as conditioned by this permit.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes shall require separate approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the Forest and Beach Commission; and all remaining trees shall be protected during construction by	✓

	methods approved by the City Forester.	
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000 square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing any proposed changes to the project plans as submitted on 9 May 2012 and approved by the Planning Commission, prior to incorporating changes on the site. If the applicant changes the project without first obtaining approval, the applicant will be required to either: a) Submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) Eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection approval.	✓
9.	Exterior lighting shall be limited to 25 watts or less per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use nonreflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	✓
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10 square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.	✓
12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
13.	The applicant agrees, at its sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or	✓

	<p>other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.</p>	
14.	<p>The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.</p>	✓
15.	<p>This project is subject to a volume study.</p>	✓
16.	<p>Approval of this Design Study shall be valid only with approval of the Use Permit.</p>	✓
17.	<p>A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.</p>	✓
18.	<p>The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.</p>	✓
19.	<p>The project plans submitted for building permit review shall comply with the City's Green Building Ordinance (CMC Section 15.54) and obtain a minimum of <u>60</u> points based on the Residential Green Building Checklist.</p>	✓



PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

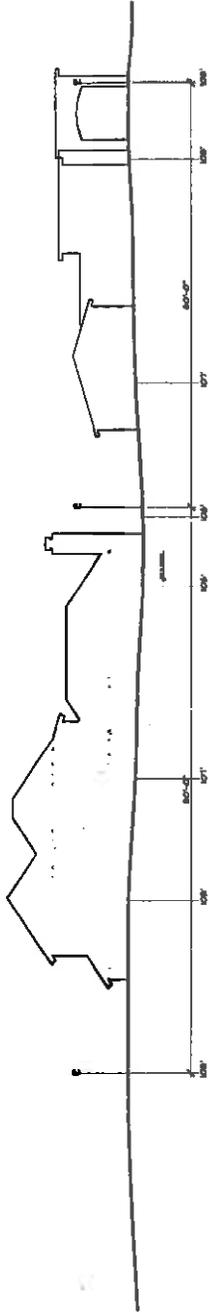
JOHN MANDRIZAGO
Design Studios

E. 1119
= D3

02-18-12
03-22-12

CHRIS TROCHER
LINCOLN BY THE SEA, CA
A.P.N. 010-211-005

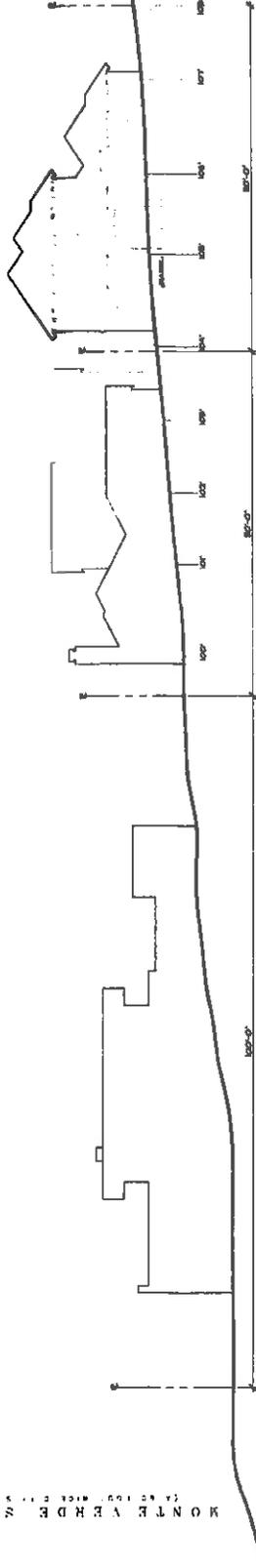
5th AVENUE
14.30' (100' WIDE CITY STREET)



LINCOLN STREET
14.30' (100' WIDE CITY STREET)

EAST ELEVATION

KONTE VERDE STREET
14.30' (100' WIDE CITY STREET)



5th AVENUE
14.30' (100' WIDE CITY STREET)

SOUTH ELEVATION

LINCOLN STREET
14.30' (100' WIDE CITY STREET)

CHRIS TOSCHER
LINCOLN AND 5TH CA
CARNEL BY THE SEA, CA
A.P.N. 010-211-005

02-16-12
03-22-12

1119
= D5

JOHN MANDRIZZO
Design Studios
P. O. BOX 77, CORNELIUS, NC 27424, U.S.A. (813) 233-9900

PROPOSED STREETSCAPE

SCALE: 1/8" = 1'-0"

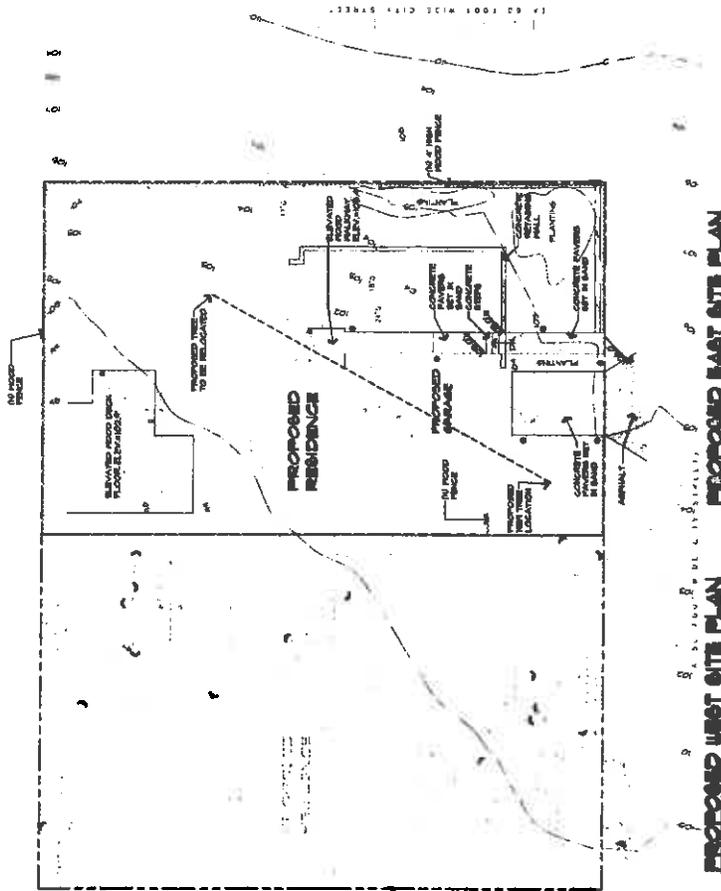
EXTERIOR LIGHTING LEGEND



SPREAD/PATH LIGHT



WALL MOUNT



PROPOSED WEST SITE PLAN

PROPOSED EAST SITE PLAN

* DETAILED LANDSCAPE PLAN TO FOLLOW

PROPOSED EXTERIOR LIGHTING & PLANTING SITE PLAN

SCALE: 1/8" = 1'-0"



JOHN MANDURAGO
Design Studios

02-18-12
03-22-12

1119
E0

CHAIR TEACHER
LINCOLN AND 5TH
CARMEL BY THE SEA, CA
A.P.N. 010-211-005

CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION
AGENDA CHECKLIST

MEETING DATE: 9 May 2012

BLOCK: HH LOT: 18

FIRST HEARING: X

CONTINUED FROM: N/A

ITEM NO: DS 12-22/UP 12-4

APPLICANT: Brian & Stephanie Boyse
STREAMLINING DEADLINE: 6/30/12

SUBJECT:

Consideration of Design Study, Use Permit and Coastal Development Permit applications for the substantial alteration of an existing residence located in the Single Family Residential (R-1), Beach and Riparian Overlay (BR), Park Overlay (P) and Archaeological Significance Overlay (AS) Districts.

ENVIRONMENTAL REVIEW:

Exempt (Class 3 – new construction)

LOCATION:

San Antonio 6 NE of Ocean

ZONING:

R-1, BR, P, AS

ISSUES:

1. Does the proposed design comply with the Residential Design Objectives (CMC 17.10.1) and the Residential Design Guidelines?

OPTIONS:

1. Approve the application as submitted.
2. Approve the application with special conditions.
3. Continue the application with a request for changes.
4. Deny the application.

RECOMMENDATION:

Option #2 (Approve the application with special conditions.)

ATTACHMENTS:

1. Staff Report dated 9 May 2012.
2. Application Materials/Plans.

STAFF CONTACT: Marc Wiener, Associate Planner

**CITY OF CARMEL-BY-THE-SEA
COMMUNITY PLANNING AND BUILDING
STAFF REPORT**

APPLICATION: DS 12-22/UP 12-4

APPLICANT: Brian & Stephanie Boyse

BLOCK: HH

LOT: 18

LOCATION: San Antonio 6 NE of Ocean

REQUEST:

Consideration of Design Study, Use Permit and Coastal Development Permit applications for the substantial alteration of an existing residence located in the Single Family Residential (R-1), Beach and Riparian Overlay (BR), Park Overlay (P) and Archaeological Significance Overlay (AS) Districts.

ADDITIONAL REVIEW:

1. Planning Commission 4/11/12.

BACKGROUND/PROJECT DESCRIPTION:

The project site is located on San Antonio Avenue six northeast of Ocean Avenue. The property is developed with a one-story stucco clad residence. The property is located in the Beach and Riparian Overlay (BR) District where the height limit is 18 feet.

The applicant is proposing to remodel and expand the existing residence by 384 square feet, which includes the addition of a guesthouse above the garage. The applicant intends to convert the residence to a Spanish-style design. The siding materials include a combination of stucco and stone siding with a clay tile roof.

The residence currently has a two-car garage with an entry on the north elevation that does not face the street. The applicant is proposing to relocate the garage door to the west elevation so that it will face the street. This proposal will require the relocation of the driveway to the south half of the property.

Site coverage includes the driveway, covered front patio and a rear patio. The rear patio contains a new gas fireplace. The applicant is proposing a three foot tall stucco wall at the front of the property. The proposed wall is located four feet back from the front property line.

This project was reviewed by the Planning Commission at the April meeting. The Commission accepted the design concept with special conditions. The applicant has revised the plans to comply with the conditions as discussed in the next section of the report.

PROJECT DATA FOR A 6,000 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	2,460 sf (41%)	2,075 (34.6%)	2,459 sf (41%)
Site Coverage	781 sf (13%)*	1,309 sf (21.8%)	781 sf (13%)
Trees (upper/lower)	4/1 trees	0/3 trees	0/3 trees
Ridge Height (1 st /2 nd)	18/18 ft.	15 ft.	16 ft./18 ft.
Plate Height (1 st /2 nd)	12 ft./18 ft.	9.5 ft.	10 ft. /18 ft.
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft.	16 ft.	19 ft.
Composite Side Yard	15 ft. (25%)	13 ft. (21.6%)	No Change
Minimum Side Yard	3 ft.	4.5 ft.	No Change
Rear	3 ft.	6 ft.	No Change
* Includes a 4% bonus if 50% of all coverage is semi-permeable.			

EVALUATION:

Previous Hearing: The following is a list of changes requested by the Planning Commission and a response on how the applicant has or has not complied:

- The applicant shall conduct exploratory hand digging around the pine tree located on City property prior to the final review.*

Response: An area around the tree was hand dug and reviewed on site by the City Forester. It was determined that the proposed driveway excavation would not negatively impact the root system of the tree. A report has been submitted by an independent arborist that was at the on-site meeting (see attached). The report verifies that the proposed driveway will not impact the tree.

- The applicant shall work with the southern neighbor on addressing the privacy impact created by the south bathroom window and terrace.*

Response: At the last hearing the southern neighbor expressed concern with the privacy impact that would be created by the second-story covered terrace as well as the bathroom window on the south elevation. The applicant responded by proposing a row of cypress trees between the two properties and by reducing the width of the south facing terrace opening from six feet to four-and-a-half feet. Reducing the size of the opening limits the view of the southern neighbor's property, which helps mitigate the privacy impact.

There previously was an ivy hedge between the two properties that was recently removed. The neighbor has suggested that the applicant replace the ivy hedge with a new one. The hedge would be 12 feet tall, which would require the construction of a 12 foot tall fence and lattice to support the ivy. The neighbor is requesting that it be 15 feet long to cover the area of the second-story. The Planning Commission has the discretion to approve a side-yard fence that is taller than six feet. The Code does not provide a maximum height limit for fences.

Staff supports the use of landscaping to provide privacy between the two properties. However, staff does not support the neighbor's recommendation for an ivy covered fence. The proposed fence would present a walled off appearance, and would be visible from the street. Using landscaping without a structure would appear more natural and informal. Additionally, ivy is an invasive species and is typically discouraged.

Staff commends the applicant and neighbor for working together on this issue. A special condition has been added that the applicant continue to work with staff and the southern neighbor to finalize the landscape details prior to building permit submittal. The landscape plan shall address the privacy impact to the southern neighbor.

3. *The applicant shall provide an elevation drawing of the proposed wall at the front of the property.*

Response: Design Guideline 11.5 states that "a plain-textured plaster wall may be appropriate if kept low in scale and when consistent with the building architecture."

The applicant is proposing a three foot tall stucco wall with short stone pillars near the entry. The proposed wall is consistent with the architecture of the residence as recommended by the Guidelines. Staff notes that the wall is located four feet back from the front property line and there is landscaping in front of the wall.

4. *The applicant shall comply with the site coverage requirements.*

Response: The applicant has reduced the site coverage to comply with the requirement of 781 square feet. An outdoor gas fireplace is proposed on the patio located near the southeast corner of the property. Staff has added a special condition that the fireplace shall have a maximum height of eight feet.

Finish Details: Design Guidelines 9.5 - 9.8 encourage the *“use of natural materials”* and indicate that if stucco is to be used it should be *“in conjunction with some natural materials such as wood and/or stone...but should not be repeated to excess within a block.”* With regards to stonework, Guideline 9.10 states that *“the application of stone should appear structural and authentic.”*

The applicant is proposing stucco siding in conjunction with stone and a clay tile roof. The proposed residence also includes unclad wood doors and windows. The front garage door is constructed of wood and there are also wood headers above the windows. The use of clay tiles, stone and wood introduce natural materials into the design. Staff supports the proposed finish materials as they are consistent with the Guidelines and appropriate for the residence.

Guesthouse: Guesthouses are permitted on sites of 6,000 square feet or greater and are not allowed to have any cooking facilities. CMC Section 17.8 requires a Residential Use Permit for the authorization of a guesthouse.

The applicant is proposing to construct a 287 square foot guesthouse above the garage. The guesthouse is attached to the main residence but has a separate access provided by stairs located on the north side of the garage. The guesthouse contains a bedroom and bathroom. Findings have been provided for the guesthouse as well as a special condition that the guesthouse not be used as a subordinate unit.

RECOMMENDATION:

Approve the application with the following special conditions and findings.

SPECIAL CONDITIONS:

1. The applicant shall plant one lower-canopy tree of substantial size and caliber and of a species approved by the City Forester. The tree shall be planted onsite located approximately 10 feet from any building and shown on the final landscape plan submitted with the building permit application. Staff and the City Forester will work with the applicant on choosing a tree that will protect neighboring views.
2. The applicant shall work with staff and the southern neighbor to finalize the landscape details prior to building permit submittal. The landscape plan shall mitigate the privacy impact to the southern neighbor.
3. The outdoor gas fireplace shall have a maximum height of eight feet.

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

FINDINGS FOR DECISION

DS 12-22/UP 12-4
Brian and Stephanie Boyse
San Antonio 6 NE of Ocean Ave
Block HH, Lot 18

CONSIDERATION:

Consideration of a Use Permit application for the construction of a guesthouse on a property located in the Single Family Residential (R-1) and Beach and Riparian Overlay (BR) Districts.

FINDINGS OF FACT:

1. The applicant submitted Design Study and Use Permit application on 29 February 2012 for the substantial alteration of a residence and construction of a new guesthouse.
2. CMC section 17.8.050 (C) requires the issuance of a Use Permit for the establishment of a guesthouse. Guesthouses are permitted on properties that are 6,000 square feet and greater.

GENERAL FINDINGS FOR ALL USE PERMITS (17.64.010).

1. The proposed use is not in conflict with the City's General Plan.
2. The proposed use complies with all zoning standards applicable to the use and zoning district.
3. Granting the use permit does not set a precedent for the approval of similar uses whose incremental effect will be detrimental to the City, or will be in conflict with the General Plan.
4. The proposed use will not make excessive demands on the provision of public services, including water supply, sewer capacity, energy supply, communication facilities, police protection, and fire protection.
5. The proposed use will not be injurious to public health, safety or welfare.
6. The proposed use is compatible with surrounding land uses and will not conflict with the purpose established for the district within which it will be located.

7. The proposed use will not generate adverse impacts affecting health, safety, or welfare of neighboring properties or uses.

SPECIAL CONDITION:

1. The guesthouse shall not be used as a subordinate unit as defined in CMC 17.68.

DECISION: Approve the Design Study and Use Permit applications with the condition stated above.

FINDINGS REQUIRED FOR CONCEPT AND FINAL DESIGN STUDY APPROVAL
(CMC 17.64.8 and LUP Policy P1-45)

For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.

Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits, variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	
9. The proposed exterior materials and their application rely on natural materials and the overall design will as to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	

11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.B.1):

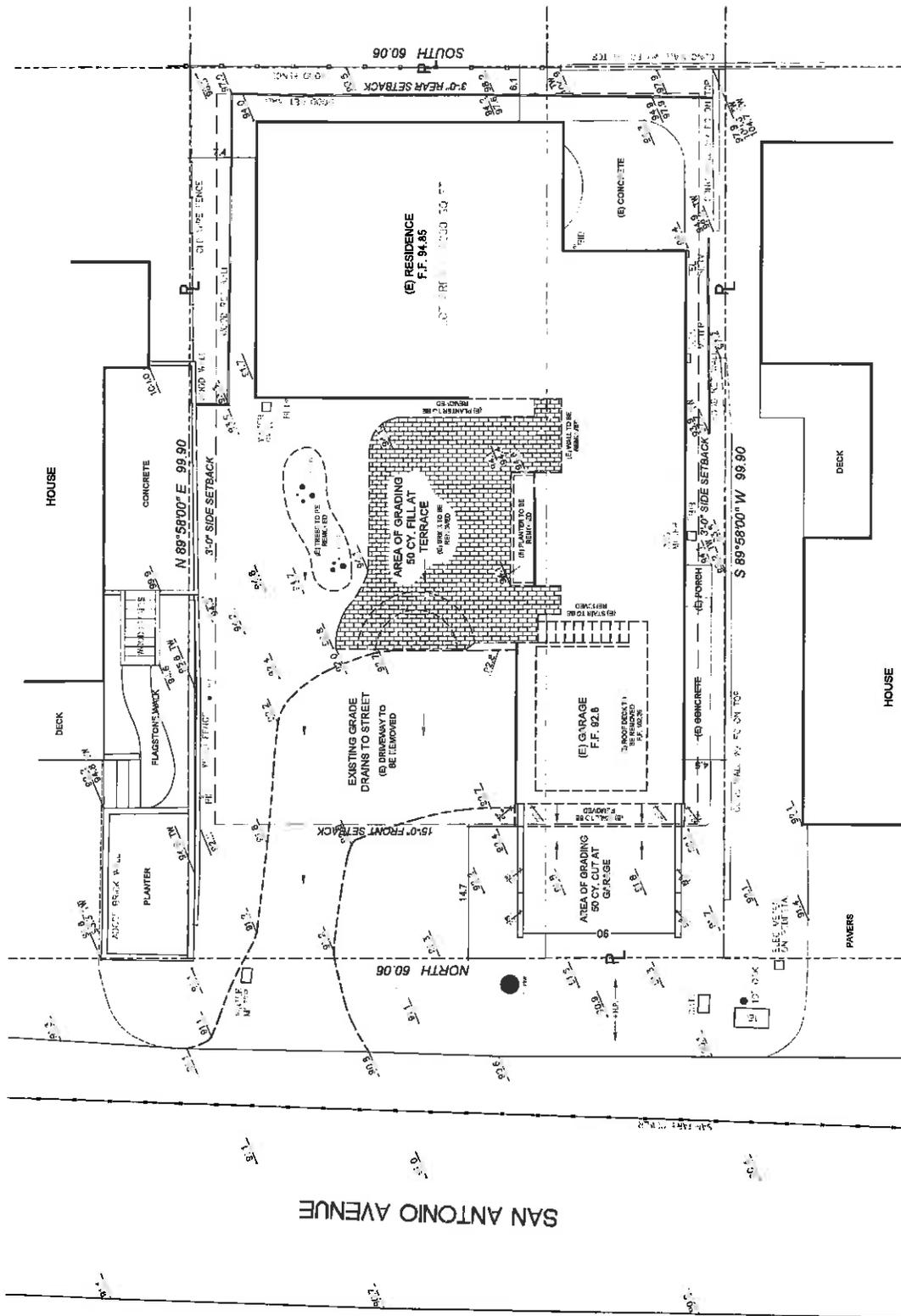
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2. The project is not located between the first public road and the sea and no review is required for potential public access.

Standard R-1 Conditions		
No.	Condition	
1.	This approval constitutes Design Study and Coastal Development permits authorizing the demolition and construction of a new residence. All work shall conform to the approved plans dated 9 May 2012 except as conditioned by this permit.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes shall require separate approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the Forest and Beach Commission; and all remaining trees shall be protected during construction by	✓

	methods approved by the City Forester.	
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on an 6,000 square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing any proposed changes to the project plans as submitted on 9 May 2012 and approved by the Planning Commission, prior to incorporating changes on the site. If the applicant changes the project without first obtaining approval, the applicant will be required to either: a) Submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) Eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection approval.	✓
9.	Exterior lighting shall be limited to 25 watts or less per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use nonreflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	✓
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10 square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.	✓
12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
13.	The applicant agrees, at its sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or	✓

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14.	<p>The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.</p>	✓
15.	<p>This project is subject to a volume study.</p>	✓
16.	<p>Approval of this Design Study shall be valid only with approval of the Use Permit.</p>	✓
17.	<p>A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.</p>	✓
18.	<p>The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.</p>	✓
19.	<p>The project plans submitted for building permit review shall comply with the City's Green Building Ordinance (CMC Section 15.54) and obtain a minimum of 60 points based on the Residential Green Building Checklist.</p>	✓

SAN ANTONIO AVENUE



DEMOLITION DATA
 TOTAL EXISTING EXTERIOR WALLS
 TOTAL EXISTING EXTERIOR WALLS TO BE DEMOLISHED

284 LF
 30.75 LF711.9%

NOT FOR CONSTRUCTION

DEMOLITION AND GRADING PLAN
 BOYLE RESIDENCE

A1.1

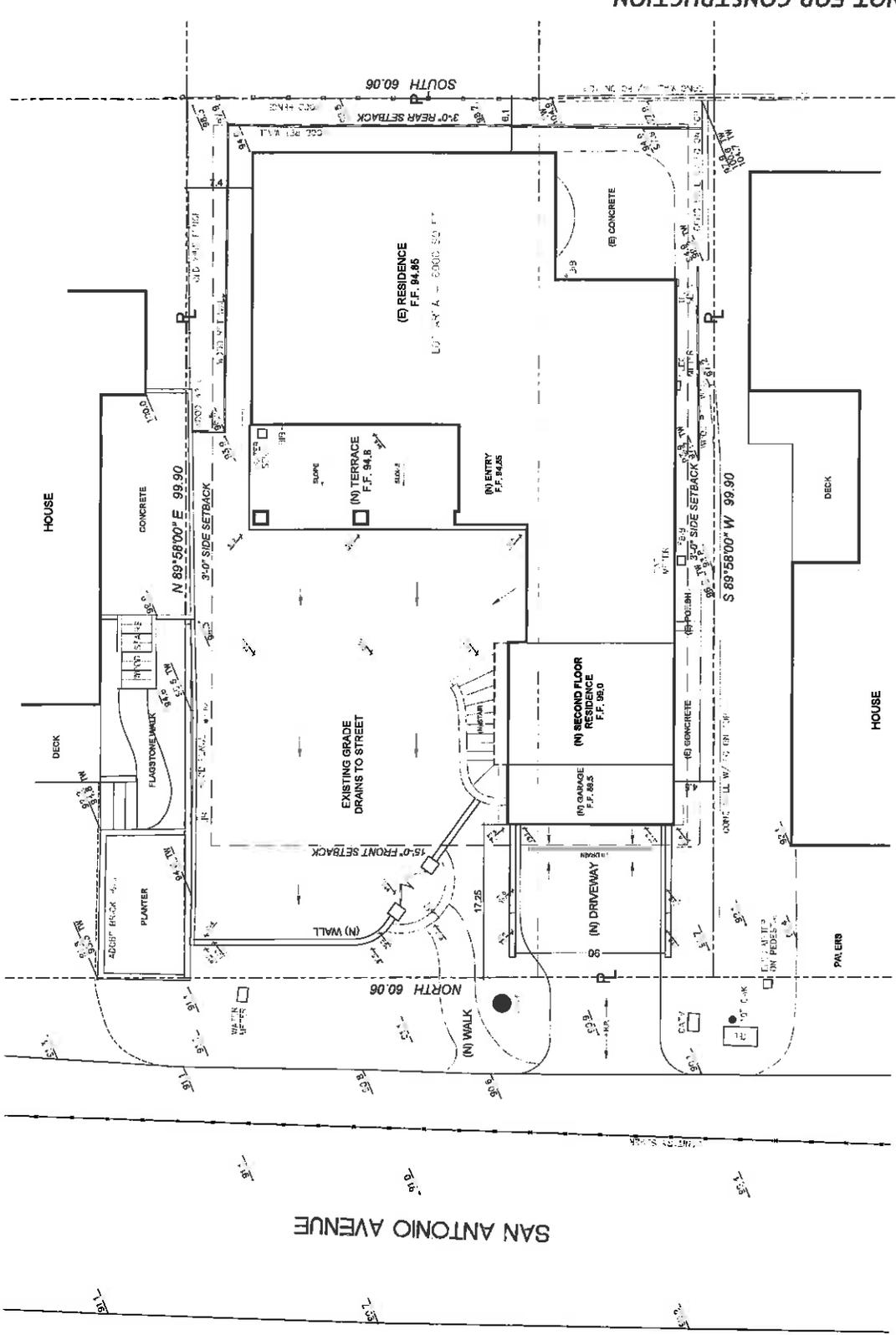
BOYLE RESIDENCE
 SAN ANTONIO AVENUE
 CARMEL, CALIFORNIA

TOM KEANEY ARCHITECT

DEMOLITION AND GRADING PLAN



DATE: 01/15/11
 SHEET NO. 1



SITE PLAN
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

A1.2



BOYSE RESIDENCE
SAN ANTONIO AVENUE
CARMEL, CALIFORNIA

TOM MEANEY ARCHITECT

4256 AIR STREET SUITE 246 SANTA BARBARA, CA 93101 TEL: 805.964.75-01 FAX: 805.964.4780 (ARMPFL) WWW.TOMMEANEY.COM

NOTES

1. EXISTING DIMENSIONS AND FINISHES TO BE MAINTAINED UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

FLOOR AREAS

- HOUSE: 1,000.00
- CONCRETE: 1,000.00
- DECK: 1,000.00
- FLAGSTONE WALK: 1,000.00
- PLANTER: 1,000.00
- DRIVEWAY: 1,000.00
- GARAGE: 1,000.00
- SECOND FLOOR RESIDENCE: 1,000.00
- TERRACE: 1,000.00
- RESIDENCE: 1,000.00



BOYSE RESIDENCE
SAN ANTONIO AVENUE
CARMEL, CALIFORNIA

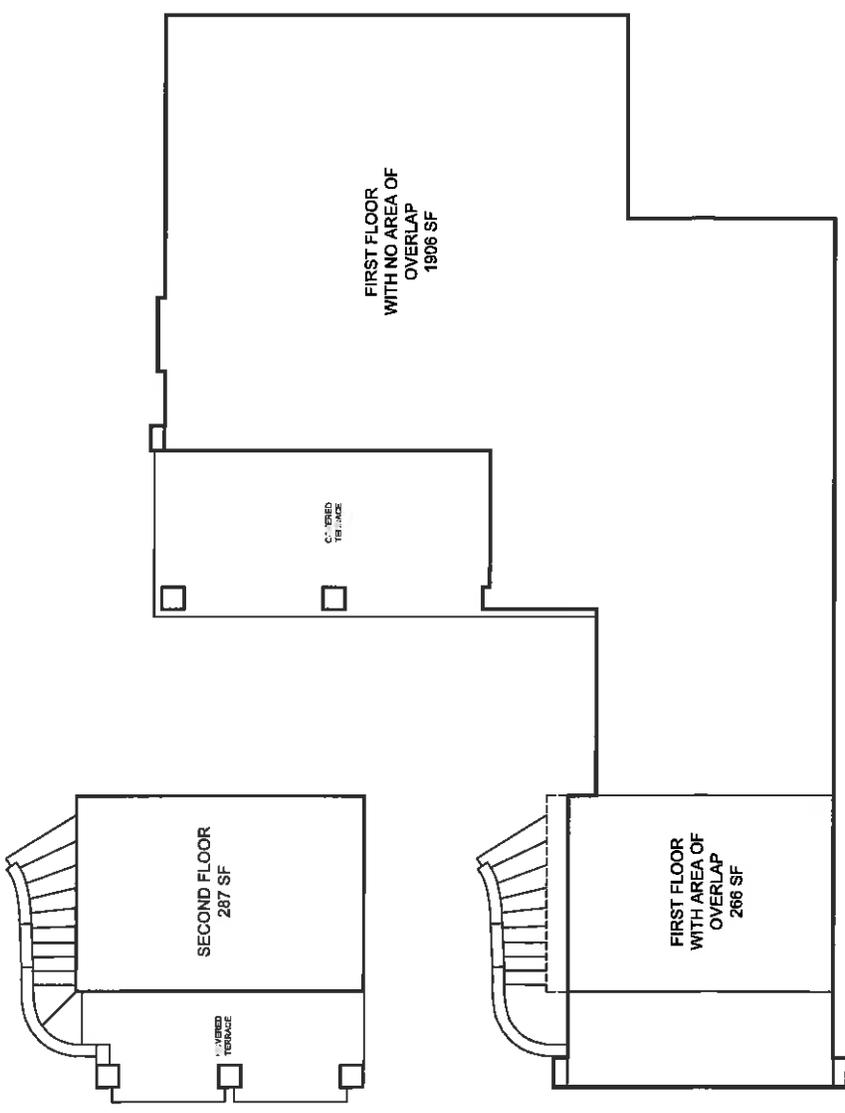
FLOOR LEVEL
MAP

1028 S AVE B WEST SUITE 240 SANTA BARBARA CA 93103 TEL 805.967.7959 FAX 805.967.4734
TOM MEANEY ARCHITECT

NOT FOR CONSTRUCTION

FLOOR AREAS

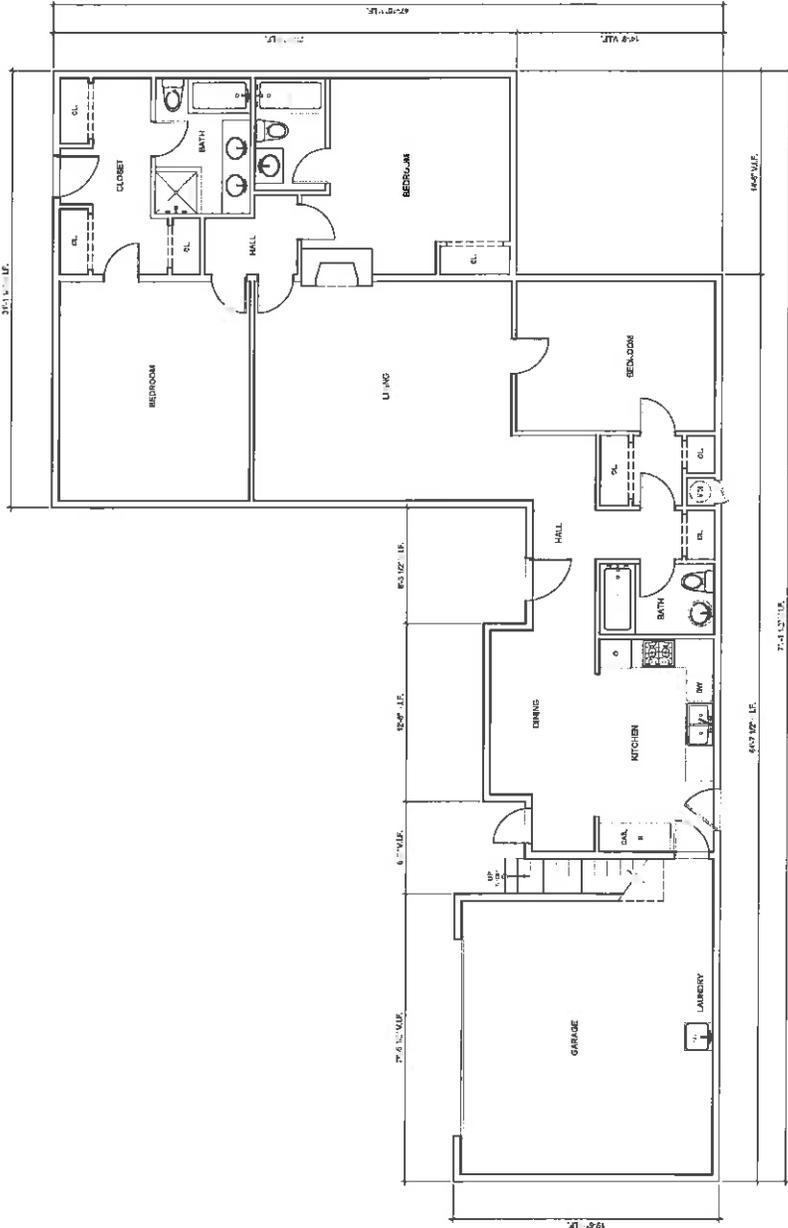
DATE: 06/20/12
SCALE: 1/8" = 1'-0"



RESIDENCE FLOOR LEVEL MAP
SCALE: 1/8" = 1'-0"



RESIDENCE EXISTING FLOOR PLAN
SCALE 1/8" = 1'-0"



NOT FOR CONSTRUCTION



BOYSE RESIDENCE
SAN ANTONIO AVENUE
CARMEL, CALIFORNIA

EXISTING
FLOOR PLAN

TOM MEANEY ARCHITECT

429 STATE STREET SUITE 240 SANTA BARBARA CA 93101 TEL: 805.966.7966 FAX: 805.966.4276 CARMEL, CA

NOTES

- 1. VERIFY ALL DIMENSIONS IN FIELD

FLOOR AREAS

DATE: 01/28/15

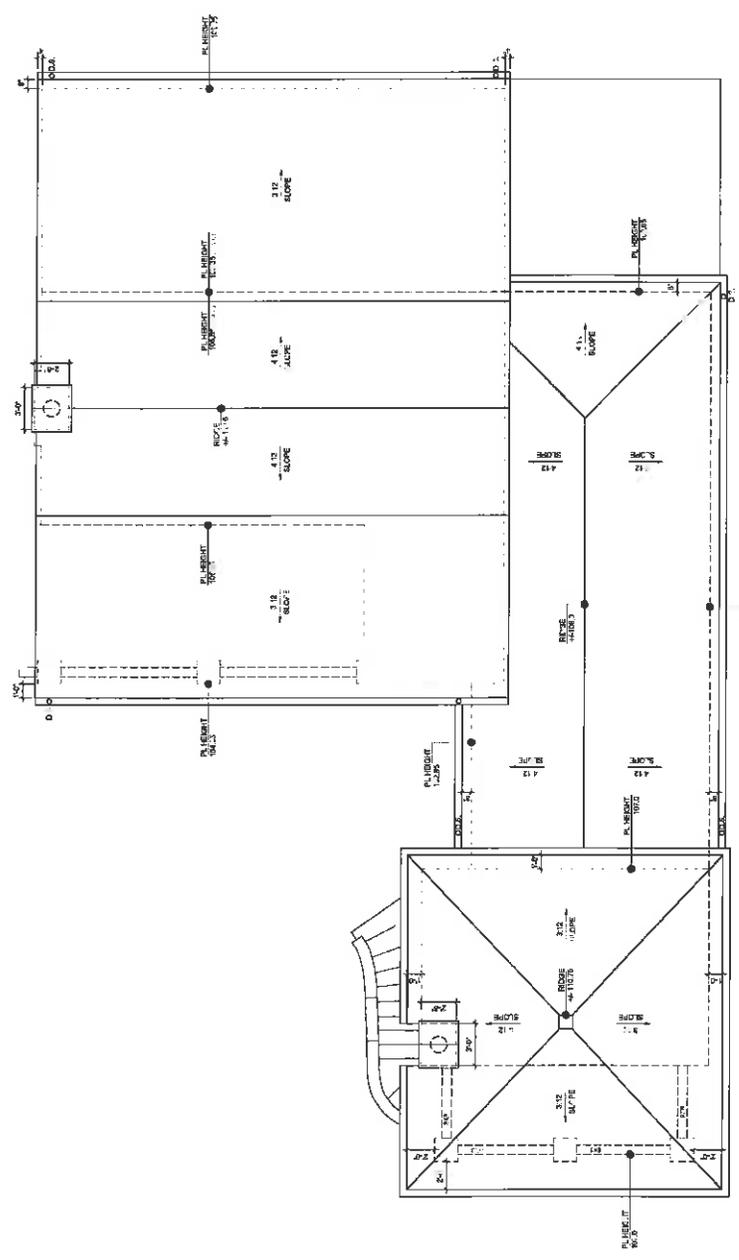


PROPOSED ROOF PLANS

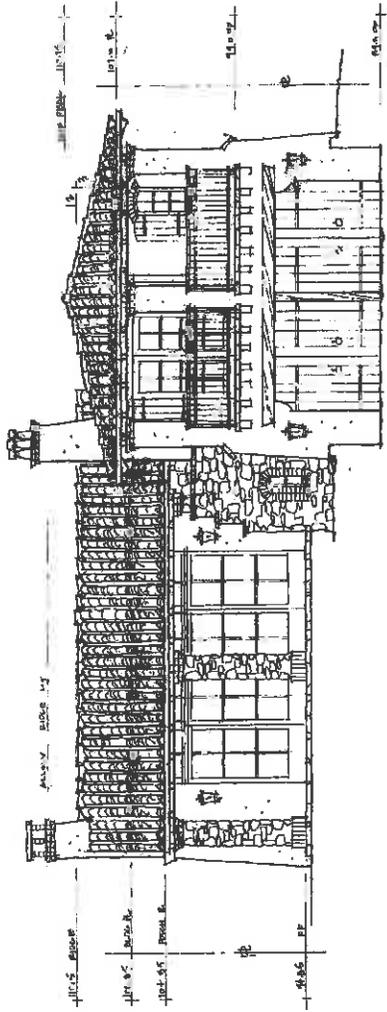
BOYSE RESIDENCE
SAN ANTONIO AVENUE
CARMEL, CALIFORNIA

T.M. WEANEY ARCHITECT
100 STATE STREET SUITE 246 SANTA BARBARA CA 93101 TEL: 805.968.7980 FAX: 805.974.4276 (CARMEL)
V: WTOP@TWEA.COM

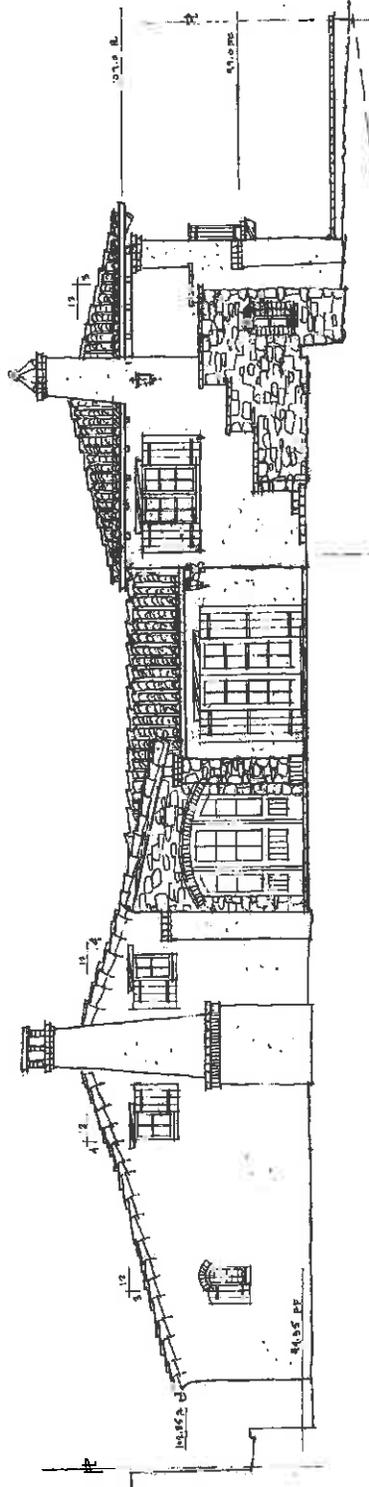
NOT FOR CONSTRUCTION



RESIDENCE ROOF PLAN
SCALE 1/4" = 1'-0"



RESIDENCE EXTERIOR ELEVATION - WEST
SCALE: 1/8" = 1'-0"



RESIDENCE EXTERIOR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION



BOYSE RESIDENCE
SAN ANTONIO AVENUE
CARMEL, CALIFORNIA

TOM MEANEY ARCHITECT

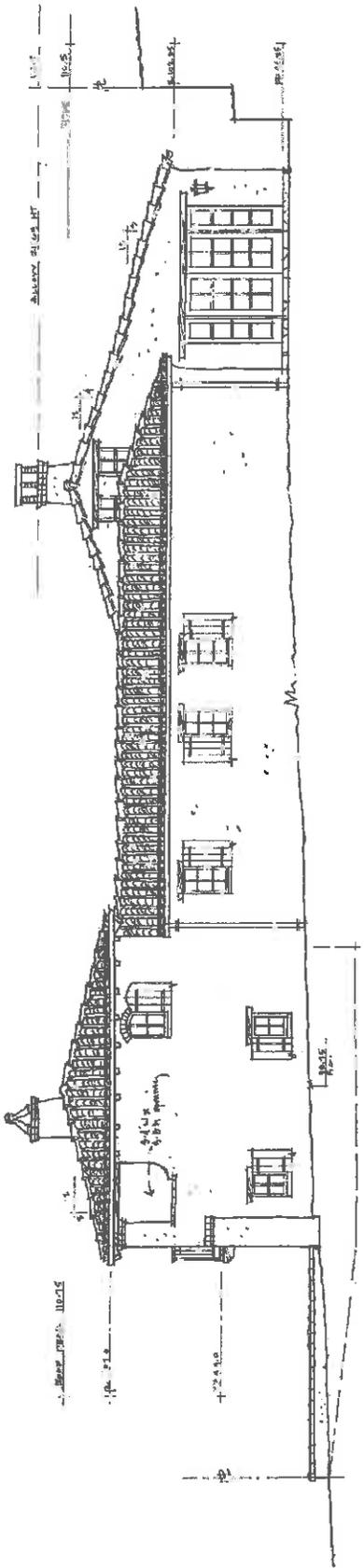
225 RAY STREET SUITE 240 SAN ANTONIO AVENUE CARMEL, CALIFORNIA 95008-1000 TEL: 831.427.4272 FAX: 831.427.4272

DATE: 01/12/11

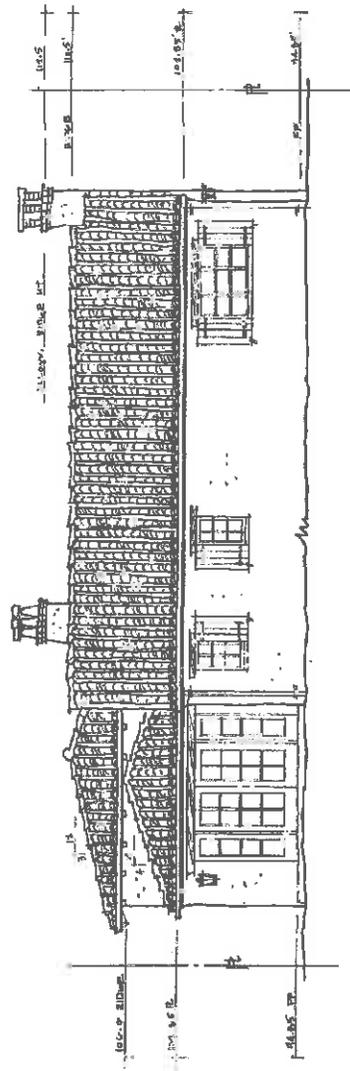
A6.1



NOT FOR CONSTRUCTION



RESIDENCE EXTERIOR ELEVATION - SOUTH
 SCALE: 1/8" = 1'-0"

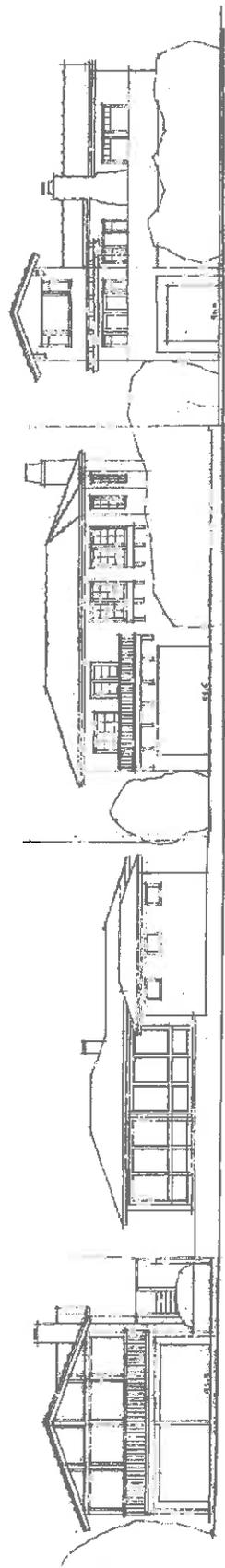


RESIDENCE EXTERIOR ELEVATION - EAST
 SCALE: 1/8" = 1'-0"

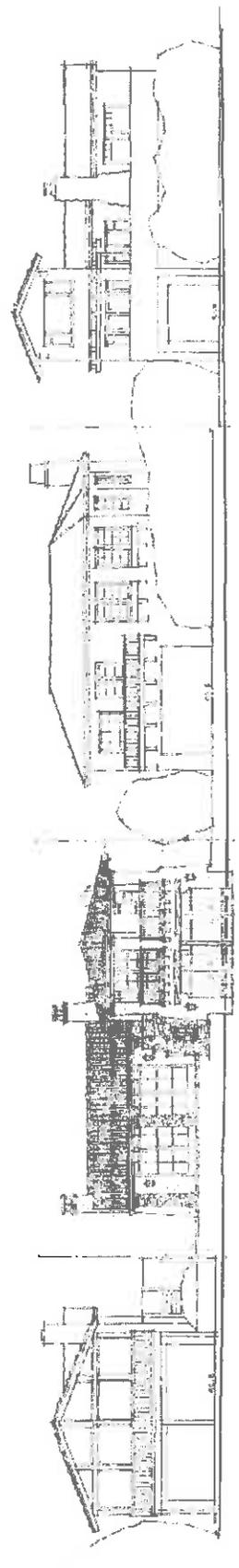




NOT FOR CONSTRUCTION



SAN ANTONIO STREET CONTEXT - EXISTING
SCALE: 1/8" = 1'-0"



SAN ANTONIO STREET CONTEXT - PROPOSED
SCALE: 1/8" = 1'-0"



RESIDENCE
ELEVATIONS
ELEVATIONS

BOYSE RESIDENCE
SAN ANTONIO AVENUE
CARMEL, CALIFORNIA

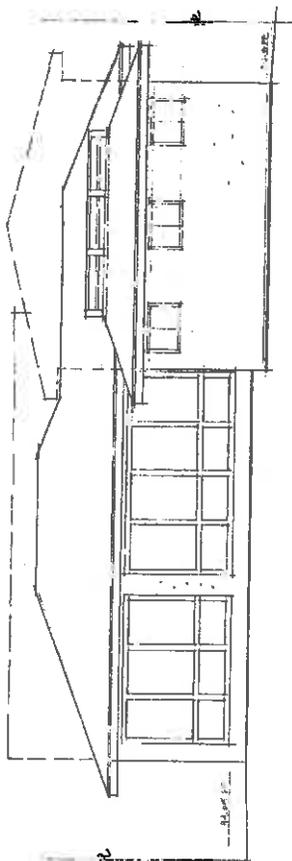
4220 STATE STREET SUITE 210 SANTA BARBARA CA 93101 TEL 805 966 7050 FAX 805 966 4700

TOM WEARNEY ARCHITECT

T
W

NOT FOR CONSTRUCTION

COMPOSITE WEST ELEVATION





NOT FOR CONSTRUCTION

DOOR SCHEDULE

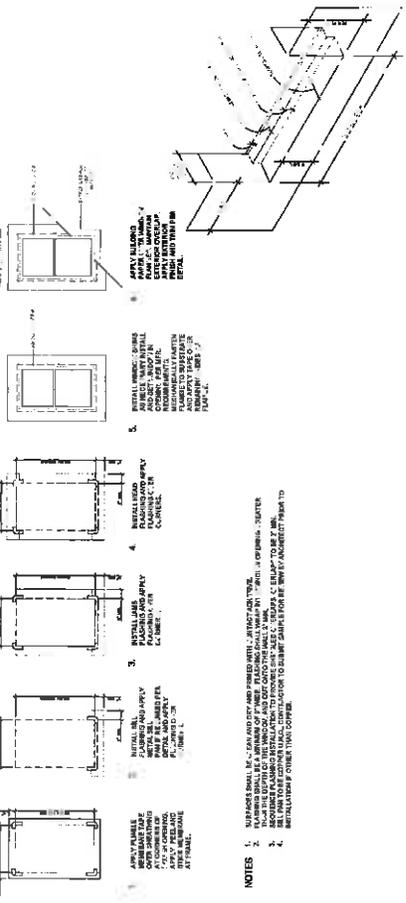
NO.	LOC.	TYPE	WIDTH	HEIGHT	FINISH	GLASS	FRAME	SWELL	THRESHOLD	REMARKS
101	ENTRANCE	6'0" x 8'0"	6'0"	8'0"	CEILING	CEILING	CEILING	CEILING	CEILING	SERVO OPERATED, WEATHERS, FINISH: ELABORATE
102	BATH	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
103	KITCHEN	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
104	MEDIA	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
105	GARAGE	8'0" x 7'0"	8'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
106	REAR	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
107	REAR	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
108	REAR	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
109	HALL	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
110	HALL	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
111	HALL	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
112	HALL	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
113	HALL	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
114	LAVATORY	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
115	MEDIA	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
116	REAR	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
117	REAR	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
118	REAR	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
119	REAR	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
120	REAR	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE

DOOR NOTES
 1. ALL DOORS SHALL BE 1 1/2" MIN. COMPRESSIBLE CONSTRUCTION OR SOLID CORE. 2. ALL DOORS SHALL BE 1 1/2" MIN. THICK WITH INTERIOR FINISH INCREASED BY 1/2" FOR EACH DOOR. 3. ALL DOORS SHALL BE 1 1/2" MIN. THICK WITH INTERIOR FINISH INCREASED BY 1/2" FOR EACH DOOR. 4. ALL DOORS SHALL BE 1 1/2" MIN. THICK WITH INTERIOR FINISH INCREASED BY 1/2" FOR EACH DOOR. 5. ALL DOORS SHALL BE 1 1/2" MIN. THICK WITH INTERIOR FINISH INCREASED BY 1/2" FOR EACH DOOR.

WINDOW SCHEDULE

NO.	LOC.	TYPE	WIDTH	HEIGHT	FINISH	GLASS	FRAME	SWELL	THRESHOLD	REMARKS
1	ENTRANCE	6'0" x 8'0"	6'0"	8'0"	CEILING	CEILING	CEILING	CEILING	CEILING	SERVO OPERATED, WEATHERS, FINISH: ELABORATE
2	BATH	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
3	KITCHEN	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
4	MEDIA	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
5	MEDIA	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
6	MEDIA	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
7	LAUNDRY	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
8	REAR	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
9	REAR	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
10	REAR	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
11	REAR	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
12	REAR	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
13	REAR	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
14	REAR	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
15	REAR	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
16	REAR	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
17	REAR	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE
18	REAR	5'0" x 7'0"	5'0"	7'0"	CEILING	CEILING	CEILING	CEILING	CEILING	QUICK WIP, FINISH: FISHBONE

WINDOW NOTES
 1. ALL WINDOWS SHALL BE 1 1/2" MIN. THICK WITH INTERIOR FINISH INCREASED BY 1/2" FOR EACH WINDOW. 2. ALL WINDOWS SHALL BE 1 1/2" MIN. THICK WITH INTERIOR FINISH INCREASED BY 1/2" FOR EACH WINDOW. 3. ALL WINDOWS SHALL BE 1 1/2" MIN. THICK WITH INTERIOR FINISH INCREASED BY 1/2" FOR EACH WINDOW. 4. ALL WINDOWS SHALL BE 1 1/2" MIN. THICK WITH INTERIOR FINISH INCREASED BY 1/2" FOR EACH WINDOW.



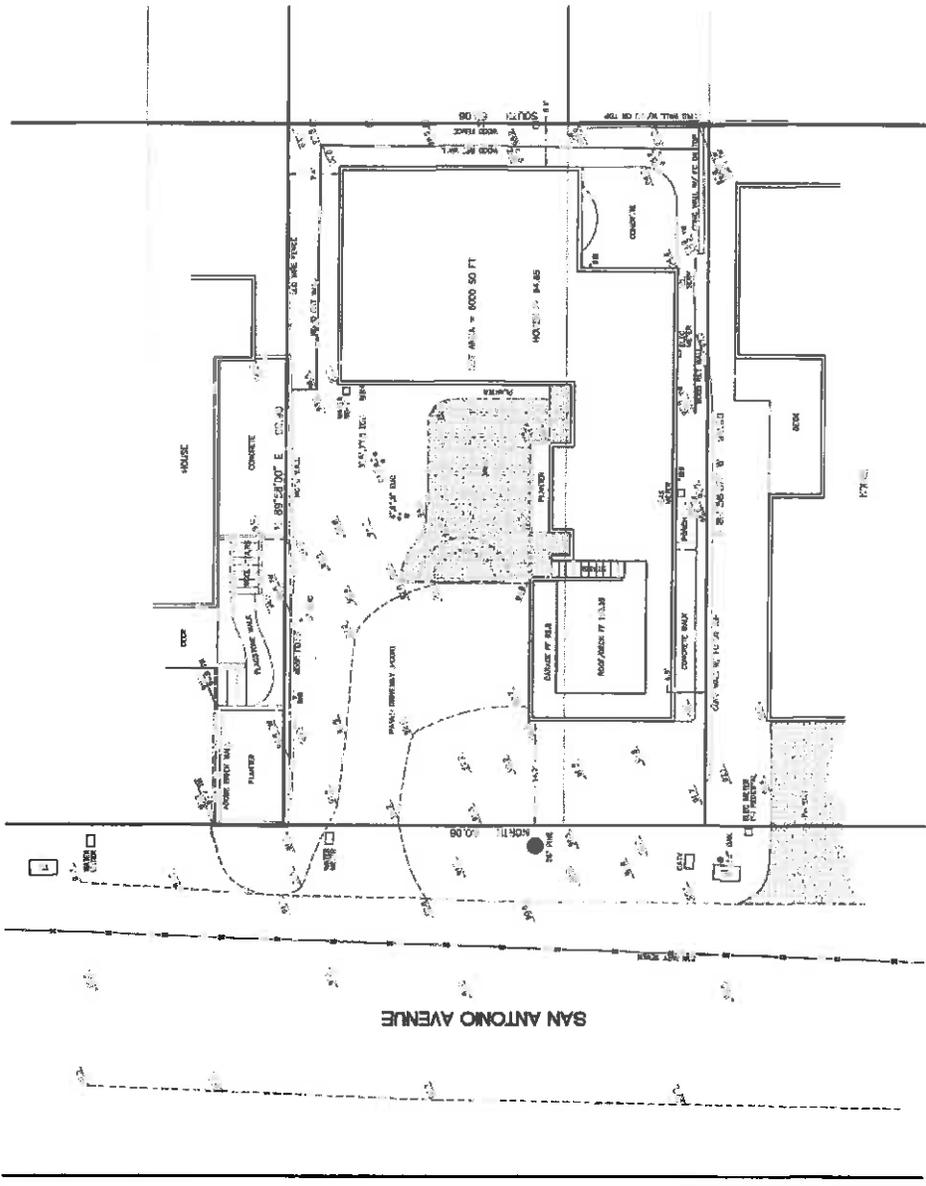
NOTES
 1. ALL DOORS SHALL BE 1 1/2" MIN. THICK WITH INTERIOR FINISH INCREASED BY 1/2" FOR EACH DOOR. 2. ALL DOORS SHALL BE 1 1/2" MIN. THICK WITH INTERIOR FINISH INCREASED BY 1/2" FOR EACH DOOR. 3. ALL DOORS SHALL BE 1 1/2" MIN. THICK WITH INTERIOR FINISH INCREASED BY 1/2" FOR EACH DOOR. 4. ALL DOORS SHALL BE 1 1/2" MIN. THICK WITH INTERIOR FINISH INCREASED BY 1/2" FOR EACH DOOR.

REVISIONS	BY

GLS
GOETZ LAND SURVEYORS
 1234 ALBION ST (251) 244-4174
 SAN MATEO, CALIFORNIA 94061

TOPOGRAPHY MAP
 OF LOT 18 AND THE NORTH HALF OF LOT 19 IN BLOCK 11 AS
 SHOWN ON "MAP OF ADDITION NO. 3, CARMEL-BY-THE-SEA,"
 MONTEREY COUNTY, CALIFORNIA

DATE: SEPTEMBER 19, 2001
 SCALE: 1/4" = 1'-0"
 APR 00-284-17
 JOB NO.
 SHEET
 1
 OF 1 SHEETS



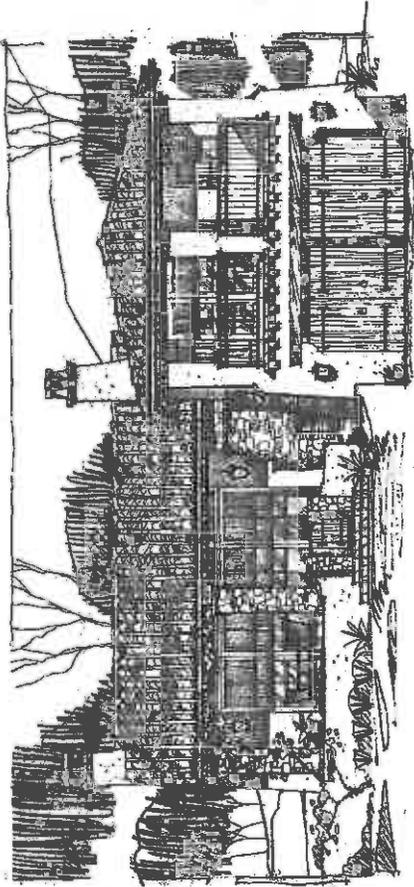
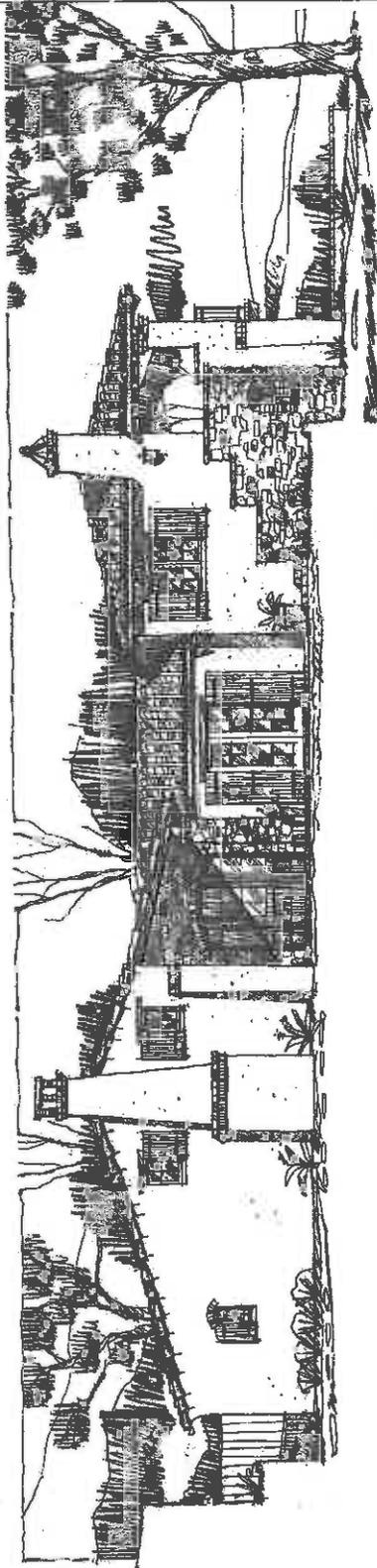
BENCHMARK:
 USCGS ERIE DISK
 "NEVER" (NS 3 PTD 63552)
 ELEVATION 105.75 (VDN)



BOYSE RESIDENCE
SAN ANTONIA AVENUE
CARMEL, CALIFORNIA

EXTERIOR
ELEVATIONS

TOM WEANEY ARCHITECTURE, INC.
3000 AVENUE 100, SUITE 100, CARMEL, CALIFORNIA 95008
TEL: 831.425.7000 FAX: 831.425.7001 WWW.TOMWEANEY.COM



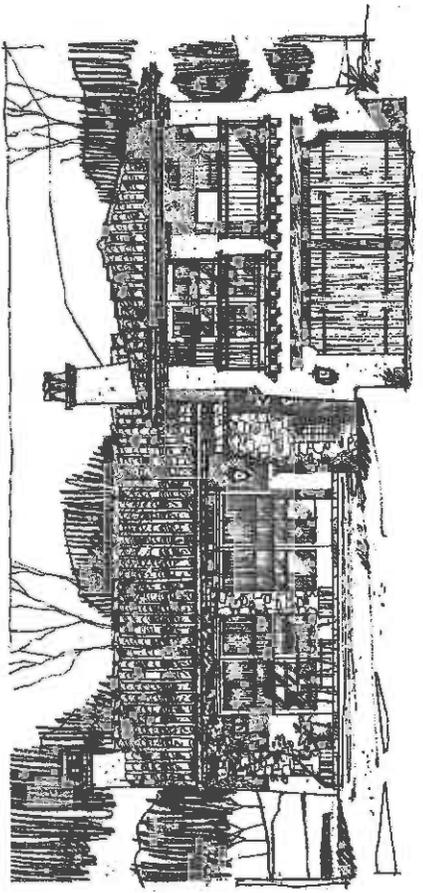
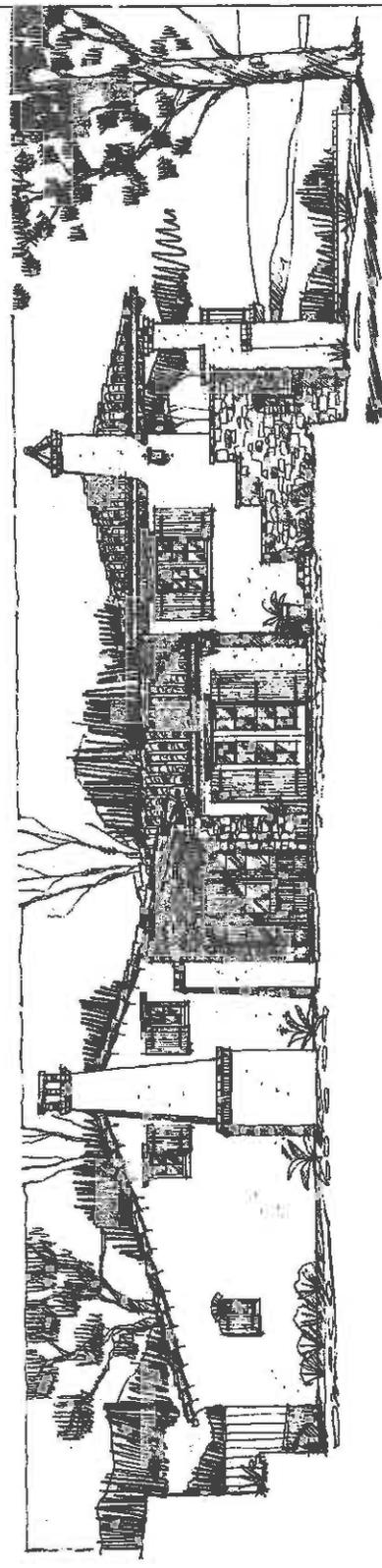
111



EXTERIOR ELEVATIONS

BOYSE RESIDENCE
SAN ANTONIA AVENUE
CARMEL, CALIFORNIA

WWW.TOMWEANEY.COM
TOM WEANEY ARCHITECT
523 STATE STREET SUITE 200 SANTA BARBARA CA 93101 TEL: 805.969.7888 FAX: 805.969.7888





April 30, 2012

Tom Meaney Architect
629 State Street, Suite 240
Santa Barbara, CA 93101

Project: Boyse Residence/San Antonio Avenue
Phase: Root Exploration

As you requested I have completed an examination of the supporting root system of one Monterey pine tree growing at the front of the Boyse residence on San Antonio Avenue.

The City of Carmel-by-the Sea Planning Commission required the excavation and evaluation of potential root impacts as a component of the approval process.

The edge of the proposed driveway and retaining wall were staked and the proposed trench depth provided. The project contractor, Chris Adamski from Emerson Development Group assisted with the hand excavation process.

The entire length and proposed depth of the driveway was carefully excavated using manual labor. The roots unearthed were measured and mapped; the distance from the trunk at each root has been documented.

When completed, the excavation was examined by Mike Branson, City Forester. It was determined that all roots present, including the larger root could be pruned and the driveway constructed as proposed.

The following sheet includes the specific sizes and locations and photographs of the roots located during the excavation.

Any questions regarding the root exploration on this property can be directed to my office.

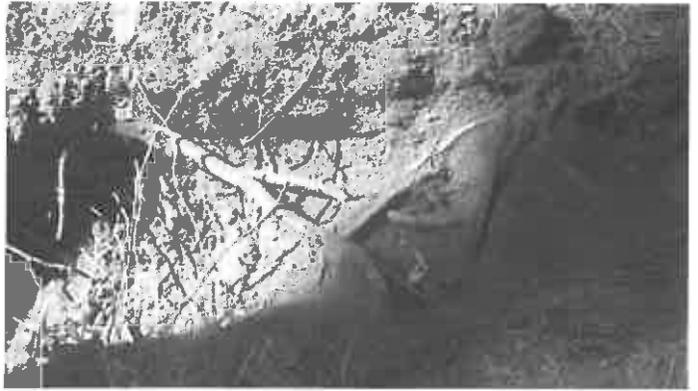
Respectfully submitted,

Maureen Hamb Certified Arborist WE2280

**Area 1: 4 feet from base of tree at entry
from public street.
Depth: 1.5 inches
Findings: No roots present**



**Area 2: 5'9" from base of tree.
Depth: 9 inches
Findings: Cluster of 3 roots less than 1/2
inch in diameter.**



**Area 3: 6 feet from base of tree
Depth: 22 inches
Findings: 2 roots 4 1/2 to 6 inches in
diameter, 1 root 1 inch in diameter**



**Area 4: 10'8" from base of tree
Depth: 30 inches
Findings: 1 root 1/2 inch in diameter**

